



Madison Landmarks Commission APPLICATION

City of Madison Planning Division
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

1. LOCATION

Project Address: 640 E. GORHAM ST Aldermanic District: 2

2. PROJECT

Date Submitted: 7-11-12

Project Title / Description: Robert + Irene Comor House Restoration + Addition

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- New Construction in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other (specify): _____

3. APPLICANT

Applicant's Name: Joe Lussan + Aileen Tierney Company: _____
 Address: 627 E. GORHAM City/State: Madison WI Zip: 53703
 Telephone: 608-267-2182(w) 608-256-5941(h) E-mail: JOELUSSAN@GMAIL.COM
 Property Owner (if not applicant): _____
 Address: _____ City/State: _____ Zip: _____
 Property Owner's Signature: [Signature] Date: 7-11-12

GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
 - Site plan showing all property lines and structures
 - Building elevations, plans and other drawings as needed to illustrate the project
 - Photos of existing house/building
 - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

Questions? Please contact the
Historic Preservation Planner:
Amy Scanlon
Phone: 608.266.6552
Email: ascanlon@cityofmadison.com

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

July 11, 2012

Amy Scanlon
Preservation Planner
City of Madison
Dept. of Planning & Community & Economic Development
Madison Municipal Building Ste LL.100
215 Martin Luther King Jr Blvd
Madison WI 53701

Dear Ms. Scanlon,

As you know, we are in the process of purchasing the landmarked Robert and Irene Connor House at 640 E. Gorham Street, in James Madison Park, from the City of Madison. Our intention is to restore the home and occupy it as our primary residence. We anticipate closing on the house in August 2012.

TDS Custom Construction, with many years' experience working on national register properties, and numerous awards from the Madison Trust for Historic Preservation, will be our general contractor.

Our plans include adding a four-season room (lake room) over new basement space on the back, and add a deck with stairs to reach the lower level of the back yard. The lake room and deck would be accessed, respectively, from new French doors which would replace the current non-original picture windows.

The original wood, double-hung and casement windows will be restored. We'll have new wood-framed storm and screen windows built for all windows. New windows in the additions and dining room will be simulated divided-light windows from Marvin. Also being restored is the spider web fanlight over the front door, and a damaged quarter-circle window in the attic.

Rather than 'gutting' the interior, we'll have old wiring carefully replaced and plaster patched as needed. The non-decorative radiators and furnace will be replaced by a forced air heating and air conditioning system. Other aspects of the project include asbestos removal, wood floor refinishing, exterior trim painting and tuckpointing.

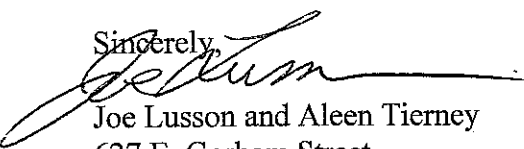
Other alterations:

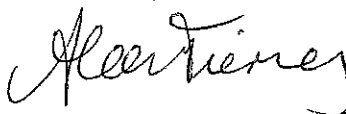
- * adding a window on the western side of the dining room
- * adding a small first-floor bathroom, extending 2 1/2 feet toward the lake from the existing house, in the nook at the western corner

In preparing our national register tax credit project, we have met with state preservation architect Jen Davel. Ms. Davel seemed to like nearly every aspect of our project. She requested just a couple minor and reasonable changes which we have gladly made.

We look forward to answering any questions you or the commissioners may have.

Sincerely,


Joe Lusson and Aleen Tierney
627 E. Gorham Street



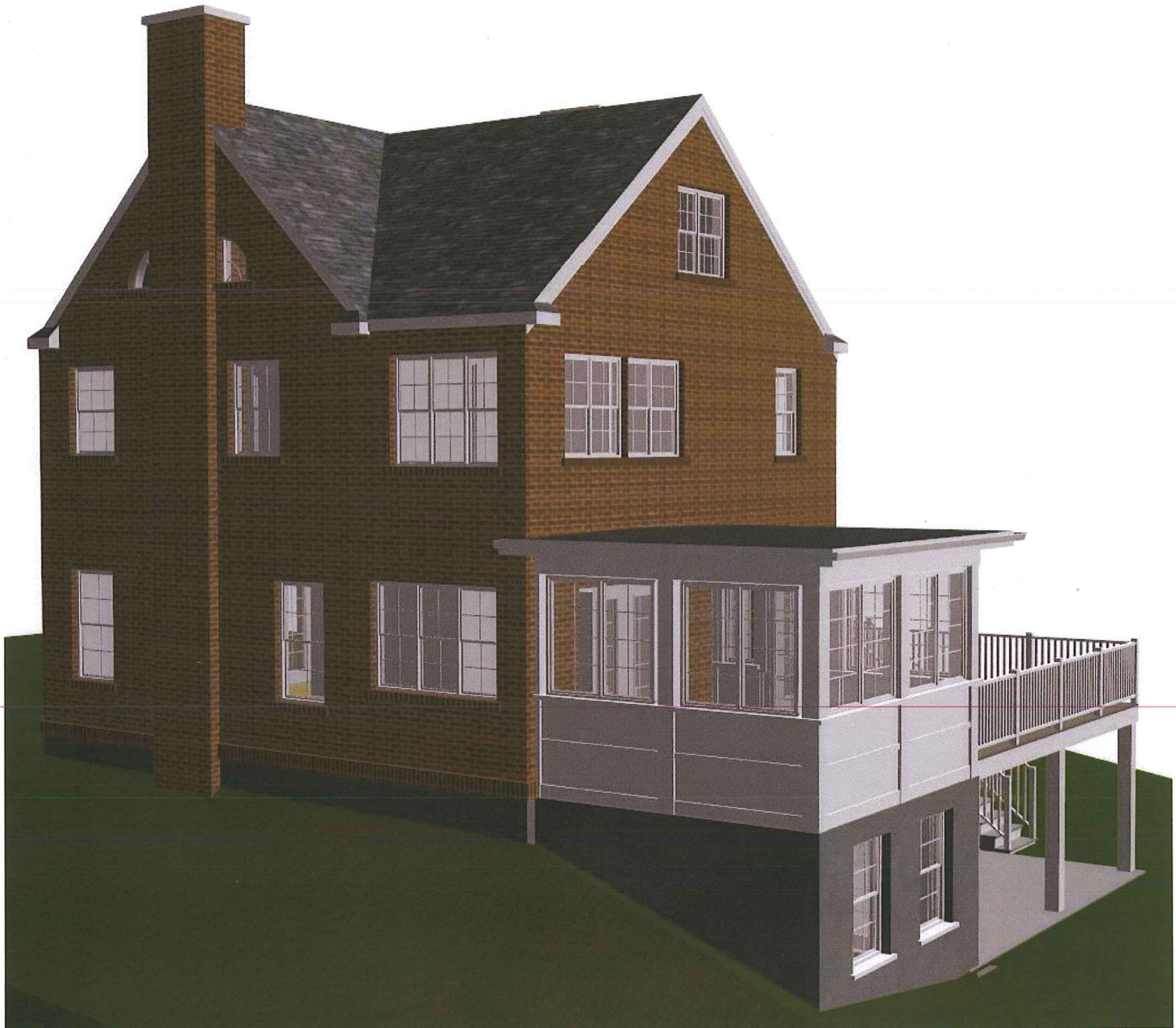
640 E. Gorham

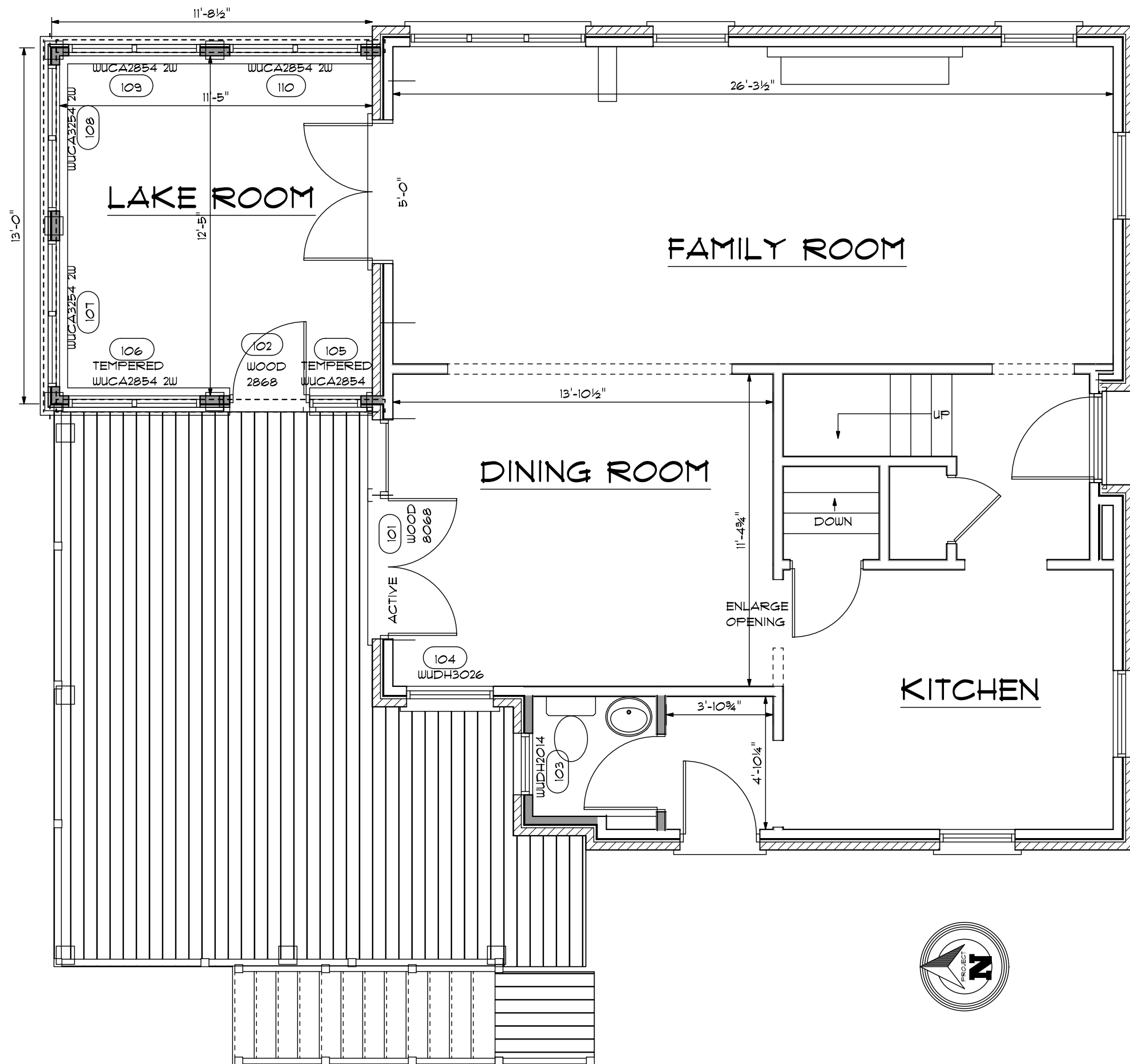


APPENDIX 8 (Lusson-Tierney) 640 E. Gorham Rear Windows









1431 NORTHERN CT
MADISON, WI 53703
(608) 251-1814

LUSSON TIERNEY
REMODEL
640 E GORHAM
MADISON, WI 53706

PDA NO: 1743

FLOOR PLAN

SCALE: 1/4" = 1'-0"

DATE: 7/5/2012

SHEET NO.

01

PREPARED BY: **Donna** OF 05



1431 NORTHERN CT
MADISON, WI 53703
(608) 251-1814

LUSSON TIERNEY
REMODEL
640 E GORHAM
MADISON, WI 53706

PDA NO: 1743

ELEVATIONS

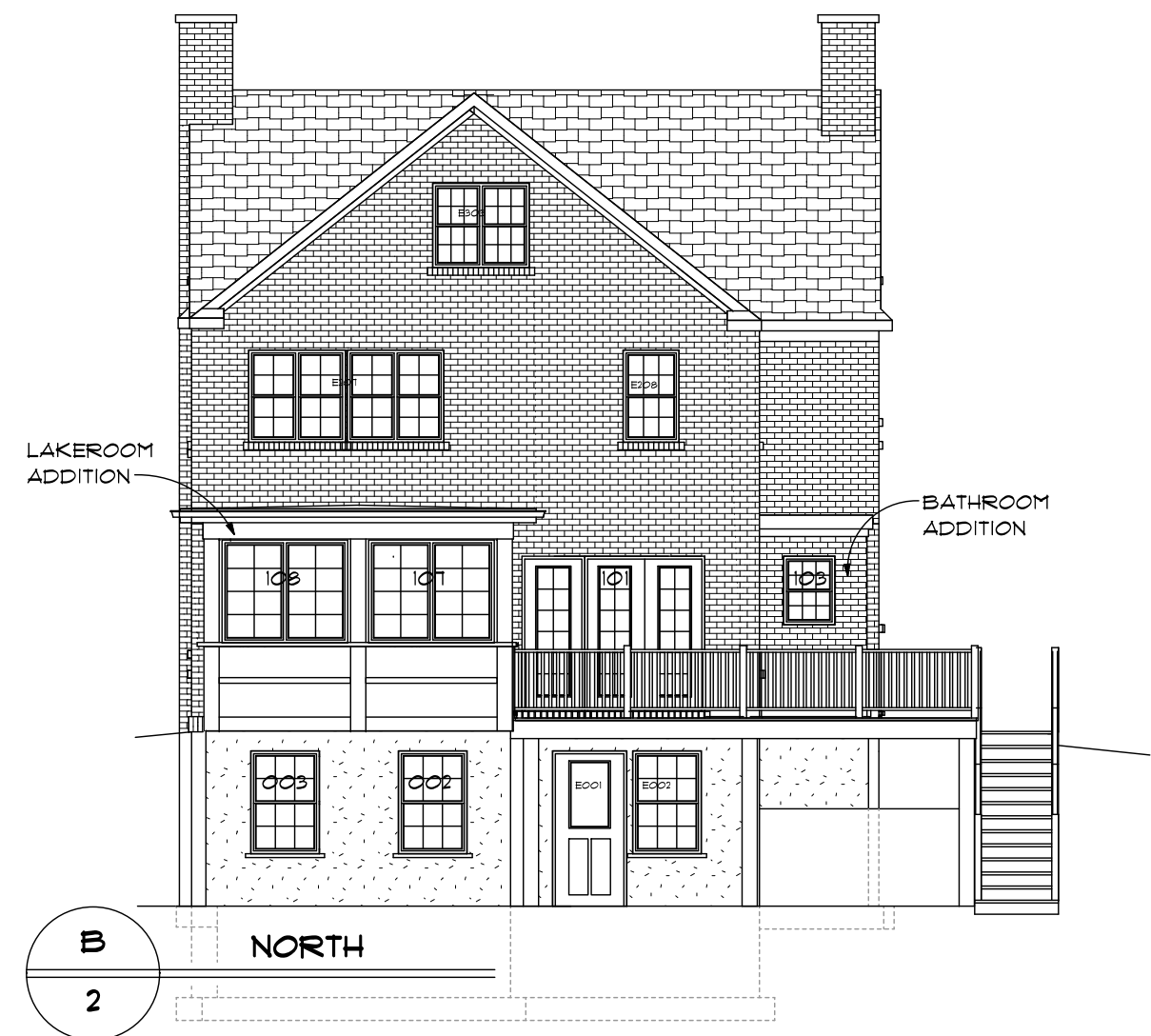
SCALE: 1/8" = 1'-0"

DATE: 7/5/2012

SHEET NO.

02

PREPARED BY: DONALD OF 05



A
2
WEST

B
2
NORTH



C
3
EAST

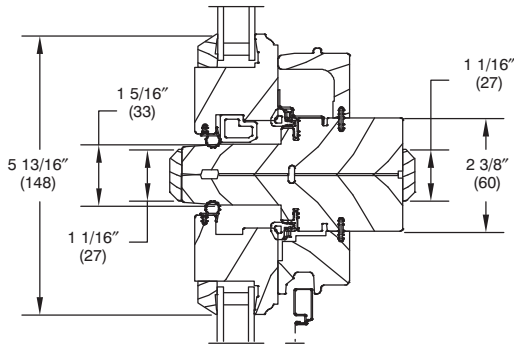
D
3
EAST

WUCA

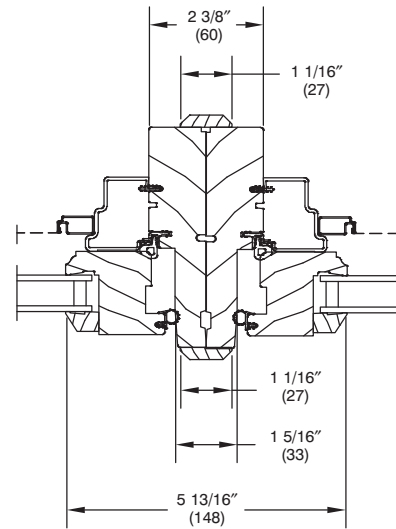
MULLION

SCALE: 3" = 1' 0"

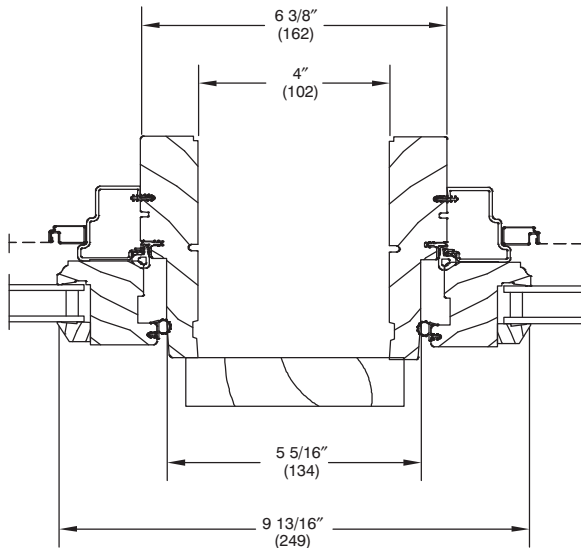
Wood Ultimate Casement



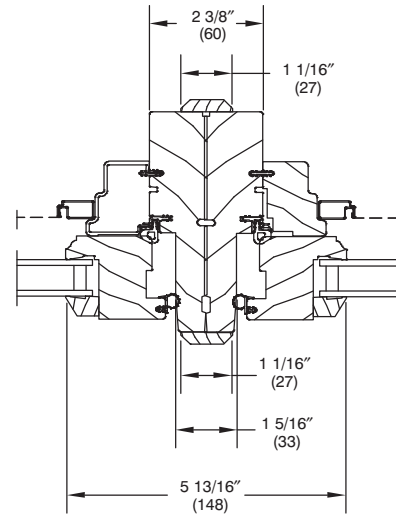
Horizontal Mullion – Picture/Operator



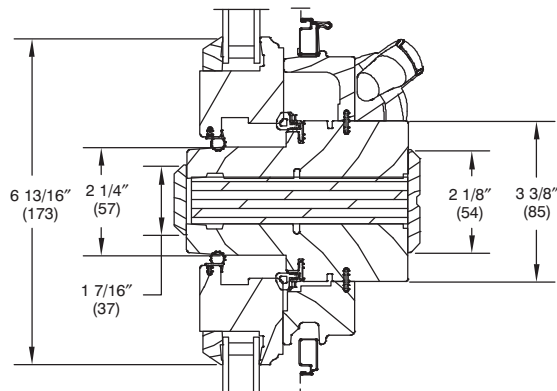
Vertical Mullion – Operator/Operator/Direct Mull



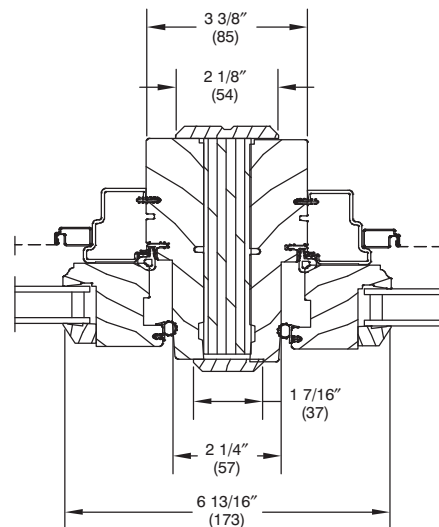
**Vertical Mullion – w/4" Space
Operator/Operator**



Vertical Mullion – Operator/Picture/Direct Mull



**Horizontal Mullion – LVL
Operator/Operator**



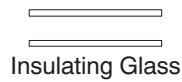
**Vertical Mullion – LVL
Operator/Operator**

WOOD ULTIMATE CASEMENT

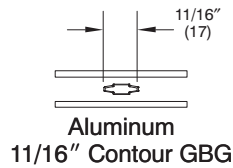
SECTION DETAILS: DIVIDED LITE OPTIONS

NOT TO SCALE

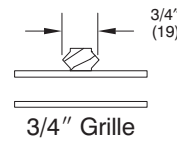
Insulated Glass Options



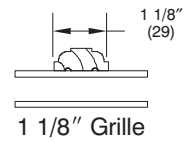
Insulating Glass



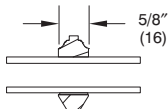
Aluminum
11/16" Contour GBG



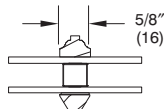
3/4" Grille



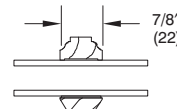
1 1/8" Grille



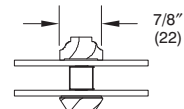
5/8" SDL
without Spacer Bar



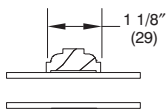
5/8" SDL
with Spacer Bar



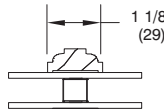
7/8" SDL
without Spacer Bar



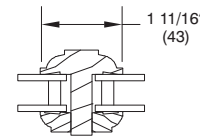
7/8" SDL
with Spacer Bar



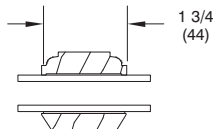
1 1/8" SDL
without Spacer Bar



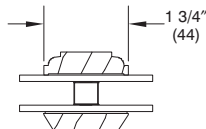
1 1/8" SDL
with Spacer Bar



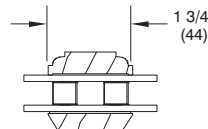
1 11/16" IG-ADL



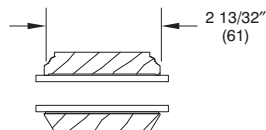
1 3/4" SDL
without Spacer Bar



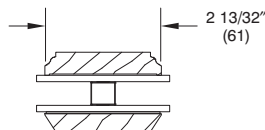
1 3/4" SDL
with One Spacer Bar



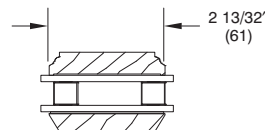
1 3/4" SDL
with Two Spacer Bar



2 13/32" SDL
without Spacer Bar



2 13/32" SDL
with One Spacer Bar

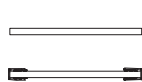


2 13/32" SDL
with Two Spacer Bar

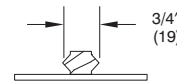
Single Glaze Options



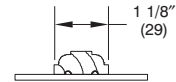
Single Glaze



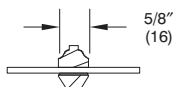
Single Glaze with
Energy Panel



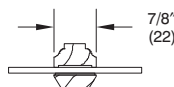
Single Glaze with
3/4" Grille



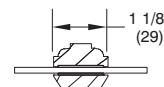
Single Glaze with
1 1/8" Grille



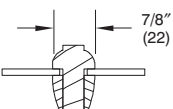
Single Glaze with
5/8" SDL



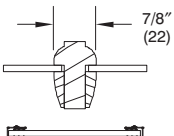
Single Glaze with
7/8" SDL



Single Glaze with
1 1/8" SDL



Single Glaze ADL

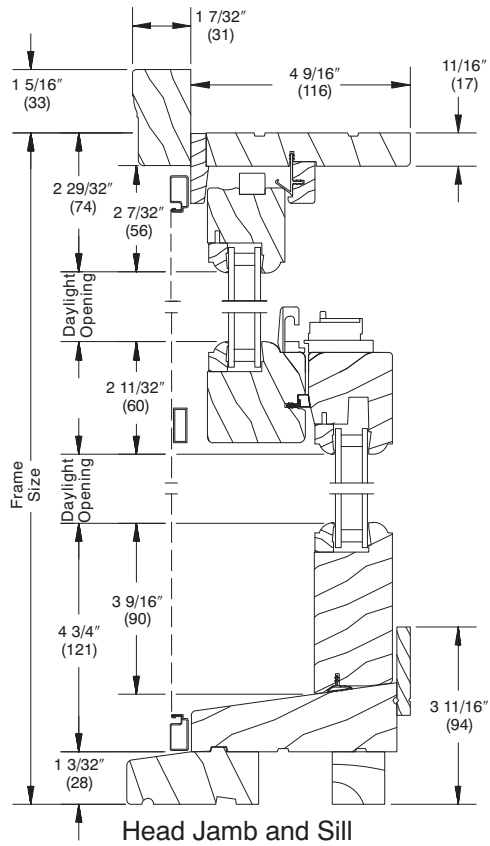


Single Glaze ADL
with Energy Panel

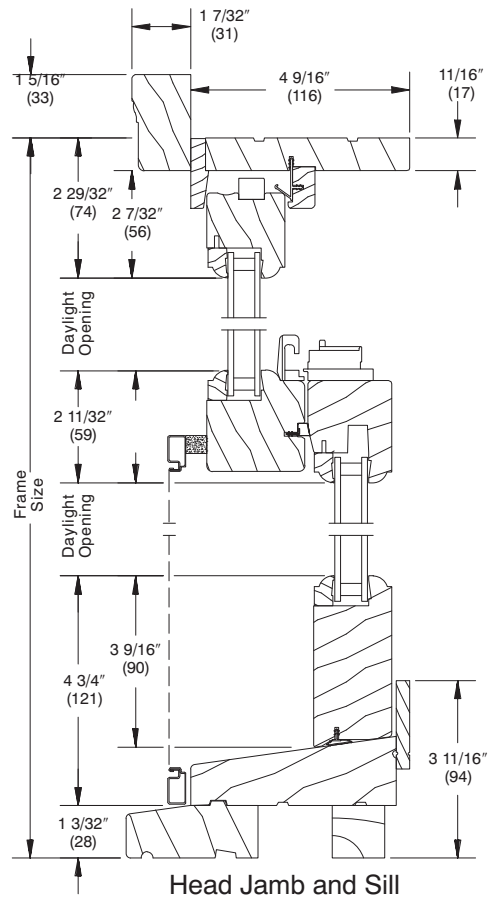
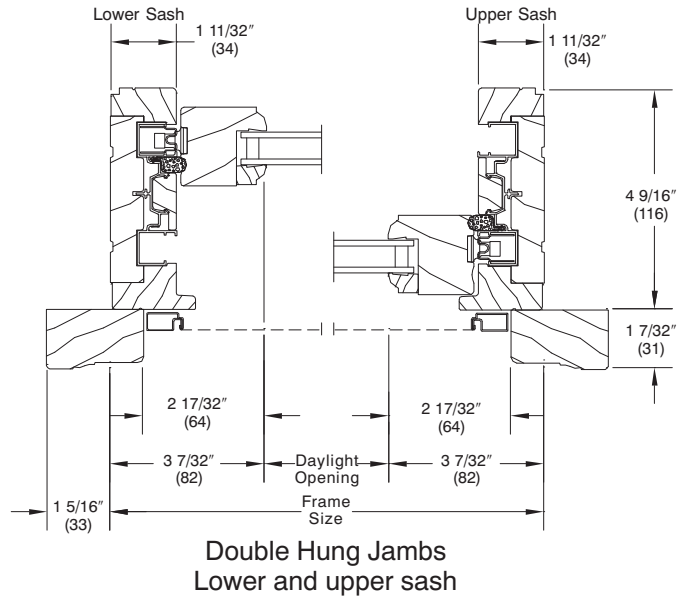
WOOD ULTIMATE DOUBLE HUNG

SECTION DETAILS: OPERATING ONLY

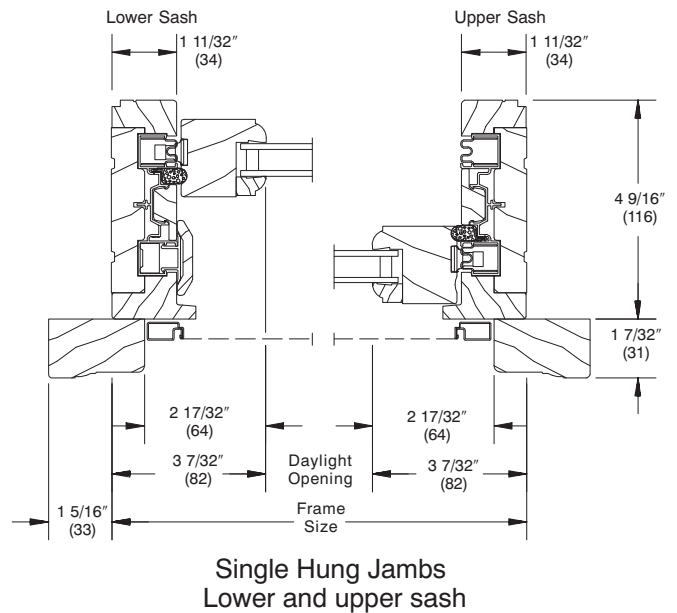
SCALE: 3" = 1' 0" (76 = 305)



Double Hung



Single Hung



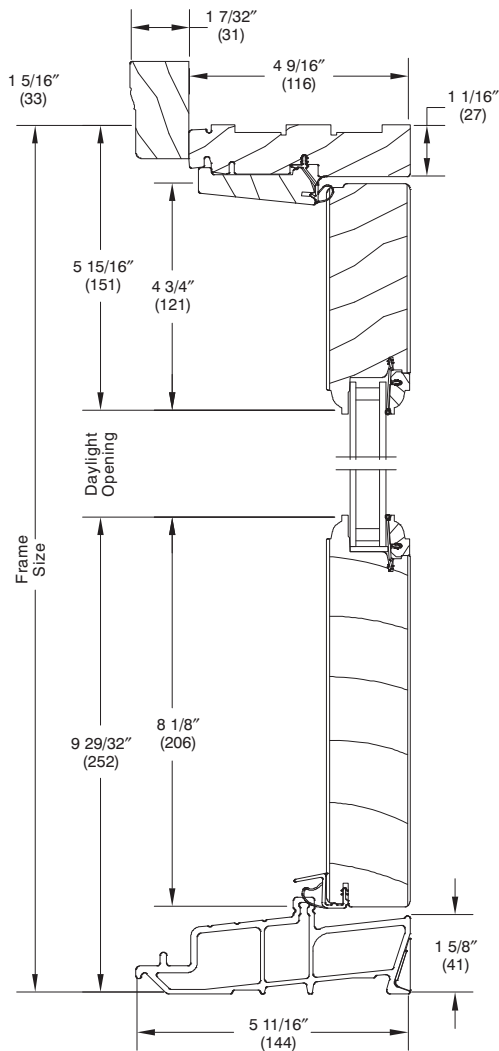
NOTE:
Optional half screen shown.

WOOD ULTIMATE INSWING FRENCH DOOR

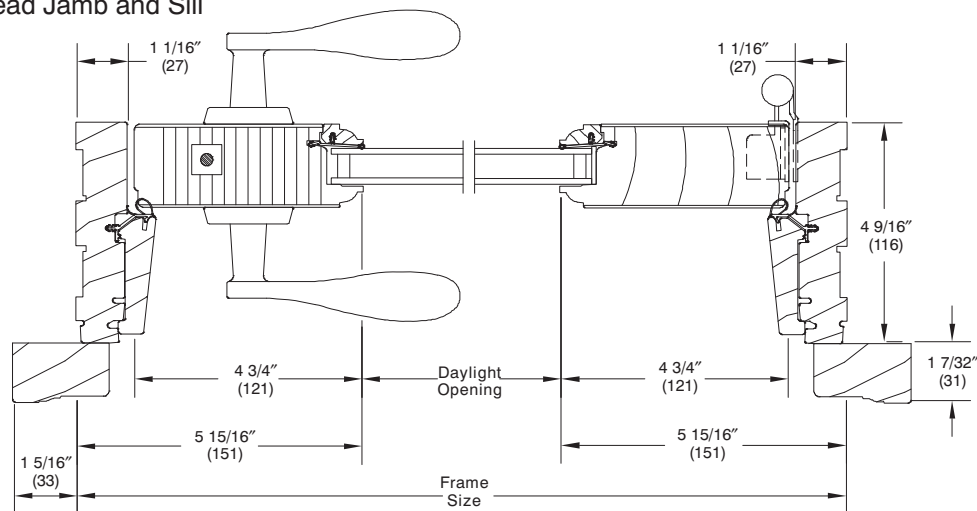
SECTION DETAILS: 4 9/16" OPERATING

SCALE: 3" = 1' 0"

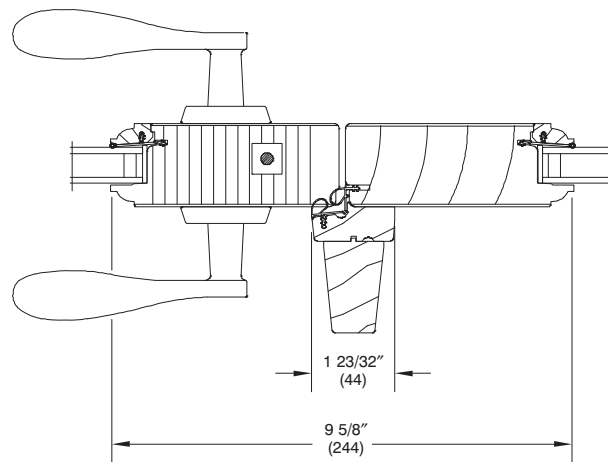
Operating



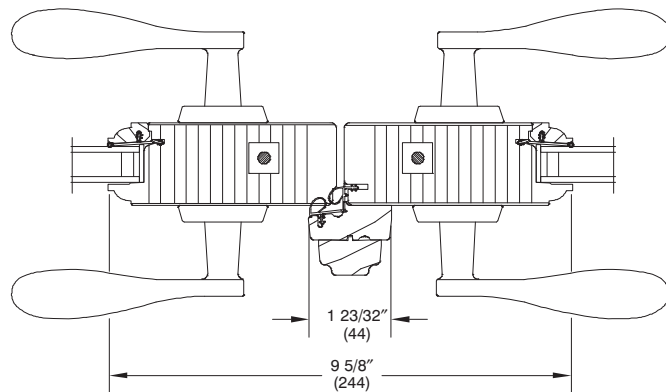
Head Jamb and Sill



X R Jamb



XO L - Meeting Stiles



XX L - Meeting Stiles

NOTE:

Shown with optional handle set.
Operation as viewed from exterior.
Refer to the panel hinging configurations page for operations available.

WOOD ULTIMATE INSWING FRENCH DOOR

SECTION DETAILS: 4 9/16" STATIONARY / SIDELITE

SCALE: 3" = 1' 0"

