

CITY OF MADISON

Proposed Plat & Rezoning

Plat Name: Blackhawk Church Town Center

Location: 9602 Mineral Point Road

Applicant: Nancy Smith - Blackhawk Church/
Kevin Pape - D'Onofrio Kotke/
Steve Kleckhafer - Plunkett Raysich Architects

Preliminary Within City

Final Outside City

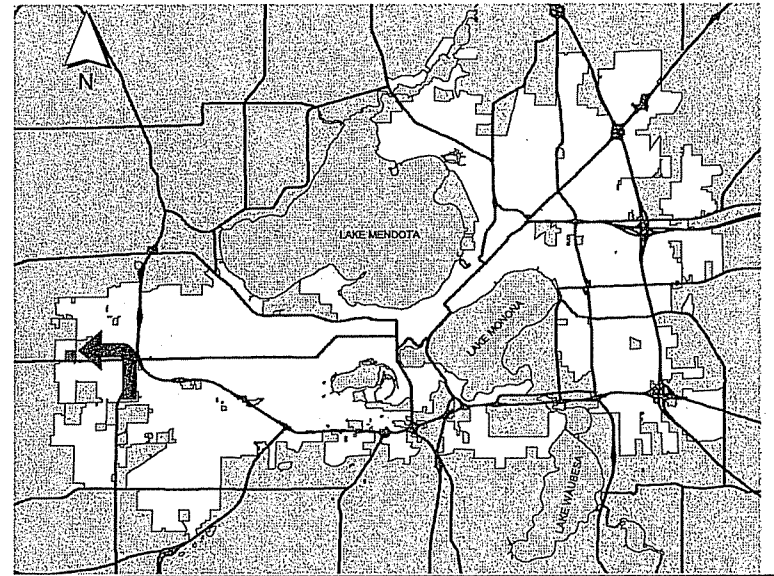
From PUD(GDP) To: Amended PUD(GDP-SIP)

Proposed Use: _____

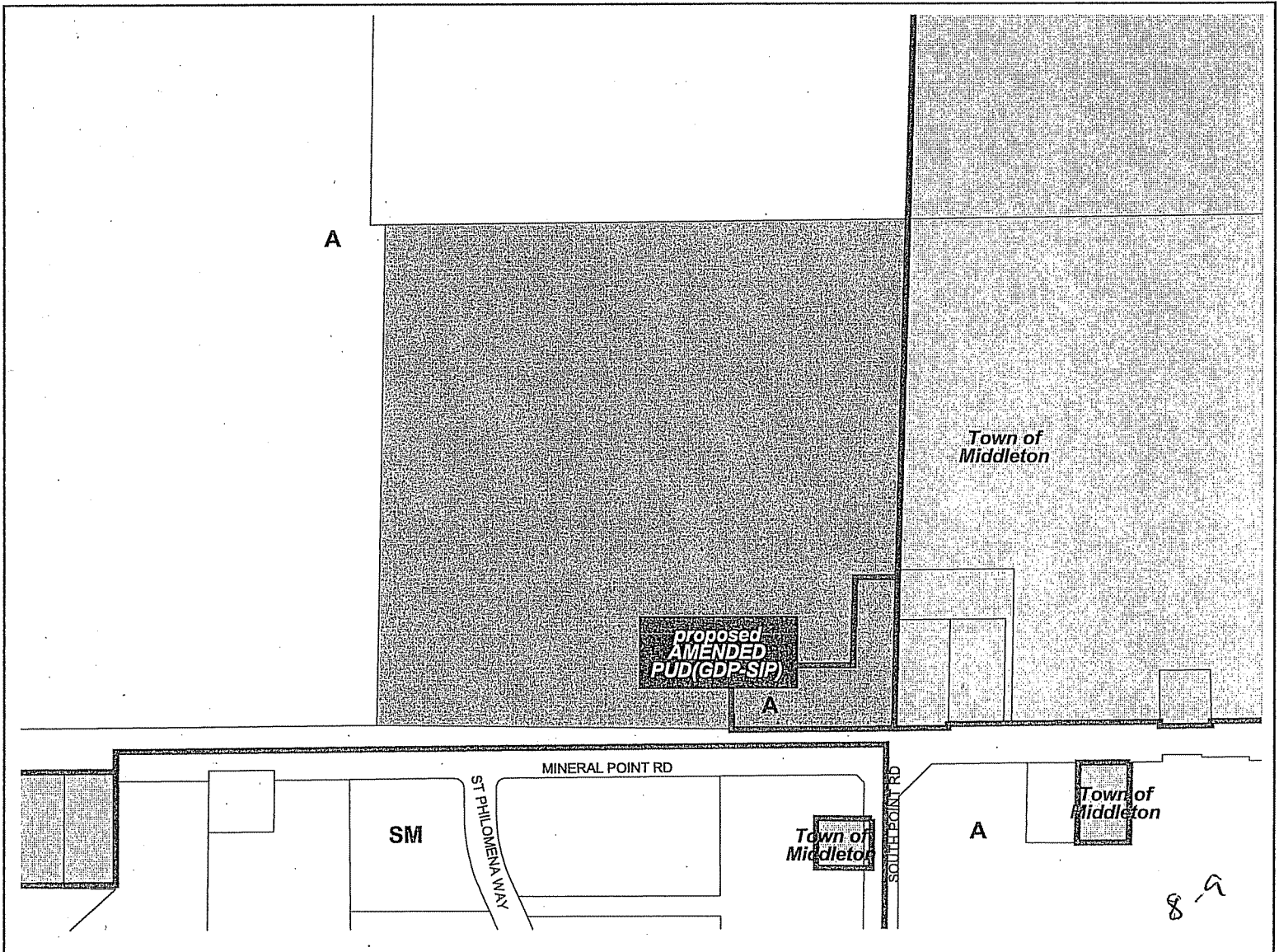
Public Hearing Dates:

Plan Commission 10 October 2005

Common Council 18 October 2005



For Questions contact: Bill Roberts at: 266-5974 or broberts@cityofmadison.com or City Planning at 266-4635

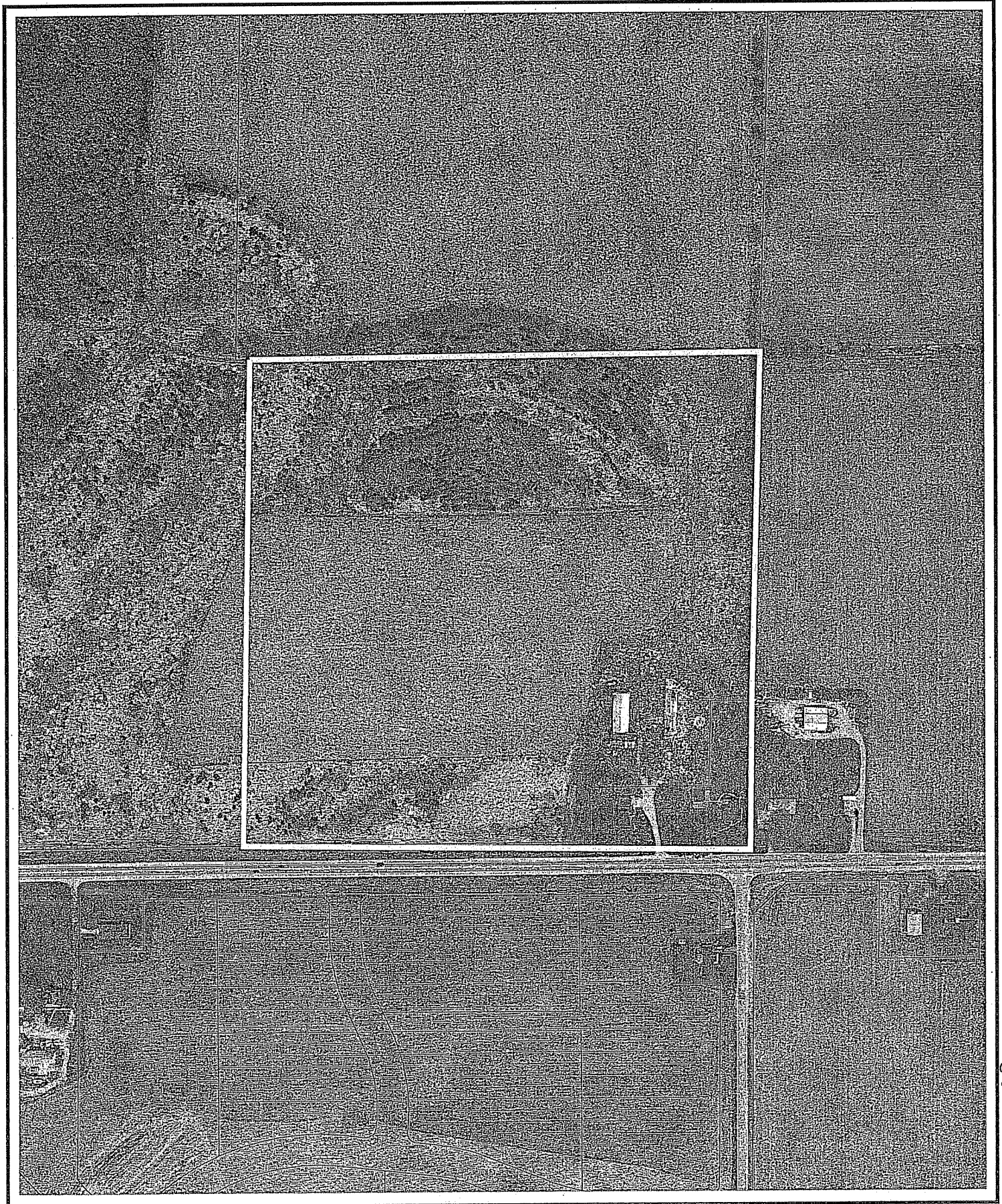


9602 Mineral Point Road

400 0 400 Feet



Date of Aerial Photography - April 2003



8-1



SUBDIVISION APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

Date Stamp

**** Please read both pages of the application completely and fill in all required fields****
This application form may also be completed online at www.cityofmadison.com/planning/plan.html

1a. Application Type. (Choose ONE)

- Preliminary Subdivision Plat Final Subdivision Plat Land Division/ Certified Survey Map (CSM)

If a Plat, Proposed Subdivision Name: BLACKHAWK CHURCH TOWN CENTER PLAT

1b. Review Fees. Make checks payable to "City Treasurer."

- For Preliminary and Final Plats, an application fee of \$200, plus \$35 per lot and outlot contained on the plat drawing.
 For Certified Survey Maps, an application fee of \$200 plus \$150 per lot and outlot contained on the certified survey map.

2. Applicant Information.

Name of Property Owner: BLACKHAWK EVANGELICAL CHURCH Representative, if any: NANCY SMITH
 Street Address: 110 N. WHITNEY WAY City/State: MADISON, WI Zip: 53705
 Telephone: (608) 238-0183 Fax: () Email: _____

Firm Preparing Survey: D'ONOFRIO, KOTTKE + ASSOC. Contact: KEVIN RAPE
 Street Address: 7530 WESTWARD WAY City/State: MADISON, WI Zip: 53717
 Telephone: (608) 833-7530 Fax: (608) 833-1089 Email: krape@donofrio.cc

Check only ONE – ALL Correspondence on this application should be sent to: Property Owner Survey Firm

3a. Project Information.

Parcel Address: 9602 MINERAL PT RD in the City or Town of: MADISON
 Tax Parcel Number(s): 070821300789; 070821398954; 070821398409; 070821398605 School District: MIDDLETON/CROSS PLAINS
 Existing Zoning District(s): A; DANE COUNTY A-1 Development Schedule: FALL 2005
 Proposed Zoning District(s) (if any): PUD - SIP Provide a Legal Description of Site on Reverse Side

3b. For Surveys Located Outside the Madison City Limits and in the City's Extraterritorial Jurisdiction:

Date of Approval by Dane County: _____ Date of Approval by Town: _____
 In order for an exterritorial request to be accepted, a copy of the approval letters from both the town and Dane County must be submitted.
 Is the subject site proposed for annexation? No Yes If YES, approximate timeframe: _____

4. Survey Contents and Description. Complete table as it pertains to the survey; do not complete gray areas.

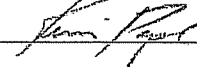
Land Use	Lots	Outlots	Acres
Residential			
Retail/Office	11		
Industrial			
Outlots Dedicated to City			
Homeowner Assoc. Outlots			
Other (state use)	1	1	
TOTAL	12	1	

Describe the use of the lots and outlots on the survey
ALL LOTS RETAIL/OFFICE
EXCEPT LOT 10 WHICH WILL BE
A CHURCH SITE.
OL 1. WILL BE USED FOR
STORMWATER MANAGEMENT.

5. **Required Submittals.** Your application is required to include the following (check all that apply):

- Surveys** (prepared by a Registered Land Surveyor):
 - For Preliminary Plats, **eighteen (18) copies** of the drawing drawn to scale are required. The drawing is required to provide all information as it pertains to the proposed subdivision as set forth in Section 16.23 (7)(a) of the Madison General Ordinances. The drawings shall include, but are not limited to, a description of existing site conditions and natural features, delineation of all public and private utilities that serve the site (denote field located versus record drawings), the general layout of the proposed subdivision, the dimensions of lots and outlots, widths of existing and proposed rights of way, topographic information, and any other information necessary for the review of the proposed subdivision.
 - For Final Plats, **sixteen (16) copies** of the drawing are required to be submitted. The final plat shall be drawn to the specifications of Section 236.20 of the Wisconsin Statutes.
 - For Certified Survey Maps (CSM), **sixteen (16) copies** of the drawing are required. The drawings shall include all of the information set forth in Sections 16.23 (7)(a) and (d) of the Madison General Ordinances, including existing site conditions, the nature of the proposed land division and any other necessary data. Utility data (field located or from utility maps) may be provided on a separate map submitted with application.
 - All surveys submitted with this application are required to be collated, stapled and folded so as to fit within an 8 1/2" X 14" case file. In addition, an **8-1/2 X 11 inch reduction of each sheet** must also be submitted.
- Report of Title and Supporting Documents:** All plats and certified surveys submitted to the City of Madison for approval shall include a Report of Title satisfactory to the Real Estate Division as required in Section 16.23 of the Madison General Ordinances. A minimum of **two (2) copies** of the City of Madison standard 60/30 year Report of Title shall be obtained from a local, reputable title insurance company. **Title insurance or a title commitment policy is NOT acceptable** (i.e. a Preliminary Title Report or a Record Information Certificate). The owner or applicant must deliver a **third copy** of the Report of Title to the survey firm preparing the plat or CSM. The applicant shall submit a copy of all documents listed in the Report of Title for each copy of the report submitted.
- For Residential Preliminary Plats ONLY:** If the proposed project will result in **ten (10) or more dwelling units**, it is required to comply with the City's Inclusionary Zoning requirements under Section 28.04 (25) of the Zoning Ordinance. A separate *INCLUSIONARY ZONING DWELLING UNIT PLAN APPLICATION* explaining the project's conformance with these ordinance requirements shall be submitted with your application.
- For Surveys Creating Residential Lots:** The applicant shall include a certified copy of the accepted option or offer, including all terms of the purchase and any other information that may be deemed necessary by the Real Estate Division to assist them in determining Fair Market Value for the purpose of establishing park fees.
- For Surveys Outside the Madison City Limits:** A copy of the approval letters from both the town in which the property is located and Dane County must be submitted with your request. The City of Madison may not consider a survey within its extraterritorial jurisdiction without it first having been approved by the **town and Dane County**.
- For Surveys Conveying Land to the Public:** A Phase I Environmental Site Assessment Report may be required if any interest in these lands are to be conveyed to the public. Please contact the City's Real Estate Division at 267-8719, ext. 305 for a determination as soon as possible.
- Completed application and required Fee (from Section 1b on front):** \$ 655 Make all checks payable to "City Treasurer."
- Electronic Application Submittal:** All applicants are required to submit a copy of the completed application form, legal description and preliminary and/or final plats or certified survey map as individual Adobe Acrobat PDF files compiled either on a non-returnable CD-ROM to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Unit at 266-4635 for assistance.

The signer attests that this application has been completed accurately and all required materials have been submitted:

Applicant's Printed Name KEVIN PAPE Signature 
Date 7/13/05 Interest In Property On This Date SURVEYOR 8-9

For Office Use Only	Date Rec'd:	PC Date	Alder District	Amount Paid: \$
---------------------	-------------	---------	----------------	-----------------

LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:	
Amt. Paid \$ <u>3050</u>	Receipt No. <u>62650</u>
Date Received <u>7-13-05</u>	
Received By <u>RT</u>	
Parcel No. <u>0708-213-0098-9</u>	
Aldermanic District <u>9, Paul Skidmore</u>	
GQ <u>OK</u>	
Zoning District <u>A to PUD</u>	
For Complete Submittal	
Application <input checked="" type="checkbox"/>	Letter of Intent <input checked="" type="checkbox"/>
IDUP <input checked="" type="checkbox"/>	Legal Descript. <input checked="" type="checkbox"/>
Plan Sets <input checked="" type="checkbox"/>	Zoning Text <input checked="" type="checkbox"/>
Alder Notification <input type="checkbox"/>	Waiver <u>?</u>
Ngrbrhd. Assn Not. <input type="checkbox"/>	Waiver <u>?</u>
Date Sign Issued _____	

1. **Project Address:** 9602 Mineral Point Road **Project Area in Acres:** 10

Project Title (if any): Blackhawk Church

2. **This is an application for:** (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input checked="" type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Blackhawk Church Company: Blackhawk Church
 Street Address: 110 N. Whitney Way City/State: Madison, WI Zip: 53705
 Telephone: (608) 238-0183 Fax: (608) 238-4972 Email: info@blackhawkchurch.org

Project Contact Person: Steve Kieckhafer Company: Plunkett Raysich Architects
 Street Address: 2810 Crossroads Drive City/State: Madison, WI Zip: 53718
 Telephone: (608) 240-9900 Fax: (608) 240-9690 Email: skieckhafer@prarch.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: Relocation of Blackhawk Church facility as the anchor tenant of the Blackhawk Church Town Center including church building, parking, landscaping, and construction components of the Specific Implementation Plan.

Development Schedule: Commencement Site improvements Fall'05 Completion Bldg. Construction Summer'07

CONTINUE →

8-9



5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$ 3,050 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ *The site is located within the limits of* Elderberry Neighborhood *Plan, which recommends:*
Office/Employment and Neighborhood Commercial/Activity *for this property.*

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
Paul Skidmore, Alderperson

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Bill Roberts *Date* 7-7-05 | *Zoning Staff* Al Martin *Date* 7-7-05

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Paul Pankratz Date 7-13-05

Signature  Relation to Property Owner Board Chair

Authorizing Signature of Property Owner  Date 7-13-05

8-9



2810 Crossroads Drive, Suite 1000
Madison, WI 53718
Tel 608 240-9900
Fax 608 240-9690
www.prarch.com

Blackhawk Church Town Center

Building Sites 10 and 8
9602 Mineral Point Road
Madison, Wisconsin

Specific Implementation Plan July 13, 2005

Milwaukee, WI ▲ Madison, WI ▲ Northbrook, IL

Partners: Kim D. Hassell, Mark C. Herr, Scott A. Kramer, James G. Plunkett, David J. Raysich, Michael H. Scherbel, Michael J. Sobczak

Intelligent Designs Inspired Results

8-9

July 13, 2005

Mr. Brad Murphy
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985

Re: Letter of Intent
Blackhawk Church

Dear Mr. Murphy:

On behalf of Blackhawk Church., we are pleased to submit the first SIP submittal for the creation of the Blackhawk Church Town Center. This submittal creates the relocation opportunity for the Blackhawk Church facility, the anchor tenant of the town center, and is consistent with the General Development Plan submitted on May 11, 2005.

The following plan, plat, application, and zoning text are submitted for staff, plan commission, and council review and approval. The design and development team is excited to continue the development and implementation process for this unique mixed use center.

Submittal Contents:

SIP Location Plan
Blackhawk GDP Plan
C1.1 Plan A Site Plan
C1.2 Plan A Site Grading and Erosion Control Plan
C1.3 Plan A Site Utility Plan
C1.4 Plan B Site Site Plan
C1.5 Plan B Grading and Erosion Control Plan
C1.6 Plan B Site Utility Plan
C1.7 Detention Basin
C1.8 Details
Landscape Plan Plan A
Landscape Plan Plan B
007 Lower Level Site Plan – Plan A
008 Upper Level Site Plan – Plan A
009 Site Plan – Plan B
010 Site Signage
E001 Plan A Site Lighting
E002 Plan B Site Lighting
200 Lower Level Floor Plan
201 First Floor Plan
400 Exterior Elevations
401 Exterior Elevations
402 Exterior Elevations
404 Exterior Elevations

Applicant/Owner:

Blackhawk Church
110 North Whitney Way
Madison, Wisconsin 53705
Tel: (608)238-0183
Fax: (608) 238-4972

Paul Pankratz

Design Team:

Architecture:

Plunkett Raysich Architects, LLP Paul Schmidt
2810 Crossroads Drive, Suite 1000 Michael Brush
Madison, Wisconsin 53718
Tel: (608)240-9900
Fax: (608)240-9690
pschmidt@prarch.com

Planning:

Vandewalle & Associates Brian Munson
120 East Lakeside Street
Madison, Wisconsin 53715
Tel: (608) 255-3988
Fax: (608)255-0814
bmunson@vandewalle.com

Engineering:

D'Onofrio Kottke Bill Suick
7530 Westward Way
Madison, Wisconsin 53717
Tel: (608) 833-7530
Fax: (608) 833-1089
bsuick@donofrio.cc

Landscape Architecture:

L.J. Geer Design Lisa Geer
2554 East Johnson Street
Madison, Wisconsin 53704
Tel: (608) 244-6369
Fax: (608) 239-8375
ljgeer@sbcglobal.net

Development Information:

Blackhawk Church Town Center is located within the Elderberry Neighborhood at the intersection of Mineral Point Road and South Point Road (See attached document for precise location maps).

Project Schedule:

Phase One Public Improvement Construction Fall 2005

Project Narrative:

The Blackhawk Church forms the anchor tenant and cornerstone element for the implementation of the vision framed within The Blackhawk Church Town Center General Development Plan. This new GDP was designed to create the neighborhood center and employment district envisioned in the Elderberry Neighborhood Plan, while accommodating the relocation of the Blackhawk Church. Placed within a framework of pedestrian oriented buildings, walkable streetscapes, and interconnected streets, this combined town center will offer a unique and vibrant mixed use destination within the growing Westside of Madison.

The relocation of Blackhawk Church to a landmark facility forms the first component of the town center and will function as the anchor tenant within the development. The attached plans and elevations cover the 9 acre church site including the phase one church building, landscaping plans, site details, and construction components of the Specific Implementation Plan.

The concept for this site was to create a focal point visually accessible from Mineral Point Road, yet remaining as a pedestrian focused anchor use for the town center within a network of street, sidewalk, and path connections to the adjoining uses. Through the use of high quality architecture and materials, this site sets the stage for a unique multi-service worship experience; as well as, setting a high mark for future buildings and site design.

Parking within the site will be accommodated through a combination of surface, structured, and shared parking and will be accented through the continued use of transit and private busing already utilized at the existing church site. While it is the intent of the church to build a parking structure on-site so as to minimize reliance on surface parking and to maximize the potential for shared parking; the financial implications of constructing the church to a high level of materials and designs may require a phased installation of the parking deck. Option A (see attached site plans) shows the full build-out of the parking structure and may be built as part of the initial construction. In the event that the economic impact of constructing the church exceeds the ability to supply the parking as part of the initial construction Option B (see attached) highlights the initial installation that will be utilized.

The church recognizes that the parking deck is vital to the continued growth of their facilities, as well as the ability to construct the adjoining parcels to the desired higher density. In the event that Option B is utilized as an interim site construction plan, the Church offers the following requirements detailing specific triggers for the construction of the upper parking deck:

- 1.) The lower level of the parking deck, including concrete pad, foundations, and pier bases will be installed as part of the initial construction, so as to ease the construction of the full parking deck and as an assurance that the design and facilitation of the deck is included as part of the initial construction.
- 2.) Prior to the recording of any SIP amendments detailing an addition to the church facility, the church will be required to begin the construction of the site and parking ramp to Option A standards.
- 3.) Prior to the recording of any SIP documents for the construction of buildings on the adjoining Sites 6, 7, and 9, the church will be required to begin the construction of the site and parking ramp to Option A standards.

We look forward to working with you and your staff on this plan and the development of a unique place on the west side of Madison.

Thank you for your time in reviewing this project.

ZONING TEXT

BLACKHAWK CHURCH TOWN CENTER

DISTRICT I: BLACKHAWK CHURCH

Description

Blackhawk Church forms the anchor tenant and civic component of the town center. This institutional use is projected for an initial capacity (on-site at one time) of approximately 2,000 people and is projected to grow to 3,000 people through additions to the building. This site has been designed to accommodate a two story facility with structured parking. The parking demand will also be addressed through shared parking agreements and coordinated transit/off-site busing of UW students and access to Madison Metro bus service.

Building placement within this district will be required to front onto the public street system, with parking predominately located within the core of the block.

Future growth needs for the site are also accommodated through the designation of Lot 8 as a future growth area. Buildout of this area will be set as a future SIP submittal, but is intended to facilitate office or residential use that may be associated with the Church or sold for development.

Comparable Zoning District:	none
<u>Building Sites</u>	<u>10, 8</u>

Permitted Uses

Institutional

Office

Residential

- Two Story Building Minimum

Yard Requirements

Minimum Lot Area	as shown in SIP drawings
Minimum Front Yard Setback	as shown in SIP drawings
Minimum Side Yard Setback	as shown in SIP drawings
Minimum Rear Yard Setback	as shown in SIP drawings
Minimum Building Separation	as shown in SIP drawings
Maximum Impervious Surface Ratio	as shown in SIP drawings
Maximum Floor Area Ratio	as shown in SIP drawings
Off-Street Parking and Loading	as shown in SIP drawings

Site Requirements

- Shared parking and access agreements will be required for all adjoining lots.
- Primary Church facility shall front onto Brader Way
- Secondary buildings may front onto "A" Street
- Structured parking required

SITE TEN 10

Description:

- 9.0 Acres

Use: ▪ Blackhawk Church
Institutional Uses
Uses ancillary to the church's

programming

(ie. Daycare, office, educational)

- Square feet total: As Shown on SIP

Submittal

- o 2 Story Building

Approximate Parking Configuration

- Surface Parking: 113 parking stalls
- Structured Parking 2 levels
545 parking stalls
- Underground Parking: no
- Shared Parking: required

Setbacks

Brader Way: as shown in SIP drawings
West Property Line: as shown in SIP drawings
North Property Line: as shown in SIP drawings
East Property Line: as shown in SIP drawings

Building Envelope: as shown in SIP drawings

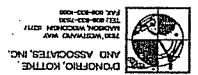
SITE EIGHT 9

Description:

- 1.8 Acres
- Optional Future Development Site
- Any future development other than surface parking will require a minor amendment to the GDP outlining the proposed building size and configuration of the site, as well as a separate SIP submittal
- Near term overflow surface parking for church, potential long term office / residential use.
- Stormwater treatment/infiltration swale connected with Site 7 stormwater management facilities.

Setbacks

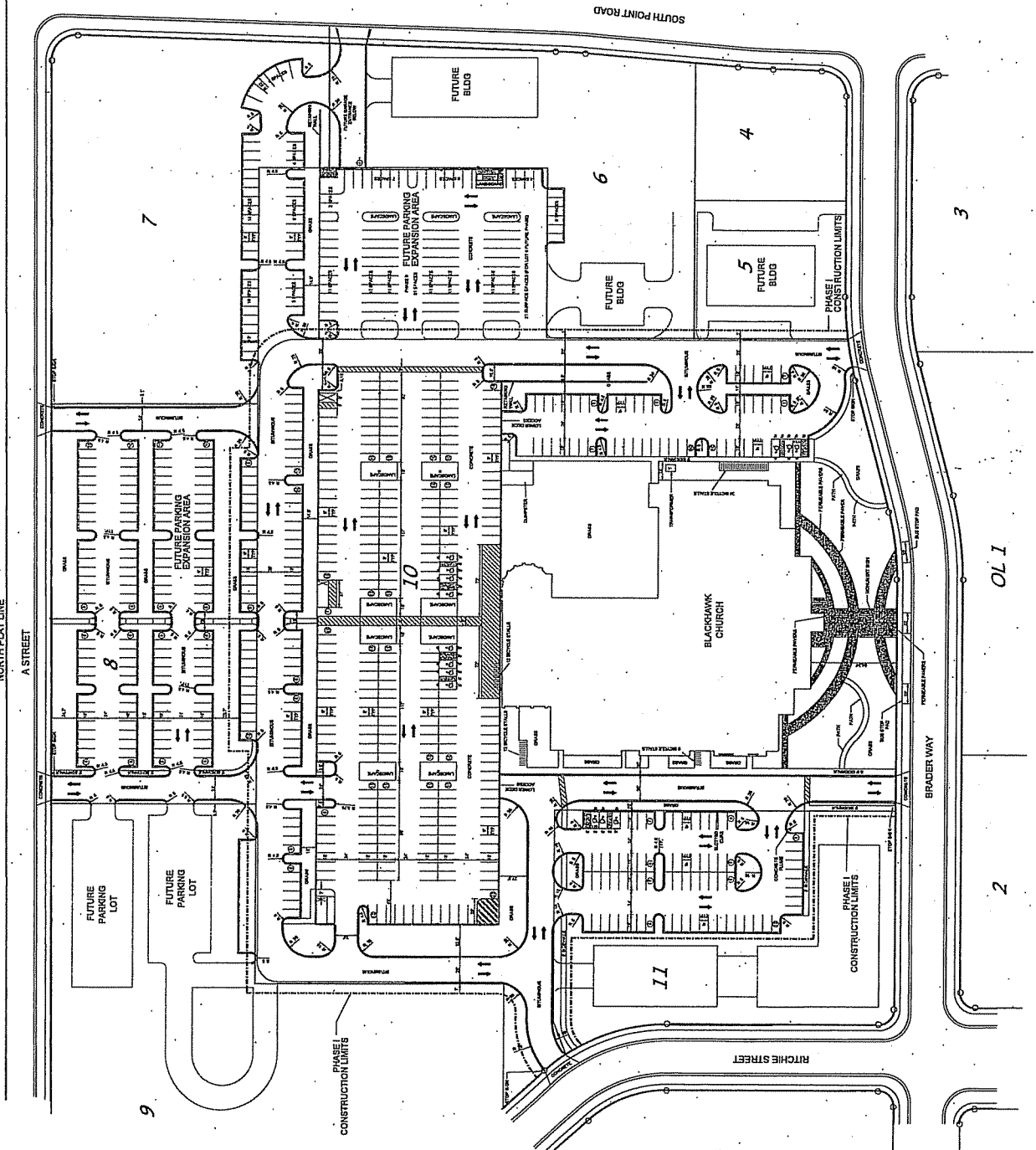
Brader Way: 10' Minimum
West Property Line: varies (will be set in SIP)
North Property Line: varies (will be set in SIP)
East Property Line: varies (will be set in SIP)
Building Envelope: varies (will be set in SIP)



ALTERNATE 1 SITE PLAN
BLACKHAWK CHURCH
BRAEDER WAY
MADISON, WISCONSIN

DATE: 07-13-05
REV:
SHEET NO. 130
SHEET TOTAL 130

ITEM	DESCRIPTION	AMOUNT	UNIT	TOTAL
1	TOTAL SQUARE FOOTAGE OF BUILDING	10,000	SQ. FT.	10,000
2	TOTAL SQUARE FOOTAGE OF PARKING	10,000	SQ. FT.	10,000
3	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
4	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
5	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
6	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
7	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
8	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
9	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
10	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
11	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
12	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
13	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
14	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
15	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
16	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
17	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
18	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
19	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
20	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
21	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
22	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
23	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
24	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
25	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
26	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
27	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
28	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
29	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
30	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
31	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
32	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
33	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
34	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
35	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
36	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
37	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
38	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
39	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
40	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
41	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
42	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
43	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
44	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
45	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
46	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
47	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
48	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
49	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000
50	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.	10,000



5-8

ALTERNATE 1 SITE GRADING & EROSION CONTROL PLAN
BLACKHAWK CHURCH
BRABER WAY
MADISON, WISCONSIN

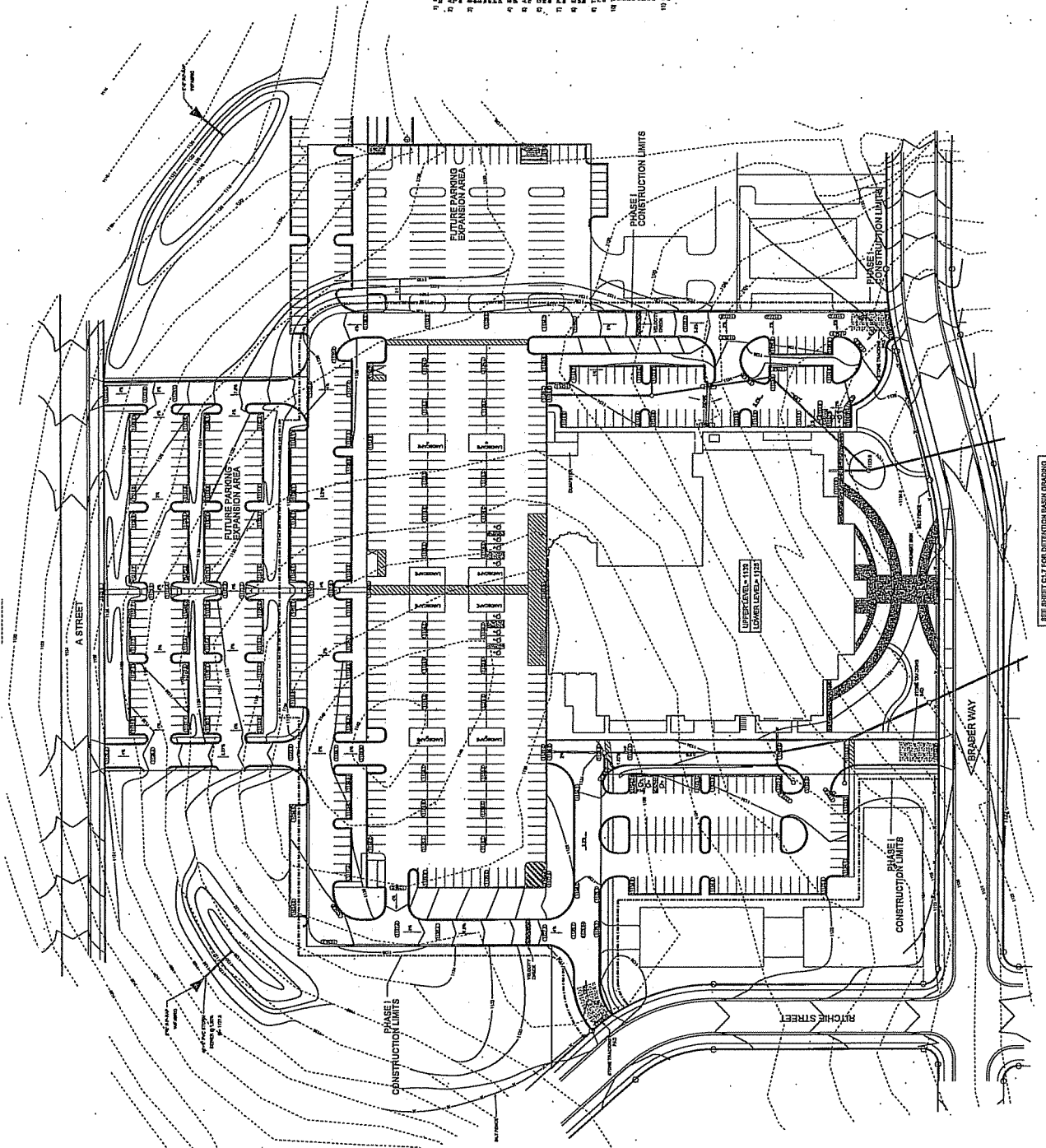
DONORFIO, KOTTKE
AND ASSOCIATES, INC.
1820 WESTVALE WAY
MADISON, WISCONSIN 53713
PHONE: 608-833-8888
FAX: 608-833-8888

C1.2



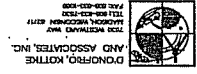
- SITE GRADING AND EROSION CONTROL NOTES**
- 1) All construction shall be in accordance with the approved plans and specifications.
 - 2) All construction shall be in accordance with the approved plans and specifications.
 - 3) All construction shall be in accordance with the approved plans and specifications.
 - 4) All construction shall be in accordance with the approved plans and specifications.
 - 5) All construction shall be in accordance with the approved plans and specifications.
 - 6) All construction shall be in accordance with the approved plans and specifications.
 - 7) All construction shall be in accordance with the approved plans and specifications.
 - 8) All construction shall be in accordance with the approved plans and specifications.
 - 9) All construction shall be in accordance with the approved plans and specifications.
 - 10) All construction shall be in accordance with the approved plans and specifications.

- LEGEND**
- PROPOSED CONTOUR
 - EXISTING CONTOUR
 - EXISTING GRADE
 - PROPOSED GRADE
 - EXISTING EROSION CONTROL
 - PROPOSED EROSION CONTROL
 - EXISTING VEGETATION
 - PROPOSED VEGETATION



SEE SHEET C1.7 FOR DETERMINED BANK DIMENSIONS

8-9

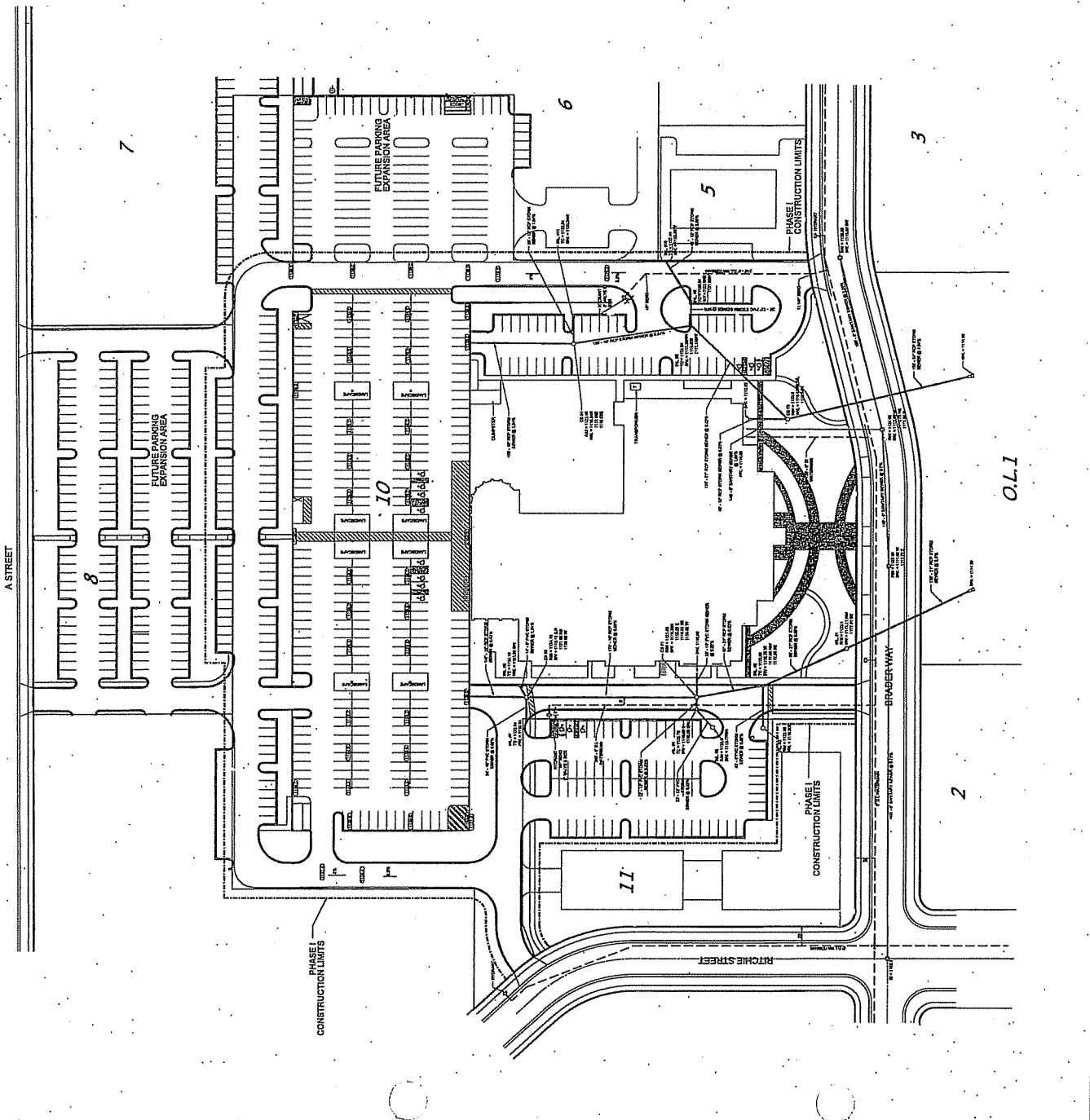
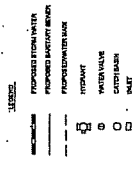


ALTERNATE 1 SITE UTILITY PLAN
BLACKHAWK CHURCH
BRADEN WAY
MADISON, WISCONSIN

DATE: 07-13-05
RAN

SCALE: 1" = 40'

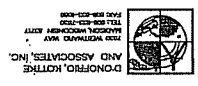
- UTILITY NOTES:**
- All new utility work shall conform to the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility lines shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.



8-9

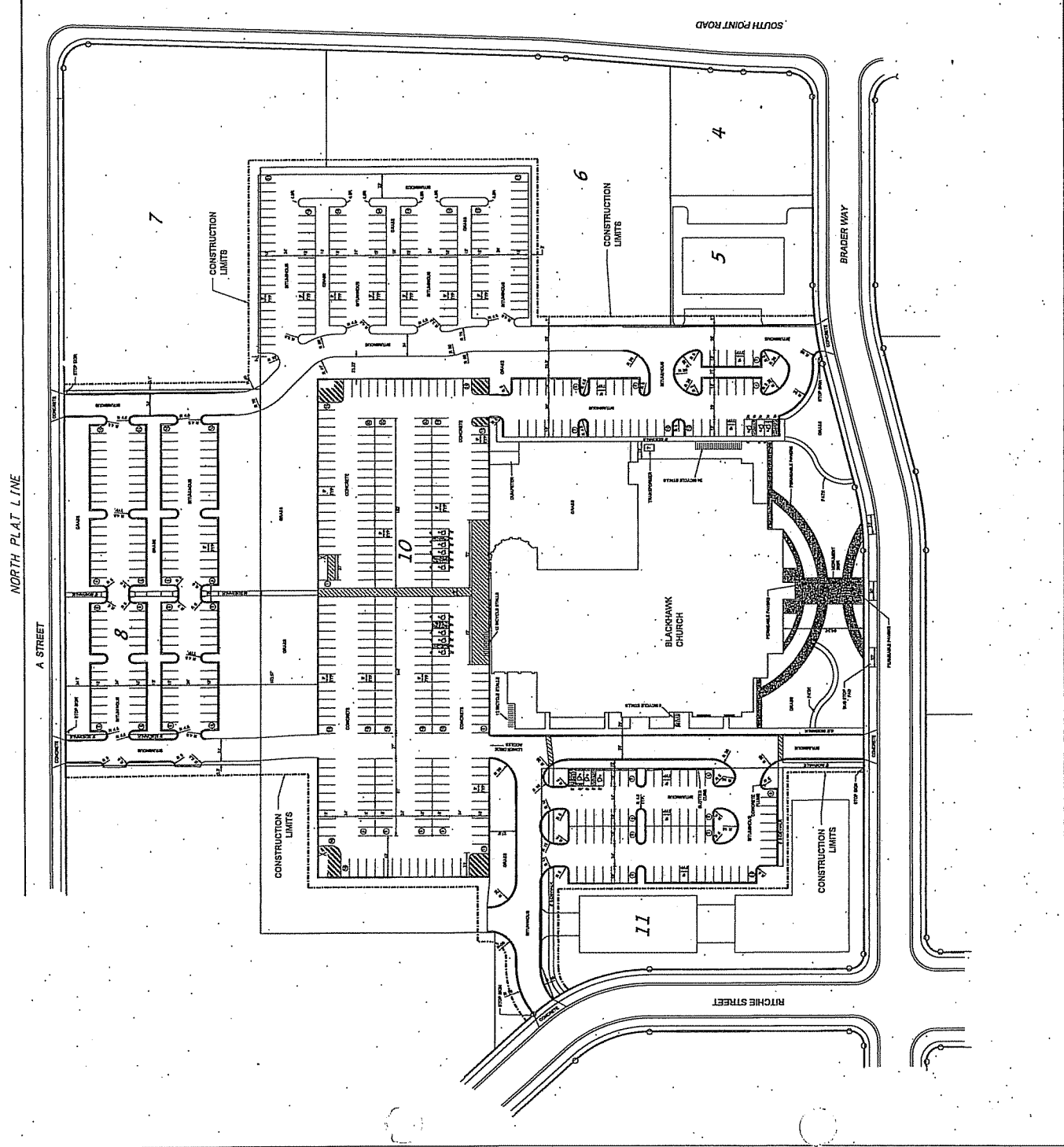
DATE: 07-13-05
 REV:
 BY: DS-05-120

ALTERNATE 2 SITE PLAN
 BLACKHAWK CHURCH
 BRADER WAY
 MADISON, WISCONSIN



C1.4

SITE INFORMATION	
NET AREA	11,852.42
NET AREA WITH CONSTRUCTION LIMITS	11,852.42
NUMBER OF BUILDING STORIES	1
TOTAL AREA OF BUILDING FOOTPRINT	11,852.42
TOTAL AREA OF PAVED DRIVEWAY	11,852.42
TOTAL AREA OF PAVED DRIVEWAY	11,852.42
NUMBER OF PARKING SPACES	11,852.42
NUMBER OF PARKING SPACES	11,852.42
TOTAL NUMBER OF PARKING SPACES	11,852.42



8-9



CONORIO, ROTHE AND ASSOCIATES, INC.
7530 WESTLAND WAY
MADISON WISCONSIN 53717
TEL: 608-263-7329
FAX: 608-263-7328

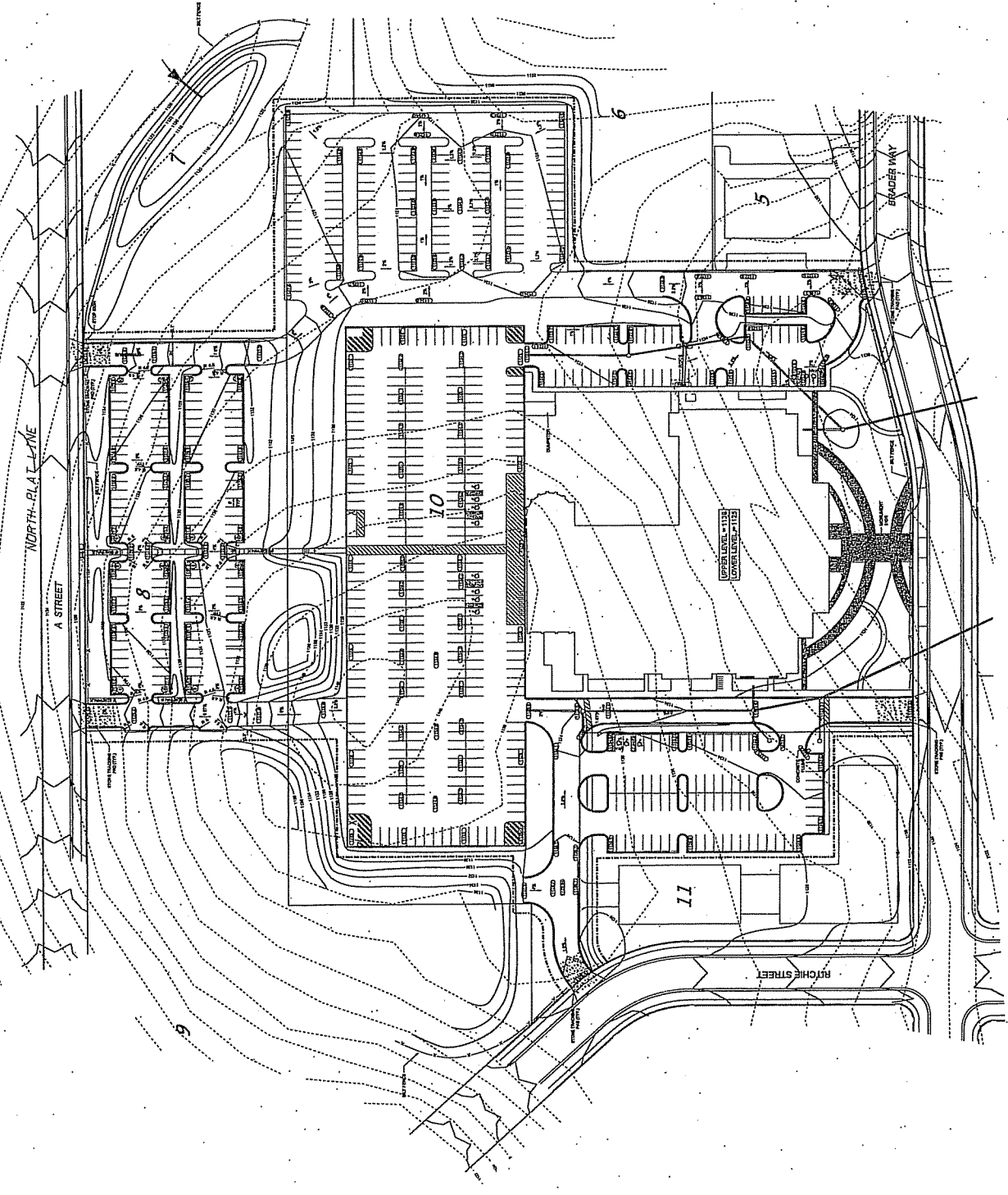
ALTERNATE 2 GRADING & EROSION CONTROL PLAN
BLACKHAWK CHURCH
BADGER WAY
MADISON, WISCONSIN

DATE: 07-13-05
REV:
PROJECT NO: RA 05-05-120



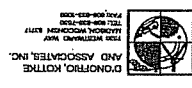
- LEGEND**
- PROPOSED CENTERLINE
 - EXISTING CENTERLINE
 - PROPOSED STAKEOUT POINT
 - EXISTING STAKEOUT POINT
 - PROPOSED EROSION CONTROL
 - EXISTING EROSION CONTROL
 - PROPOSED FENCE
 - EXISTING FENCE
- CONSTRUCTION NOTES**

1. SEE GRADING AND EROSION CONTROL NOTES
2. ALL PROPOSED EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. ALL PROPOSED EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
4. ALL PROPOSED EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. ALL PROPOSED EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. ALL PROPOSED EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
7. ALL PROPOSED EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
8. ALL PROPOSED EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
9. ALL PROPOSED EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
10. ALL PROPOSED EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
11. ALL PROPOSED EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.



8-8

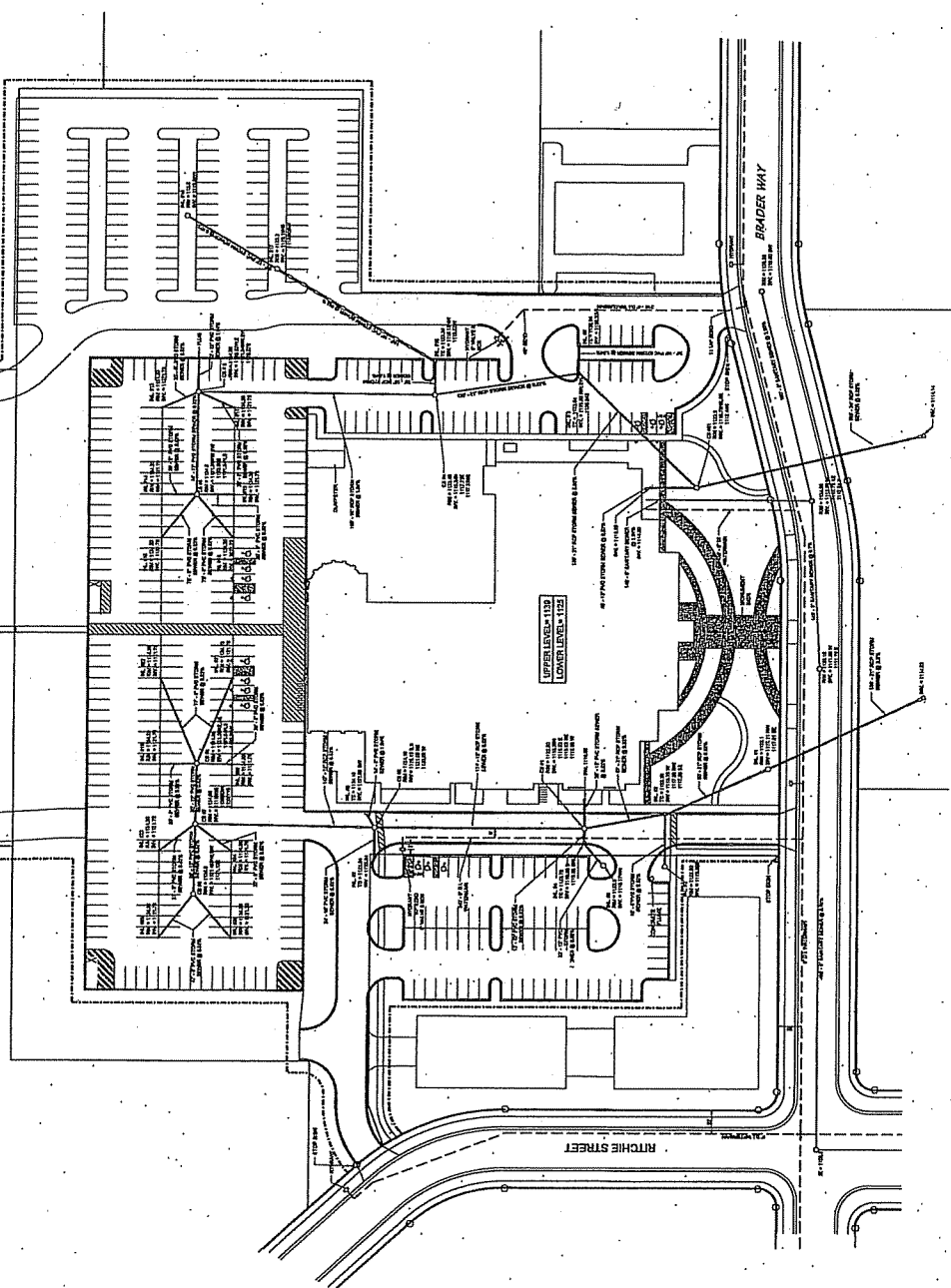
ALTERNATE 2 SITE UTILITY PLAN
BLACKHAWK CHURCH
BRAUER WAY
MADISON, WISCONSIN



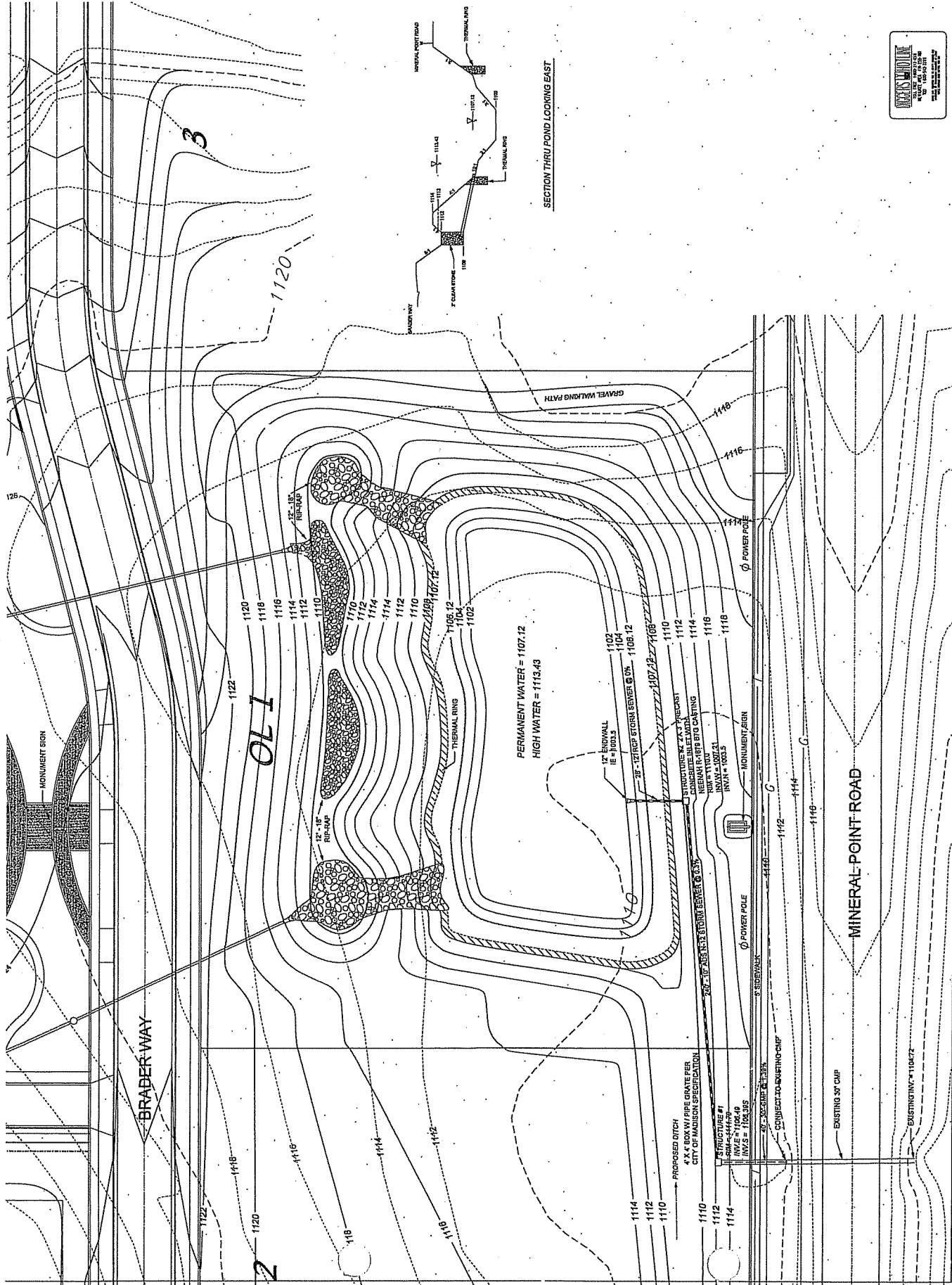
- UTILITY NOTES:**
1. All utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 2. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 3. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 4. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 5. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 6. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 7. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 8. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 9. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 10. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 11. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 12. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 13. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 14. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 15. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 16. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 17. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.
 18. Utility lines shown on this plan are assumed to be in accordance with the City of Madison Standard Specifications for Public Works.

LEGEND

	PROPOSED WATER MAIN
	PROPOSED SEWER MAIN
	PROPOSED GAS MAIN
	EXISTING
	WATERVALE
	CATCHBASIN
	MANHOLE



58



DATE: 07-13-05
 R/S:
 P/C: 05-05-120
 MADISON, WISCONSIN

DETTANTON BASIN
 BLACKHAWK CHURCH
 BRADER WAY
 MADISON, WISCONSIN

D'AMICO, KOTTKE
 AND ASSOCIATES, INC.
 700 WESTINGHOUSE
 MADISON, WISCONSIN 53706
 TEL: 608-263-7800
 FAX: 608-263-1000

C17



58



L.J. GEER DESIGN
2554 E. Johnson St.
Madison, WI 53704
PH: 608-244-0399 F: 608-244-9415

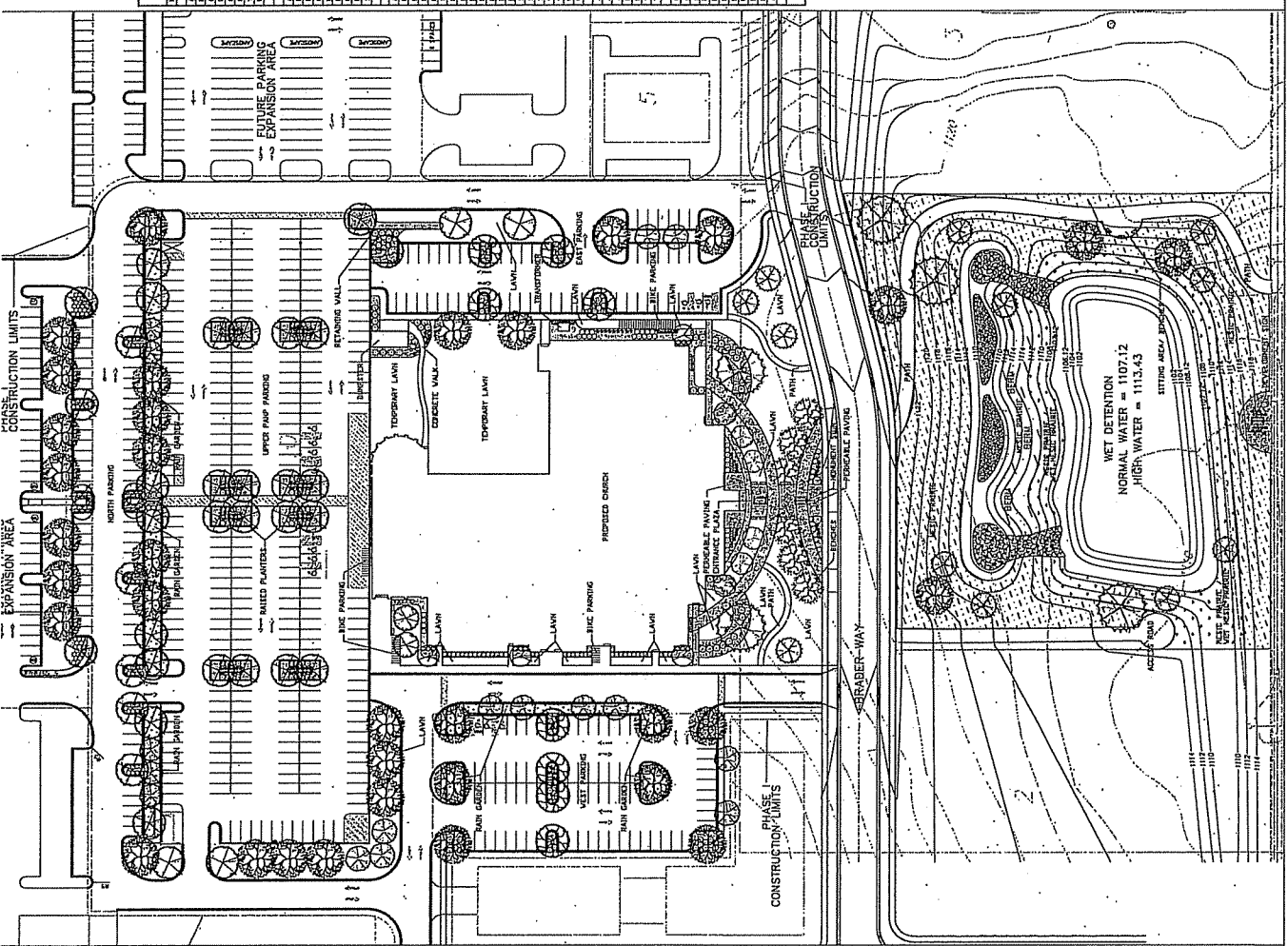
BLACKHAWK CHURCH

MADISON, WI

LANDSCAPE PLAN A
Scale: 1"=40'-0"
JULY 13, 2005
Revisions:

LANDSCAPE LEGEND
BLACKHAWK CHURCH - PLAN A

1	1"	1"	1"	1"
2	2"	2"	2"	2"
3	3"	3"	3"	3"
4	4"	4"	4"	4"
5	5"	5"	5"	5"
6	6"	6"	6"	6"
7	7"	7"	7"	7"
8	8"	8"	8"	8"
9	9"	9"	9"	9"
10	10"	10"	10"	10"
11	11"	11"	11"	11"
12	12"	12"	12"	12"
13	13"	13"	13"	13"
14	14"	14"	14"	14"
15	15"	15"	15"	15"
16	16"	16"	16"	16"
17	17"	17"	17"	17"
18	18"	18"	18"	18"
19	19"	19"	19"	19"
20	20"	20"	20"	20"
21	21"	21"	21"	21"
22	22"	22"	22"	22"
23	23"	23"	23"	23"
24	24"	24"	24"	24"
25	25"	25"	25"	25"
26	26"	26"	26"	26"
27	27"	27"	27"	27"
28	28"	28"	28"	28"
29	29"	29"	29"	29"
30	30"	30"	30"	30"
31	31"	31"	31"	31"
32	32"	32"	32"	32"
33	33"	33"	33"	33"
34	34"	34"	34"	34"
35	35"	35"	35"	35"
36	36"	36"	36"	36"
37	37"	37"	37"	37"
38	38"	38"	38"	38"
39	39"	39"	39"	39"
40	40"	40"	40"	40"
41	41"	41"	41"	41"
42	42"	42"	42"	42"
43	43"	43"	43"	43"
44	44"	44"	44"	44"
45	45"	45"	45"	45"
46	46"	46"	46"	46"
47	47"	47"	47"	47"
48	48"	48"	48"	48"
49	49"	49"	49"	49"
50	50"	50"	50"	50"
51	51"	51"	51"	51"
52	52"	52"	52"	52"
53	53"	53"	53"	53"
54	54"	54"	54"	54"
55	55"	55"	55"	55"
56	56"	56"	56"	56"
57	57"	57"	57"	57"
58	58"	58"	58"	58"
59	59"	59"	59"	59"
60	60"	60"	60"	60"
61	61"	61"	61"	61"
62	62"	62"	62"	62"
63	63"	63"	63"	63"
64	64"	64"	64"	64"
65	65"	65"	65"	65"
66	66"	66"	66"	66"
67	67"	67"	67"	67"
68	68"	68"	68"	68"
69	69"	69"	69"	69"
70	70"	70"	70"	70"
71	71"	71"	71"	71"
72	72"	72"	72"	72"
73	73"	73"	73"	73"
74	74"	74"	74"	74"
75	75"	75"	75"	75"
76	76"	76"	76"	76"
77	77"	77"	77"	77"
78	78"	78"	78"	78"
79	79"	79"	79"	79"
80	80"	80"	80"	80"
81	81"	81"	81"	81"
82	82"	82"	82"	82"
83	83"	83"	83"	83"
84	84"	84"	84"	84"
85	85"	85"	85"	85"
86	86"	86"	86"	86"
87	87"	87"	87"	87"
88	88"	88"	88"	88"
89	89"	89"	89"	89"
90	90"	90"	90"	90"
91	91"	91"	91"	91"
92	92"	92"	92"	92"
93	93"	93"	93"	93"
94	94"	94"	94"	94"
95	95"	95"	95"	95"
96	96"	96"	96"	96"
97	97"	97"	97"	97"
98	98"	98"	98"	98"
99	99"	99"	99"	99"
100	100"	100"	100"	100"



LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN A - GAT LOT

1.	NUMBER OF TREES REQUIRED	39
2.	NUMBER OF PLANTS REQUIRED	6
3.	NUMBER OF SHRUBS REQUIRED	4
4.	NUMBER OF TREES PROVIDED	4
5.	NUMBER OF PLANTS PROVIDED	6
6.	NUMBER OF SHRUBS PROVIDED	4
7.	NUMBER OF TREES ADDED	0
8.	NUMBER OF PLANTS ADDED	0
9.	NUMBER OF SHRUBS ADDED	0
10.	NUMBER OF TREES DEFICIENT	35
11.	NUMBER OF PLANTS DEFICIENT	0
12.	NUMBER OF SHRUBS DEFICIENT	0
13.	NUMBER OF TREES OVER	0
14.	NUMBER OF PLANTS OVER	0
15.	NUMBER OF SHRUBS OVER	0
16.	NUMBER OF TREES DEFICIENT VALUE	\$150
17.	NUMBER OF PLANTS DEFICIENT VALUE	\$100
18.	NUMBER OF SHRUBS DEFICIENT VALUE	\$100
19.	NUMBER OF TREES OVER VALUE	\$0
20.	NUMBER OF PLANTS OVER VALUE	\$0
21.	NUMBER OF SHRUBS OVER VALUE	\$0
22.	TOTAL TREES DEFICIENT VALUE	\$150
23.	TOTAL TREES OVER VALUE	\$0
24.	TOTAL TREES VALUE	\$150
25.	TOTAL TREES QUANTITY	39
26.	TOTAL TREES QUANTITY	39
27.	TOTAL TREES QUANTITY	39
28.	TOTAL TREES QUANTITY	39
29.	TOTAL TREES QUANTITY	39
30.	TOTAL TREES QUANTITY	39
31.	TOTAL TREES QUANTITY	39
32.	TOTAL TREES QUANTITY	39
33.	TOTAL TREES QUANTITY	39
34.	TOTAL TREES QUANTITY	39
35.	TOTAL TREES QUANTITY	39
36.	TOTAL TREES QUANTITY	39
37.	TOTAL TREES QUANTITY	39
38.	TOTAL TREES QUANTITY	39
39.	TOTAL TREES QUANTITY	39
40.	TOTAL TREES QUANTITY	39

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN A - WEST LOT

1.	NUMBER OF TREES REQUIRED	72
2.	NUMBER OF PLANTS REQUIRED	11
3.	NUMBER OF SHRUBS REQUIRED	2
4.	NUMBER OF TREES PROVIDED	2
5.	NUMBER OF PLANTS PROVIDED	2
6.	NUMBER OF SHRUBS PROVIDED	2
7.	NUMBER OF TREES ADDED	0
8.	NUMBER OF PLANTS ADDED	0
9.	NUMBER OF SHRUBS ADDED	0
10.	NUMBER OF TREES DEFICIENT	70
11.	NUMBER OF PLANTS DEFICIENT	9
12.	NUMBER OF SHRUBS DEFICIENT	0
13.	NUMBER OF TREES OVER	0
14.	NUMBER OF PLANTS OVER	0
15.	NUMBER OF SHRUBS OVER	0
16.	NUMBER OF TREES DEFICIENT VALUE	\$350
17.	NUMBER OF PLANTS DEFICIENT VALUE	\$200
18.	NUMBER OF SHRUBS DEFICIENT VALUE	\$200
19.	NUMBER OF TREES OVER VALUE	\$0
20.	NUMBER OF PLANTS OVER VALUE	\$0
21.	NUMBER OF SHRUBS OVER VALUE	\$0
22.	TOTAL TREES DEFICIENT VALUE	\$350
23.	TOTAL TREES OVER VALUE	\$0
24.	TOTAL TREES VALUE	\$350
25.	TOTAL TREES QUANTITY	72
26.	TOTAL TREES QUANTITY	72
27.	TOTAL TREES QUANTITY	72
28.	TOTAL TREES QUANTITY	72
29.	TOTAL TREES QUANTITY	72
30.	TOTAL TREES QUANTITY	72
31.	TOTAL TREES QUANTITY	72
32.	TOTAL TREES QUANTITY	72
33.	TOTAL TREES QUANTITY	72
34.	TOTAL TREES QUANTITY	72
35.	TOTAL TREES QUANTITY	72
36.	TOTAL TREES QUANTITY	72
37.	TOTAL TREES QUANTITY	72
38.	TOTAL TREES QUANTITY	72
39.	TOTAL TREES QUANTITY	72
40.	TOTAL TREES QUANTITY	72

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN A - WEST SIDE LOT

1.	NUMBER OF TREES REQUIRED	64
2.	NUMBER OF PLANTS REQUIRED	10
3.	NUMBER OF SHRUBS REQUIRED	2
4.	NUMBER OF TREES PROVIDED	2
5.	NUMBER OF PLANTS PROVIDED	2
6.	NUMBER OF SHRUBS PROVIDED	2
7.	NUMBER OF TREES ADDED	0
8.	NUMBER OF PLANTS ADDED	0
9.	NUMBER OF SHRUBS ADDED	0
10.	NUMBER OF TREES DEFICIENT	62
11.	NUMBER OF PLANTS DEFICIENT	8
12.	NUMBER OF SHRUBS DEFICIENT	0
13.	NUMBER OF TREES OVER	0
14.	NUMBER OF PLANTS OVER	0
15.	NUMBER OF SHRUBS OVER	0
16.	NUMBER OF TREES DEFICIENT VALUE	\$310
17.	NUMBER OF PLANTS DEFICIENT VALUE	\$200
18.	NUMBER OF SHRUBS DEFICIENT VALUE	\$200
19.	NUMBER OF TREES OVER VALUE	\$0
20.	NUMBER OF PLANTS OVER VALUE	\$0
21.	NUMBER OF SHRUBS OVER VALUE	\$0
22.	TOTAL TREES DEFICIENT VALUE	\$310
23.	TOTAL TREES OVER VALUE	\$0
24.	TOTAL TREES VALUE	\$310
25.	TOTAL TREES QUANTITY	64
26.	TOTAL TREES QUANTITY	64
27.	TOTAL TREES QUANTITY	64
28.	TOTAL TREES QUANTITY	64
29.	TOTAL TREES QUANTITY	64
30.	TOTAL TREES QUANTITY	64
31.	TOTAL TREES QUANTITY	64
32.	TOTAL TREES QUANTITY	64
33.	TOTAL TREES QUANTITY	64
34.	TOTAL TREES QUANTITY	64
35.	TOTAL TREES QUANTITY	64
36.	TOTAL TREES QUANTITY	64
37.	TOTAL TREES QUANTITY	64
38.	TOTAL TREES QUANTITY	64
39.	TOTAL TREES QUANTITY	64
40.	TOTAL TREES QUANTITY	64

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN A - SOUTH LOT

1.	NUMBER OF TREES REQUIRED	71
2.	NUMBER OF PLANTS REQUIRED	11
3.	NUMBER OF SHRUBS REQUIRED	2
4.	NUMBER OF TREES PROVIDED	2
5.	NUMBER OF PLANTS PROVIDED	2
6.	NUMBER OF SHRUBS PROVIDED	2
7.	NUMBER OF TREES ADDED	0
8.	NUMBER OF PLANTS ADDED	0
9.	NUMBER OF SHRUBS ADDED	0
10.	NUMBER OF TREES DEFICIENT	69
11.	NUMBER OF PLANTS DEFICIENT	9
12.	NUMBER OF SHRUBS DEFICIENT	0
13.	NUMBER OF TREES OVER	0
14.	NUMBER OF PLANTS OVER	0
15.	NUMBER OF SHRUBS OVER	0
16.	NUMBER OF TREES DEFICIENT VALUE	\$345
17.	NUMBER OF PLANTS DEFICIENT VALUE	\$200
18.	NUMBER OF SHRUBS DEFICIENT VALUE	\$200
19.	NUMBER OF TREES OVER VALUE	\$0
20.	NUMBER OF PLANTS OVER VALUE	\$0
21.	NUMBER OF SHRUBS OVER VALUE	\$0
22.	TOTAL TREES DEFICIENT VALUE	\$345
23.	TOTAL TREES OVER VALUE	\$0
24.	TOTAL TREES VALUE	\$345
25.	TOTAL TREES QUANTITY	71
26.	TOTAL TREES QUANTITY	71
27.	TOTAL TREES QUANTITY	71
28.	TOTAL TREES QUANTITY	71
29.	TOTAL TREES QUANTITY	71
30.	TOTAL TREES QUANTITY	71
31.	TOTAL TREES QUANTITY	71
32.	TOTAL TREES QUANTITY	71
33.	TOTAL TREES QUANTITY	71
34.	TOTAL TREES QUANTITY	71
35.	TOTAL TREES QUANTITY	71
36.	TOTAL TREES QUANTITY	71
37.	TOTAL TREES QUANTITY	71
38.	TOTAL TREES QUANTITY	71
39.	TOTAL TREES QUANTITY	71
40.	TOTAL TREES QUANTITY	71



NORTH

LANDSCAPE PLAN B

Scale: 1"=40'-0"
JULY 13, 2005

Revisions:

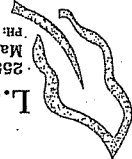
BLACKHAWK CHURCH

MADISON, WI

L.J. GEER DESIGN

2554 E. Johnson St.
Madison, WI 53704

PH: 608-244-6309 F: 608-244-9416



LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN B - EAST LOT

1. NUMBER OF TREES REQUIRED	18
2. NUMBER OF PLANTINGS REQUIRED	18
3. NUMBER OF PLANTINGS PROVIDED	18
4. TREES	18
5. PLANTINGS	18
6. TOTAL	36

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN B - WEST LOT

1. NUMBER OF TREES REQUIRED	27
2. NUMBER OF PLANTINGS REQUIRED	27
3. NUMBER OF PLANTINGS PROVIDED	27
4. TREES	27
5. PLANTINGS	27
6. TOTAL	54

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN B - EAST LOT

1. NUMBER OF TREES REQUIRED	18
2. NUMBER OF PLANTINGS REQUIRED	18
3. NUMBER OF PLANTINGS PROVIDED	18
4. TREES	18
5. PLANTINGS	18
6. TOTAL	36

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN B - WEST LOT

1. NUMBER OF TREES REQUIRED	27
2. NUMBER OF PLANTINGS REQUIRED	27
3. NUMBER OF PLANTINGS PROVIDED	27
4. TREES	27
5. PLANTINGS	27
6. TOTAL	54

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN B - EAST LOT

1. NUMBER OF TREES REQUIRED	18
2. NUMBER OF PLANTINGS REQUIRED	18
3. NUMBER OF PLANTINGS PROVIDED	18
4. TREES	18
5. PLANTINGS	18
6. TOTAL	36

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN B - WEST LOT

1. NUMBER OF TREES REQUIRED	27
2. NUMBER OF PLANTINGS REQUIRED	27
3. NUMBER OF PLANTINGS PROVIDED	27
4. TREES	27
5. PLANTINGS	27
6. TOTAL	54

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN B - EAST LOT

1. NUMBER OF TREES REQUIRED	18
2. NUMBER OF PLANTINGS REQUIRED	18
3. NUMBER OF PLANTINGS PROVIDED	18
4. TREES	18
5. PLANTINGS	18
6. TOTAL	36

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN B - WEST LOT

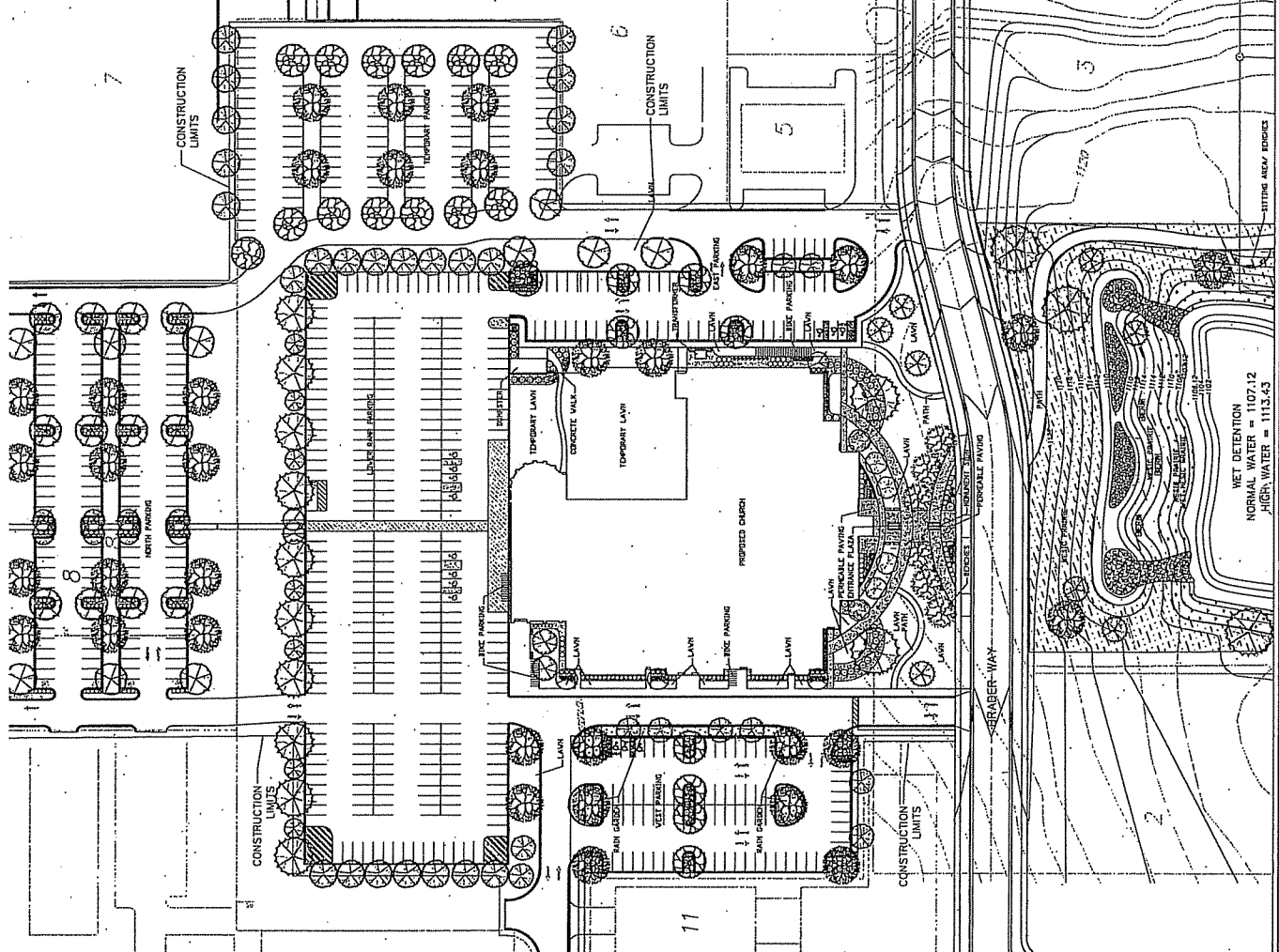
1. NUMBER OF TREES REQUIRED	27
2. NUMBER OF PLANTINGS REQUIRED	27
3. NUMBER OF PLANTINGS PROVIDED	27
4. TREES	27
5. PLANTINGS	27
6. TOTAL	54

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN B - EAST LOT

1. NUMBER OF TREES REQUIRED	18
2. NUMBER OF PLANTINGS REQUIRED	18
3. NUMBER OF PLANTINGS PROVIDED	18
4. TREES	18
5. PLANTINGS	18
6. TOTAL	36

LANDSCAPE WORKSHEET
BLACKHAWK CHURCH - PLAN B - WEST LOT

1. NUMBER OF TREES REQUIRED	27
2. NUMBER OF PLANTINGS REQUIRED	27
3. NUMBER OF PLANTINGS PROVIDED	27
4. TREES	27
5. PLANTINGS	27
6. TOTAL	54



LANDSCAPE LEGEND
BLACKHAWK CHURCH - PLAN B

1. CONSTRUCTION LIMITS	---
2. CONCRETE VAULT	---
3. PERMEABLE PAVING	---
4. LAWN	---
5. TREE PARKING	---
6. WALKWAY	---
7. SCREENING WALL	---
8. WOODS	---
9. WOODS I	---
10. WOODS II	---
11. WOODS III	---
12. WOODS IV	---
13. WOODS V	---
14. WOODS VI	---
15. WOODS VII	---
16. WOODS VIII	---
17. WOODS IX	---
18. WOODS X	---
19. WOODS XI	---
20. WOODS XII	---
21. WOODS XIII	---
22. WOODS XIV	---
23. WOODS XV	---
24. WOODS XVI	---
25. WOODS XVII	---
26. WOODS XVIII	---
27. WOODS XIX	---
28. WOODS XX	---
29. WOODS XXI	---
30. WOODS XXII	---
31. WOODS XXIII	---
32. WOODS XXIV	---
33. WOODS XXV	---
34. WOODS XXVI	---
35. WOODS XXVII	---
36. WOODS XXVIII	---
37. WOODS XXIX	---
38. WOODS XXX	---
39. WOODS XXXI	---
40. WOODS XXXII	---
41. WOODS XXXIII	---
42. WOODS XXXIV	---
43. WOODS XXXV	---
44. WOODS XXXVI	---
45. WOODS XXXVII	---
46. WOODS XXXVIII	---
47. WOODS XXXIX	---
48. WOODS XL	---

5-8

SITE PLAN - DETAILS LISTED

- 1.00 INVERT MARKS
- 2.00 3" DIA. MANHOLE
- 3.00 18" DIA. MANHOLE
- 4.00 24" DIA. MANHOLE
- 5.00 30" DIA. MANHOLE
- 6.00 36" DIA. MANHOLE
- 7.00 42" DIA. MANHOLE
- 8.00 48" DIA. MANHOLE
- 9.00 54" DIA. MANHOLE
- 10.00 60" DIA. MANHOLE
- 11.00 66" DIA. MANHOLE
- 12.00 72" DIA. MANHOLE
- 13.00 78" DIA. MANHOLE
- 14.00 84" DIA. MANHOLE
- 15.00 90" DIA. MANHOLE
- 16.00 96" DIA. MANHOLE
- 17.00 102" DIA. MANHOLE
- 18.00 108" DIA. MANHOLE
- 19.00 114" DIA. MANHOLE
- 20.00 120" DIA. MANHOLE
- 21.00 126" DIA. MANHOLE
- 22.00 132" DIA. MANHOLE
- 23.00 138" DIA. MANHOLE
- 24.00 144" DIA. MANHOLE
- 25.00 150" DIA. MANHOLE
- 26.00 156" DIA. MANHOLE
- 27.00 162" DIA. MANHOLE
- 28.00 168" DIA. MANHOLE
- 29.00 174" DIA. MANHOLE
- 30.00 180" DIA. MANHOLE

- GENERAL NOTES**
1. FIELD VERIFY ELEVATION AND CONDITIONS AT ALL LOTS.
 2. VERIFY ALL UTILITIES AND DEPTH BEFORE ANY CONSTRUCTION.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
 4. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITION OF THE NATIONAL STANDARD ASSESSMENT OF THE SERVICE AND TO THE ACCURACY AND COMPLETION OF THE SURVEY AND TO THE CONTRACT AND SCHEDULE OF CONDITIONS.
 5. CONSTRUCTION SHALL BE ACCORDING TO THE CONTRACT AND SCHEDULE OF CONDITIONS.



- OTHER SYMBOLS**
- CONCRETE CURE AND CARE: REFER TO DETAIL. INVERT.
 - CONCRETE: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED ACCESSIBLE PARKING SPACE: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED DRIVEWAY: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

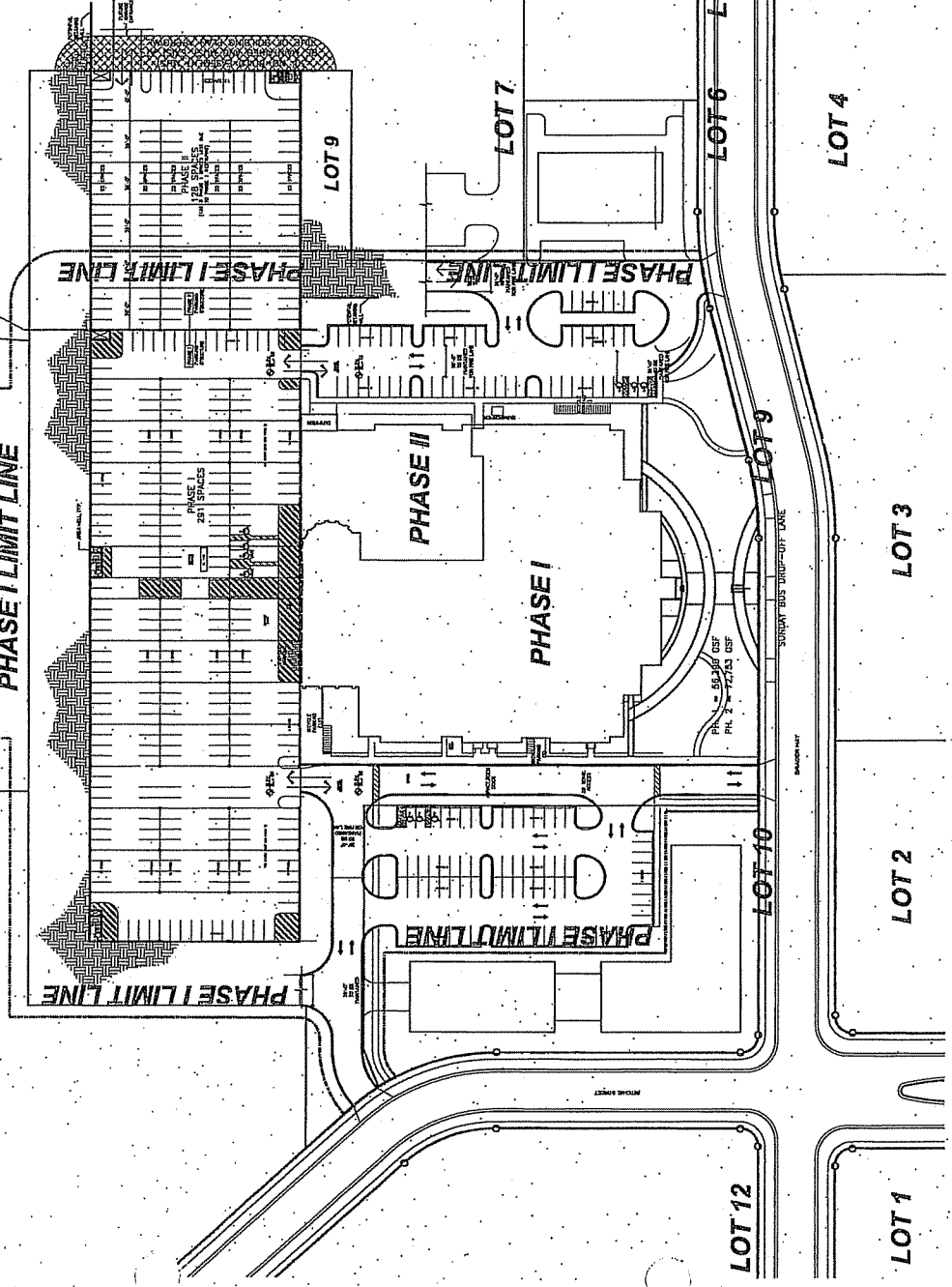
- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

- OTHER SYMBOLS**
- SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.
 - SANDSTONE PAVED SIDEWALK WITH CURB AND WALK AND SIDEWALK AND SIDEWALK: REFER TO DETAIL. INVERT.

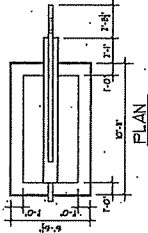
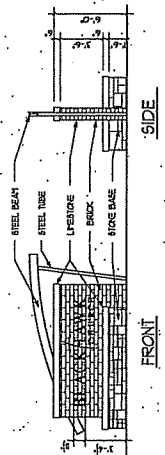
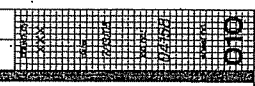


LOWER LEVEL SITE PLAN - PLAN A

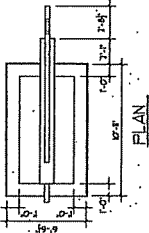
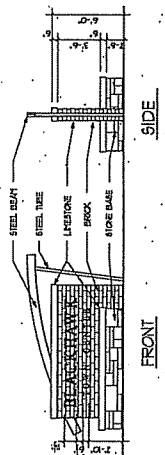
5-8

NO INFORMATION SHOWN ON THIS DRAWING IS BASED ON AN ORIGINAL SURVEY DEVELOPED BY THE REGISTERED SURVEYOR IDENTIFIED THEREIN, AND THE REGISTERED SURVEYOR HAS NOT VERIFIED THE ACCURACY OF THE SURVEY OR THE INFORMATION SHOWN THEREON. THE REGISTERED SURVEYOR'S LIABILITY IS LIMITED TO THE ACCURACY AND COMPLETION OF THE SURVEY AND TO THE CONTRACT AND SCHEDULE OF CONDITIONS. INFORMATION SHOWN ONLY AS A CONFORMANCE TO THE CONTRACT AND SCHEDULE OF CONDITIONS.

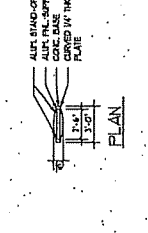
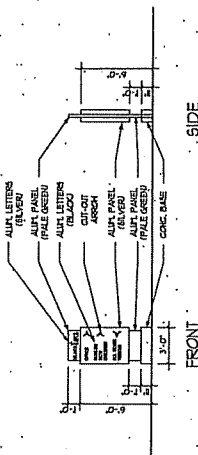
BLAOKHAWK CHURCH
 MADISON, WISCONSIN



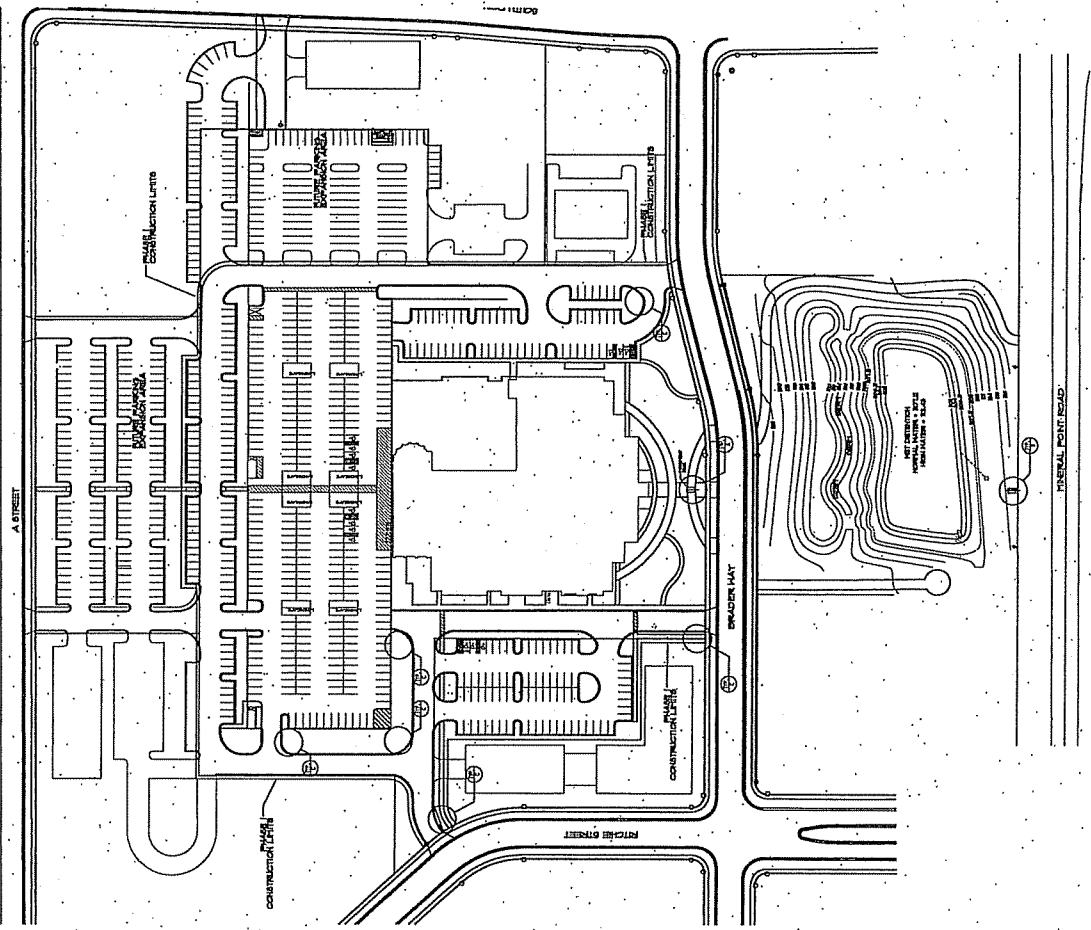
SIGN TYPE A 1/4"=1'-0"



SIGN TYPE B 1/4"=1'-0"



SIGN TYPE C 1/4"=1'-0"



SITE SEWAGE PLAN 1/4"=1'-0"

5-8

FLOOR PLAN - SYMBOL LEGEND

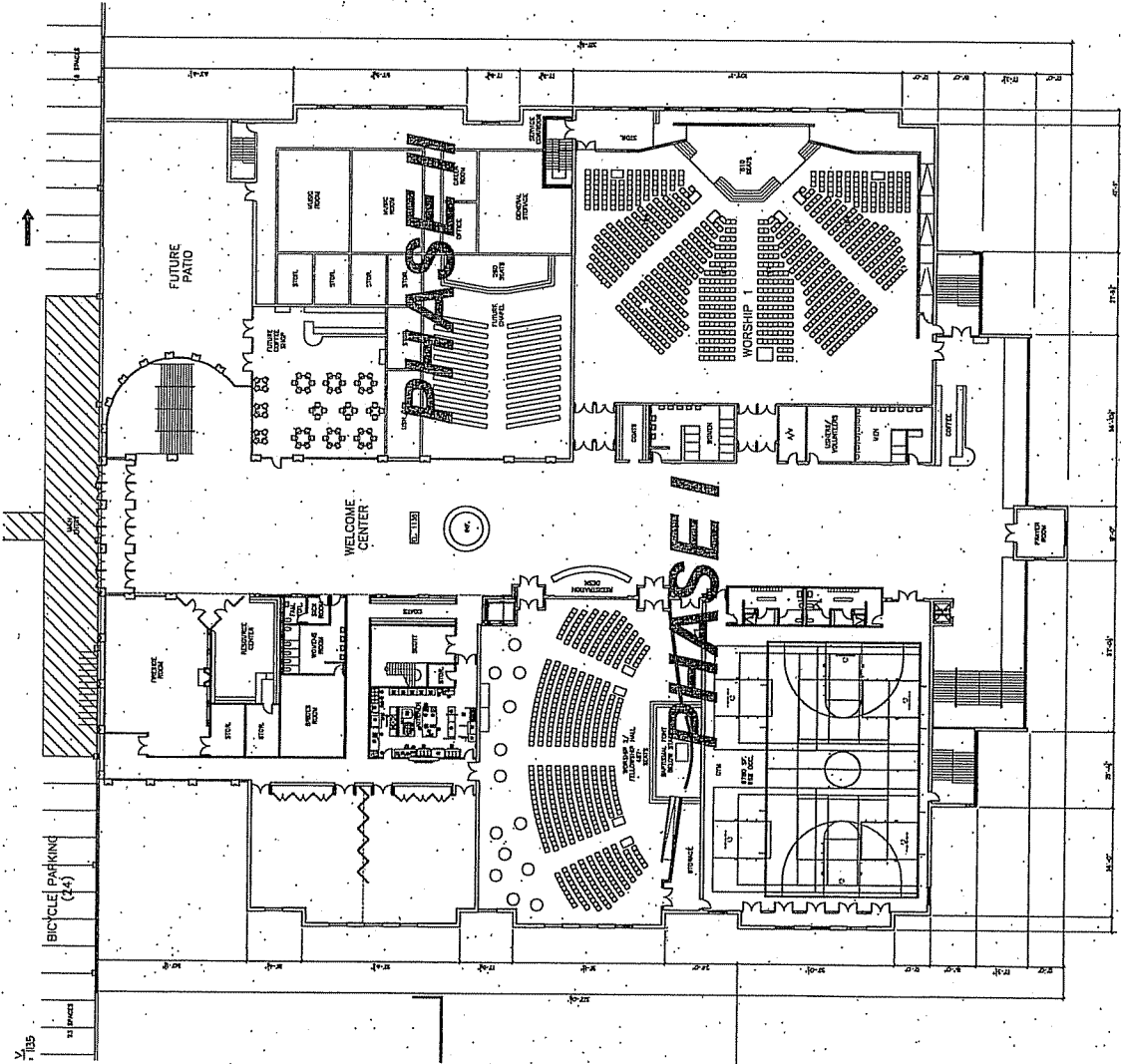
- NO HALL / PARTITION
- NO DOOR
- NO HALL / PARTITION
- NO DOOR
- NO HALL / PARTITION
- NO DOOR
- NO HALL / PARTITION
- NO DOOR
- NO HALL / PARTITION
- NO DOOR

FLOOR PLAN - GENERAL NOTES

1. ALL DIMENSIONS ARE BASED ON FACE OF PARTITION UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE IN FEET AND INCHES. DECIMALS OF AN INCH ARE ROUNDED UP TO THE NEXT HIGHER DECIMAL.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

FLOOR PLAN NOTES

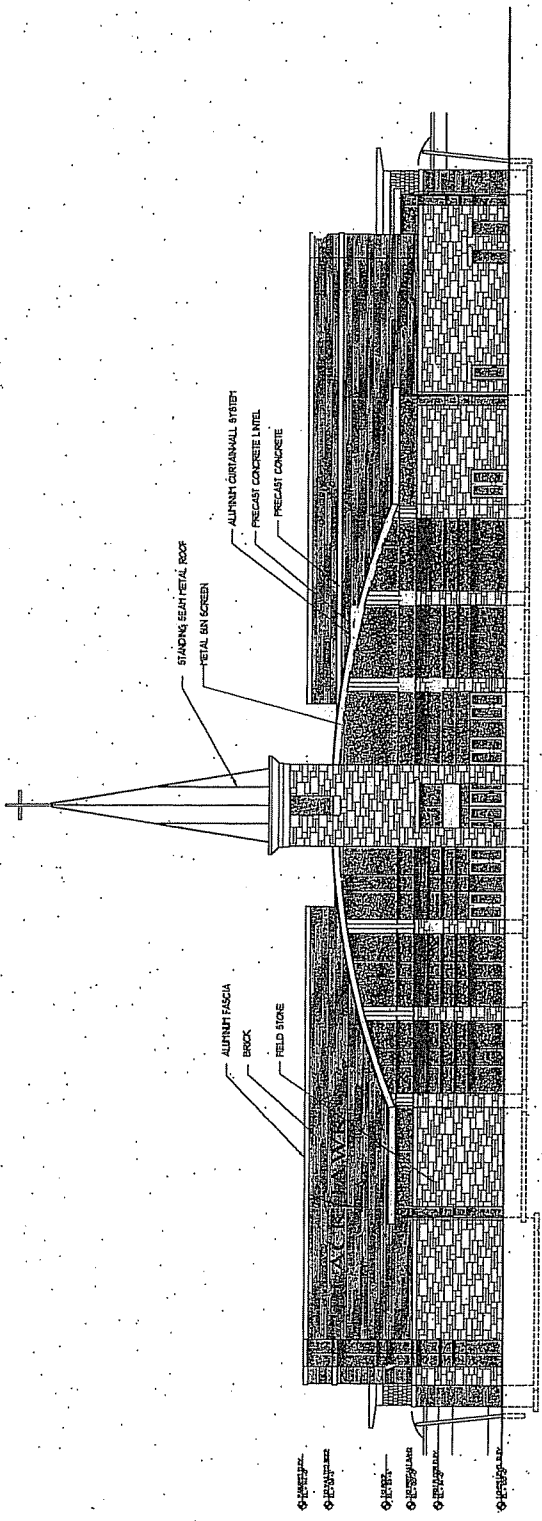
- 1. SEE ARCHITECT'S NOTES FOR PHASE I AND PHASE II.
- 2. SEE ARCHITECT'S NOTES FOR PHASE I AND PHASE II.
- 3. SEE ARCHITECT'S NOTES FOR PHASE I AND PHASE II.
- 4. SEE ARCHITECT'S NOTES FOR PHASE I AND PHASE II.
- 5. SEE ARCHITECT'S NOTES FOR PHASE I AND PHASE II.
- 6. SEE ARCHITECT'S NOTES FOR PHASE I AND PHASE II.
- 7. SEE ARCHITECT'S NOTES FOR PHASE I AND PHASE II.
- 8. SEE ARCHITECT'S NOTES FOR PHASE I AND PHASE II.
- 9. SEE ARCHITECT'S NOTES FOR PHASE I AND PHASE II.
- 10. SEE ARCHITECT'S NOTES FOR PHASE I AND PHASE II.



5-8

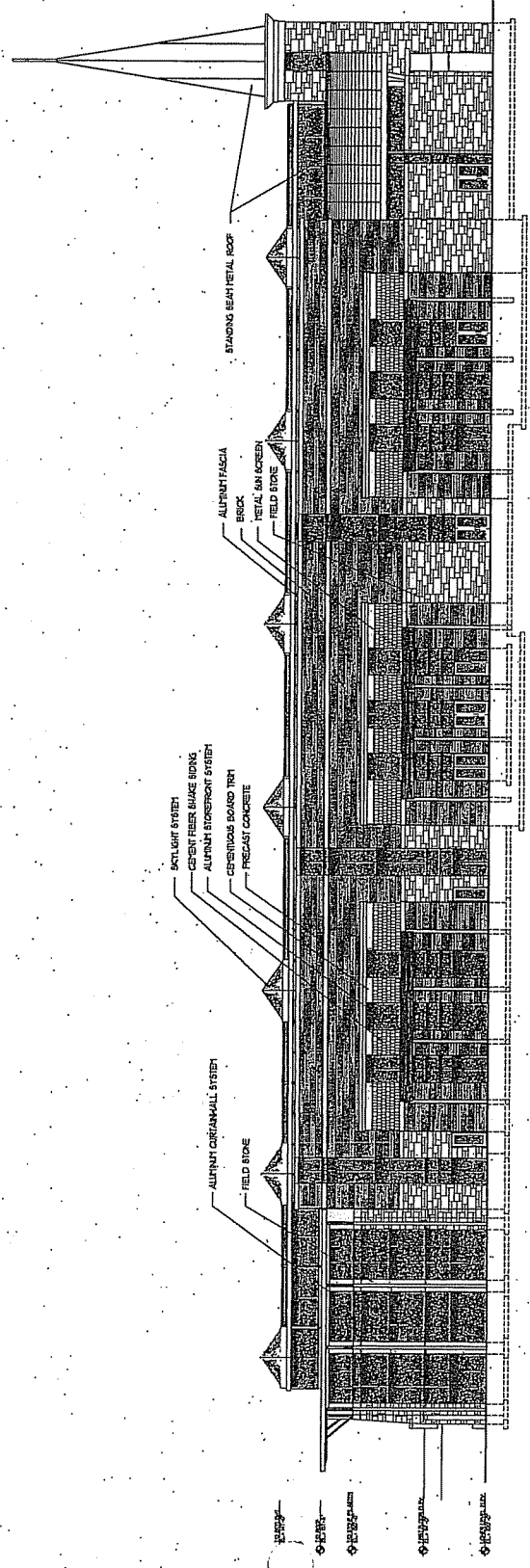
6-8

- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000

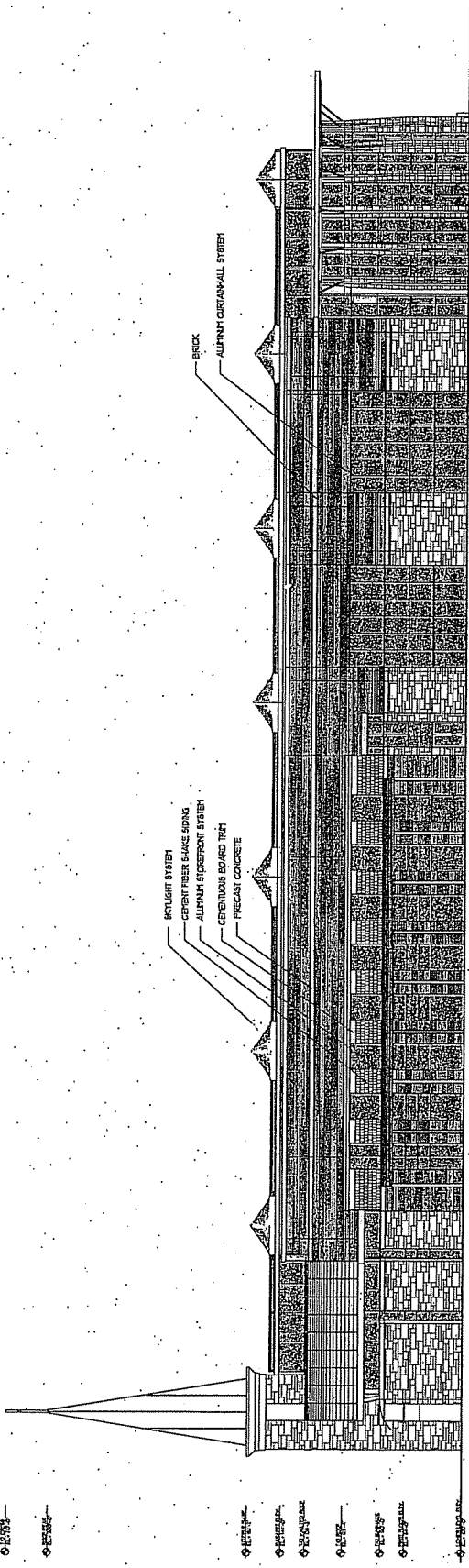


SOUTH ELEVATION

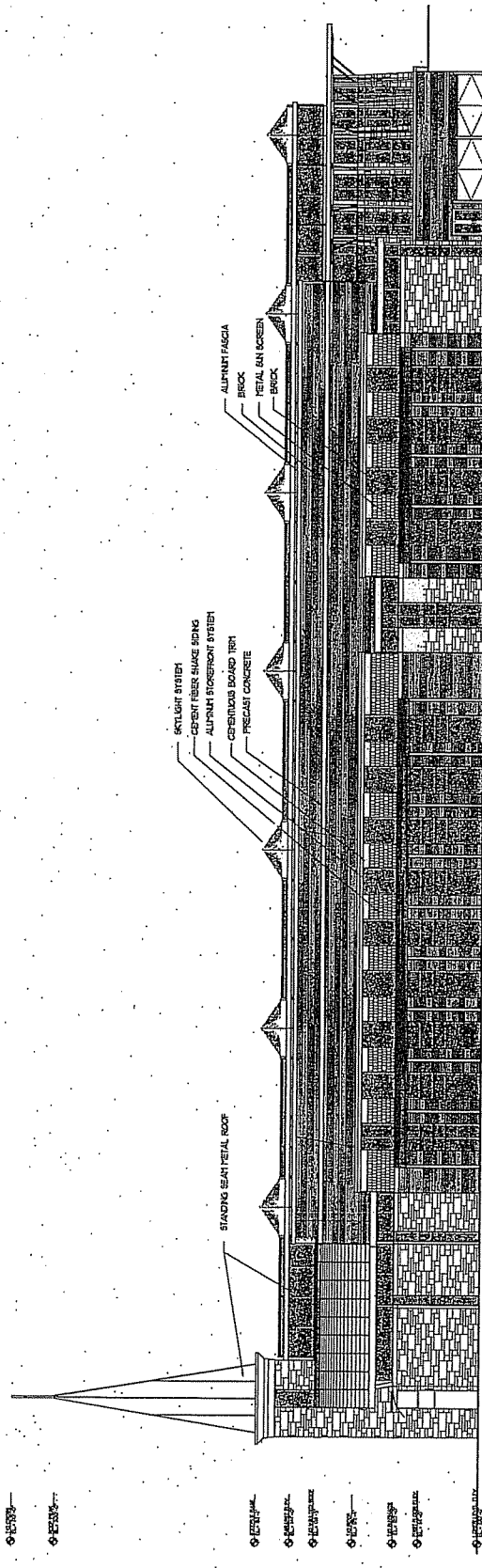
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000
- 0-60000



WEST ELEVATION

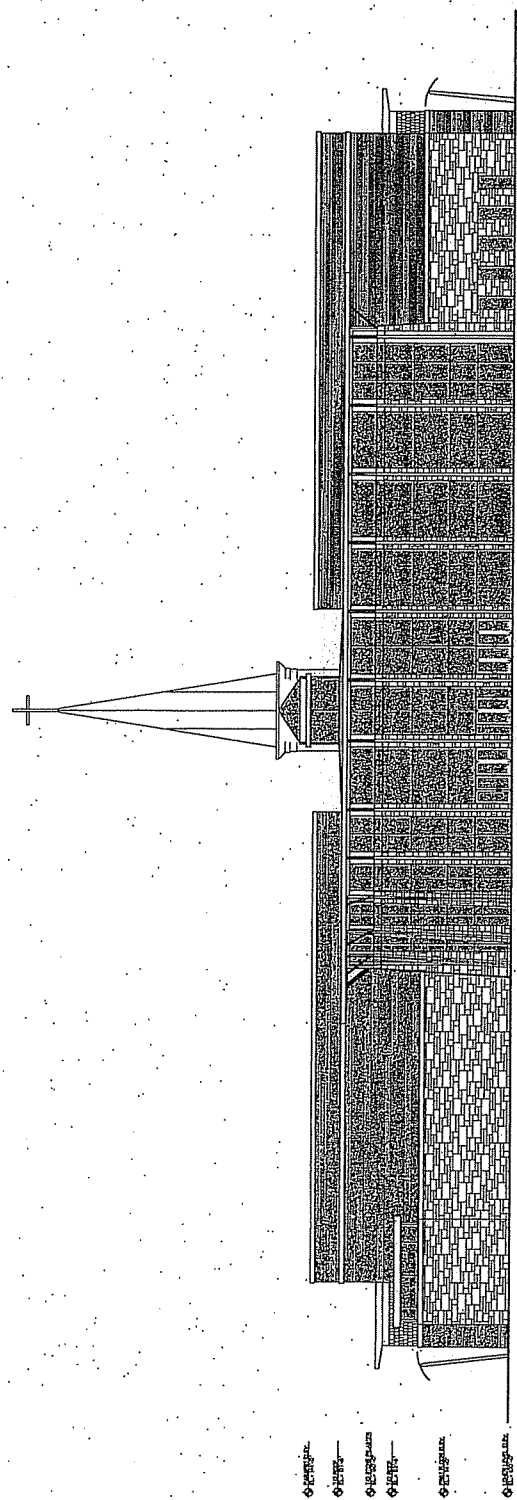


EAST ELEVATION - PHASE 1

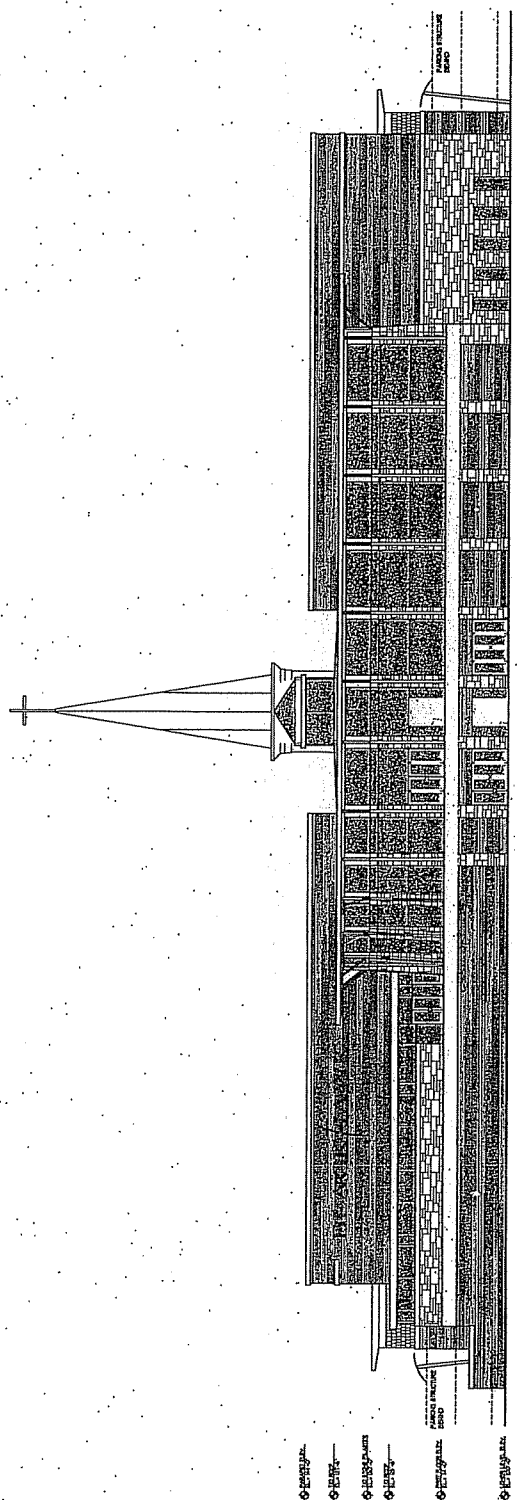


EAST ELEVATION - PHASE 2

6-8

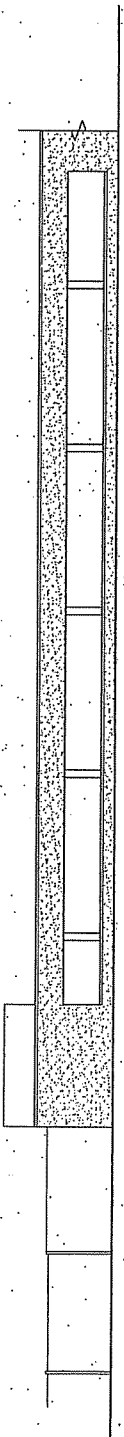


NORTH ELEVATION - PHASE 1

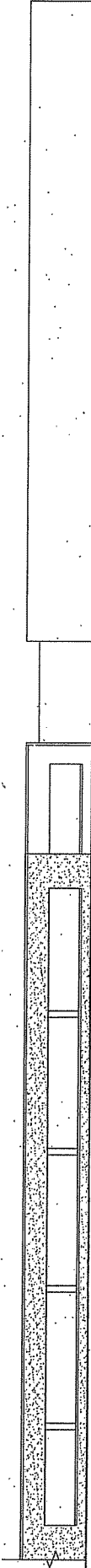


NORTH ELEVATION - PHASE 2

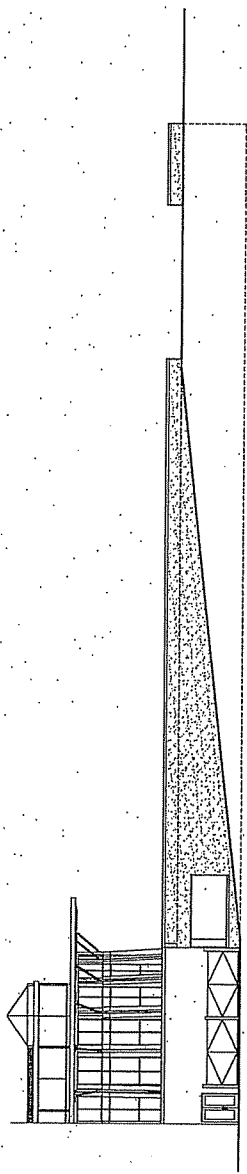
8-9



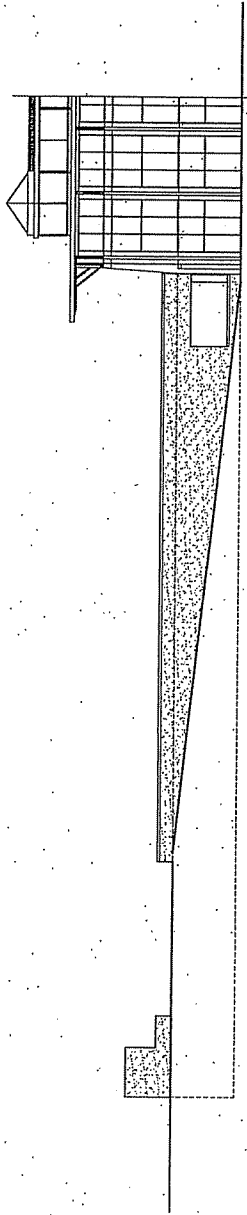
SOUTH ELEVATION - EAST SIDE



SOUTH ELEVATION - WEST SIDE



EAST ELEVATION



WEST ELEVATION

5-8