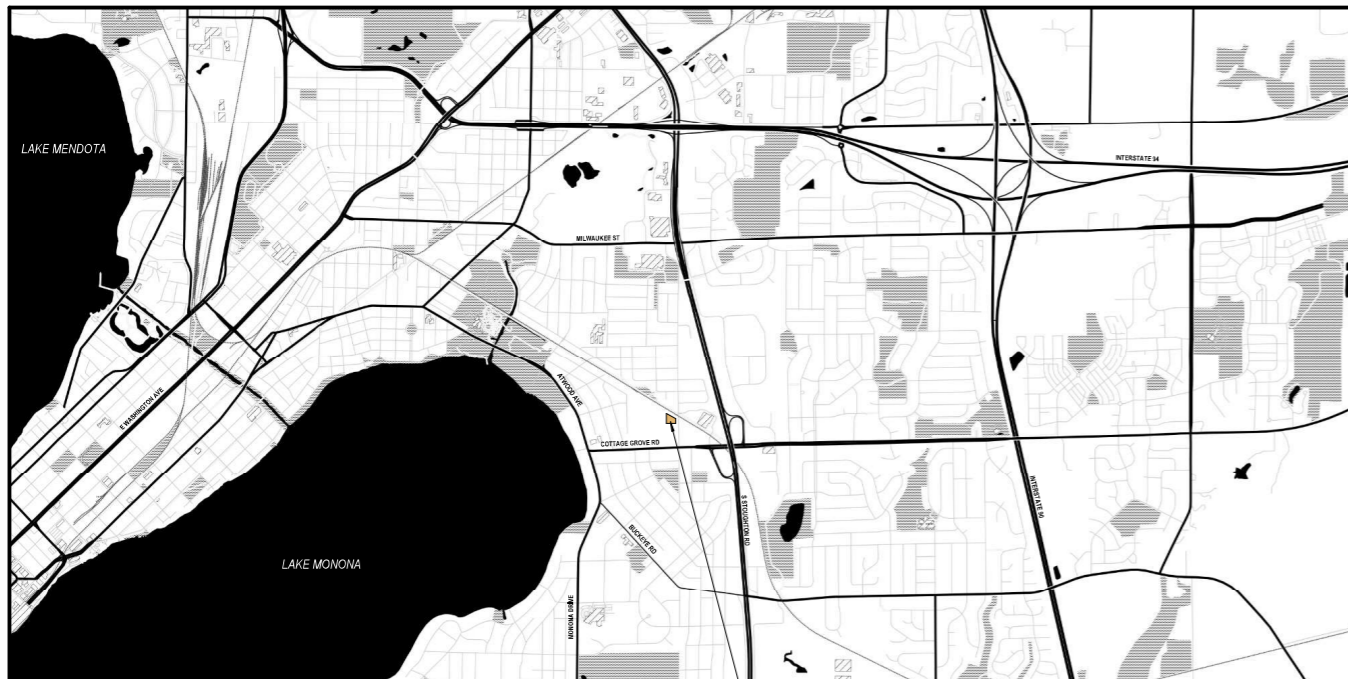




526 PINNEY STREET MADISON, WI 53714

ROYSTER LOT 60



PROJECT LOCATION

SHEET INDEX

| | |
|------|--------------------------------|
| SITE | |
| C100 | SITE PLAN |
| C200 | GRADING & EROSION CONTROL PLAN |
| C300 | UTILITY PLAN |
| L100 | LANDSCAPE PLAN |
| E200 | SITE LIGHTING PHOTOMETRIC PLAN |

ARCHITECTURAL

| | |
|------|---------------------|
| A100 | LL & 1ST FLR PLAN |
| A101 | 2ND & 3RD FLR PLAN |
| A102 | 4TH FLR & ROOF PLAN |
| A200 | EXTERIOR ELEVATIONS |
| A201 | EXTERIOR ELEVATIONS |
| A202 | EXTERIOR ELEVATIONS |
| A300 | BUILDING SECTIONS |
| A900 | EXTERIOR RENDERING |
| A901 | EXTERIOR RENDERING |
| A902 | EXTERIOR RENDERING |
| A903 | EXTERIOR RENDERING |
| A904 | MATERIAL BOARD |



PLAN COMMISSION SUBMITTAL

06/12/2023

PROJECT NUMBER: 723129-01



LEGEND (PROPOSED)

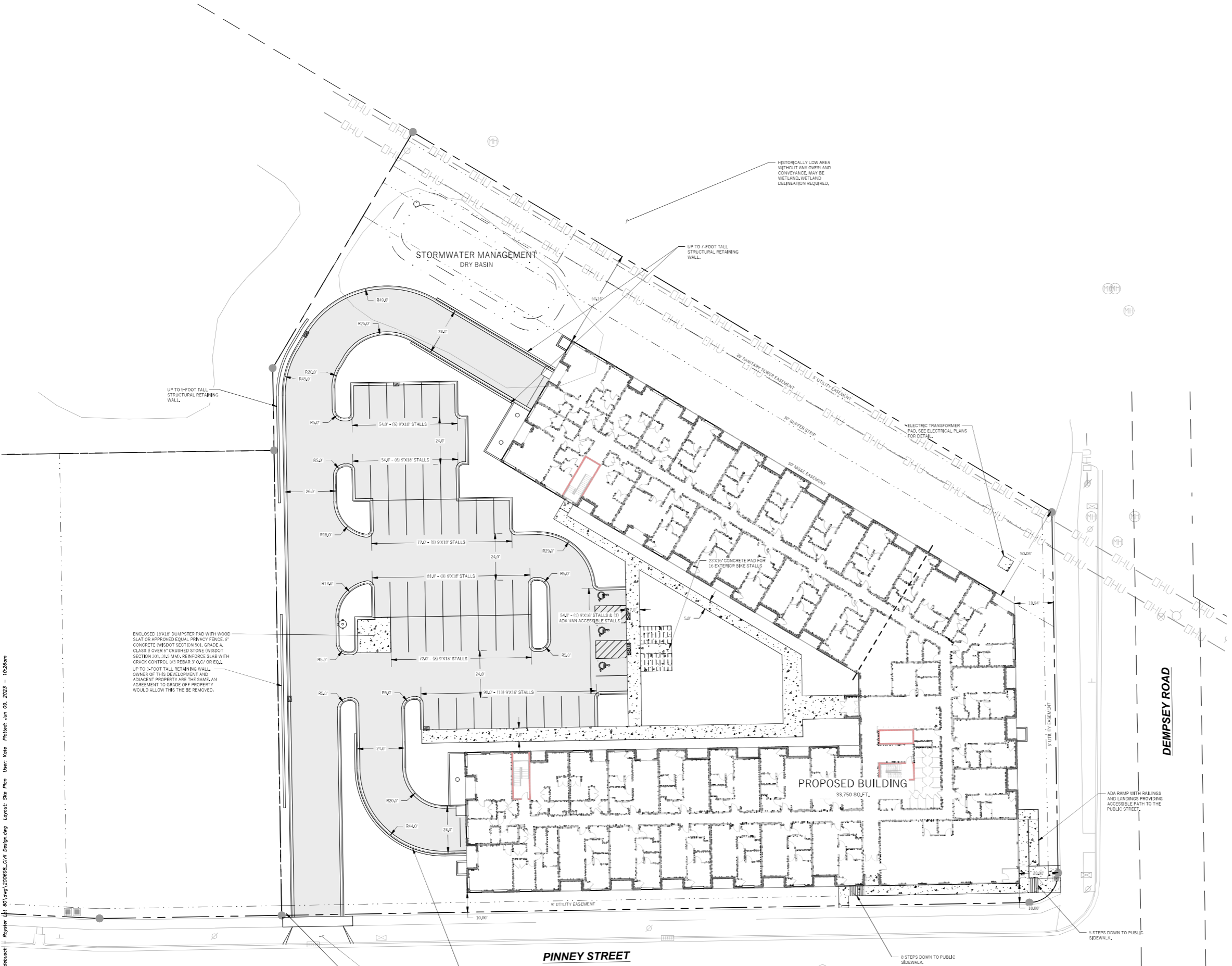
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|----------------------|-------------------------------|
| (Dashed line) | PROPOSED PROPERTY BOUNDARY |
| (Thin solid line) | EASEMENT |
| (Thick solid line) | BUILDING FOOTPRINT |
| (Line with hatching) | 18" CURB AND GUTTER |
| (Line with hatching) | ASPHALT PAVEMENT |
| (Line with hatching) | CONCRETE PAVEMENT |
| (Line with hatching) | STORMWATER TREATMENT FACILITY |

GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF IRONICUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED. ALL WORK IN THE RIGHT-OF-WAY IS PER CITY OF MADISON RULES & ANY PUBLIC WORK SHOWN ON THESE PRIVATE PLANS IS FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN CIRCUMVENTING ANY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OULOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SEE NOTE NO. 1.

SITE INFORMATION BLOCK:

SITE ADDRESS: 526 PINNEY STREET
 SITE ACREAGE: 172,662 SQ. FT. (3.97 AC)
 USE OF PROPERTY: M.U. FAMILY RESIDENTIAL
 ZONING: TRADITIONAL EMPLOYMENT (TE)
SETBACKS:
 FRONT YARD: (4) FEET (PINNEY STREET)
 SIDE YARD: (4) FEET (DEMPSEY ROAD)
 SIDE YARD: (10) FEET (WEST ZONED TR-10)
 REAR YARD: (20) FEET
NUMBER OF BEDROOMS: 136
 2 BEDROOM OR LESS: 156
 3 BEDROOM: 0
NUMBER OF DWELLINGS: 138
PARKING MAXIMUM: 70 PER DWELLING = 345
TOTAL NUMBER OF PARKING STALLS: 154
NUMBER OF STALLS DESIGNATED ACCESSIBLE: 4
SURFACE PARKING STALLS: 51
SURFACE ADA PARKING STALLS: 3
UNDERGROUND PARKING STALLS: 103
EV STALLS REQUIRED: 2% OF TOTAL = 31
EV STALLS PROVIDED: 4
EV READY STALLS REQUIRED: 10% OF TOTAL = 154
EV READY STALLS PROVIDED: 16
BKE STALLS REQUIRED: 1 PER UNIT UP TO 2 BEDROOM + 1 PER ADDITIONAL BEDROOM + 1 GUEST STALL PER 10 UNITS = 152
TOTAL NUMBER OF BKE STALLS: 157
SURFACE SHORT TERM BKE STALLS (GUEST STALLS): 16
INTERIOR LONG TERM BKE STALLS (MIN 90% OF TOTAL): 138
EXISTING IMPERVIOUS SURFACE AREA: 0 SQ. FT.
NEW IMPERVIOUS SURFACE AREA: 78,059 SQ. FT.
ROOF TOP: 43,100 SQ. FT.
PAVED SIDEWALK / DECK: 4,886 SQ. FT.
PAVED DRIVEWAY / PARKING: 31,233 SQ. FT.
LOT IMPERVIOUS AREA MAXIMUM: 85%
LOT IMPERVIOUS AREA SHOWN: 63.2%
DISTURBANCE LIMITS: 122,000 SQ. FT.
IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS: 78,059 SQ. FT.
PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 64%
USABLE OPEN SPACE: 20 SQ. FT. PER BEDROOM: XXX SQ. FT.
PROVIDED ON SITE: 12,250 SQ. FT.
PROVIDED ON STRUCTURE (PORCH / BALCONY / ROOF DECK): XXX SQ. FT. (75% MAX OF TOTAL)



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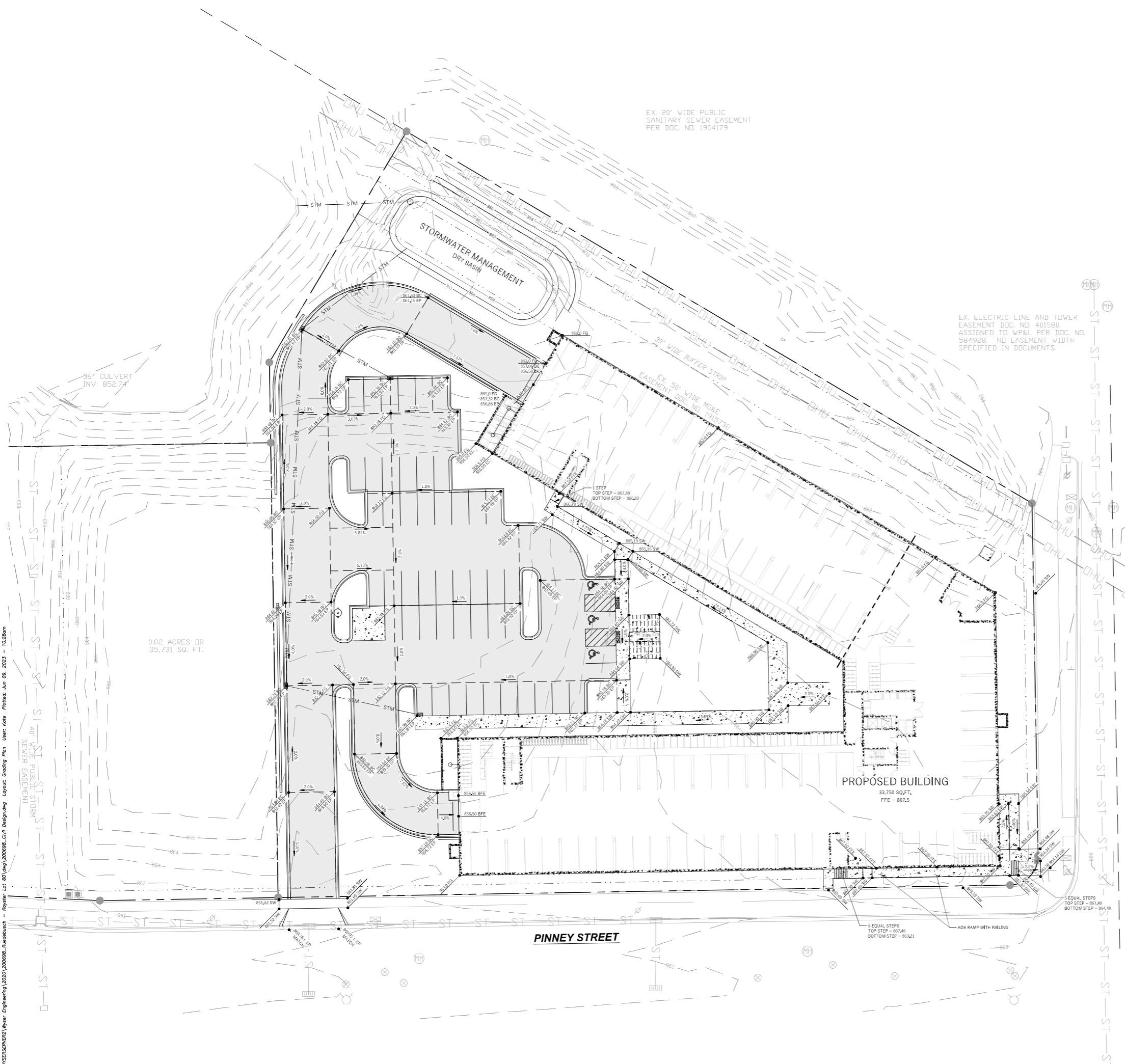
ROYSTER CORNERS - LOT 60
 CITY OF MADISON, DANE COUNTY, WI
 Sheet Title: SITE PLAN
 CITY OF MADISON, WI 53714

Revisions:

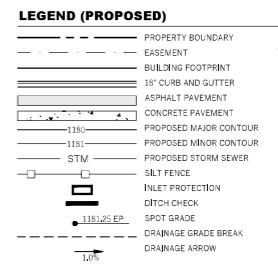
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| Wyser Number | 20-0698 |
| Set Type | SCHEMATIC DESIGN |
| Date Issued | 06/09/2023 |
| Sheet Number | C100 |





NOTE:
 SPOT GRADES ARE AS FOLLOWS:
 FFE - FINISHED FLOOR GRADE
 EP - EDGE OF ASPHALT PAVEMENT
 EC - EDGE OF CONCRETE PAVEMENT
 BC - BACK OF CURB
 SW - EDGE OF SIDEWALK
 FG - FINISH GRADE
 TW - FINISH GRADE ADJACENT TOP OF WALL
 BW - FINISH GRADE ADJACENT BOTTOM OF WALL (NOT FOOTING)



WYSER ENGINEERING

GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED. ALL WORK IN THE RIGHT-OF-WAY BE PER CITY OF MADISON ISSUED PLANS. ANY PUBLIC WORK SHOWN ON THESE PRIVATE PLANS IS FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SEE NOTE NO. 3.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- POST HOUR DESTITUTE OF PERMIT COVERAGE AND MAINTAIN CROSSING CONTROL FENCES ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WEPA.
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- ENGINEER / CITY OF MADISON / WORK HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TO SET UP A PRECONSTRUCTION MEETING AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
- SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WORK AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
- THE SET CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR MORE. KEEP RECORDS OF INSPECTIONS AND MAKE THEM AVAILABLE UPON REQUEST.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- WHEN POSSIBLE, PRESERVE EXISTING VEGETATION ESPECIALLY ADJACENT TO SURFACE WATERS. MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
- REFER TO THE WORK STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT <http://www.cityofmadison.com/Stormwater> FOR ADDITIONAL REQUIREMENTS.
- INSTALL PERMITS EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCES PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WORK TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #557 FOR ROCK CONSTRUCTION ENTRANCES.
- INSTALL SILT PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. CONFORM WITH WEPA TECHNICAL STANDARD STORM DRAINAGE PROTECTION FOR CONSTRUCTION SITES #188 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
- CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN HOLES DURING CONSTRUCTION TO MINIMIZE SEEDMENT FROM ENTERING THE STORMWATER SYSTEM.
- STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL. PER WEPA TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
- PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A ONE WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS TO 60% OR MORE.
- PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN APPROPRIATE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WEPA TECHNICAL STANDARD DRAINAGE #1068.
- COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WEED PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE PER WEPA TECHNICAL STANDARD #1069. MAINTAIN THE SEDIMENT BASIN PER WEPA TECHNICAL STANDARD SEDIMENT BASIN #1069 AND SEDIMENT TRAP # 1063.
- CONSTRUCT AND PROTECT THE SEDIMENT TRAP/BASIN AND VEGETATION FROM BLOWOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WORK TECHNICAL STANDARD STORM DRAINAGE PROTECTION FOR BLOWOFF #1064.
- INSTALL AND MAINTAIN SILT FENCES PER WEPA TECHNICAL STANDARD SILT FENCE #1064. REMOVE SEDIMENT FROM BARRIERS, FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
- REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS) LOCATED IN SILT FENCES AND BARRIERS WITH PER WEPA TECHNICAL STANDARD #1064.
- INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WEPA TECHNICAL STANDARD INTERM MANUFACTURED PERMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
- IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 34 DAYS OR LONGER, BETWEEN SEPTEMBER 15 AND OCTOBER 15. STABILIZE WITH POLYMER AND PERMANENT SEEDING OR ANNUAL RYE GRASS. ANNUAL RYE GRASS MUST BE APPLIED AT A RATE OF 5 LBS PER 1000 SQUARE FEET. AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER, STABILIZE WITH A POLYMER AND DOMINANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WEPA TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1058.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY WIND TO THE NEAREST CHANNEL.
- COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAUL OFF-SITE FOR DISPOSAL. THE DEPOSED OR STOCKPILED MATERIALS TO INCLUDE PERMETER SEDIMENT CONTROL MEASURES SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BARRIERS.
- FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS II TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WEPA TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
- FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WEPA TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
- MAKE PROVISIONS FOR WATERSHEDDING THE FIRST 2 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WEPA REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED USE, AND/OR CONTAMINATED CONTAMINANTS CAN BE FOUND ON WEPA'S BUREAU OF REMEDIATION AND DEVELOPMENT TRACKING SYSTEM (BRTS) PUBLIC DATABASE AT: <http://dhs.wisconsin.gov/>
- INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 834-F-11-006 <http://www3.epa.gov/waters/834-f-11-006/waters/834-f-11-006.pdf>. WASHOUT USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED BY CONCRETE TAMPERS, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

GRADING, SEEDING & RESTORATION NOTES

- ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
- AREAS NOT TO BE SEEDING SHALL HAVE A MINIMUM 6 INCHES TOPSOIL, UNLESS OTHERWISE NOTED.
- AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
- APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- MULCH SHALL BE NEEDLE-PINE STRAW AND SHALL BE INSTALLED AT THE RATE OF 5 TONS PER ACRE PER SECTION 627 OF STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION (WISDOT 2014).
- PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
- TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS
 - TEMPORARY SEEDING: SEEDING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 5 LBS PER 1000 SQUARE FEET.
 - MESOTYPAL CLASS II TYPE B URBAN EROSION CONTROL MAT.

ROYSER CORNERS - LOT 60
 CITY OF MADISON, DANE COUNTY, WI
 Sheet Title: GRADING & EROSION CONTROL PLAN

| Revisions: | | |
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Graphic Scale: 0" 10' 20' 30'

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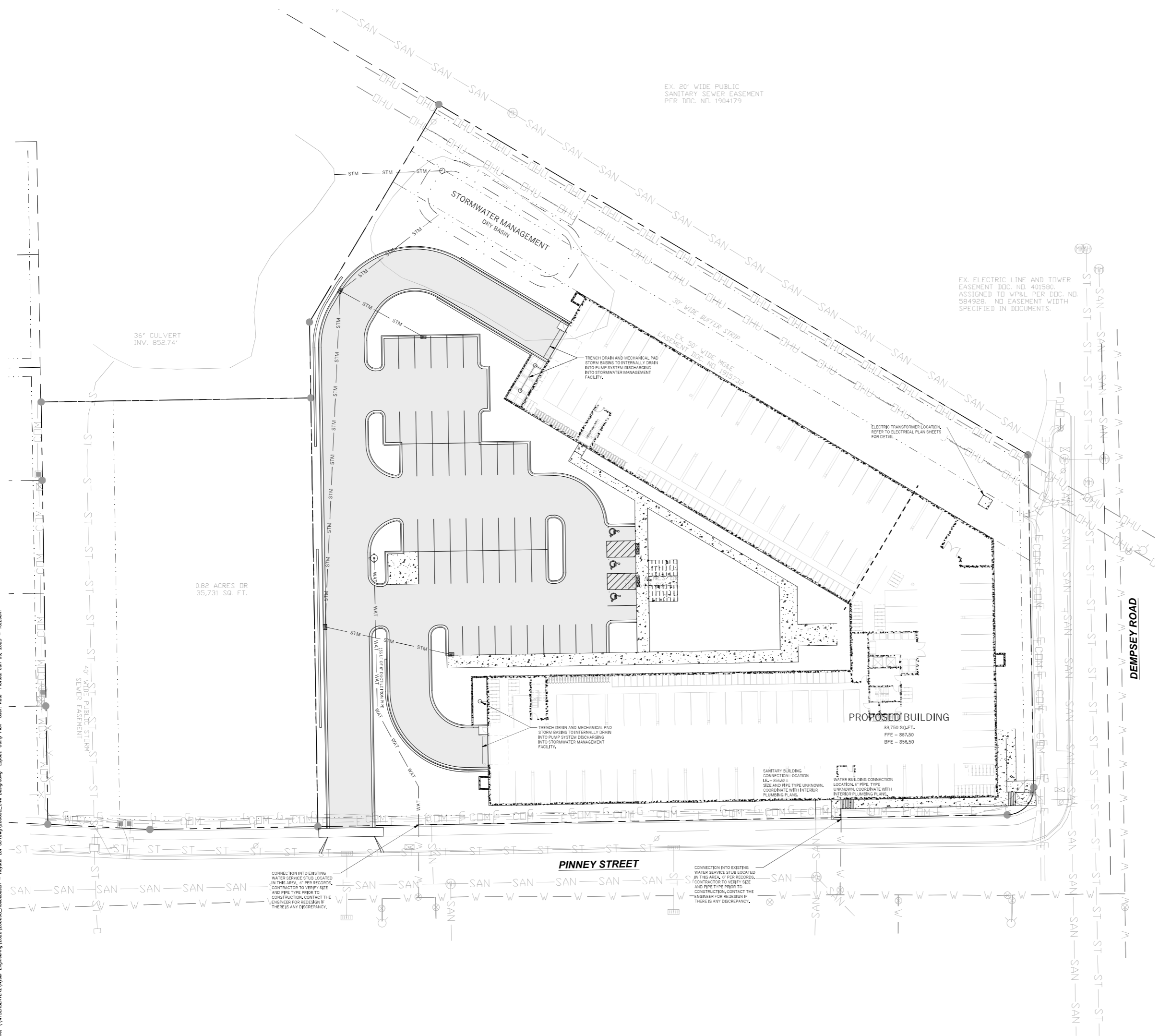
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Date Issued: 06/09/2023

Sheet Number: C200

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File: \\WYSE\ENR\WYSE_Engineering\2020\200698_Royster - Royster Lot 60\WYSE\ENR\WYSE_Engineering\2020\200698_Royster - Royster Lot 60\Utility Plan User: Kate Pollock Jun 09, 2023 - 10:29am



LEGEND (PROPOSED)

- - - - - PROPOSED PROPERTY BOUNDARY
- - - - - EASEMENT
- - - - - BUILDING FOOTPRINT
- - - - - 1' CURE AND GUTTER
- - - - - ASPHALT PAVEMENT
- - - - - CONCRETE PAVEMENT
- - - - - WAT - PROPOSED WATER MAIN
- - - - - SAN - PROPOSED SANITARY SEWER
- - - - - STM - PROPOSED STORM SEWER
- - - - - GAS - PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- - - - - E - PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)
- - - - - STORMWATER TREATMENT FACILITY
- - - - - DRAINAGE GRADE BREAK
- - - - - DRAINAGE ARROW

GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF INCOMPLETE OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED AND SURVEY PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED. ALL WORK IN THE RIGHT-OF-WAY IS PER CITY OF MADISON. EASEMENT PLANS AND PUBLIC WORKS SHOWN ON THESE PLANS ARE PRIVATE PLANS IF FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTION BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH MADISON STANDARDS SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. SEE NOTE NO. 1.

UTILITY NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDMR.
- BEFORE CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING ALL PERMITS INCLUDING PERMIT COSTS, 7-DE FEES, METER DEPOSITS, BONDS AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTORS EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
- ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6\"/>



Revisions:

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WYSER NUMBER: 20-0698

Set Type: SCHEMATIC DESIGN

Date Issued: 06/09/2023

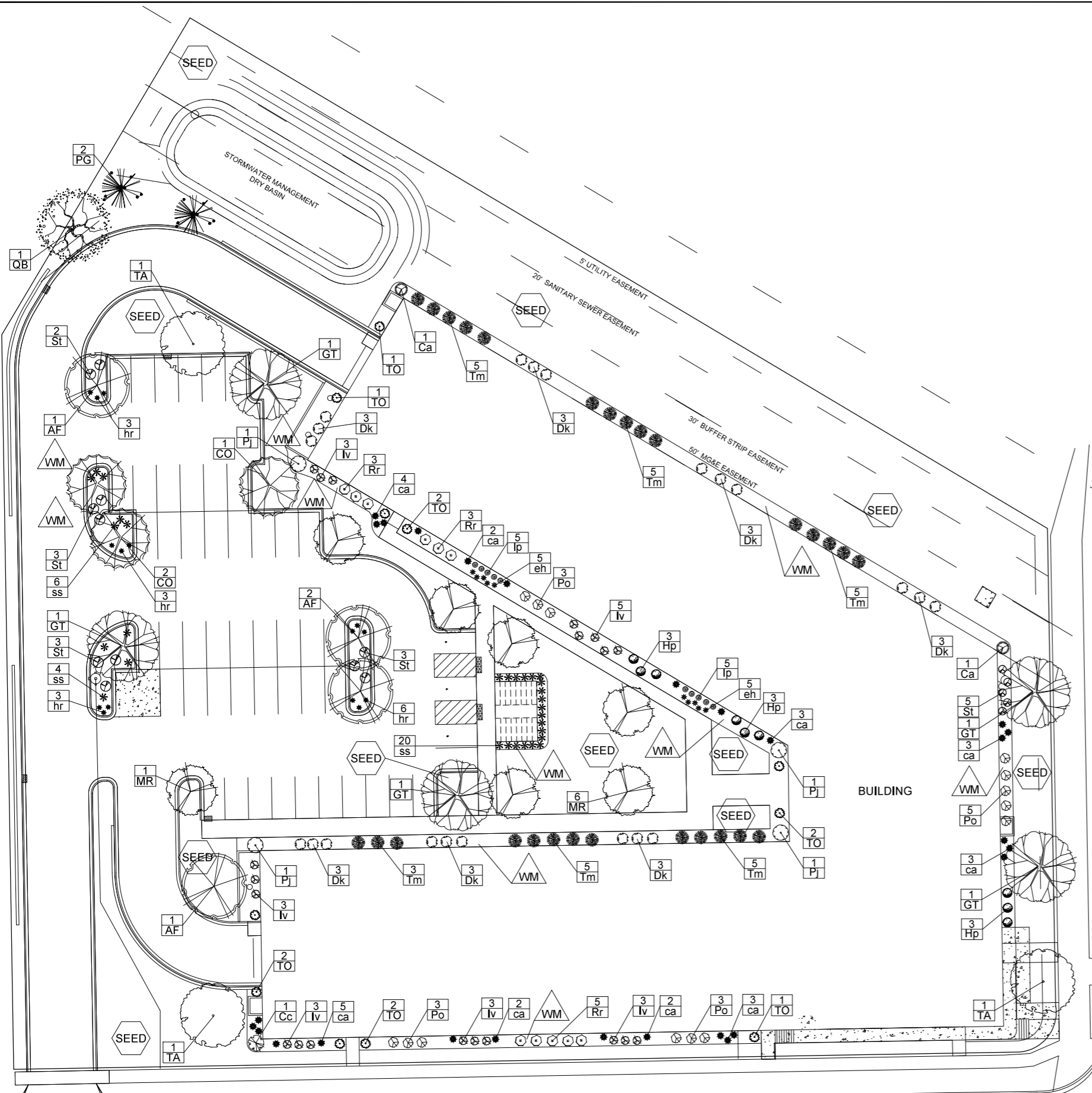
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City of Madison, WI Landscape Worksheet
Zoning District Category
6/9/2023
ROYSTER CORNERS - LOT 60

| DEVELOPED LOTS | TOTAL DEVELOPED AREA 122543 sf (lot) - 38474 (building footprint) | CREDITS / EXISTING LANDSCAPING | | NEW / PROPOSED LANDSCAPING | | TOTAL POINTS ACHIEVED |
|---|--|--------------------------------|-----------------|----------------------------|-----------------|-----------------------|
| | | POINT VALUE | QUANTITY | QUANTITY | POINTS ACHIEVED | |
| | 84,169 | | | | 1403 | |
| PLANT TYPE / ELEMENT | POINT VALUE | QUANTITY | POINTS ACHIEVED | QUANTITY | POINTS ACHIEVED | |
| Overstory Deciduous | 35 | 0 | 16 | 550 | | |
| Tall Evergreen Tree | 35 | 0 | 2 | 70 | | |
| Ornamental Tree | 15 | 0 | 7 | 105 | | |
| Upright Evergreen Shrub (i.e. arborvitae) | 10 | 0 | 11 | 110 | | |
| Shrub, deciduous | 3 | 0 | 98 | 294 | | |
| Shrub, evergreen | 4 | 0 | 28 | 112 | | |
| Ornamental Grasses/Perennials | 2 | 0 | 93 | 186 | | |
| Ornamental/Decorative Fencing or Wall (4pts / 10LF) | 4 | 0 | 0 | 0 | | |
| Existing Significant Specimen Tree | 14 | 0 | 0 | 0 | | |
| Landscape Furniture for public seating and/or transit connections | 5 | 0 | 0 | 0 | | |
| | | 0 | 0 | 1437 | | |
| TOTAL POINTS ACHIEVED | | | | | | 1437 |

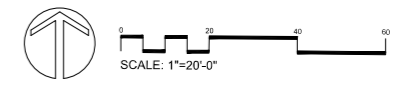
PLANT LIST

| KEY | SCIENTIFIC NAME | COMMON NAME | QTY | SIZE | ROOT | STEM |
|--|--|------------------------------------|-----|------|-------|------|
| DECIDUOUS TREES | | | | | | |
| AF | <i>Acer x freemanii</i> 'Jefersred' | Autumn Blaze Maple | 4 | 2" | B&B | |
| CO | <i>Celtis occidentalis</i> | Common Hackberry | 3 | 2" | B&B | |
| GT | <i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline' | Skyline Honeylocust | 5 | 2" | B&B | |
| QB | <i>Quercus bicolor</i> | Swamp White Oak | 1 | 2" | B&B | |
| TA | <i>Tilia americana</i> 'McK'Sentry' | American Sentry Linden | 3 | 2" | B&B | |
| ORNAMENTAL TREES | | | | | | |
| MR | <i>Malus</i> 'JFS-KW5' | Royal Raindrops Crabapple | 7 | 2" | B&B | |
| EVERGREEN TREES | | | | | | |
| PG | <i>Picea glauca</i> var. <i>densata</i> | Black Hills Spruce | 2 | 6" | B&B | |
| TO | <i>Thuja occidentalis</i> 'Emerald Green' | Emerald Green Arborvitae | 11 | 6" | B&B | |
| EVERGREEN SHRUBS | | | | | | |
| Tm | <i>Taxus x media</i> 'Tautoni' | Taunton Yew | 28 | #5 | Cont. | |
| DECIDUOUS SHRUBS | | | | | | |
| Ca | <i>Cornus alba</i> 'Bailhalo' | Ivory Halo Dogwood | 2 | #5 | Cont. | |
| Cc | <i>Cotinus coggygria</i> 'NCC01' | Winecraft Black Smokebush | 1 | #5 | Cont. | |
| Dk | <i>Diervilla</i> 'G2X885411' | Kodiak Red Bush Honeysuckle | 21 | #3 | Cont. | |
| Hp | <i>Hydrangea paniculata</i> 'SMHPLQF' | Little Quickfire Hydrangea | 9 | #3 | Cont. | |
| Iv | <i>Itea virginica</i> 'Sprich' | Little Henry Dwarf Sweetspire | 20 | #3 | Cont. | |
| PJ | <i>Physocarpus opulifolius</i> 'JEFAN' | Amber Jubilee Ninebark | 4 | #3 | Cont. | |
| Po | <i>Physocarpus opulifolius</i> 'SMPOTW' | Tiny Wine Ninebark | 14 | #3 | Cont. | |
| Rr | <i>Rosa</i> 'Radtko' | Double Knock Out Rose | 11 | #5 | Cont. | |
| St | <i>Spiraea betulifolia</i> 'Tor' | Tor Birchleaf Spirea | 16 | #3 | Cont. | |
| ORNAMENTAL GRASSES & PERENNIALS | | | | | | |
| ca | <i>Calamagrostis x acutiflora</i> 'Karl Foerster' | Karl Foerster Feather Reed Grass | 28 | #1 | Cont. | |
| eh | <i>Echinacea</i> 'Hot Papaya' | Hot Papaya Coneflower | 10 | #1 | Cont. | |
| hr | <i>Hemerocallis</i> 'Rosy Returns' | Rosy Returns Daylily | 15 | #1 | Cont. | |
| lp | <i>Lavandul x intermedia</i> 'Niko' | Phenomenal Lavender | 10 | #1 | Cont. | |
| ss | <i>Schizachyrium scoparium</i> 'Prairie Blues' | Prairie Blue Little Bluestem Grass | 30 | #1 | Cont. | |

DEMPSEY ROAD

- Brown Dyed Wood Mulch with Dimex EdgePro polyvinyl (black plastic) edging
- Premium sunny grass seed blend with straw mat, (Class 1 Type B single net)

- LANDSCAPE NOTES:**
- Please refer to Grading & Erosion Control Plan for final contour information.
 - See CIVIL PLANS for Stormwater Basin details
 - Individual tree and shrub groupings in lawn areas to receive wood mulch rings with trench edge.
 - Add street trees per the direction of the City Forester, as required.



PINNEY STREET

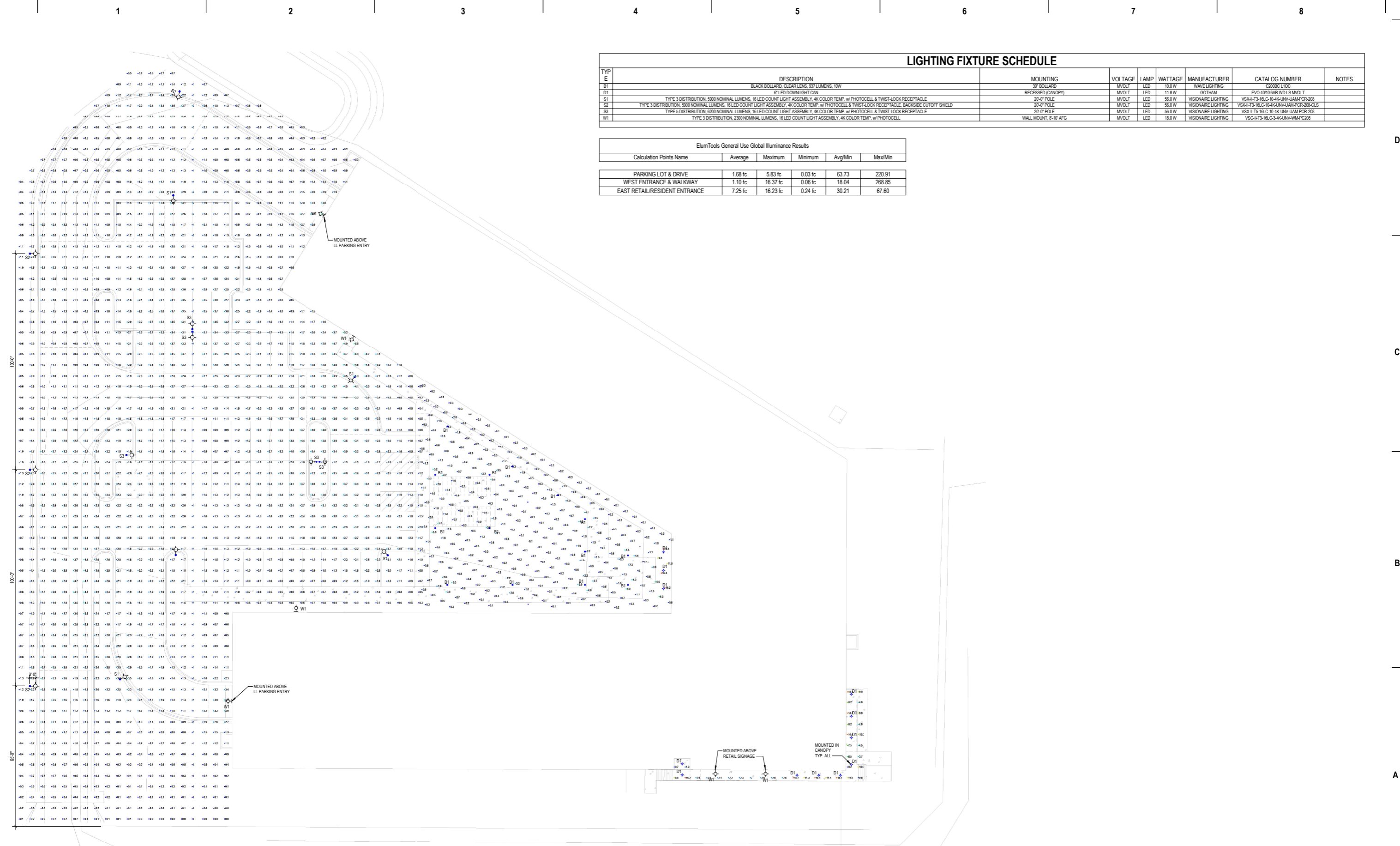
Date: JUNE 9, 2023
Scale: 1" = 20'-0"
Designer: kms
Job #

Seal
To protect against legal liability, the plans presented herein are "schematic" and should not be outsourced as "biddable" or "construction documents" unless approved by the Landscape Designer. This is not an original document unless stamped in red, as ORIGINAL.

Revisions:

L100

Reference Name:
Ruedebsch Development



LIGHTING FIXTURE SCHEDULE

| TYP | DESCRIPTION | MOUNTING | VOLTAGE | LAMP | WATTAGE | MANUFACTURER | CATALOG NUMBER | NOTES |
|-----|---|------------------------|---------|------|---------|---------------------|---|-------|
| E | BLACK BOLLARD, CLEAR LENS, 357 LUMENS, 10W | 3" BOLLARD | 120V | LED | 10.0 W | WAVE LIGHTING | C20BCE L10C | |
| B1 | 6" LED DOWNLIGHT CAN | RECESSED (CANOPY) | 120V | LED | 11.8 W | GOTHAM | EVO 40/10 6AR W/D L5 M/VOLT | |
| D1 | TYPE 3 DISTRIBUTION, 5000 NOMINAL LUMENS, 16 LED COUNT LIGHT ASSEMBLY, 4K COLOR TEMP, w/ PHOTOCELL & TWIST-LOCK RECEPTACLE | 20'-0" POLE | 120V | LED | 56.0 W | VISIONAIRE LIGHTING | VSK-I-13-16L-10-4K-UNV-UJAM-PCR-208 | |
| S1 | TYPE 3 DISTRIBUTION, 5000 NOMINAL LUMENS, 16 LED COUNT LIGHT ASSEMBLY, 4K COLOR TEMP, w/ PHOTOCELL & TWIST-LOCK RECEPTACLE BACKSIDE CUTOFF SHIELD | 20'-0" POLE | 120V | LED | 56.0 W | VISIONAIRE LIGHTING | VSK-I-13-16L-10-4K-UNV-UJAM-PCR-208-CLS | |
| S2 | TYPE 5 DISTRIBUTION, 6200 NOMINAL LUMENS, 16 LED COUNT LIGHT ASSEMBLY, 4K COLOR TEMP, w/ PHOTOCELL & TWIST-LOCK RECEPTACLE | 20'-0" POLE | 120V | LED | 56.0 W | VISIONAIRE LIGHTING | VSK-I-13-16L-10-4K-UNV-UJAM-PCR-208 | |
| S3 | TYPE 3 DISTRIBUTION, 2300 NOMINAL LUMENS, 16 LED COUNT LIGHT ASSEMBLY, 4K COLOR TEMP, w/ PHOTOCELL | WALL MOUNT, 8'-10" AFG | 120V | LED | 18.0 W | VISIONAIRE LIGHTING | VSC-I-13-16L-3-4K-UNV-WM-PCR-208 | |
| W1 | | | | | | | | |

ElumTools General Use Global Illuminance Results

| Calculation Points Name | Average | Maximum | Minimum | Avg/Min | Max/Min |
|-------------------------------|---------|----------|---------|---------|---------|
| PARKING LOT & DRIVE | 1.68 fc | 5.83 fc | 0.03 fc | 63.73 | 220.91 |
| WEST ENTRANCE & WALKWAY | 1.10 fc | 16.37 fc | 0.06 fc | 18.04 | 268.85 |
| EAST RETAIL/RESIDENT ENTRANCE | 7.25 fc | 16.23 fc | 0.24 fc | 30.21 | 67.60 |

1 SITE PLAN
1/8" = 1'-0"

333 East Chicago Street
Milwaukee, WI 53202
(414) 271-5350
www.eua.com

ENGINEER OF RECORD: First and Last Name
DIRECT PHONE: (000) 000-0000
EMAIL ADDRESS: name@eua.com

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KEY PLAN

| DATE | DESCRIPTION |
|------------|---------------------------|
| 09/12/2023 | PLAN COMMISSION SUBMITTAL |

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

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PROJECT INFORMATION

ROYSTER LOT 60

526 PINNEY STREET
MADISON, WI 53714

SHEET INFORMATION





SITE LIGHTING
PHOTOMETRIC PLAN
E200

SHEET NAME:

SHEET NUMBER:

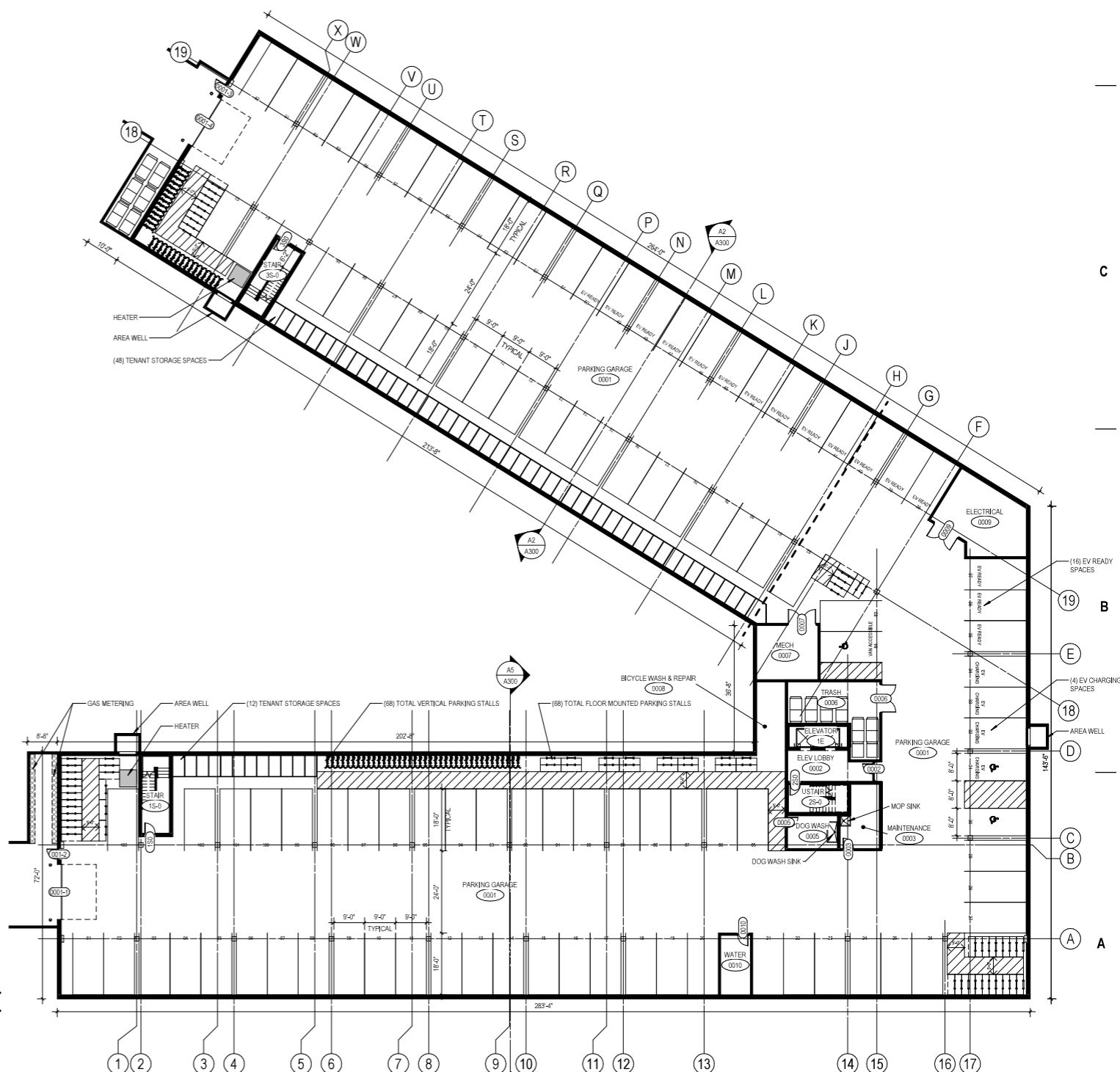
PROJECT NUMBER: 723129
PROJECT MANAGER: RS

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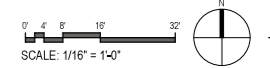
| UNIT TYPE LEGEND | |
|---|-----------|
|  | STUDIO |
|  | 1 BEDROOM |
|  | 1BR + DEN |
|  | 2 BEDROOM |



A4 FIRST FLOOR PLAN
1/16" = 1'-0"



A7 LL PLAN
1/16" = 1'-0"



KEY PLAN

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|---------------------------|
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PROJECT INFORMATION

ROYSTER LOT 60





526 PINNEY STREET
MADISON, WI 53714

PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

SHEET INFORMATION

SHEET NAME: LL & 1ST FLR PLAN
SHEET NUMBER: **A100**



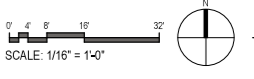
| UNIT TYPE LEGEND | |
|---|-----------|
|  | STUDIO |
|  | 1 BEDROOM |
|  | 1BR + DEN |
|  | 2 BEDROOM |



A4 THIRD FLOOR PLAN
1/16" = 1'-0"



A7 SECOND FLOOR PLAN
1/16" = 1'-0"



KEY PLAN

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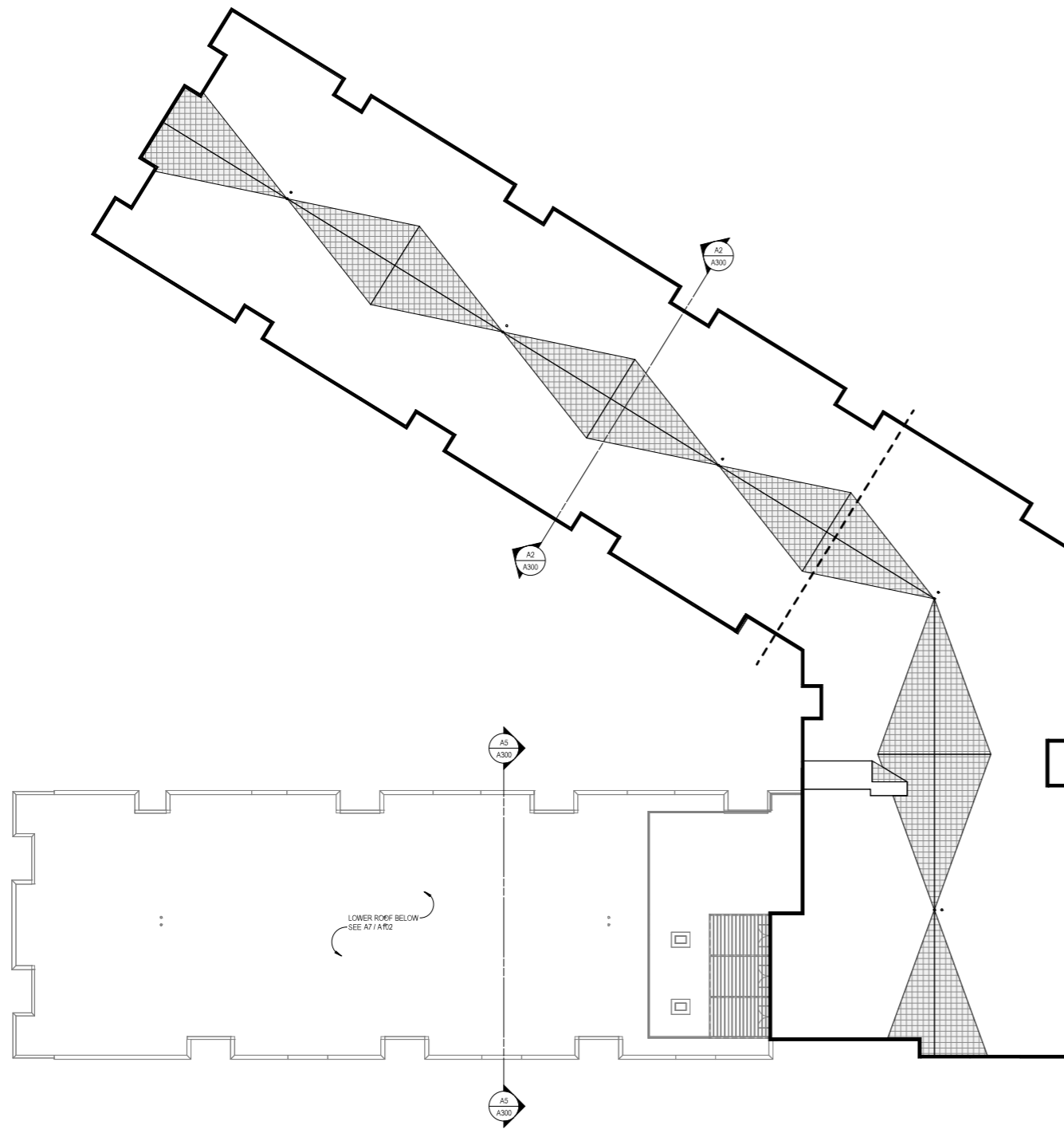
PROJECT INFORMATION
ROYSTER LOT 60

526 PINNEY STREET
MADISON, WI 53714

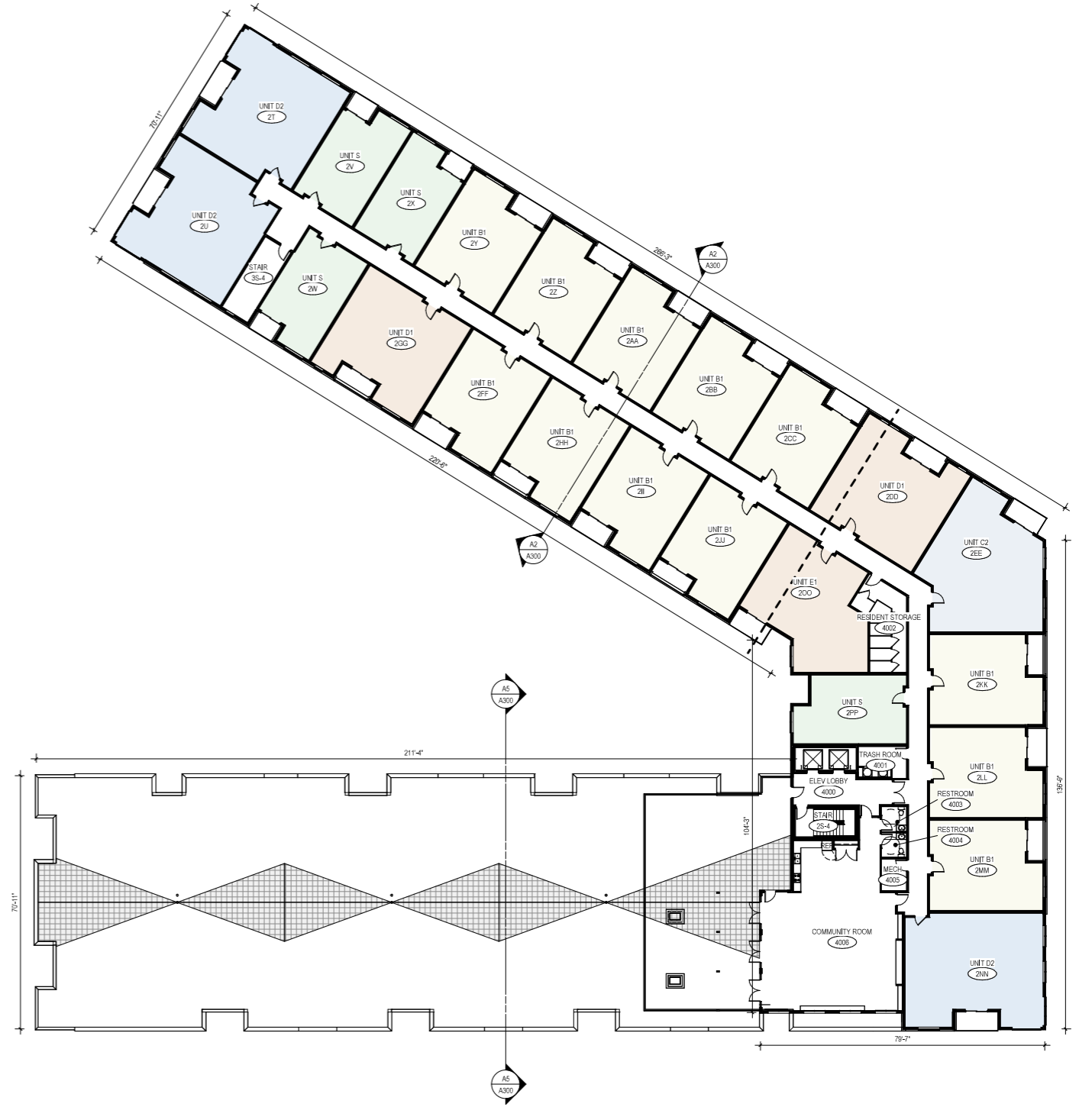
PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

SHEET NAME: 2ND & 3RD FLR PLAN
A101
SHEET NUMBER:

| UNIT TYPE LEGEND | |
|---|-----------|
|  | STUDIO |
|  | 1 BEDROOM |
|  | 1BR + DEN |
|  | 2 BEDROOM |



4A OVERALL ROOF PLAN
1/16" = 1'-0"



A7 FOURTH FLOOR PLAN
1/16" = 1'-0"
SCALE: 1/16" = 1'-0"



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KEY PLAN

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PROJECT INFORMATION

ROYSTER LOT 60

526 PINNEY STREET
MADISON, WI 53714

PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

SHEET INFORMATION

SHEET NAME: 4TH FLR & ROOF PLAN
A102
SHEET NUMBER:

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SHEET NOTES - EXTERIOR ELEVATIONS

- SEE SHEET <XXXX> FOR EXTERIOR FRAME TYPES AND DIMENSIONS.
- PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
- ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TRIM TO NOT BE MITERED.
- EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, OWNER AND SIGNAGE VENDOR.
- ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT.
- M.E. INDICATES MOVEMENT JOINT - 1/2" GAP.
- P.I. INDICATES METAL PANEL JOINT - 1/2" GAP.



C1 SOUTH ELEVATION
1/8" = 1'-0"



A1 EAST ELEVATION
1/8" = 1'-0"



A6 WEST ELEVATION
1/8" = 1'-0"



KEY PLAN

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|---------------------------|
| 09/12/2023 | PLAN COMMISSION SUBMITTAL |

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PROJECT INFORMATION

ROYSTER LOT 60

526 PINNEY STREET
MADISON, WI 53714

PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

SHEET INFORMATION

SHEET NAME: **EXTERIOR ELEVATIONS**
A200

SHEET NUMBER:

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| SHEET NOTES - EXTERIOR ELEVATIONS | |
|-----------------------------------|---|
| 1. | SEE SHEET «XXXX» FOR EXTERIOR FRAME TYPES AND DIMENSIONS. |
| 2. | PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS. |
| 3. | ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TRIM TO NOT BE MITERED. |
| 4. | EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, OWNER AND SIGNAGE VENDOR. |
| 5. | ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT. |
| 6. | MJ= INDICATES MOVEMENT JOINT - 1/2" GAP. |
| 7. | PI= INDICATES METAL PANEL JOINT - 1/2" GAP. |



C1 NORTHEAST ELEVATION
1/8" = 1'-0"



A1 NORTHWEST ELEVATION
1/8" = 1'-0"



A5 EAST COURTYARD ELEVATION
1/8" = 1'-0"



KEY PLAN

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|---------------------------|
| 09/12/2023 | PLAN COMMISSION SUBMITTAL |

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PROJECT INFORMATION
ROYSTER LOT 60

526 PINNEY STREET
MADISON, WI 53714

PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

SHEET INFORMATION

| | |
|---------------|---------------------|
| SHEET NAME: | EXTERIOR ELEVATIONS |
| SHEET NUMBER: | A201 |

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**SHEET NOTES -
EXTERIOR ELEVATIONS**

1. SEE SHEET «XXXX» FOR EXTERIOR FRAME TYPES AND DIMENSIONS.
2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TRIM TO NOT BE MITERED.
4. EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, OWNER AND SIGNAGE VENDOR.
5. ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT.
6. M=C INDICATES MOVEMENT JOINT - 1/2" GAP.
7. P=C INDICATES METAL PANEL JOINT - 1/2" GAP.



B1 NORTH COURTYARD ELEVATION
1/8" = 1'-0"



A1 SOUTH COURTYARD ELEVATION
1/8" = 1'-0"



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KEY PLAN

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|------------|---------------------------|
| 09/12/2023 | PLAN COMMISSION SUBMITTAL |

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PROJECT INFORMATION

ROYSTER LOT 60

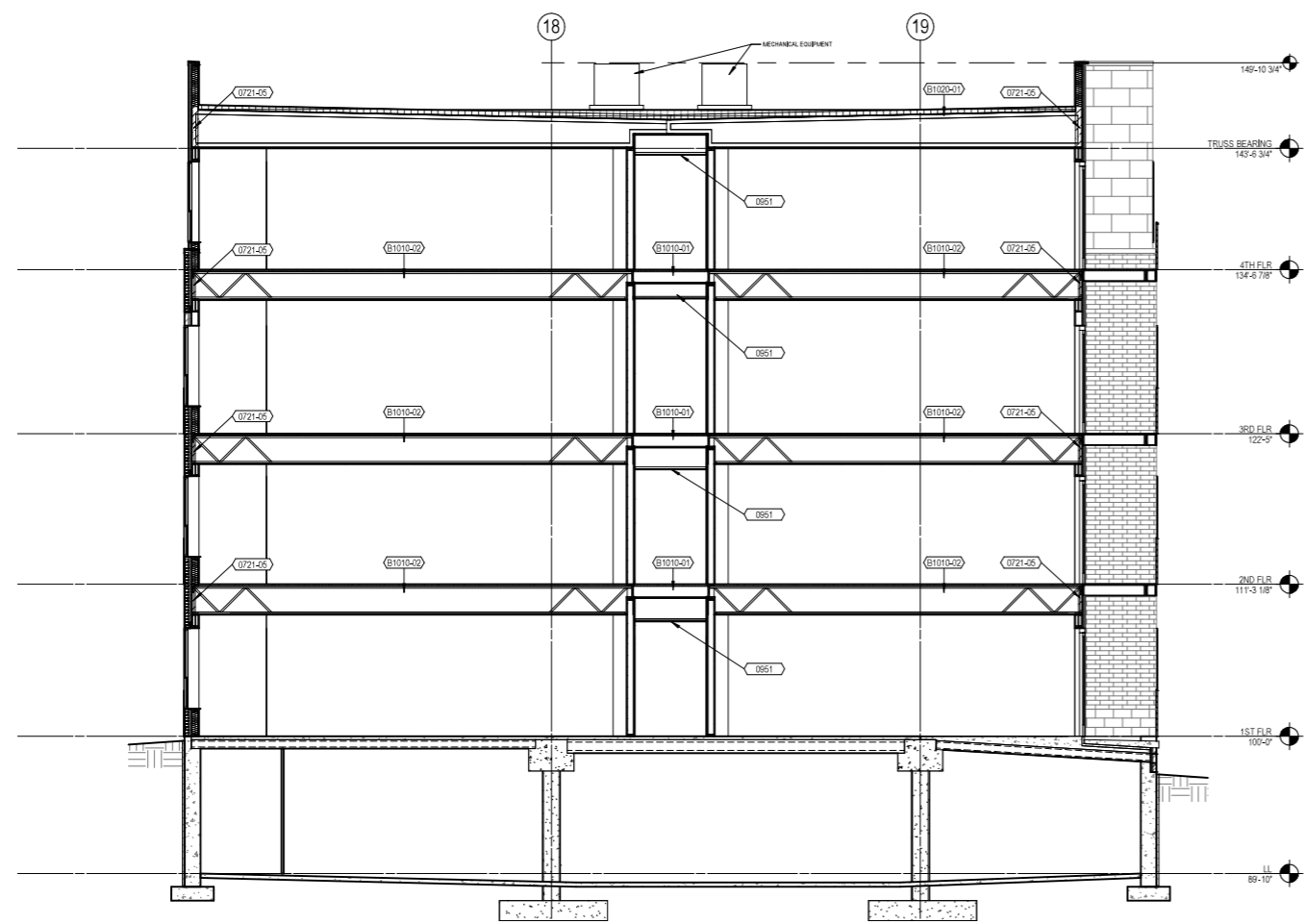
526 PINNEY STREET
MADISON, WI 53714

PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

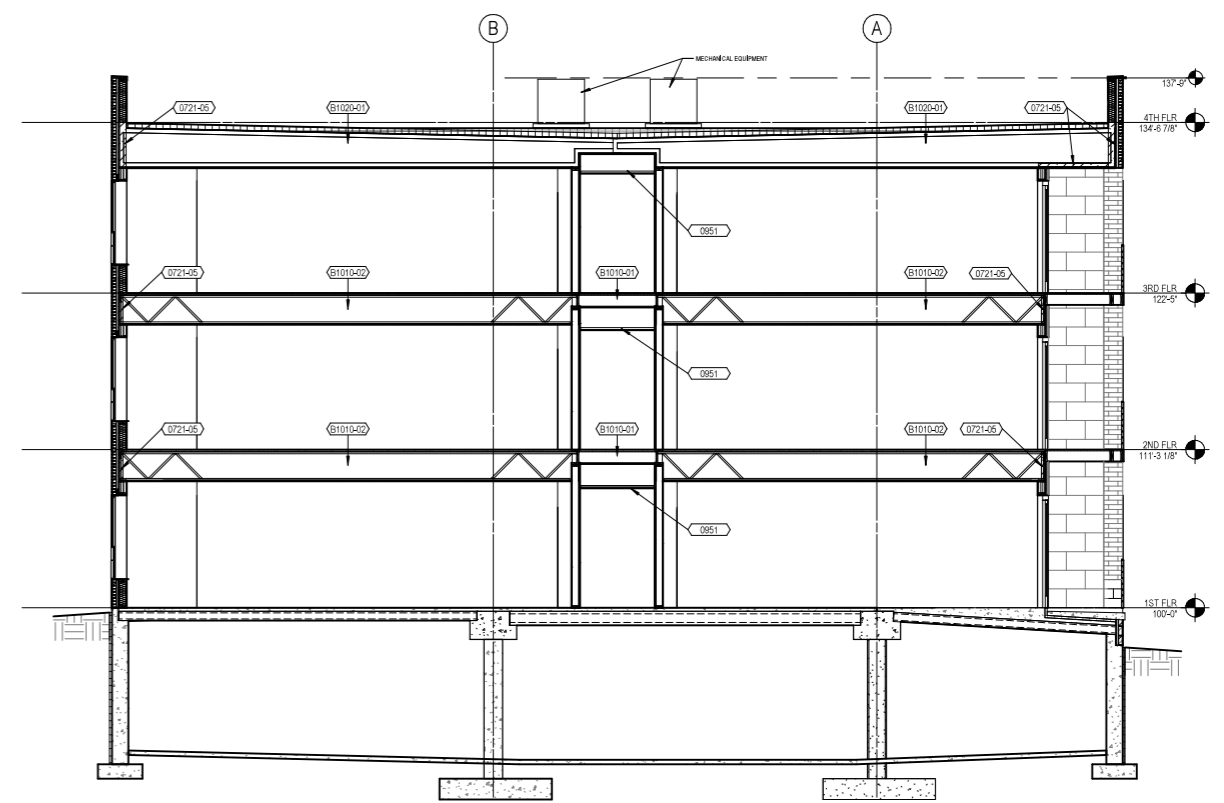
SHEET INFORMATION

SHEET NAME: EXTERIOR ELEVATIONS
A202
SHEET NUMBER:

| KEYNOTES PER SHEET | |
|--------------------|---|
| 0721-05 | SPRAY-APPLIED CLOSED CELL POLYURETHANE FOAM INSULATION |
| 0951 | ACOUSTICAL CEILING |
| B1010-01 | WOOD JOIST FLOOR SYSTEM - SEE BUILDING ASSEMBLIES ON SHEET A000 |
| B1010-02 | WOOD TRUSS FLOOR SYSTEM - SEE BUILDING ASSEMBLIES ON SHEET A000 |
| B1020-01 | WOOD TRUSS ROOF SYSTEM - SEE BUILDING ASSEMBLIES ON SHEET A000 |



A2 BUILDING SECTION - 4 STORY
3/16" = 1'-0"



A5 BUILDING SECTION - 3 STORY
3/16" = 1'-0"

SCALE: 3/16" = 1'-0"



KEY PLAN

ISSUANCE AND REVISIONS

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PROJECT INFORMATION

ROYSTER LOT 60

526 PINNEY STREET
MADISON, WI 53714

SHEET INFORMATION

PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

SHEET NAME: BUILDING SECTIONS
A300
SHEET NUMBER:



SOUTHEAST PERSPECTIVE RENDERING



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KEY PLAN

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PROJECT INFORMATION

ROYSTER LOT 60

526 PINNEY STREET
MADISON, WI 53714

PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

SHEET INFORMATION

SHEET NAME: EXTERIOR RENDERING
A900
SHEET NUMBER:

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SOUTHWEST PERSPECTIVE RENDERING



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KEY PLAN

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PROJECT INFORMATION

ROYSTER LOT 60

526 PINNEY STREET
MADISON, WI 53714

PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

SHEET INFORMATION

SHEET NAME: EXTERIOR RENDERING
A901
SHEET NUMBER:

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NORTHWEST COURTYARD PERSPECTIVE RENDERING



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KEY PLAN

ISSUANCE AND REVISIONS

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|------------|---------------------------|
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PROJECT INFORMATION

ROYSTER LOT 60

526 PINNEY STREET
MADISON, WI 53714

PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

SHEET INFORMATION

SHEET NAME: EXTERIOR RENDERING
A902
SHEET NUMBER:

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AERIAL PERSPECTIVE RENDERING



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KEY PLAN

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|---------------------------|
| 09/12/2023 | PLAN COMMISSION SUBMITTAL |

**PROGRESS DOCUMENTS
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PROJECT INFORMATION

ROYSTER LOT 60

526 PINNEY STREET
MADISON, WI 53714

PROJECT NUMBER: 723129-01
PROJECT MANAGER: RS

SHEET INFORMATION

SHEET NAME: EXTERIOR RENDERING
A903
SHEET NUMBER:

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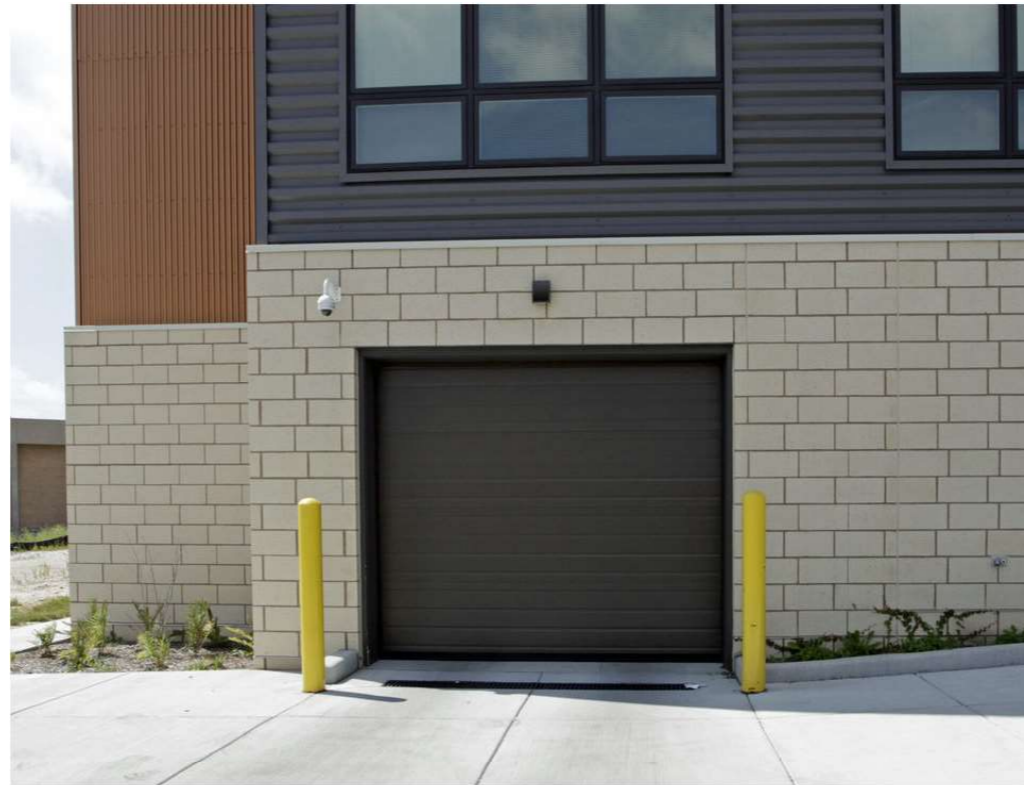
Metal Siding

Color: Gray
Size: 9x15



BRICK 1

Color: Artic White
Size: 8x16



BRICK 2

Color: Artic White
Size: Module



Storefront

Color: Black



Composite/Vinyl Window System

Color: Black



Canopy

Wood Soffit



Precast

Color: Buff



Railings

Color: Black



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ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------------|---------------------------|
| 09/12/2023 | PLAN COMMISSION SUBMITTAL |

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

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PROJECT INFORMATION

Royster Lot 60

526 Pinney Street

SHEET INFORMATION

SHEET NAME: EXTERIOR MATERIALS

A904

PROJECT NUMBER: 723129-01

PROJECT MANAGER: PM

SHEET NUMBER:

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CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 526 Pinney Street
 Name of Project Royster Corners Lot 60
 Owner / Contact Ruedebusch Development & Construction, Inc, Carl Ruedebusch
 Contact Phone (608) 243-9052 Contact Email carl@ruedebusch.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size
 MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 84,169

Total landscape points required 1,403

- (b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

- (c) For the Industrial – Limited (IL) and Industrial – General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

| Plant Type/ Element | Minimum Size at Installation | Points | Credits/ Existing Landscaping | | New/ Proposed Landscaping | |
|---|--|---|-------------------------------|-----------------|---------------------------|-----------------|
| | | | Quantity | Points Achieved | Quantity | Points Achieved |
| Overstory deciduous tree | 2½ inch caliper measured diameter at breast height (dbh) | 35 | | | 16 | 560 |
| Tall evergreen tree (i.e. pine, spruce) | 5-6 feet tall | 35 | | | 2 | 70 |
| Ornamental tree | 1 1/2 inch caliper | 15 | | | 7 | 105 |
| Upright evergreen shrub (i.e. arborvitae) | 3-4 feet tall | 10 | | | 11 | 110 |
| Shrub, deciduous | #3 gallon container size, Min. 12"-24" | 3 | | | 98 | 294 |
| Shrub, evergreen | #3 gallon container size, Min. 12"-24" | 4 | | | 28 | 112 |
| Ornamental grasses/ perennials | #1 gallon container size, Min. 8"-18" | 2 | | | 93 | 192 |
| Ornamental/ decorative fencing or wall | n/a | 4 per 10 lineal ft. | | | | |
| Existing significant specimen tree | Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points. | 14 per caliper inch dbh. Maximum points per tree: 200 | | | | |
| Landscape furniture for public seating and/or transit connections | * Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points. | 5 points per "seat" | | | | |
| Sub Totals | | | | | | 1443 |

Total Number of Points Provided 1,443

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces shall be landscaped** in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

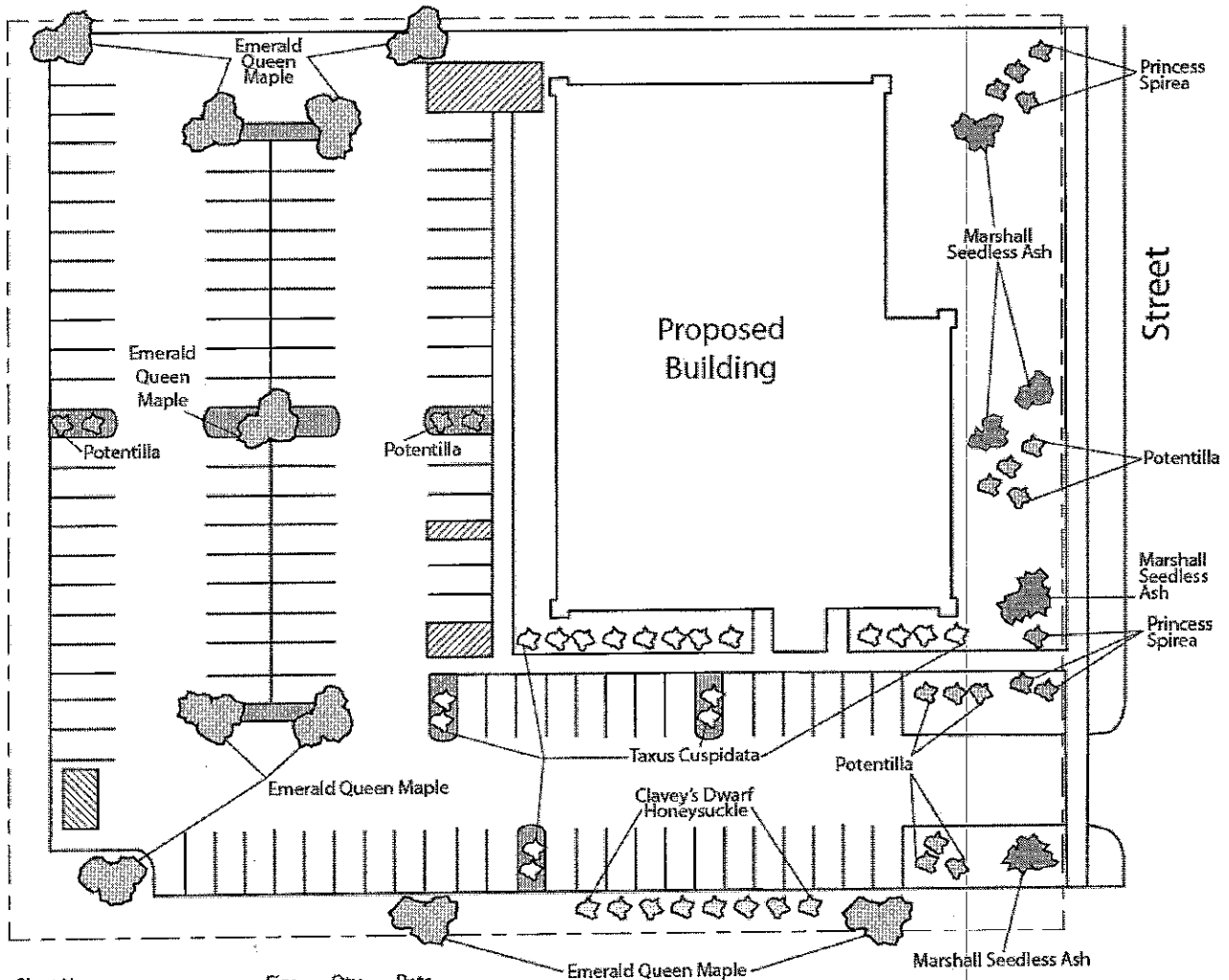
Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan



| Plant Name | Size | Qty. | Pnts. |
|----------------------------|--------|-------|-------|
| Emerald Queen Maple | 2-2.5" | 9 | - |
| Marshall Seedless Ash | 2-2.5" | 4 | 450 |
| Clavey's Dwarf Honeysuckle | 1 Gal | 8 | 24 |
| Princess Spirea | 1 Gal | 7 | 21 |
| Potentilla | 1 Gal | 10 | 30 |
| Taxus Cuspidata | 2 Gal | 12 | 60 |
| | | TOTAL | 585 |

Call City Zoning, 266-4551, with your questions about this type of plan

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
 2. Site amenities, including bike racks, benches, trash receptacles, etc.
 3. Storage areas including trash and loading.
 4. Lighting (landscape, pedestrian or parking area).
 5. Irrigation.
 6. Hard surface materials.
 7. Labeling of mulching, edging and curbing.
 8. Areas of seeding or sodding.
 9. Areas to remain undisturbed and limits of land disturbance.
 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 11. Existing trees eight (8) inches or more in diameter.
 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.