

UW CREDIT UNION OFFICE BUILDING

8101 Excelsior Drive
Madison, WI 53717

KEE Project ZD06E

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Materials Legend

PLAN/SECTION CUT			
	Brick		Sand, Grout, Mortar
	Concrete		Solid Surface
	Concrete Masonry Units (CMU)		Stone
	Earth/Compacted Fill		Wood (Rough)
	Glass		Wood (Blocking)
	Gypsum Wall Board (GWB)		Wood (Finish)
	Insulation (Batt/Loose)		
	Insulation (Rigid)		
	Insulation (Spray Foam)		
	Metal		
	Plastic Laminate (PLAM)		
	Plywood		
		ELEVATION	
			Concrete, Plaster, EIFS
			Sheet Metal
			Brick
			Glass

Graphic Legend

	Level Line / Datum Elevation		Callout Reference
	Room Name & Number		Drawing Number (typ.)
	Partition Type Reference		Sheet Number (typ.)
	Keyed Note		Building / Wall Section / Detail Reference
	Door Tag		Exterior Elevation Reference
	Window Tag		Interior Elevation Reference
	Specialty Equipment Tag		Finish Symbol

Location Map



09/01/2021

PLAN
COMMISSION
REVIEW

REV DESCRIPTION DATE



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OFFICE BUILDING

8101 Excelsior Drive
Madison, WI 53717

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architecture

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A001

TITLE SHEET

ALTA/NSPS LAND TITLE SURVEY

CLIENT
 UW Credit Union

BASIS OF BEARINGS
 -Bearings are referenced To the West line of Excelsior Drive, which bears South 13°16'34" West.
 -Vertical datum is based on NAVD-88
 -Starting BM is the Southeast corner of the Southeast 1/4 of Section 15. Elevation: 992.15

TITLE COMMITMENT NO. NCS-907671-MAD

SITE ADDRESS/PROJECT
 8033 Excelsior Dr., Madison, Wisconsin. AFSCME Office Building

LEGAL DESCRIPTION
 Lot 9, Old Sauk Trails Park, in the City of Madison, Dane County, State of Wisconsin.

TITLE COMMITMENT
 This survey was prepared based on First American Title Insurance Company Commitment No. NCS-907671-MAD, effective date of May 23, 2018 which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 5, 9 & 10 visible evidence shown, if any.
- 4, 6, 7, 8, 19, 20 & 21 not survey shown.
11. Easement to Wisconsin Power and Light Company recorded April 17, 1928 in Volume 82 of Misc., Page 548, as Document No. 487905 and reaffirmed in Deed recorded April 3, 1972 in Volume 329 of Records, Page 585 as Document No. 1321341. **Affects property by location, general in nature.**
12. Matters shown on Plat of Old Sauk Trails Park, recorded January 21, 1986 in Volume 55 of Plats, Pages 45-46, as Document No. 1918426. **Affects property by location, shown.**

Release of Utility Easement recorded October 3, 1988 in Volume 12024, Page 85, as Document No. 2107005. **Affects property, not shown, released.**

13. Declarations of Covenants, Conditions and Restrictions recorded January 21, 1986 in Volume 7716, Page 23, as Document No. 1918427. **Affects property by location, shown.**
 First Amendment to the Declarations of Covenants, Conditions and Restrictions recorded September 9, 1994 in Volume 28395, Page 35, as Document No. 2630945. **Affects property by location, not survey related.**
 Second Amendment to the Declarations of Covenants, Conditions and Restrictions recorded May 22, 1996 in Volume 32955, Page 15, as Document No. 2764523. **Affects property by location, not survey related.**

14. Declaration of Conditions and Covenants recorded January 21, 1986 in Volume 7717, Page 71, as Document No. 1918483. **Affects property by location, general in nature.**

15. Underground Electric Easement recorded August 8, 1986 in Volume 8594, Page 87, as Document No. 1955615. **Affects property by location, shown.**

16. Right-of-Way Easement, to Mid-Plains Telephone, Inc., recorded August 25, 1986 in Volume 8674, Page 14, as Document No. 1959224. **Does not affect property by location.**

17. Jogging Trail Easement recorded September 8, 1988 in Volume 11934, Page 33, as Document No. 2103169. **Affects property by location, shown.**

18. Jogging Trail Easement recorded September 9, 1988 in Volume 11937, Page 45, as Document No. 2103265. **Affects property by location, shown.**

PARKING SPACES
 There are 138 regular parking spaces and 5 handicap spaces marked on this site.

FLOOD NOTE
 According to the flood insurance rate map of the County of Dane, Community Panel No. 5505C0384G, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

LAND AREA
 The Land Area of the subject property is 215,687 square feet or 4.9515 acres.

TITLE COMMITMENT NO. NCS-954921-MAD

SITE ADDRESS
 8101 Excelsior Drive, City of Madison, Dane County, Wisconsin.

LEGAL DESCRIPTION
 Lot 10, Old Sauk Trails Park, in the City of Madison, Dane County, State of Wisconsin.

TITLE COMMITMENT
 This survey was prepared based on First American Title Insurance Company Commitment No. NCS-954921-MAD, effective date of April 11, 2019 which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 5 & 10 visible evidence shown, if any.
- 4, 6, 7, 8, 9, 20, 21 & 22 not survey shown.
11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-Call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20182221684 & 20191804177.
12. There was visible building construction or building additions within recent months.
13. There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
14. There is no evidence on site of delineated wetland areas.
15. There were no off-site easements or servitudes benefiting the survey property disclosed in furnished Title Commitment at the time of survey.

16. Declaration of Covenants, Conditions and Restrictions recorded January 21, 1986 in Volume 7716, Page 23, as Document No. 1918427. **Affects property by location, shown.**
 First Amendment to the Declarations of Covenants, Conditions and Restrictions recorded September 9, 1994 in Volume 28395, Page 35, as Document No. 2630945. **Affects property by location, not survey related.**
 Second Amendment to the Declarations of Covenants, Conditions and Restrictions recorded May 22, 1996 in Volume 32955, Page 15, as Document No. 2764523. **Affects property by location, not survey related.**

17. Declaration of Conditions and Covenants recorded January 21, 1986 in Volume 7717, Page 71, as Document No. 1918483. **Affects property by location, general in nature.**

18. Underground Electric Easement recorded August 8, 1986 in Volume 8594, Page 87, as Document No. 1955615. **Affects property by location, shown.**

19. Right-of-Way Easement, to Mid-Plains Telephone, Inc., recorded August 25, 1986 in Volume 8674, Page 14, as Document No. 1959224. **Does not affect property by location, not shown.**

20. Public Sanitary Sewer Easement recorded March 6, 1987 in Volume 9630, Page 87, as Document No. 2001816. **Does not affect property by location, not shown.**

21. Right-of-Way Easement to Mid-Plains Telephone, Inc., recorded May 22, 1987 in Volume 10047, Page 47, as Document No. 2019222. **Does not affect property by location, not shown.**

22. Jogging Trail Easement recorded September 8, 1988 in Volume 11934, Page 33, as Document No. 2103169. **Affects property by location, shown.**
 Jogging Trail Easement recorded September 9, 1988 in Volume 11937, Page 45, as Document No. 2103265. **Affects property by location, shown.**

PARKING SPACES
 There are 76 regular parking spaces and 4 handicap spaces marked on this site.

FLOOD NOTE
 According to the flood insurance rate map of the County of Dane, Community Panel No. 5505C0384G, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

LAND AREA
 The Land Area of the subject property is 231,548 square feet or 5.3156 acres.

LEGEND

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- ⊕ INDICATES FOUND CHISELED CROSS
- ⊙ SANITARY MANHOLE
- ⊙ SANITARY CLEANOUT OR VENT
- ⊙ SEPTIC TANK ACCESS COVER
- ⊙ M.I.S. MANHOLE
- ⊙ UNKNOWN MANHOLE
- ⊙ STORM MANHOLE
- ⊙ INLET (ROUND)
- ⊙ INLET (SQUARE)
- ⊙ CURB INLET
- ⊙ STORM SEWER END SECTION
- ⊙ GAS VALVE
- ⊙ WATER VALVE
- ⊙ GAS METER
- ⊙ HYDRANT
- ⊙ WATER MANHOLE
- ⊙ WATER SERVICE CURB STOP
- ⊙ WELL HEAD
- ⊙ STAND PIPE
- ⊙ WALL INDICATOR VALVE
- ⊙ POST INDICATOR VALVE
- ⊙ LIGHT POLE
- ⊙ SPOT/YARD LIGHT
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC METER
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ CABLE PEDESTAL
- ⊙ CONTROL BOX
- ⊙ FIBER OPTIC PEDESTAL/SIGN
- ⊙ TRAFFIC LIGHT
- ⊙ COMMUNICATION MANHOLE
- ⊙ BOLLARD
- ⊙ SOIL BORING/MONITORING WELL
- ⊙ WATER SURFACE
- ⊙ WETLAND FLAG
- ⊙ MARSH
- ⊙ FLAGPOLE
- ⊙ PARKING METER
- ⊙ SIGN
- ⊙ MAILBOX
- ⊙ RAILROAD CROSSING SIGNAL
- ⊙ HANDICAP SPACE
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE

--- SANITARY SEWER
 --- STORM SEWER
 --- WATERLINE
 --- MARKED GAS MAIN
 --- MARKED ELECTRIC
 --- OVERHEAD WIRES
 --- MARKED TELEPHONE
 --- MARKED CABLE TV LINE
 --- MARKED FIBER OPTIC
 --- BURIED ELECTRIC SERVICE
 --- CHAIN LINK FENCE
 --- WIRE FENCE

MUNICIPAL ZONING
 The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item (a) nor to be relied on for site development purposes.

Municipal Code: Sec. 28.086
 Site is zoned: SEC (Suburban Employment Center District)
 Front setback: 25 feet
 Side setback: 15 or 20% building height (the greater)
 Rear setback: 30 or 45% of building height (the greater)
 Minimum building height: 22, measured to building cornice
 Maximum building height: none

TABLE "A" ITEMS

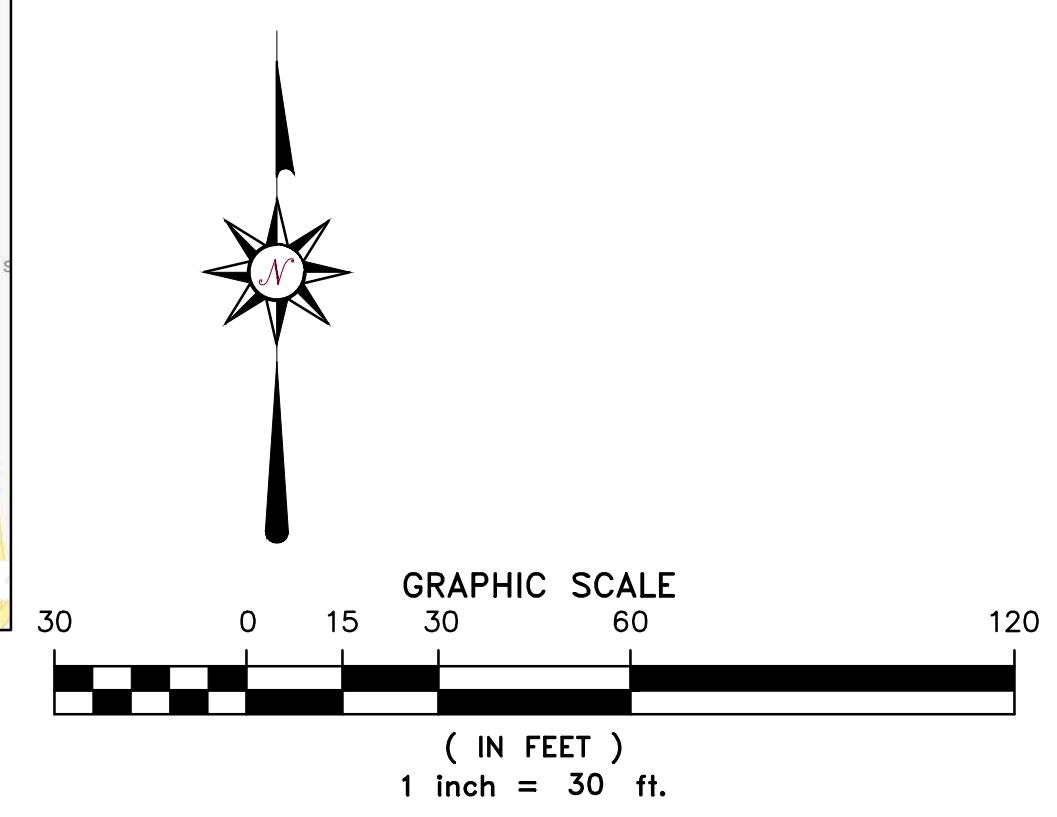
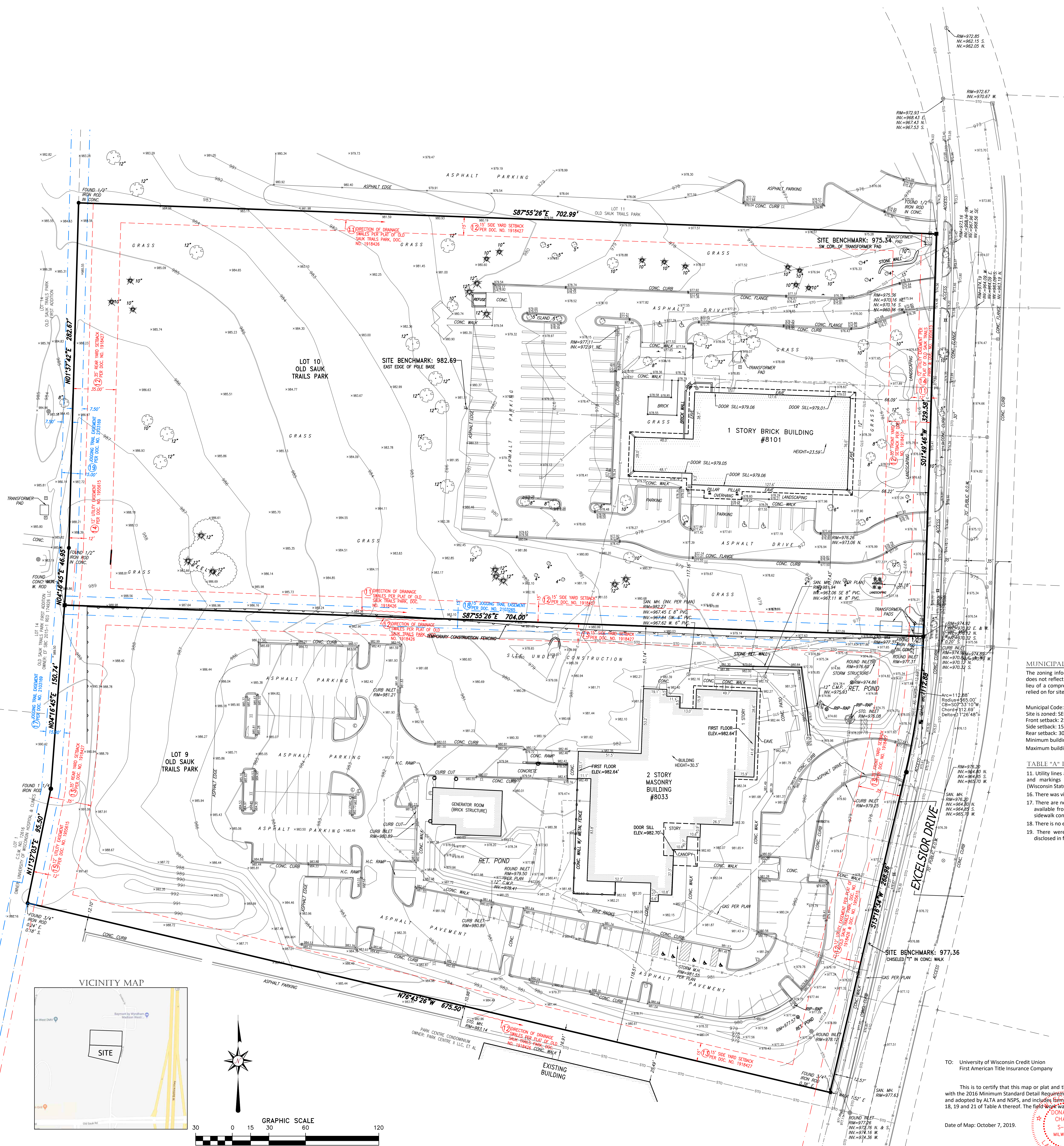
11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-Call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20182221684 & 20191804177.
12. There was visible building construction or building additions within recent months.
13. There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
14. There is no evidence on site of delineated wetland areas.
15. There were no off-site easements or servitudes benefiting the survey property disclosed in furnished Title Commitment at the time of survey.

TO: University of Wisconsin Credit Union
 First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7(a), 7(b)(1)(2), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, 19 and 21 of Table A thereof. The field work was completed on October 4, 2019.

Date of Map: October 7, 2019.

Donald C. Chapat
 Professional Land Surveyor
 Registration No. S-1316



CHAPUT LAND SURVEYS

234 W. Florida Street
 Milwaukee, WI 53204

414-224-8068
 www.chapatlandsurveys.com

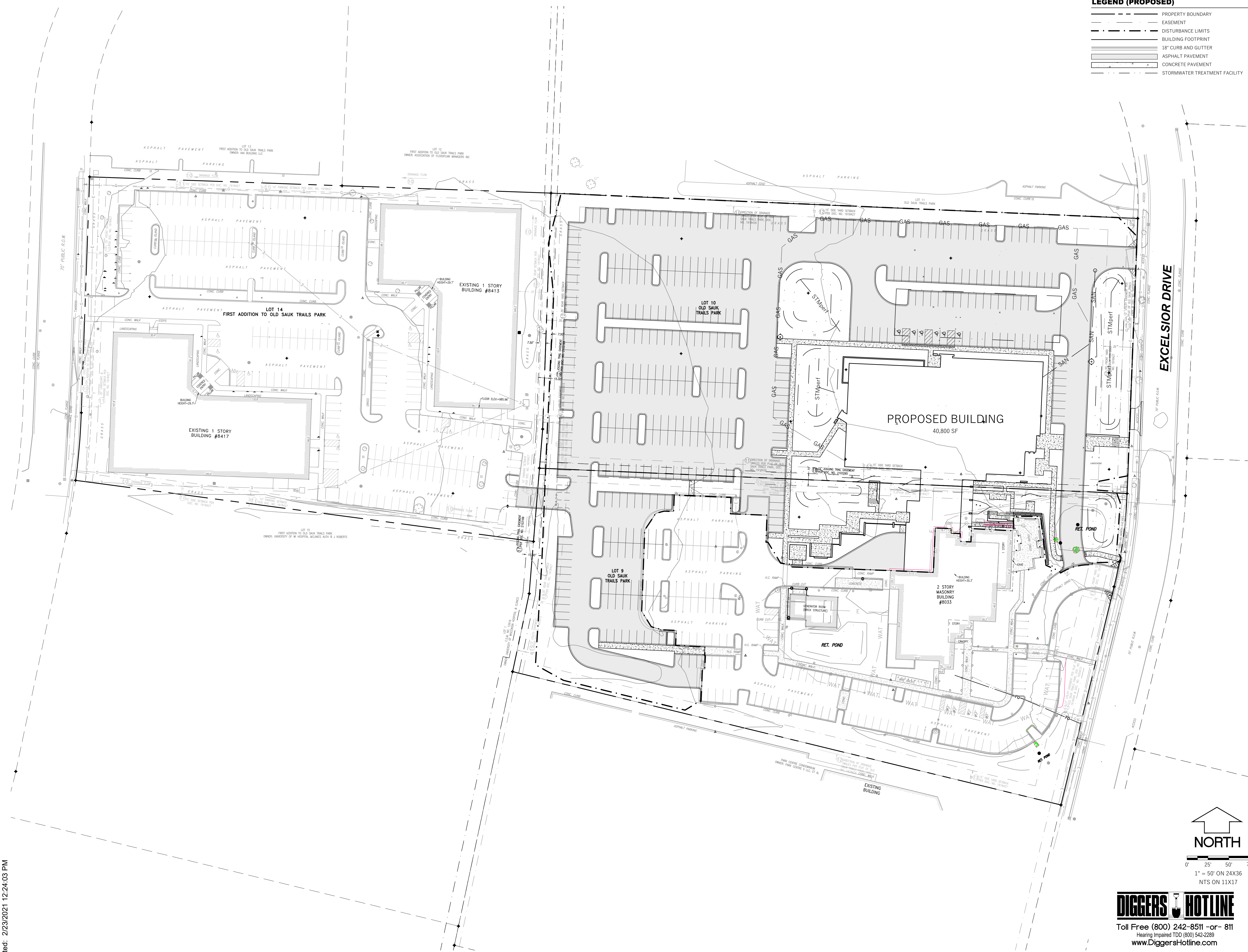
Date	Revision description
May 5, 2020	Private Utility Marking
Aug. 25, 2021	Added missing trees
	Added missing trees

Drawing No. 2910.02-3210-far

CHAPUT LAND SURVEYS

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- DISTURBANCE LIMITS
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- STORMWATER TREATMENT FACILITY



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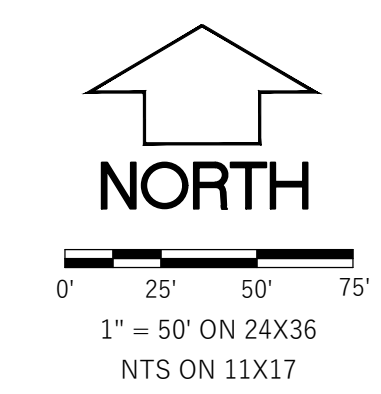
REV	DESCRIPTION	DATE

uw credit union
 UW CREDIT UNION
 OFFICE BUILDING
 8101 Excelsior Drive
 Madison, WI 53717
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C001 Site Context Plan

File: W:\2018\180564_kee - 8033 Excelsior Drive.dwg\Phase IV\18-0564_Civil_Design_Phase IV.dwg
 User: Admin
 Plotted: Aug 27, 2021 - 12:58pm
 Layout: Site Context Plan
 Printed: 2/23/2021 12:24:03 PM



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • Email: fire@cityofmadison.com

Project Address: EXCELSIOR DRIVE

Contact Name & Phone #:

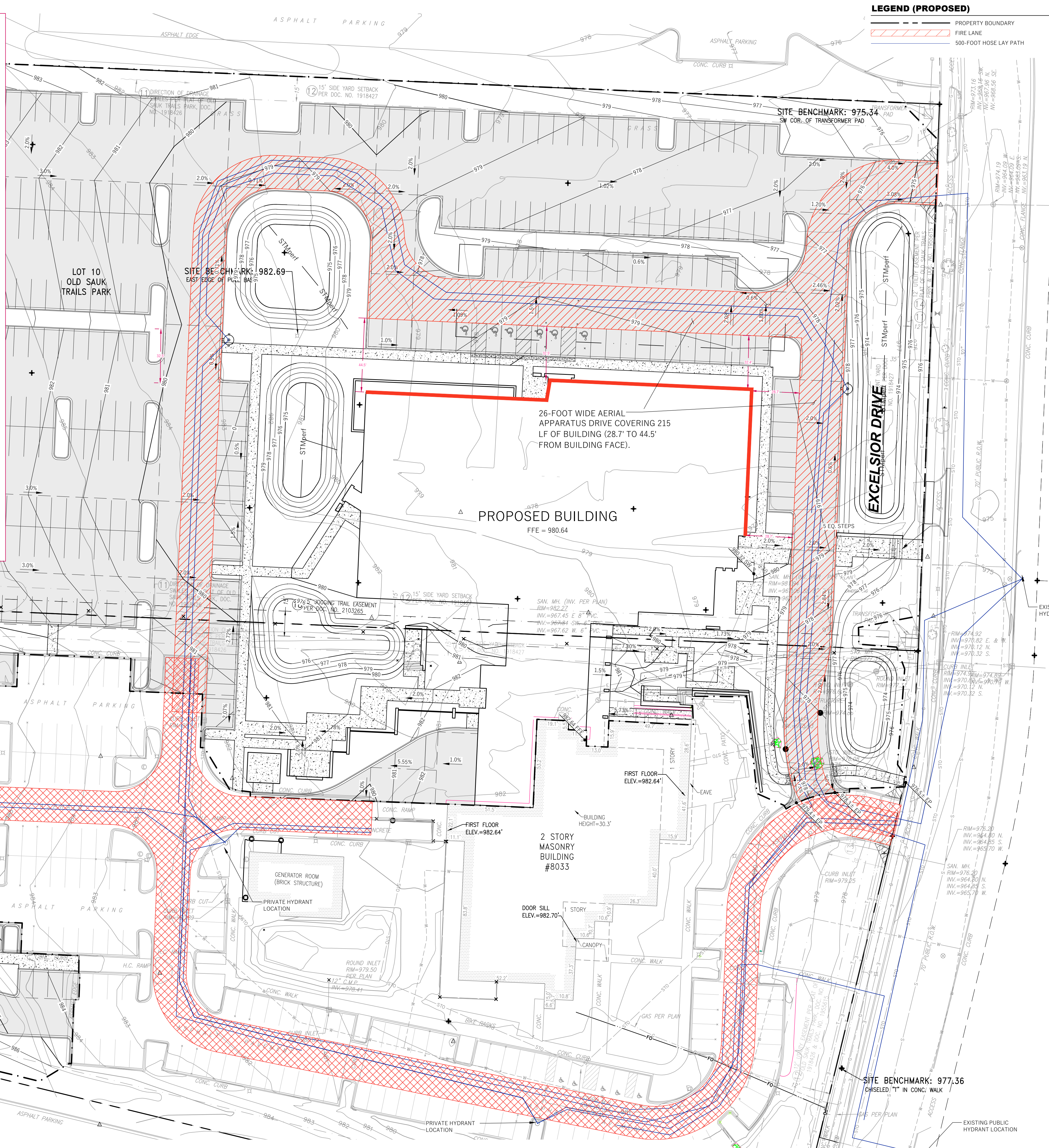
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 1/21/2016



LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- FIRE LANE
- 500-FOOT HOSE LAY PATH

09/01/2021

PLAN
COMMISSION
REVIEW

REV	DESCRIPTION	DATE



UW CREDIT UNION
OFFICE BUILDING

8101 Excelsior Drive

Madison, WI 53717

ZD06E

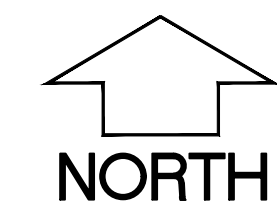


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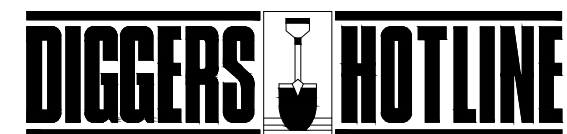
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C002

Fire Apparatus Plan



0' 15' 30' 45'
1" = 30' ON 24X36
NTS ON 11X17



Toll Free (800) 242-8511 -or- 811
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- - - EASEMENT
- - - DISTURBANCE LIMITS
- ▭ BUILDING FOOTPRINT
- ▭ 18" CURB AND GUTTER
- ▭ ASPHALT PAVEMENT
- ▭ CONCRETE PAVEMENT
- ▭ STORMWATER TREATMENT FACILITY
- LIGHT POLES
- FIRE HYDRANTS

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

SITE INFORMATION BLOCK:

SITE ADDRESS: 8101 EXCELSIOR DRIVE & 8033 EXCELSIOR DRIVE
 SITE ACREAGE: 8101 EXCELSIOR DRIVE - 231,548 (5.32 AC)
 8033 EXCELSIOR DRIVE - 215,687 SQ.FT. (4.95 AC)
 USE OF PROPERTY: OFFICE
 ZONING: SUBURBAN EMPLOYMENT CENTER DISTRICT (SEC)

SETBACKS: (28.086 AND CONVEYANCE)
 FRONT YARD: 25- FEET AND 35- FEET
 REAR YARD: 30- FEET AND 35- FEET
 SIDE YARD: 15- FEET

GROSS SQUARE FOOT FLOOR AREA:
 ADDITION: 115,000 SQ.FT.
 EXISTING TO REMAIN: 37,895 SQ.FT.

PARKING REQUIREMENTS (28.141(4) - TABLE 281-3)
 CAR PARKING
 MAX: 1 PER 250 GSF = 611 MIN: NONE
 BICYCLE PARKING: MIN.
 1 PER 2,000 SF = 76
 20 EXISTING BIKE STALLS TO REMAIN
 56 NEW BIKE STALLS PROVIDED

TOTAL NUMBER OF PARKING STALLS: 547 (142 EXISTING TO REMAIN, 405 PROPOSED)
 NUMBER OF STALLS DESIGNATED ACCESSIBLE: 11 (5 EXISTING TO REMAIN, 6 PROPOSED)

EXISTING IMPERVIOUS SURFACE AREA: 124,870 SQ.FT.
 ROOFTOP: 25,247 SQ.FT.
 PAVED: 99,623 SQ.FT.

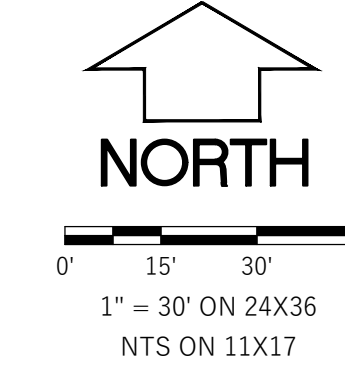
NEW IMPERVIOUS SURFACE AREA: 201,516 SQ.FT.
 ROOFTOP: 18,239 SQ.FT.
 PAVED (TOTAL): 183,275 SQ.FT.

FINAL IMPERVIOUS SURFACE AREA (SINCE 2001): 298,409 SQ.FT.
 ROOFTOP: 51,819 SQ.FT.
 PAVED: 246,590 SQ.FT.

DISTURBANCE LIMITS: 307,000 SQ. FT.
 MAXIMUM IMPERVIOUS AREA PERCENT: 75%
 PERCENT IMPERVIOUS: 66.7%

NOTE:
 THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

BUILDING FOOTPRINT SHOWN BASED ON ARCHITECTURAL FLOOR PLAN AS PROVIDED TO WYSER ENGINEERING DATED 05-26-20. THIS DRAWING SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT UNTIL FOUNDATION IS VERIFIED BY FINAL STRUCTURAL PLANS. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR.



09/01/2021
 PLAN COMMISSION REVIEW

REV	DESCRIPTION	DATE



UW CREDIT UNION
 OFFICE BUILDING
 8101 Excelsior Drive
 Madison, WI 53717

ZD06E

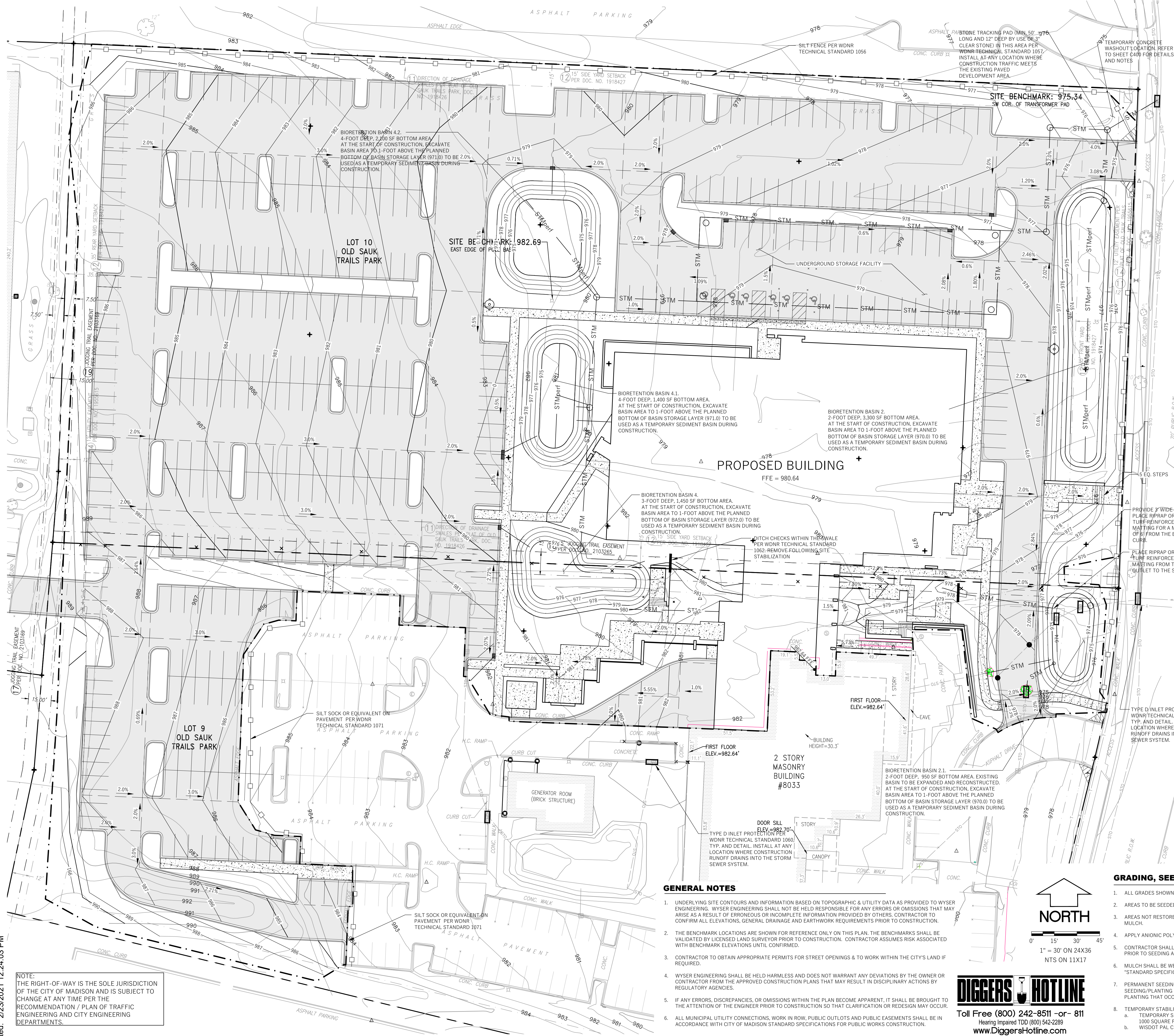


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C100 Site Plan



LEGEND (PROPOSED)

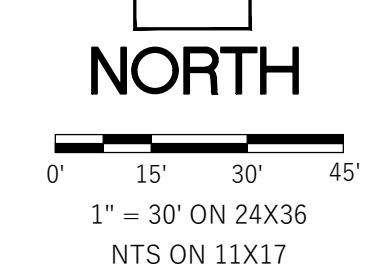
- PROPERTY BOUNDARY
- EASEMENT
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- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- STM
- SILT FENCE
- INLET PROTECTION
- DITCH CHECK

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

1. POST WDR CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL PERMITS. THE SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. ENGINEER / CITY OF MADISON / WDR HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TO SET UP A PRECONSTRUCTION MEETING A MINIMUM OF TWO (2) WEEKS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
7. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS). MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE. MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
8. REFER TO THE WDR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dr.wi.gov/topic/stormwater/standards/const_standards.html.
9. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCES) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCES).
10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
11. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
12. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
13. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
14. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDR TECHNICAL STANDARD DE-WATERING #1061.
15. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP # 1063.
16. CONSTRUCT AND PROTECT THE BIOFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDR TECHNICAL STANDARD BIOFILTRATION FOR INFILTRATION # 1066.
17. INSTALL AND MAINTAIN SILT FENCING PER WDR TECHNICAL STANDARD SILT FENCE #1066. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
18. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDR TECHNICAL STANDARD DITCH CHECKS #1062.
19. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDR TECHNICAL STANDARD INTERM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
20. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
21. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
22. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
23. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
24. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
25. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
26. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED LOCATION WHERE CONSTRUCTION SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERM), SEWER SYSTEM.
27. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS I TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
28. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
29. MAKE PROVISIONS FOR WATERING DURING THE FIRST 3 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 3 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
30. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDR'S BUREAU OF REMEDIATION AND REVEALMENT TRACKING SYSTEM (BRRS) PUBLIC DATABASE AT: <http://brs.dnr.wisconsin.gov/brs/>
31. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 823-F-11-006: <http://www3.epa.gov/rodspubs/823-f-11-006.pdf>. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.



GRADING, SEEDING & RESTORATION NOTES

1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
2. AREAS TO BE SEEDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL UNLESS OTHERWISE NOTED.
3. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
4. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
5. CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES THE STORMWATER MANAGEMENT FACILITY JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
6. MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" (WISDOT 2014)
7. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING / PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
8. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
 - a. TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET.
 - b. WISDOT PAL CLASS I TYPE B URBAN EROSION CONTROL MAT.

C200

09/01/2021
PLAN COMMISSION REVIEW

REV DESCRIPTION DATE



UW CREDIT UNION
OFFICE BUILDING

8101 Excelsior Drive
Madison, WI 53717

ZD06E



3220 SYENE RD #102 | MADISON WI 53713

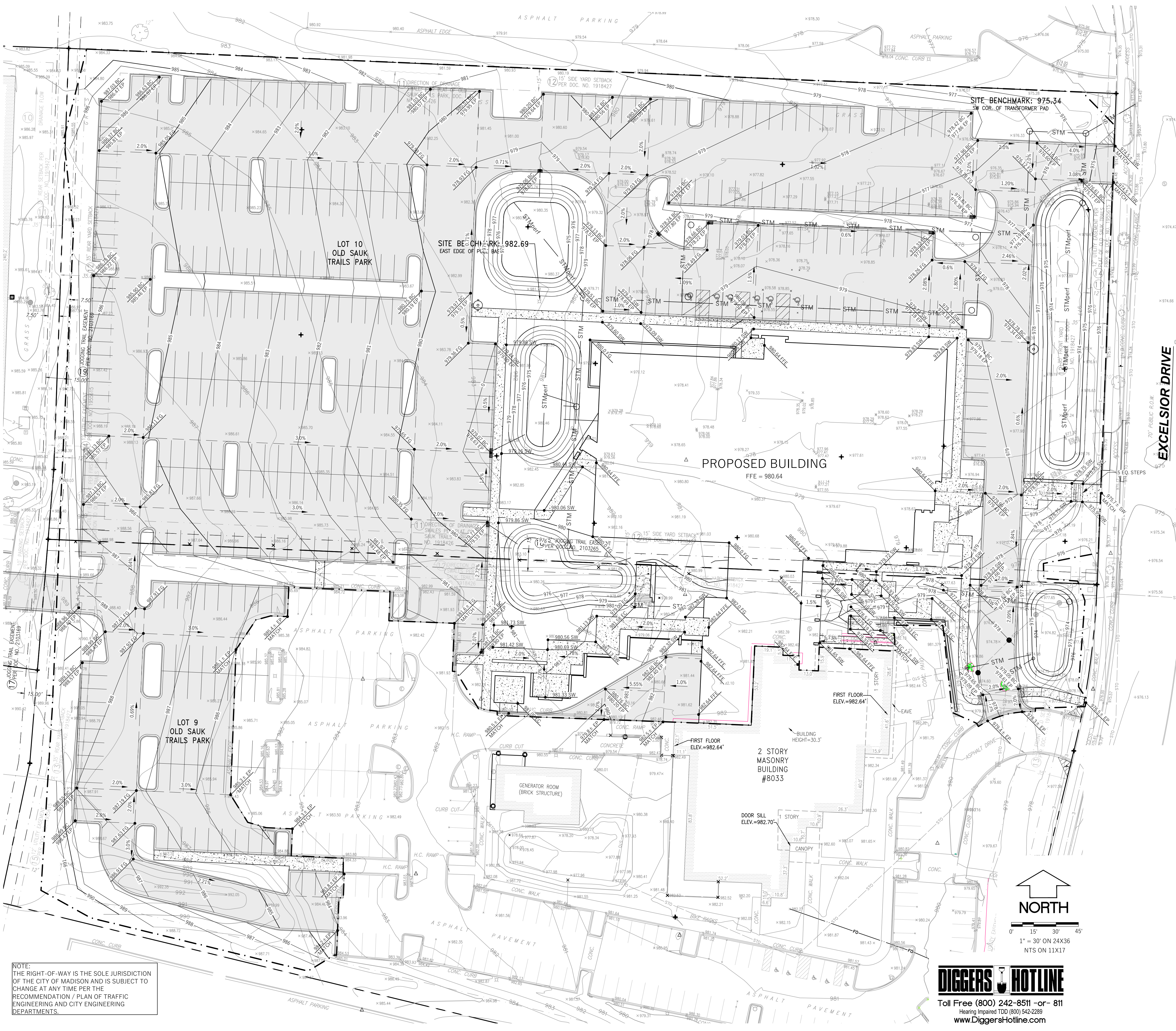
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Grading & Erosion Control Plan

NOTE:
THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

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LEGEND (PROPOSED)

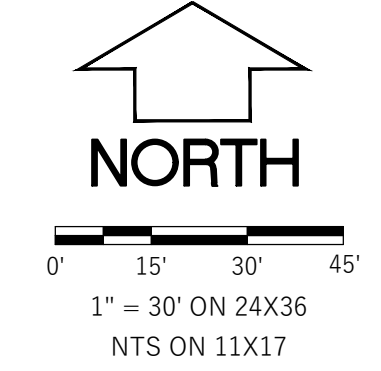
---	PROPERTY BOUNDARY
- - -	EASEMENT
▭	BUILDING FOOTPRINT
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▨	ASPHALT PAVEMENT
▩	CONCRETE PAVEMENT
○	PROPOSED MAJOR CONTOUR
○	PROPOSED MINOR CONTOUR
—	PROPOSED STORM SEWER

GENERAL NOTES

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NOTE:
 SPOT GRADES ARE AS FOLLOWS:
 FFE - FINISHED FLOOR GRADE
 EP - EDGE OF ASPHALT PAVEMENT
 EC - EDGE OF CONCRETE PAVEMENT
 BC - BACK OF CURB
 SW - EDGE OF SIDEWALK
 FG - FINISH GRADE
 TW - FINISH GRADE ADJACENT TOP OF WALL
 BW - FINISH GRADE ADJACENT BOTTOM OF WALL (NOT FOOTING)

NOTE:
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REV	DESCRIPTION	DATE



UW CREDIT UNION
 OFFICE BUILDING
 8101 Excelsior Drive
 Madison, WI 53717

ZD06E



3220 SYENE RD #102 | MADISON WI 53713

Findorff

C201

Detail Grading Plan



LEGEND (PROPOSED)

---	PROPOSED PROPERTY BOUNDARY
---	EASEMENT
---	BUILDING FOOTPRINT
---	18" CURB AND GUTTER
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	PROPOSED WATER MAIN
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER
---	PROPOSED GAS SERVICE (DESIGN BY OTHERS)
---	PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)
---	STORMWATER TREATMENT FACILITY

- GENERAL NOTES**
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 5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

- UTILITY NOTES**
1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
 4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDRN.
 5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 7. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
 8. ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURIAL. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
 9. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
 10. CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
 11. ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
 12. ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a) AND SPS 384.302(c).
 13. ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
 14. ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
 15. ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SERRATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(8).
 16. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
 17. INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IS IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
 18. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
 19. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY'S EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

09/01/2021
 PLAN
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 REVIEW

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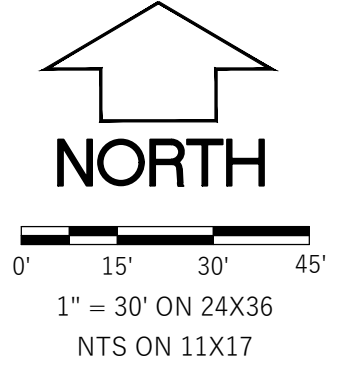
uw credit union
 UW CREDIT UNION
 OFFICE BUILDING
 8101 Excelsior Drive
 Madison, WI 53717
 ZD06E



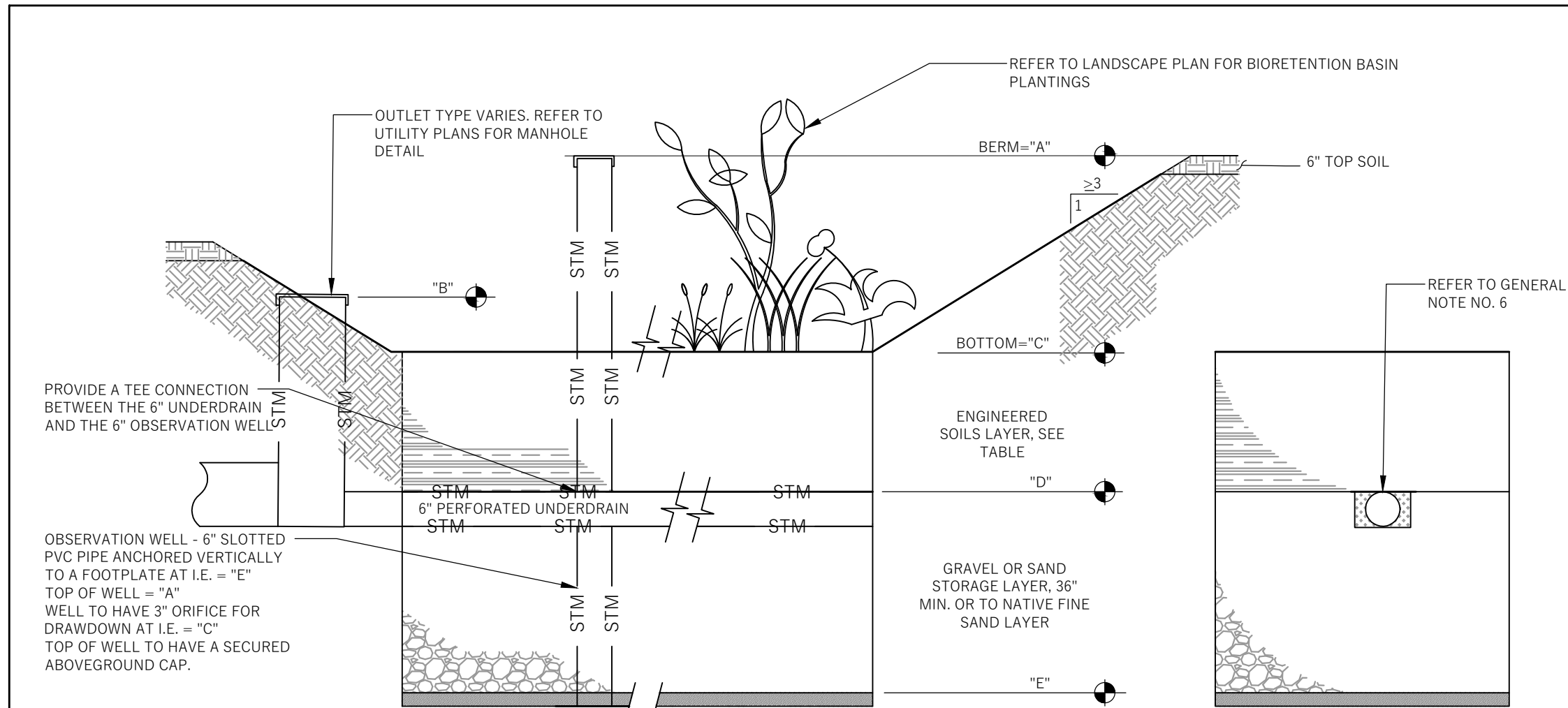
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Findorff

C300 Utility Plan



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- GENERAL NOTES:**
- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
 - CONTRACTOR SHALL PLUG THE BASIN WITH NATIVE PLANTS AND INSTALL A CLASS II EROSION CONTROL MAT (OVERLAPPED AND ANCHORED WITH MIN. 6\"/>

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

	BIORETENTION BASIN 2	BIORETENTION BASIN 2.1	BIORETENTION BASIN 4	BIORETENTION BASIN 4.1	BIORETENTION BASIN 4.2
A	976.0	976.0	979.0	979.0	979.0
B	974.5	974.5	976.5	975.5	975.5
C	974.0	974.0	976.0	975.0	975.0
D	972.5	972.5	974.5	973.5	973.5
E	969.5	969.5	971.5	970.5	970.5

BIORETENTION DEVICE

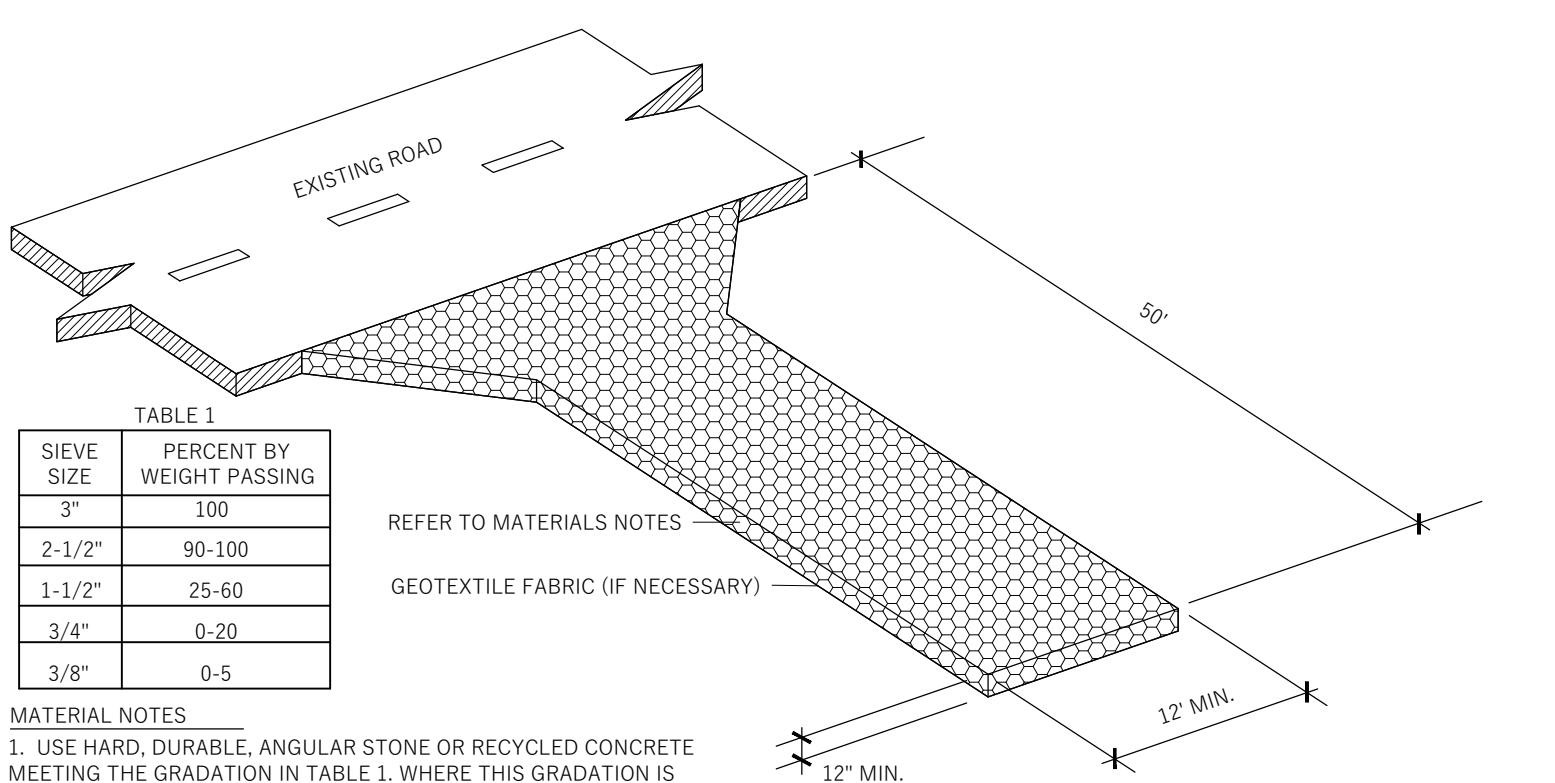
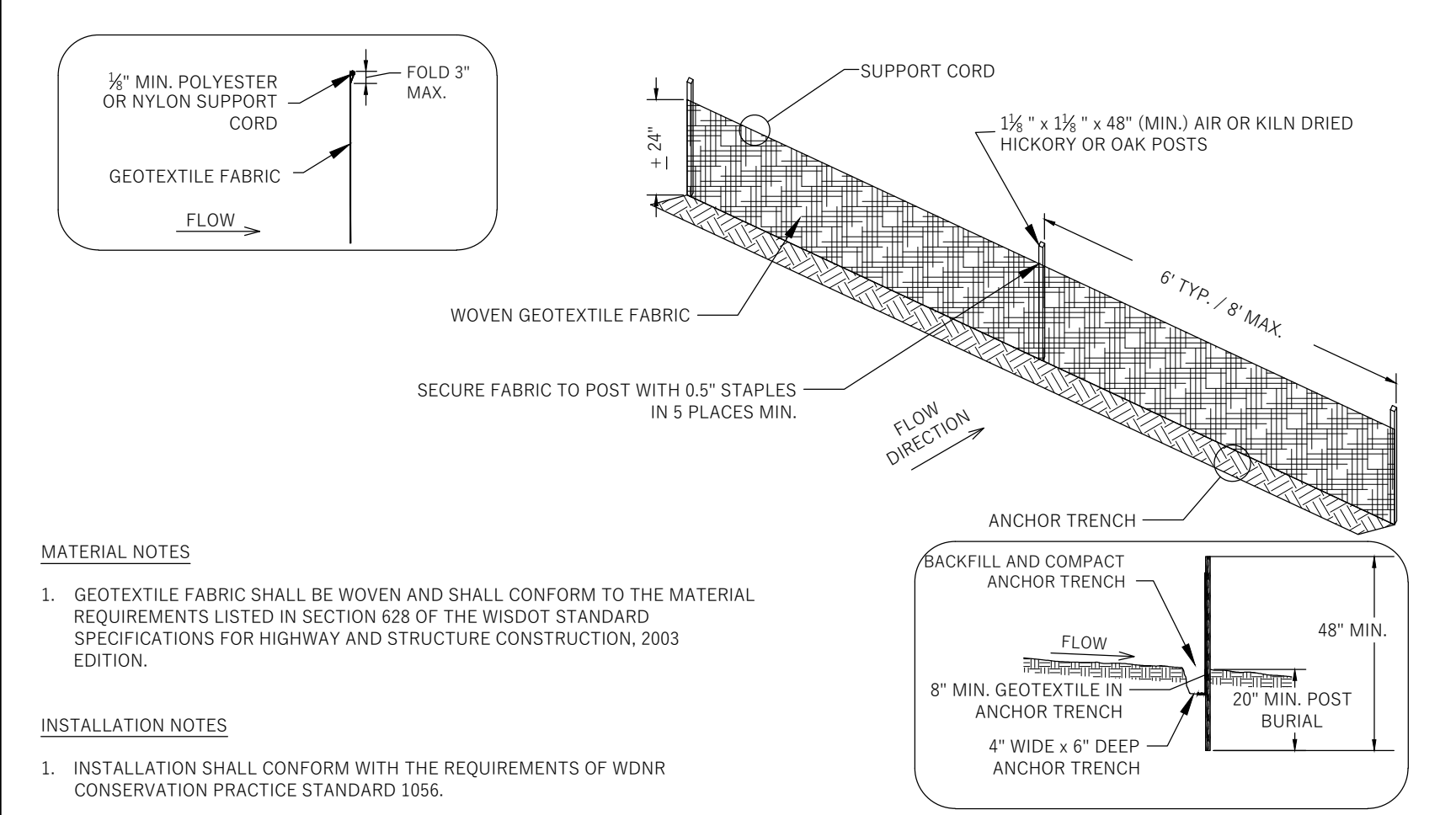
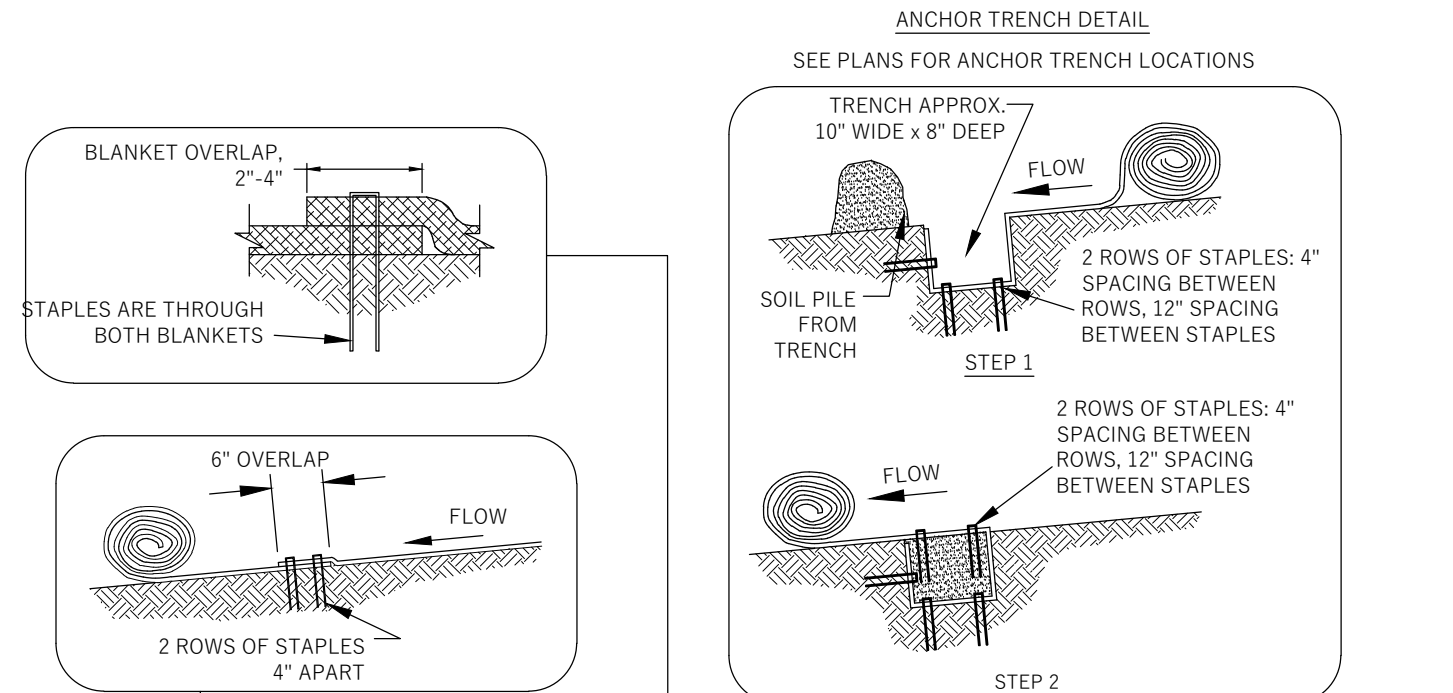


TABLE 1

SIEVE SIZE	PERCENT BY WEIGHT PASSING
3"	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-20
3/8"	0-5

- MATERIAL NOTES:**
- USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION IN TABLE 1. WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) STANDARD SPECIFICATION, SECTION 312 SELECT CRUSHED MATERIAL. USE MATERIAL SUBSTANTIALLY FREE FROM DIRT, DEBRIS, STEEL, VEGETABLE MATTER, AND OTHER DELETERIOUS MATERIAL. PLACE THE AGGREGATE IN A LAYER AT LEAST 12 INCHES THICK.
 - THE TRACKING PAD SHALL BE UNDERLAIN WITH A WIDOT TYPE R GEOTEXTILE FABRIC WHERE WARRANTED BASED ON SOIL TYPE OR HIGH GROUNDWATER.
 - INSTALLATION NOTES:
 - INSTALLATION SHALL CONFORM WITH THE REQUIREMENTS OF WDNR CONSERVATION PRACTICE STANDARD 1057.
 - INSTALL THE TRACKING PAD ACROSS THE FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXITING TRAFFIC TO A DEDICATED EGRESS LANE WITH A DRIVING SURFACE AT LEAST 12 FEET WIDE.
 - DIMENSIONS OF THE TRACKING PAD SHALL BE MINIMUM AS NOTED ON THE FIGURE ABOVE.
 - DIVERT SURFACE FLOWS AWAY FROM TRACKING PADS OR CONVEY FLOW UNDER AND/OR AROUND USING CULVERTS AND SWALES. DIRECT RUNOFF FROM TRACKING PADS TO SEDIMENT CONTROL PRACTICES.
 - DO NOT COMPACT AGGREGATE PRIOR TO USE. COMPACTION, GROUTING, OR OTHER MEANS OF CREATING A SMOOTH SURFACE COMPROMISE THE EFFECTIVENESS OF THE TRACKING PAD.
 - TRACKING PAD SHALL BE REMOVED OR INCORPORATED INTO GRAVEL DRIVEWAY ONLY AFTER CONSTRUCTION IS COMPLETE AND THE SITE HAS BEEN STABILIZED.
- INSPECTION & MAINTENANCE NOTES:**
- STONE TRACKING PADS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD.
 - MONITOR AND MAINTAIN DEVICES TO MINIMIZE SHIFTING, RUTTING OF ADJACENT SURFACES, AND STRUCTURAL FAILURE. MAINTAIN A LOOSE, ROUGH SURFACE BY SCRAPING, LOOSENING, OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 - ADDITIONAL AGGREGATE SHALL BE PLACED IF THE TRACKING PAD BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM THE VEHICLE TIRES.
 - A MINIMUM 30-FEET WIDE BY 50-FEET LONG BY 12-INCH THICK PAD SHALL BE MAINTAINED AT ALL TIMES. ADD STONE AS NEEDED TO MAINTAIN THE MINIMUM PAD THICKNESS.
 - THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 - ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING AT THE END OF EACH WORKING DAY.
 - REMOVE STONES LODGED BETWEEN THE TIRES OF DUAL WHEEL VEHICLES PRIOR TO LEAVING THE CONSTRUCTION SITE.
 - MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION FOR SITE CONDITIONS.
 - REPLACE DAMAGED OR CRUSHED CULVERTS UNDER TRACKING PAD.



- MATERIAL NOTES:**
- GEOTEXTILE FABRIC SHALL BE WOVEN AND SHALL CONFORM TO THE MATERIAL REQUIREMENTS LISTED IN SECTION 628 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2003 EDITION.
- INSTALLATION NOTES:**
- INSTALLATION SHALL CONFORM WITH THE REQUIREMENTS OF WDNR CONSERVATION PRACTICE STANDARD 1056.
 - CONSTRUCT THE SILT FENCE IN AN ARC WITH THE ENDS POINTING UPSLOPE TO AVOID EROSION AROUND THE ENDS OF THE FENCE.
 - FAILURE TO PROPERLY ANCHOR SILT FENCE COULD RESULT IN WATER AND SEDIMENT RELEASE BENEATH THE SILT FENCE. PROPERLY SECURE THE SILT FENCE INTO THE ANCHOR TRENCH.
 - CONSTRUCT THE FENCE FROM A CONTINUOUS ROLL OF GEOTEXTILE TO AVOID JOINTS. WHERE JOINTS ARE NECESSARY, OVERLAP TO THE NEXT POST OR WRAP ADJOINING FABRICS TOGETHER AROUND THE JOINT POST AND TIGHTLY FASTEN.
 - SILT FENCE SHALL NOT BE USED IN AREAS OF CONCENTRATED FLOW.
- INSPECTION & MAINTENANCE NOTES:**
- AT A MINIMUM, PERFORM INSPECTIONS WEEKLY AND WITHIN 24 HOURS OF PRECIPITATION EVENTS PRODUCING 0.5 INCHES OR MORE OF RAINFALL.
 - INSPECT FENCES FOR DAMAGE TO STAKES AND FABRIC, UNDERCUTTING, EXCESSIVE SEDIMENT ACCUMULATION (GREATER THAN 1/2 OF THE FENCE HEIGHT), AND INDICATIONS OF SCOUR AROUND THE EDGES.
 - REPAIR OR REPLACE SILT FENCE WITHIN 24 HOURS OF IDENTIFYING AND DEFICIENCIES.

SILT FENCE

FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS

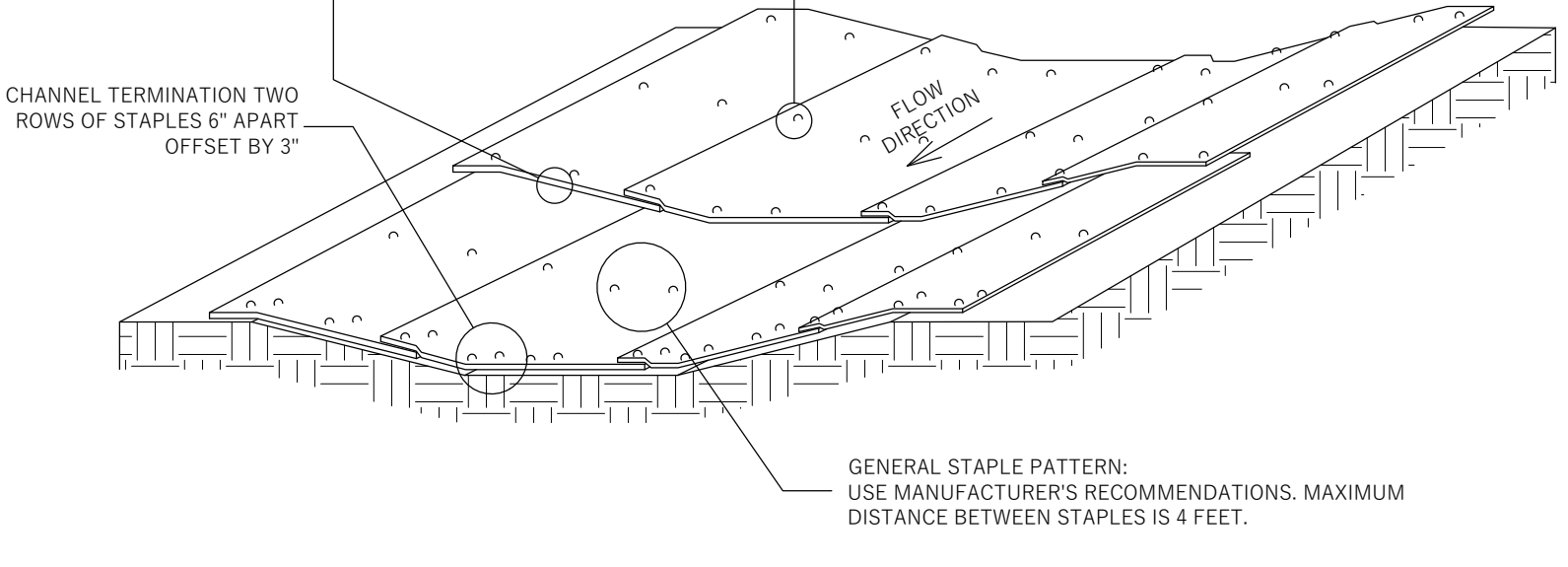
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft ³)	Flow Ratings (CFS)		ADS P/N
					HB (Hybrid Bag)	Bypass	
3067	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.0	5.8	62LCBEXTHB
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3	62LCB3624HB
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	0.7	2.2	62MCR2316HB
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0	5.2	62LSC3616HB
R-2501	Round (RD)	-26	-24	2.3	0.8	5.2	62MRD26HB
R-1772/2560	Round (RD)	22.25-23.5	20.5-21	1.5	0.6	4.6	62MRD22HB

Installation Instructions:

- Remove grate from the drainage structure
- Clean stone and dirt from ledge (lip) of drainage structure
- Drop the inlet filter through the clear opening such that the hangers rest firmly on the lip of the structure
- Replace the grate and confirm it is not elevated more than 1/8"

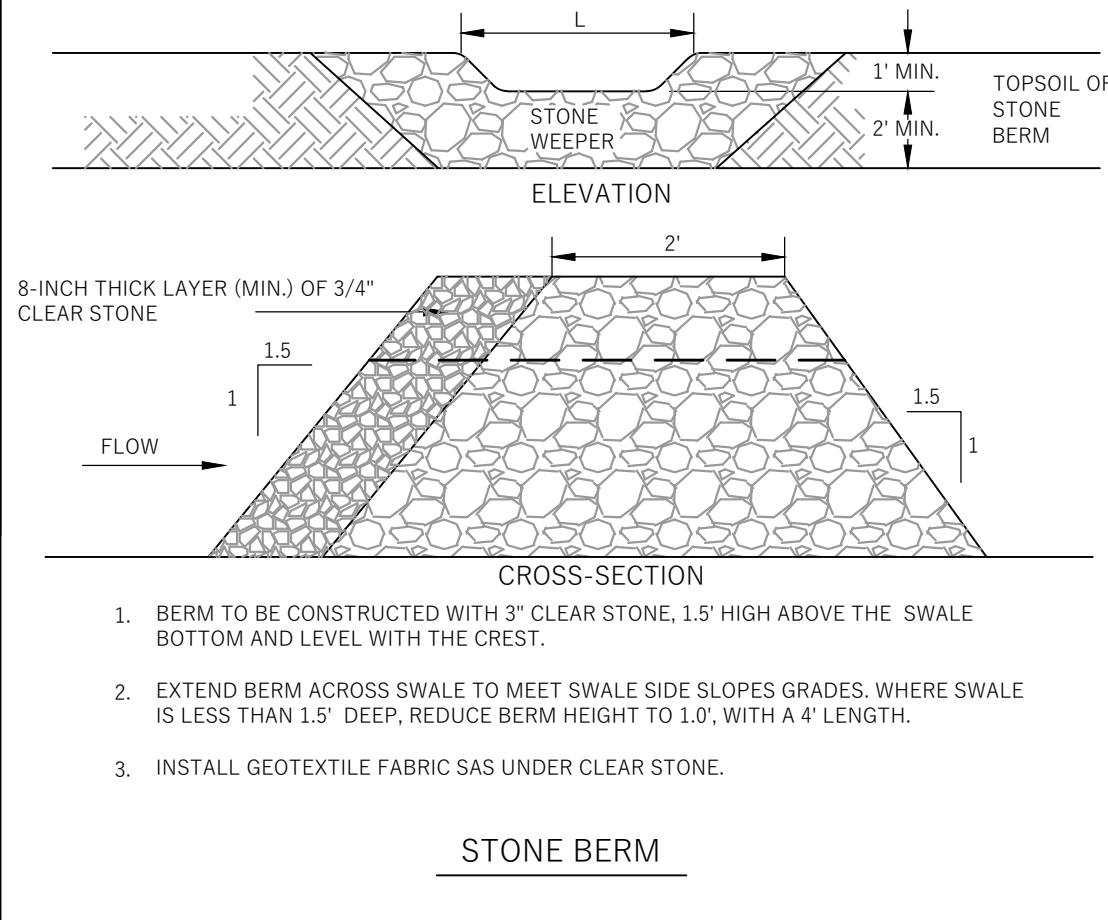
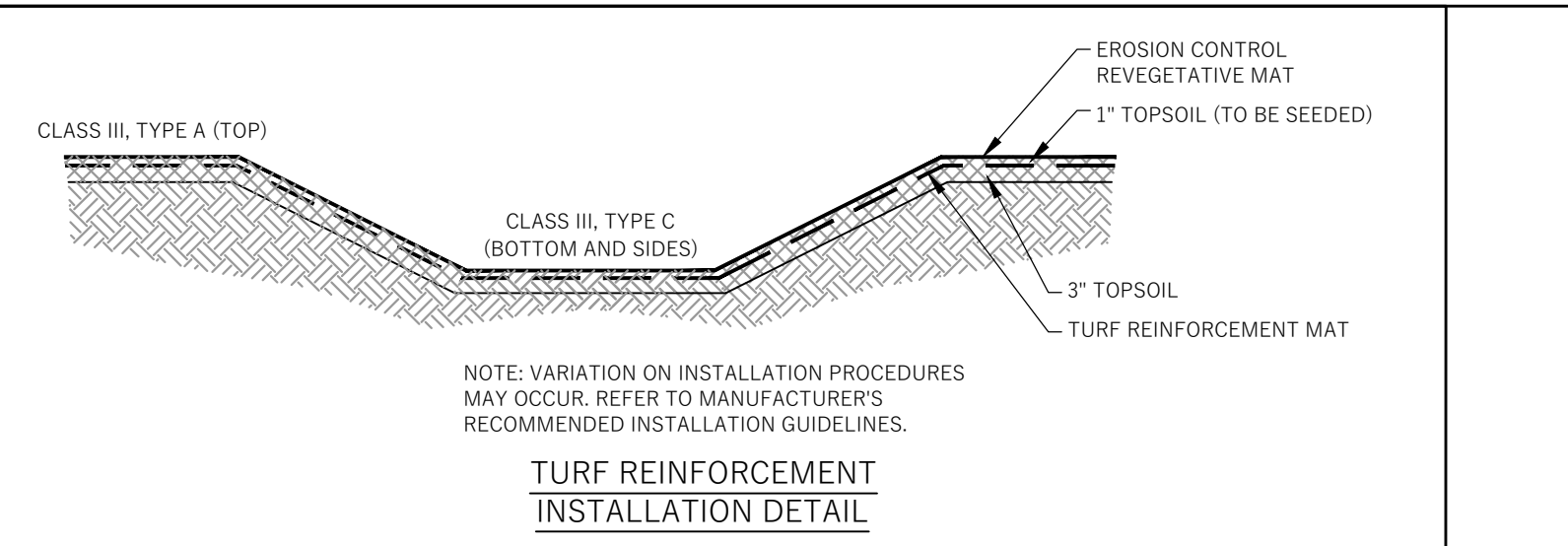
Maintenance Guidelines:

- Empty the sediment bag if more than half filled with sediment and debris
- Remove the grate, engage the lifting points, and lift filter from the drainage structure
- Dispose of sediment and debris as directed by the Engineer or Maintenance Contractor
- Alternatively, an industrial vacuum can be used to collect sediment from filter bag

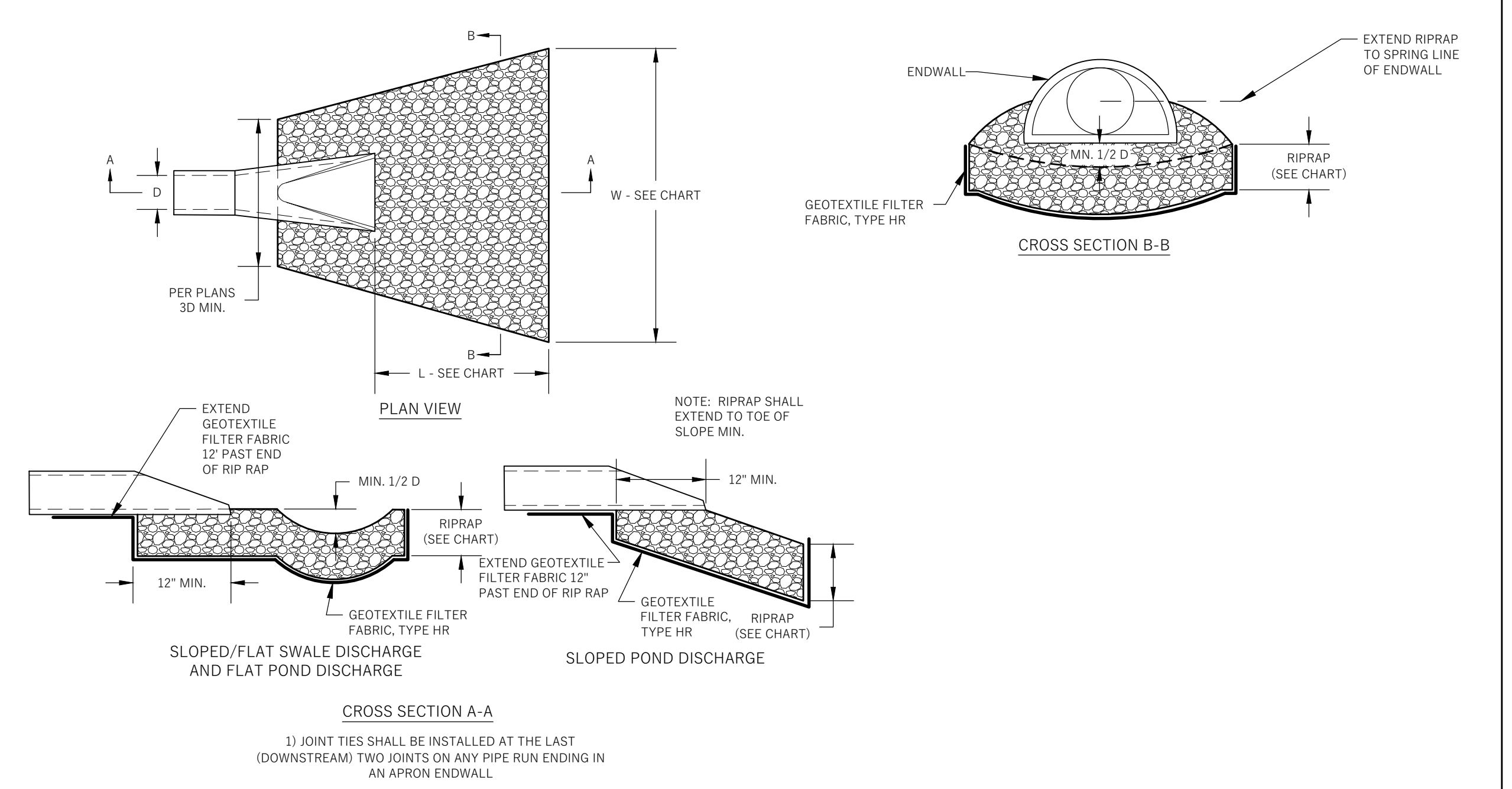


- MATERIAL NOTES:**
- ONLY PRODUCTS LISTED IN THE WISCONSIN DEPARTMENT OF TRANSPORTATION EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) ARE ACCEPTABLE FOR USE.
 - STAPLES USED FOR CLASS I TYPES A & B MATS SHALL BE 1-2 INCH WIDE, U-SHAPED, MADE OF NO.11 (3.05mm) OR LARGER DIAMETER STEEL WIRE, AND NOT LESS THAN 6 INCHES LONG FOR FIRM SOILS AND 12 INCHES LONG FOR LOOSE SOILS.
- RECOMMENDATIONS:** THIS STANDARD DETAIL IS AN EXAMPLE OF TYPICAL INSTALLATION GUIDANCE.
- MATS SHALL BE IN FIRM AND CONTINUOUS CONTACT WITH THE SOIL.
 - IF SECTIONS OF ECRM NEED TO BE OVERLAPPED, ENSURE THAT THE OVERLAP IS FACING DOWNSTREAM TO PREVENT WATER FROM FLOWING BENEATH THE ECRM.
- INSPECTION & MAINTENANCE NOTES:**
- INSTALL ADDITIONAL ANCHORING IN AREAS OF OBSERVED RILLING AND CONCENTRATED FLOW BENEATH THE EROSION MAT. IF RILLING IS SEVERE ENOUGH TO PREVENT VEGETATION ESTABLISHMENT, REMOVE EROSION MAT, REGRADE, COMPACT, RE-SEED, AND REPLACE THE SECTION OF MAT.
 - IF PRODUCTS WITH PLASTIC NETTING ARE USED, REMOVE NETTING OR REPLACE MAT IF SEPARATION OF THE NETTING FROM THE MAT IS OBSERVED.
 - ALL MAINTENANCE ACTIVITIES SHOULD OCCUR AS SOON AS POSSIBLE WITH CONSIDERATION OF SITE CONDITIONS.

EROSION CONTROL MAT (CHANNELS)



- BERM TO BE CONSTRUCTED WITH 3\"/>



09/01/2021
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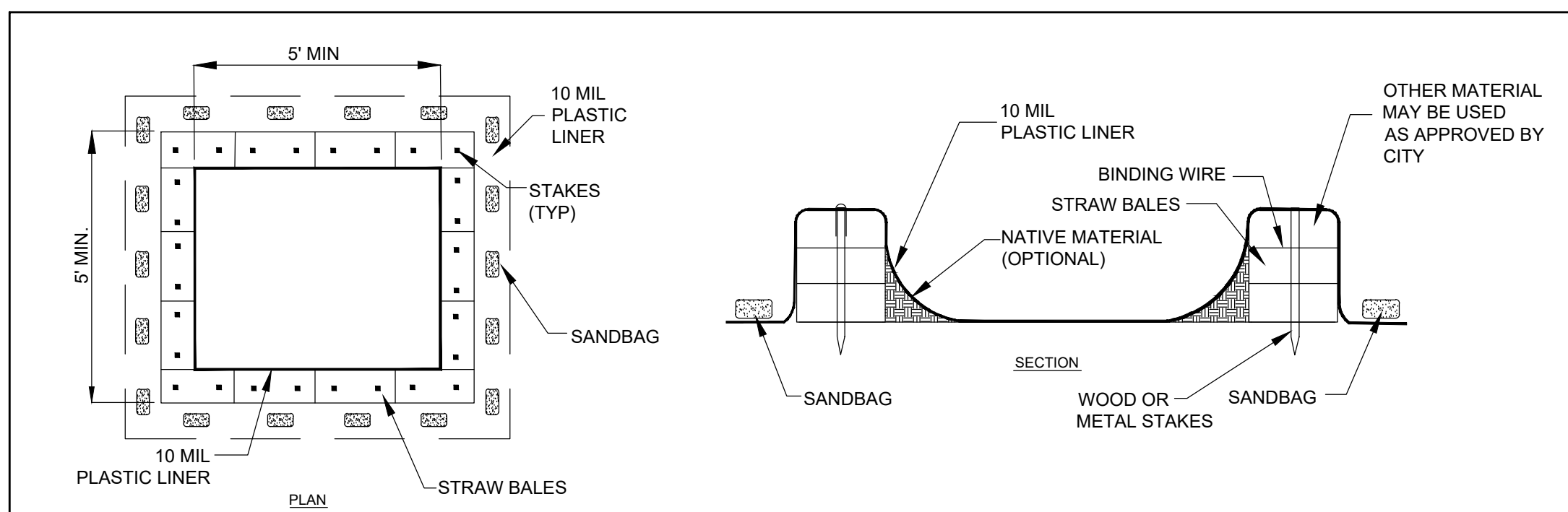


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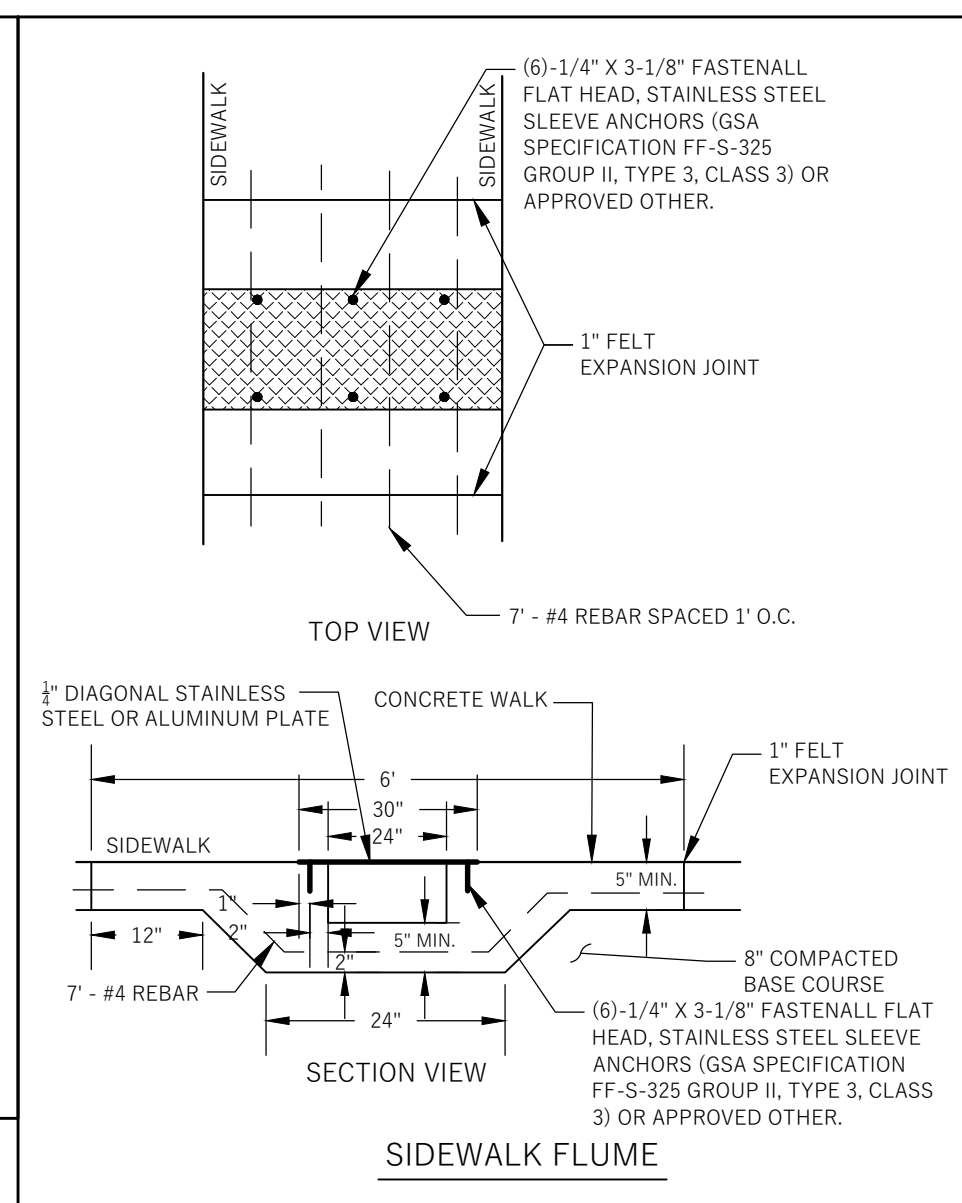
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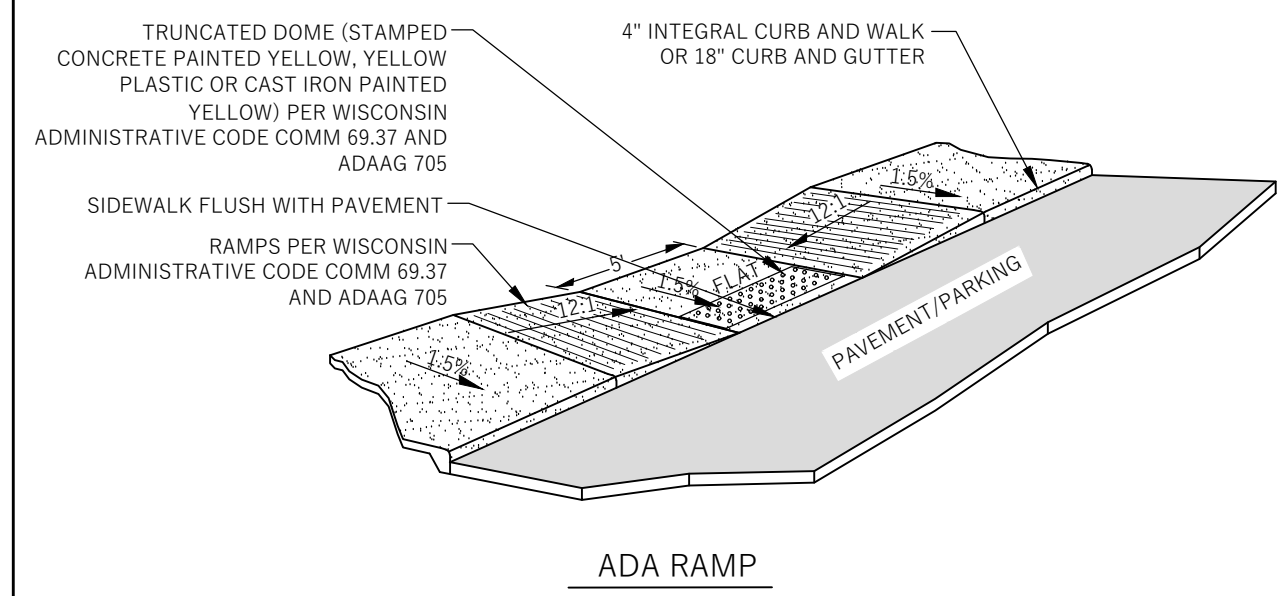
WASHOUT NOTES

1. ALTERNATIVE CONCRETE WASHOUTS ALLOWABLE AS APPROVED BY ENGINEER, INCLUDING DISPOSABLE WASHOUTS, ETC.
2. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS IS ALLOWED.
3. EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT PIT AREAS.
4. ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES AS DETERMINED IN THE FIELD.
5. TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
6. WASHOUT FACILITIES WILL BE CLEANED OUT OR REPLACED ONCE THE WASHOUT IS 75% FULL.
7. PLASTIC LINING MATERIAL WILL BE MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
8. WHEN WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF OFFSITE. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.

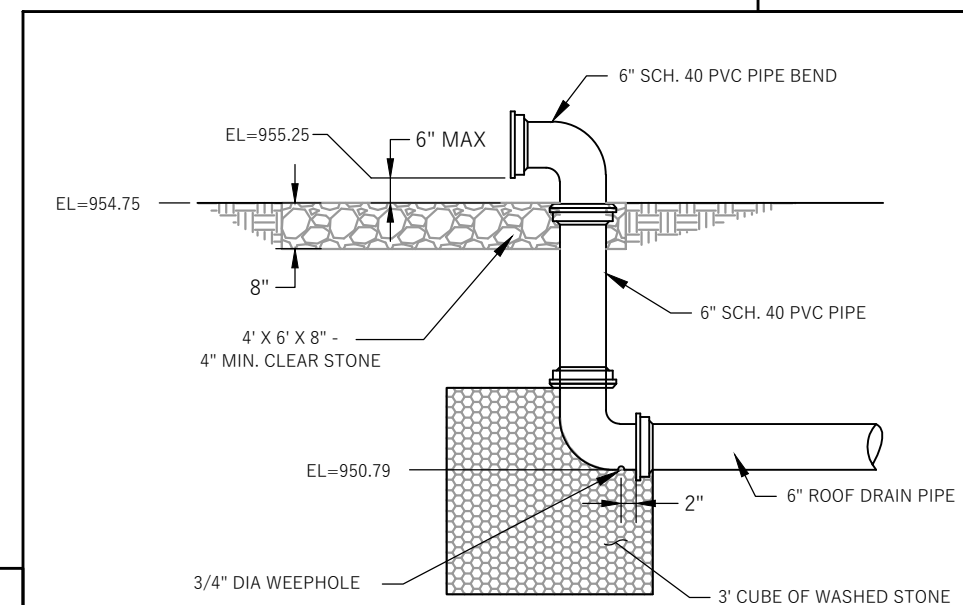
CONCRETE WASHOUT



SIDEWALK FLUME



ADA RAMP

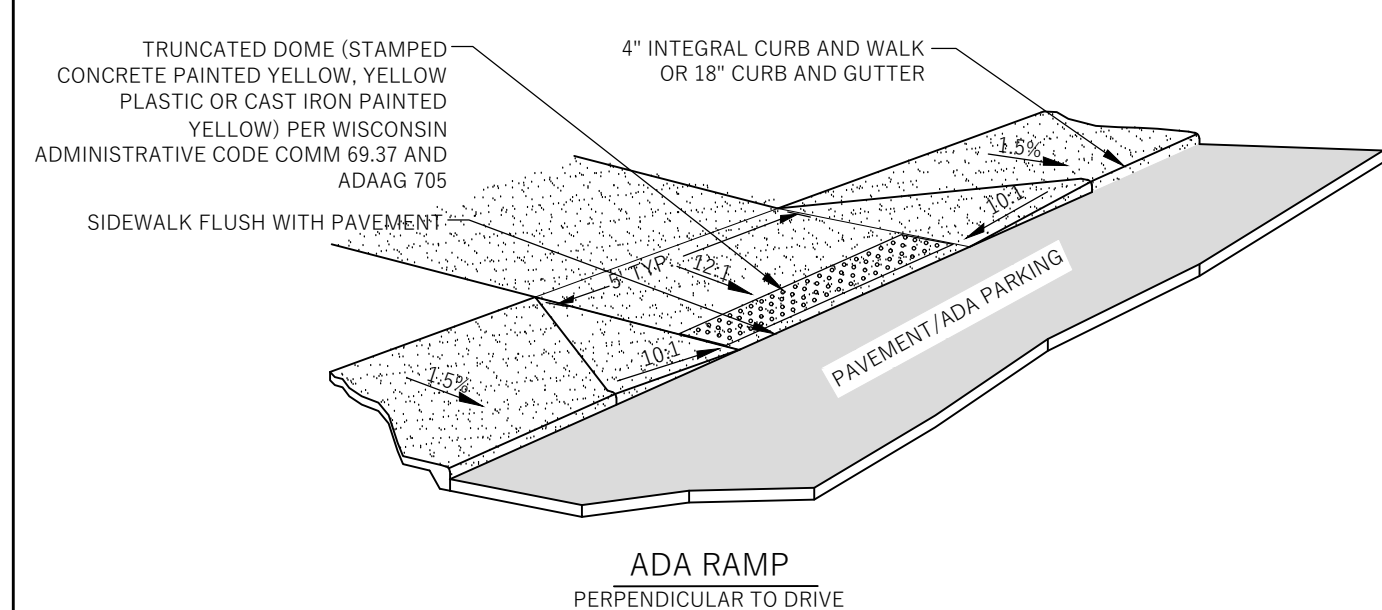


STORM SEWER GOOSE NECK

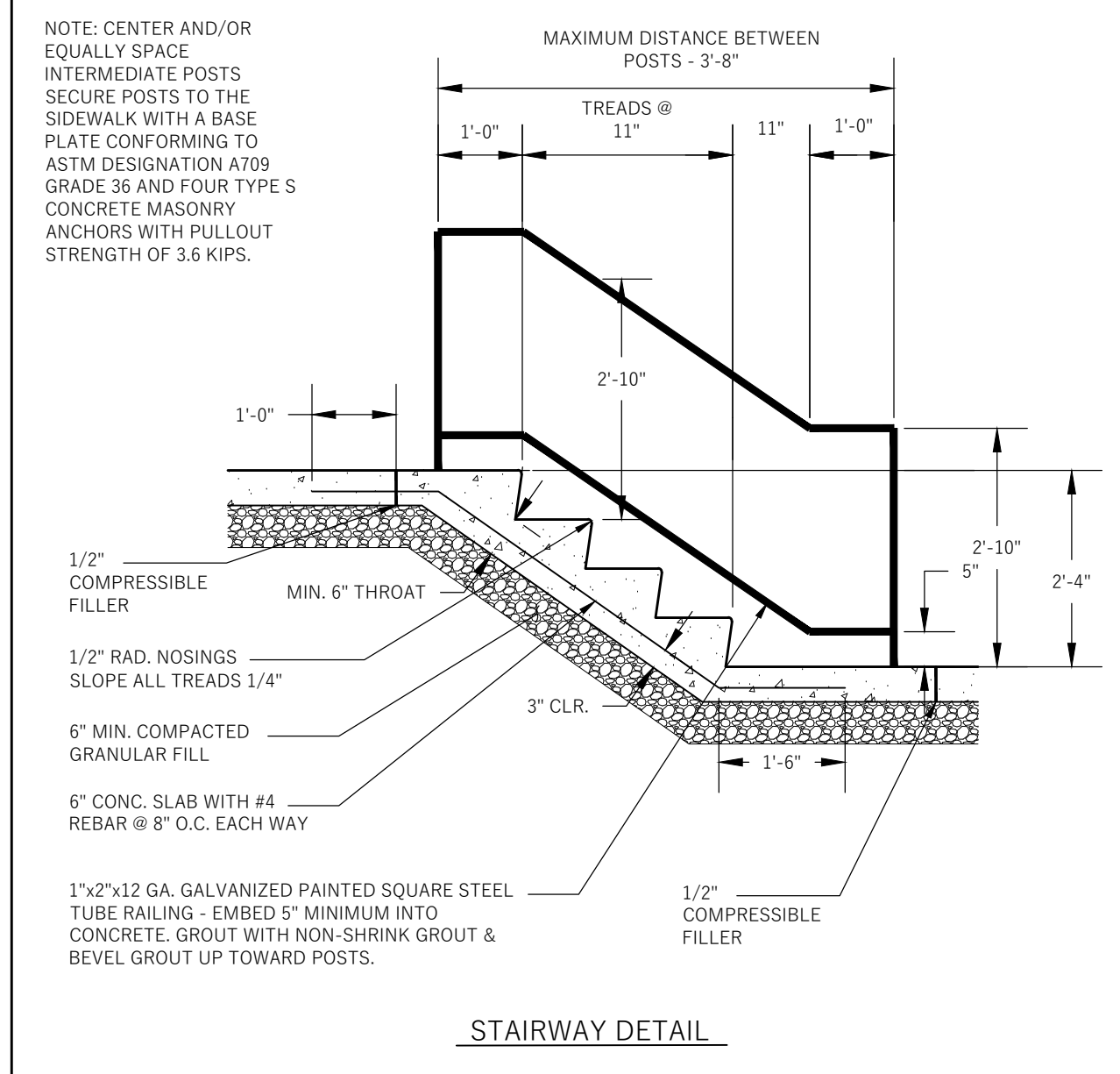
MATERIAL	THICKNESS	SPECIFICATION
BITUMINOUS UPPER LAYER	1.5"	SECTION 460, TABLE 460-3, 9.5 MM
BITUMINOUS LOWER LAYER	2.5"	SECTION 460, TABLE 460-3, 12.5 MM
DENSE GRADED BASE	10.0"	SECTION 301 AND 305, 31.5 MM
TOTAL THICKNESS	14.0"	

1. SPECIFICATIONS BASED ON GEOTECHNICAL REPORT AS PREPARED BY PSI, INC., DATED NOVEMBER 7, 2018. IF ANY DISCREPANCY BETWEEN THIS DETAIL AND THE GEOTECHNICAL REPORT IS FOUND, THE GEOTECHNICAL REPORT HOLDS.
2. CONCRETE PADS FOR VEHICLE LOADS SHALL BE 6" PORTLAND CEMENT OVER 6" OF CRUSHED AGGREGATE BASE WITH APPROPRIATE CONTROL JOINTS.
3. REFERENCED SPECIFICATION IS WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, INCLUDING SUPPLEMENT SPECIFICATIONS, BUT EXCLUDING SECTION 460.3.2 RELATING LAYER THICKNESS TO AGGREGATE SIZE.
4. COMPACTION REQUIREMENTS
 - 4.1. BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - 4.2. BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION
5. DRAIN TILE "FINGERS" TO BE EXTENDED OUT FROM INLETS IN LOW AREAS OF THE PAVEMENT TO FACILITATE SUBGRADE DRAINAGE.

PAVEMENT SECTIONS



ADA RAMP PERPENDICULAR TO DRIVE



STAIRWAY DETAIL

09/01/2021
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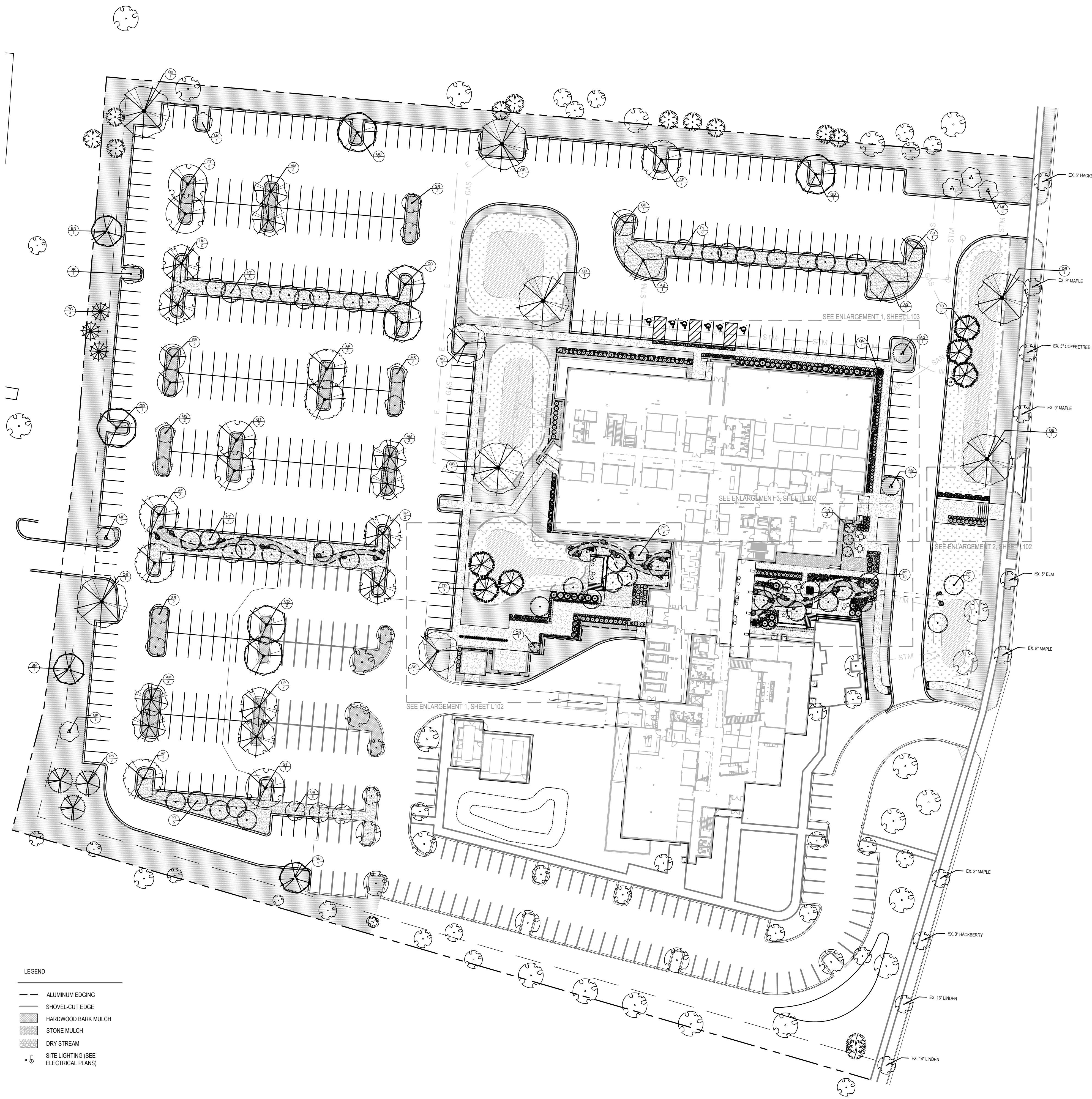


3220 SYENE RD #102 | MADISON WI 53713



C401

Details



- LEGEND
- ALUMINUM EDGING
 - SHOVEL-CUT EDGE
 - HARDWOOD BARK MULCH
 - STONE MULCH
 - DRY STREAM
 - SITE LIGHTING (SEE ELECTRICAL PLANS)

1 Overall Landscape Plan
SCALE: 1"=40'-0"

2 Groundcover Schedule
SCALE:

TULIP GRASS Sodded bluegrass lawn See spec section 32 92 00	50,207 sf
NO-MOW FESCUE Low maintenance fescue meadow See spec section 32 92 00	2,570 sf
FRASSIE Short Pine for Medium Soils See spec section 32 92 00	16,911 sf
PACHYRANDRA Pachyandra terminalis 'Green Carpet' / Japanese Spurge	474 sf 876 4'pot 9' oc
VEGETATION Carex lasiocarpa / Prairie Sedge Carex grayi / Gray's Sedge Carex sparganii / Spargann's Sedge Carex vulpinoidea / Fox Sedge	9,338 sf 2,471 2 1/2' plug 25% @ 12' oc 2,471 2 1/2' plug 25% @ 12' oc 2,471 2 1/2' plug 25% @ 12' oc 2,471 2 1/2' plug 25% @ 12' oc

3 City of Madison Landscape Worksheet
SCALE:

**UW Credit Union Office Building
Madison, WI
1-Sep-21
SEC (Suburban Employment District) Zoning**

Developed Lots	SF	Acres	Landscape Points Subtotal
Total Developed Area (Lot - Building Area)	299,340	6.87	
Landscape Points (5 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)			4445
Landscape Points Required			4445

Development Frontage - Excelsior Drive

Drive	LF	Overstory Trees Required*	Shrubs Required
Total LF of Street Frontage Between Parking/Building & Street	714	24	

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	14	7	735
Tall Evergreen Tree	35	3		105
Ornamental Tree	15	7	5	180
Upright Evergreen Shrub	10			0
Shrub, deciduous	3	74		222
Shrub, evergreen	4	10		40
Ornamental Grass/Perennial	2		293	586
Development Frontage Points Total				1888

Interior Parking Lots

Total Parking Lot Area	SF	Overstory Trees Required**
Min. Parking Lot Islands (8%)	148,047 11,844	74

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	70	9	2765
Ornamental Tree	15	15		225
Upright Evergreen Shrub	10		10	100
Shrub, deciduous	3			0
Shrub, evergreen	4			0
Ornamental Grass/Perennial	2			0
Interior Parking Lots Points Total				3090

General Site, Foundation, Screening

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	10	4	490
Tall Evergreen Tree	35	3	3	210
Ornamental Tree	15	1	12	195
Upright Evergreen Shrub	10			0
Shrub, deciduous	3	128		384
Shrub, evergreen	4	25		100
Ornamental Grass/Perennial	2	231		462
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
Foundation Plantings Total				1841
TOTAL LANDSCAPE POINTS				6799

* Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
 ** Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees.



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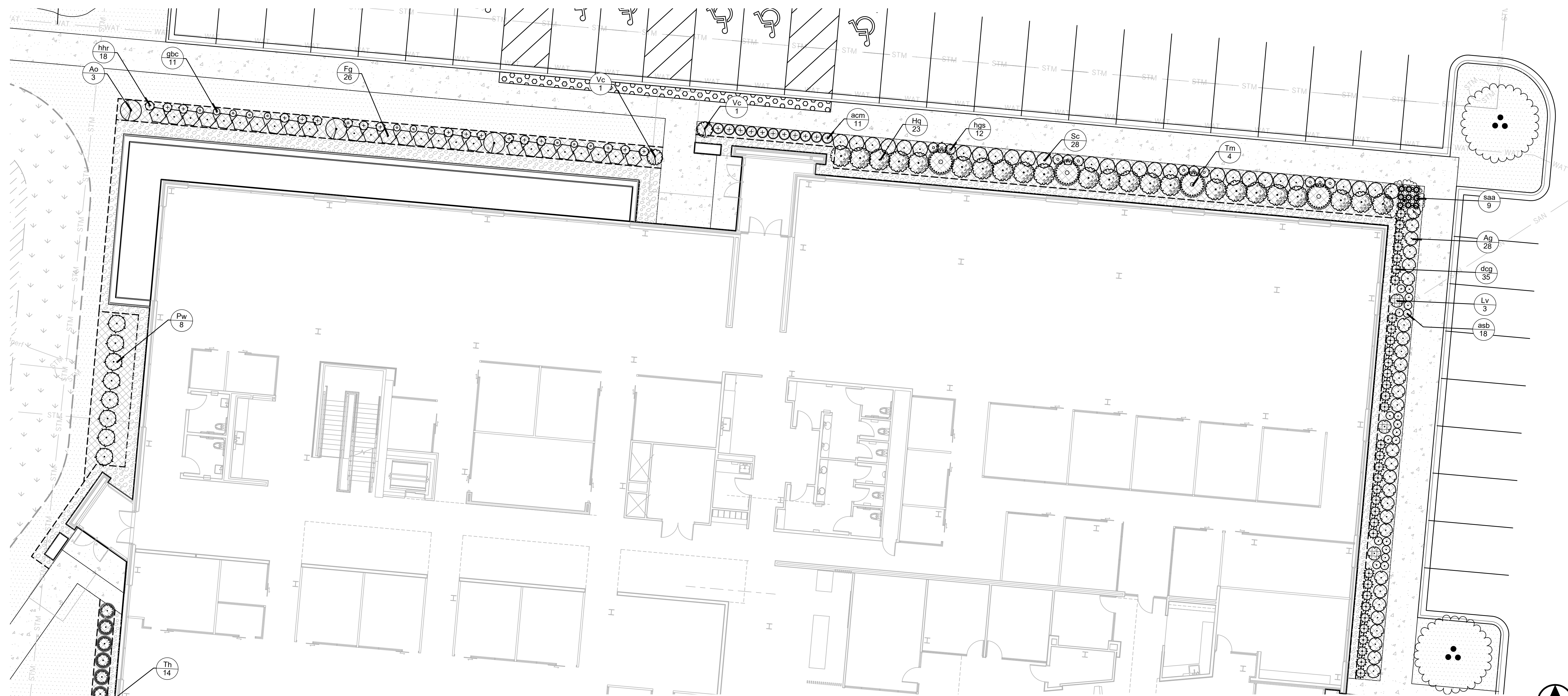
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L101 Overall Landscape Plan



1 Foundation Plantings
SCALE: 1"=10'-0"

EVERGREEN TREES				DECIDUOUS SHRUBS				HERBACEOUS PERENNIALS				ORNAMENTAL GRASSES							
CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
PG	<i>Picea glauca</i> var. <i>densata</i> / Black Hills Spruce	8.8.8	6' HT (MN)	3	Ao	<i>Anemone ranunculifolia</i> 'Obleisk' TM / Standing Oyster Anemone	5 gal	CONT.	3	acm	<i>Asterella mollis</i> 'Lady's Mantle'	1 gal	CONT.	24	dst	<i>Calamagrostis x scutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 gal	CONT.	14
PS	<i>Pinus strobus</i> / White Pine	8.8.8	6' HT (MN)	3	Ag	<i>Anemone melanocarpa</i> 'UCONNARD12' TM / Ground Hog Black Chokeberry	3 gal	CONT.	38	asb	<i>Alum tanguticum</i> 'Summer Beauty' / Summer Beauty Alum	1 gal	CONT.	56	dog	<i>Deschampsia cespitosa</i> 'Goldtau' / Gold Dew Tufted Hair Grass	1 gal	CONT.	35
TD	<i>Taxodium distichum</i> / Bald Cypress	8.8.8	5' HT (MN)	6	Dk	<i>Diervilla lonicera</i> 'Kodak Orange' / Kodak Orange Dwarf Bush Honeyuckle	3 gal	CONT.	10	abi	<i>Anemone tuberosomontana</i> 'Blue Ice' / Blue Ice Blue Star	1 gal	CONT.	43	hms	<i>Hakonechloa macra</i> 'Aureola' / Golden Variegated Forest Grass	1 gal	CONT.	16
					Fg	<i>Fothergilla gardenii</i> / Dwarf Fothergilla	3 gal	CONT.	37	apc	<i>Aster chinensis</i> 'Purple Prince' / Purple Prince Aster	1 gal	CONT.	9	phm	<i>Pharos virginicus</i> 'Heavy Metal' / Heavy Metal Switch Grass	1 gal	CONT.	24
					Hc	<i>Hydrangea arborescens</i> 'NCHAS' / Inviolable White Hydrangea	3 gal	CONT.	7	chl	<i>Chelone lyonii</i> 'Hot Lips' / Hot Lips Turtlehead	1 gal	CONT.	16	saa	<i>Sesleria autumnalis</i> / Autumn Moor Grass	1 gal	CONT.	31
					Hb	<i>Hydrangea paniculata</i> 'L'VCOB0' TM / Bobo Panicle Hydrangea	5 gal	CONT.	7	cm	<i>Carex verticillata</i> 'Moonbeam' / Moonbeam Threadleaf Carex	1 gal	CONT.	8	sh	<i>Sporobolus heterolepis</i> / Prairie Dropseed	1 gal	48" HT.	9
					Hq	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	5 gal	CONT.	23	grz	<i>Geranium x 'Rozanne'</i> / Rozanne Cranebill	1 gal	CONT.	35	stt	<i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed	1 gal	CONT.	34
					Is	<i>Iris virginica</i> 'Spitch' TM / Little Henry Virginia Sweetflag	3 gal	CONT.	7	gbc	<i>Geranium x carabidgeense</i> 'Bokoro Carmine' / Carmine Bokoro Geranium	1 gal	CONT.	26					
					Lv	<i>Ligustrum vulgare</i> 'Sailf' TM / Straight Talk Privet	5 gal	CONT.	3	gpb	<i>Geum x 'Flames of Passion'</i> / Flames of Passion Geum	1 gal	CONT.	9					
					Pw	<i>Physocarpus opulifolius</i> 'Troy Wine' / Troy Wine Ninebark	3 gal	CONT.	8	hrl	<i>Hebe x 'Hybrid'</i> / Red Lady / Red Lady Hebe	1 gal	CONT.	8					
					Sl	<i>Spiraea betulifolia</i> 'Tor' / Tor Birchleaf Spirea	3 gal	CONT.	15	hr	<i>Hemerocallis x 'Happy Returns'</i> / Happy Returns Daylily	1 gal	CONT.	25					
					Sc	<i>Stephanandra incisa</i> 'Crisp' TM / Galley Stephanandra	3 gal	CONT.	41	hgs	<i>Hosta americana</i> 'Green Space' / Green Space Coral Bells	1 gal	CONT.	21					
					Vc	<i>Viburnum carolinense</i> 'Compactum' / Korean Spice Viburnum	8.8.8	30" HT (MN)	3	ngu	<i>Hosta x 'Guacamole'</i> / Guacamole Hosta	1 gal	CONT.	4					
										nr	<i>Hosta x 'Krossa Regal'</i> / Krossa Regal Hosta	1 gal	CONT.	11					
										ls	<i>Liriope spicata</i> / Creeping Lily Turf	4" pot	CONT.	38					
										ocn	<i>Oenothera lanceolata</i> / Cinnamon Fern	1 gal	CONT.	12					
										pis	<i>Perovskia atriplicifolia</i> 'Little Spire' TM / Little Spire Russian Sage	1 gal	CONT.	12					
										tp	<i>Thalictrum formosum</i> 'Gilt Edge' / Gilt Edge Toad Lily	1 gal	CONT.	4					

2 Plant Schedule
SCALE:

- LEGEND**
- ALUMINUM EDGING
 - SHOVEL-CUT EDGE
 - HARDWOOD BARK MULCH
 - STONE MULCH
 - DRY STREAM
 - SITE LIGHTING (SEE ELECTRICAL PLANS)



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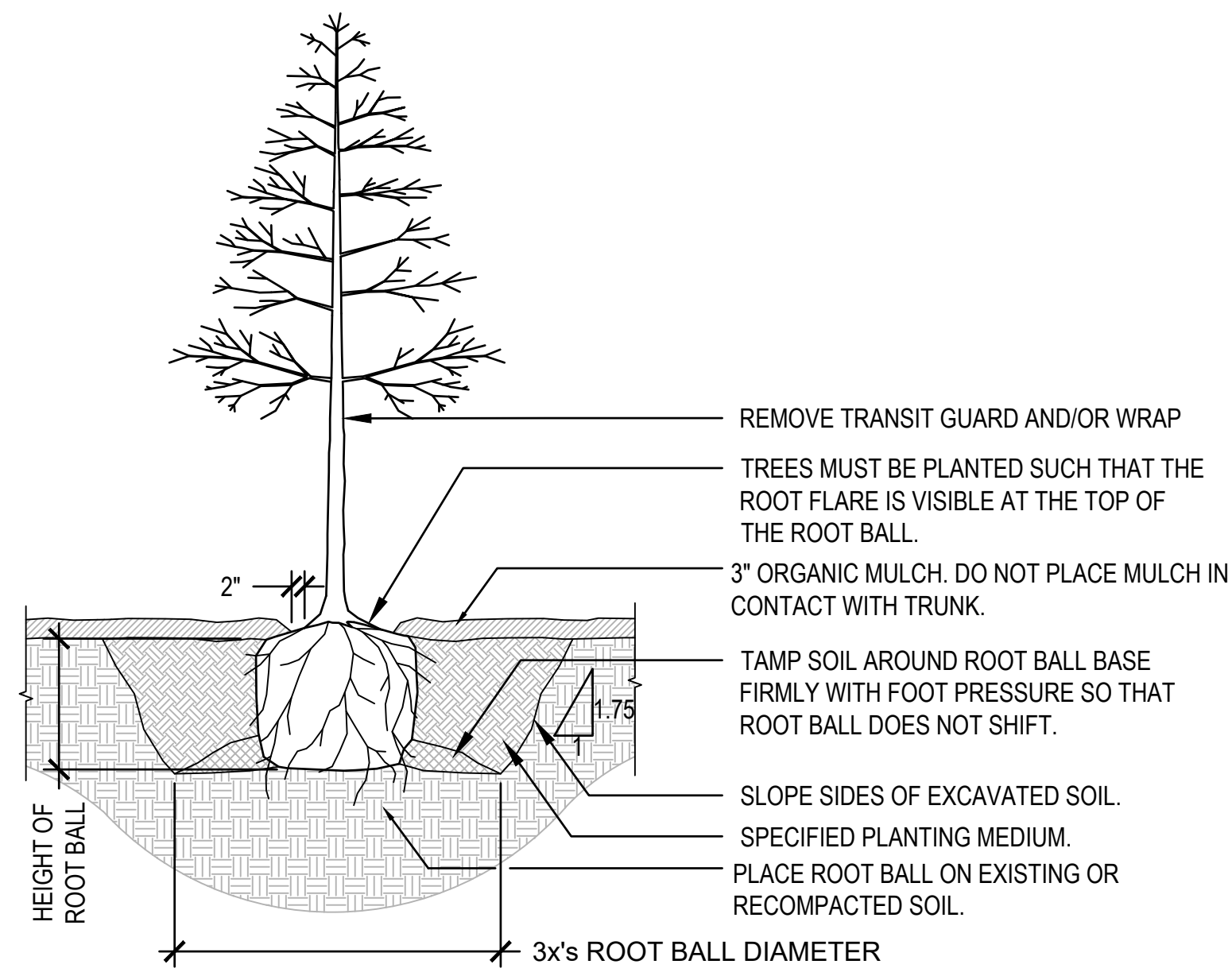
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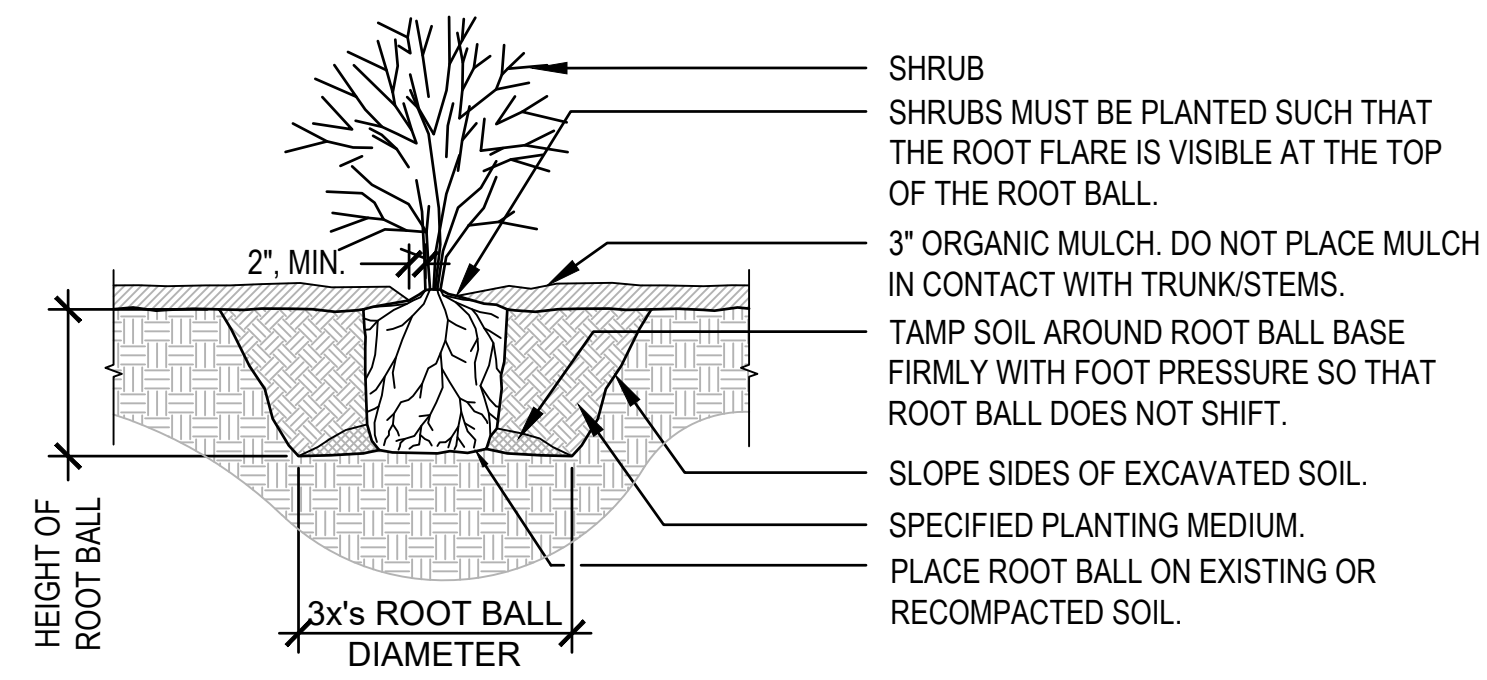
L103 Landscape Enlargements



- REMOVE TRANSIT GUARD AND/OR WRAP
TREES MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.
3" ORGANIC MULCH. DO NOT PLACE MULCH IN CONTACT WITH TRUNK.
TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.
SLOPE SIDES OF EXCAVATED SOIL.
SPECIFIED PLANTING MEDIUM.
PLACE ROOT BALL ON EXISTING OR RECOMPACTED SOIL.
- HEIGHT OF ROOT BALL
- 2"
- 1.75'
- 3x's ROOT BALL DIAMETER
- NOTES:
- TREES WHERE THE ROOT FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 - DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL AS DETERMINED BY THE ROOT FLARE.
 - FOR B&B STOCK, CUT AND REMOVE THE WIRE BASKET AND REMOVE ALL TWINE, ROPE, AND BURLAP FROM ROOT BALL. FOR BIODEGRADABLE CONTAINER STOCK, SLIT SIDES OF CONTAINER & FOLD FLAT. FOR NON-BIODEGRADABLE CONTAINERS, REMOVE CONTAINER COMPLETELY.
 - PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
 - DO NOT PLACE MULCH IN CONTACT WITH TRUNK AND/OR ROOT FLARE.
 - WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 - DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - TREES LOCATED IN OPEN LAWN AREAS SHALL HAVE A 6'-0" DIAMETER MULCH RING AROUND THE TRUNK.

1 Tree Planting Detail

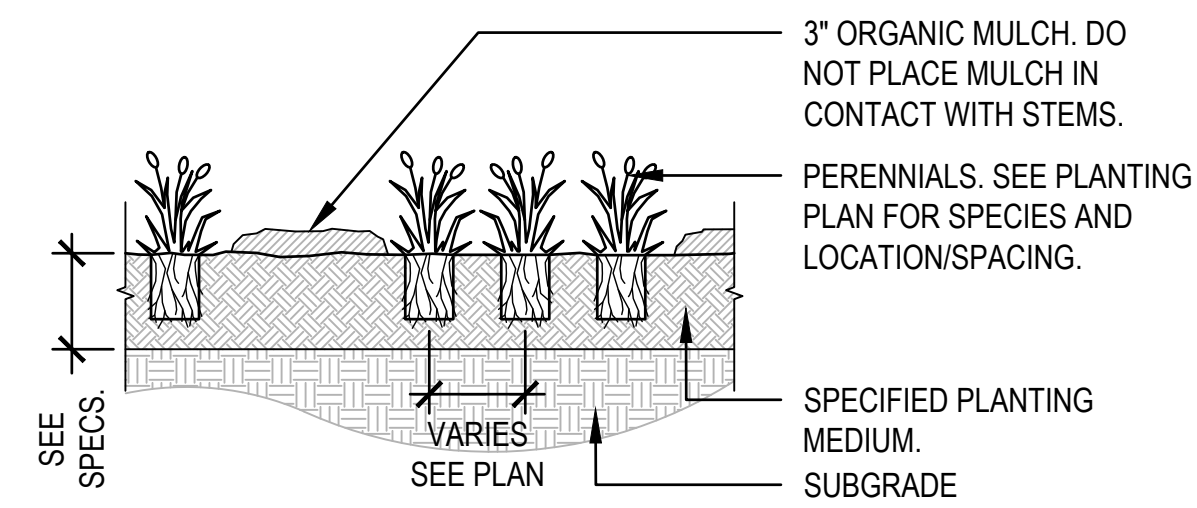
SCALE: 1/2" = 1'-0"



- SHRUB
SHRUBS MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.
3" ORGANIC MULCH. DO NOT PLACE MULCH IN CONTACT WITH TRUNK/STEMS.
TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.
SLOPE SIDES OF EXCAVATED SOIL.
SPECIFIED PLANTING MEDIUM.
PLACE ROOT BALL ON EXISTING OR RECOMPACTED SOIL.
- HEIGHT OF ROOT BALL
- 2", MIN.
- 1.75'
- 3x's ROOT BALL DIAMETER
- NOTES:
- SHRUBS WHERE THE ROOT FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 - DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL AS DETERMINED BY THE ROOT FLARE.
 - FOR B&B STOCK, CUT AND REMOVE THE WIRE BASKET AND REMOVE ALL TWINE, ROPE, AND BURLAP FROM ROOT BALL. FOR BIODEGRADABLE CONTAINER STOCK, SLIT SIDES OF CONTAINER & FOLD FLAT. FOR NON-BIODEGRADABLE CONTAINERS, REMOVE CONTAINER COMPLETELY.
 - PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
 - DO NOT PLACE MULCH IN CONTACT WITH TRUNK, ROOT FLARE, AND/OR STEMS.
 - WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 - PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.

2 Shrub Planting Detail

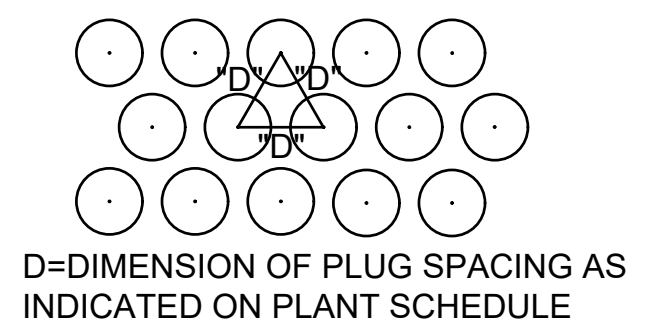
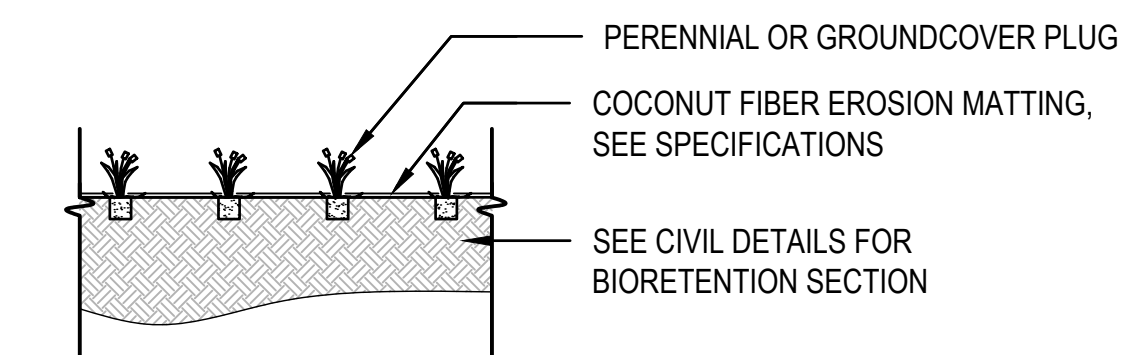
SCALE: 1/2" = 1'-0"



- PERENNIALS. SEE PLANTING PLAN FOR SPECIES AND LOCATION/SPACING.
3" ORGANIC MULCH. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.
SLOPE SIDES OF EXCAVATED SOIL.
SPECIFIED PLANTING MEDIUM.
SUBGRADE
- SEE SPECS.
- VARIES SEE PLAN
- NOTES:
- FOR 1 TO 2 GALLON CONTAINERS; BUTTERFLY ROOT BALL SEVER LOWER 1/3 TO 1/2 OF ROOT BALL WITH SINGLE CUT. SPREAD OPEN SEVERED ROOT BALL AND PLACE AGAINST BOTTOM OF MOUNDED PLANTING HOLE.
 - PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH PLANTING MEDIA.
 - PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 - WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 - PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.

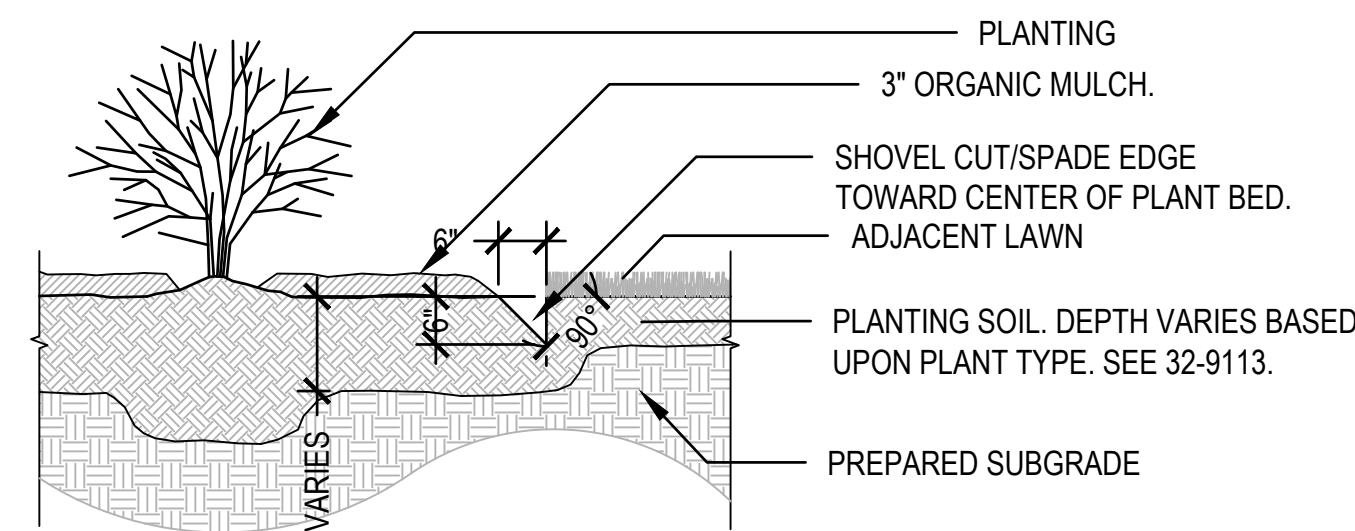
3 Container Planting Detail

SCALE: 1/2" = 1'-0"



4 Biobasin Planting Detail

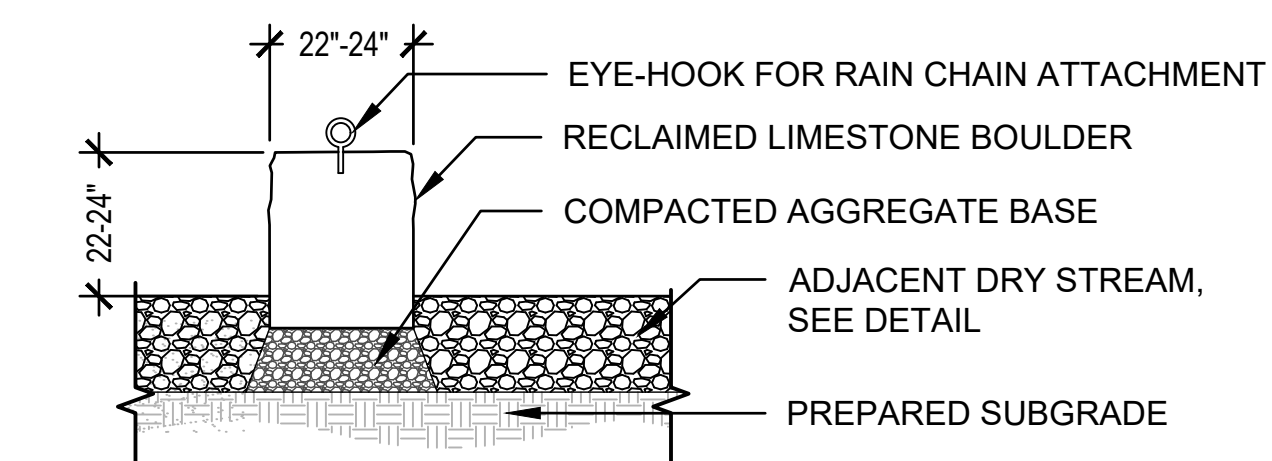
SCALE: 1/2" = 1'-0"



- PLANTING
3" ORGANIC MULCH.
SHOVEL CUT/SPADE EDGE TOWARD CENTER OF PLANT BED. ADJACENT LAWN
PLANTING SOIL. DEPTH VARIES BASED UPON PLANT TYPE. SEE 32-9113.
PREPARED SUBGRADE
- VARIES
- NOTE:
- SHOVEL CUT/SPADE EDGE AROUND ALL LANDSCAPE BEDS.
 - SHOVEL CUT/SPADE EDGE AROUND ALL SINGLE TREES PLANTED IN LAWN AREAS (6'-0" DIAMETER FROM CENTER OF TRUNK, TYP.).

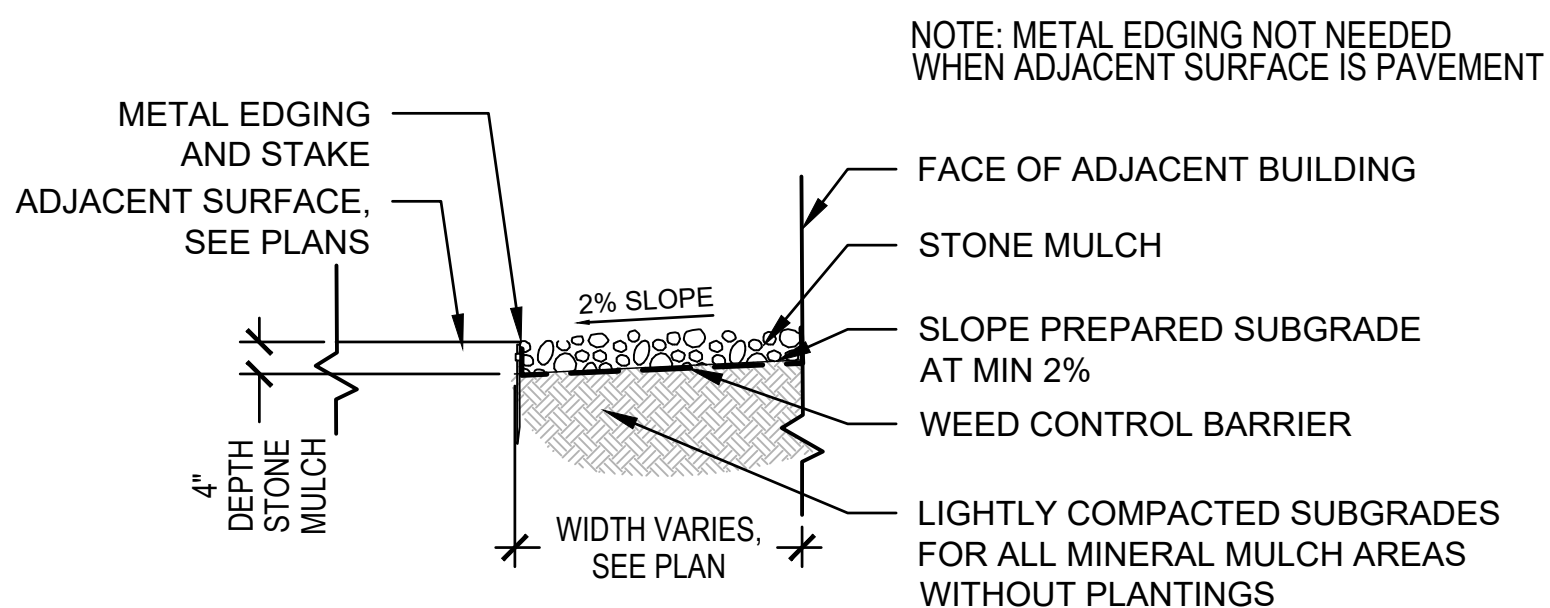
5 Spade Edge Detail

SCALE: 1/2" = 1'-0"



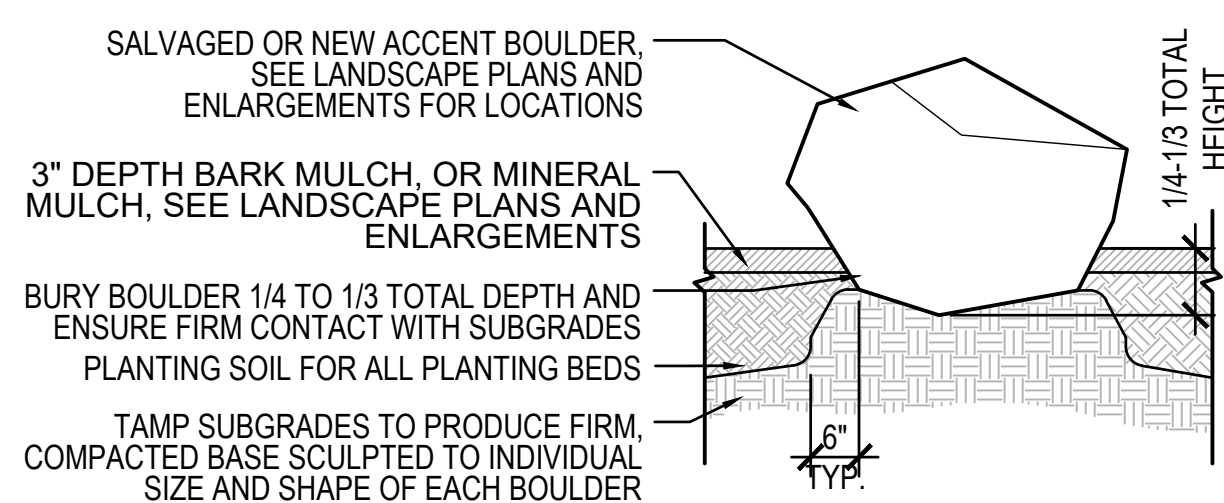
7 Rain Chain Anchor Detail

SCALE: 1/2" = 1'-0"



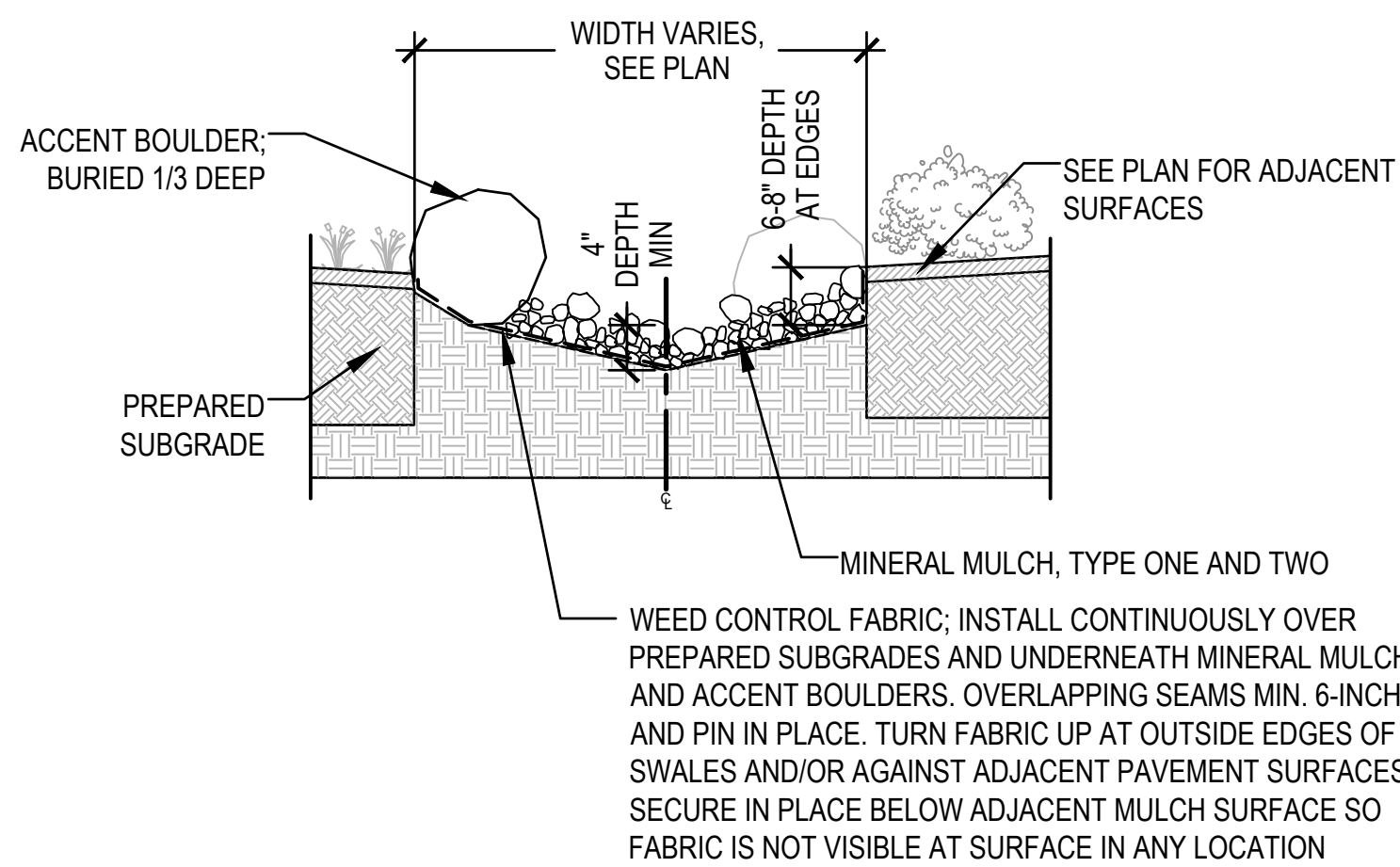
6 Maintenance Strip Detail

SCALE: 1/2" = 1'-0"



8 Accent Boulder Detail

SCALE: 1/2" = 1'-0"



- ACCENT BOULDER; BURIED 1/3 DEEP
PREPARED SUBGRADE
MINERAL MULCH, TYPE ONE AND TWO
WEED CONTROL FABRIC; INSTALL CONTINUOUSLY OVER PREPARED SUBGRADES AND UNDERNEATH MINERAL MULCH AND ACCENT BOULDERS. OVERLAPPING SEAMS MIN. 6-INCHES AND PIN IN PLACE. TURN FABRIC UP AT OUTSIDE EDGES OF SWALES AND/OR AGAINST ADJACENT PAVEMENT SURFACES; SECURE IN PLACE BELOW ADJACENT MULCH SURFACE SO FABRIC IS NOT VISIBLE AT SURFACE IN ANY LOCATION
- DEPTH MIN 4"
- 6-8" DEPTH AT EDGES
- SEE PLAN FOR ADJACENT SURFACES
- WIDTH VARIES, SEE PLAN
- NOTES:
- REFER TO GRADING PLAN FOR SPOT ELEVATIONS AND ADDITIONAL GRADING INFORMATION
 - PROVIDE A FLOWLINE THAT IS 6-INCHES BELOW EXISTING GRADES AT OUTSIDE EDGES OF LIMITS INDICATED IN THE DRAWINGS

9 Dry Stream Detail

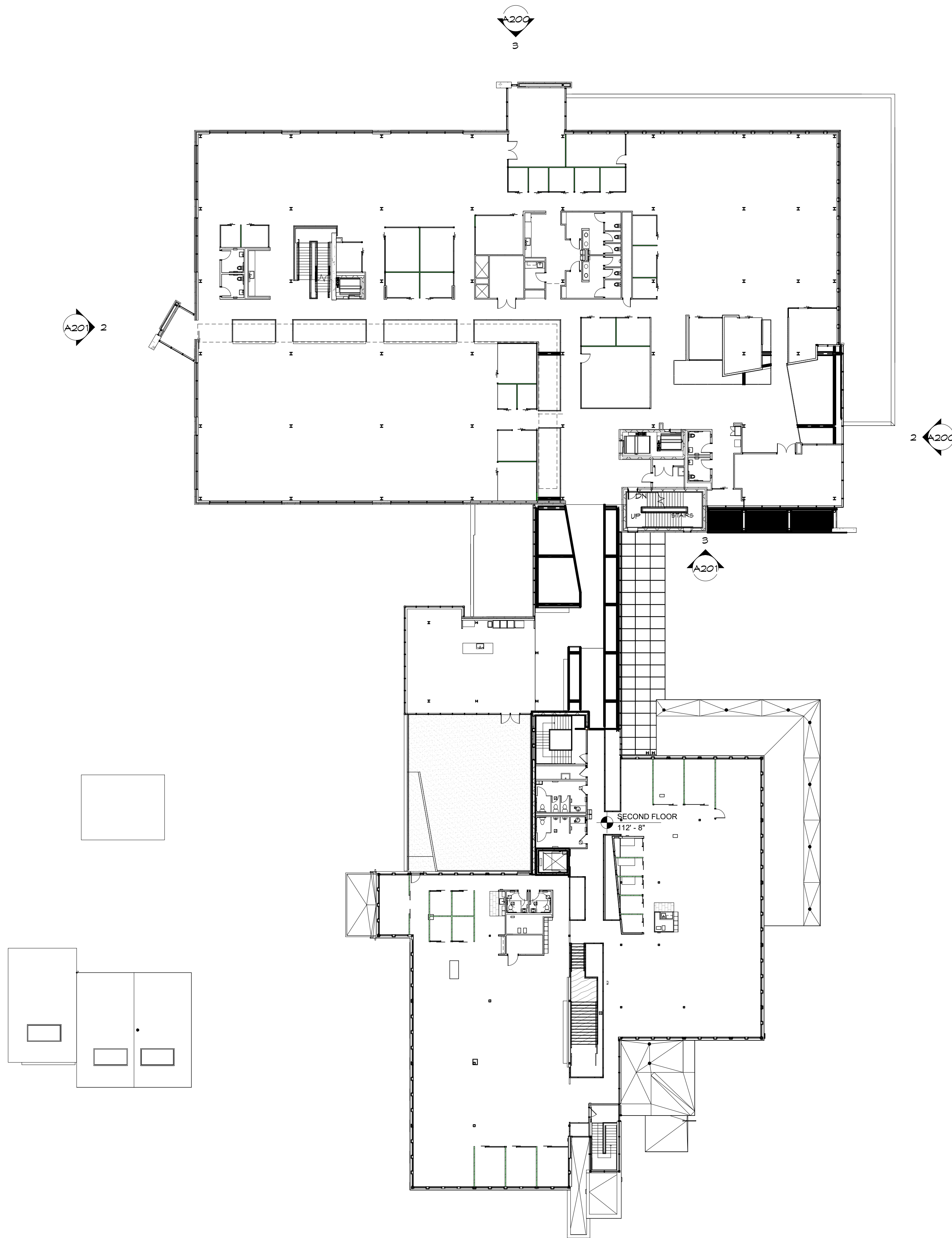
SCALE: 1/2" = 1'-0"

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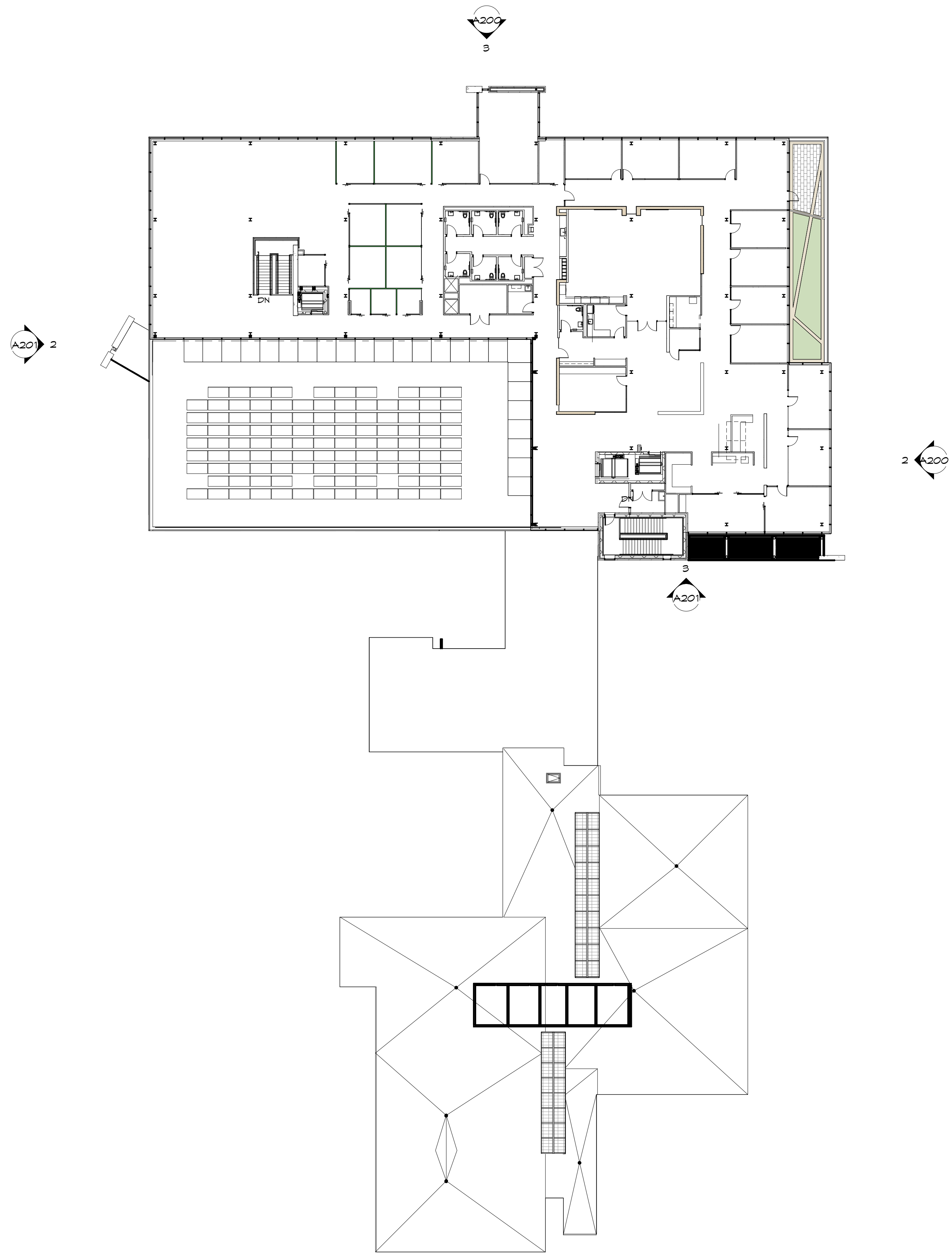
PLAN
COMMISSION
REVIEW

REV	DESCRIPTION	DATE

1 LEVEL 2 FLOOR PLAN
A101 3/64" = 1'-0"



2 LEVEL 3 FLOOR PLAN
A101 3/64" = 1'-0"



09/01/2021
PLAN
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REV	DESCRIPTION	DATE
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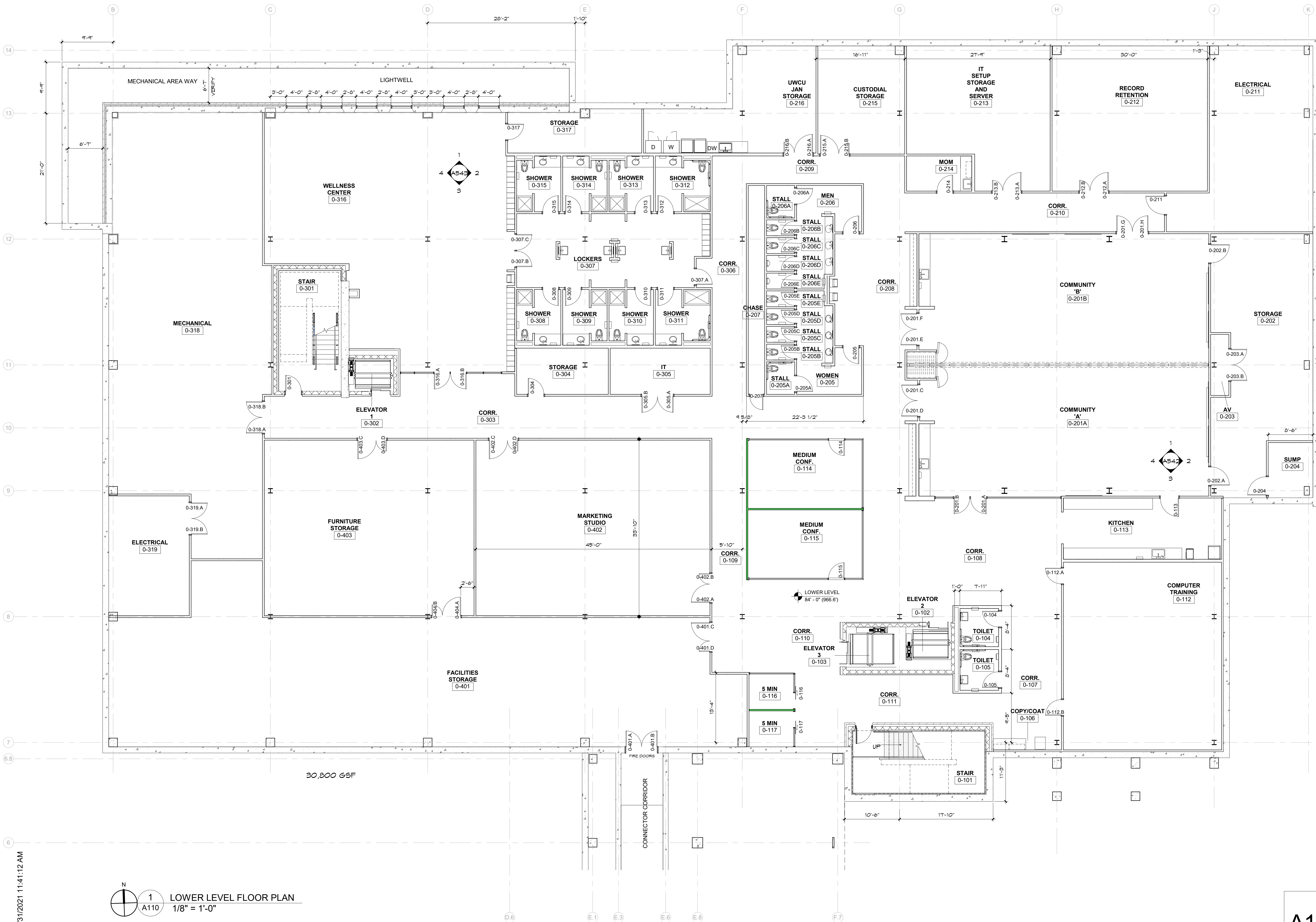
KEE
architecture

3220 SYENE RD #102 | MADISON WI 53713

Findorff

A101

LEVEL 2 & LEVEL 3
FLOOR PLANS (8033 +
8101)



09/01/2021

PLAN
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REVIEW

REV	DESCRIPTION	DATE
0	Revision 1	Date 1



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A110

LOWER LEVEL FLOOR
PLAN (8101 Main Building)



2 LEVEL 1 FLOOR PLAN
 A112 1/8" = 1'-0"

KEYNOTES	
Key Value	Keynote Text

- FLOOR PLAN GENERAL NOTES
- EXISTING TO REMAIN SHOWN HATCHED
 - CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS PRIOR TO BEGINNING WORK
 - ALL EXTERIOR WALLS TO BE WALL TYPE W1 UNO IN PLANS OR DETAILS
 - ALL PARTITIONS TO BE TYPE A3 UNO IN PLANS OR DETAILS
 - INTERIOR DIMENSIONS ARE TO FACE OF STUD/MASONRY UNO
 - COORDINATE ALL GENERAL CONSTRUCTION WORK WITH OTHER TRADES
 - EQUIPMENT AND FURNITURE BY OTHERS SHOWN DASHED & SCREENED - FOR REFERENCE ONLY - COORDINATE INSTALLATION & HOOK-UPS BY CONTRACTOR WHERE SPECIFIED
 - SITE SHOWN FOR REFERENCE AND COORDINATION ONLY - SEE C-SERIES DRAWINGS FOR DETAILS

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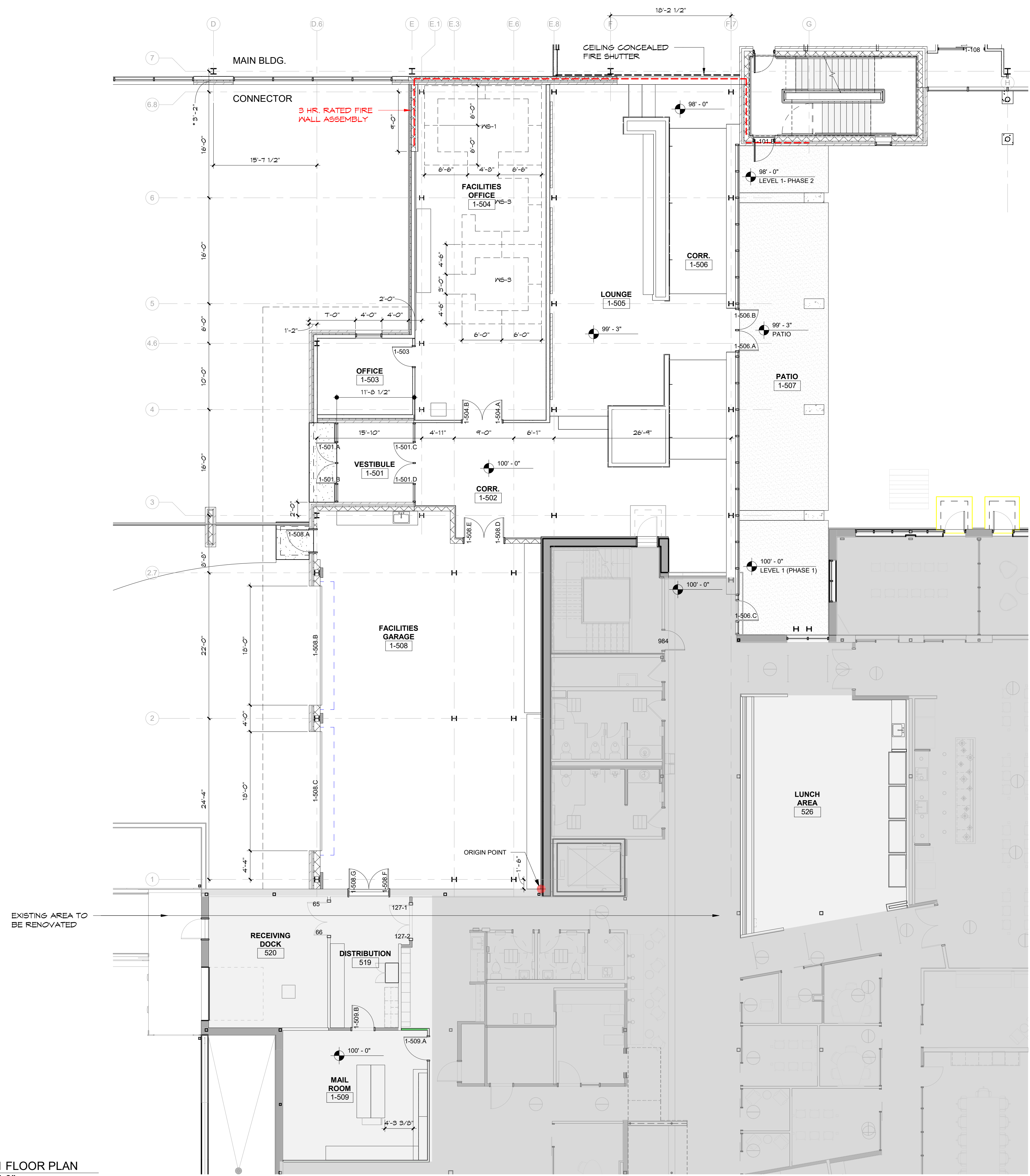
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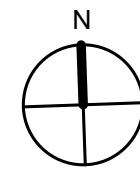


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A112 LEVEL 1 FLOOR PLAN
 (8101 Main Building)




 1
 A113 LEVEL 1 FLOOR PLAN
 1/8" = 1'-0"

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A113 LEVEL 1 FLOOR PLAN
 (8101 Connector)



1 LEVEL 2 FLOOR PLAN & LEVEL 1 ROOF PLAN
 A114 1/8" = 1'-0"

KEYNOTES	
Key Value	Keynote Text

- FLOOR PLAN GENERAL NOTES
- EXISTING TO REMAIN SHOWN HATCHED
 - CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS PRIOR TO BEGINNING WORK
 - ALL EXTERIOR WALLS TO BE WALL TYPE W1 UNO IN PLANS OR DETAILS
 - ALL PARTITIONS TO BE TYPE A3 UNO IN PLANS OR DETAILS
 - INTERIOR DIMENSIONS ARE TO FACE OF STUD/MASONRY UNO
 - COORDINATE ALL GENERAL CONSTRUCTION WORK WITH OTHER TRADES
 - EQUIPMENT AND FURNITURE BY OTHERS SHOWN DASHED & SCREENED - FOR REFERENCE ONLY - COORDINATE INSTALLATION & HOOK-UPS BY CONTRACTOR WHERE SPECIFIED
 - SITE SHOWN FOR REFERENCE AND COORDINATION ONLY - SEE C-SERIES DRAWINGS FOR DETAILS

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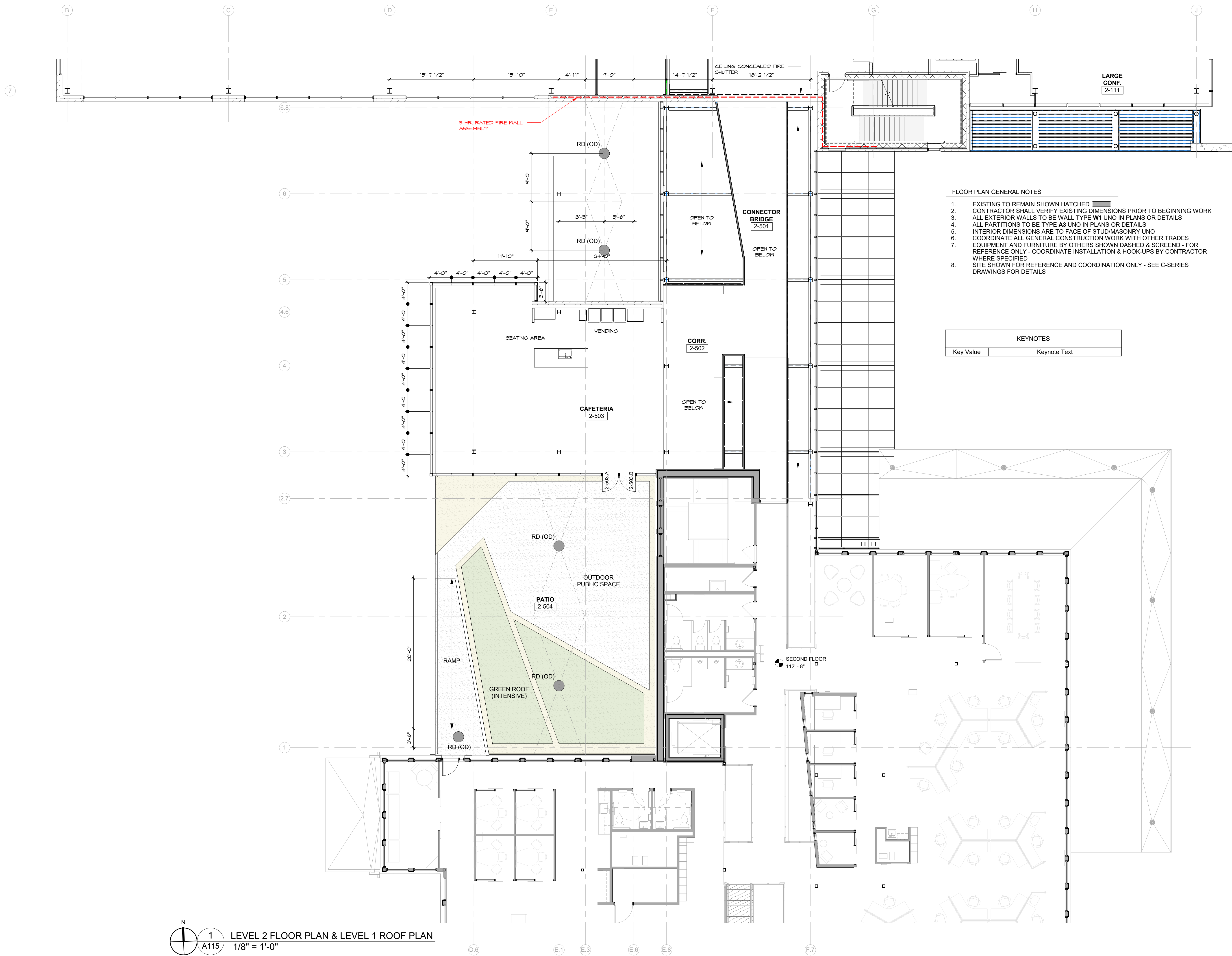
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A114 LEVEL 2 FLOOR PLAN & LEVEL 1 ROOF PLAN (8101 Main Building)



- FLOOR PLAN GENERAL NOTES
1. EXISTING TO REMAIN SHOWN HATCHED
 2. CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS PRIOR TO BEGINNING WORK
 3. ALL EXTERIOR WALLS TO BE WALL TYPE W1 UNO IN PLANS OR DETAILS
 4. ALL PARTITIONS TO BE TYPE A3 UNO IN PLANS OR DETAILS
 5. INTERIOR DIMENSIONS ARE TO FACE OF STUD/MASONRY UNO
 6. COORDINATE ALL GENERAL CONSTRUCTION WORK WITH OTHER TRADES
 7. EQUIPMENT AND FURNITURE BY OTHERS SHOWN DASHED & SCREENED - FOR REFERENCE ONLY - COORDINATE INSTALLATION & HOOK-UPS BY CONTRACTOR WHERE SPECIFIED
 8. SITE SHOWN FOR REFERENCE AND COORDINATION ONLY - SEE C-SERIES DRAWINGS FOR DETAILS

KEYNOTES	
Key Value	Keynote Text

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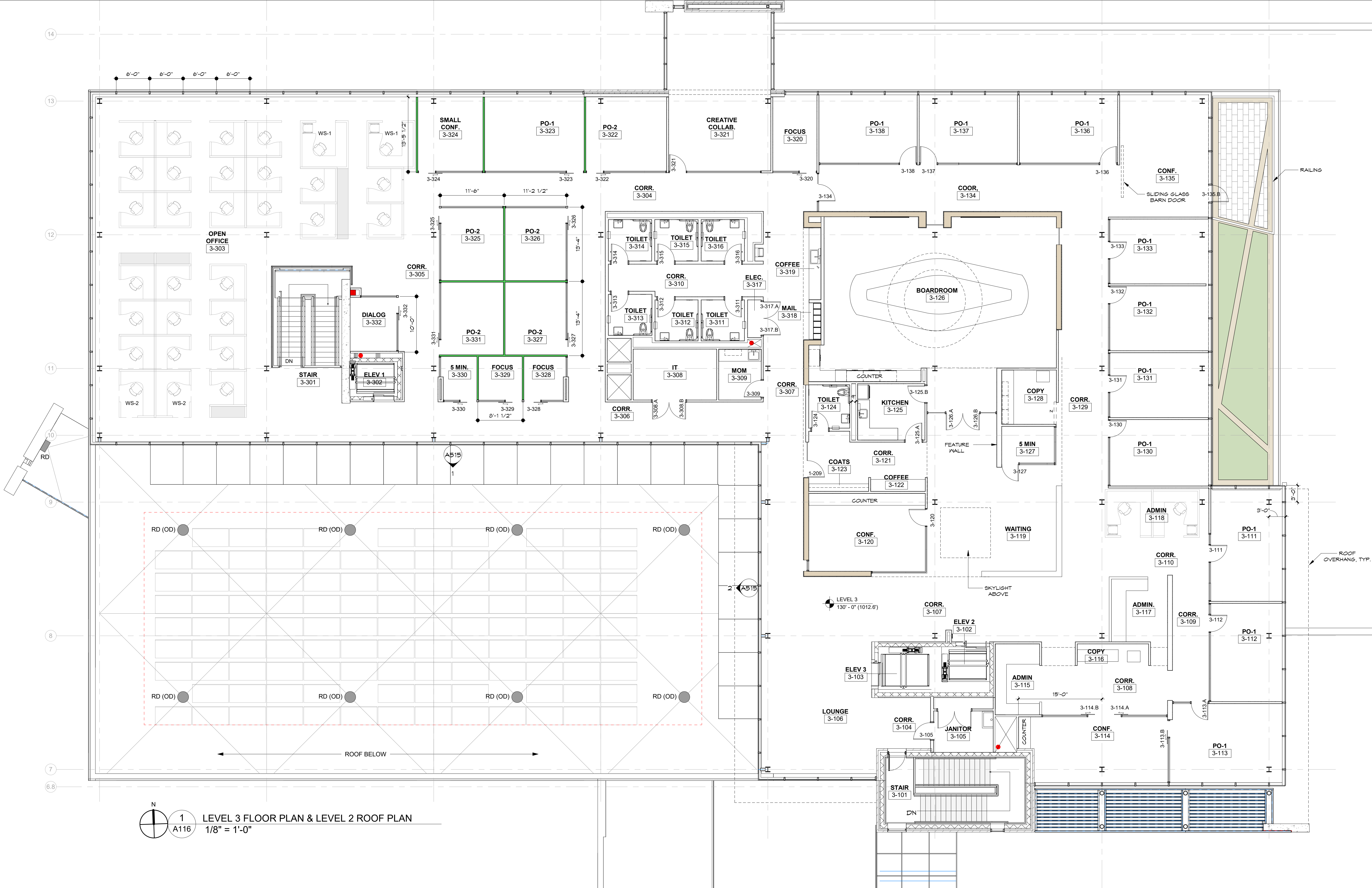


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1
 A115
 LEVEL 2 FLOOR PLAN & LEVEL 1 ROOF PLAN
 1/8" = 1'-0"

A115 LEVEL 2 FLOOR PLAN & LEVEL 1 ROOF PLAN (8101 Connector)




1
A116 LEVEL 3 FLOOR PLAN & LEVEL 2 ROOF PLAN
1/8" = 1'-0"

KEYNOTES	
Key Value	Keynote Text

- FLOOR PLAN GENERAL NOTES
- EXISTING TO REMAIN SHOWN HATCHED
 - CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS PRIOR TO BEGINNING WORK
 - ALL EXTERIOR WALLS TO BE WALL TYPE W1 UNO IN PLANS OR DETAILS
 - ALL PARTITIONS TO BE TYPE A3 UNO IN PLANS OR DETAILS
 - INTERIOR DIMENSIONS ARE TO FACE OF STUD/MASONRY UNO
 - COORDINATE ALL GENERAL CONSTRUCTION WORK WITH OTHER TRADES
 - EQUIPMENT AND FURNITURE BY OTHERS SHOWN DASHED & SCREENED - FOR REFERENCE ONLY - COORDINATE INSTALLATION & HOOK-UPS BY CONTRACTOR WHERE SPECIFIED
 - SITE SHOWN FOR REFERENCE AND COORDINATION ONLY - SEE C-SERIES DRAWINGS FOR DETAILS

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REV	DESCRIPTION	DATE

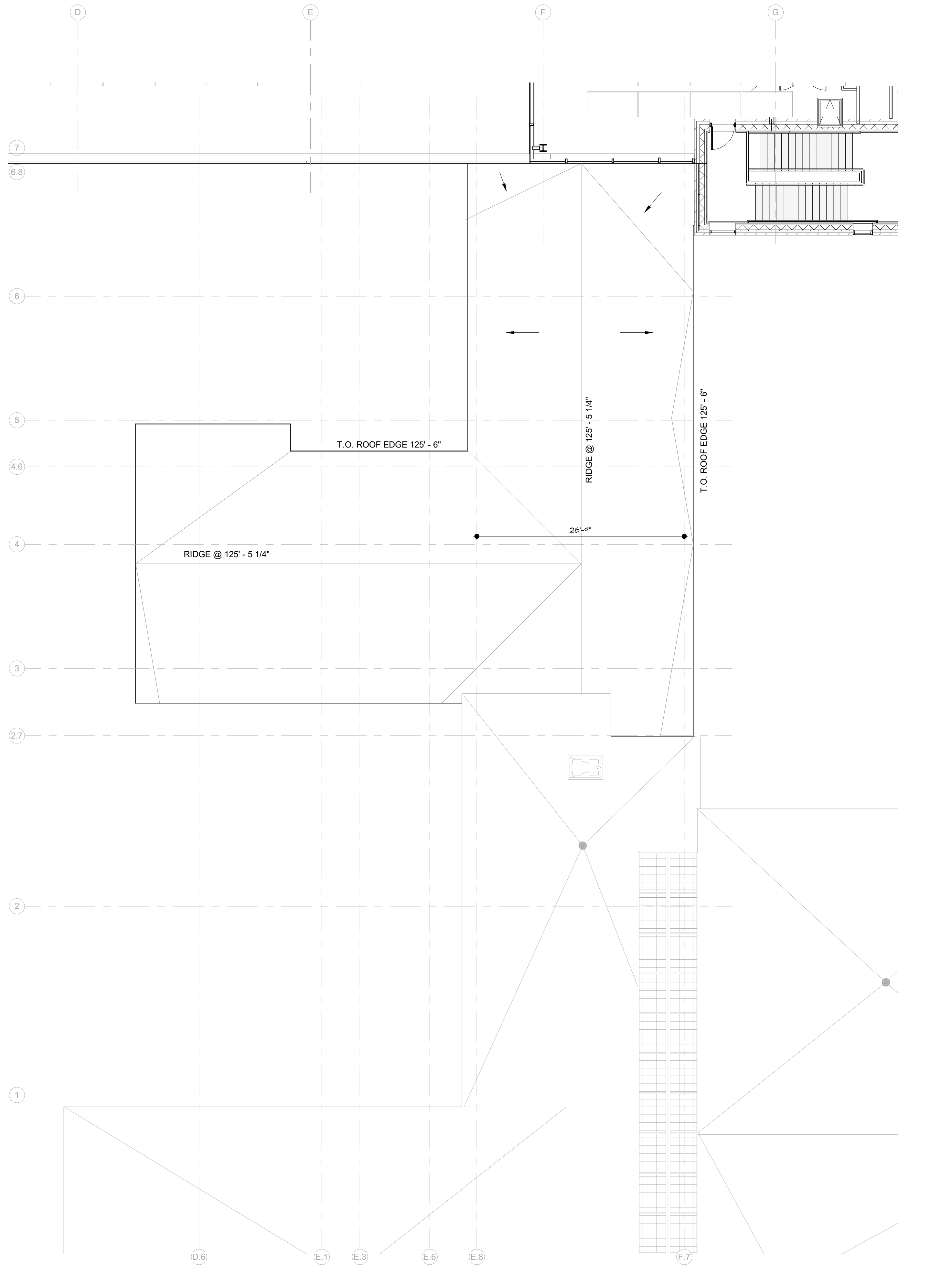
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A116 LEVEL 3 FLOOR PLAN & LEVEL 2 ROOF PLAN (8101 Main Building)




N
 1
 A117
LEVEL 2 ROOF PLAN
 1/8" = 1'-0"

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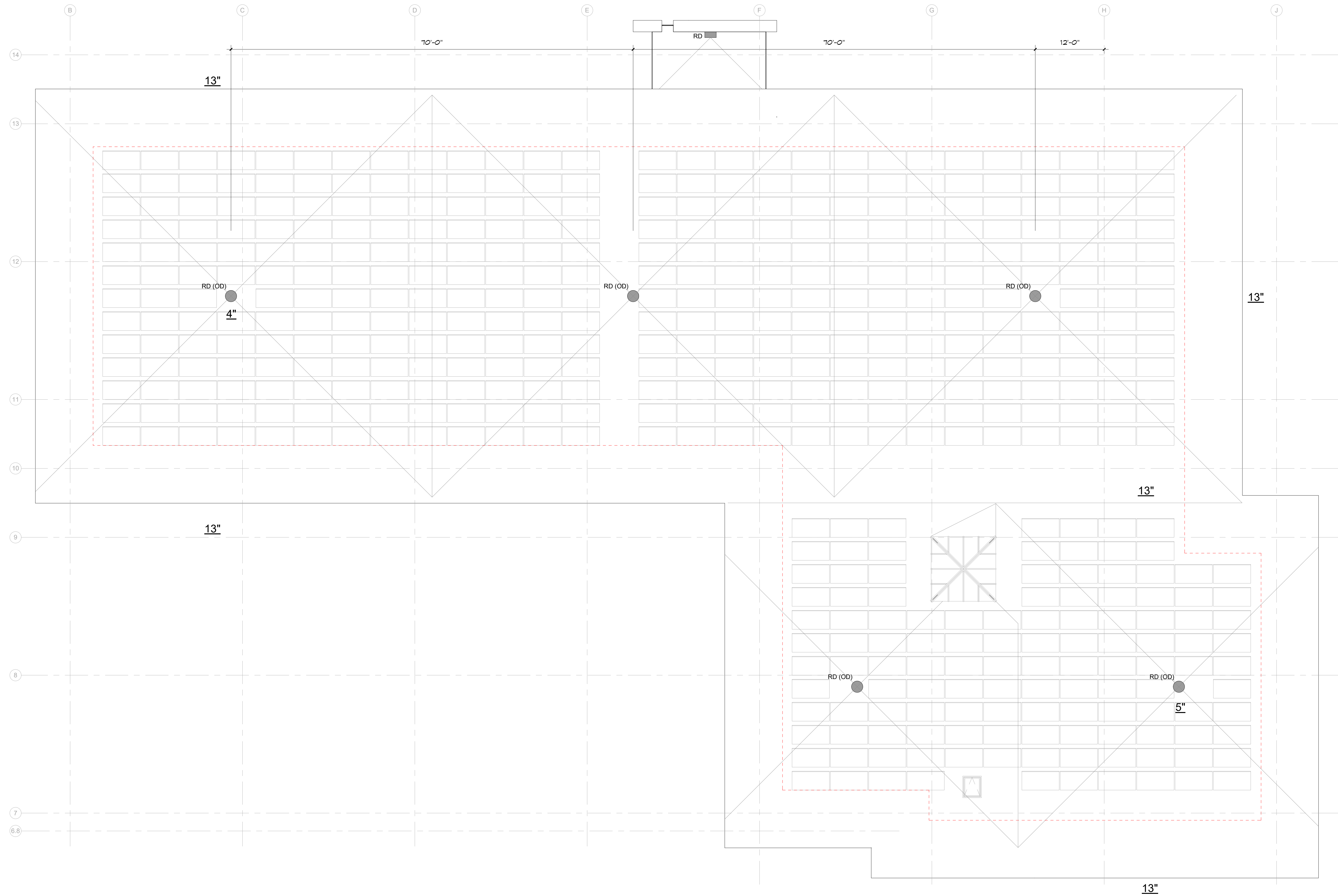

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A117
 LEVEL 2 ROOF PLAN
 (8101 Connector)



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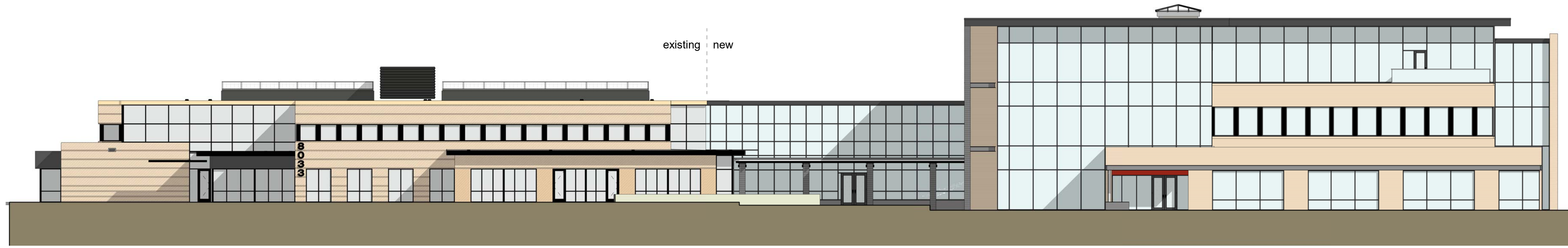
Findorff

1
 A118 LEVEL 3 ROOF PLAN
 1/8" = 1'-0"

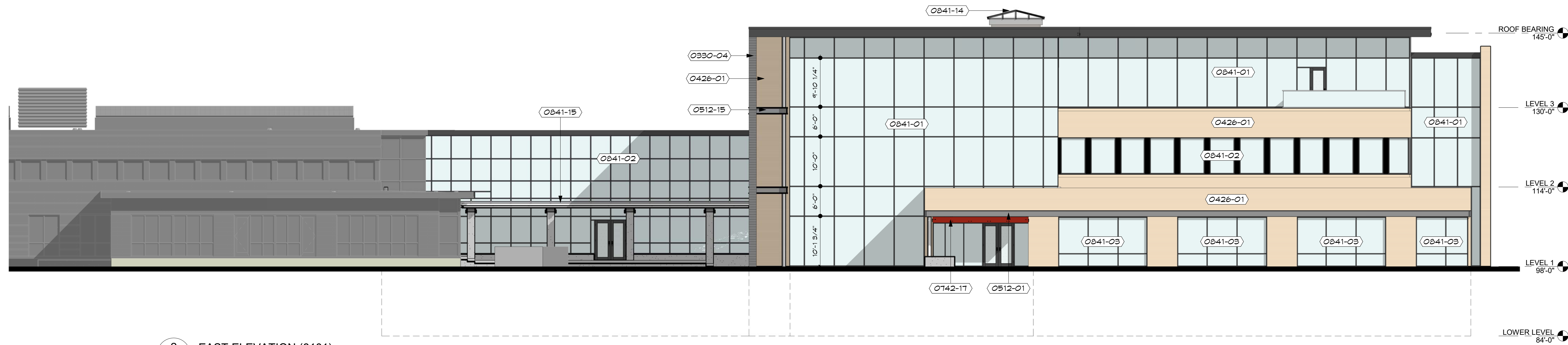
A118 LEVEL 3 ROOF PLAN
 (8101 Main Building)

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KEYNOTES	
Key Value	Keynote Text
0330-04	BOARD FORMED CAST IN PLACE CONCRETE WALL
0426-01	3 5/8" FACEBRICK TYPE 1
0512-01	STRUCTURAL STEEL, PAINTED - REFER TO STRUCTURAL DRAWINGS & SPECIFICATIONS
0512-15	C15X33.9 FRAMING
0573-01	CABLE RAIL - STEEL BALLUSTERS @ 4" O.C.
0742-16	VERTICAL SPLICE
0742-17	COMPOSITE METAL PANEL TYPE 2
0841-01	ALUMINUM CURTAINWALL SYSTEM TYPE 1
0841-02	ALUMINUM CURTAINWALL SYSTEM TYPE 2
0841-03	EXTERIOR ALUMINUM STOREFRONT SYSTEM
0841-14	SKYLIGHT
0841-15	SLOPED GLAZING TYPE 1



1 EAST ELEVATION (8033 + 8101)
A200 1/16" = 1'-0"



2 EAST ELEVATION (8101)
A200 3/32" = 1'-0"



3 NORTH ELEVATION (8101)
A200 3/32" = 1'-0"

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architecture

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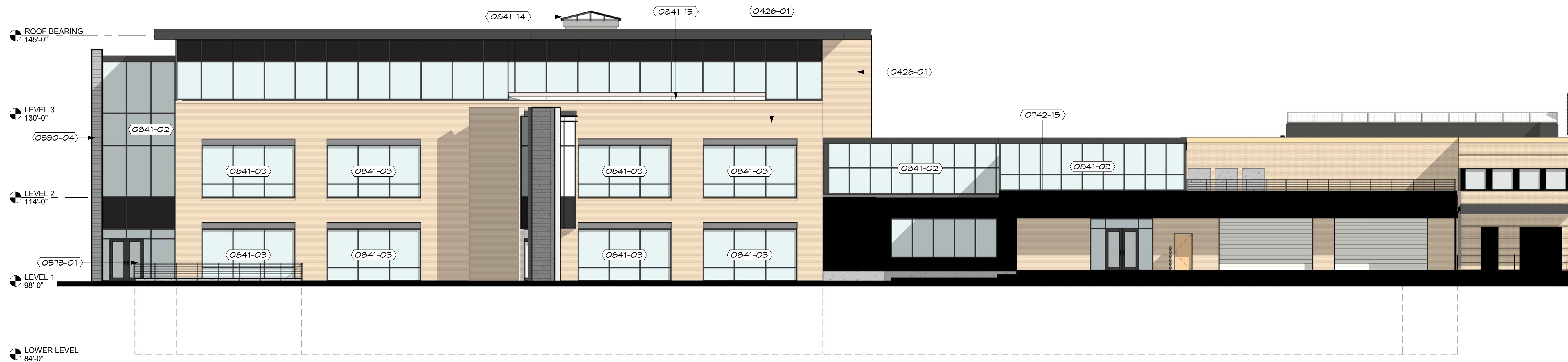
A200

BUILDING ELEVATIONS
(EAST & NORTH)

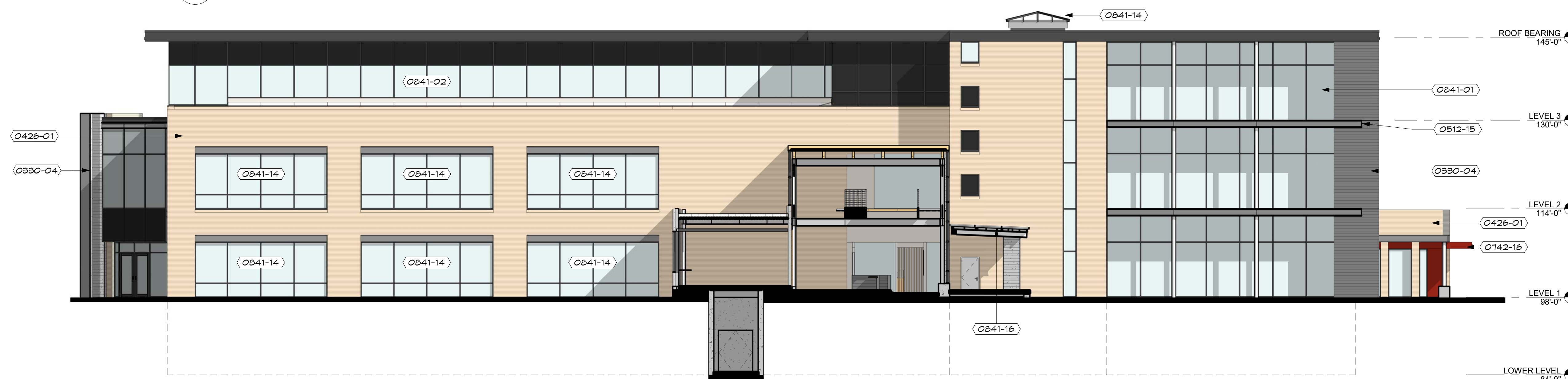
KEYNOTES	
Key Value	Keynote Text
0330-04	BOARD FORMED CAST IN PLACE CONCRETE WALL
0426-01	3 5/8" FACEBRICK TYPE 1
0512-15	C15X33.9 FRAMING
0573-01	CABLE RAIL - STEEL BALLUSTERS @ 40" O.C.
0742-15	COMPOSITE METAL PANEL TYPE 1
0742-16	VERTICAL SPLICE
0841-01	ALUMINUM CURTAINWALL SYSTEM TYPE 1
0841-02	ALUMINUM CURTAINWALL SYSTEM TYPE 2
0841-03	EXTERIOR ALUMINUM STOREFRONT SYSTEM
0841-14	SKYLIGHT
0841-15	SLOPED GLAZING TYPE 1
0841-16	SLOPED GLAZING TYPE 2



1 WEST ELEVATION (8033 + 8101)
A201 1/16" = 1'-0"



2 WEST ELEVATION (8101)
A201 3/32" = 1'-0"



3 SOUTH ELEVATION (8101)
A201 3/32" = 1'-0"

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A201

BUILDING ELEVATIONS
(WEST & SOUTH)