

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submission reviewed by \_\_\_\_\_

Legistar # \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: \_\_\_\_\_

Title: \_\_\_\_\_

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 9-1-21 - IDENTIFIED ITEM REVISIONS PER UDC INITIAL APPROVAL

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

## 3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

### Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

### Other

Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** \_\_\_\_\_

Company \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**Project contact person** \_\_\_\_\_

Company \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**Property owner (if not applicant)** \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

5. Required Submittal Materials

Application Form

Letter of Intent

All documents previously submitted. Attached herein are the revisions for the two comments from UDC that required the project to return for final approval.

sign District, a summary of how the district criteria is required if how the proposed signage is consistent. Variance review criteria is required. (Page 4 for plan details)

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized and legible. Please refrain from using plastic covers or spiral binding.

Filing fee

Electronic Submittal\*

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

6. Applicant Declarations

- 1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with \_\_\_\_\_ on \_\_\_\_\_.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant \_\_\_\_\_ Relationship to property \_\_\_\_\_

Authorizing signature of property owner \_\_\_\_\_ Date \_\_\_\_\_

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- X Urban Design Districts: \$350 (per §35.24(6) MGO).
Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

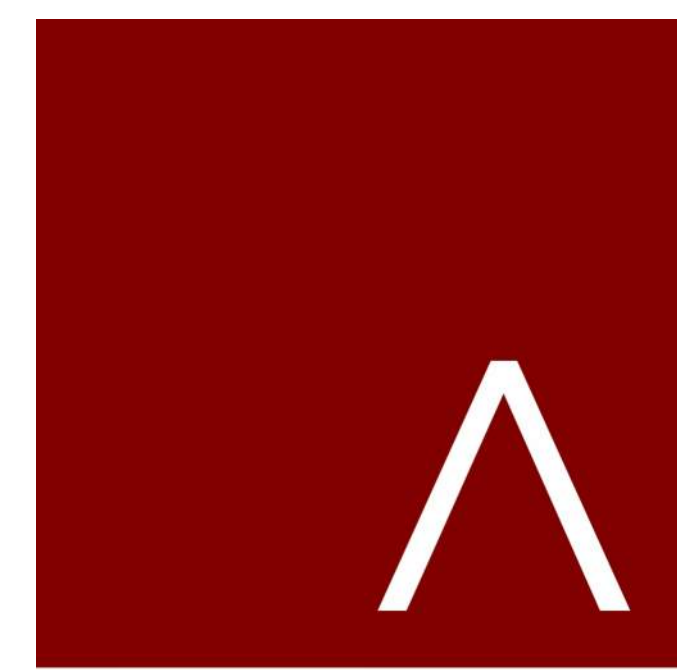
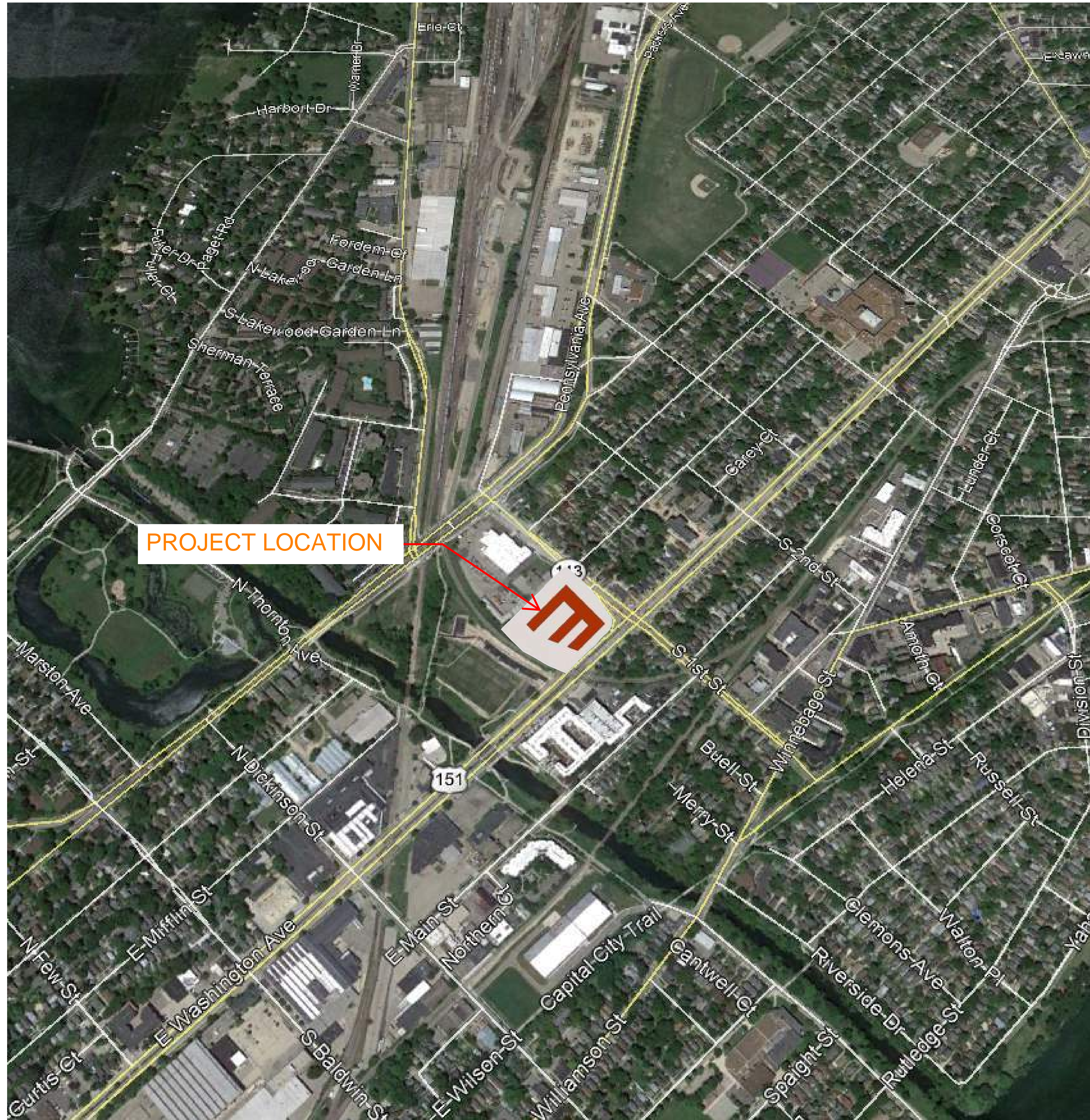
- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

# FIRST AND EAST WASHINGTON

## SITE PHOTO - VICINITY MAP



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÄEF**

**GALWAY**  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MAY 19, 2021

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

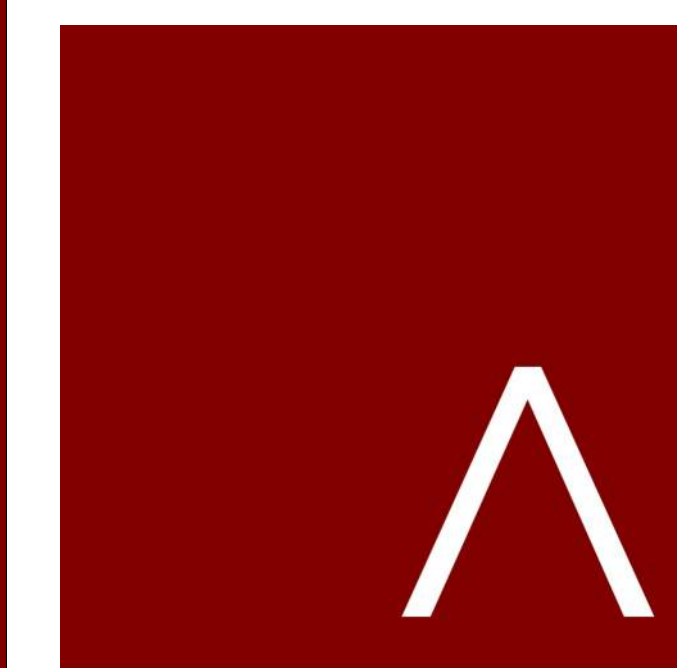
**BUILDING  
PERSPECTIVES**

SHEET NUMBER

**A700**



**NEW SHEET - REVISIONS REQUESTED FOR UDC FINAL APPROVAL**



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

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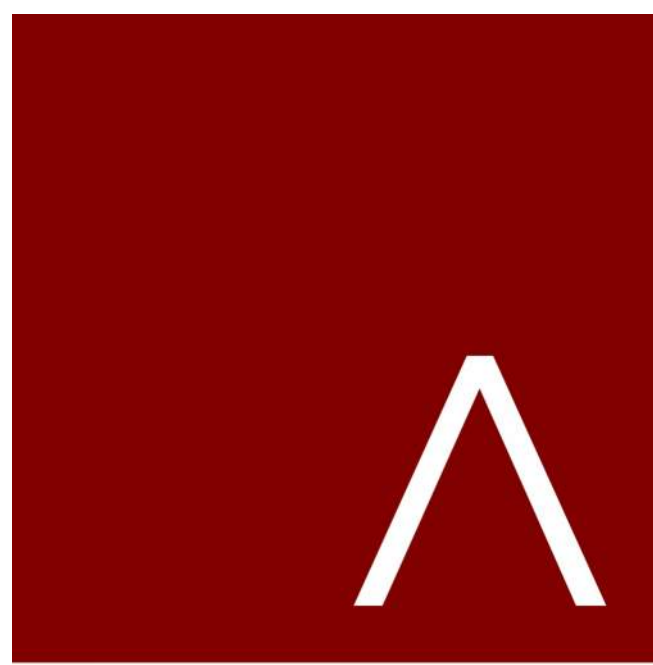
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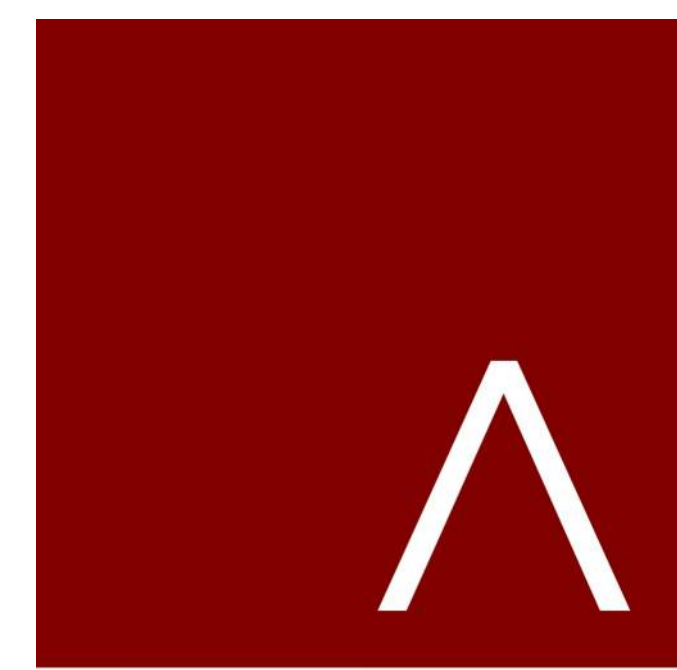
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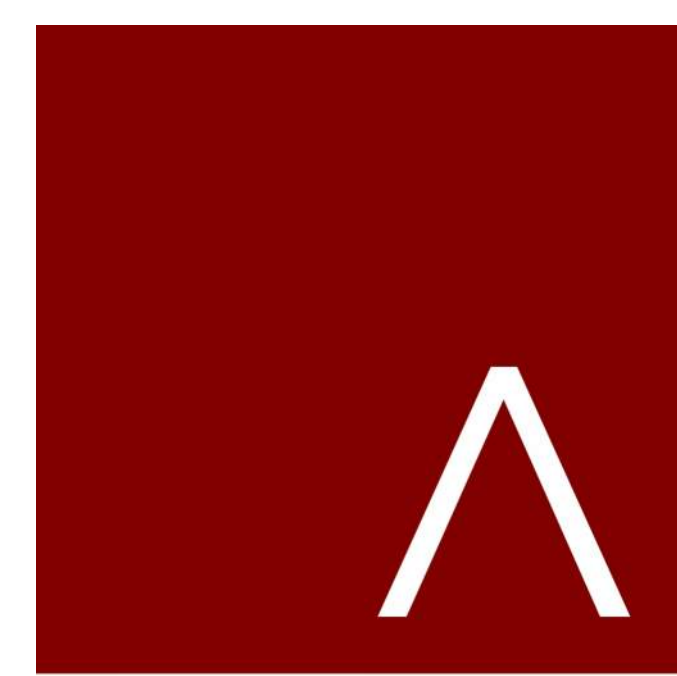
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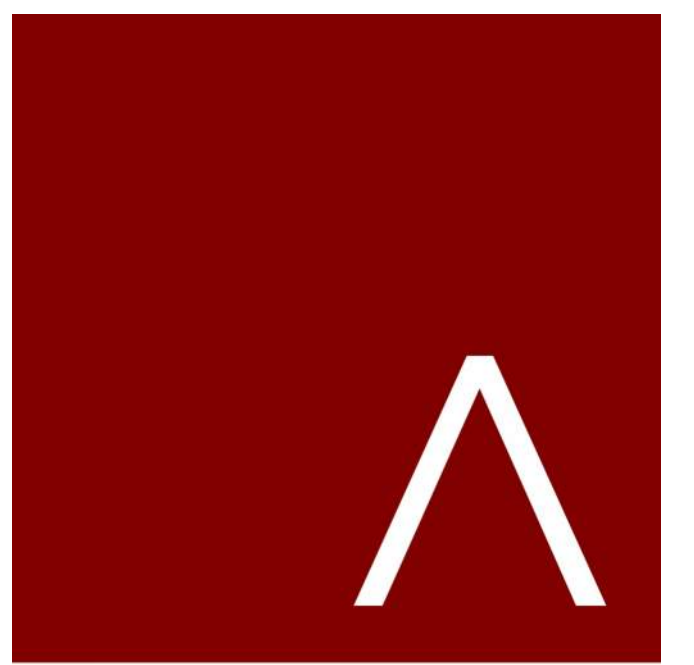
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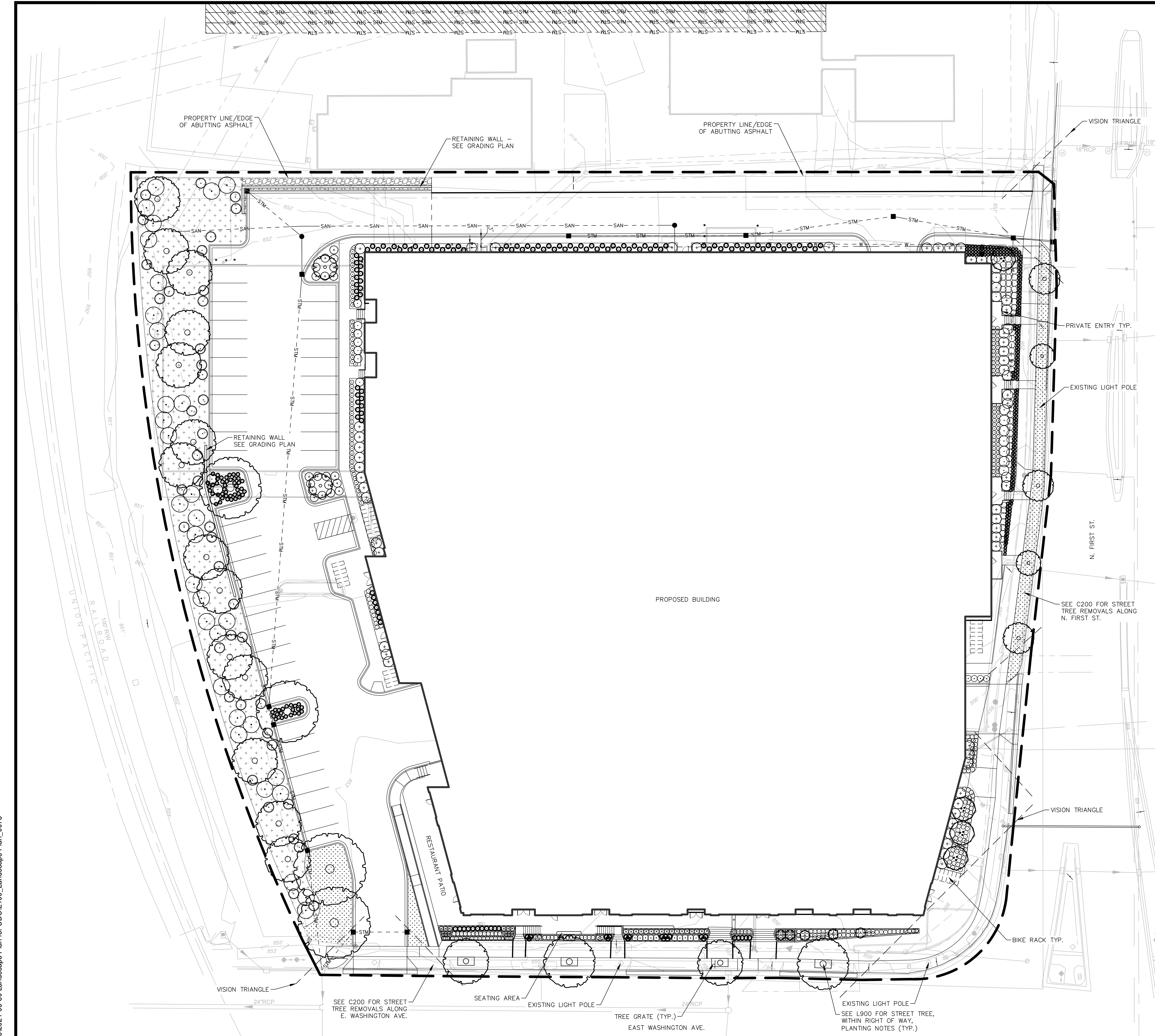
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**NEW SHEET - REVISIONS REQUESTED FOR UDC FINAL APPROVAL**



### PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME
<b>ORNAMENTAL TREES</b>			
AME OBE	5	<i>Amelanchier alnifolia</i> 'Obelisk'™	Standing Ovation Serviceberry
AME ROH	4	<i>Amelanchier x grandiflora</i> 'Robin Hill'	Robin Hill Apple Serviceberry
MAL RJE	2	<i>Malus</i> 'Red Jewel'	Red Jewel Crabapple
<b>SHADE TREES</b>			
ACE FAR	3	<i>Acer x freemanii</i> 'Armstrong'	Armstrong Freeman Maple
BET NDH	14	<i>Betula nigra</i> 'Dura Heat'	Dura Heat River Birch
CEL OCH	2	<i>Celtis occidentalis</i> 'Chicagoland'	Chicagoland Hackberry
GIN BPS	2	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo (male seedless)
GLE TSH	2	<i>Gleditsia bicantinos inermis</i> 'Shademaster'	Shademaster Honeylocust
ULM FRO	2	<i>Ulmus</i> 'Frontier'	Frontier Elm
ULM MOR	2	<i>Ulmus</i> 'Morton'	Accolade Elm
<b>DECIDUOUS SHRUBS</b>			
ARO MOR	45	<i>Aronia melanocarpa</i> 'Morton'	Iroquois Beauty Black Chokeberry
ARO MLS	67	<i>Aronia melanocarpa</i> 'UCCONNAM165'	Low Scape Mount Black Chokeberry
DIE LCO	4	<i>Diervilla lonicera</i> 'Copper'	Copper Low Bush Honeysuckle
HYD AWH	13	<i>Hydrangea arborescens</i> 'White Dome'	White Dome Hydrangeas
RHU GLA	32	<i>Rhus glabra</i>	Smooth Sumac
SPI NBU	7	<i>Spiraea betulifolia</i> 'COURISPI01'™	Pink Sparkler Birchleaf Spiraea
SPI BET	13	<i>Spiraea betulifolia</i> 'Tor'	Tor Birchleaf Spiraea
<b>EVERGREEN SHRUBS</b>			
JUN CIO	19	<i>Juniperus chinensis</i> 'Iowa'	Iowa Juniper
JUN CKA	20	<i>Juniperus chinensis</i> 'Kallays Compact'	Kallay Compact Pfitzer Juniper
PIN SLO	23	<i>Pinus mugo</i> 'Slowmound'	Mugo Pine
TAX MH	7	<i>Taxus x media</i> 'Hicksii'	Hicks Yew
TAX MTA	27	<i>Taxus x media</i> 'Tauntonii'	Taunton's Yew
<b>ORNAMENTAL GRASSES &amp; SEDGES</b>			
CAL AKA	114	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass
CAR FBL	232	<i>Carex flacca</i> 'Blue Zinger'	Blue Zinger Sedge
PAN VSH	23	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass
SPO HTA	65	<i>Sporobolus heterolepis</i> 'Tara'	Tara Dwarf Prairie Dropseed
<b>PERENNIALS</b>			
ALL SUM	32	<i>Allium x 'Summer Beauty'</i>	Summer Beauty Ornamental Onion
CAL NPT	23	<i>Calamintha nepeta nepeta</i>	Lesser Calamint
GER HMA	32	<i>Geranium phaeum</i> 'Raven'	Raven Dusky Cranesbill
HOS GUA	48	<i>Hosta x 'Guacamole'</i>	Guacamole Hosta
LIR SPI	143	<i>Liriope spicata</i>	Creeeping Lily Turf
MAT STR	64	<i>Mullecia struthiopteris</i>	Ostrich Fern

**E. Washington Ave. and N. First St. Mixed Use Development**

For all lots UNDER 5 acres and NOT zoned IL or IG, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.  
 Total square footage of developed area: 45,717 square feet  
 Total landscape points required: 762 points

**Tabulation of Points and Credits**

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscape		New/Proposed Landscape	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2" caliper measured at breast height	35			37	1295
Tall evergreen tree	5-6 feet tall	35			0	0
Ornamental tree	1 1/2 inch caliper	15			14	210
Upright evergreen shrub	3-4 feet tall	10			27	270
Shrub, deciduous	#3 gallon container size, Min. 12-24"	3			247	741
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4			112	448
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2			1125	2250
Ornamental/decorative fencing or wall	n/a	4 per 10 lineal ft.			0	0
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper *Trees must be within developed area and cannot comprise more than 30% of total points	14 per caliper inch, Max 200 points per tree			0	0
Landscape furniture for public seating	Furniture must be within developed area, publicly accessible, and cannot comprise more than 9% of total required points	5 points per "seat"			0	0
<b>Sub Totals</b>					0	5214

**Total Number of Points Provided: 5214**

**Landscape Points Distribution**

**Landscape Construction**  
 Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

**Development Frontage Landscape**  
 Landscaping an/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

**Interior Parking Lot Landscaping**  
 The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the interior parking lot standards.

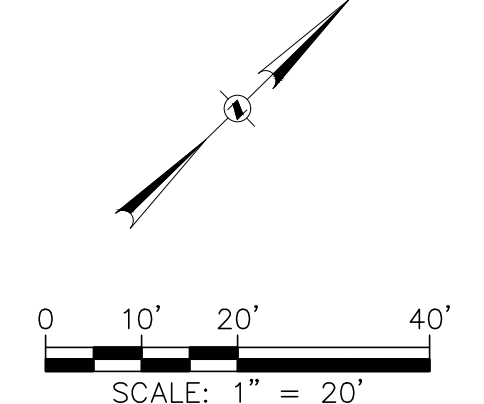
**Foundation Plantings**  
 Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

**Screening Along District Boundaries**  
 Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

**Screening of Other Site Elements**  
 The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

**LANDSCAPE LEGEND**

- LIMIT OF LANDSCAPE CONSTRUCTION
- - - ALUMINUM EDGER - SEE SPECIFICATIONS
- MANICURED TURF (SOD) - SEE SPECIFICATIONS
- NO MOW TURF SEED MIX - SEE SPECIFICATIONS
- DECORATIVE STONE MULCH - SEE SPECIFICATIONS



X:\MID\2021\1007\1007\05\Correspondence\Submittals\2021-08-30\_Landscape Plan for UDCL100\_Landscape Plan\_0075 8/30/2021 4:47 PM

**NOTICE:**  
 In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**DISCLAIMER:**  
 The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.



JLA PROJECT NUMBER: 19-0802

**GRAEF**  
 1010 East Washington Avenue,  
 Suite 202  
 Madison, WI 53703-3130  
 608 / 242 1550

www.graef-usa.com

**FIRST AND EAST WASHINGTON**

PROGRESS SET

**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: JULY 20, 2021

**REVISION SCHEDULE**

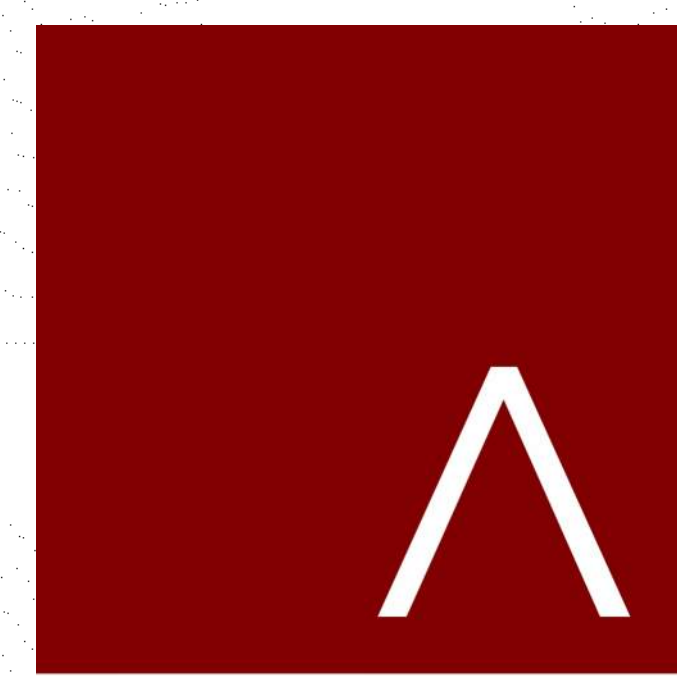
Mark	Description	Date
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SHEET TITLE: **LANDSCAPE PLAN**

SHEET NUMBER: **L100**

\*For a more comprehensive look into the City of Madison Landscape Requirements, see Section 28.142 Madison General Ordinance\*

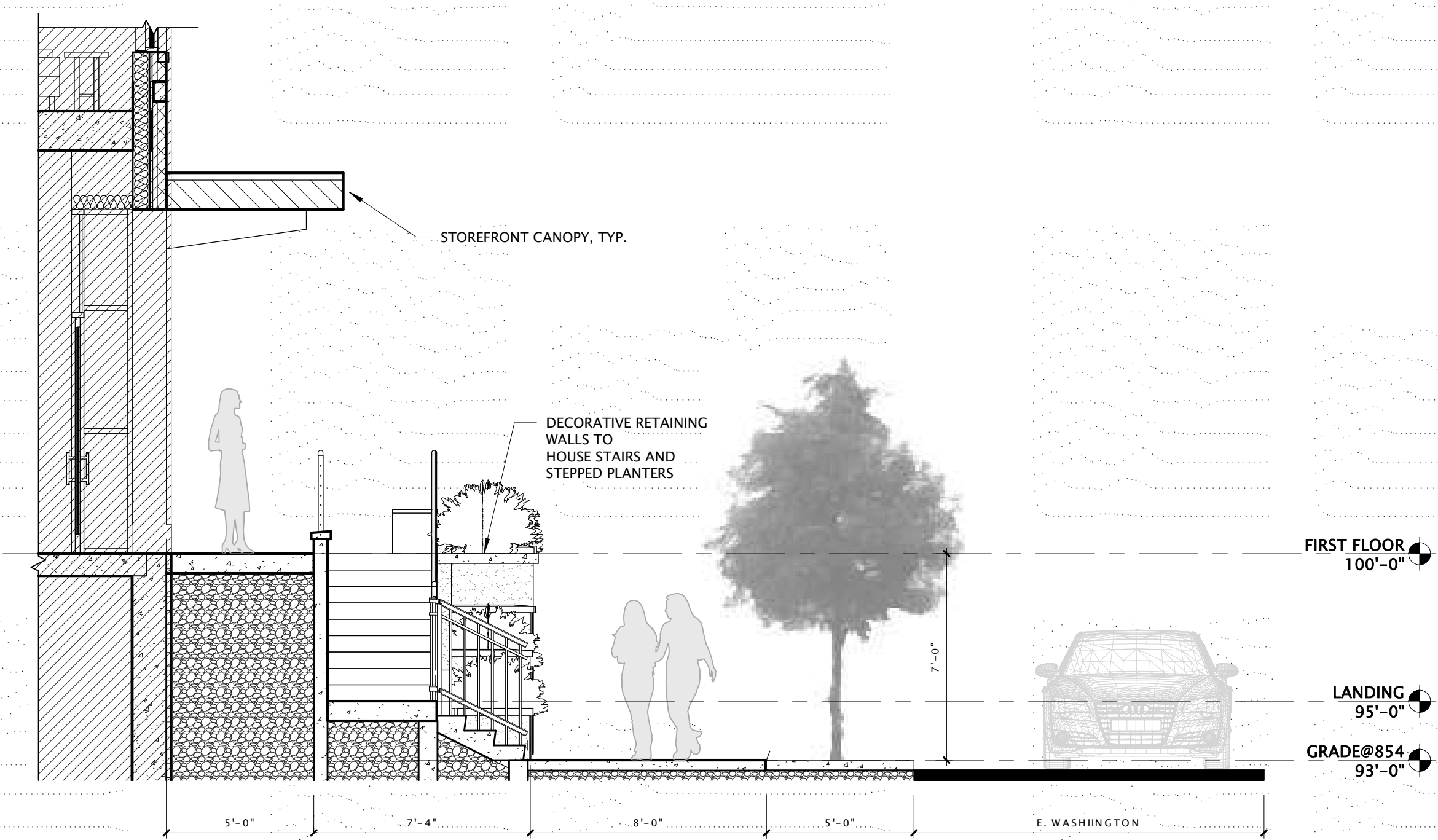




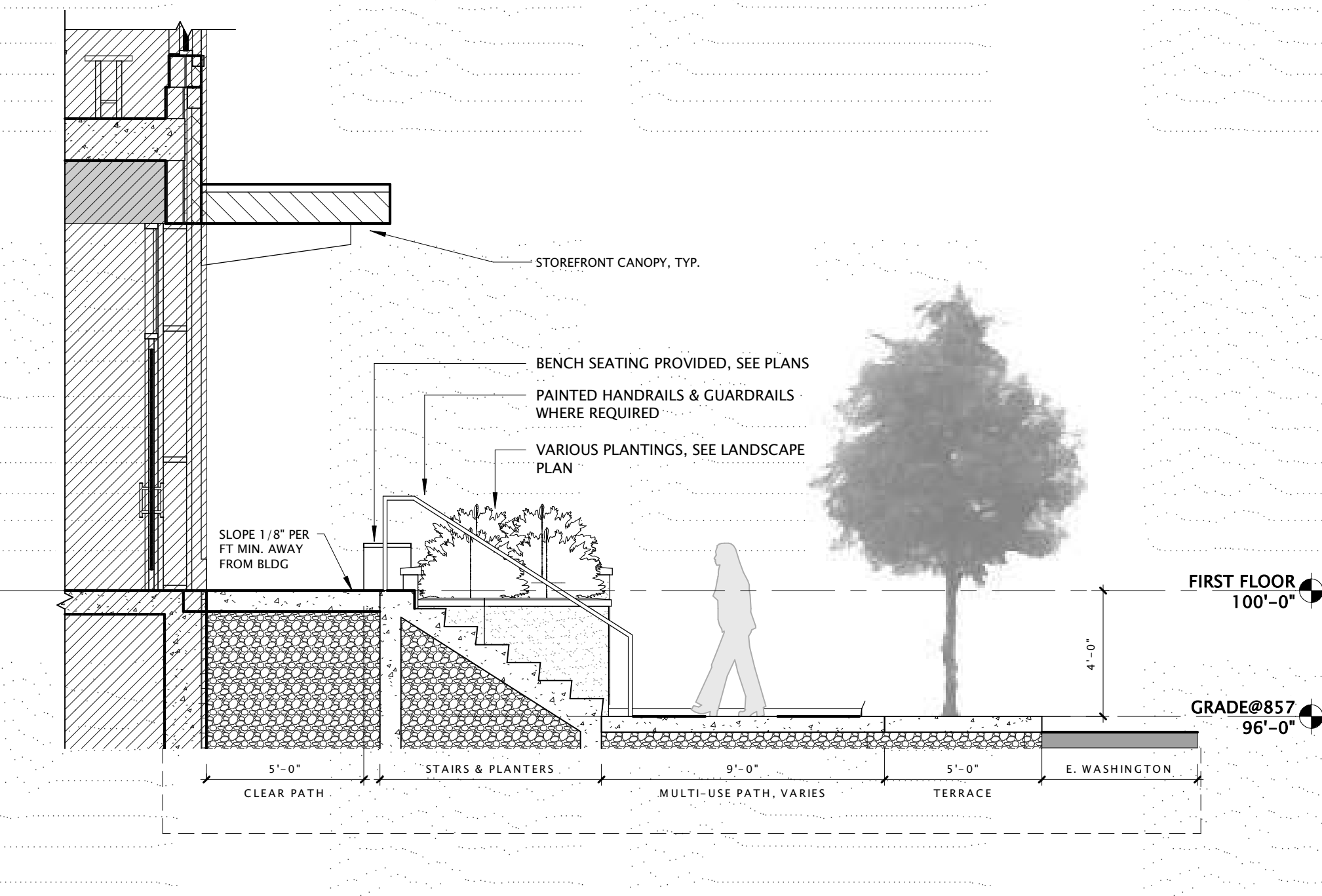
JLA ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

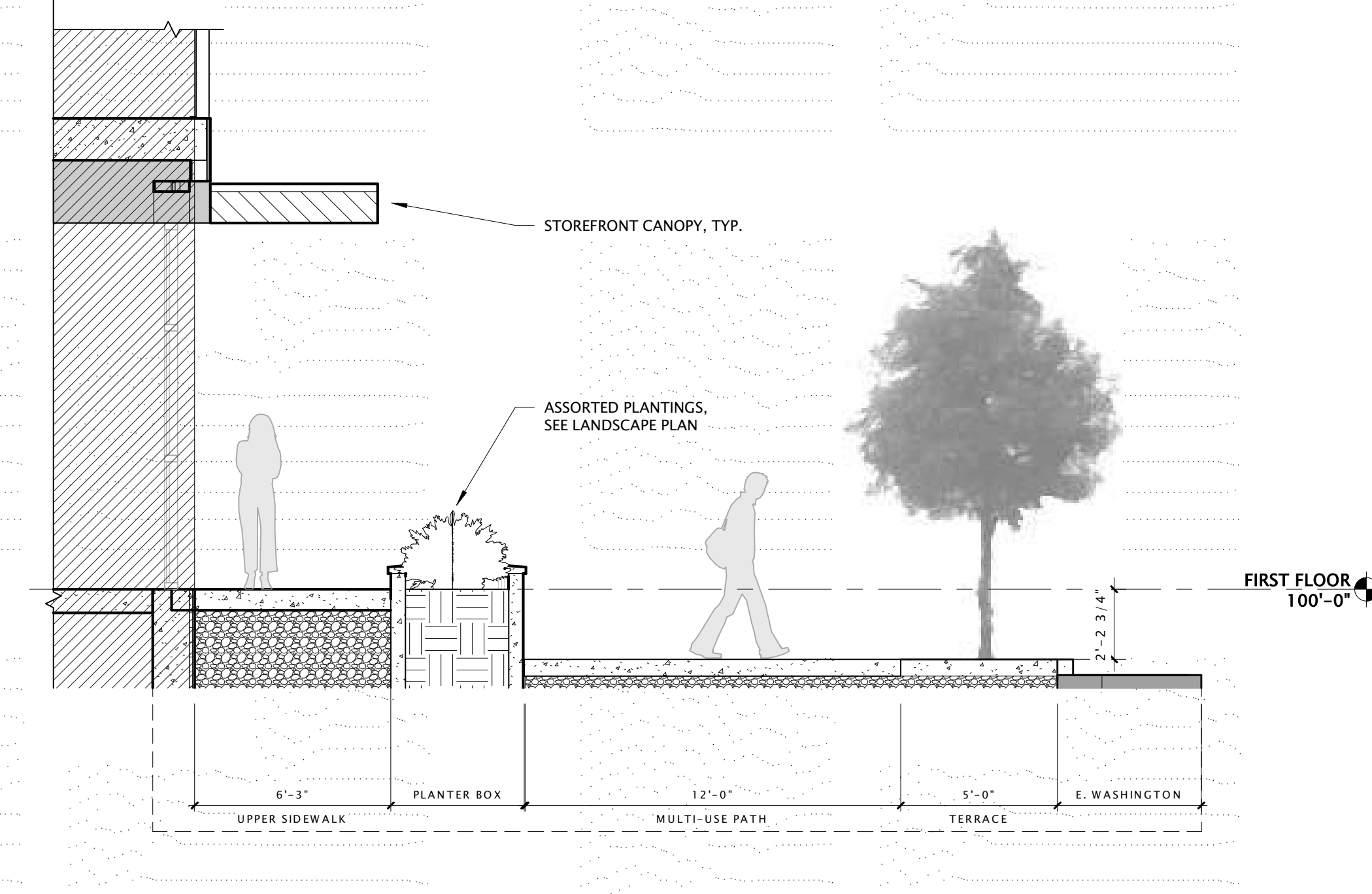
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7 SECTION @ DOOR 1005A  
1/4" = 1'-0"



14 SITE SECTION AT EAST WASHINGTON  
1/4" = 1'-0"

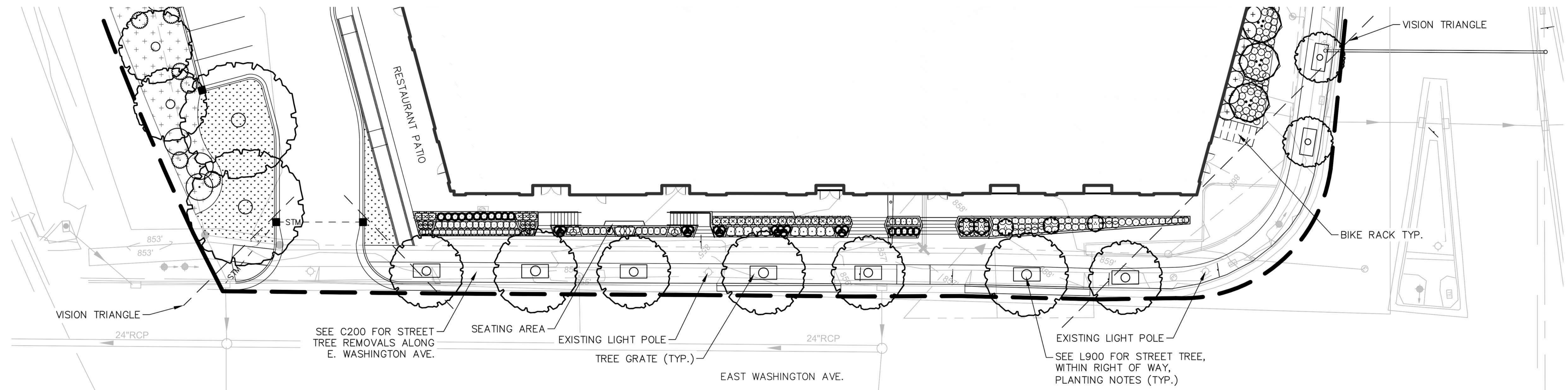


4 SITE SECTION AT E. WASHINGTON  
1/4" = 1'-0"



1 SOUTH ELEVATION @ EAST WASHINGTON  
1" = 10'-0"

NOTE: PLANTINGS FOR VISUAL REFERENCE, REFER TO LANDSCAPE PLAN BELOW FOR LOCATION AND TYPE OF PROPOSED PLANTINGS



2 LANDSCAPING @ E. WASHINGTON  
1/2" = 1'-0"

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

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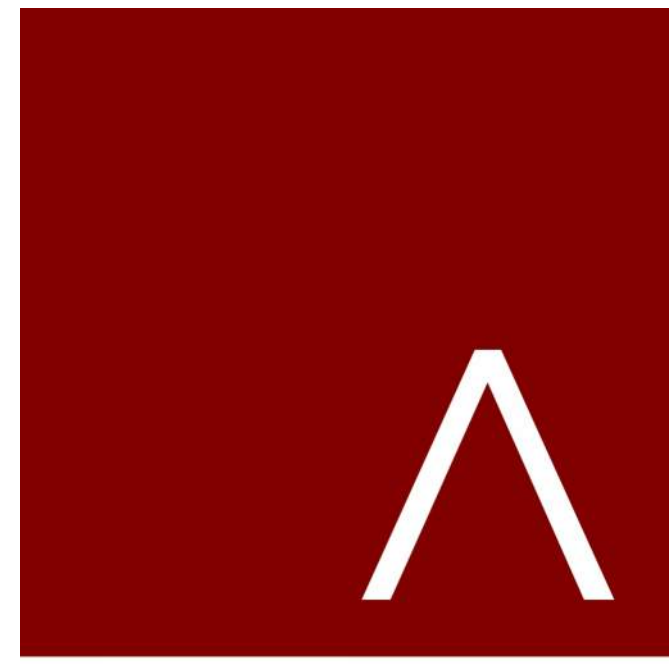
SHEET TITLE  
**SITE SECTIONS AT E. WASHINGTON**

SHEET NUMBER  
**A360**

**NEW SHEET - REVISION SUBMITTED FOR PLAN COMMISSION APPROVAL 8/23/21**

8/18/2021 11:37:01 PM

ALL REMAINING SLIDES PREVIOUSLY SUBMITTED - INCLUDED HERE FOR REFERENCE



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jla-ap.com

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**GALWAY**  
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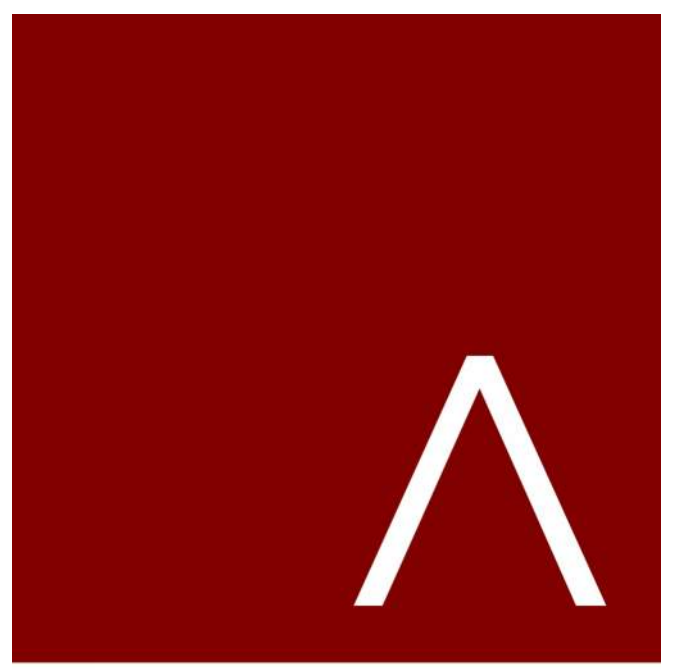
Mark	Description	Date

SHEET TITLE

**BUILDING  
PERSPECTIVES**

SHEET NUMBER

**A700**



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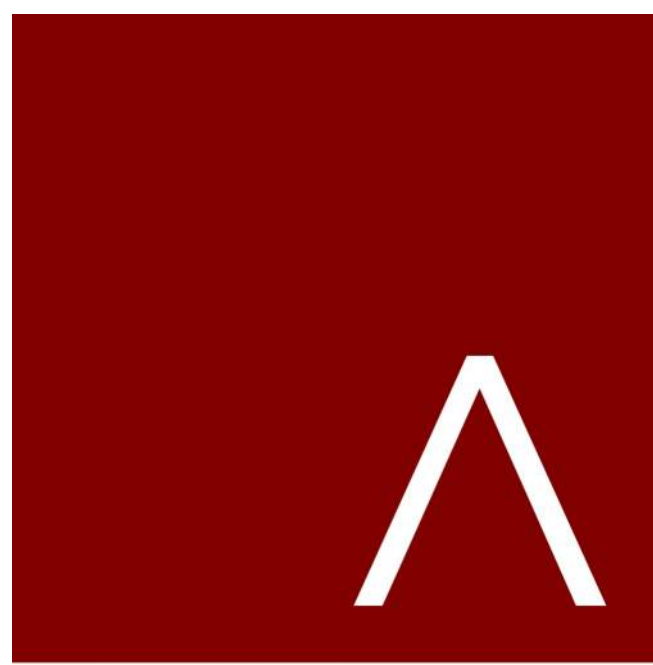
SHEET TITLE

**BUILDING  
PERSPECTIVES**

SHEET NUMBER

**A700**





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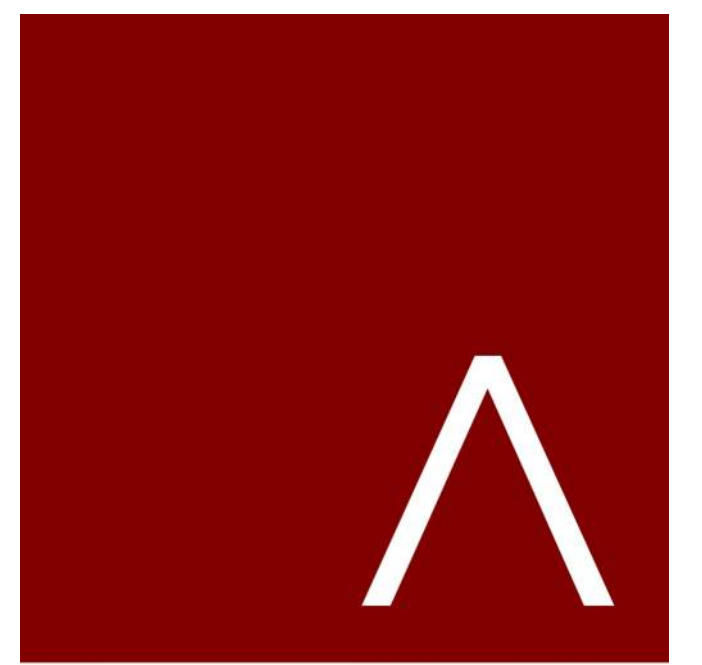
Mark	Description	Date

SHEET TITLE

**BUILDING  
PERSPECTIVES**

SHEET NUMBER

**A700**



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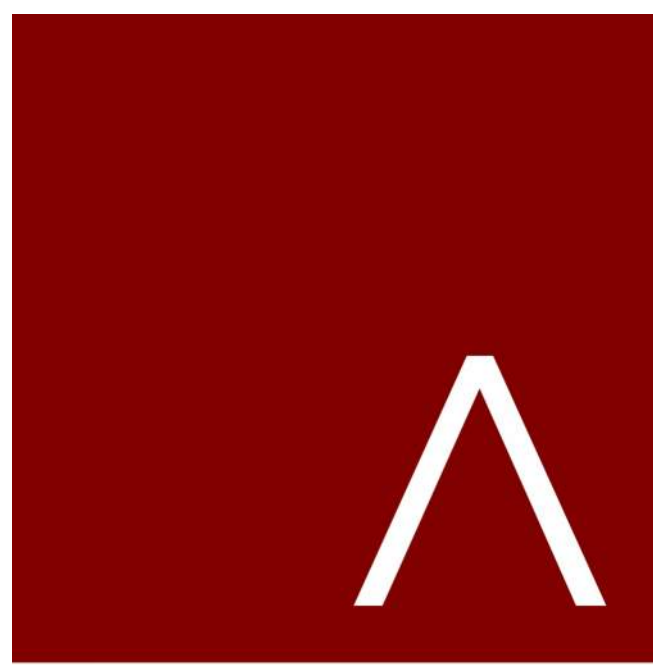
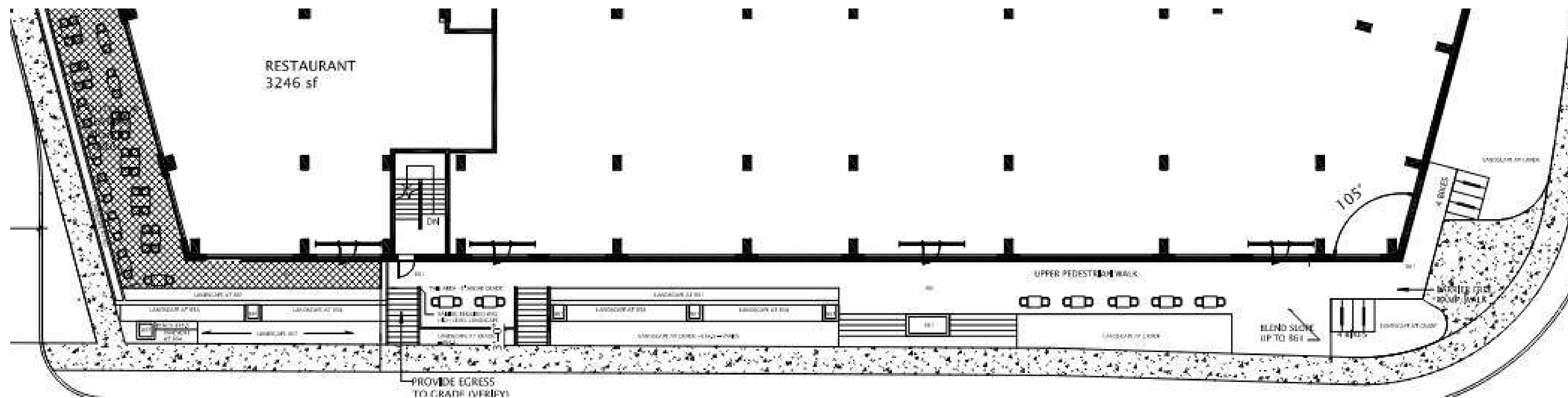
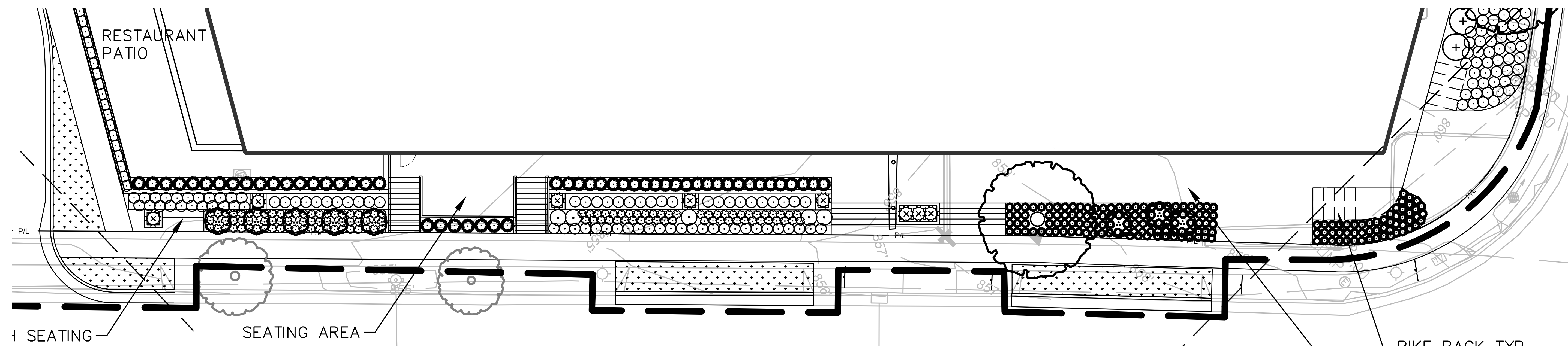
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**BUILDING  
PERSPECTIVES**

SHEET NUMBER  
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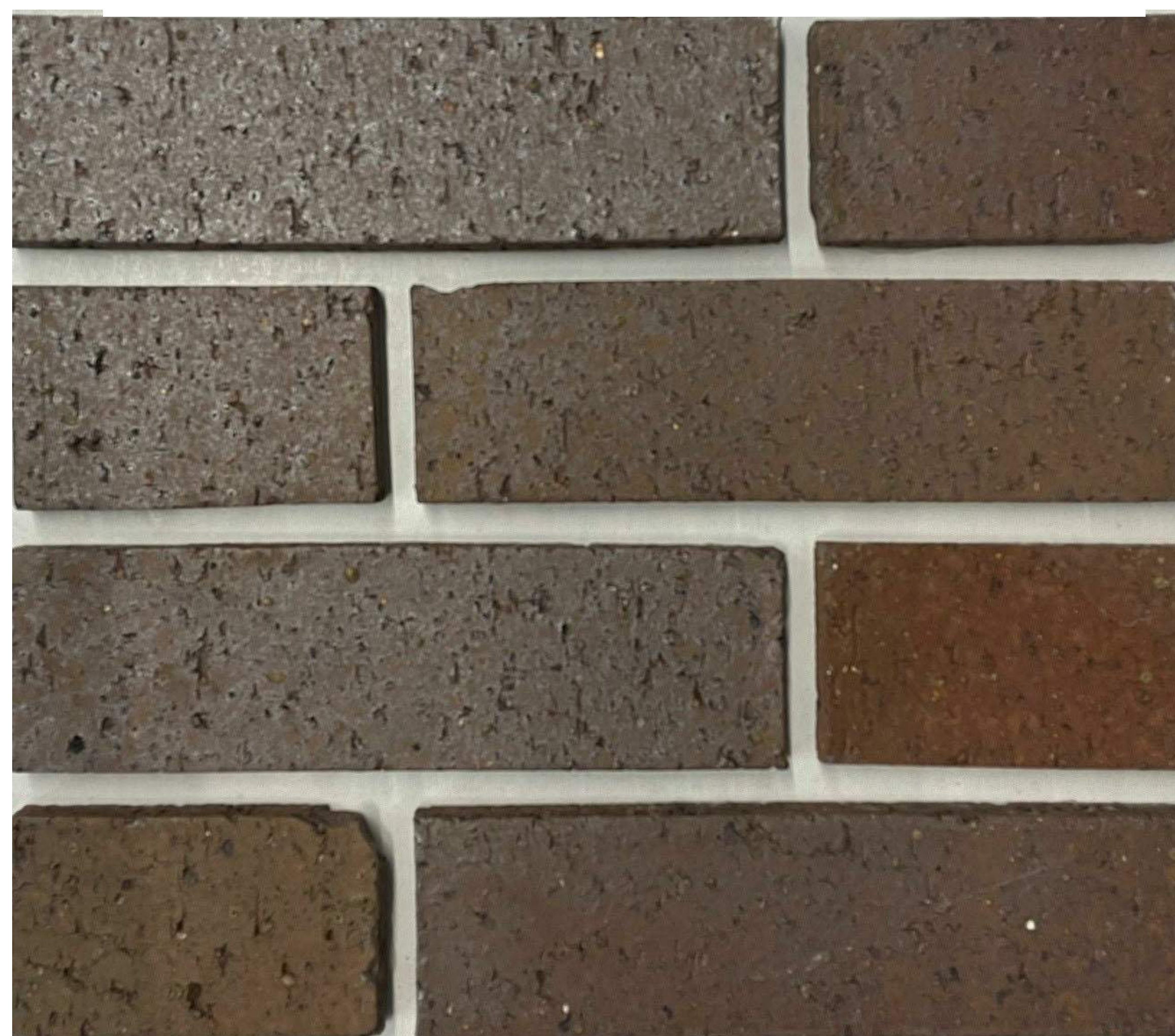
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PERSPECTIVES**

SHEET NUMBER

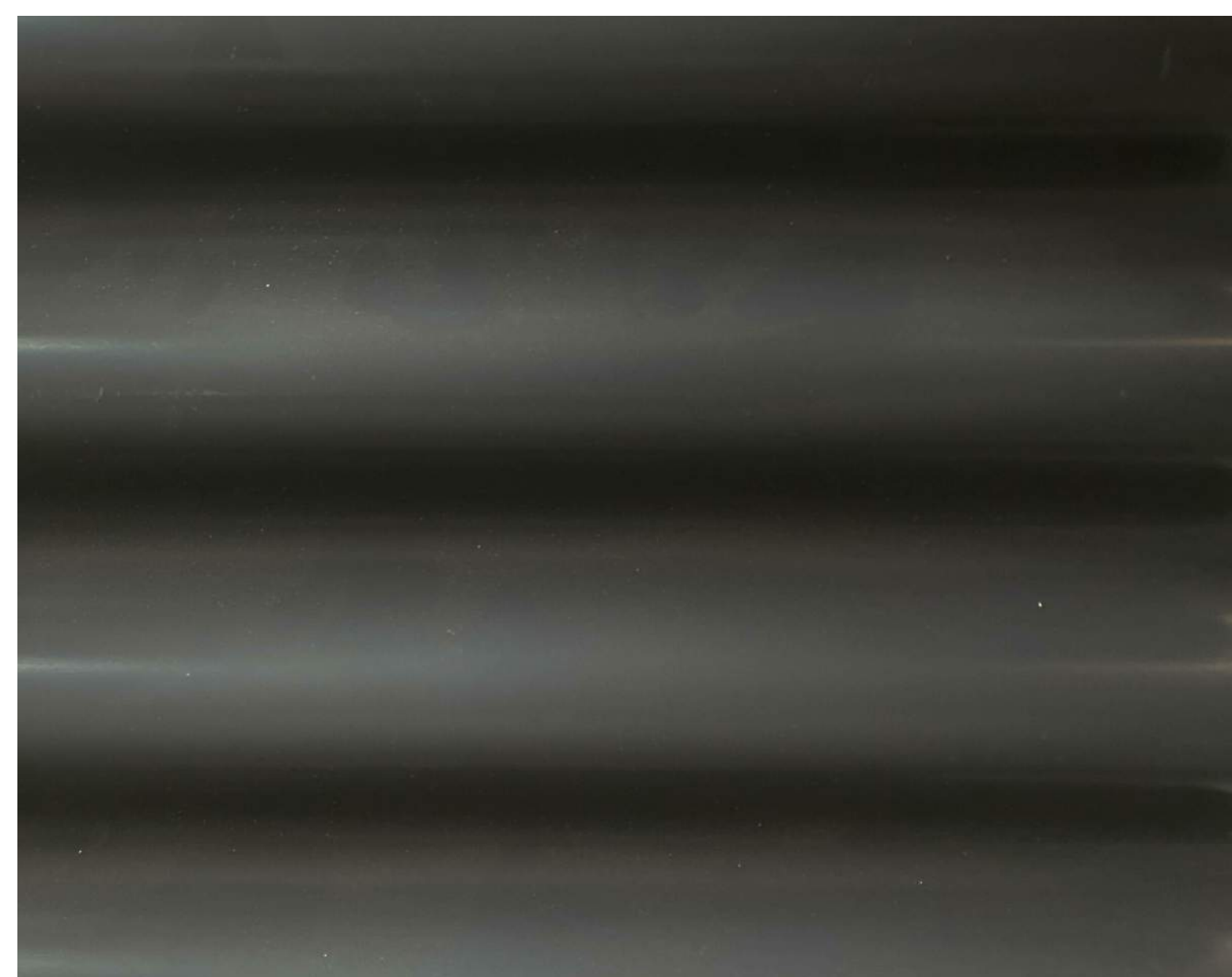
**A700**



BRICK 1 – PRIMARY BRICK  
EMPEROR SIZE (2.25" X 15 5/8")

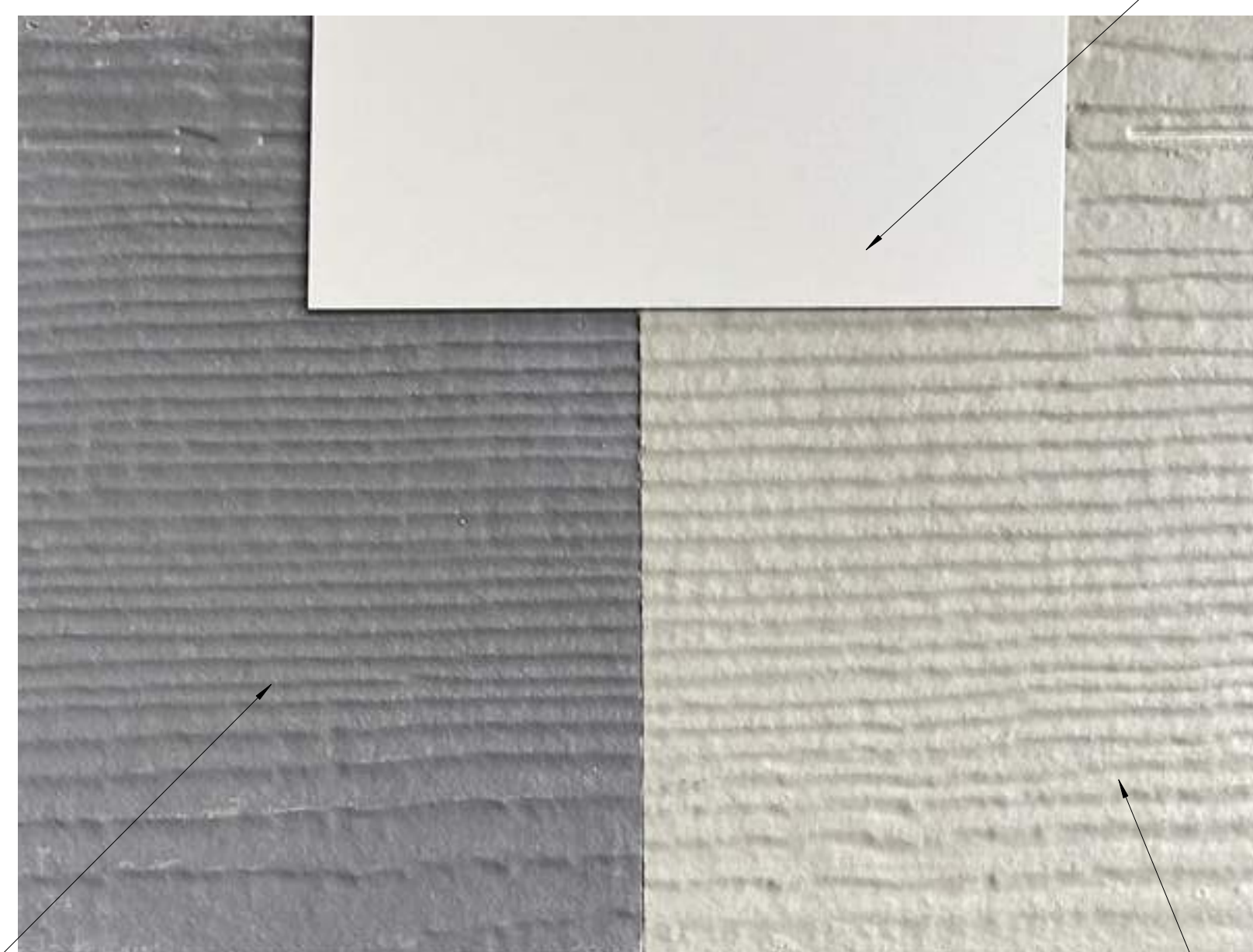


BRICK 2 – BASE BRICK  
EMPEROR SIZE (3 9/16" X 15 5/8")



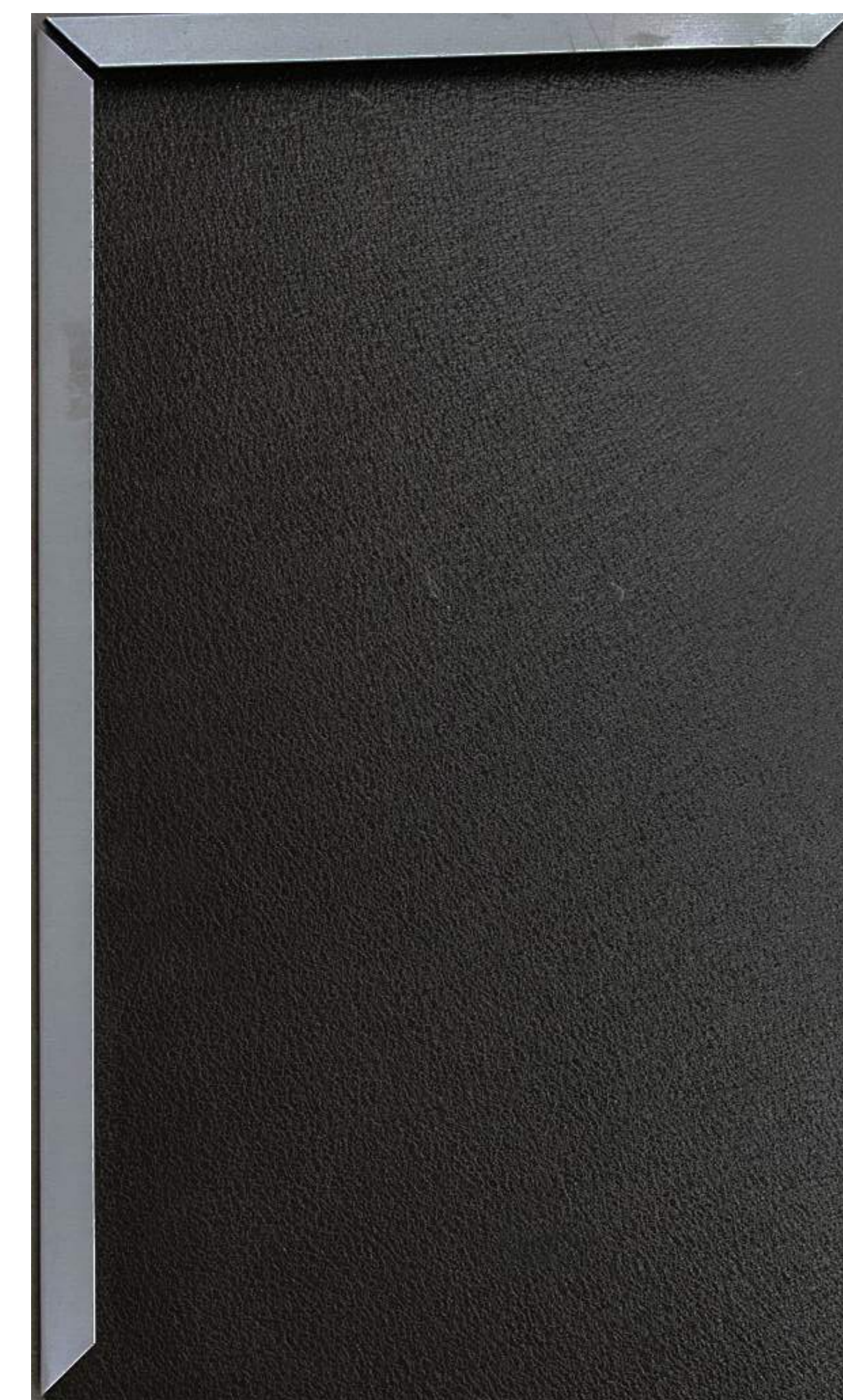
MATTE FINISH – BLACK  
CORRUGATED METAL  
PANELS

LIGHT GREY METAL  
PANEL TRIM

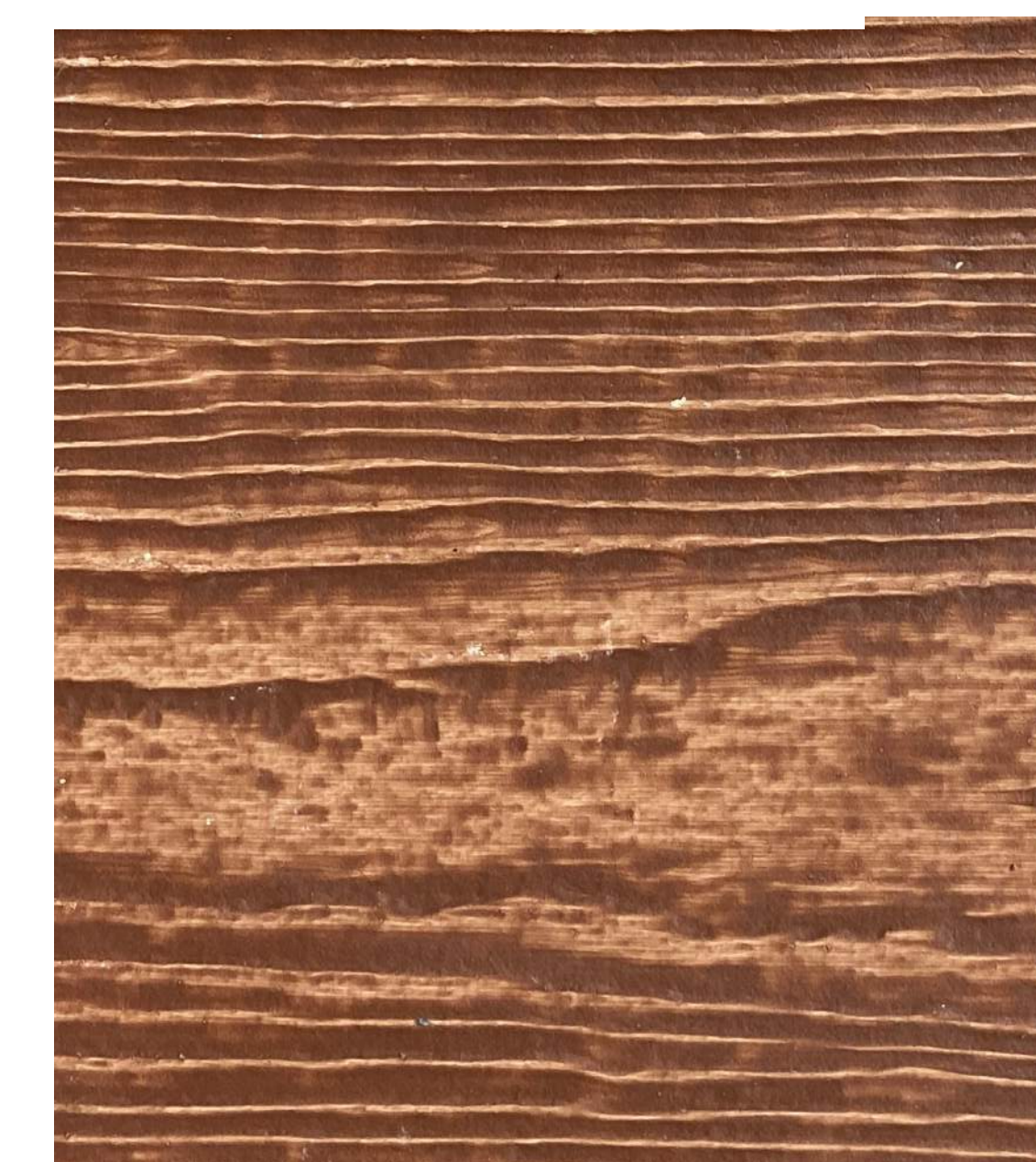


FIBER CEMENT PANEL –  
AGED PEWTER

FIBER CEMENT PANEL –  
MONTEREY TOUPE

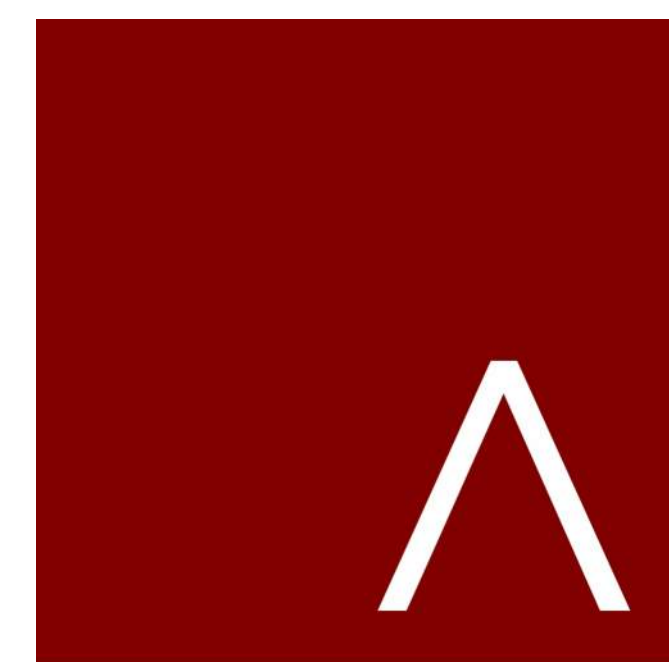


MATTE FINISH – BLACK  
INTERLOCKING FLAT  
METAL PANELS



FIBER CEMENT PANELS –  
MOUNTAIN CEDAR

\* APPEARANCE OF EXTERIOR MATERIALS IN FOLLOWING IMAGES  
MAY APPEAR INCONSISTENT DUE TO TRUE DAYLIGHT PARAMETERS.



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Mark	Description	Date

SHEET TITLE

EXTERIOR MATERIALS

SHEET NUMBER

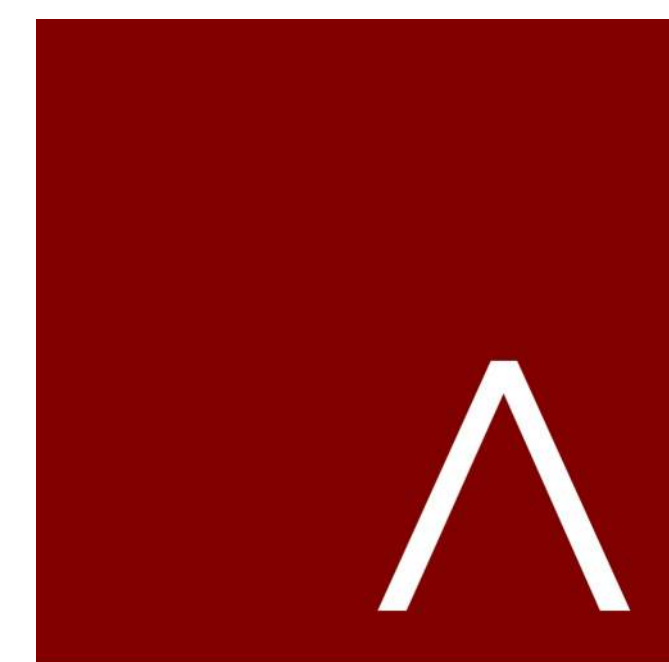
A200.0



PERSPECTIVE 1 – FROM SE



PERSPECTIVE 2 – FROM SW



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PERSPECTIVES**

SHEET NUMBER

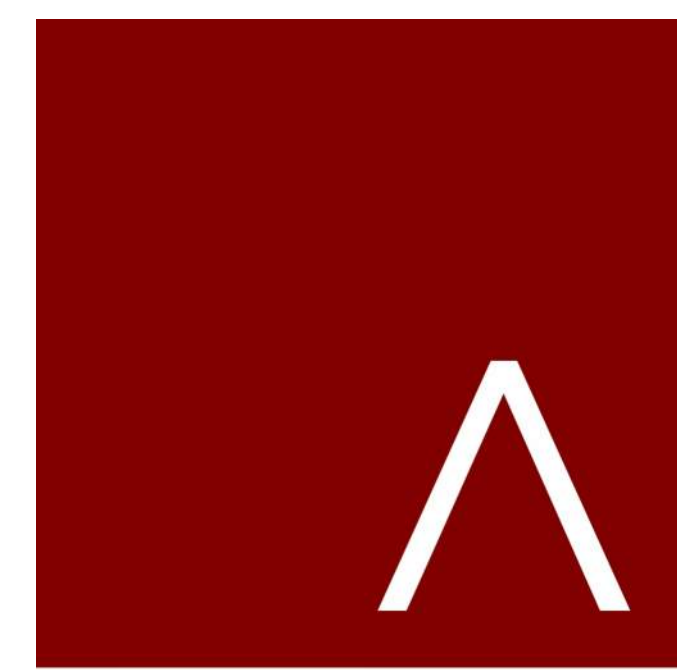
**A700**



PERSPECTIVE 3 - FROM NE



PERSPECTIVE 4 - FROM SE



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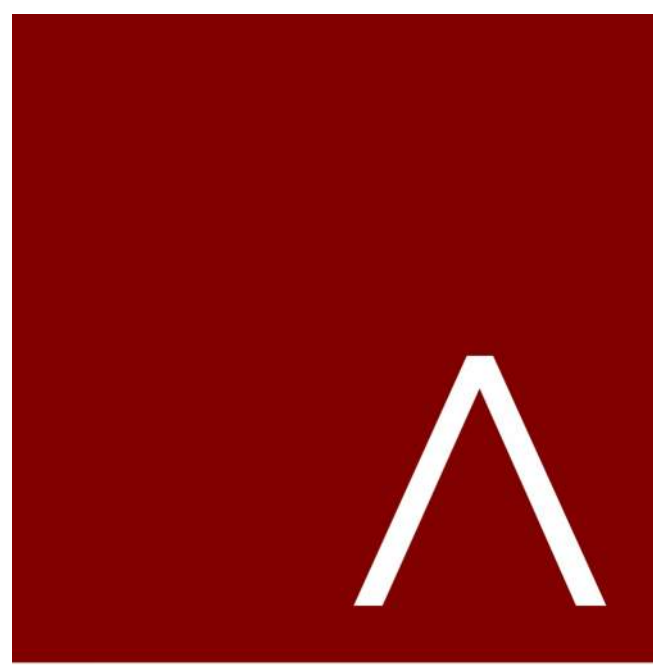
Mark	Description	Date

SHEET TITLE

BUILDING  
PERSPECTIVES

SHEET NUMBER

A701



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SHEET TITLE

BUILDING  
PERSPECTIVES

SHEET NUMBER

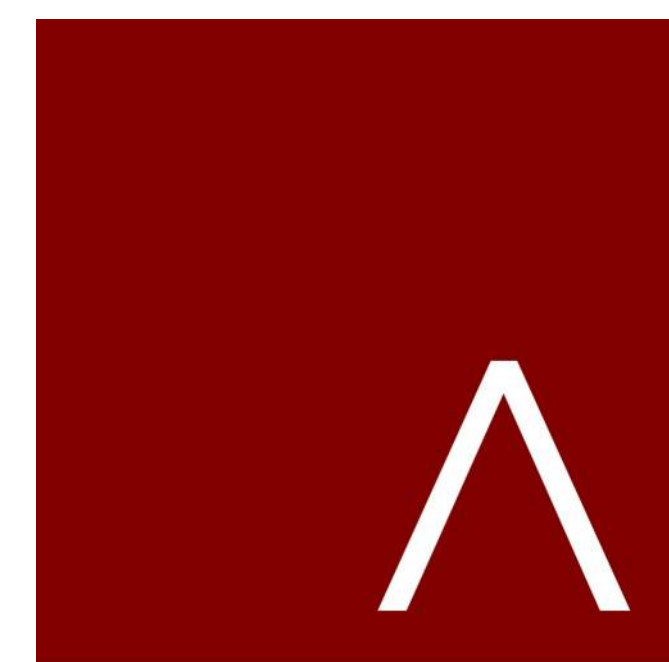
A700



PERSPECTIVE 5 – FROM NW



PERSPECTIVE 6 – FROM W



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Mark	Description	Date

SHEET TITLE

BUILDING  
PERSPECTIVES

SHEET NUMBER

A702

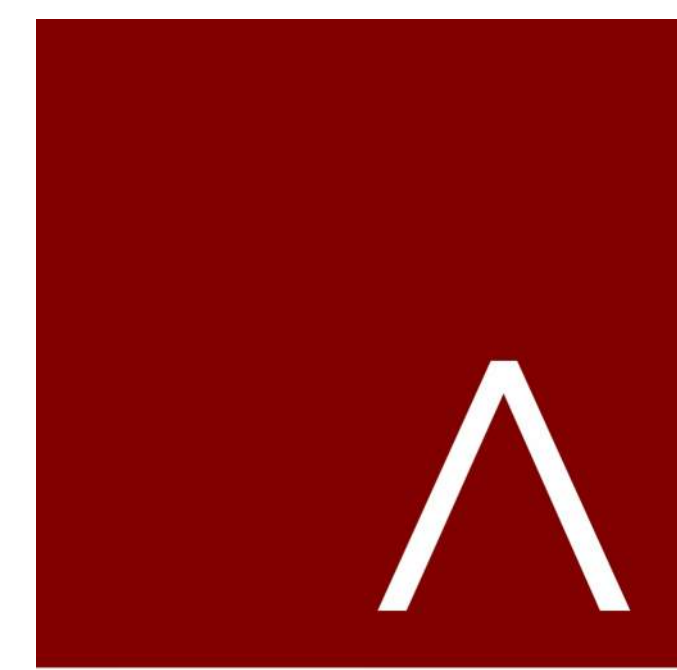




PERSPECTIVE 7 – FROM NE



PERSPECTIVE 8 – FROM SW



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SHEET TITLE

**BUILDING  
PERSPECTIVES**

SHEET NUMBER

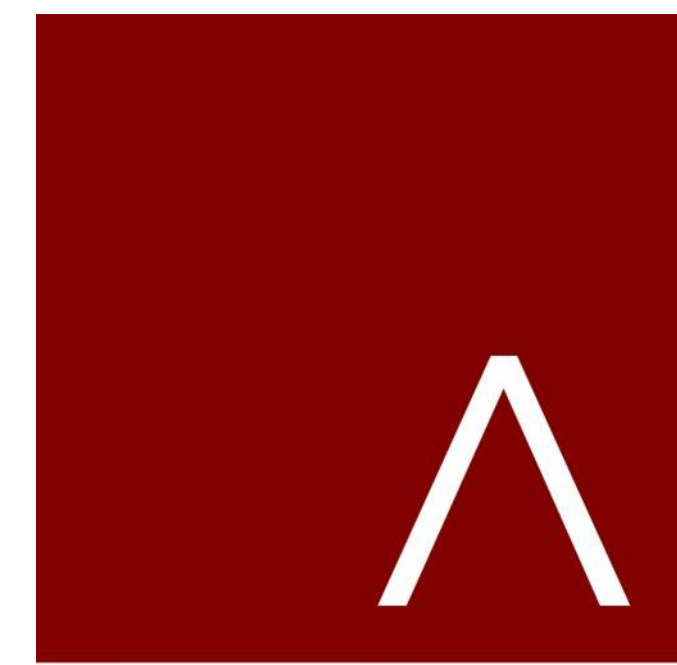
**A703**



PERSPECTIVE 9 – EYE LEVEL TOWNHOMES



PERSPECTIVE 10 – EYE LEVEL ALONG EAST WASHINGTON



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Mark	Description	Date

SHEET TITLE

**BUILDING  
PERSPECTIVES**

SHEET NUMBER

**A704**



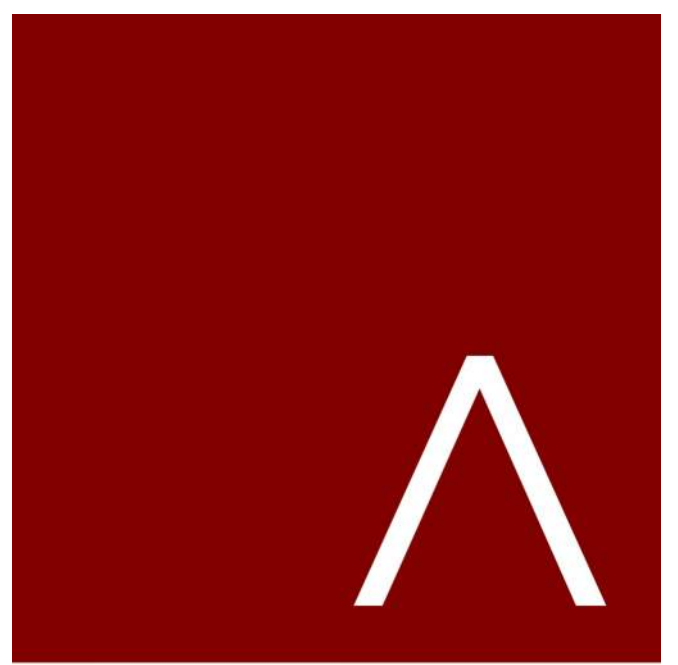
PERSPECTIVE 11 - FROM SOUTHWEST



PERSPECTIVE 12 - RESIDENTIAL AND PARKING ENTRY



PERSPECTIVE 13 - CLOSE UP AT CORNER OF E. WASHINGTON AND 1ST STREET



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SHEET TITLE

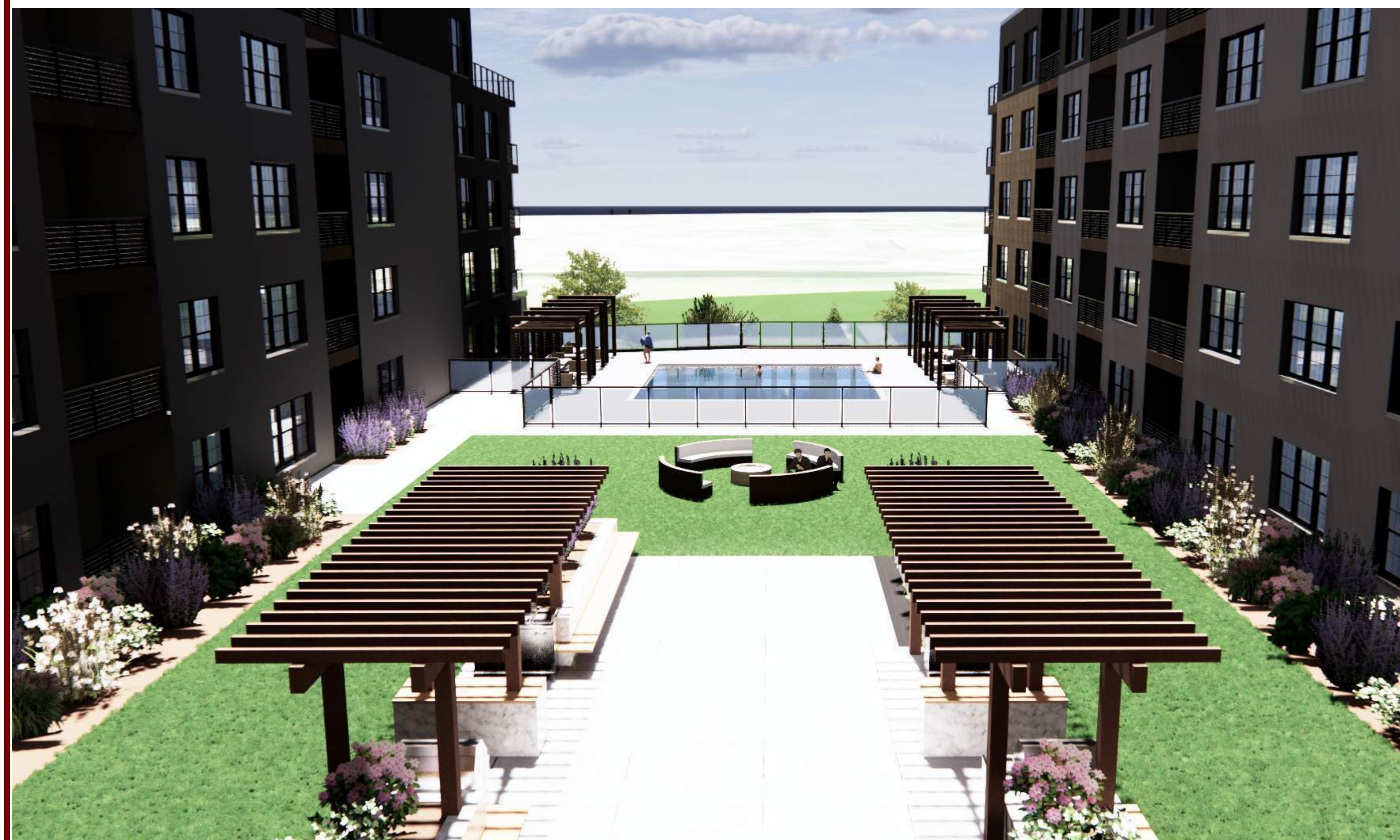
**BUILDING PERSPECTIVES**

SHEET NUMBER

**A705**



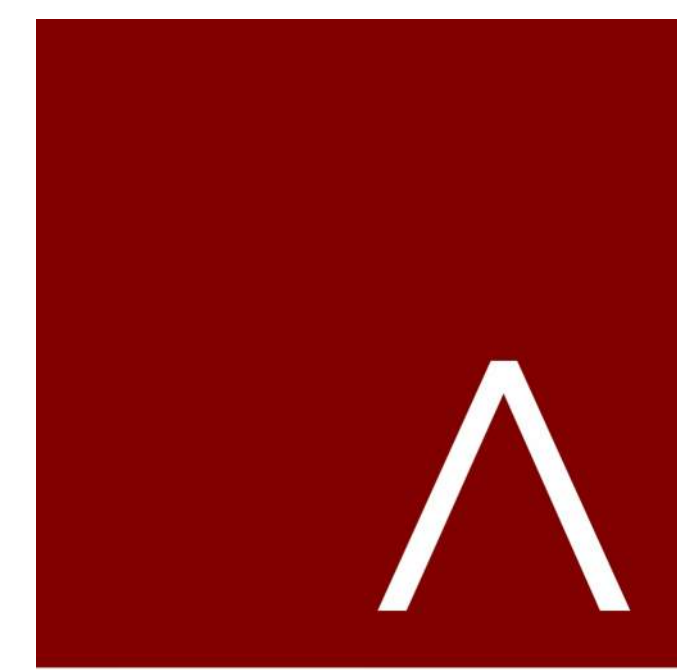
PERSPECTIVE 14 – TOWNHOMES FROM NORTH



PERSPECTIVE 15 – NORTH COURTYARD



PERSPECTIVE 16 – NORTH ACCESS ROAD



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Mark	Description	Date

SHEET TITLE  
**BUILDING  
PERSPECTIVES**

SHEET NUMBER  
**A706**

9 AM

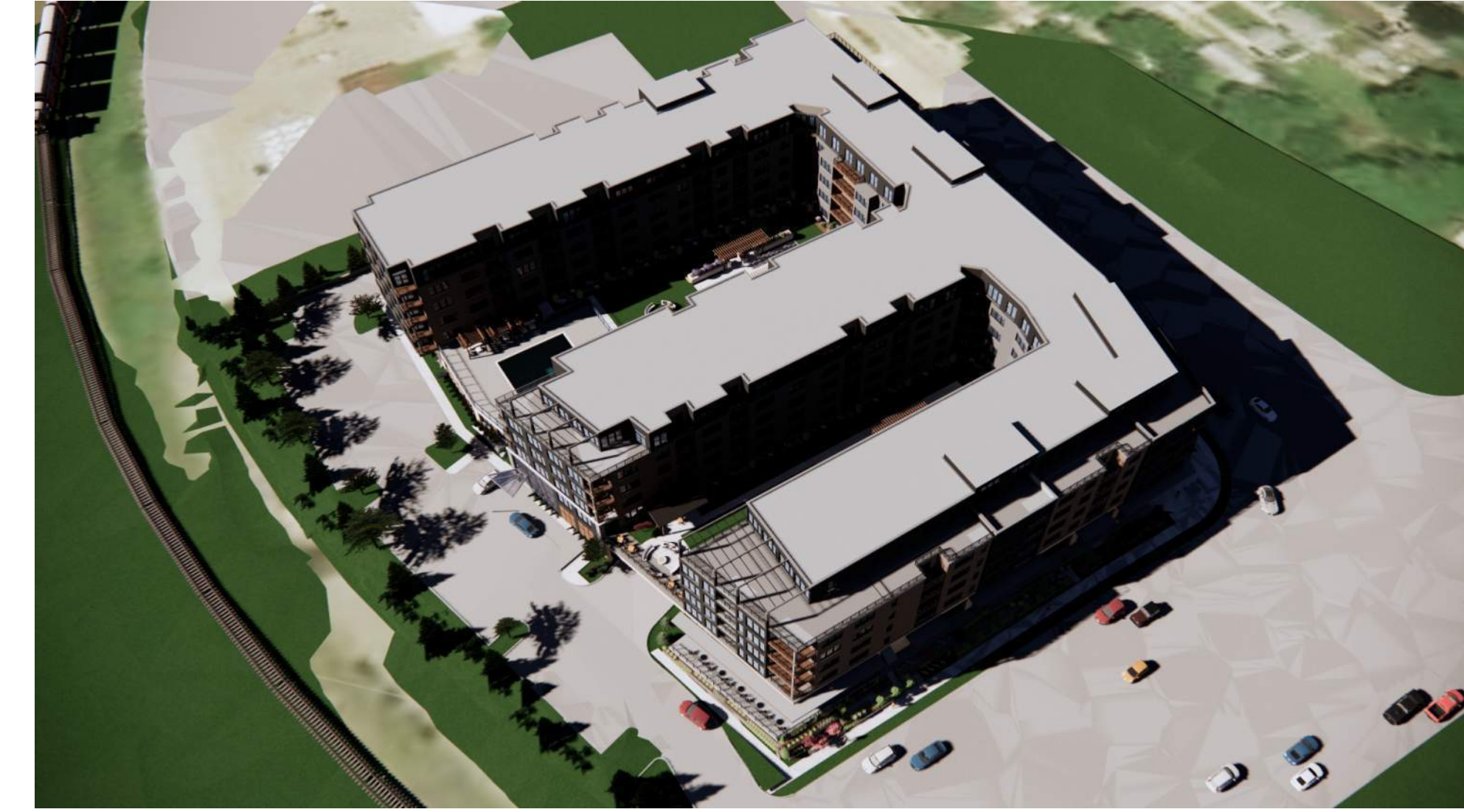
SPRING EQUINOX



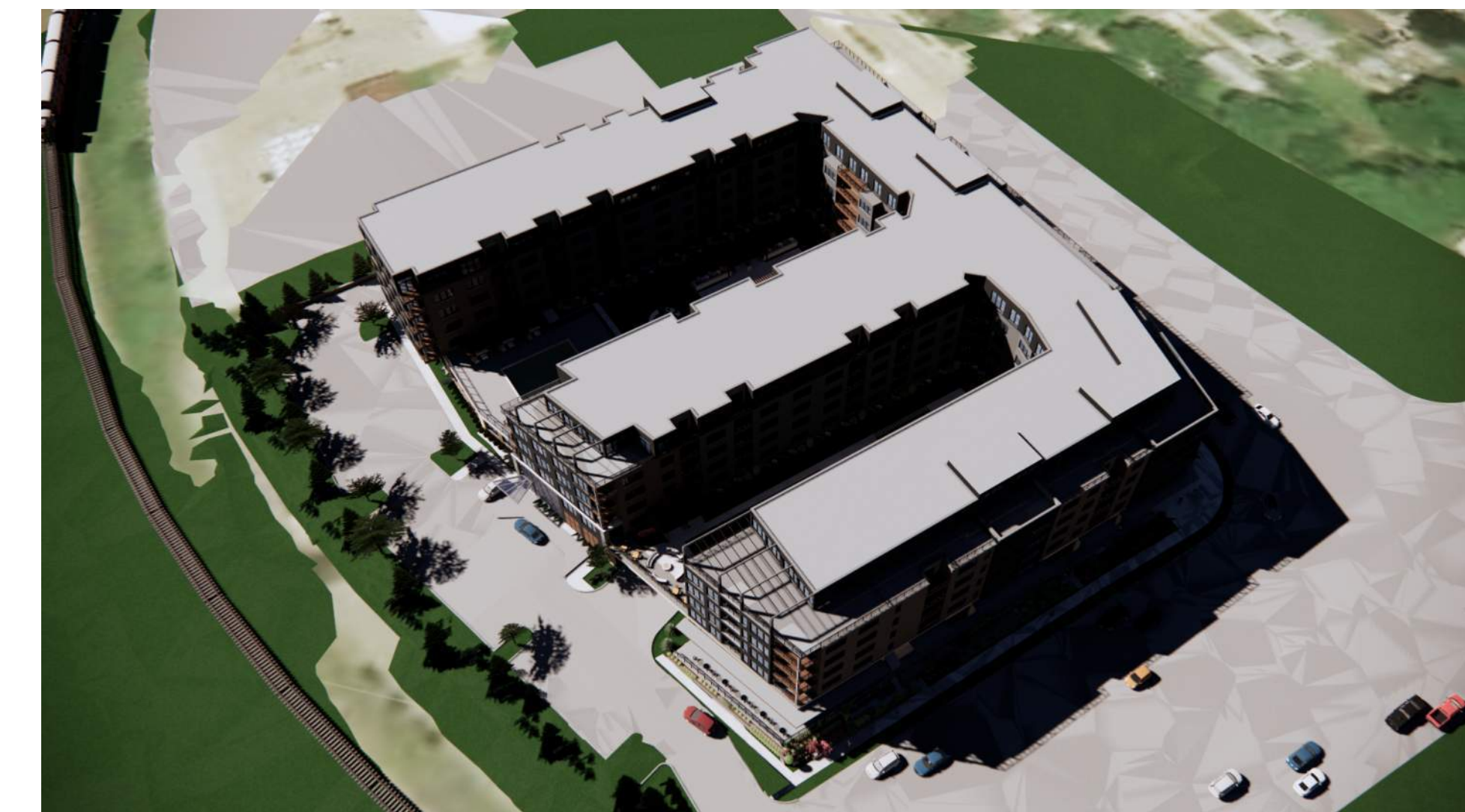
NOON



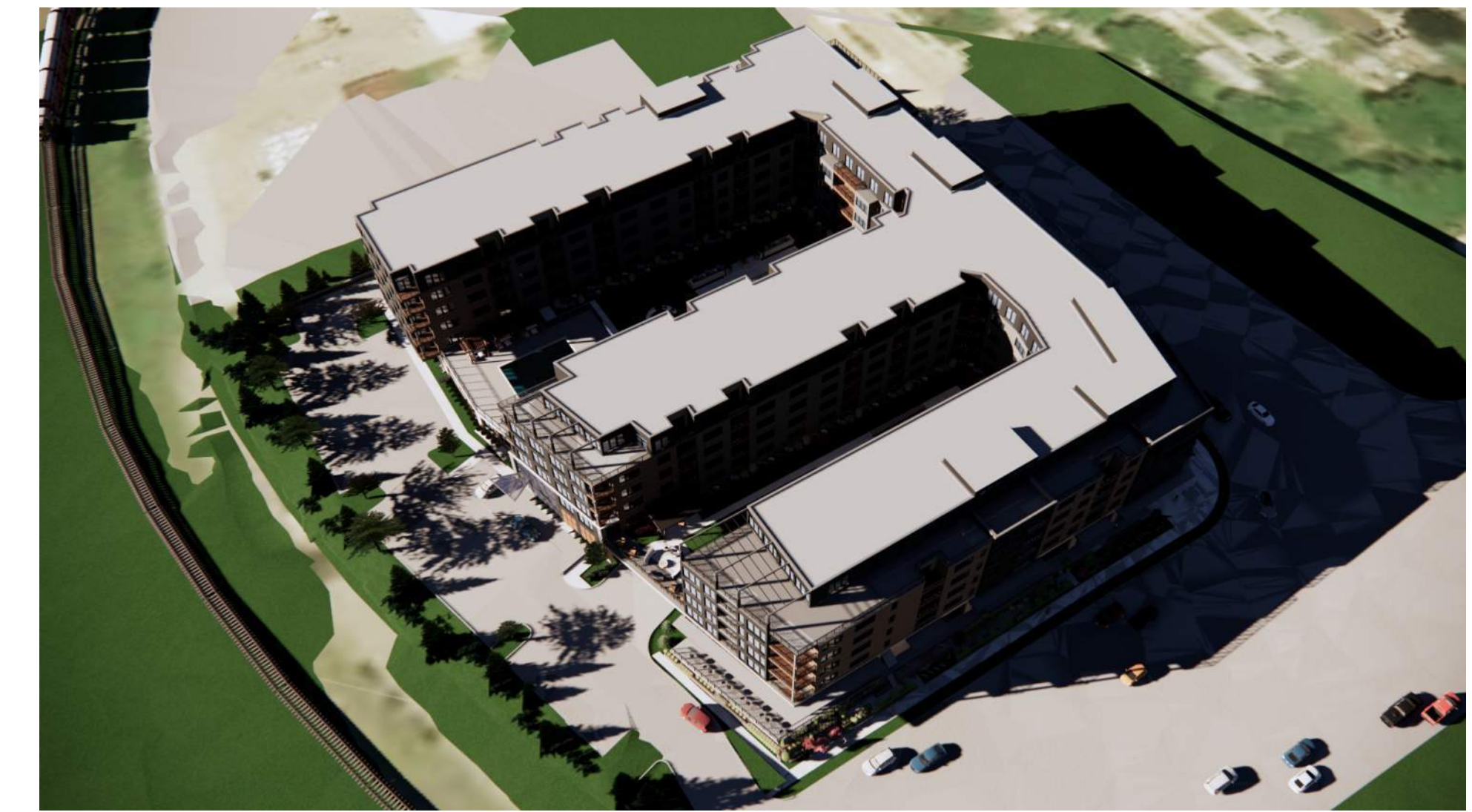
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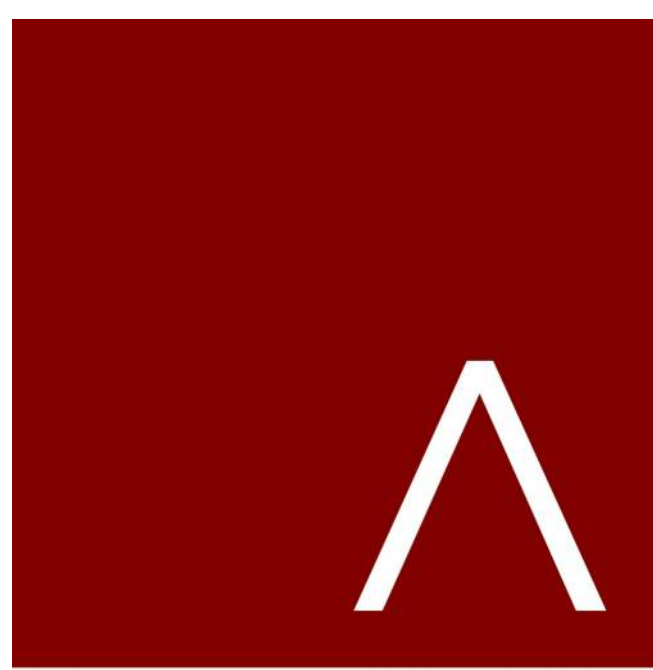
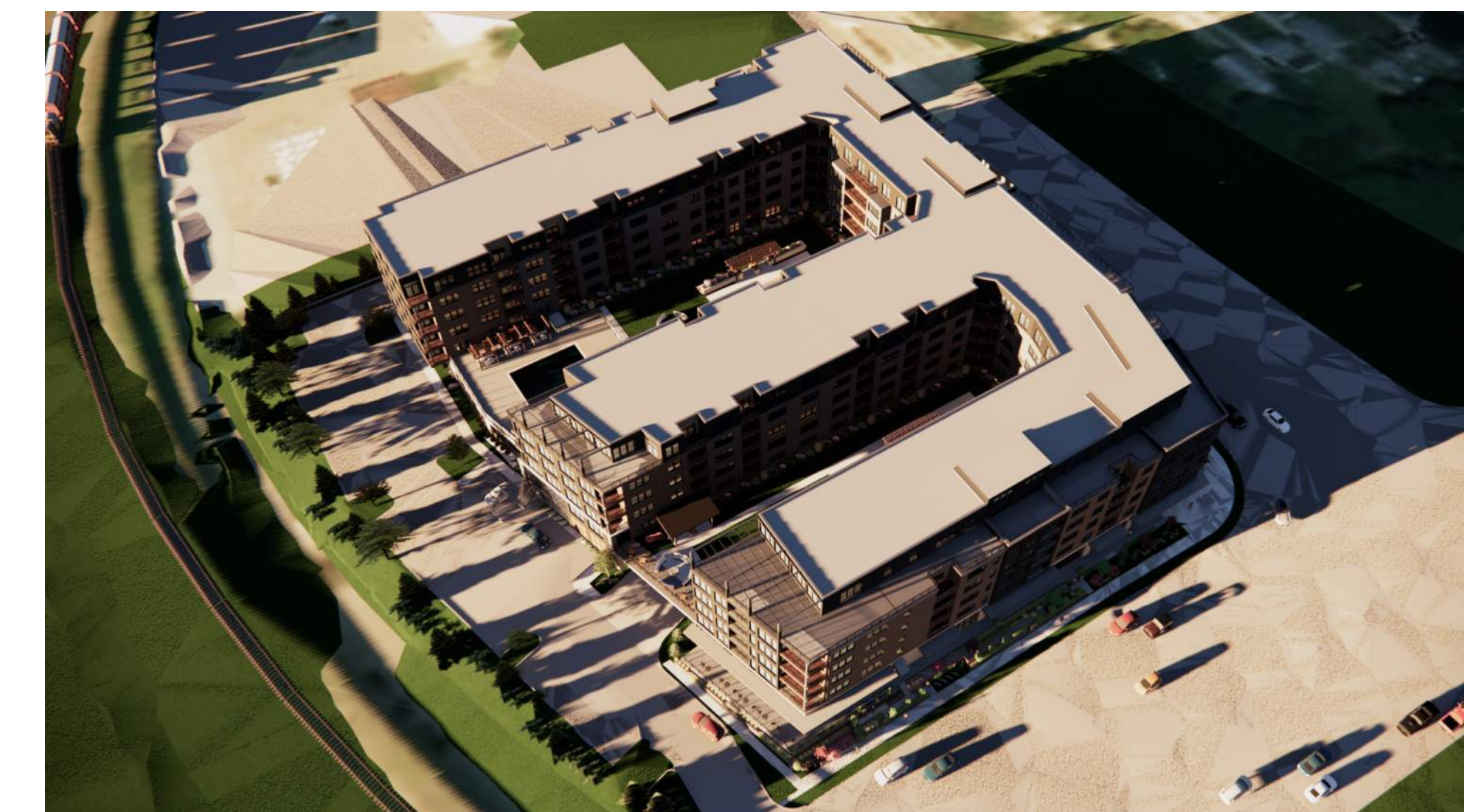
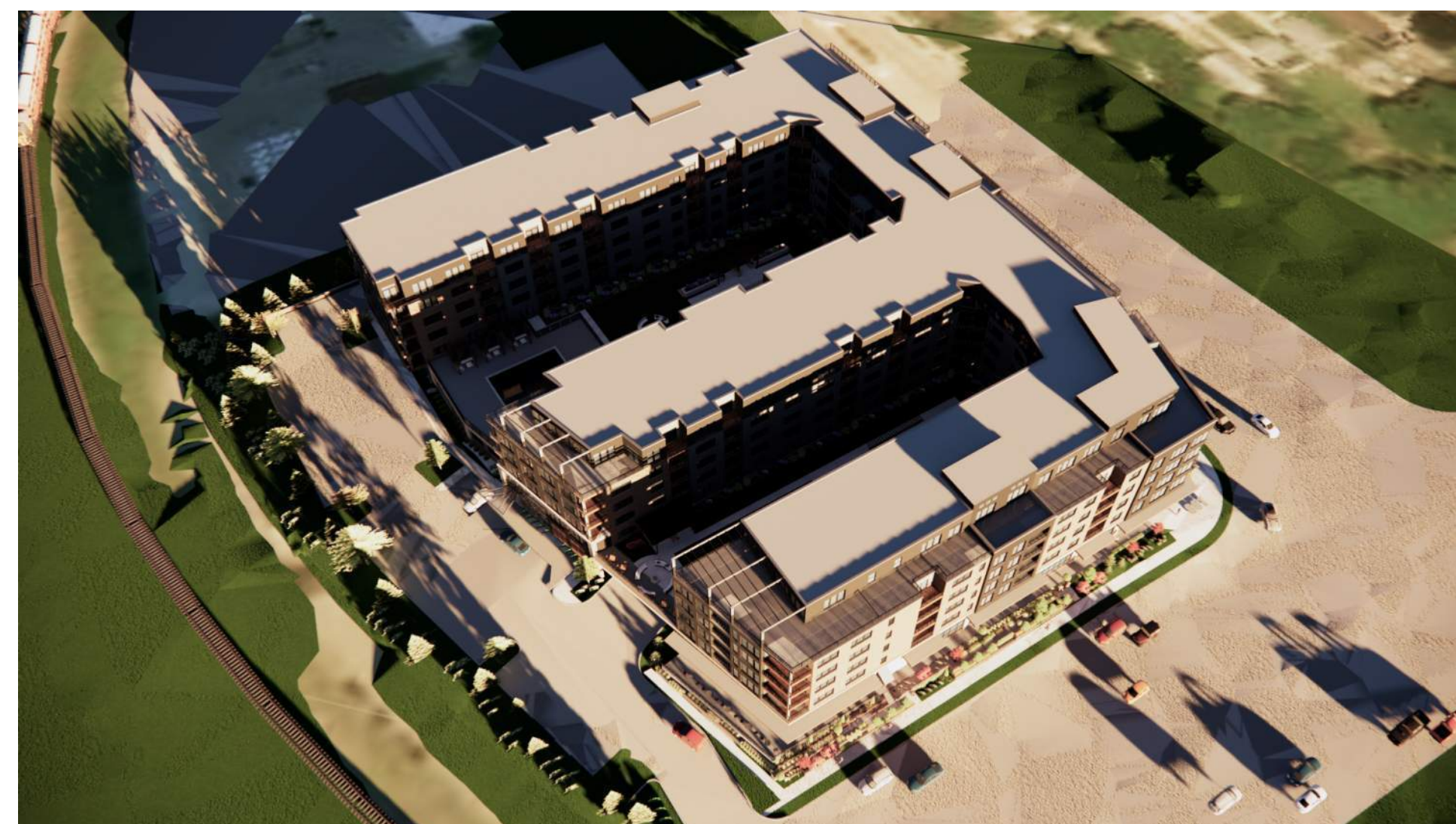
SUMMER SOLSTICE



AUTUMN EQUINOX



WINTER SOLSTICE



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Mark	Description	Date

SHEET TITLE

SOLAR SHADE  
ANALYSIS

SHEET NUMBER

A707

MATTE FINISH BLACK INTERLOCKING FLAT METAL PANELS

PRECAST TRIM

BRICK 2

HORIZONTAL CABLE RAILING DARK GREY FINISH

MATTE FINISH BLACK CORRUGATED METAL PANEL

FIBER CEMENT PANEL - MONTEREY TOUPE

BRICK 1

FIBER CEMENT - MOUNTAIN CEDAR



2 EAST ELEVATION - IMAGE  
3/32" = 1'-0"

MATTE FINISH BLACK CORRUGATED METAL PANEL

FIBER CEMENT PANEL - MONTEREY TOUPE

MATTE FINISH BLACK INTERLOCKING FLAT METAL PANELS



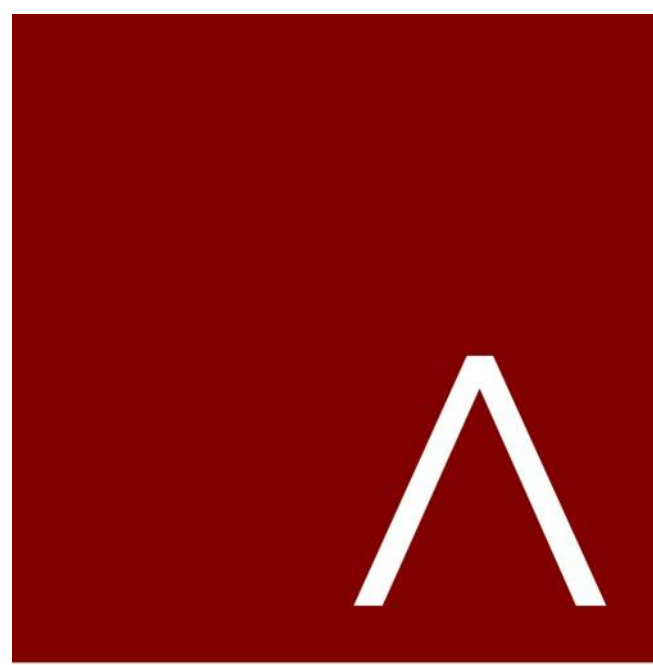
BRICK 1

PRECAST TRIM

BRICK 2

FIBER CEMENT - MOUNTAIN CEDAR

1 SOUTH ELEVATION - IMAGE  
3/32" = 1'-0"



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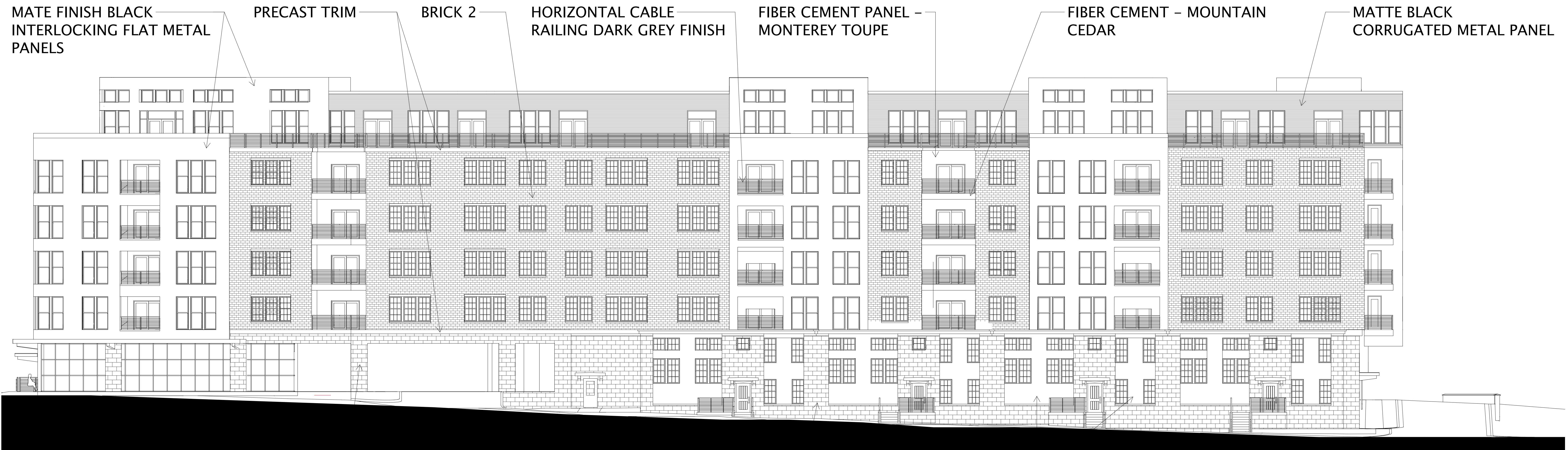
DATE OF ISSUANCE: MAY 19, 2021

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE  
**EXTERIOR ELEVATIONS - PERIMETER**

SHEET NUMBER  
**A200.1**



1 EAST ELEVATION - BW  
3/32" = 1'-0"

BRICK 1

BRICK 1

MATE FINISH BLACK  
INTERLOCKING FLAT METAL  
PANELS

MATTE BLACK  
CORRUGATED METAL PANEL

FIBER CEMENT - MOUNTAIN  
CEDAR

FIBER CEMENT PANEL -  
MONTEREY TOUPE

MATE FINISH BLACK  
INTERLOCKING FLAT METAL  
PANELS

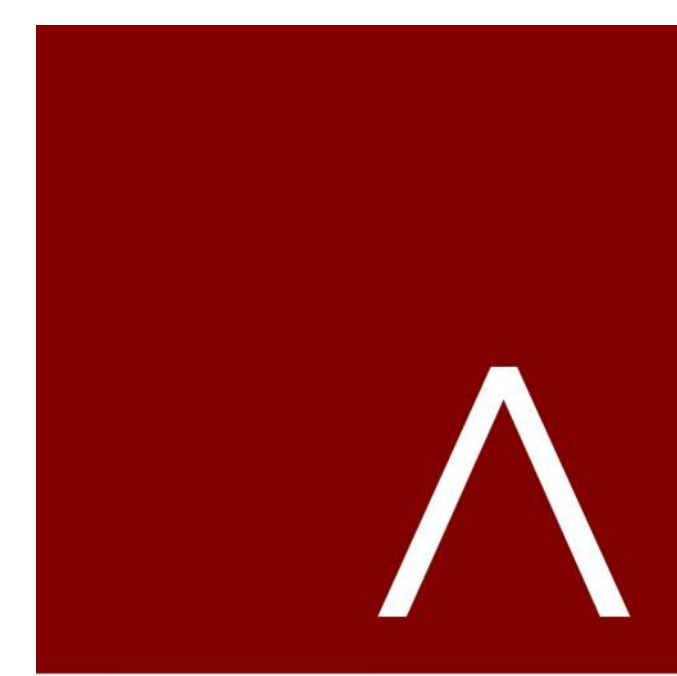


BRICK 2

PRECAST TRIM

BRICK 1

2 SOUTH ELEVATION - BW  
3/32" = 1'-0"



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Mark	Description	Date

SHEET TITLE  
**EXTERIOR  
ELEVATIONS - BLACK  
& WHITE**

SHEET NUMBER  
**A200.2**

MATTE FINISH BLACK INTERLOCKING FLAT METAL PANELS

PRECAST TRIM

BRICK 1

DECORATIVE CURTAIN WALL AT DOUBLE HEIGHT ENTRY LOBBY

HORIZONTAL CABLE RAILING DARK GREY FINISH

MATTE FINISH BLACK CORRUGATED METAL PANEL

FIBER CEMENT - MOUNTAIN CEDAR



①

GLASS RAILING AT POOL PERIMETER

BRICK 2

FIBER CEMENT PANEL - AGED PEWTER

② WEST ELEVATION - IMAGE  
3/32" = 1'-0"

MATTE FINISH BLACK CORRUGATED METAL PANEL

FIBER CEMENT - MOUNTAIN CEDAR

MATTE FINISH BLACK INTERLOCKING FLAT METAL PANELS

FIBER CEMENT PANEL - MONTEREY TOUPE  
FIBER CEMENT PANEL - AGED PEWTER

MATTE FINISH BLACK CORRUGATED METAL PANEL

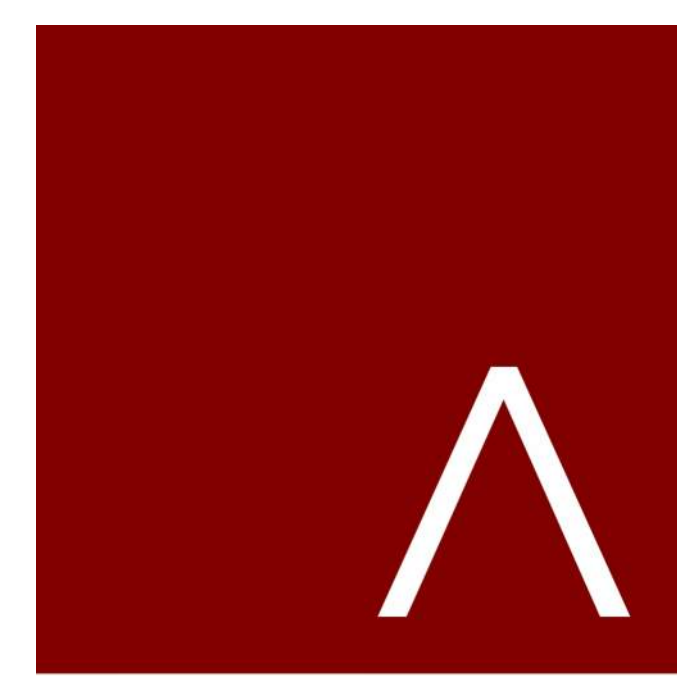


PRECAST TRIM

BRICK 1

CLIMBING LANDSCAPE TRELLIS

① NORTH ELEVATION - IMAGE  
3/32" = 1'-0"



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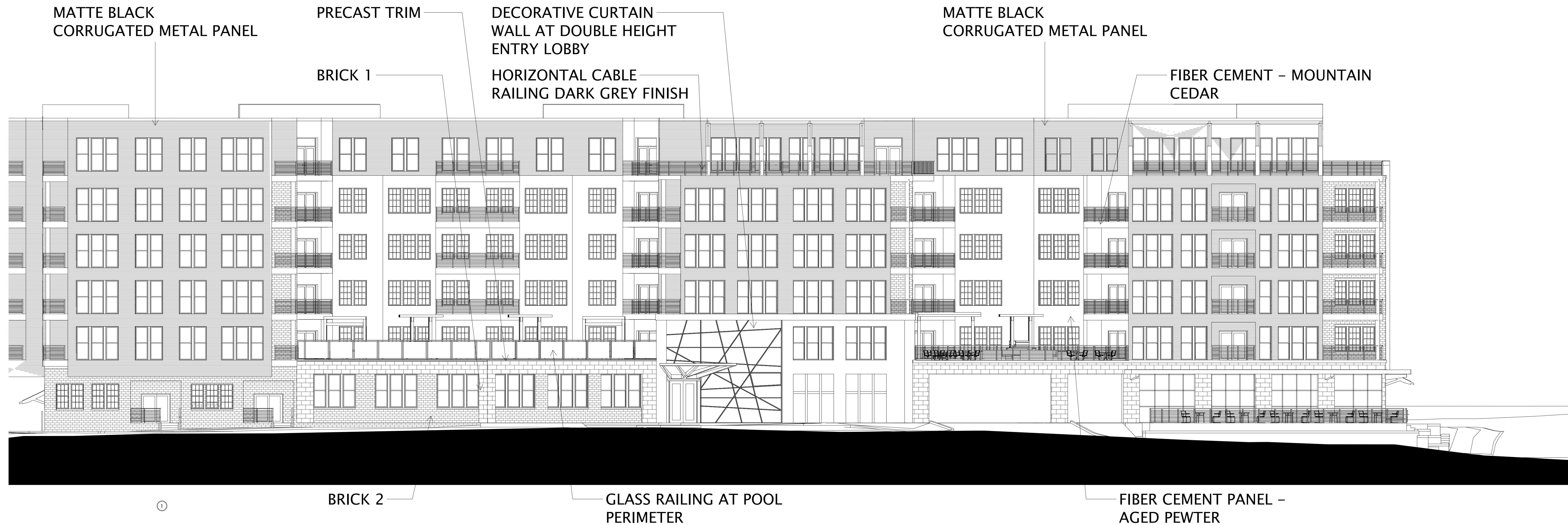
SHEET TITLE

EXTERIOR ELEVATIONS - PERIMETER

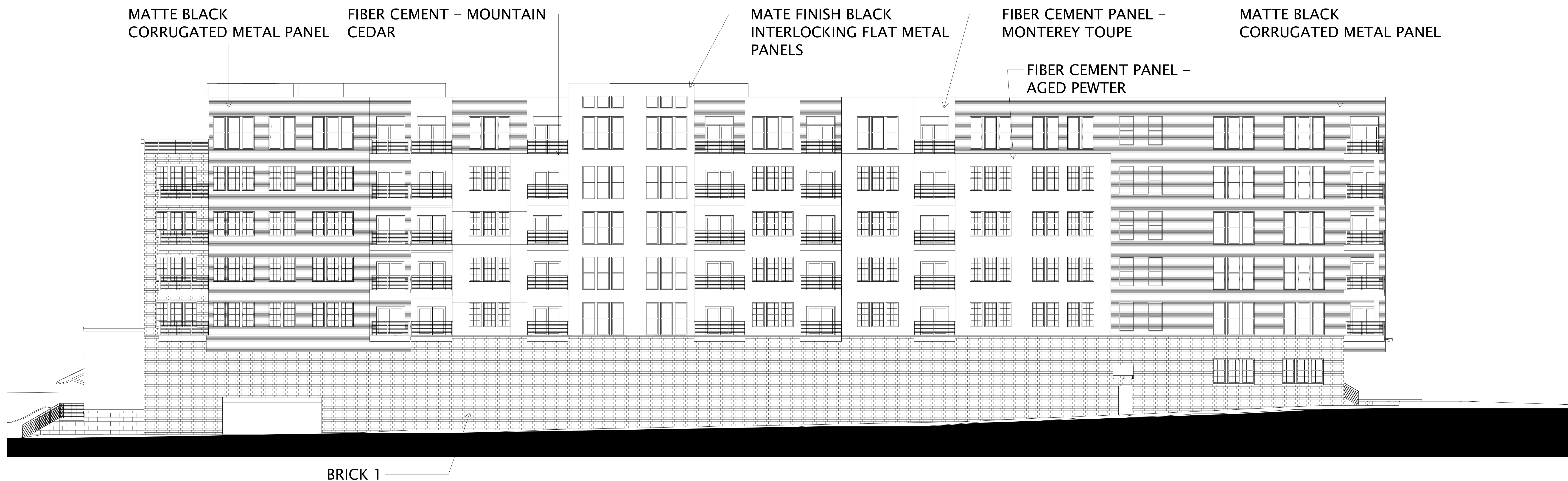
SHEET NUMBER

A201.1

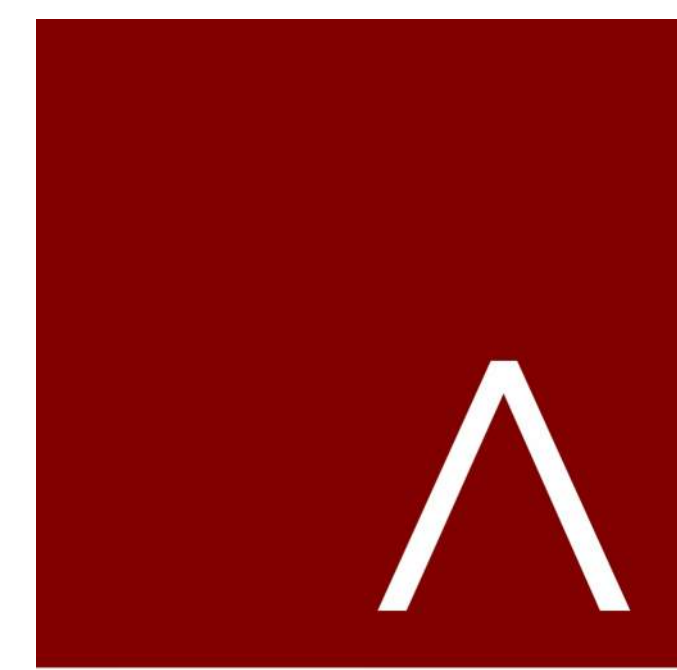




① WEST ELEVATION - BW  
3/32" = 1'-0"



② NORTH ELEVATION - BW  
3/32" = 1'-0"



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REVISION SCHEDULE

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SHEET TITLE  
**EXTERIOR  
ELEVATIONS - BLACK  
& WHITE**

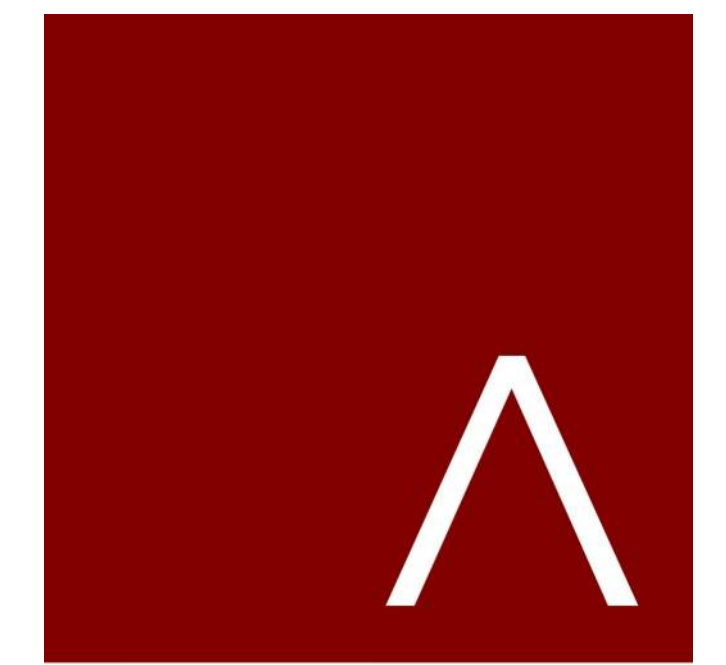
SHEET NUMBER  
**A201.2**



1 NORTH COURTYARD - NORTH ELEVATION  
3/32" = 1'-0"



2 NORTH COURTYARD - SOUTH ELEVATION  
3/32" = 1'-0"



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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

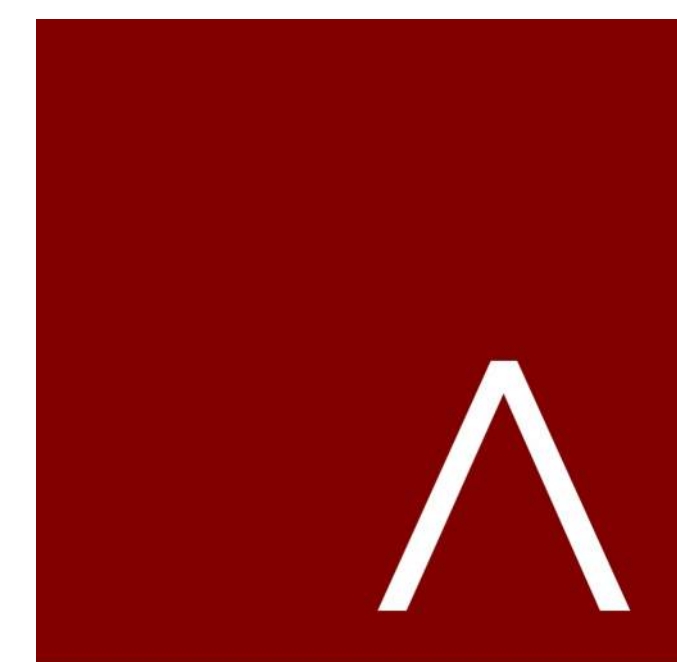
**PROGRESS DOCUMENTS**  
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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**EXTERIOR ELEVATIONS - NORTH COURTYARD**

SHEET NUMBER  
**A202.1**



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**PROGRESS DOCUMENTS**

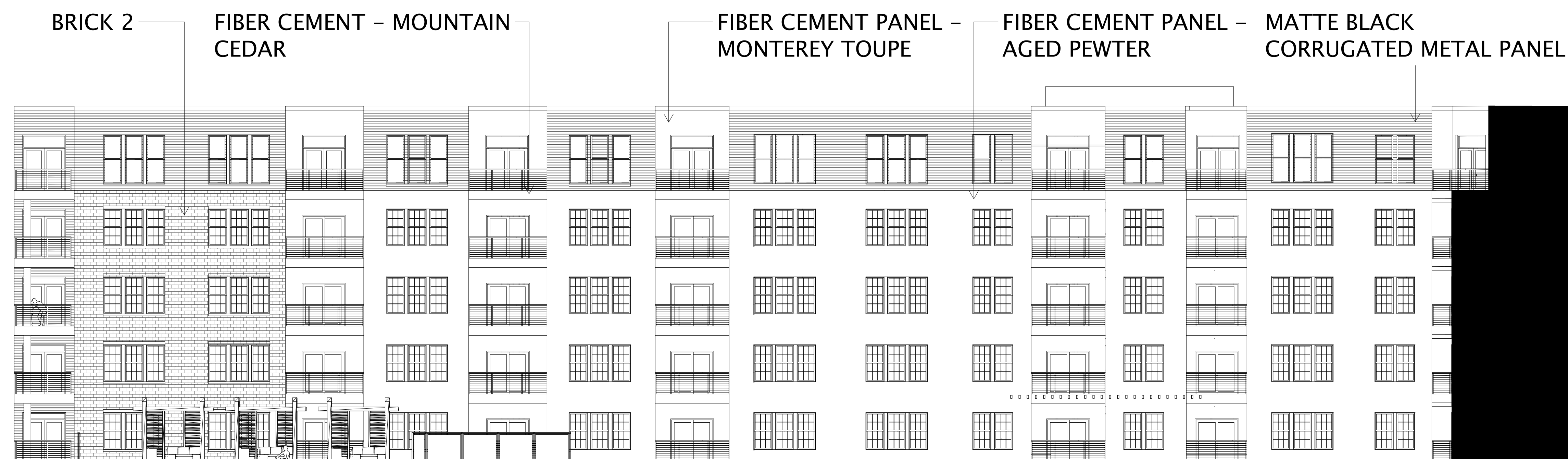
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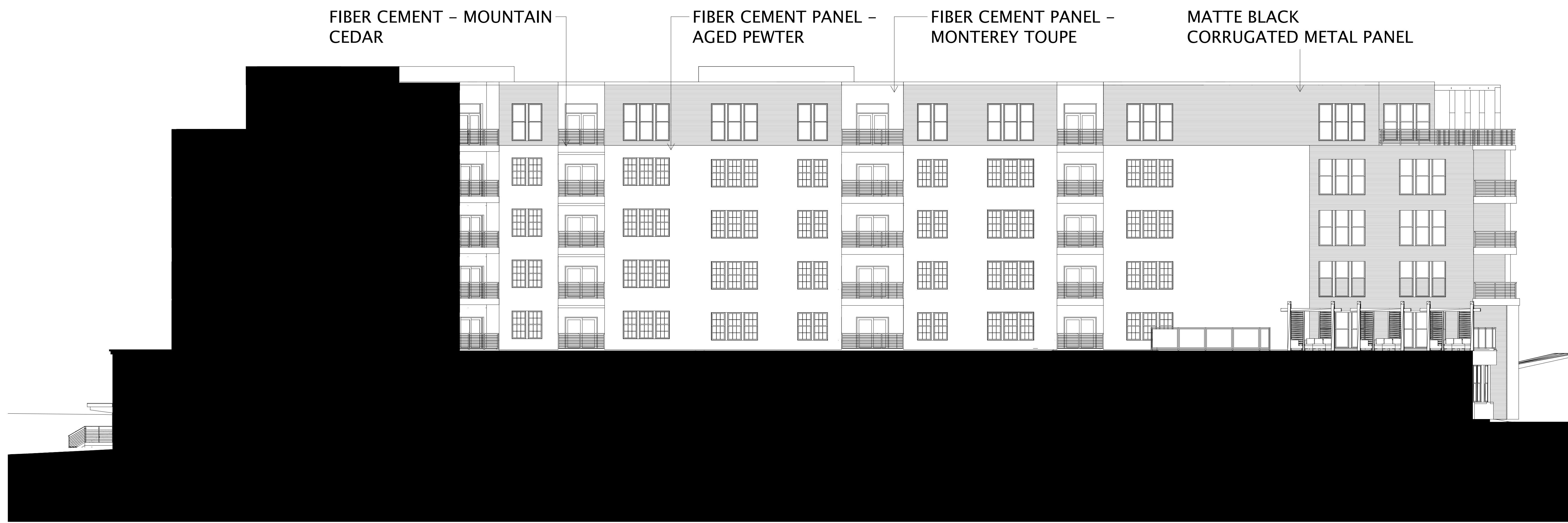
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**EXTERIOR  
ELEVATIONS - BLACK  
& WHITE**

SHEET NUMBER  
**A202.2**



① NORTH COURTYARD - NORTH ELEVATION - BW  
3/32" = 1'-0"



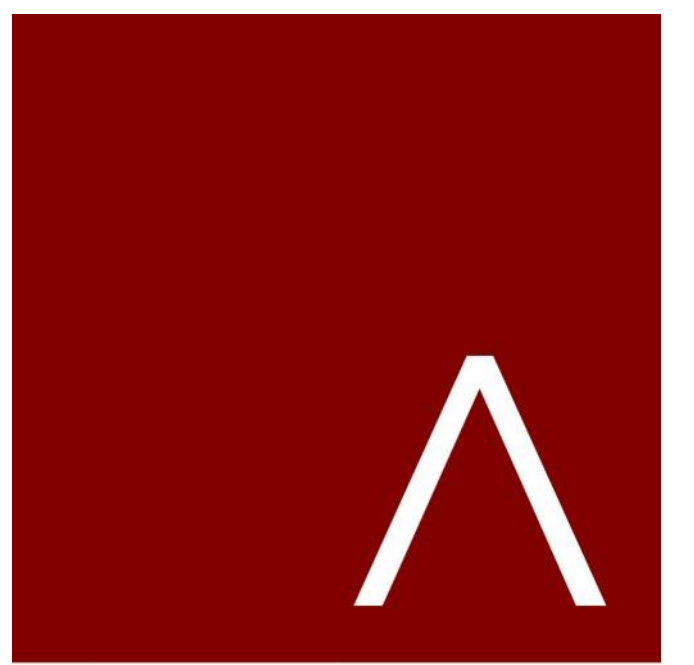
② NORTH COURTYARD - SOUTH ELEVATION - BW  
3/32" = 1'-0"



① SOUTH COURTYARD - NORTH ELEVATION  
3/32" = 1'-0"



② SOUTH COURTYARD - SOUTH ELEVATION  
3/32" = 1'-0"



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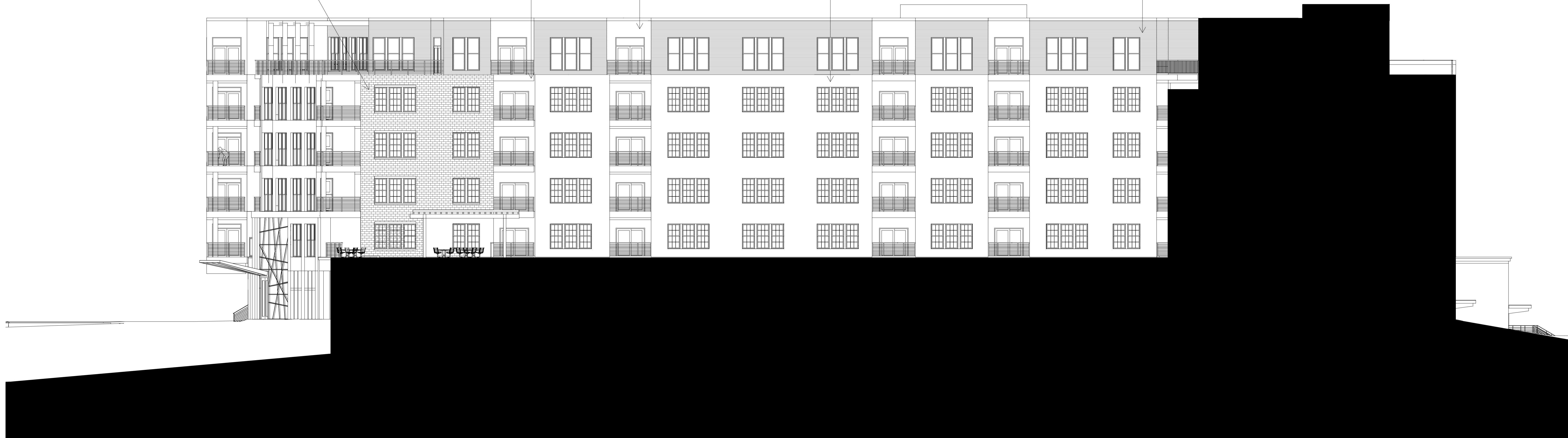
SHEET TITLE

EXTERIOR  
ELEVATIONS - SOUTH  
COURTYARD

SHEET NUMBER

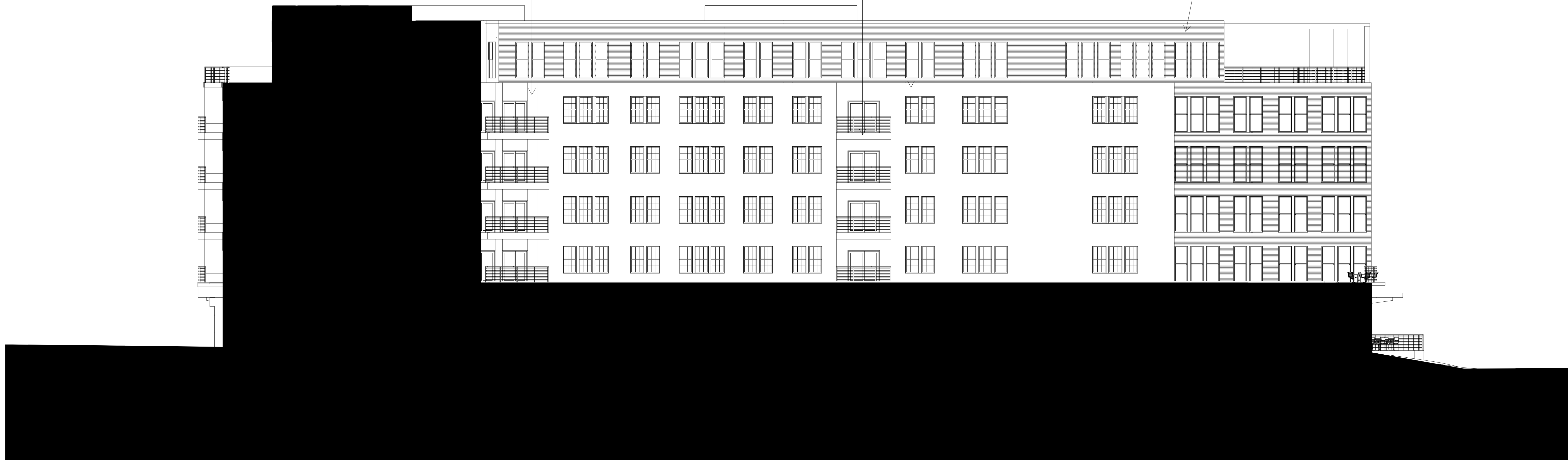
A203.1

BRICK 2 FIBER CEMENT - MOUNTAIN CEDAR FIBER CEMENT PANEL - MONTEREY TOUPE FIBER CEMENT PANEL - AGED PEWTER MATTE BLACK CORRUGATED METAL PANEL

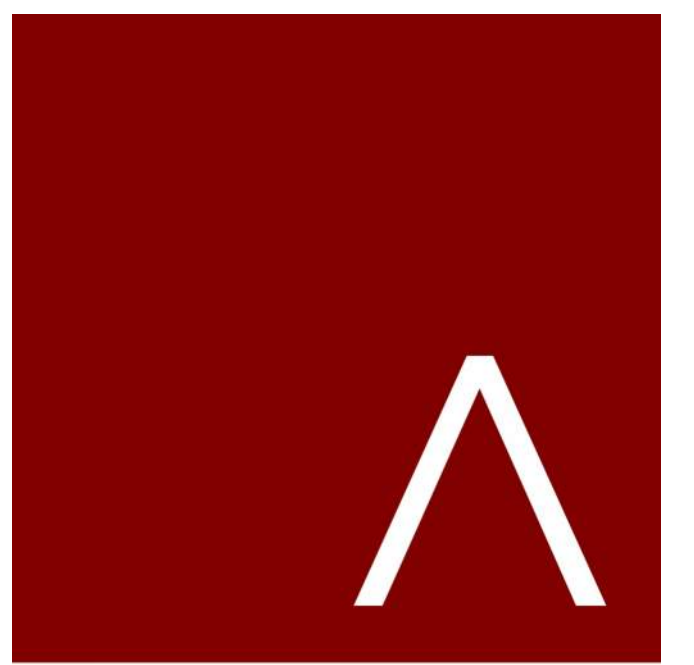


1 SOUTH COURTYARD - NORTH ELEVATION - BW  
3/32" = 1'-0"

FIBER CEMENT PANEL - MONTEREY TOUPE FIBER CEMENT - MOUNTAIN CEDAR FIBER CEMENT PANEL - AGED PEWTER MATTE BLACK CORRUGATED METAL PANEL



2 SOUTH COURTYARD - SOUTH ELEVATION - BW  
3/32" = 1'-0"



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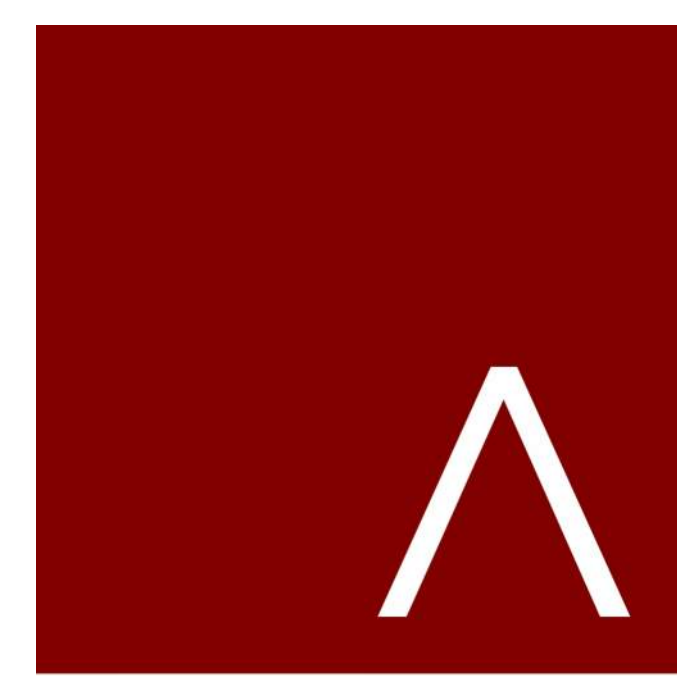
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS - BLACK & WHITE

SHEET NUMBER

A203.2



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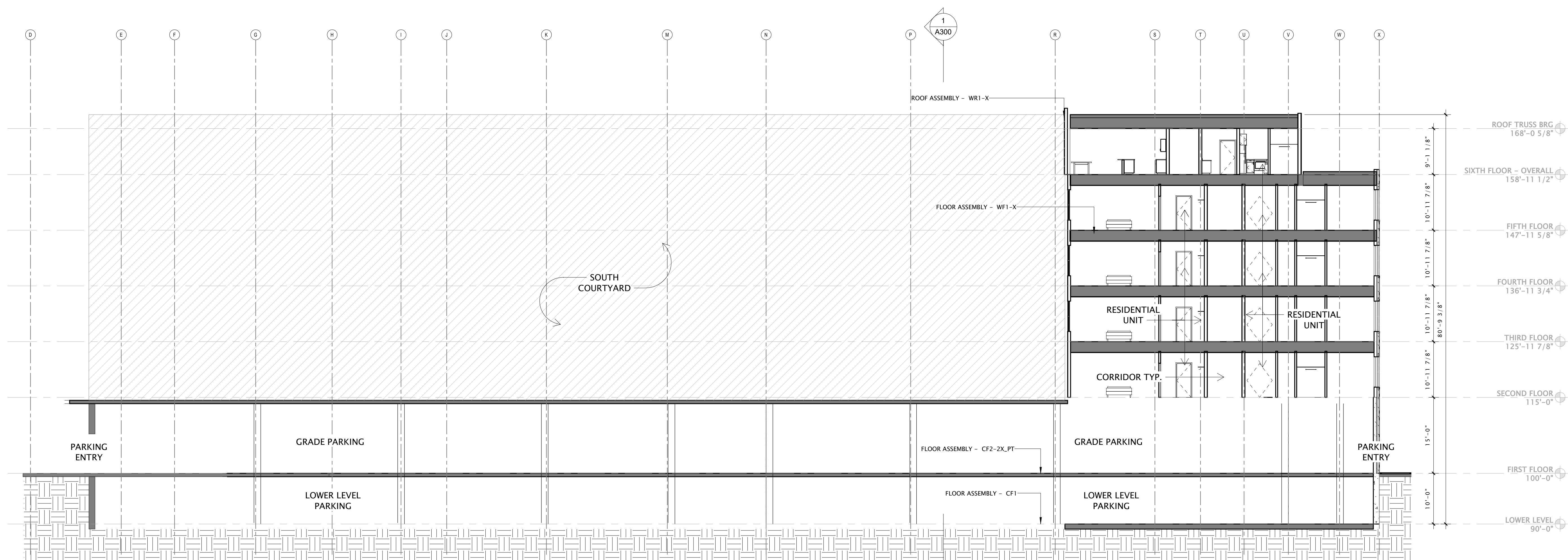
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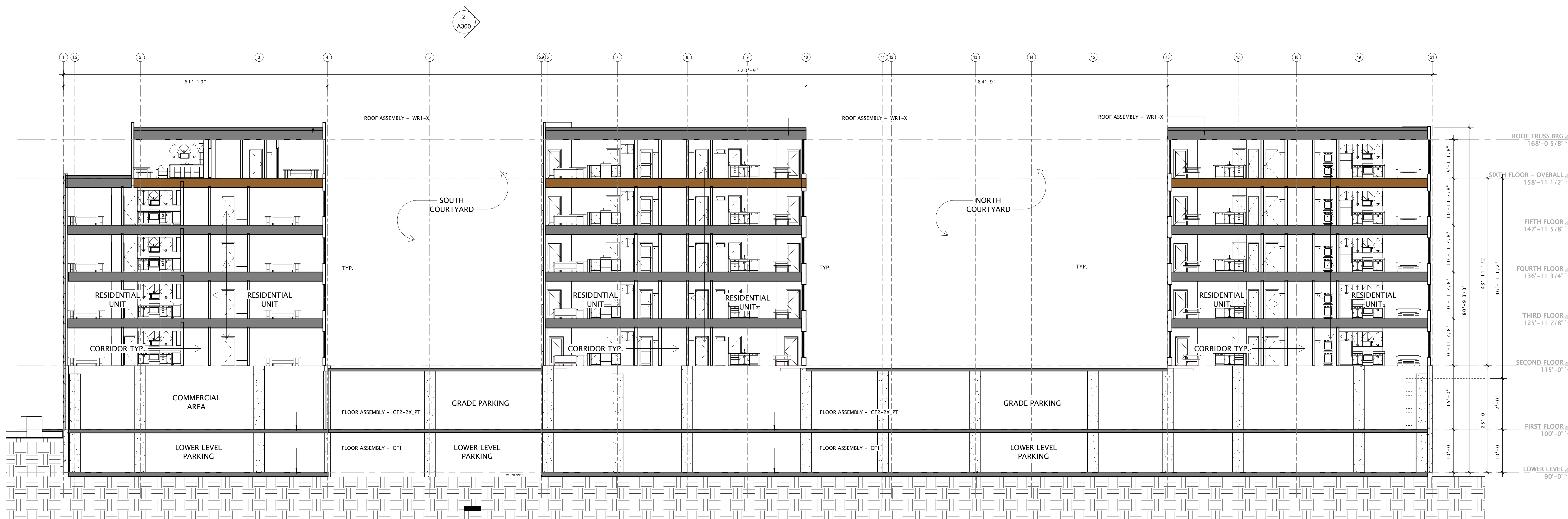
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WASHINGTON



2 OVERALL BUILDING SECTION B  
3/32" = 1'-0"



1 OVERALL BUILDING SECTION A  
3/32" = 1'-0"

LAND USE APPLICATION

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE  
**OVERALL BUILDING SECTIONS**

SHEET NUMBER  
**A300**

ALL REMAINING SLIDES PREVIOUSLY SUBMITTED - INCLUDED HERE FOR REFERENCE

**GALWAY**  
COMPANIES

**GRÄEF**

# FIRST AND EAST WASHINGTON

MADISON, WISCONSIN



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## LAND USE APPLICATION

MAY 19, 2021

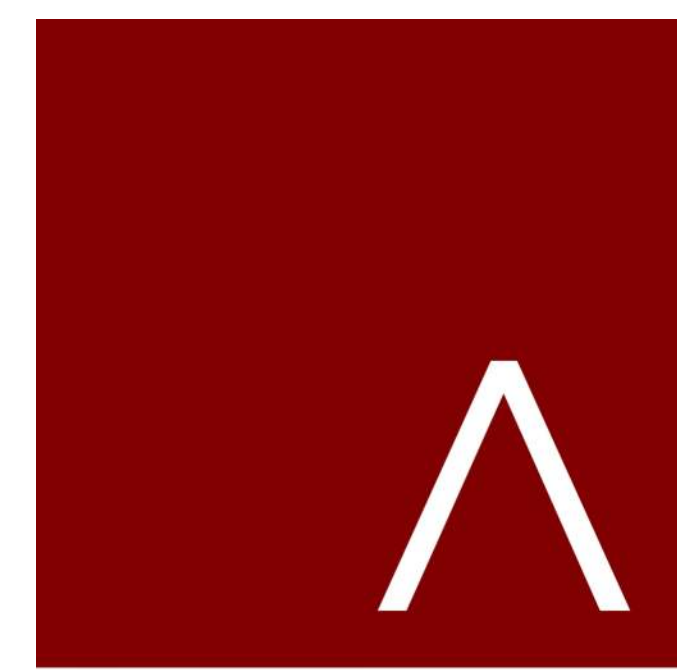


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COMPANIES

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FIRST & EAST WASHINGTON MIXED USE BUILDING DATA																					
FLOOR	TOTAL GROSS AREA (SF)	PARKING / UNFINISHED	FINISHED NON-LEASABLE	RESIDENTIAL AMENITY	RESIDENTIAL LEASABLE	COMMERCIAL LEASABLE	EFFICENCY	UNITS								PARKING PROVIDED			RATIOS		
								STUDIO	1BR	1BR+	2BR	2BR+	TH	TOTAL	BRs	COVERED	EXTERIOR	TOTALS	PER UNIT	PER BR	
6	47,890		9,275	1,180	36,145	1,290	80.63%	12	24	1	11	0	0	48	59						
5	57,303		10,833		46,470		81.10%	16	25	5	15	0	0	61	76						
4	57,303		10,833		46,470		81.10%	16	25	4	16	0	0	61	77						
3	57,303		10,833		46,470		81.10%	16	25	4	16	0	0	61	77						
2	57,767		12,607	7,800	37,360		78.18%	16	19	5	13	0	0	53	66						
<b>SUB-TOTALS</b>	<b>277,566</b>	<b>-</b>	<b>54,381</b>	<b>8,980</b>	<b>212,915</b>	<b>1,290</b>	<b>80.41%</b>														
<b>1ST FLOOR TOTAL</b>	<b>87,480</b>																				
L1 RESTAURANT						3,530															
L1 COMMERCIAL			450			10,830															
L1 RES. UNITS					7,430		NR	0	1	0	1	0	4	6	15						
L1 RES. AMENITY			3,000	4,350																	
L1 PARKING		57,890															139	42	181		
LL PARKING	87,480	87,477	-	-	-	-											196		196		
<b>TOTALS</b>	<b>452,526</b>	<b>145,367</b>	<b>57,831</b>	<b>13,330</b>	<b>220,345</b>	<b>15,650</b>		<b>76</b>	<b>119</b>	<b>19</b>	<b>72</b>	<b>0</b>	<b>4</b>	<b>290</b>	<b>370</b>		<b>335</b>	<b>42</b>	<b>377</b>	<b>1.30</b>	<b>1.02</b>
								26.2%	41.0%	6.6%	24.8%	0.0%	1.4%								

<b>BUILDING DATA:</b>
ADDRESS: 1858 EAST WASHINGTON AVE., MADISON WI
CURRENT ZONING - CCT
SETBACKS PER ZONING CODE: FRONT: 5' SIDE: 5' REAR: 5'
BUILDING HEIGHT: 82 ft.
TOTAL SITE AREA: 3.45 ac
LOT COVERAGE: 58.7%
VEHICLE PARKING STALLS EXTERIOR: 42 COVERED: 196 + 138 = 334 TOTAL PARKING: 376
BIKE PARKING STALLS OUTDOOR = 39 INDOOR / COVERED = 364

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

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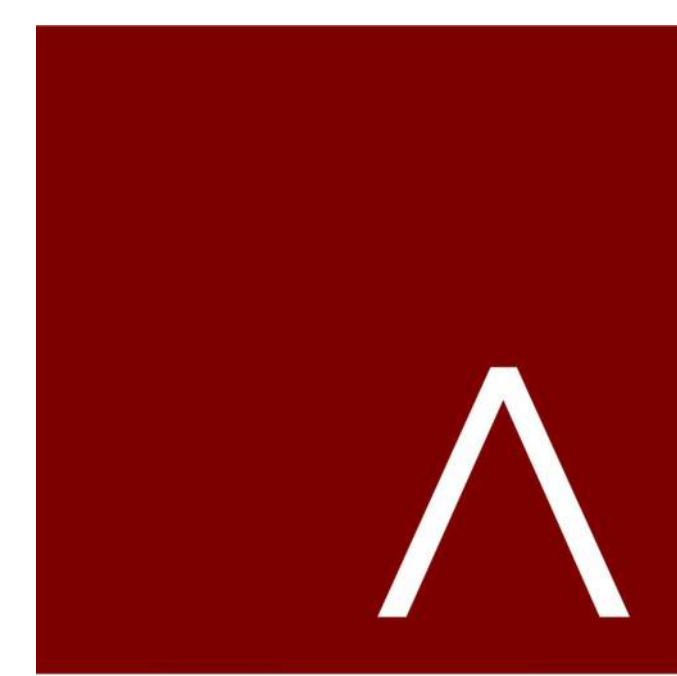
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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**BUILDING DATA**

SHEET NUMBER  
**G002**





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**Gräef**

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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

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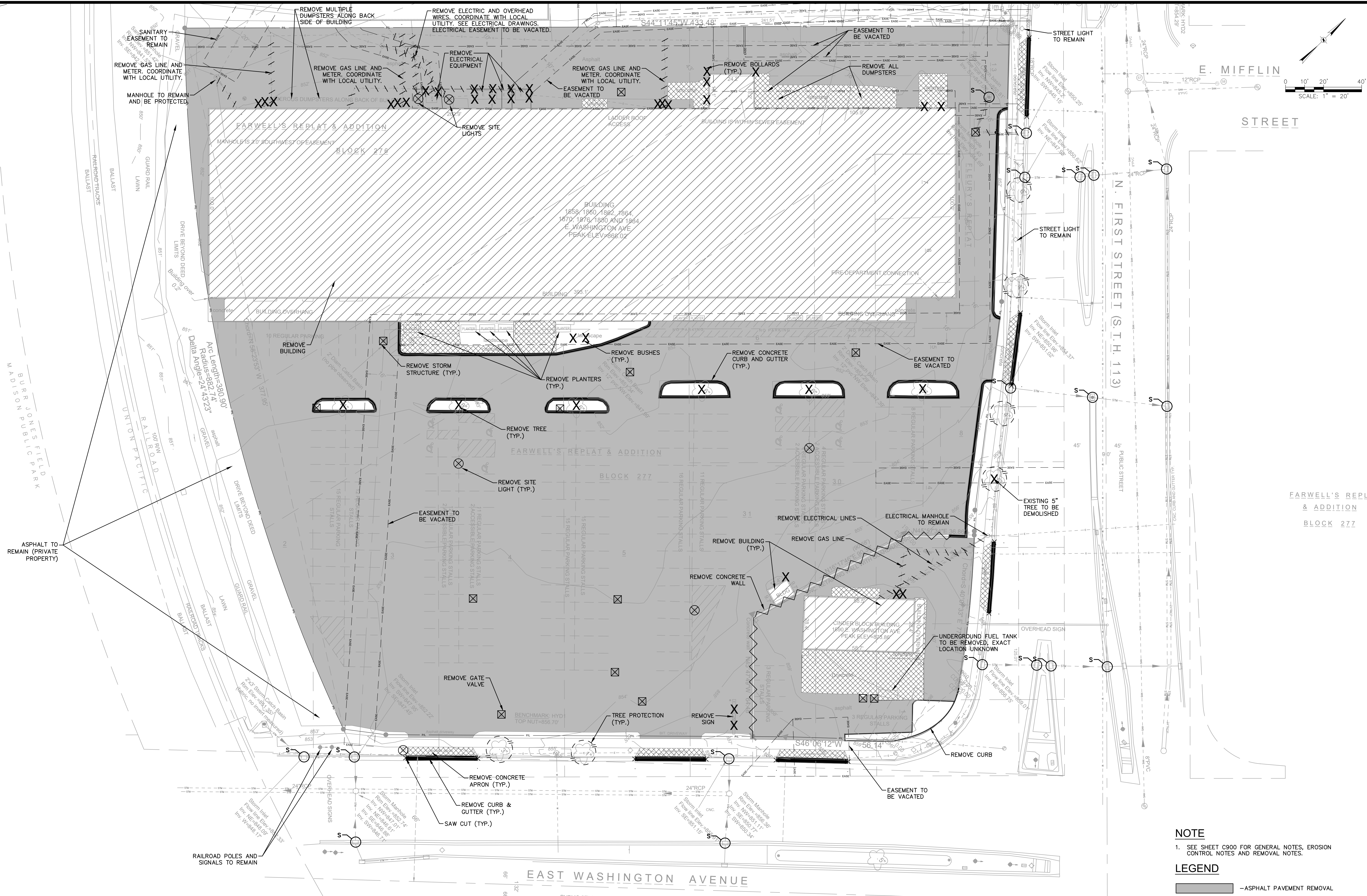
Mark	Description	Date

SHEET TITLE

DEMOLITION AND EROSION CONTROL PLAN

SHEET NUMBER

C200



**NOTE**  
1. SEE SHEET C900 FOR GENERAL NOTES, EROSION CONTROL NOTES AND REMOVAL NOTES.

**LEGEND**

	- ASPHALT PAVEMENT REMOVAL
	- CONCRETE PAVEMENT REMOVAL
	- GRAVEL PAVEMENT REMOVAL
	- BUILDING CANOPY REMOVAL
X X X X X X X	- SAWCUT
	- CONCRETE WALL REMOVAL
	- CURB AND GUTTER REMOVAL
X	- TREE AND BOLLARD REMOVAL
⊗	- SITE LIGHT REMOVAL
⊗	- UTILITY STRUCTURE REMOVAL
SCE	- STONE CONSTRUCTION ENTRANCE
SF	- SILT FENCE
	- INLET PROTECTION
	- TREE PROTECTION

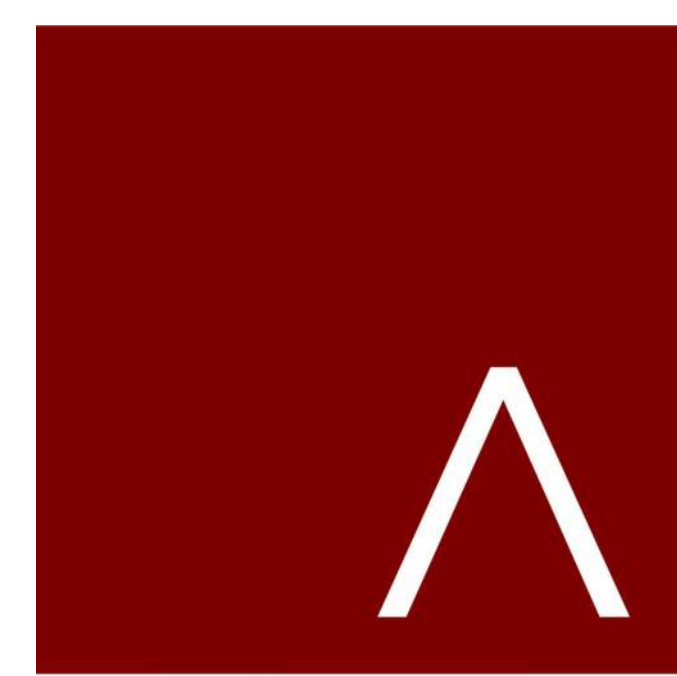
**EXISTING SITE DATA TABLE**

IMPERVIOUS AREA:	3.307 ACRES
PERVIOUS AREA:	0.062 ACRES
TOTAL CONSTRUCTION BOUNDARY AREA:	3.369 ACRES

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**NOTICE:**  
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

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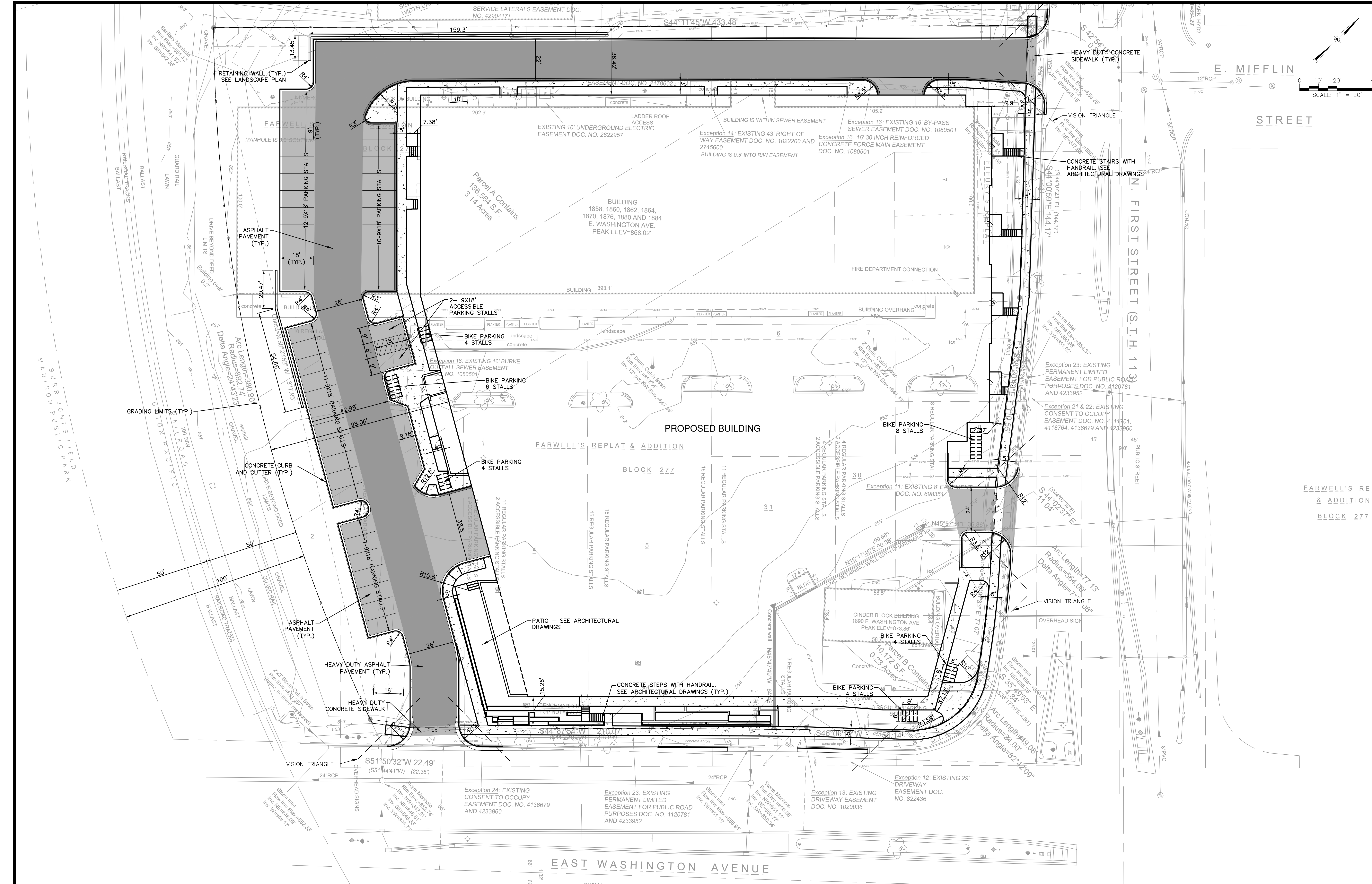
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

OVERALL LAYOUT PLAN

SHEET NUMBER

C300



SITE LAND USE INFORMATION

SITE ACREAGE: 146,754 SF (3.369 AC)

SET BACKS:  
FRONT YARD (EAST WASHINGTON AND FIRST STREET): 5-FEET  
REAR YARD: 5-FEET  
SIDE YARD: 5-FEET

TOTAL NUMBER OF STALLS: 42  
ACCESSIBLE SURFACE STALLS: 2  
SURFACE STALLS: 40

TOTAL NUMBER OF BIKE PARKING STALLS: 30

EXISTING IMPERVIOUS SURFACE AREA: 146,361 SF (3.360 AC)

NEW IMPERVIOUS SURFACE AREA: 105,438 SF (2.420 AC)  
ROOF TOP SURFACE: 87,750 SF  
ROOF TOP IMPERVIOUS: 73,371 SF  
FOOT PRINT AREA: 87,750 SF  
SIDEWALK: 5,920 SF  
PAVED: 26,147 SF

DISTURBANCE LIMITS: 146,754 SF (3.369 AC)  
IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS: 105,438 SF (2.420 AC)  
PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 71.8%

NOTE

1. SEE SHEET C900 FOR GENERAL NOTES AND LAYOUT NOTES.

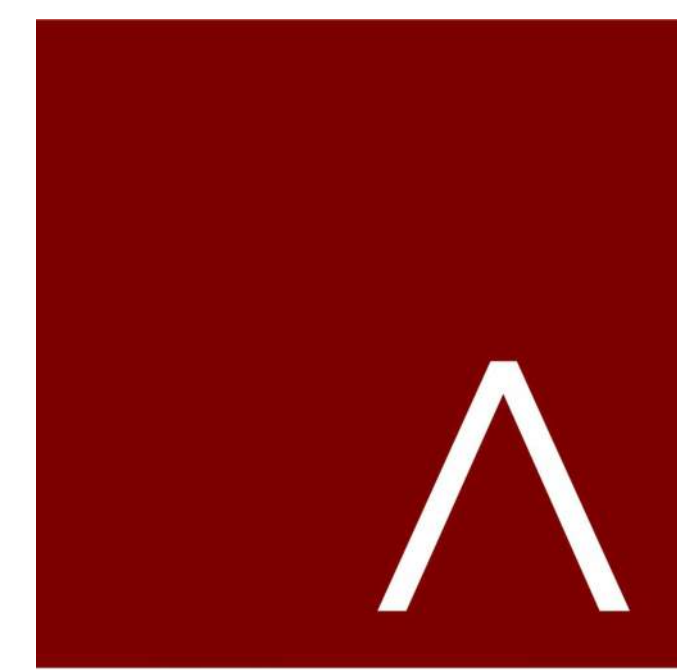
LEGEND

- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER
- HIGHSIDE CONCRETE CURB AND GUTTER
- FLUSH CONCRETE CURB AND GUTTER
- ADA RAMP WITH TRUNCATED DOMES

NOTICE:  
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FIRST AND EAST WASHINGTON

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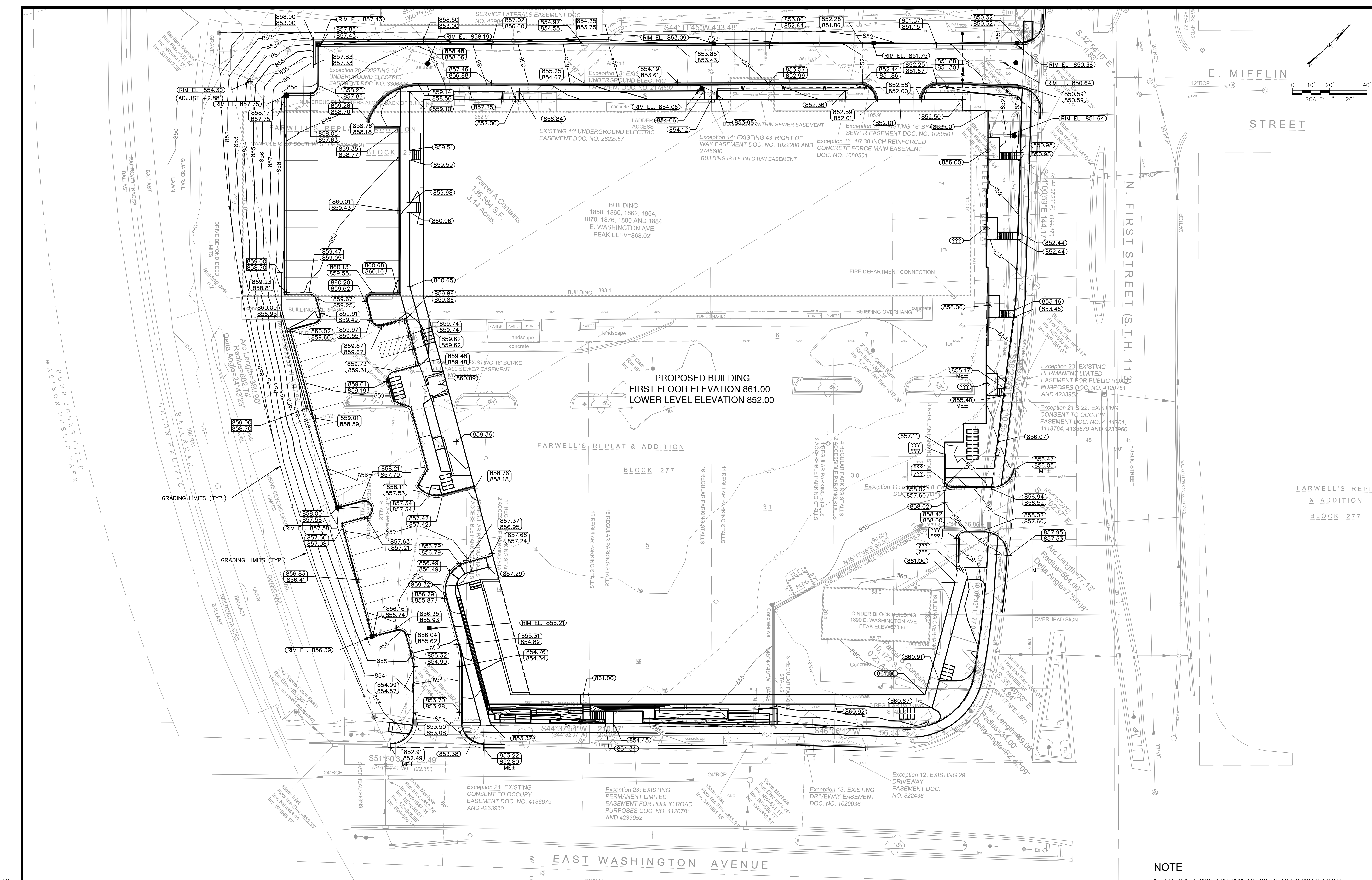
Mark	Description	Date

SHEET TITLE

OVERALL GRADING PLAN

SHEET NUMBER

C400



NOTE

1. SEE SHEET C900 FOR GENERAL NOTES AND GRADING NOTES.

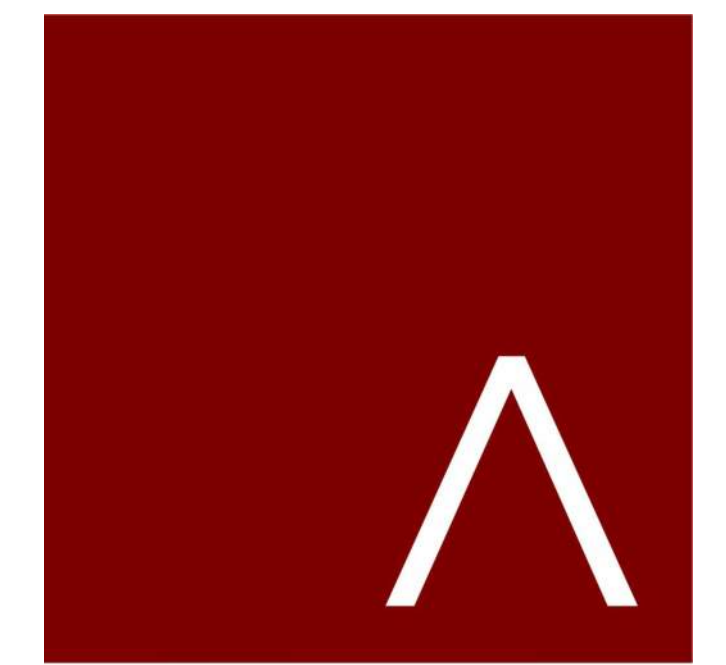
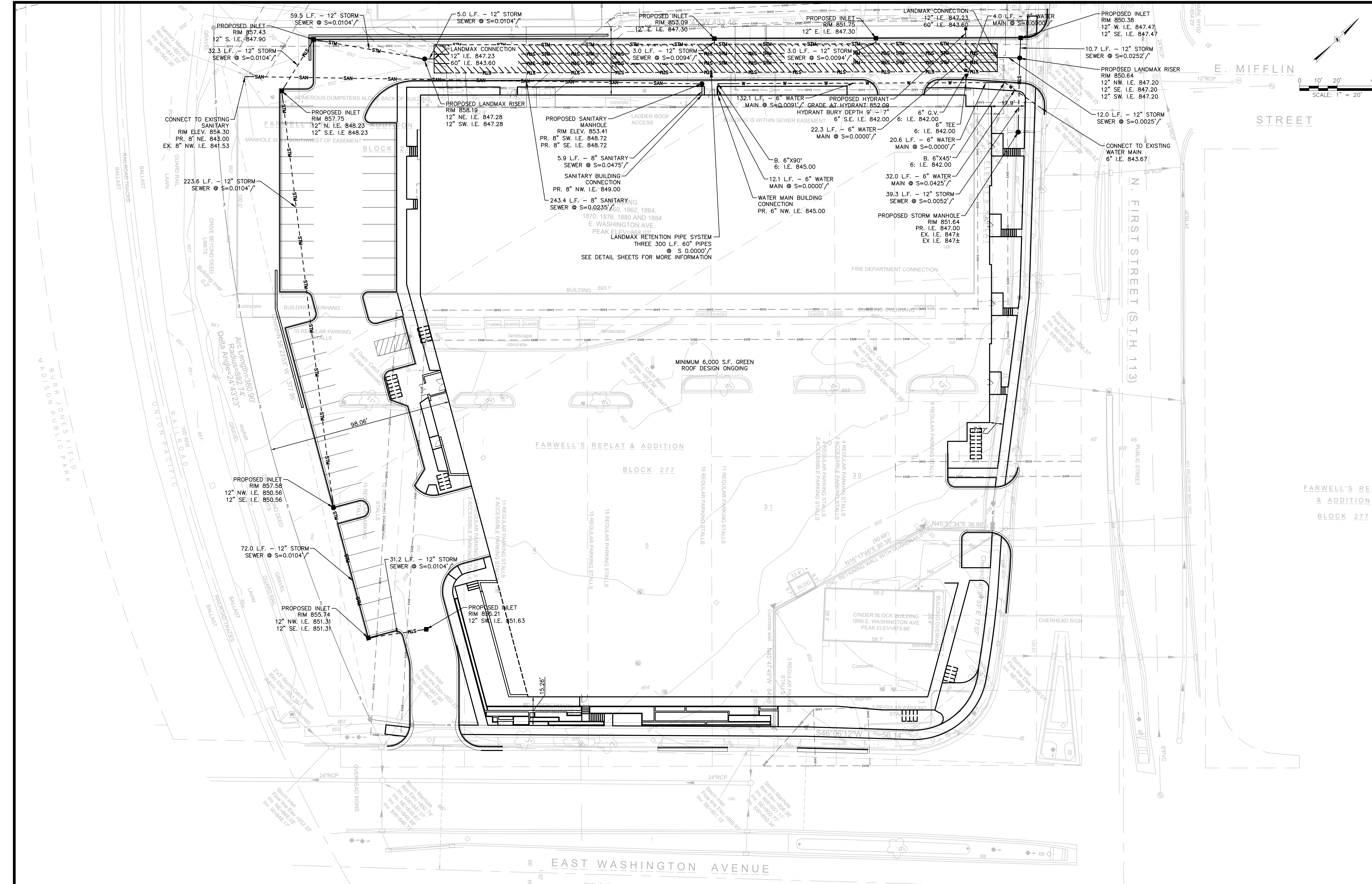
LEGEND

- 100— —EXISTING CONTOUR
- 100— —PROPOSED CONTOUR
- —CONCRETE CURB AND GUTTER
- —HIGHSIDE CONCRETE CURB AND GUTTER
- —FLUSH CONCRETE CURB AND GUTTER
- —MANHOLE
- —CATCH BASIN
- ⊕ —ADA RAMP WITH TRUNCATED DOMES
- ⊕ —TOP OF CURB ELEVATION
- ⊕ —FLANGE ELEVATION
- ⊕ —SPOT ELEVATION
- ⊕ —FINISHED GRADE AT TOP OF WALL
- ⊕ —FINISHED GRADE AT BOTTOM OF WALL

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**OVERALL UTILITY PLAN**

SHEET NUMBER

**C500**

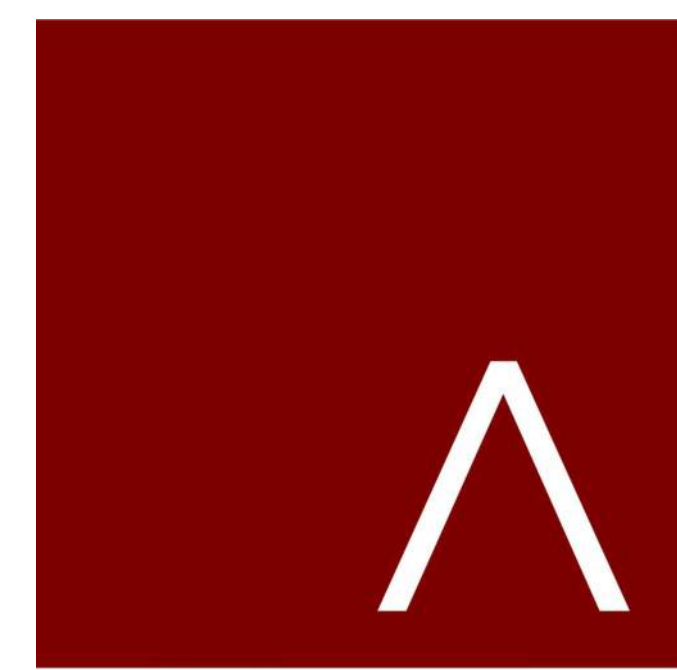
**NOTE**  
1. SEE SHEET C900 FOR GENERAL NOTES AND UTILITY NOTES.

- LEGEND**
- STM— — PROPOSED STORM SEWER
  - SAN— — PROPOSED SANITARY SEWER
  - W— — PROPOSED WATER MAIN
  - — PROPOSED MANHOLE
  - — PROPOSED CATCH BASIN
  - — PROPOSED UTILITY PLUG

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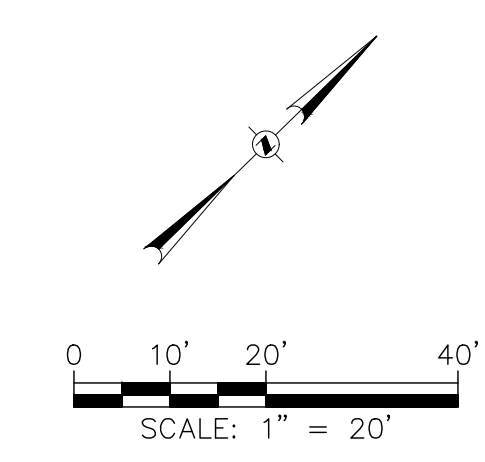
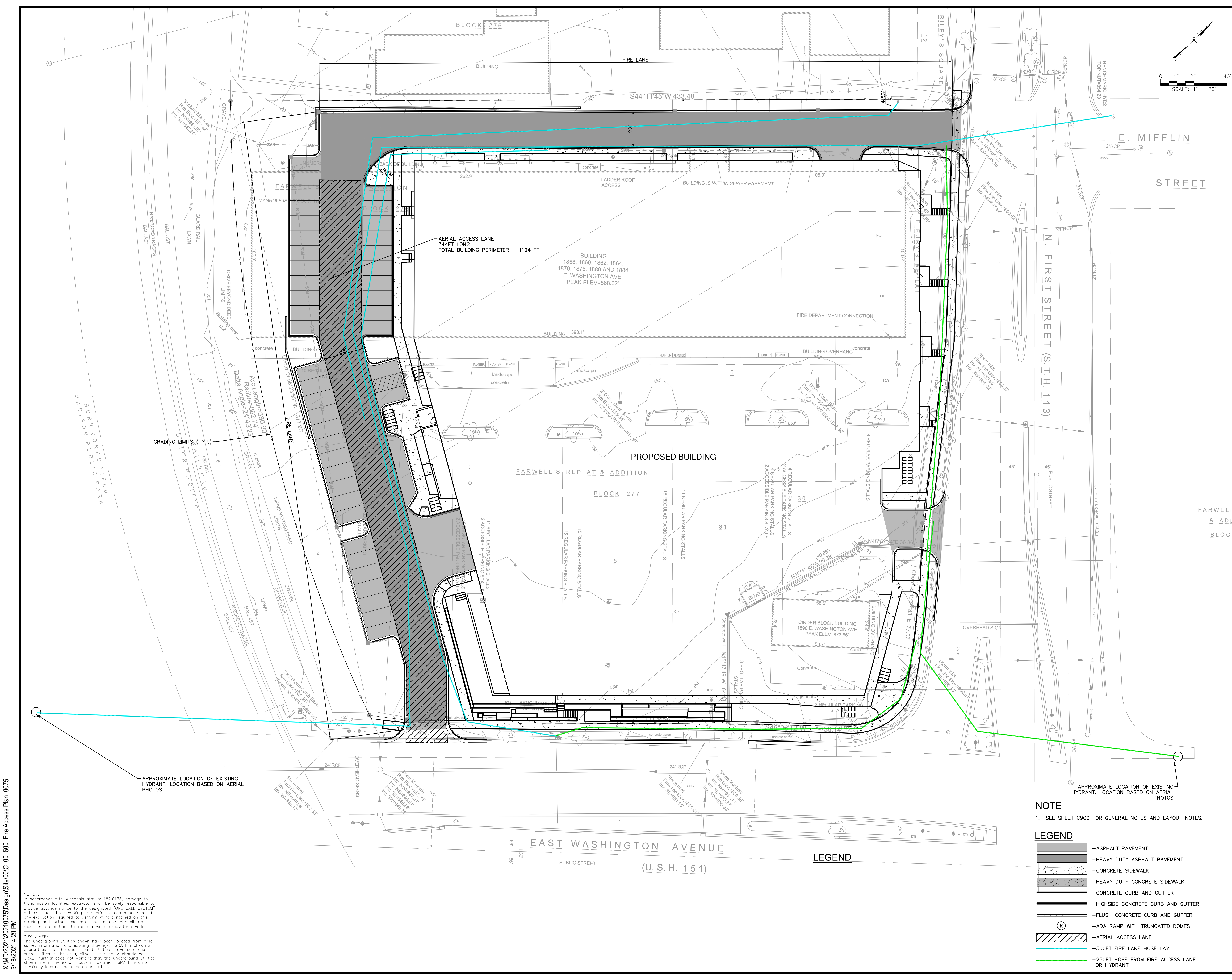
Mark	Description	Date

SHEET TITLE

**FIRE ACCESS PLAN**

SHEET NUMBER

**C600**



**NOTE**  
1. SEE SHEET C900 FOR GENERAL NOTES AND LAYOUT NOTES.

**LEGEND**

	- ASPHALT PAVEMENT
	- HEAVY DUTY ASPHALT PAVEMENT
	- CONCRETE SIDEWALK
	- HEAVY DUTY CONCRETE SIDEWALK
	- CONCRETE CURB AND GUTTER
	- HIGHSIDE CONCRETE CURB AND GUTTER
	- FLUSH CONCRETE CURB AND GUTTER
	- ADA RAMP WITH TRUNCATED DOMES
	- AERIAL ACCESS LANE
	- 500FT FIRE LANE HOSE LAY
	- 250FT HOSE FROM FIRE ACCESS LANE OR HYDRANT

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**GENERAL NOTES**

1. THE BASE SURVEY WAS PREPARED BY ISTHMUS SURVEYING IN APRIL 2021. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERE TO.
2. REFER TO SHEET C001 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

**EROSION CONTROL NOTES**

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MADISON, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT AS PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
6. CRUSHED STONE ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT.
7. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
8. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
9. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES. NOTIFY CITY OF MADISON OF ANY NEW STOCKPILE LOCATIONS.
10. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
  1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
  2. INSTALL SILT FENCE AND INLET PROTECTION.
  3. STRIP TOPSOIL IN TEMPORARY SEDIMENT BASIN AREA
  4. INSTALL SEDIMENT BASIN AND OUTLET CONTROL STRUCTURE. STABILIZE IMMEDIATELY AFTER INSTALLATION.
  5. STRIP TOPSOIL AND INSTALL TEMPORARY DIVERSIONS TO DIRECT RUNOFF TO SEDIMENT BASIN.
  6. STRIP TOPSOIL FROM REMAINDER OF SITE.
  7. PERFORM ROUGH GRADING AND BUILDING EXCAVATION. ADJUST DIVERSION DITCHES AS NEEDED TO MAINTAIN DRAINAGE TO SEDIMENT BASIN.
  8. INSTALL UTILITIES. INSTALL INLET PROTECTION ON NEW INLETS. INSTALL RIPRAP AT NEW OUTFALLS.
  9. CONSTRUCT BUILDING.
  10. INSTALL PAVEMENTS.
  11. INSTALL LANDSCAPING ON COMPLETED SITE WITHIN 7 DAYS OF COMPLETING CONSTRUCTION.
  12. REMOVE TEMPORARY SEDIMENTATION BASIN
  13. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
11. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
12. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
13. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICE SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". NOTIFY CITY OF MADISON FOR CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
14. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE THE WORK DAY.
15. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
16. PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER 15TH. IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDED AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY EITHER CRIMPING OR BY APPLYING A TACKIFIER.
17. PERMANENT SEED MIX SHALL BE WISDOT SEED MIX NO. 40 AT 7 POUNDS PER 1000 SQUARE FEET.
18. USE ANNUAL RYE SEED MIX AT 100 POUNDS PER ACRE AS A TEMPORARY SEED MIX. PERMANENT SEEDING SHALL FOLLOW WITHIN ONE YEAR. IF TEMPORARY SEEDING IS NOT ESTABLISHED BY OCTOBER 15TH, USE CLASS I TYPE B MATTING ON ALL SLOPES 4:1 OR STEEPER.
19. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILE. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS.
20. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
21. NOTIFY THE CITY WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
22. NOTIFY THE CITY OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
23. OBTAIN PERMISSION IN WRITING FROM THE CITY OF MADISON ENGINEERING DEPARTMENT PRIOR TO MODIFYING THE EROSION CONTROL PLAN. NOTIFY WDNR AT LEAST FIVE WORKING DAYS PRIOR TO IMPLEMENTING CHANGES TO THE EROSION CONTROL PLAN.
24. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
25. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE. INTERSECTING DIRECTIONS.

**REMOVAL NOTES**

1. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR ABANDONMENT OR REMOVAL. EXISTING UTILITIES THAT ARE TO BE ABANDONED OR REMOVED SHALL BE RESPECTFULLY ABANDONED OR REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
3. ASPHALT PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
4. CONCRETE CURB AND GUTTER AND SIDEWALK NOTED FOR REMOVAL SHALL BE REMOVED AT THE NEAREST JOINT.
5. ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
6. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
7. CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.
8. CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNER'S REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
9. TREE PROTECTION FENCING LOCATIONS SHOWN ARE APPROXIMATE. ALL EXISTING TREES OUTSIDE OF GRADING LIMITS ARE INTENDED TO REMAIN. FINAL LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD AND AS IDENTIFIED ON CONSTRUCTION DETAILS. ADDITIONAL FENCING MAY BE REQUIRED. COORDINATE WITH OWNER'S REPRESENTATIVE. TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

**LAYOUT NOTES**

1. THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
2. SITE LIGHTS ARE SHOWN FOR REFERENCE PURPOSES ONLY AND THE CONTRACTOR SHALL REFER TO THE ELECTRICAL PLANS FOR DETAIL DESIGN INFORMATION. CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL ENGINEER ON STAKING OF THE SITE LIGHTS.
3. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CONCRETE CURB IS SHOWN.
4. STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.
5. ALL PAVEMENT STRIPING SHALL BE WHITE IN COLOR.
6. REFER TO LANDSCAPING PLANS FOR SITE RESTORATION INFORMATION AND DETAILS.
7. HANDICAP PARKING STALLS SHALL BE FURNISHED WITH A CONCRETE WHEEL STOP WHEN ADJACENT TO FLUSH CONCRETE CURB AND GUTTER.
8. CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION. JOINTING PLAN SHALL INDICATE: POUR SEQUENCE, LOCATION OF CONSTRUCTION, ISOLATION, CONTRACTION JOINTS, AND TYPE OF REINFORCEMENT.

**GRADING NOTES**

1. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
2. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.

**UTILITY NOTES**

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
3. CONTRACTOR SHALL CENTER ONE FULL LENGTH OF WATER PIPE ON SEWER AT WATER MAIN CROSSINGS, THAT BOTH JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE.
4. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
5. SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
6. WATER MAIN SHALL BE AWWA C900, CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.
7. ALL SANITARY PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND SHALL BE A MINIMUM OF 48-INCH DIAMETER WITH ECCENTRIC CONE TYPE PRECAST TOPS AND SHALL BE FITTED WITH AN EXTERNAL SEAL. FLAT TOP SLABS SHALL BE USED ONLY WITH APPROVAL OF THE CITY ENGINEER.
8. CONTRACTOR SHALL PROVIDE DRAIN TILE AT ALL PROPOSED CATCH BASINS. SEE PLAN VIEW FOR DETAIL DESIGN INFORMATION.
9. BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
10. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
11. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
12. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.



**JLA**  
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JLA PROJECT NUMBER: 19-0802



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**FIRST AND EAST WASHINGTON**

**LAND USE APPLICATION**

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MAY 19, 2021

**REVISION SCHEDULE**

Mark	Description	Date
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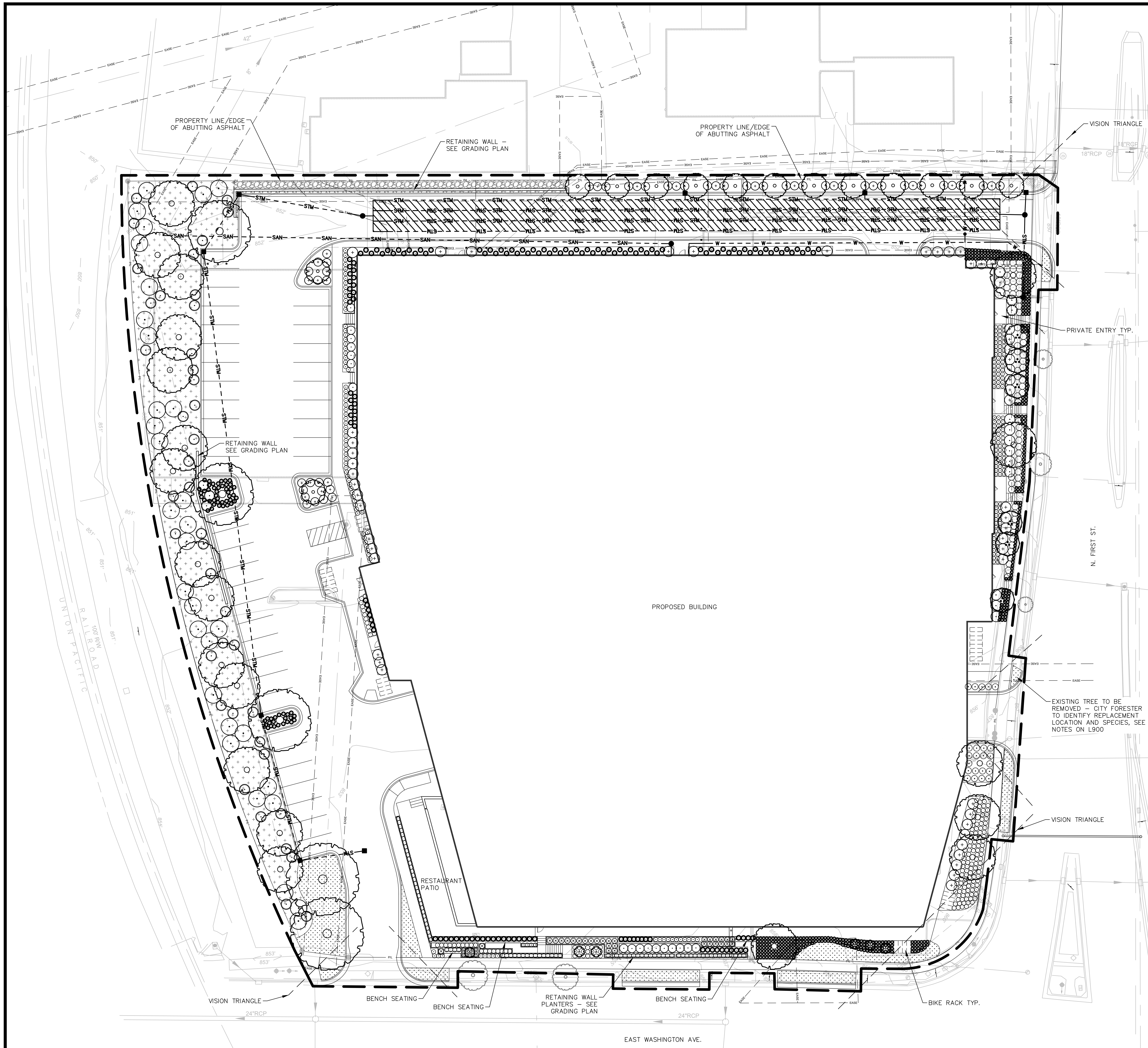
**SHEET TITLE**

**CONSTRUCTION NOTES**

SHEET NUMBER

**C900**





### PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME
<b>ORNAMENTAL TREES</b>			
AME OBE	6	<i>Ametanther alvifolia</i> 'Obelisk' TM	Standing Ovation Serviceberry
AME ROH	6	<i>Ametanther x grandiflora</i> 'Robin Hill'	Robin Hill Apple Serviceberry
MAL RJE	2	<i>Malus</i> 'Red Jewel'	Red Jewel Crabapple
<b>SHADE TREES</b>			
BET NDH	18	<i>Betula nigra</i> 'Dura Heat'	Dura Heat River Birch
CEL OCH	3	<i>Celtis occidentalis</i> 'Chicagoland'	Chicagoland Hackberry
GIN BPS	12	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo (male seedless)
GLE TSH	2	<i>Gleditsia triacanthos inermis</i> 'Shademaster'	Shademaster Honeylocust
ULM MOR	2	<i>Ulmus</i> 'Morton'	Accolade Elm
<b>DECIDUOUS SHRUBS</b>			
ARO MOR	45	<i>Aronia melanocarpa</i> 'Morton'	Inquis Beauty Black Chokeberry
ARO MLS	88	<i>Aronia melanocarpa</i> 'UCONNAM165'	Low Shrub Mound Black Chokeberry
DIE LCO	23	<i>Diervilla korisera</i> 'Copper'	Copper Low Bush Honeyuckle
HYD AWB	12	<i>Hydrangea arborescens</i> 'White Dome'	White Dome Hydrangea
RHU GLA	32	<i>Rhus glabra</i>	Smooth Sumac
SPI NBU	17	<i>Spiraea betulifolia</i> 'COURISPI01' TM	Pink Sparkler Birchleaf Spiraea
VIB AR2	2	<i>Viburnum dentatum</i> 'Christom' TM	Blue Muffin Arrowwood Viburnum
<b>EVERGREEN SHRUBS</b>			
JUN CHO	20	<i>Juniperus chinensis</i> 'Iowa'	Iowa Juniper
JUN CKA	53	<i>Juniperus chinensis</i> 'Kallaya Compact'	Kallaya Compact Pfitzer Juniper
PIN SLO	30	<i>Pinus mugo</i> 'Slowmound'	Mugo Pine
TAX MHJ	7	<i>Taxus x media</i> 'Hicksii'	Hicks Yew
TAX MTA	23	<i>Taxus x media</i> 'Taurinon'	Taurinon's Yew
<b>ORNAMENTAL GRASSES &amp; SEDGES</b>			
CAL AKA	112	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass
CAR FBI	483	<i>Carex flacca</i> 'Blue Zinger'	Blue Zinger Sedge
PAN VSH	23	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass
SPO HTA	65	<i>Sporobolus heterolepis</i> 'Tara'	Tara Dwarf Prairie Dropseed
<b>PERENNIALS</b>			
ALL SUM	64	<i>Allium x 'Summer Beauty'</i>	Summer Beauty Ornamental Onion
CAL NPT	50	<i>Calamintha nepeta nepeta</i>	Lesser Calamint
GER HMA	14	<i>Geranium phaeum</i> 'Raven'	Raven Dusky Cranesbill
HOS GUA	64	<i>Hosta x 'Guacamole'</i>	Guacamole Hosta
LIR SPI	135	<i>Liriope spicata</i>	Creeping Lily Turf
MAT STR	125	<i>Matruccia struthiopteris</i>	Ostrich Fern
SAL CAR	8	<i>Salvia nemorosa</i> 'Caradonna'	Cardonna Meadow Sage
SED ALJ	15	<i>Sedum x 'Autumn Joy'</i>	Autumn Joy Sedum

**E. Washington Ave. and N. First St. Mixed Use Development**

For all lots UNDER 5 acres and NOT zoned IL or IG, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.  
 Total square footage of developed area: 45,717 square feet  
 Total landscape points required: 762 points

**Tabulation of Points and Credits**

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscape		New/Proposed Landscape	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2" caliper measured at least height	35			37	1295
Tall evergreen tree	5-6 feet tall	35			0	0
Ornamental tree	1 1/2 inch caliper	15			14	210
Upright evergreen shrub	3-4 feet tall	10			27	270
Shrub, deciduous	#3 gallon container size, Min. 12-24"	3			247	741
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4			112	448
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2			1125	2250
Ornamentals/decorative fencing or wall	n/a	4 per 10 linear ft.			0	0
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper *Trees must be within developed area and cannot comprise more than 20% of total points	\$4 per caliper inch, Max 200 points per tree			0	0
Landscape furniture for public seating	Furniture must be within developed area, publicly accessible, and cannot comprise more than 9% of total required points	5 points per "seat"			0	0
<b>Sub Totals</b>					0	5214

**Total Number of Points Provided: 5214**

**Landscape Points Distribution**

Landscape shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

**Total Developed Area**  
 Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprints at grade, and designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

**Development Frontage Landscape**  
 Landscaping an/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

**Interior Parking Lot Landscaping**  
 The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the interior parking lot standards.

**Foundation Plantings**  
 Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

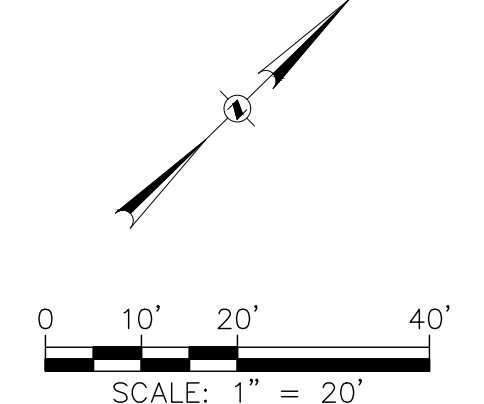
**Screening Along District Boundaries**  
 Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

**Screening of Other Site Elements**  
 The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

\*For a more comprehensive look into the City of Madison Landscape Requirements, see Section 28.142 Madison General Ordinance\*

**LANDSCAPE LEGEND**

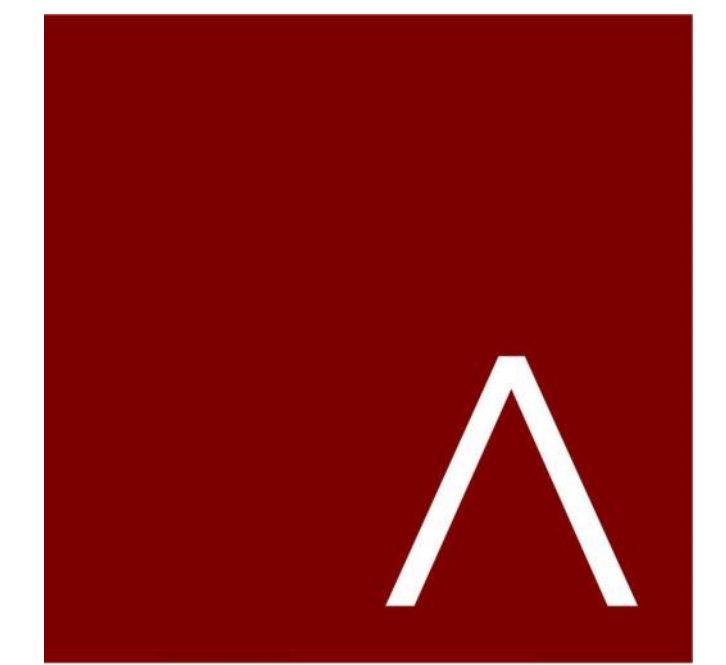
- LIMIT OF LANDSCAPE CONSTRUCTION
- - - ALUMINUM EDGER - SEE SPECIFICATIONS
- EXISTING TREES TO REMAIN
- MANICURED TURF (SOD) - SEE SPECIFICATIONS (4 L900)
- NO MOW TURF SEED MIX - SEE SPECIFICATIONS (5 L900)
- DECORATIVE STONE MULCH - SEE SPECIFICATIONS



**NOTICE:**  
 In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**DISCLAIMER:**  
 The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.

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**JLA ARCHITECTS**  
 MADISON : MILWAUKEE  
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JLA PROJECT NUMBER: 19-0802



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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

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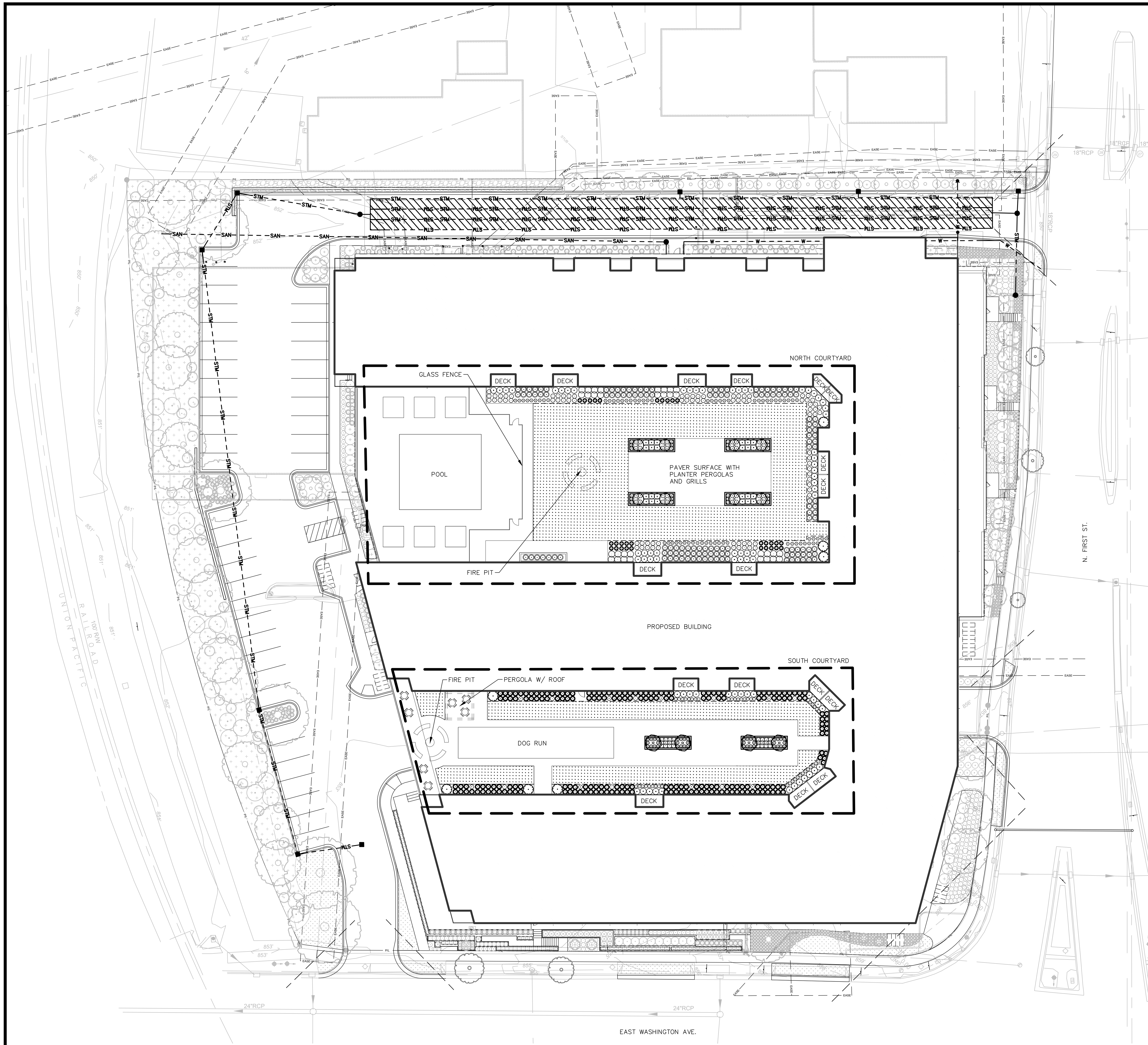
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**LANDSCAPE PLAN**

SHEET NUMBER

**L100**



**PLANT SCHEDULE**

ORNA	CODE	QTY	BOTANICAL NAME	COMMON NAME
ORNA	MAL ST1	4	<i>Malus sargentii</i> 'Tina'	Tina Sargent's Crabapple
DEC	DIE LCO	71	<i>Diervilla lonicera</i> 'Copper'	Copper Low Bush Honeyuckle
DEC	SPI BET	25	<i>Spiraea betulifolia</i> 'Tor'	Tor Birchleaf Spirea
DEC	VIB AR2	7	<i>Viburnum dentatum</i> 'Christom' TM	Blue Muffin Arrowwood Viburnum
DEC	PIN BMP	8	<i>Pinus cembra</i> 'Blue Mound'	Blue Mound Stone Pine
ORNA	CAL AOV	198	<i>Calamagrostis x acutiflora</i> 'Overdam'	Overdam Feather Reed Grass
ORNA	SCH BLU	135	<i>Schizachyrium scoparium</i> 'Blue Heaven'	Blue Heaven Little Bluestem
ORNA	SPO HTA	30	<i>Sporobolus heterolepis</i> 'Tara'	Tara Dwarf Prairie Dropseed
PER	ALL SUM	24	<i>Allium x 'Summer Beauty'</i>	Summer Beauty Ornamental Onion
PER	AMS HUB	32	<i>Amonia hubrichtii</i>	Arkansas Bluestar
PER	AMS BLU	45	<i>Amonia x 'Blue Ice'</i>	Blue Ice Bluestar
PER	CAL NPT	81	<i>Calamintha nepeta nepeta</i>	Lesser Calamint
PER	ECH PMA	7	<i>Echinacea purpurea</i> 'Magnus'	Magnus Purple Coneflower
PER	GER HMA	40	<i>Geranium phaeum</i> 'Raven'	Raven Dusky Cranesbill
PER	HEM HAP	67	<i>Hemerocallis x 'Happy Returns'</i>	Happy Returns Daylily
PER	HEM STR	56	<i>Hemerocallis x 'Strawberry Candy'</i> TM	Strawberry Candy Daylily
PER	LEU ALS	8	<i>Leucanthemum x superbum</i> 'Alaska'	Alaska Shasta Daisy

**LANDSCAPE LEGEND**

- LIMIT OF LANDSCAPE CONSTRUCTION
- - - ALUMINUM EDGER - SEE SPECIFICATIONS
- [Pattern] MANICURED TURF (SOD) - SEE SPECIFICATIONS

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**GRAEF**  
 1010 East Washington Avenue,  
 Suite 202  
 Madison, WI 53703-3130  
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FIRST AND EAST WASHINGTON

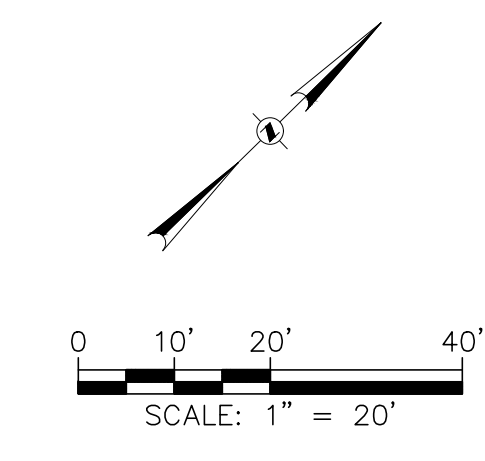
LAND USE APPLICATION

**PROGRESS DOCUMENTS**  
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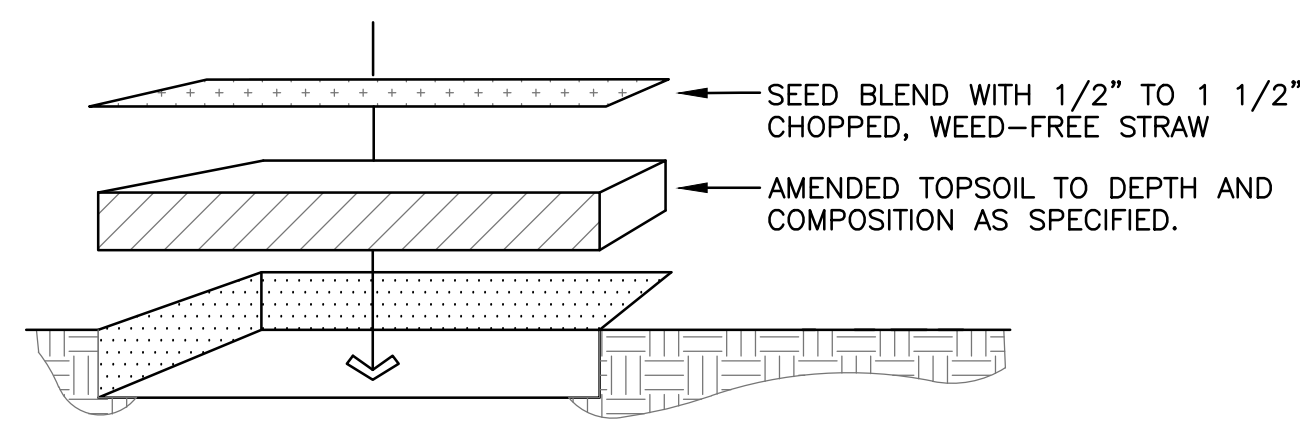
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**ROOFTOP LANDSCAPE PLAN**

SHEET NUMBER  
**L101**

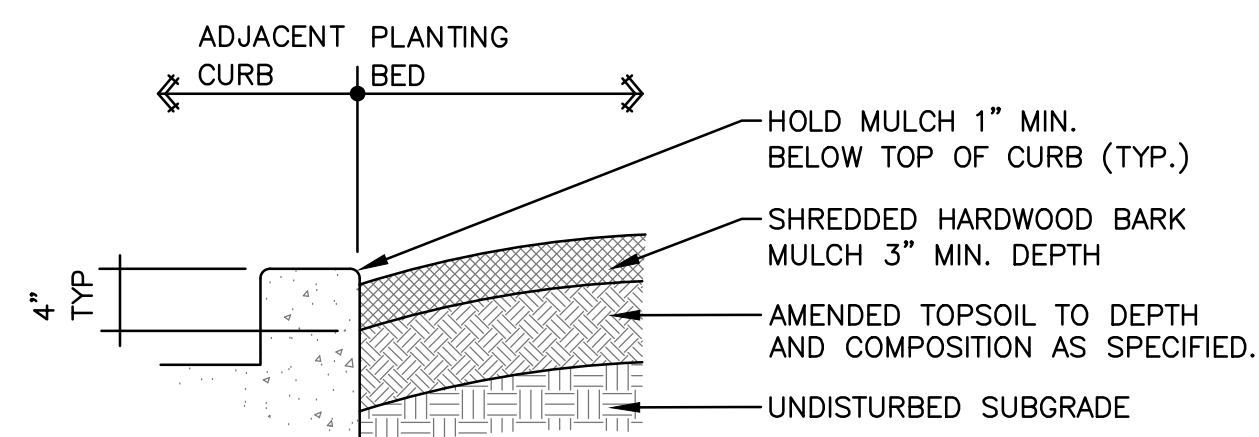


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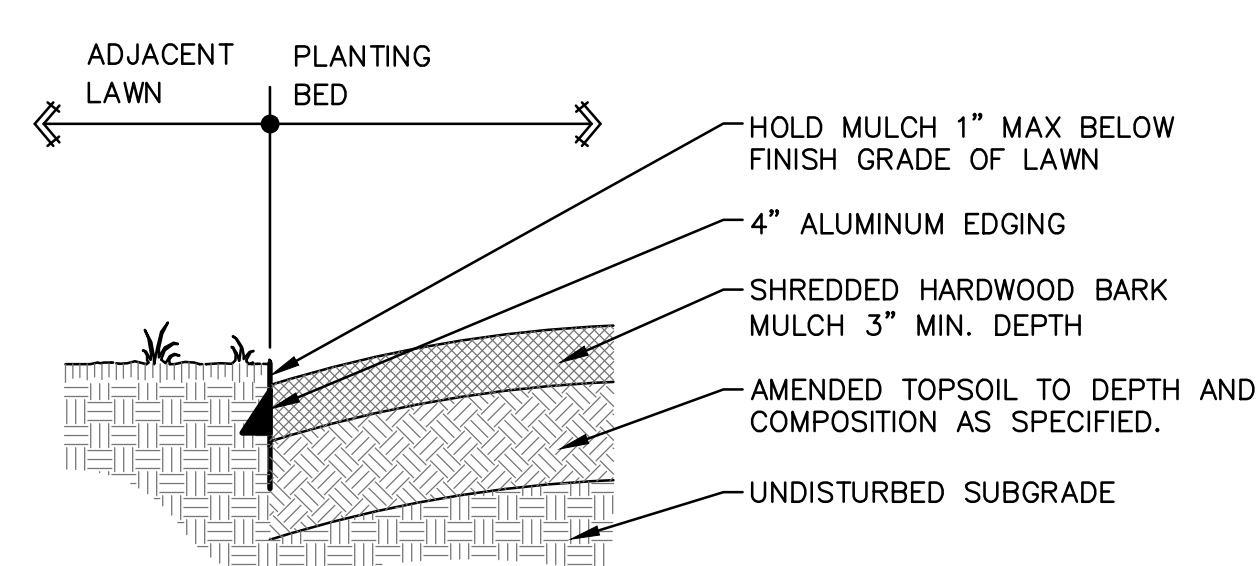


- TOPSOIL SHALL CONFORM TO PROPERTIES AS SPECIFIED.
- CONTRACTOR TO PROVIDE FINISHED TURF GRADE PER DRAWINGS WITH UNIFORM, NATURAL SLOPES PRIOR TO THE SOWING OF SEED. SEED BLEND & APPLICATION PROCEDURES ARE DESCRIBED IN WRITTEN SPECIFICATION
- LANDSCAPE CONTRACTOR SHALL ESTABLISH VIGOROUS GROWTH AND MOW & MAINTAIN AS SPECIFIED.

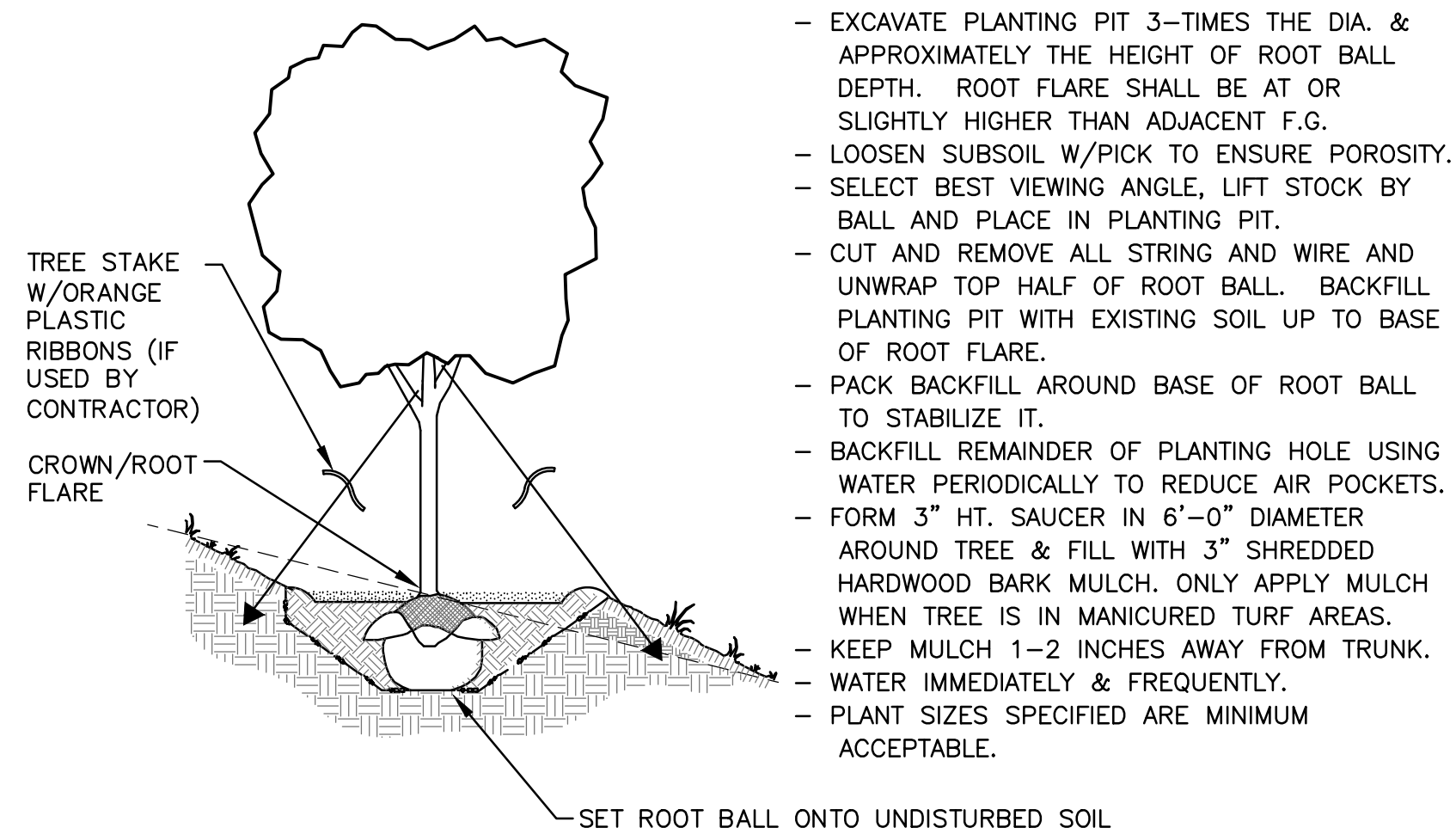
5 NO MOW TURF SEEDING



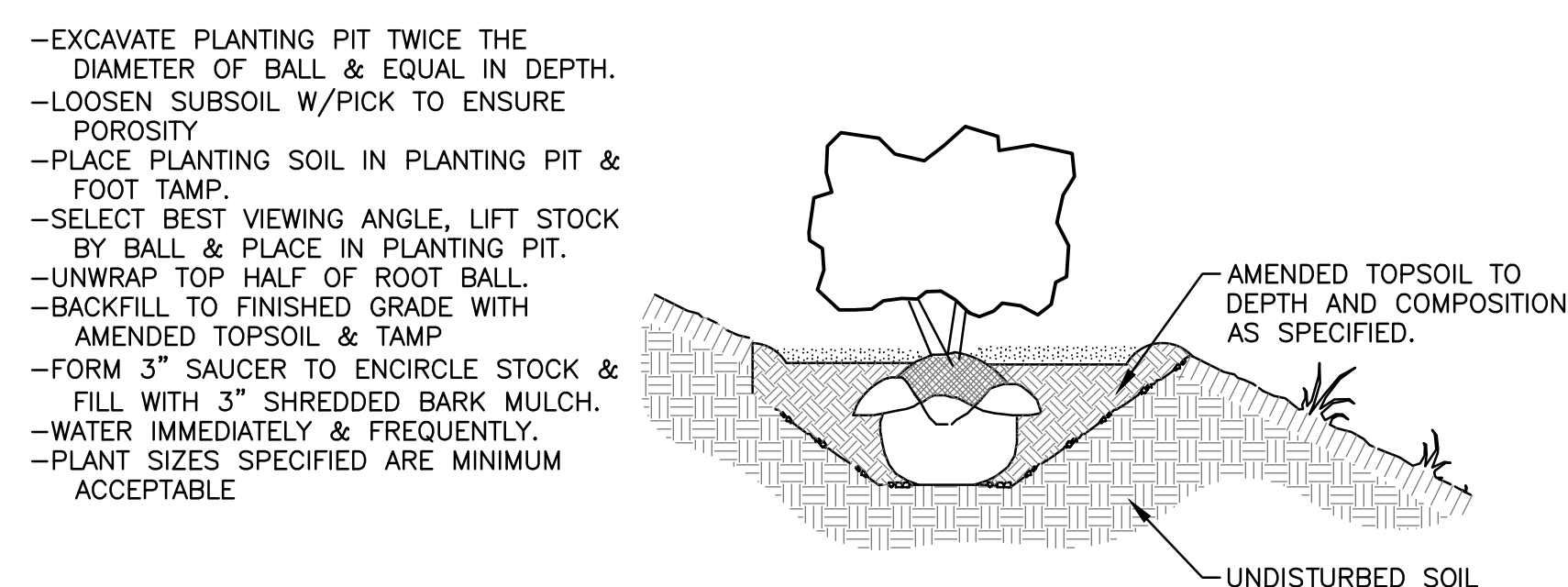
6 PLANT BED EDGE AT CURB



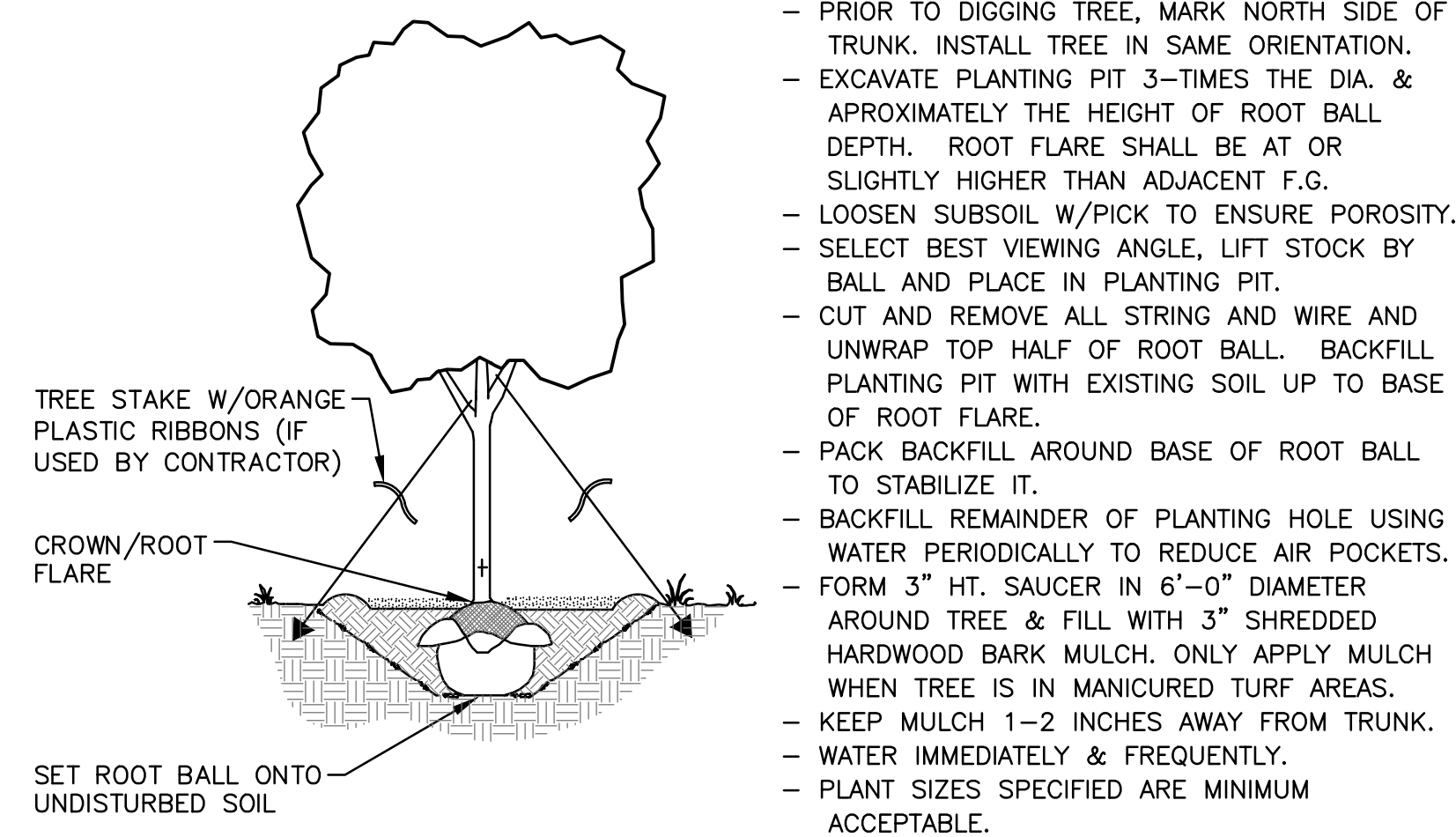
7 ALUMINUM PLANT BED EDGE



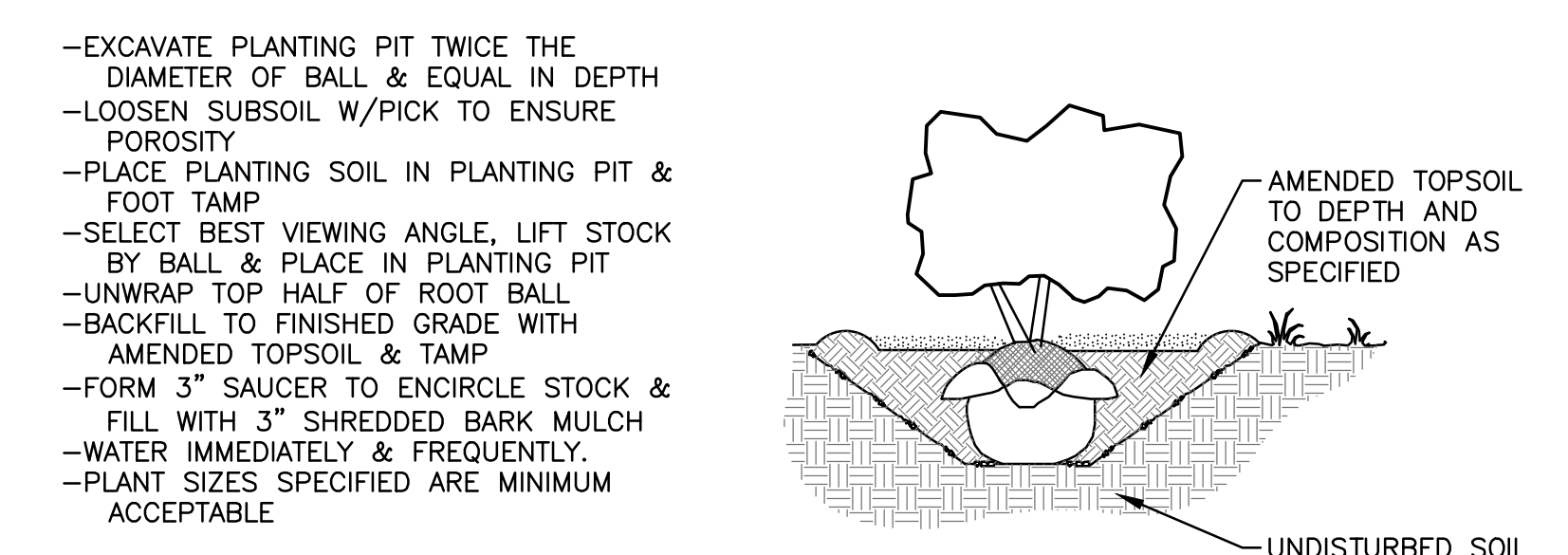
8 TREE PLANTING ON SLOPE DETAIL



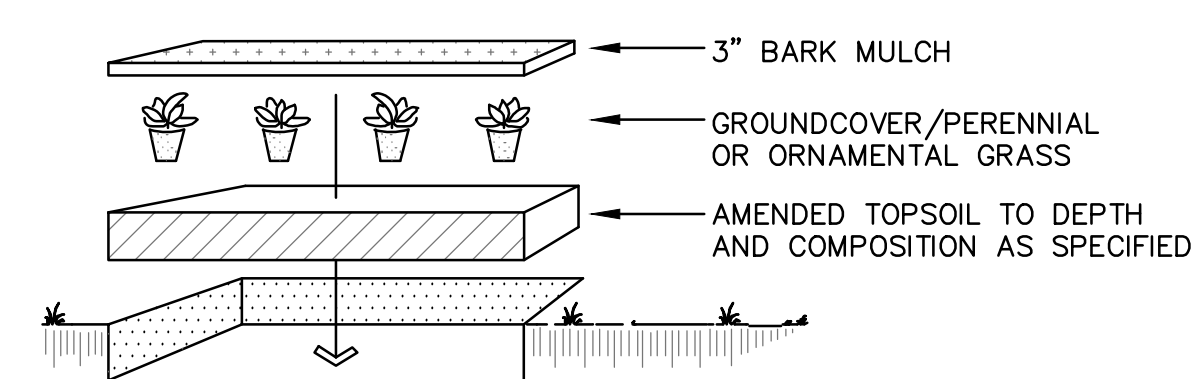
9 SHRUB PLANTING ON SLOPE DETAIL



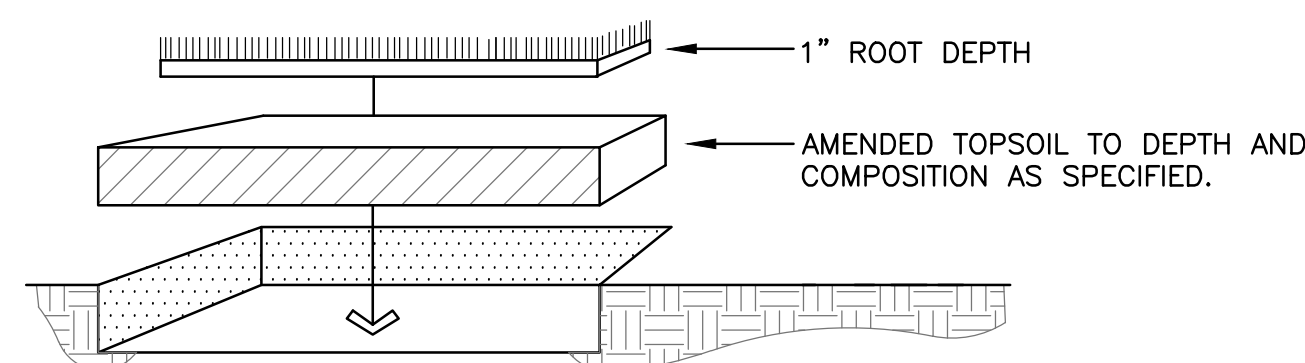
1 TREE PLANTING DETAIL



2 SHRUB PLANTING DETAIL



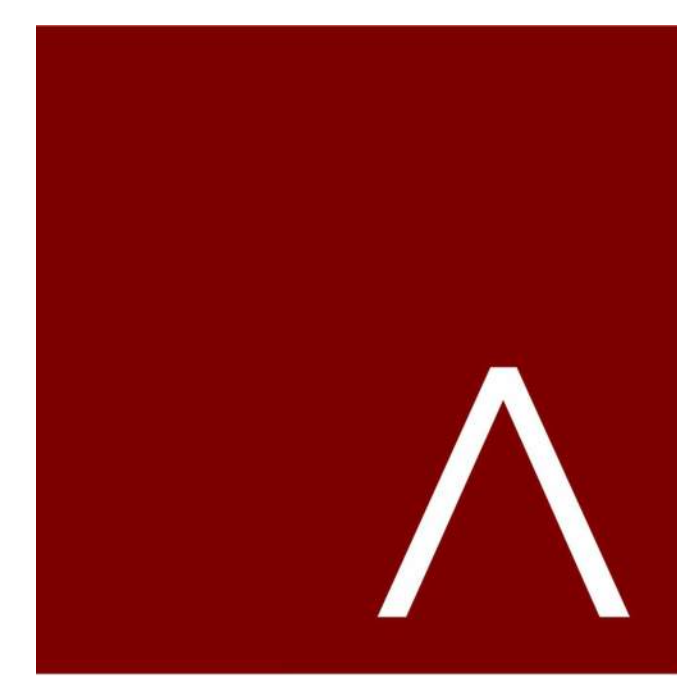
3 GROUND COVER / ORNAMENTAL GRASS / PERENNIAL PLANTING DETAIL



4 MANICURED TURF SOD

LANDSCAPING NOTES:

1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO, THE LIMITS OF CONSTRUCTION. PROVIDE DIGITAL COPIES OF PHOTOGRAPHS TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE SUBMITTAL PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. REFER TO GEOTECHNICAL REPORT, IF ONE EXISTS, FOR INFILTRATION RATES AND SOIL TYPES / CONDITIONS.
4. SEE WRITTEN SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, MATERIALS, EXECUTION AND PLANT PROTECTION, PLANT STAKING METHODS, PLANT PIT DIMENSIONS, BACKFILL AND OTHER RELATED REQUIREMENTS.
5. PLANT PLACEMENT IS REQUIRED AS SHOWN ON THE LAYOUT, PLANTING, AND OTHER DRAWINGS.
6. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR SYMBOLS, ABBREVIATIONS, BOTANICAL/Common NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
7. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES ARE FOR INFORMATION ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CONDUCT QUANTITY TAKE-OFFS FOR PLANT MATERIALS AND SIZES SHOWN ON PLANS. PLANT SYMBOLS INDICATED ON THE PLAN TAKE PRECEDENCE IN CASE OF DISCREPANCIES BETWEEN CALLOUTS AND THE PLANT LIST.
8. MAINTAIN AND WARRANT PLANT MATERIALS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
9. PLANT BEDS AND TREE PLANTING PITS ARE TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH PER WRITTEN SPECIFICATIONS AND DETAILS.
10. FORM 72-INCH, OR AS OTHERWISE INDICATED, WATERING BASIN AROUND TREES WHEN THEY ARE INSTALLED IN MANICURED TURF AREAS. SEE PLANTING DETAILS.
11. FINE GRADE, RAKE, AND ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND THROUGHOUT SITE WITHIN THE LIMITS OF CONSTRUCTION, WITH ACCURATELY SET FLOW LINES. LOW SPOTS OR PONDING OF SURFACE WATER WILL NOT BE ACCEPTED IN THE FINAL WORK. ROCKS OR DEBRIS WILL NOT BE ACCEPTED. FINAL GRADE TOLERANCES ARE +/-0.1 FOOT MAXIMUM.
12. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB AND RELATED STRUCTURES WITH OTHER TRADES.
13. RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
14. ALL PLANT BED AREAS SHALL BE PREPARED AS DESCRIBED IN WRITTEN SPECIFICATIONS. PROVIDE ANY SOIL AMENDMENTS REQUIRED TO ADEQUATELY ESTABLISH PLANT MATERIAL AND PREVENT REPLACEMENT.
15. PROVIDE (2) FERTILIZATION APPLICATIONS TO PLANT BEDS WITHIN THE FIRST GROWING SEASON.
16. TAKE NECESSARY SCHEDULING AND OTHER PRECAUTIONS TO AVOID WINTER, CLIMATIC, OR OTHER DAMAGE TO PLANTS.
17. PLANTING BEDS ARE TO BE SEPARATED FROM ADJACENT TURF AREAS WITH ALUMINUM EDGING PER WRITTEN SPECIFICATIONS. INSTALL AT LOCATIONS INDICATED ON DRAWINGS AND PER LANDSCAPE DETAILS.
18. CONTRACTOR SHALL DETERMINE THE NEED FOR TREE STAKING. IF DETERMINED NECESSARY, PROVIDE TREE STAKING AS DESCRIBED IN WRITTEN SPECIFICATIONS.
19. PROVIDE WARRANTY OF PLANT MATERIALS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
20. DECORATIVE STONE MULCH: "MISSISSIPPI, MEDIUM SIZE" AS PRODUCED BY HALQUIST STONE COMPANY (OR APPROVED EQUAL), 3" THICK. CONTACT JOSH KAYSAR @ 262-246-9000.
21. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS THE LANDSCAPE CONTRACTOR CAN DEMONSTRATE THE PLANTS ARE NOT AVAILABLE FROM NURSERY SOURCES LOCATED WITHIN 100 MILES FROM THE PROJECT SITE. ANY PROPOSED PLANT SUBSTITUTION WILL REQUIRE PRIOR REVIEW AND WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
22. FOR ANY TREES TO BE INSTALLED OR THAT MAY NEED TO BE REPLACED DUE TO CONSTRUCTION DAMAGE WITHIN THE RIGHT OF WAY, CITY FORESTER TO PROVIDE RECOMMENDED LOCATIONS AND SPECIES.



JLA ARCHITECTS

MADISON : MILWAUKEE  
jla-op.com

JLA PROJECT NUMBER: 19-0802



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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MAY 19, 2021

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

LANDSCAPE NOTES & DETAILS

SHEET NUMBER

L900

NOTICE: In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

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GALWAY COMPANIES

FIRST AND EAST WASHINGTON

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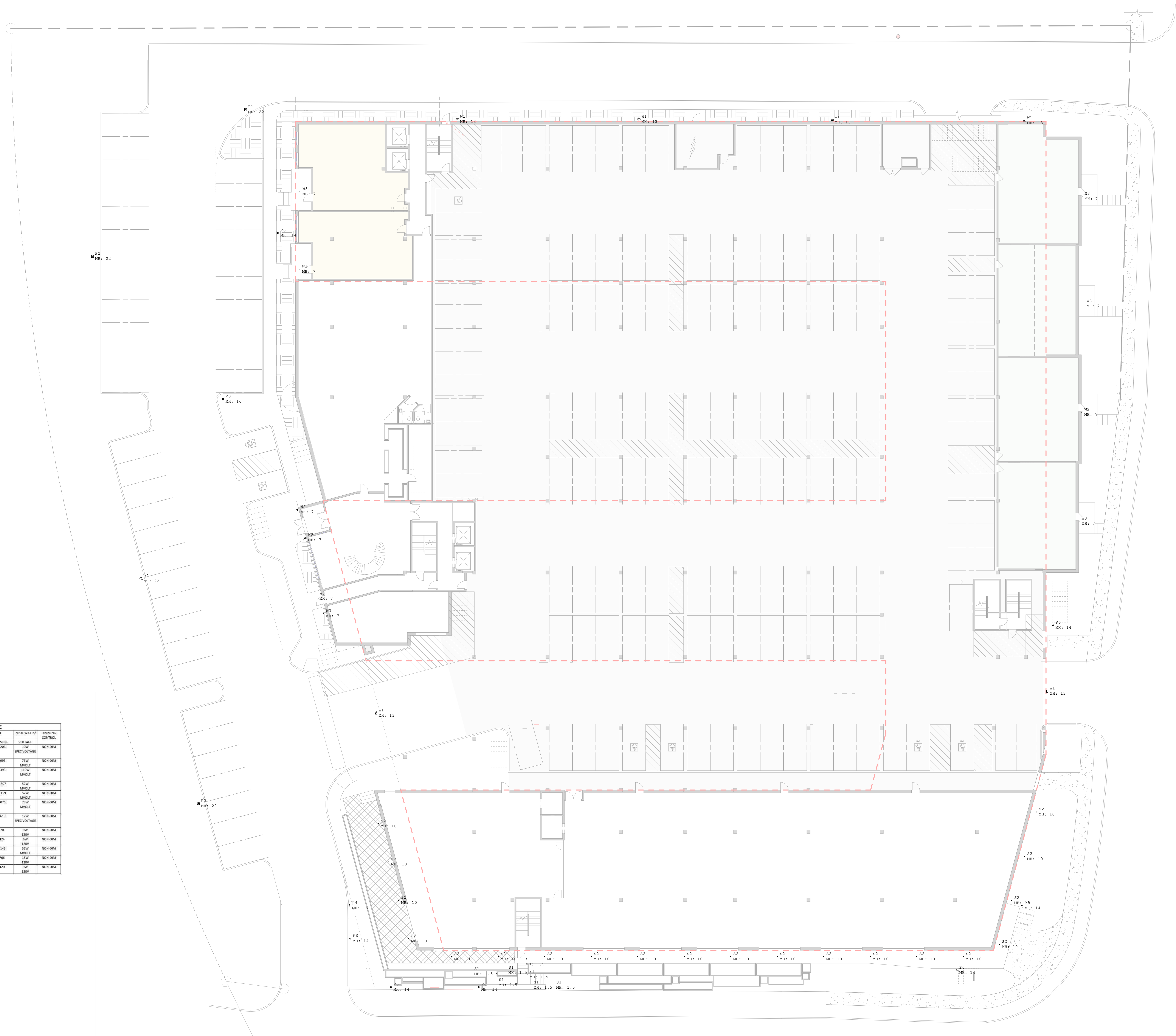
Mark	Description	Date

SHEET TITLE

GROUND FLOOR PLAN LIGHTS

SHEET NUMBER

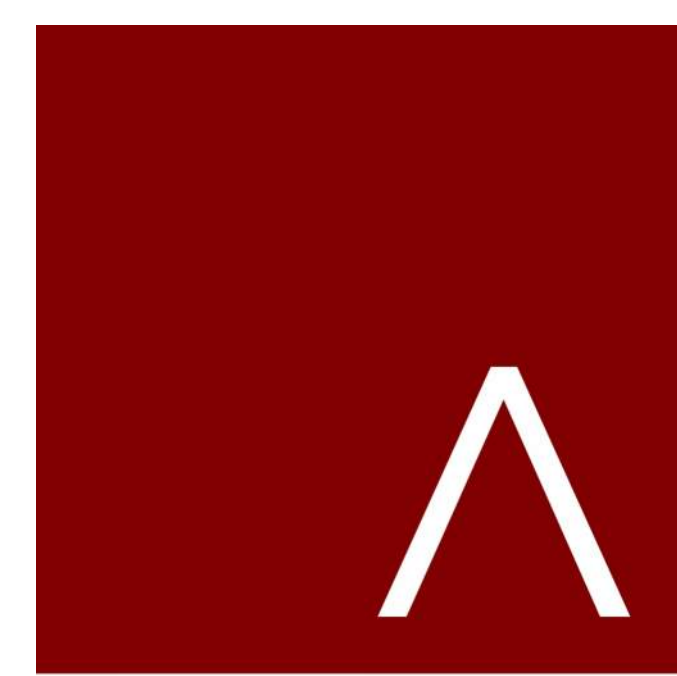
SL-E100



FIRST STREET AND EAST WASHINGTON EXTERIOR LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	PART NUMBER	LAMP SOURCE		INPUT WATTAGE	DIMMING CONTROL
				CCFL	LUMENS		
B1	4' HIGH TYPE 2 DISTRIBUTION BOLLARD - BLACK FINISH	LUMINGS	10927 11112-95 VOLTAGE BMT 6' LUM	3000	1200	20W SPEC VOLTAGE	NON DIM
P1	TYPE 2 FULL CUTOFF AREA LIGHT ON 4" ROUND STRAIGHT STEEL POLE - BLACK FINISH	ETHONA	8541 P2 30X 82 MVOULT BFA 08LAD	3000	8993	73W MVOULT	NON DIM
P2	TYPE 4 FULL CUTOFF AREA LIGHT WITH HOUSE SIDE SHIELD ON 4" ROUND STRAIGHT STEEL POLE - BLACK FINISH	ETHONA	8541 P3 30X 82 MVOULT BFA HS 08LAD	3000	9393	110W MVOULT	NON DIM
P3	TYPE 3 FULL CUTOFF AREA LIGHT ON 4" ROUND STRAIGHT STEEL POLE - BLACK FINISH	ETHONA	8541 P1 30X 82 MVOULT BFA 08LAD	3000	6387	52W MVOULT	NON DIM
P4	TYPE 4 FULL CUTOFF AREA LIGHT ON 4" ROUND STRAIGHT STEEL POLE - BLACK FINISH	ETHONA	8541 P2 30X 82 MVOULT BFA 08LAD	3000	6459	52W MVOULT	NON DIM
P5	TYPE 4 FULL CUTOFF AREA LIGHT WITH HOUSE SIDE SHIELD ON 4" ROUND STRAIGHT STEEL POLE - BLACK FINISH	ETHONA	8541 P3 30X 82 MVOULT BFA HS 08LAD	3000	9676	73W MVOULT	NON DIM
P6	TYPE 5 PEDESTAL SCALE 12' POLE - BLACK FINISH	LUMINGS	10941 11112-95 LOPW33 VOLTAGE BMT 12' H	3000	1619	17W SPEC VOLTAGE	NON DIM
S1	SURFACE MOUNT SINGLE GROUND STERILIGHT - BLACK FINISH	KUZZO	EW7343 BK	3000	70	9W	NON DIM
S2	SURFACE MOUNT DOWNLIGHT - BLACK TRIM FINISH	TRILLY GREEN	88 0506 4 TM CC ROCKY 8805-4 BL	3000	424	8W	NON DIM
W1	FULL CUTOFF TYPE 4 AREA LIGHT - BLACK FINISH	ETHONA	W0551 LED P3 30X 84 MVOULT SRM 08LAD	3000	7340	120W MVOULT	NON DIM
W2	DECORATIVE WALL SCORKE - GRANITE FINISH	KUZZO	EW7624 GH	3000	766	10W	NON DIM
W3	DECORATIVE WALL SCORKE - GRANITE FINISH	KUZZO	EW83104 GH	3000	420	9W	NON DIM

1 GROUND FLOOR PLAN LIGHTS  
1/16" = 1'-0"



JLA ARCHITECTS

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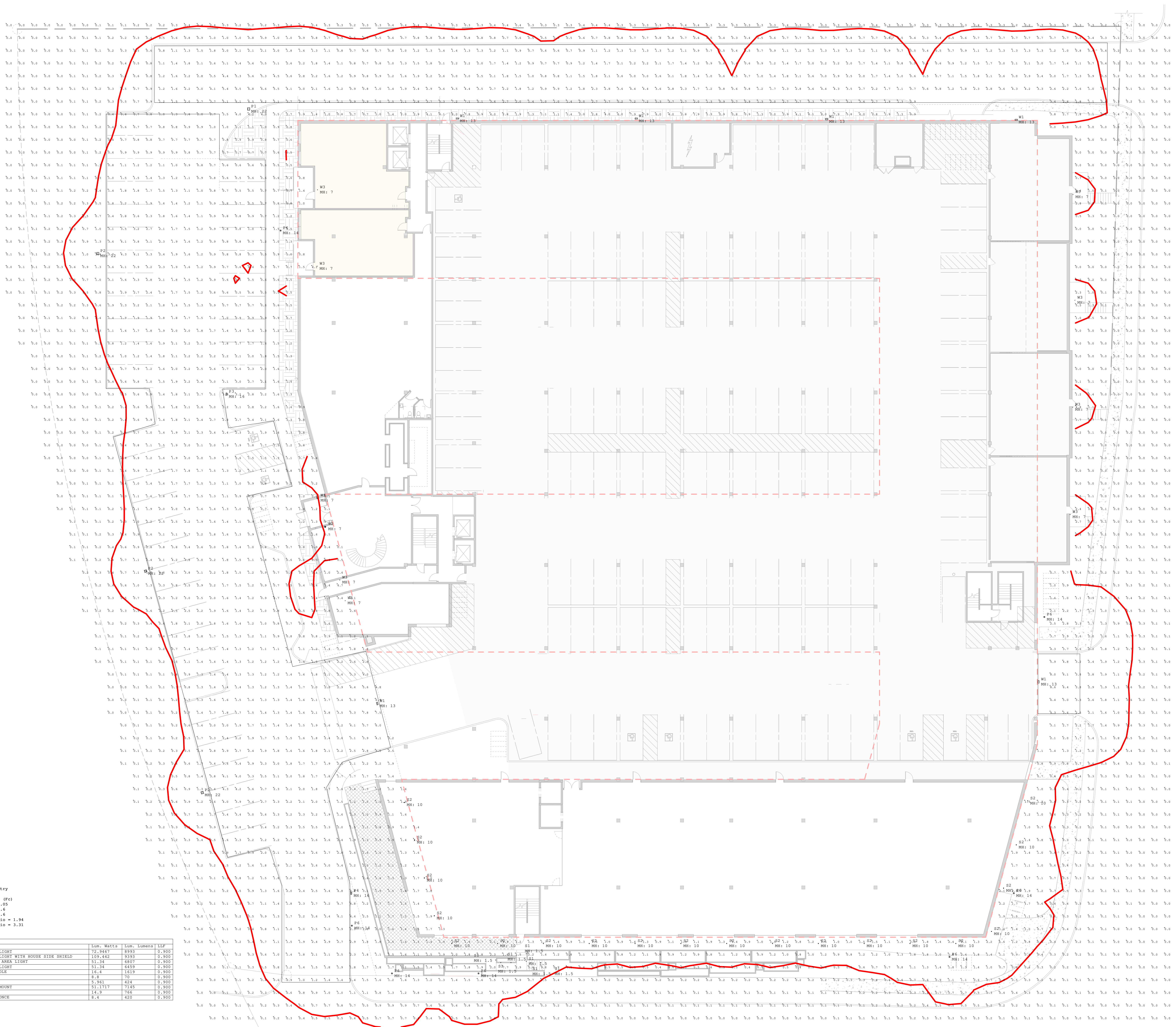
Mark	Description	Date
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SHEET TITLE

GROUND FLOOR PLAN CALCS

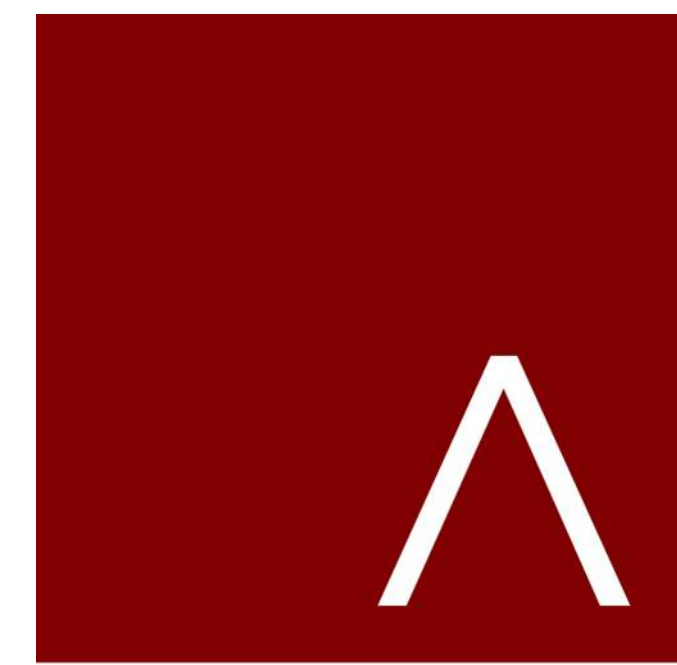
SHEET NUMBER

SL-E101



System	Qty	Label	Description	Min. WELLS	Min. Lumens	LF
1	P1	FXL1_LED_P1_30K_R2	TYPE 2 FULL CUTOFF AREA LIGHT	92,3461	8993	0.900
2	P2	FXL1_LED_P2_30K_R4_HS	TYPE 4 FULL CUTOFF AREA LIGHT WITH HOUSE SIDE SHIELD	109,1442	9393	0.900
3	P3	FXL1_LED_P3_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4807	0.900
4	P4	FXL1_LED_P4_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
5	P5	FXL1_LED_P5_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
6	P6	FXL1_LED_P6_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
7	P7	FXL1_LED_P7_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
8	P8	FXL1_LED_P8_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
9	P9	FXL1_LED_P9_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
10	P10	FXL1_LED_P10_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
11	P11	FXL1_LED_P11_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
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78	P78	FXL1_LED_P78_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
79	P79	FXL1_LED_P79_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
80	P80	FXL1_LED_P80_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
81	P81	FXL1_LED_P81_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
82	P82	FXL1_LED_P82_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
83	P83	FXL1_LED_P83_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
84	P84	FXL1_LED_P84_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
85	P85	FXL1_LED_P85_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
86	P86	FXL1_LED_P86_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
87	P87	FXL1_LED_P87_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
88	P88	FXL1_LED_P88_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
89	P89	FXL1_LED_P89_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
90	P90	FXL1_LED_P90_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
91	P91	FXL1_LED_P91_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
92	P92	FXL1_LED_P92_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
93	P93	FXL1_LED_P93_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
94	P94	FXL1_LED_P94_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
95	P95	FXL1_LED_P95_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
96	P96	FXL1_LED_P96_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
97	P97	FXL1_LED_P97_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
98	P98	FXL1_LED_P98_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
99	P99	FXL1_LED_P99_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900
100	P100	FXL1_LED_P100_30K_R3	TYPE 3 FULL CUTOFF AREA LIGHT	53,24	4459	0.900

GROUND FLOOR PLAN CALCS  
1/16" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRÄEF**

**GALWAY**  
COMPANIES

FIRST AND EAST  
WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MAY 19, 2021

**REVISION SCHEDULE**

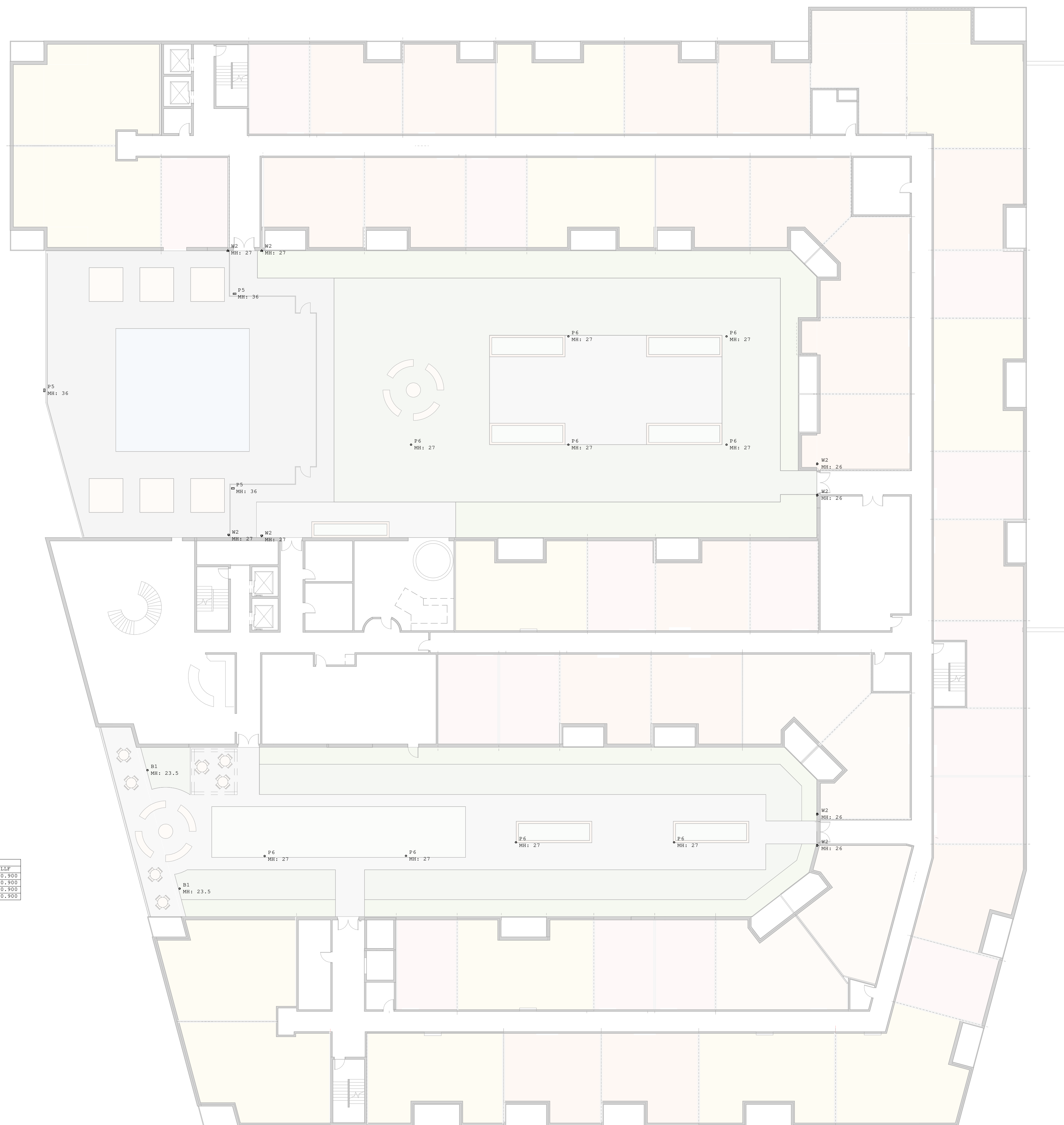
Mark	Description	Date

SHEET TITLE

**LEVEL 2 TERRACE  
PLAN LIGHTS**

SHEET NUMBER

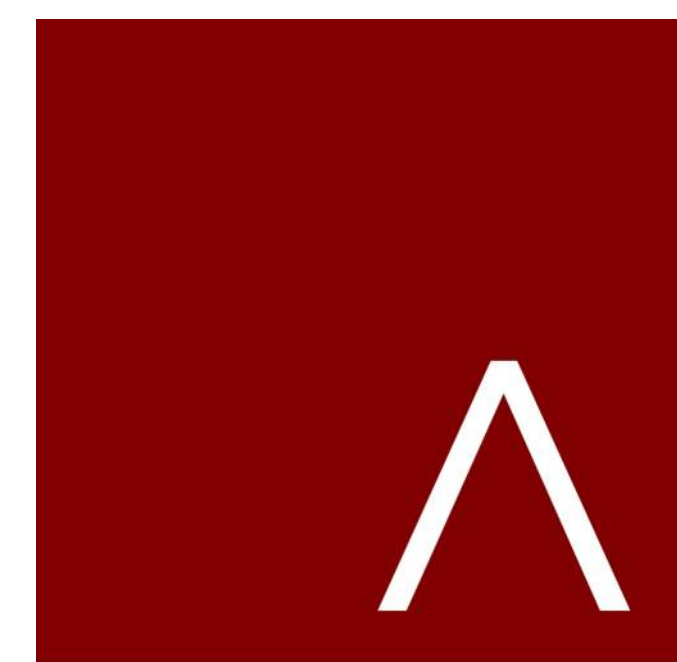
**SL-E102**



%%UNOTE:  
ALL SITE INFORMATION CONTAINED IN THIS CONCEPTUAL SITE PLAN - INCLUDING PROPERTY BOUNDARIES, WETLANDS, FLOOD PLANES, EASEMENTS, ETC.- HAVE BEEN ACQUIRED THROUGH PUBLICLY AVAILABLE INFORMATION. JLA ARCHITECTS DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. AS THE PROJECT PROGRESSES, OWNER SHALL OBTAIN A CURRENT, COMPLETE, AND ACCURATE SITE SURVEY.

Symbol	Qty	Tag	Label	Description	Len. Watts	Len. Lumens	LM
○	2	B1	1200-1-1110-B2	42" WOOD HOLLAND	120	13200	0.3000
□	3	P5	R3X1-180-P2-30X-R4	FULL CUTOFF TYPE 4 AREA LIGHT	72.95	9076	0.3000
○	10	P6	20X1-1110-P5	FULL CUTOFF PARABOLICIAN VOLE	14.4	1419	0.3000
□	8	B2	EM7924-08 - Bevis	DECORATIVE SCENE	14.9	766	0.3000

① LEVEL 2 FLOOR PLAN LIGHTS  
1/16" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LEVEL 2 TERRACE  
PLAN CALCS

SHEET NUMBER

SL-E103

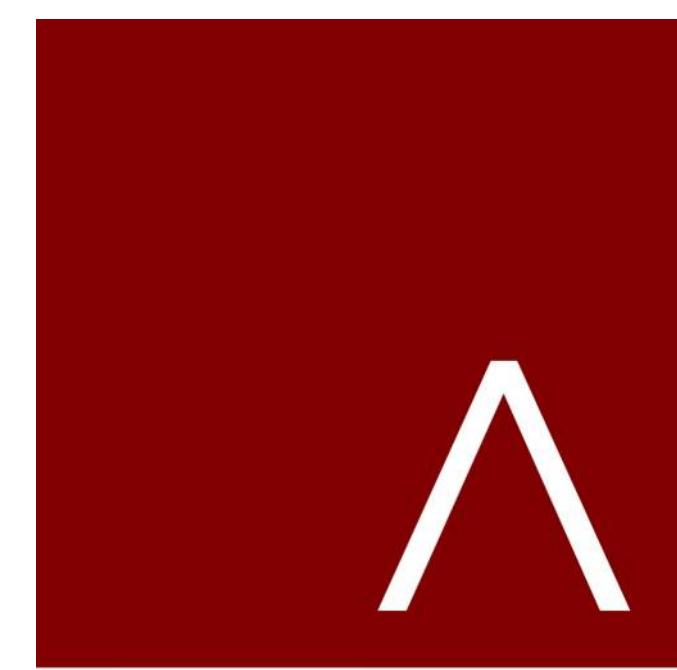


Pool Surface  
Illuminance (Fc)  
Average = 3.46  
Maximum = 4.7  
Minimum = 2.9  
Avg/Min Ratio = 1.19  
Max/Min Ratio = 1.62

%%UNOTE:  
ALL SITE INFORMATION CONTAINED IN THIS CONCEPTUAL SITE PLAN - INCLUDING PROPERTY BOUNDARIES, WETLANDS, FLOOD PLANES, EASEMENTS, ETC.- HAVE BEEN ACQUIRED THROUGH PUBLICLY AVAILABLE INFORMATION. JLA ARCHITECTS DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. AS THE PROJECT PROGRESSES, OWNER SHALL OBTAIN A CURRENT, COMPLETE, AND ACCURATE SITE SURVEY.

Symbol	Qty	Tag	Label	Description	Len. Watts	Lum. Lumens	LEF
○	2	R1	LO427-11110-R2	42 INCH HOLLAND	10	2100	0.300
○	3	P5	R041-LED-F5_30K_R4	FULL CUTOFF TYPE 4 AREA LIGHT	72.95	8076	0.300
○	10	P6	LO461-11115-R5	FULL CUTOFF PEDESTRIAN POLE	16.4	1819	0.300
○	8	M2	EXT212308 - Nolis	RECREATIVE SOURCE	14.9	749	0.300

① LEVEL 2 FLOOR PLAN CALCS  
1/16" = 1'-0"



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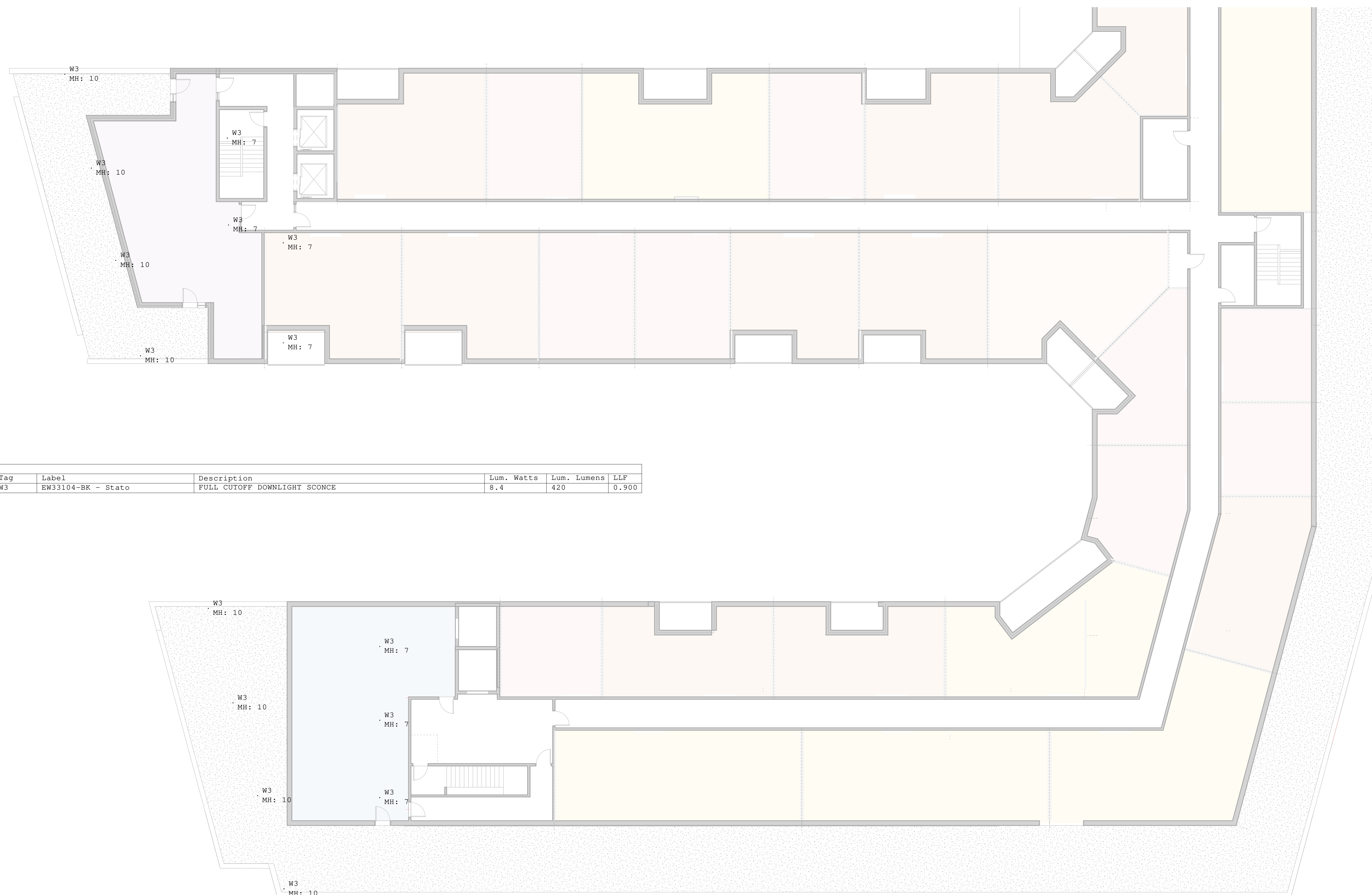
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LEVEL 6 TERRACE  
PLAN LIGHTS

SHEET NUMBER

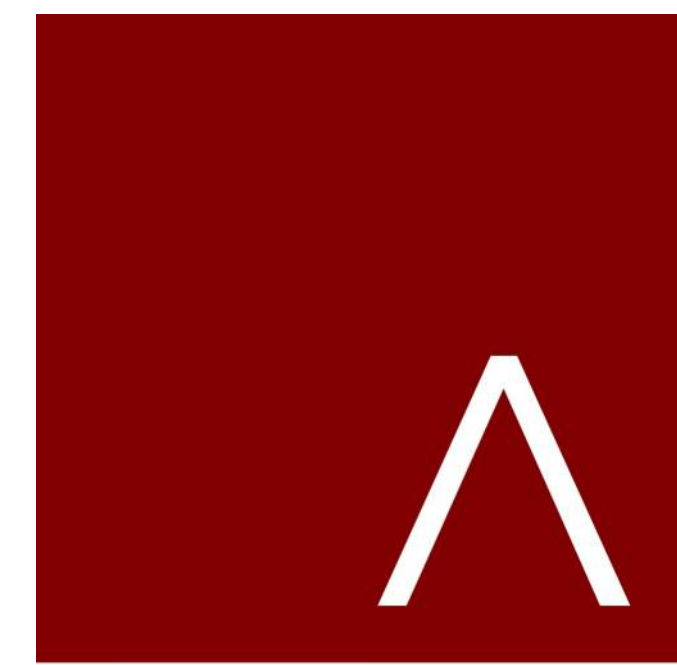
SL-E104



Luminaire Schedule						
Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens LLP
○	15	W3	EW33104-BK - Stato	FULL CUTOFF DOWNLIGHT SCENCE	8.4	420 0.900

① LEVEL 6 TERRACE LIGHTS  
3/27" = 1'-0"





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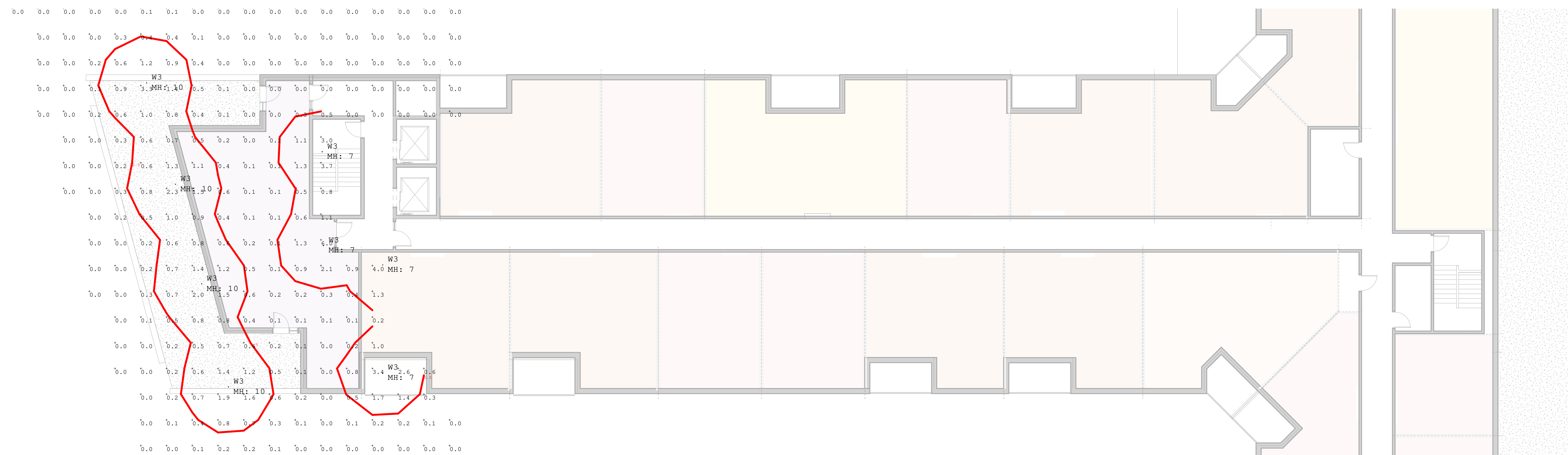
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Mark	Description	Date

SHEET TITLE

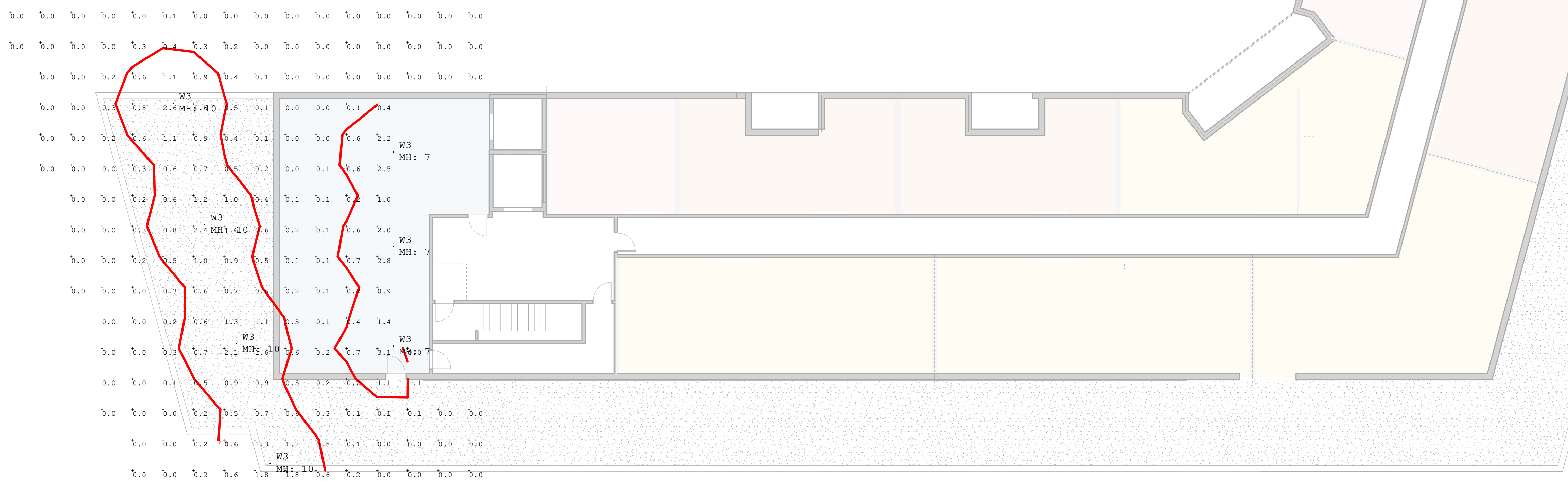
LEVEL 6 TERRACE  
PLAN CALCS

SHEET NUMBER

SL-E105



Luminaire Schedule						
Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens LLF
○	15	W3	EW33104-BK - Stato	FULL CUTOFF DOWNLIGHT SCENCE	8.4	420 0.900



1 LEVEL 6 TERRACE PLAN CALCS  
3/32" = 1'-0"



## RSX1 LED Area Luminaire



**Specifications**

EPA (H\*W): 0.57 ft<sup>2</sup> (0.05 m<sup>2</sup>)

Length: 21.8" (55.4 cm) (SPA mount)

Width: 13.3" (33.8 cm)

Height: 3.0" (7.6 cm) Main Body  
7.2" (18.4 cm) Arm

Weight: 22.0 lbs (10.0 kg)

**Introduction**

The new RSX1 LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing photometric patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

### Ordering Information

**EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DBXB**

RSX1 LED	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K	R2	120V	SPA
	P2	40K	R3	277V	RPA
	P3	50K	R4	347V	MA
	P4	50K	R5 </td <td>347V</td> <td>IS</td>	347V	IS

**Options**

Shipped Installed	Shipped Separately	Finish
IS - Insect shield	DBXD - Dark Bronze	
PE - Photometric pattern (optional)	DBWD - White	
PCB - Photometric control board, adjustable	DBWD - White	
PR2 - Sensor white matte (not compatible with PC)	DBRD - Industrial Dark Bronze	
CE34 - Control every 1/4" (6.35 mm)	DBRD - Industrial Dark Bronze	
DF - Double front (50K, 347, 480V)	DBRD - Industrial Dark Bronze	
SP200V - 200V Surge pack (200V standard)	DBRD - Industrial Dark Bronze	
ES - External glare shield	DBRD - Industrial Dark Bronze	
EGV - External glare visor (360° around light output)	DBRD - Industrial Dark Bronze	
IS - Insect shield	DBRD - Industrial Dark Bronze	

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**Accessories**

**NOTES:**

- Type 1 distribution, best available with WBA.
- WBA is not available with the following: P1, P2, P3, P4, P5, P6, P7, P8, P9, P10, P11, P12, P13, P14, P15, P16, P17, P18, P19, P20, P21, P22, P23, P24, P25, P26, P27, P28, P29, P30, P31, P32, P33, P34, P35, P36, P37, P38, P39, P40, P41, P42, P43, P44, P45, P46, P47, P48, P49, P50, P51, P52, P53, P54, P55, P56, P57, P58, P59, P60, P61, P62, P63, P64, P65, P66, P67, P68, P69, P70, P71, P72, P73, P74, P75, P76, P77, P78, P79, P80, P81, P82, P83, P84, P85, P86, P87, P88, P89, P90, P91, P92, P93, P94, P95, P96, P97, P98, P99, P100, P101, P102, P103, P104, P105, P106, P107, P108, P109, P110, P111, P112, P113, P114, P115, P116, P117, P118, P119, P120, P121, P122, P123, P124, P125, P126, P127, P128, P129, P130, P131, P132, P133, P134, P135, P136, P137, P138, P139, P140, P141, P142, P143, P144, P145, P146, P147, P148, P149, P150, P151, P152, P153, P154, P155, P156, P157, P158, P159, P160, P161, P162, P163, P164, P165, P166, P167, P168, P169, P170, P171, P172, P173, P174, P175, P176, P177, P178, P179, P180, P181, P182, P183, P184, P185, P186, P187, P188, P189, P190, P191, P192, P193, P194, P195, P196, P197, P198, P199, P200, P201, P202, P203, P204, P205, P206, P207, P208, P209, P210, P211, P212, P213, P214, P215, P216, P217, P218, P219, P220, P221, P222, P223, P224, P225, P226, P227, P228, P229, P230, P231, P232, P233, P234, P235, P236, P237, P238, P239, P240, P241, P242, P243, P244, P245, P246, P247, P248, P249, P250, P251, P252, P253, P254, P255, P256, P257, P258, P259, P260, P261, P262, P263, P264, P265, P266, P267, P268, P269, P270, P271, P272, P273, P274, P275, P276, P277, P278, P279, P280, P281, P282, P283, P284, P285, P286, P287, P288, P289, P290, P291, P292, P293, P294, P295, P296, P297, P298, P299, P300, P301, P302, P303, P304, P305, P306, P307, P308, P309, P310, P311, P312, P313, P314, P315, P316, P317, P318, P319, P320, P321, P322, P323, P324, P325, P326, P327, P328, P329, P330, P331, P332, P333, P334, P335, P336, P337, P338, P339, P340, P341, P342, P343, 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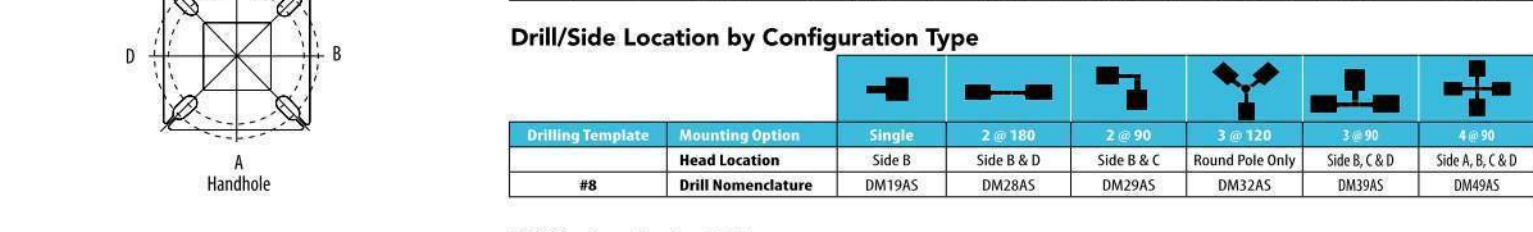


### Pole/Mounting Information

Accessories including ballhorns, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit Accessories.

**Round Tenon Mount - Pole Top Slipfitters**

Slipfitter	Part Number	Part Number	Part Number	Part Number	Part Number	Part Number
1.5"	801-100	801-100	801-100	801-100	801-100	801-100
2.0"	801-100	801-100	801-100	801-100	801-100	801-100
2.5"	801-100	801-100	801-100	801-100	801-100	801-100
3.0"	801-100	801-100	801-100	801-100	801-100	801-100

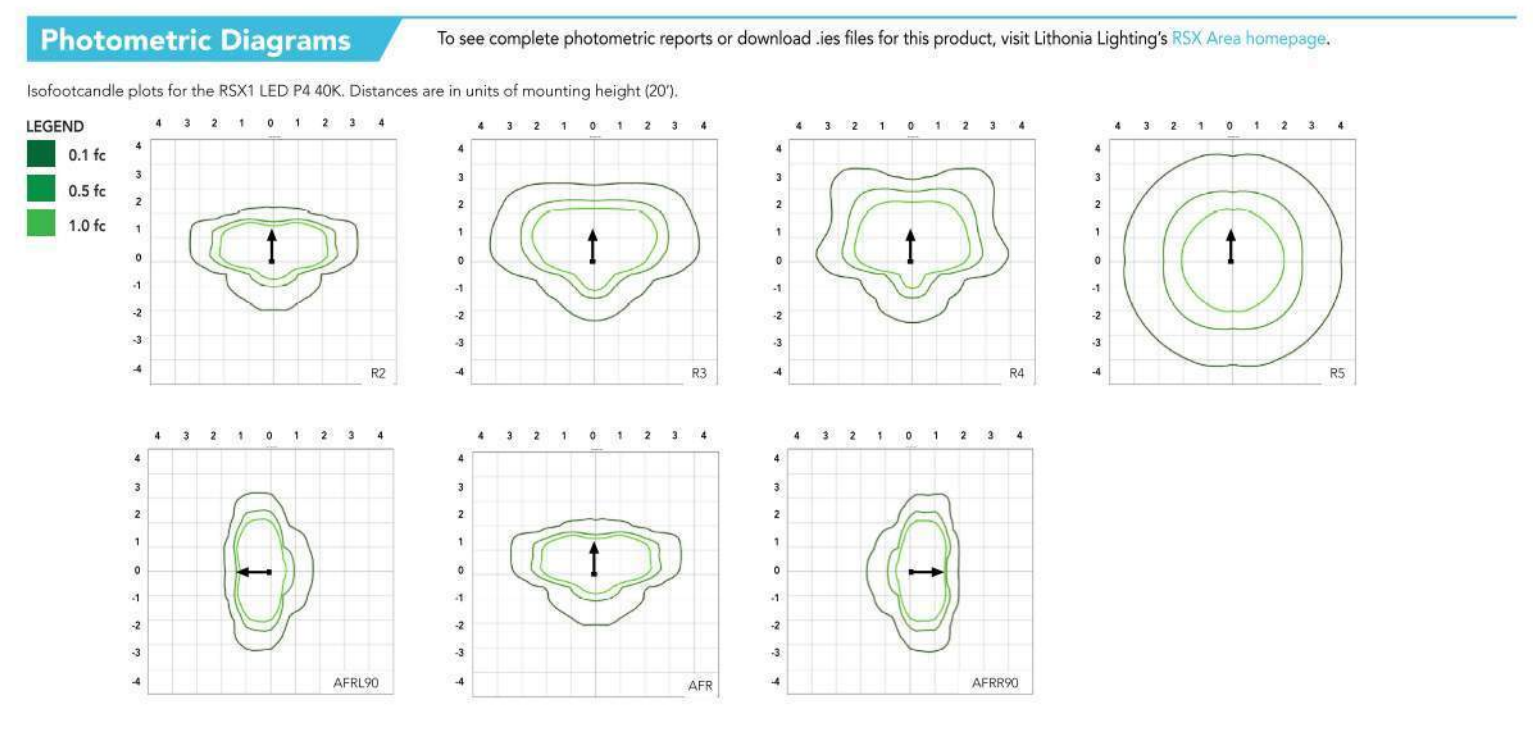


**RSX1 - Luminaire EPA**

Includes luminaire and integral mounting arm. Other sensors, arms, brackets or other accessories are not included in this EPA data.

Mounting Type	1.5"	2.0"	2.5"	3.0"	3.5"	4.0"	4.5"	5.0"
1.5"	0.57	1.03	1.50	1.97	2.44	2.91	3.38	3.85
2.0"	0.57	1.03	1.50	1.97	2.44	2.91	3.38	3.85
2.5"	0.57	1.03	1.50	1.97	2.44	2.91	3.38	3.85
3.0"	0.57	1.03	1.50	1.97	2.44	2.91	3.38	3.85
3.5"	0.57	1.03	1.50	1.97	2.44	2.91	3.38	3.85
4.0"	0.57	1.03	1.50	1.97	2.44	2.91	3.38	3.85
4.5"	0.57	1.03	1.50	1.97	2.44	2.91	3.38	3.85
5.0"	0.57	1.03	1.50	1.97	2.44	2.91	3.38	3.85

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**Performance Data**

See beam factor to determine relative lumen output for average ambient temperature from 9.5°C (50°F) to 32°C (90°F).

Temperature	System Watts (W)	1000	2000	3000	4000	5000	6000	7000	8000	9000	10000
9.5°C	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17
15°C	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17
20°C	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17
25°C	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17
30°C	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17
35°C	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17
40°C	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17
45°C	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17
50°C	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17	1.17

**Projected LED Lumen Maintenance**

Operating Hours	50,000	75,000	100,000
1000	0.92	0.92	0.92
2000	0.85	0.85	0.85
3000	0.78	0.78	0.78
4000	0.71	0.71	0.71
5000	0.64	0.64	0.64
6000	0.57	0.57	0.57
7000	0.50	0.50	0.50
8000	0.43	0.43	0.43
9000	0.36	0.36	0.36
10000	0.29	0.29	0.29

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**Performance Data**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact us for performance data on any configurations not shown here.

Performance Package	System Watts (W)	1000	2000	3000	4000	5000	6000	7000	8000	9000	10000	
P1	31W	82	6482	12964	19446	25928	32410	38892	45374	51856	58338	64820
		83	6489	12978	19467	25952	32438	38924	45410	51896	58382	64864
		84	6496	12992	19488	25972	32458	38944	45430	51916	58408	64888
		85	6503	13006	19508	26002	32478	38964	45450	51936	58432	64912
		86	6510	13020	19528	26022	32498	38984	45470	51956	58456	64936
		87	6517	13034	19548	26042	32518	39004	45490	51976	58480	64960
		88	6524	13048	19568	26062	32538	39024	45510	51996	58504	64984
		89	6531	13062	19588	26082	32558	39044	45530	52016	58528	65008
		90	6538	13076	19608	26102	32578	39064	45550	52036	58552	65032
		91	6545	13090	19628	26122	32598	39084	45570	52056	58576	65056
P2	72W	82	8659	17318	25977	34646	43315	51984	60653	69322	77991	86660
		83	8667	17332	25997	34666	43335	51994	60663	69332	77991	86660
		84	8674	17346	26017	34686	43355	52004	60673	69342	77991	86660</





# WDGE3 LED Architectural Wall Sconce



## Specifications

Depth (D1):	8"
Depth (D2):	1.5"
Height:	9"
Width:	18"
Weight (without options):	19.5 lbs

## WDGE LED Family Overview

Luminaire	Standard DR, 0°	Gold DR, 30°	Sensor	P1	P2	Lumens (3000K)				
WDGE1LED	4R	---	---	5,200	2,200	---	---	---	---	---
WDGE2LED	1SR	1SR	Standard / High	3,200	3,200	3,000	4,500	6,000	---	---
WDGE3LED	1SR	1SR	Standard / High	7,500	8,500	10,000	12,000	---	---	---
WDGE4LED	---	---	Standard / High	12,000	16,000	18,000	20,000	22,000	25,000	---

## Ordering Information

EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DRBXD

Series	Package	Color Temperature	CR	Distribution	Voltage	Mounting	Shipped Separately
WDGE3LED	P1	300K	70CR	R2	Type 2	MVOLT	AWSS
	P2	400K	80CR	R2	Type 3	347	SRM
	P3	500K	80CR	R4	Type 4	480	SRM
	P4	---	---	---	---	---	---

Options	Options	Options
<b>E15WH</b> Emergency battery backup. Certified in CA for 2004/08/05/10/15/20 min.	<b>Standards Sensor/Control</b> <b>PIR</b> Bi-level (100/15%) motion sensor for 8-15' mounting heights. Intended for use unswitched (on) with external dusk/dawn setting.	<b>DRBXD</b> Dark bronze. Die-cast aluminum body with clear tempered glass cover and multi-faceted aluminum reflector.
<b>EDWVC</b> Emergency battery backup. Certified in CA for 2004/08/05/10/15/20 min.	<b>PIRH</b> Bi-level (100/15%) motion sensor for 15-30' mounting heights with photo-cell pre-programmed for dusk-to-dawn operation.	<b>DRWH</b> White. Die-cast aluminum body with clear tempered glass cover and multi-faceted aluminum reflector.
<b>PE</b> Photo-cell. Ambient light sensor.	<b>PIRHCY</b> Bi-level (100/15%) motion sensor for 15-30' mounting heights with photo-cell pre-programmed for dusk-to-dawn operation.	<b>DRBK</b> Black. Die-cast aluminum body with clear tempered glass cover and multi-faceted aluminum reflector.
<b>DMC</b> 0-10V dimming wire pulled across fixture. Dimmer switch required. (not included).	<b>PIRHCV</b> Bi-level (100/15%) motion sensor for 15-30' mounting heights with photo-cell pre-programmed for dusk-to-dawn operation.	<b>DRDZ</b> Dark bronze. Die-cast aluminum body with clear tempered glass cover and multi-faceted aluminum reflector.
<b>KCE</b> Krypton condenser eye for both hot (PIRH) and cold (PIRHCV) sensors.	<b>NEWLED Sensor/Control</b> <b>NL2AIR PIR</b> 40ghz/AR wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. Range: 150' max. (no battery).	<b>DRDZ</b> Dark bronze. Die-cast aluminum body with clear tempered glass cover and multi-faceted aluminum reflector.
<b>SPDXY</b> 30W surge pack.	<b>NL2AIR PIRH</b> 40ghz/AR wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. Range: 150' max. (no battery).	<b>DRWH</b> White. Die-cast aluminum body with clear tempered glass cover and multi-faceted aluminum reflector.

Accessories
WDGE3LED-DRBXD: DRBXD die-cast aluminum body with clear tempered glass cover and multi-faceted aluminum reflector.
WDGE3LED-DRWH: DRWH die-cast aluminum body with clear tempered glass cover and multi-faceted aluminum reflector.
WDGE3LED-DRBK: DRBK die-cast aluminum body with clear tempered glass cover and multi-faceted aluminum reflector.

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## Performance Data

Performance Package	System Watt	PFC Type	40K (4000K, 70 CRI)					50K (5000K, 70 CRI)					
			Lumens	LPW	U	V	G	Lumens	LPW	U	V	G	
P1	57W	R2	R2	7,507	136	1	0	1	7,698	148	2	0	1
			R3	6,922	124	1	0	2	7,524	145	1	0	2
			R4	7,533	138	1	0	2	7,753	150	1	0	2
			RT	6,985	125	1	0	2	7,392	147	1	0	2
P2	59W	R2	R2	7,968	135	2	0	1	8,661	147	2	0	1
			R3	7,838	133	1	0	2	8,519	144	1	0	2
			R4	8,077	137	1	0	2	8,779	149	1	0	2
			RT	7,509	134	1	0	2	8,397	146	2	0	2
P3	77W	R2	R2	9,404	152	2	0	1	10,223	143	2	0	1
			R3	9,250	150	2	0	2	10,054	141	2	0	2
			R4	9,532	154	2	0	2	10,361	145	2	0	2
			RT	9,334	151	2	0	2	10,146	142	2	0	2
P4	80W	R2	R2	11,380	159	2	0	1	12,369	140	2	0	1
			R3	11,194	157	2	0	2	12,167	138	2	0	2
			R4	11,525	159	2	0	2	12,328	142	2	0	2
			RT	11,295	158	2	0	2	12,277	139	2	0	2

## Electrical Load

Performance Package	System Watt	120V	208V	240V	277V	347V	480V
P1	57W	0.437	0.246	0.213	0.136	0.156	0.110
P2	59W	0.448	0.247	0.213	0.220	0.170	0.126
P3	77W	0.598	0.346	0.300	0.262	0.216	0.152
P4	80W	0.727	0.424	0.373	0.333	0.260	0.190

## Lumen Output in Emergency Mode (4000K, 70 CRI)

Option	CR Type	CR	Value
E15WH	R2	1	3,135
	R3	1	3,131
	R4	1	3,229
	RT	1	3,162
EDWVC	R2	1	3,669
	R3	1	3,669
	R4	1	3,779
	RT	1	3,642

## Lumen Ambient Temperature (LAT) Multipliers

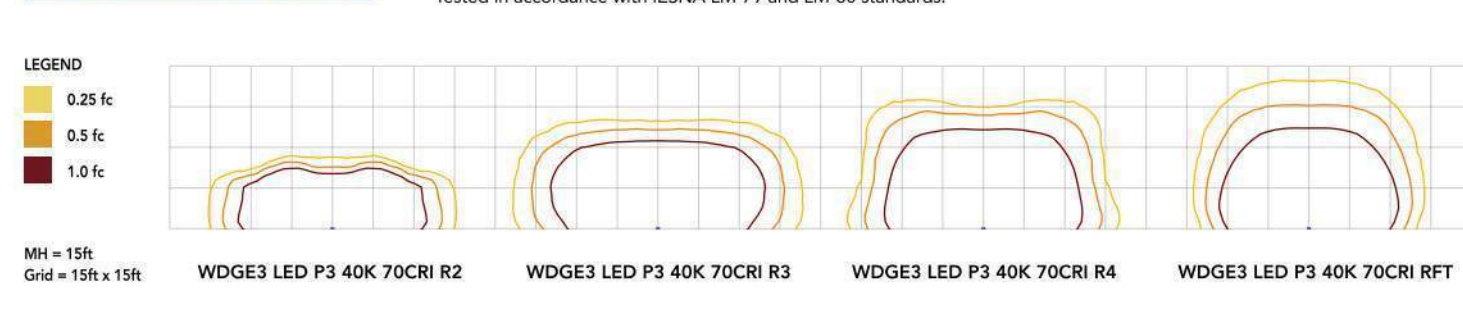
Ambient	Lumens Multiplier	
0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

## Projected LED Lumen Maintenance

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>=0.98	>=0.97	>=0.92

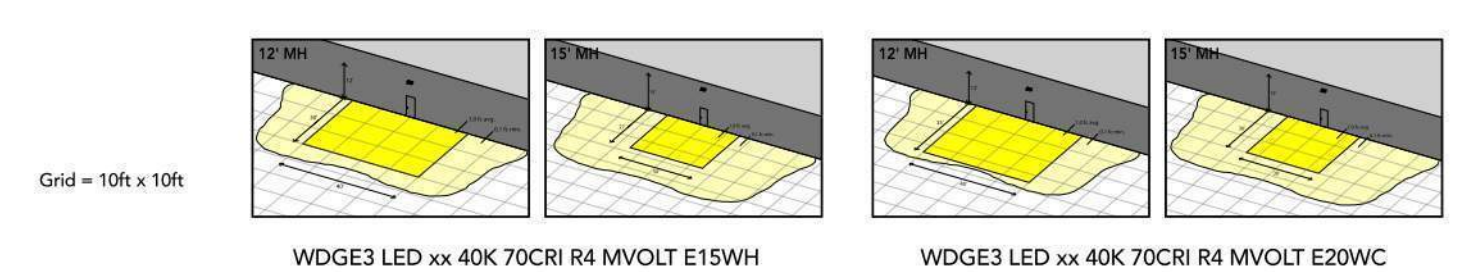
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## Photometric Diagrams



## Emergency Egress Options

**Emergency Battery Backup**  
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain minimum of 60% of the light output at the end of 90 minutes.



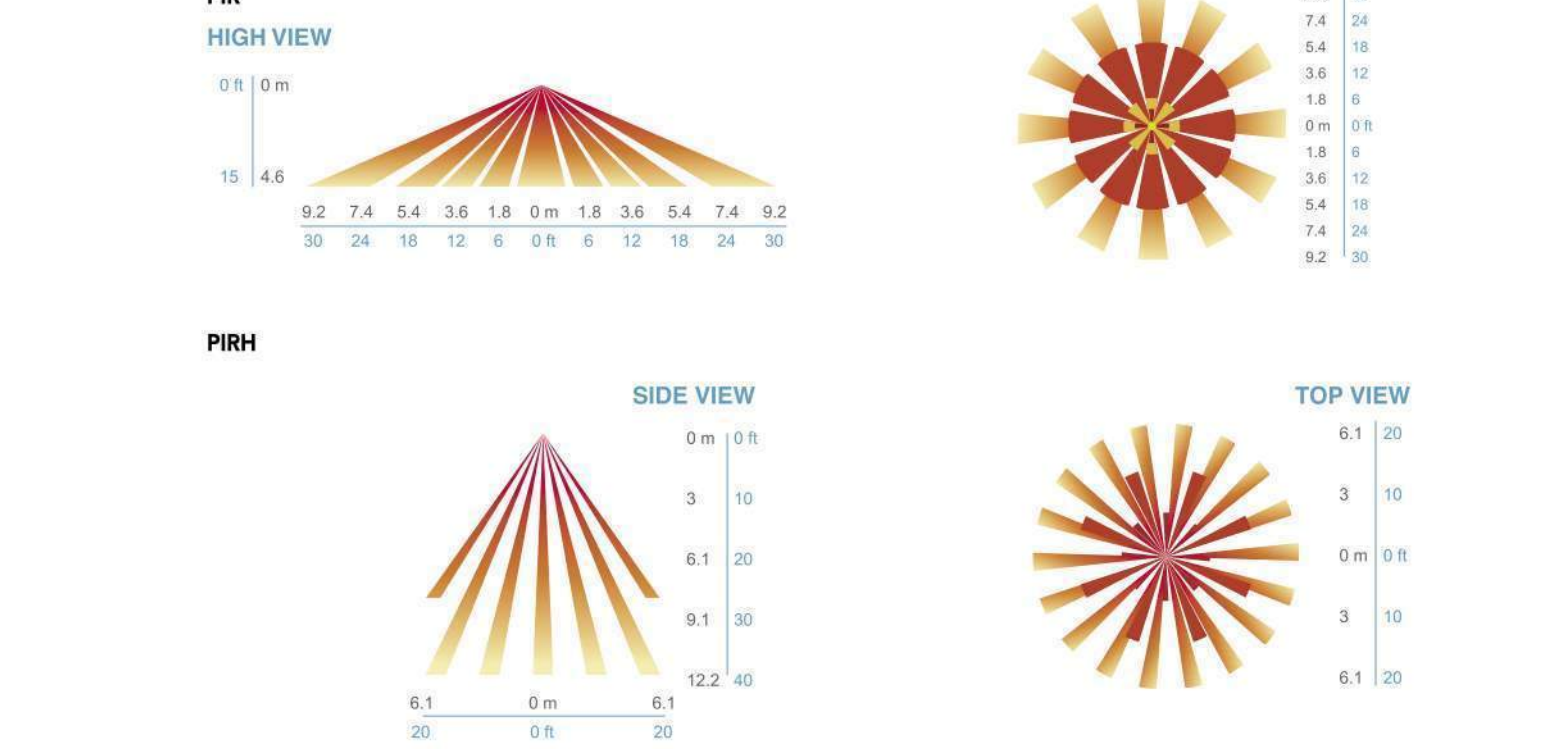
Grid = 10ft x 10ft

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## Control / Sensor Options

**Motion/Ambient Sensor (PIR, PIRH)**  
Motion/Ambient sensor (Sensor Switch MOC2) is integrated into the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photo-cell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

**Networked Control (NL2AIR2)**  
nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLARITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.



## Motion/Ambient Sensor Default Settings

Option	Dim Level	High Level	PhotoCell	Motion Time	Emergency Time	Emergency Dim
PIR or PIRH	Motion - 3% (17% of full output) PhotoCell - 0% (turned off)	10% (100% output)	Enabled @ 5K	5 min	5 min	Motion - 3 sec PhotoCell - 45 sec
PIRHCY or PIRHCYV	Motion - 3% (17% of full output) PhotoCell - 0% (turned off)	10% (100% output)	Enabled @ 5K	5 min	5 min	Motion - 3 sec PhotoCell - 45 sec
NL2AIR2 PIR, NL2AIR2 PIRH (out of box)	Motion - 3% (17% of full output) PhotoCell - 0% (turned off)	10% (100% output)	Enabled @ 5K	7.5 min	5 min	Motion - 3 sec PhotoCell - 45 sec

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## Mounting, Options & Accessories

**NL2AIR2 PIR - nLight AIR Motion/Ambient Sensor**  
D = 8"  
H = 11"  
W = 18"

**PBW - Surface Mounted Back Box**  
When there is no junction box available.  
D = 1.75"  
H = 9"  
W = 18"

**AWS - 3/8inch Architectural Wall Spacer**  
D = 0.38"  
H = 0.4"  
W = 2.5"

**FEATURES & SPECIFICATIONS**

**INTENDED USE**  
Common architectural look with clean, minimalist shape, the WDGE3 LED was designed to blend with any type of construction, whether it be brick, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

**CONSTRUCTION**  
The single-piece die-cast aluminum housing to optimize thermal transfer from the light engine and provide long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP60 rating for the luminaire.

**FINISH**  
Exterior painted parts are protected by a zinc-infused Super Durable TG-176 thermoplastic powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 2-mil thickness for a finish that can withstand extreme climate change without cracking or peeling. Standard Super Durable color includes dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

**OPTICS**  
Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the area where it is most needed. Light engines are available in 3000 K, 4000 K or 5000 K configurations. The WDGE3 LED has zero up-light and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the IES08 and Green Glitters™ criteria for eliminating wasteful uplight.

**ELECTRICAL**  
Light engine consists of high-efficiency LEDs mounted to metal core circuit boards to maximize heat dissipation and promote long life (up to 50,000 hours at 25°C). The electronic driver has a power factor of >=0.90, THD <=20%. Luminaire comes with built-in DALI range protection, which meets a minimum Category C low-voltage lamp ANSI/IEEE C62-41.5.

**INSTALLATION**  
A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The CW option can be used to mount the luminaire (intended for indoor lighting in dry and damp locations). Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

**LISTINGS**  
CEC certified to U.S. and Canadian standards. Light engines are PSE rated, luminaire is PSE listed. PIR options are listed for wet locations. Rated for 400+ minimum ambient. Design Light Consortium (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.dlc.com to confirm which versions are qualified. International Dark Sky Association (IDA) Future Proof of Approval (FPA) is available for all products on this page utilizing 3000K color temperature and DIM dimming only.

**BUY AMERICAN**  
This product is assembled in the USA and meets the Buy American's government procurement requirements under FAR, DFARS and DOD. Please refer to www.lithonia.com for additional information.

**WARRANTY**  
5-year limited warranty. Complete warranty terms located at: www.lithonia.com/warranty

**Note:** Actual performance may differ as a result of end user environment and application. All values are based on typical values measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

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**NAGA EW7624 WALL**

**PROJECT**

**SPECIFICATION DETAILS**  
\* For custom options, consult factory for details.

Fixture Dimensions	W2" x H24" x E2.14"
Light Source	LED
Wattage	20W
Total Lumens	1000lm
Delivered Lumens	850lm
Voltage	120V
Color Temperature	3000K
CR (Ra)	>=90
Optional Color Temp	2700K - 5000K Available, Minimum Order Quantities Apply
LED Rated Life	50,000 hours
Dimming	100% - 10%, EV Dimmer (Not Included)
Diffuser Details	White PC Diffuser
Location	Indoor
Warranty	5 Years
ADA Compliant	Yes
Canopy Dimensions	W4.12" x H4.12" x E1.2"

**CUT SHEETS**

EW7624-GH Graphite  
EW7624-WH White

Wet Rated  
Metal Finish GH - Graphite WH - White

15'-0"

4'-10"

2"

4'-10"

24"

1 1/2"

2'-11/4"

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**STATO EW33104 WALL**

**PROJECT**

**SPECIFICATION DETAILS**  
\* For custom options, consult factory for details.

Fixture Dimensions	W4" x H4" x E1.12"
Light Source	LED with DC Driver
Wattage	2W
Total Lumens	84lm
Delivered Lumens	84-420lm
Voltage	120-277V
Color Temperature	3000K
CR (Ra)	>=80
Optional Color Temp	2700K - 5000K Available, Minimum Order Quantities Apply
LED Rated Life	50,000 hours
Dimming	Non-Dimming
Diffuser Details	Clear Glass - Parabolic Aluminum Reflector
Location	Wet, IP65
Warranty	5 Years
Canopy Dimensions	W4.58" x H4.58" x E1.6"

**CUT SHEETS**

EW33104-BK Black  
EW33104-WH White  
EW33104-GH Graphite

1/8"

4-5/8"

4-1/2"

4"

4"

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WDGE3 LED CUT SHEETS

NAGA EW7624 CUT SHEETS

STATO EW33104 CUT SHEETS

**JLA ARCHITECTS**  
MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 19-0802

**GRAEF GALWAY COMPANIES**

## FIRST AND EAST WASHINGTON

LAND USE APPLICATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

Mark	Description	Date

DATE OF ISSUANCE: MAY 19, 2021

REVISION SCHEDULE

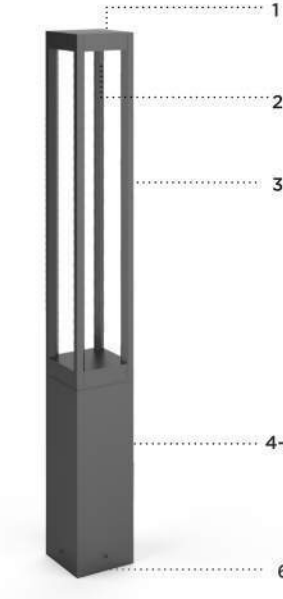
SHEET TITLE: LIGHTING CUT SHEETS

SHEET NUMBER: SL-E602

LUMINIS

LQ627 SERIES  
Lumiquad - LED  
6" BOLLARD

TYPE: QUANTITY: PROJECT:  
CATALOG NUMBER: FIXTURE SUFFIX VOLTAGE FINISH OPTION OPTION OPTION



1. Heavy cast aluminum top cover
2. Optical system assembly
3. Ax extruded aluminum struts
4. Cast aluminum driver housing
5. 6" (152mm) x 6" (152mm) extruded aluminum square body
6. Cast aluminum mounting base



**MATERIALS**  
Lumiquad bollard is made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%.

**ELECTRICAL DRIVER**  
Standard driver is 0-10V dimming-ready (dim to 10%) with 100-277 multi-volt compatibility (50-60Hz), operating temperatures of -40°C (-40°F) to 50°C (122°F), output over voltage protection, output over current protection, output short circuit protection with auto-recovery.

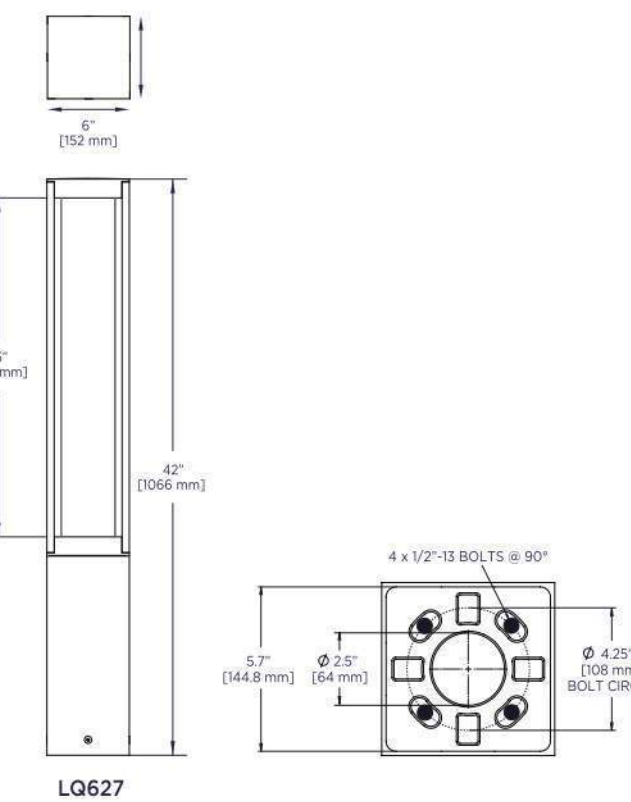
**LED**  
Standard 4000K CCT/80 CRI. Optional 2700K, 3000K and 3500K. Optional true amber LED for turtle sensitive areas. Wavelengths: 584.5nm to 597nm.

**LIFE**  
60,000hrs L<sub>70</sub> (based on IESNA TM-21 Test Method and LM-80 data), 30 to 70,000hrs L<sub>50</sub> (calculated projection from LM-80 data).

**FINISH**  
Five-stage preparation process includes preheating of cast aluminum parts for an extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

**CERTIFICATION**  
Meets UL 1588 and IESNA E12-2 (E20) ETL listed wall location photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 25°C. Lumen depreciation in accordance with IESNA LM-80 standards. Rated 50%.

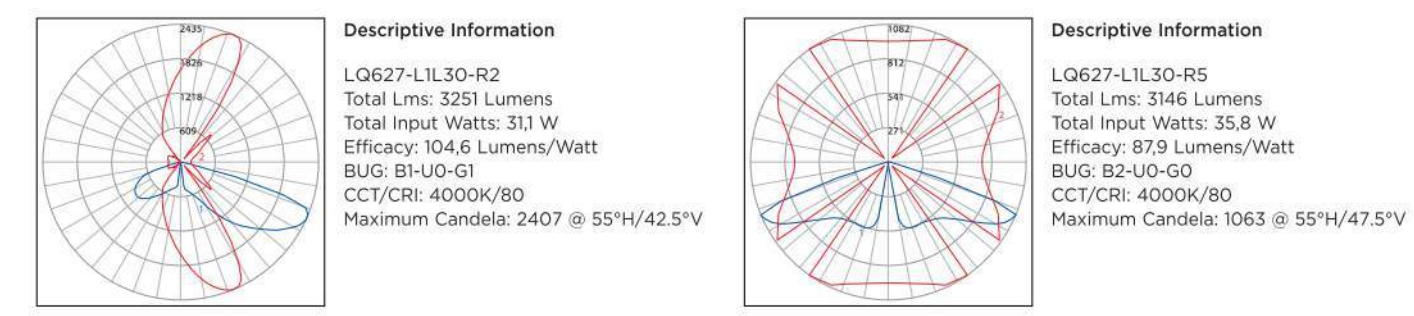
**MOUNTING**  
Mounts with a set of 4 x 1/2" x 1.5" x 1/8" galvanized anchor bolts.



LUMINIS | Toll Free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com  
200 Labrosse, Pointe-Claire (QC) Canada H9R 5L5  
Luminaires may be altered for design improvement without prior notice.

LUMINIS.COM

TYPICAL PHOTOMETRY SUMMARY



Please visit our web site [www.luminis.com](http://www.luminis.com) for complete I.E.S. formatted download data.

LUMINAIRE SELECTION

MODEL #	LED LIGHT SELECTION (4000K/80CRI)	INPUT WATTS	DELIVERED LUMENS	VOLTAGE*	FINISH
Type II	<input type="checkbox"/> L/L10-R2	10W	1203	<input type="checkbox"/> 120V	<input type="checkbox"/> WH1 Snow white
	<input type="checkbox"/> L/L20-R2	19W	2081	<input type="checkbox"/> 277V	<input type="checkbox"/> BK1 Jet black
	<input type="checkbox"/> L/L30-R2	32W	3291	Optional	<input type="checkbox"/> BR1 Bronze
Type V	<input type="checkbox"/> L/L10-R5	13W	1204	<input type="checkbox"/> 347V	<input type="checkbox"/> MS1 Matte silver
	<input type="checkbox"/> L/L20-R5	23W	2154	<input type="checkbox"/> 480V	<input type="checkbox"/> GR1 Titanium gray
	<input type="checkbox"/> L/L30-R5	38W	3146		<input type="checkbox"/> DG1 Gun metal

AMBER LED (CA - Dark Sky Approved)

MODEL #	SUFFIX	INPUT WATTS	DELIVERED LUMENS
Type II	L/L2K2A-R2	12W	420
Type V	L/L2K2A-R5	12W	406

OPTIONS

ELECTRICAL	LIGHT
<input type="checkbox"/> FS Fuse	Alternate CCT 1K LED (L.C.F. Lumen conversion factor)
<input type="checkbox"/> SP Surge protector 10kV	<input type="checkbox"/> K27 2700K CCT 80 CRI (L.C.F. 0.98)
<input type="checkbox"/> PH Photocell	<input type="checkbox"/> K3 3000K CCT 80 CRI (L.C.F. 0.98)
<input type="checkbox"/> RML2-50 Remote mount battery backup (7W / 90 min.)	<input type="checkbox"/> K35 3500K CCT 80 CRI (L.C.F. 0.98)
Remote mount to 50FT, 12" square enclosure with access cover.†	NOTE: Other CCT & higher CRI available, please consult factory.

ACCESSORIES

<input type="checkbox"/> BLC1 Blockout shield (one side)*
<input type="checkbox"/> BLC2 Blockout shield (two sides, installed at 90°)*
<input type="checkbox"/> BLC3 Blockout shield (three sides)*
<input type="checkbox"/> LVR Glare control louvers provided with a 90° lens*

NOTES  
1. If no voltage is specified, luminaires are factory prewired by default for 120V. For other voltages, please specify with catalog number, or consult factory.  
2. RML2-50 not compatible with PH (photocell).  
3. BLC1 installed on back side when distribution Type II is selected.  
4. BLC2 and BLC3 not available with distribution type II.  
5. LVR cannot be combined with Blockout shield option.

LUMINIS

LUMINIS | Toll Free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com  
200 Labrosse, Pointe-Claire (QC) Canada H9R 5L5  
Luminaires may be altered for design improvement without prior notice.

LUMINIS.COM

LQ627 SERIES  
Lumiquad - LED

OPTIONS ACCESSORIES



BLC Blockout shield available on up to three sides.

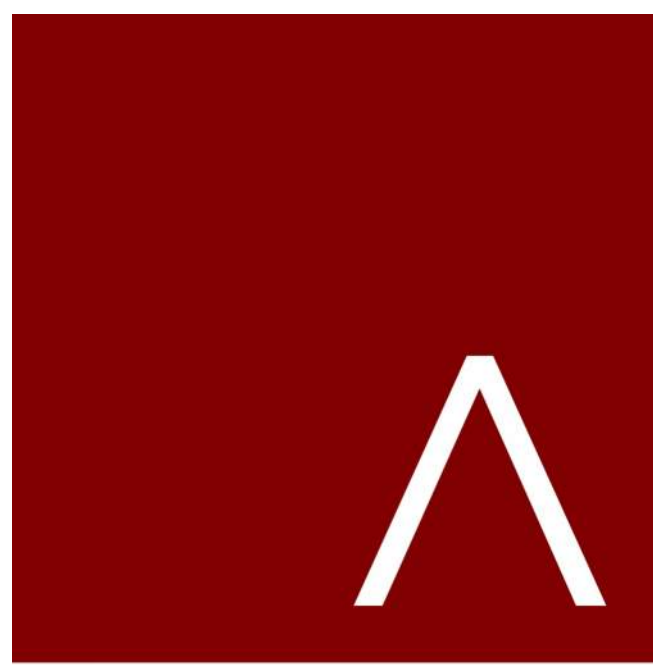
LVR Glare control louvers.

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LQ627 LED CUT SHEETS (B1)



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PROGRESS DOCUMENTS

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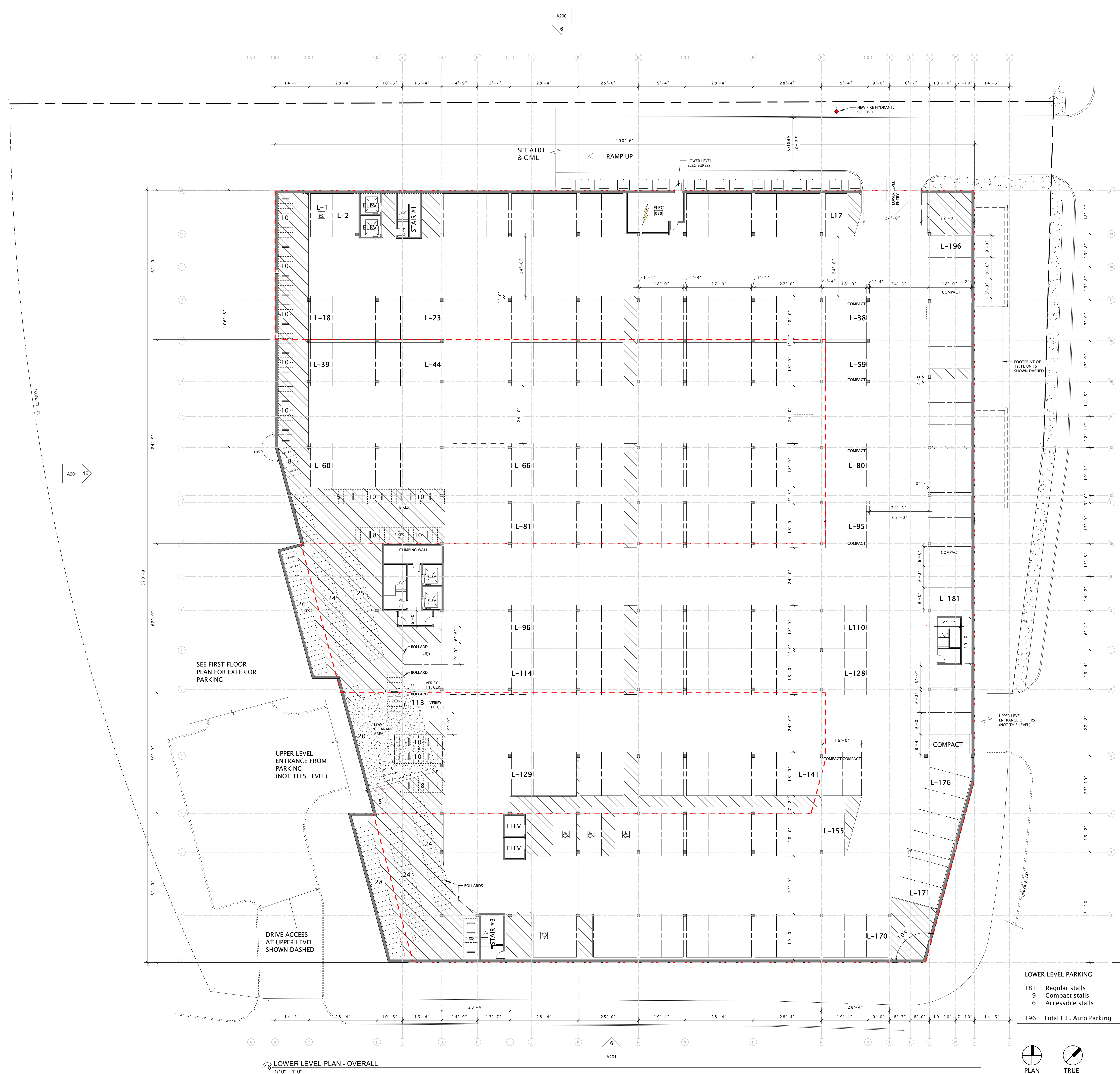
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Mark	Description	Date

SHEET TITLE

LIGHTING CUT SHEET

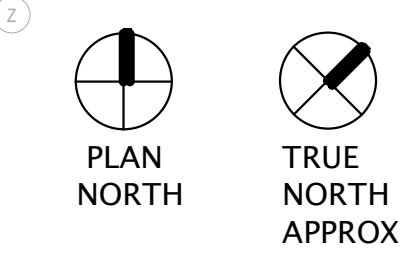
SHEET NUMBER

SL-E603



16 LOWER LEVEL PLAN - OVERALL  
1/16" = 1'-0"

LOWER LEVEL PARKING	
181	Regular stalls
9	Compact stalls
6	Accessible stalls
196	Total L.L. Auto Parking



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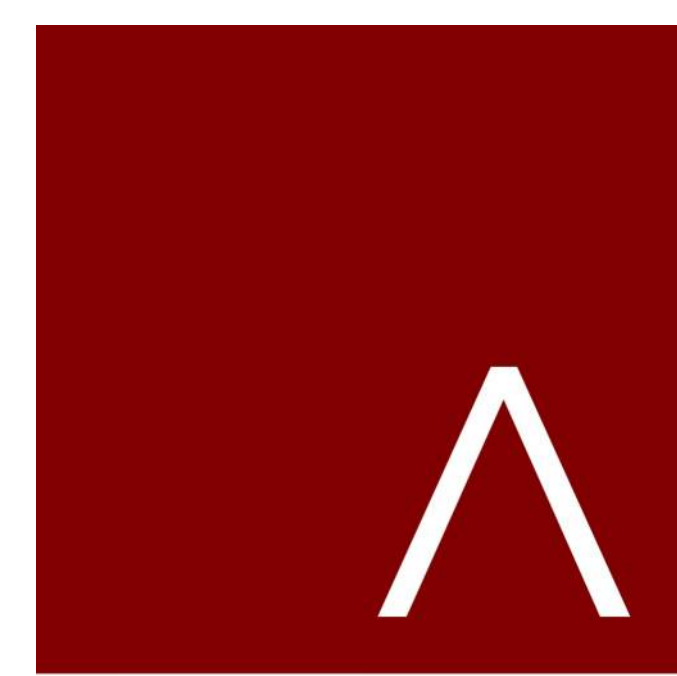
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SHEET TITLE  
**LOWER LEVEL PLAN - OVERALL**

SHEET NUMBER  
**A100**



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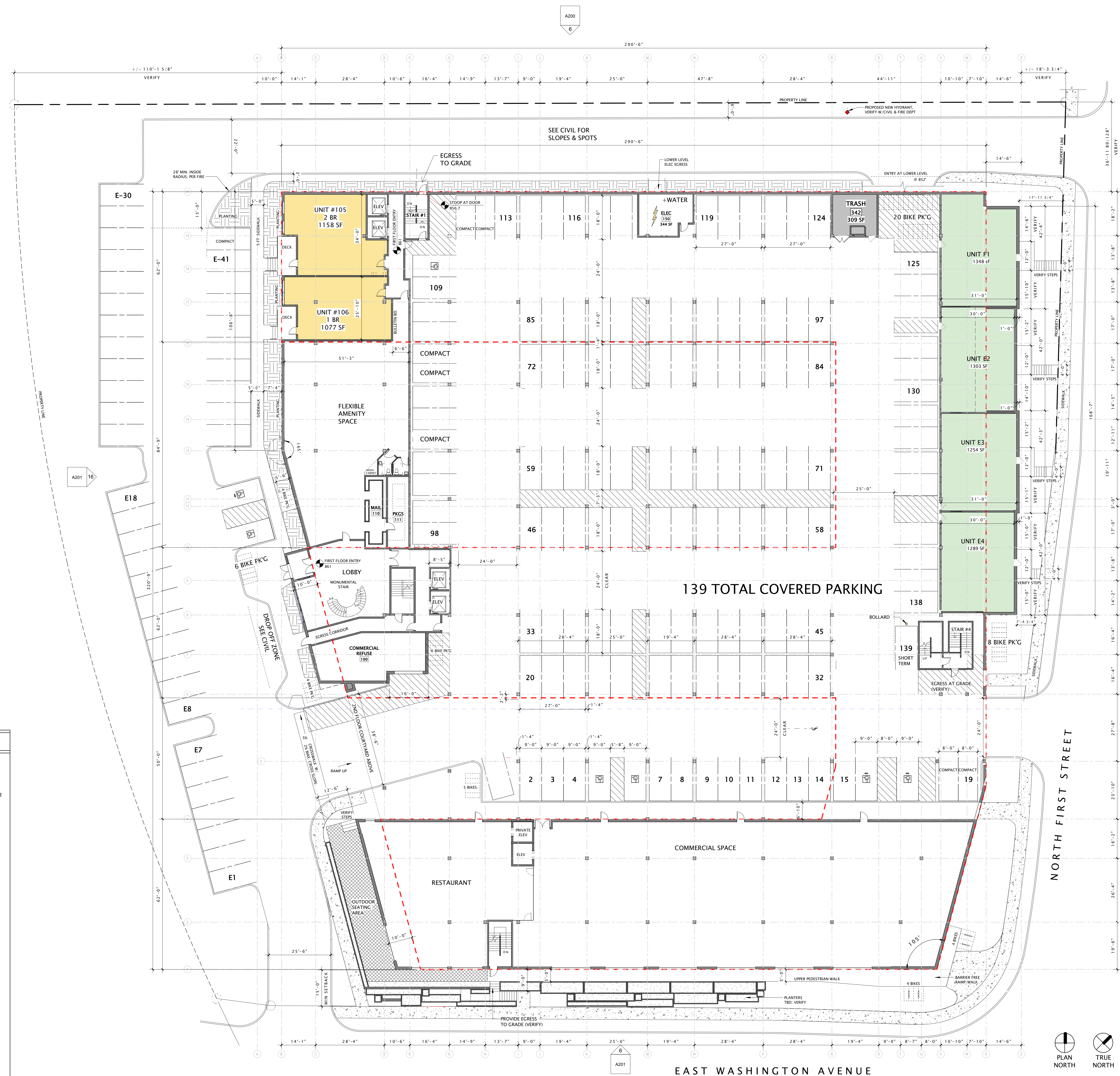
DATE OF ISSUANCE MAY 19, 2021

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Mark	Description	Date

SHEET TITLE  
FIRST FLOOR PLAN - OVERALL

SHEET NUMBER

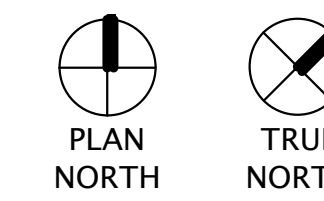
A101



GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

1 FIRST FLOOR PLAN  
1/16" = 1'-0"

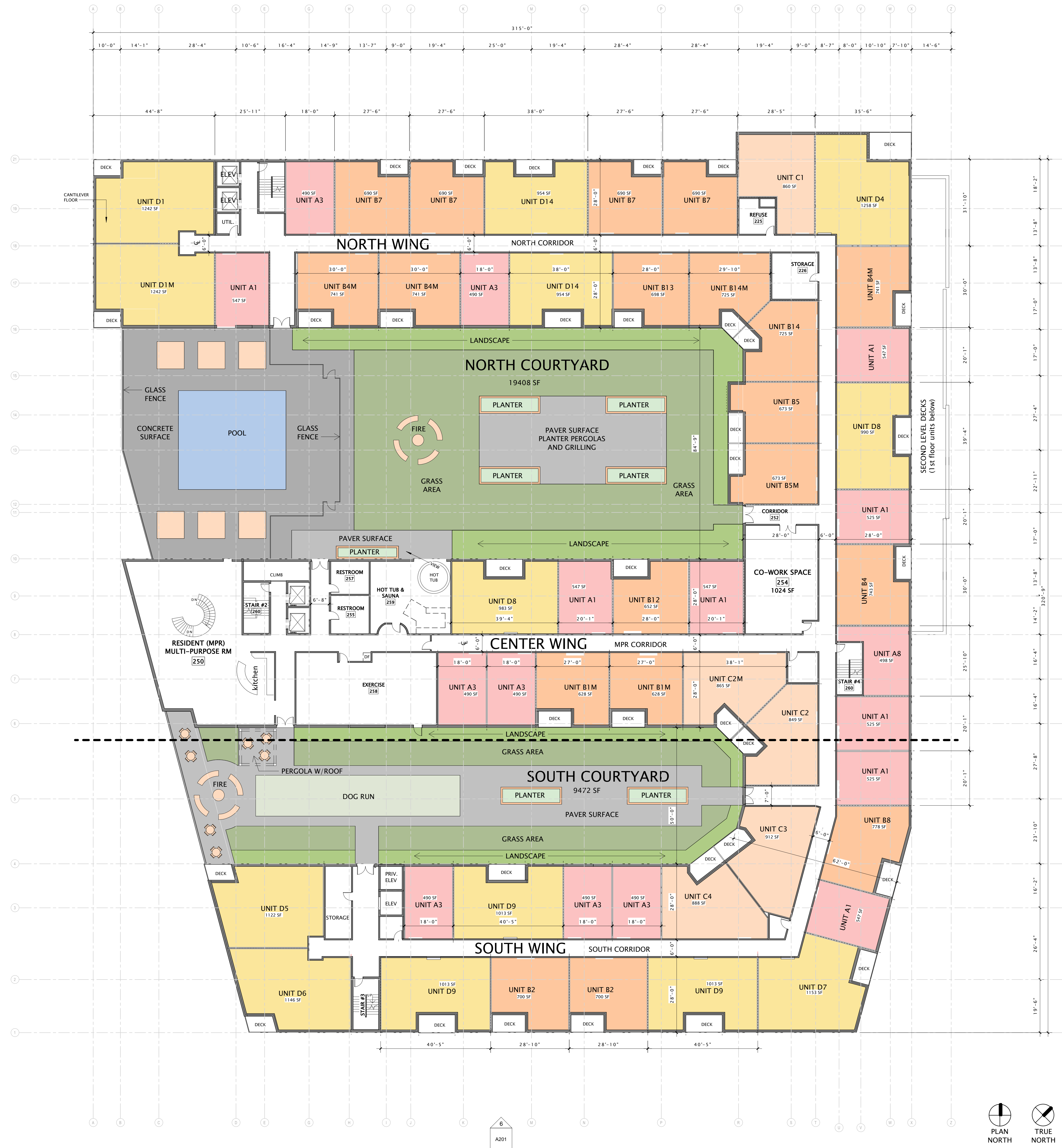


EAST WASHINGTON AVENUE

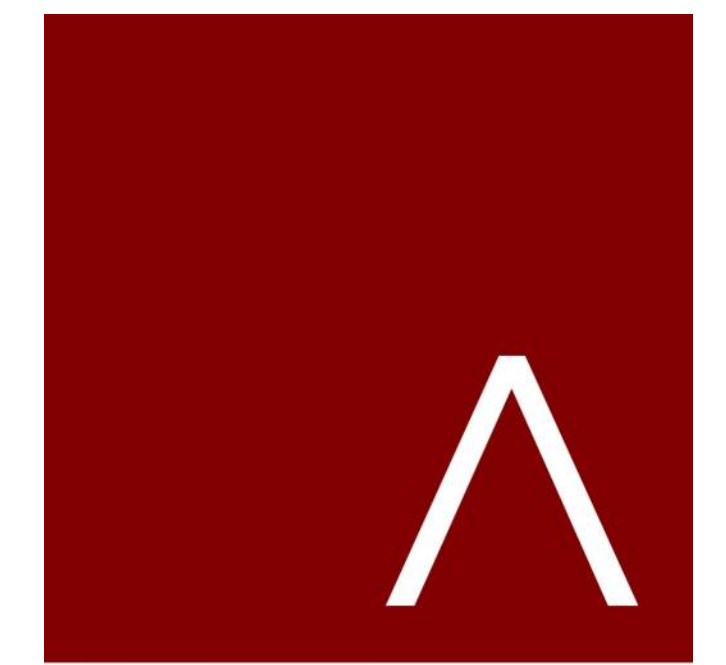
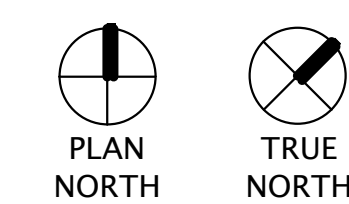
NORTH FIRST STREET

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16 SECOND FLOOR PLAN - OVERALL  
1/16" = 1'-0"



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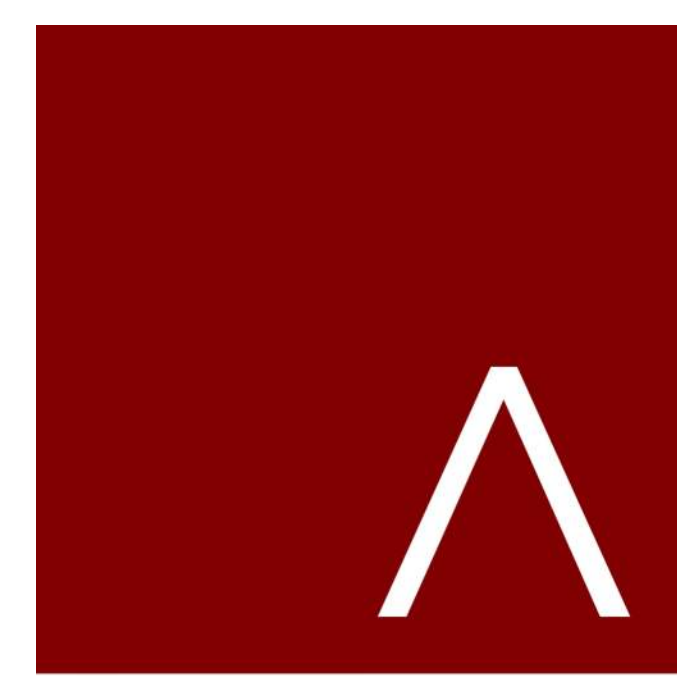
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SHEET TITLE  
**SECOND FLOOR  
PLAN - OVERALL**

SHEET NUMBER  
**A102**





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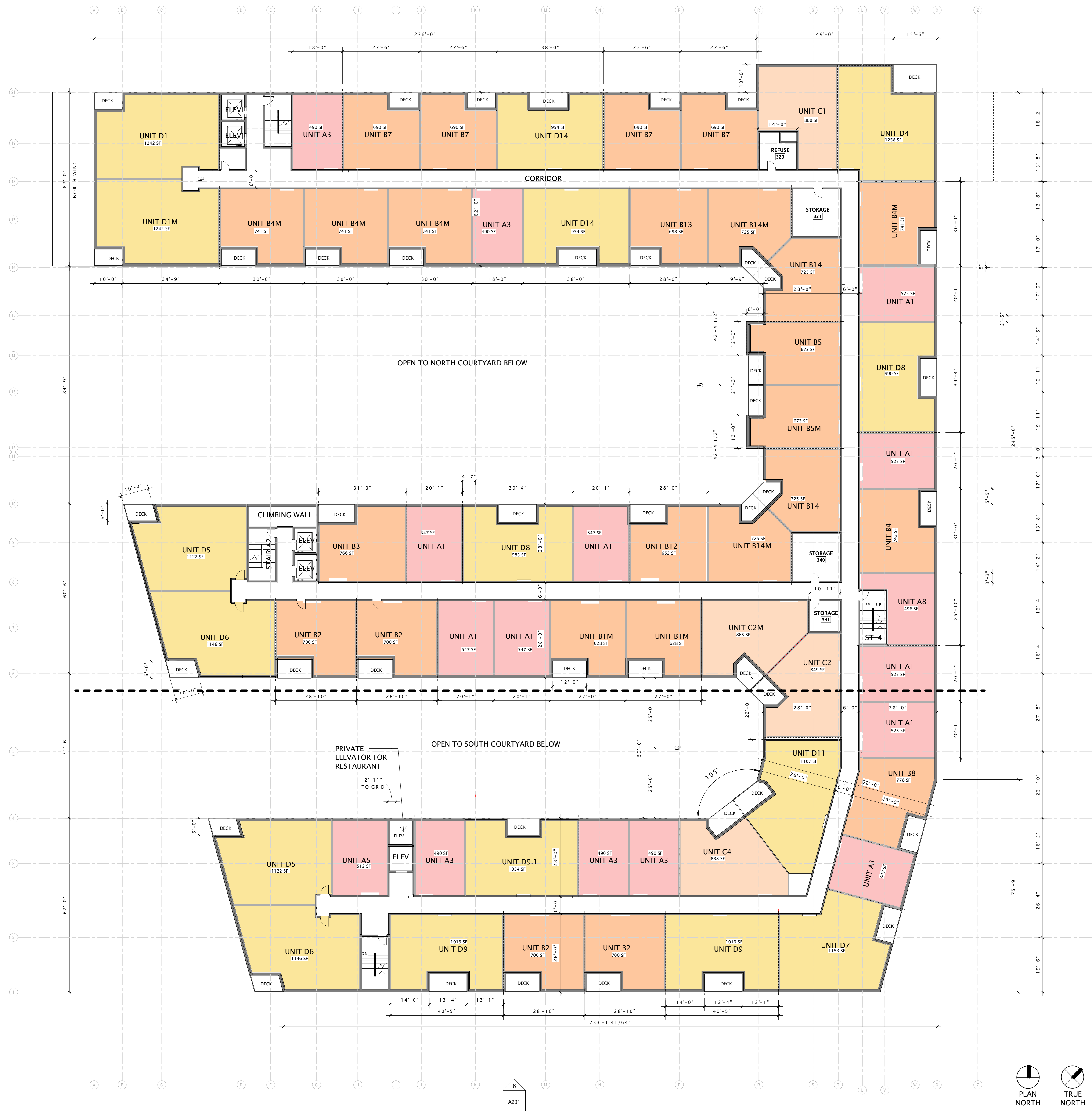
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
THIRD FLOOR PLAN - OVERALL

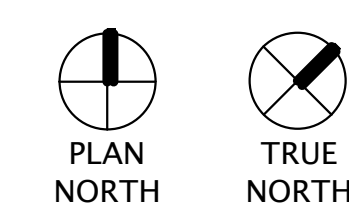
SHEET NUMBER  
A103

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
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- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.



16 THIRD FLOOR PLAN - OVERALL  
1/16" = 1'-0"



**GENERAL PLAN NOTES**

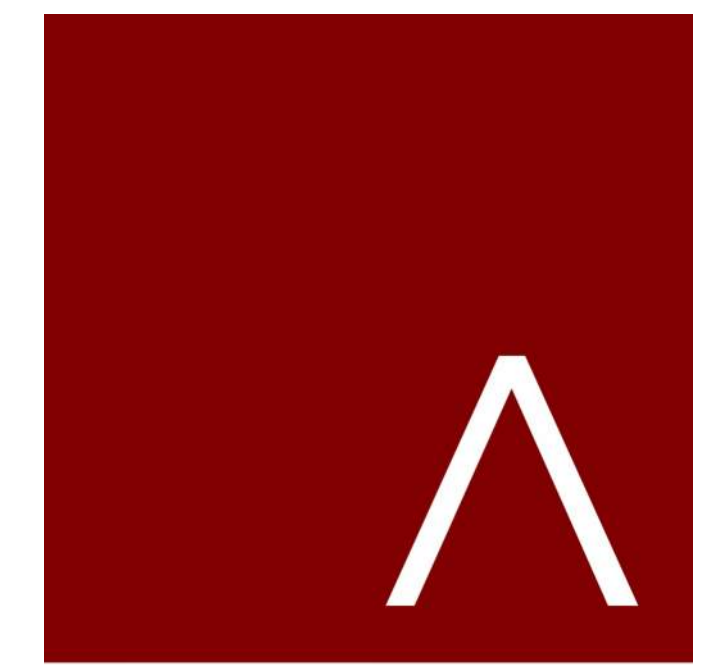
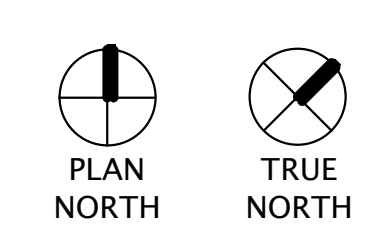
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A201 16

16 A200

16 FOURTH FLOOR PLAN - OVERALL  
1/16" = 1'-0"



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SHEET TITLE  
**FOURTH FLOOR PLAN - OVERALL**

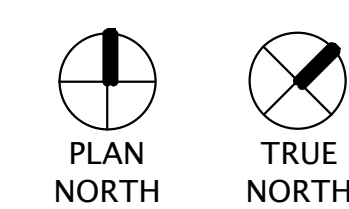
SHEET NUMBER  
**A104**

**GENERAL PLAN NOTES**

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
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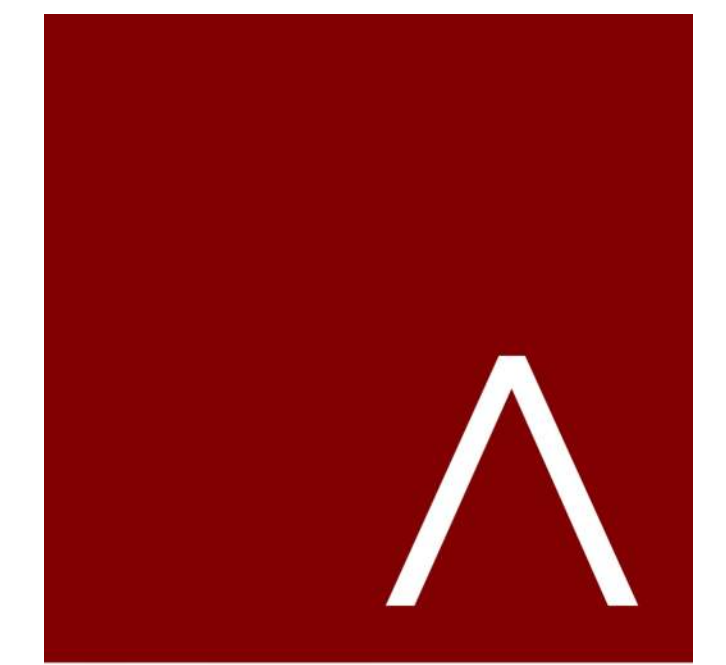
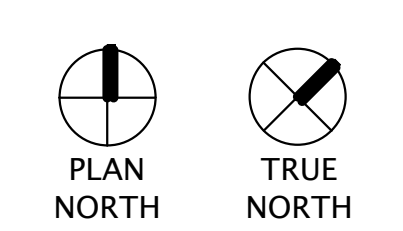
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SHEET TITLE  
**FIFTH FLOOR PLAN -  
OVERALL**

SHEET NUMBER  
**A105**



1 SIXTH FLOOR - OVERALL  
1/16" = 1'-0"



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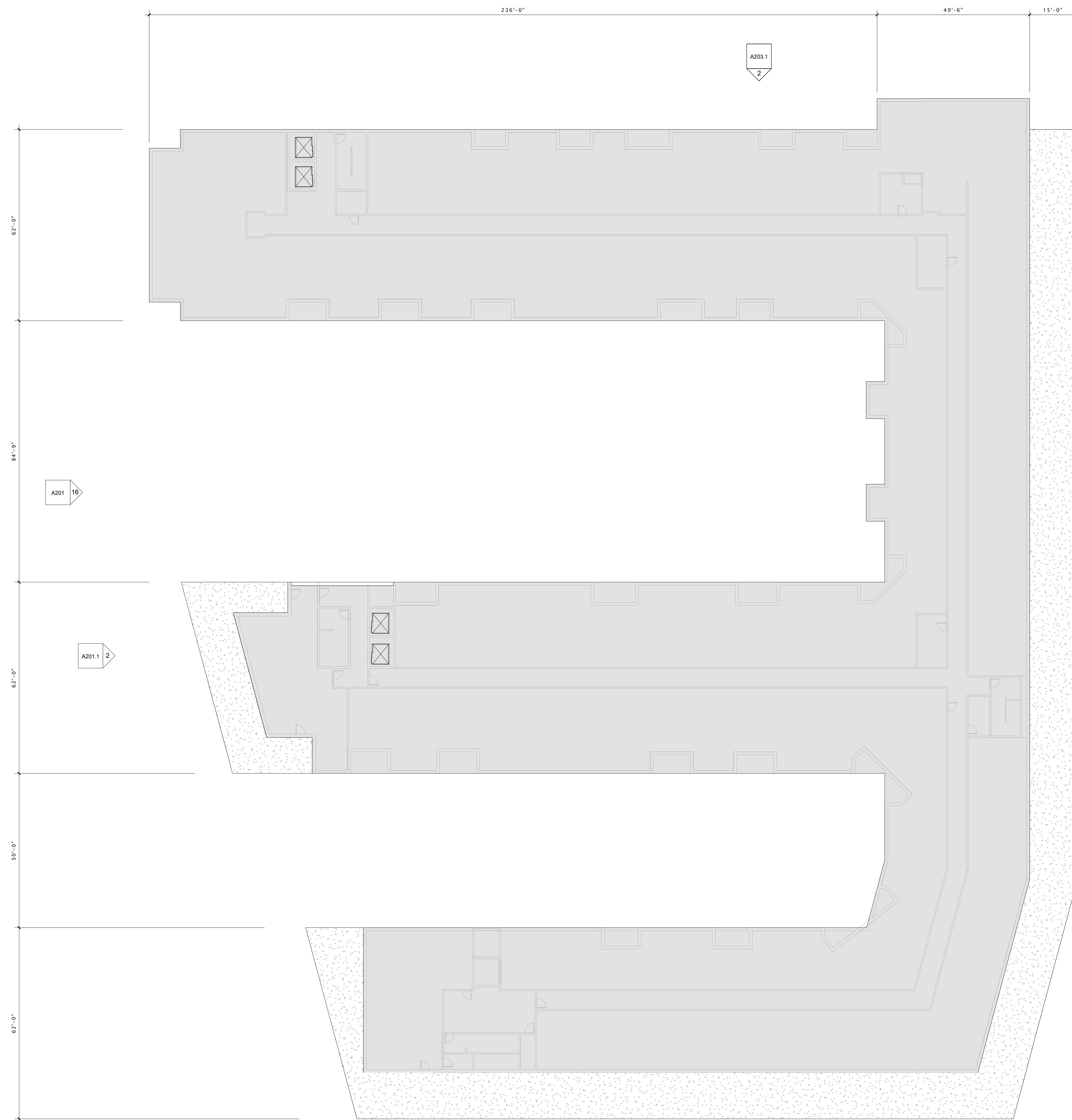
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Mark	Description	Date

SHEET TITLE  
**SIXTH FLOOR PLAN - OVERALL**

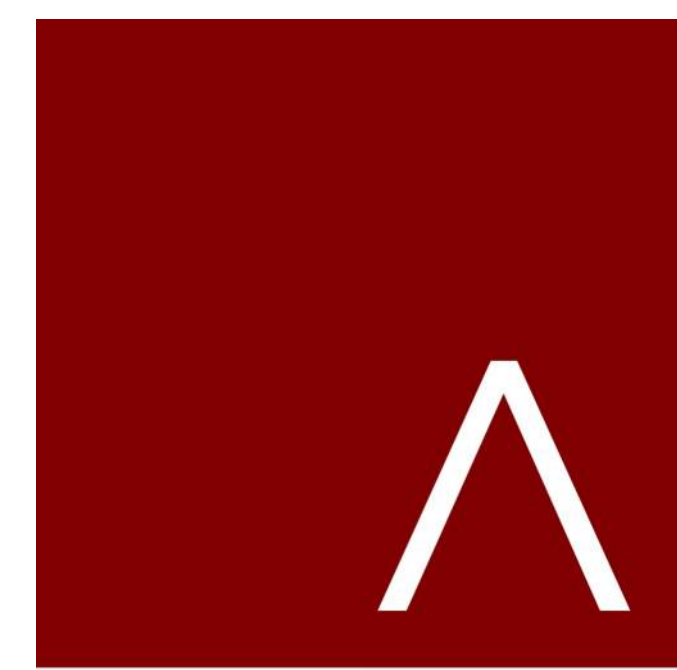
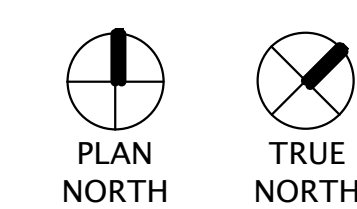
SHEET NUMBER  
**A106**

**ROOF NOTES**

1. ROOF SHALL BE ROOF ASSEMBLY - WR1-X, UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE PITCHED AT 1/4" PER FOOT (MINIMUM) TO PROVIDE ROOF DRAINAGE. SEE A501 FOR FOR ROOF ASSEMBLY DESCRIPTIONS.
2. PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF ASSEMBLY TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS. PROVIDE A 3/16" PER FOOT MINIMUM PITCH FOR TAPERED INSULATION SADDLES AND / OR CRICKETS WHERE NECESSARY.
3. ROOF DRAINS ARE SHOWN FOR INTENT ONLY. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
4. AT ALL FIRE WALLS, PROVIDE NON-COMBUSTIBLE ROOF SHEATHING EXTENDING TO A DISTANCE OF 48" (MINIMUM) FROM BOTH SIDES OF FIRE WALL.
5. PROVIDE WATERTIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.
6. VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNER'S DESIGN / BUILD MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
7. DESIGN / BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHERTIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
8. OVERHANGS (IF ANY) SHALL BE AS SHOWN ON ROOF PLAN.
9. PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS INDICATED ON ROOF PLAN. EXTEND DRAFTSTOPPING FULLY INTO SOFFITS AND PENETRATIONS. SEAL ALL JOINTS WITH CAULK AND/ OR TAPE AS NEEDED TO PROVIDE SMOKE/TIGHT SEAL.
10. ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN/ VENT IF VENT RUN EXCEEDS 25'-0".
11. PLUMBING DESIGN-BUILD CONTRACTOR TO COORDINATE THE LOCATION OF ROOF FROST PROOF HOSE BIB WITH OWNER. COORDINATE LOCATION WITH TRUSS LAYOUT AND UNIT LAYOUT BELOW.
12. PROVIDE PREFINISHED SHEET METAL COPINGS AND/ OR GRAVEL STOPS PER PLANS. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
13. PROVIDE PREFINISHED SHEET METAL DOWNSPOUTS WHERE INDICATED. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF DOWNSPOUTS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
14. \*ROOF DRAINS AND/ OR DOWNSPOUTS SHOWN FOR INTENT ONLY. ROOFING AND PLUMBING CONTRACTORS SHALL DETERMINE AND COORDINATE FINAL ROOF DRAIN / DOWNSPOUT SIZES AND LOCATIONS BASED ON DRAINAGE CALCULATIONS PROVIDED BY PLUMBING SUB-CONTRACTOR.



16 ROOF PLAN - OVERALL  
1/16" = 1'-0"



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ARCHITECTS

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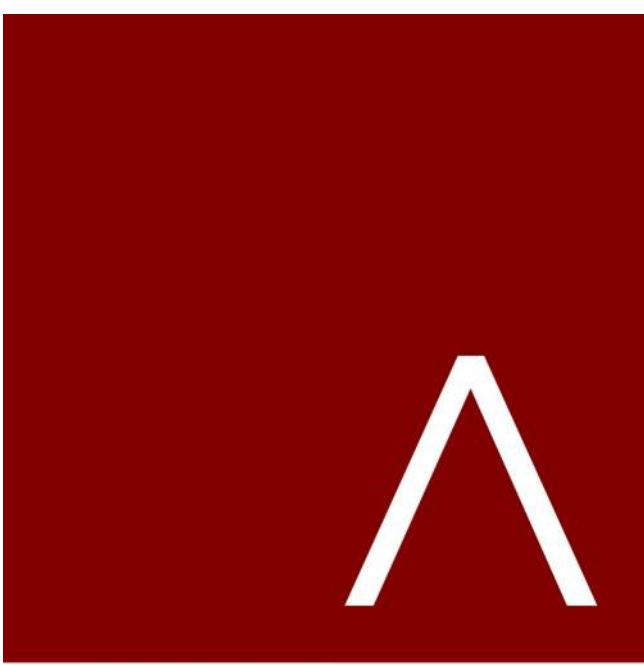
REVISION SCHEDULE		
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SHEET TITLE

ROOF PLAN  
OVERALL

SHEET NUMBER

A110



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SHEET TITLE

**ENLARGED UNIT PLANS**

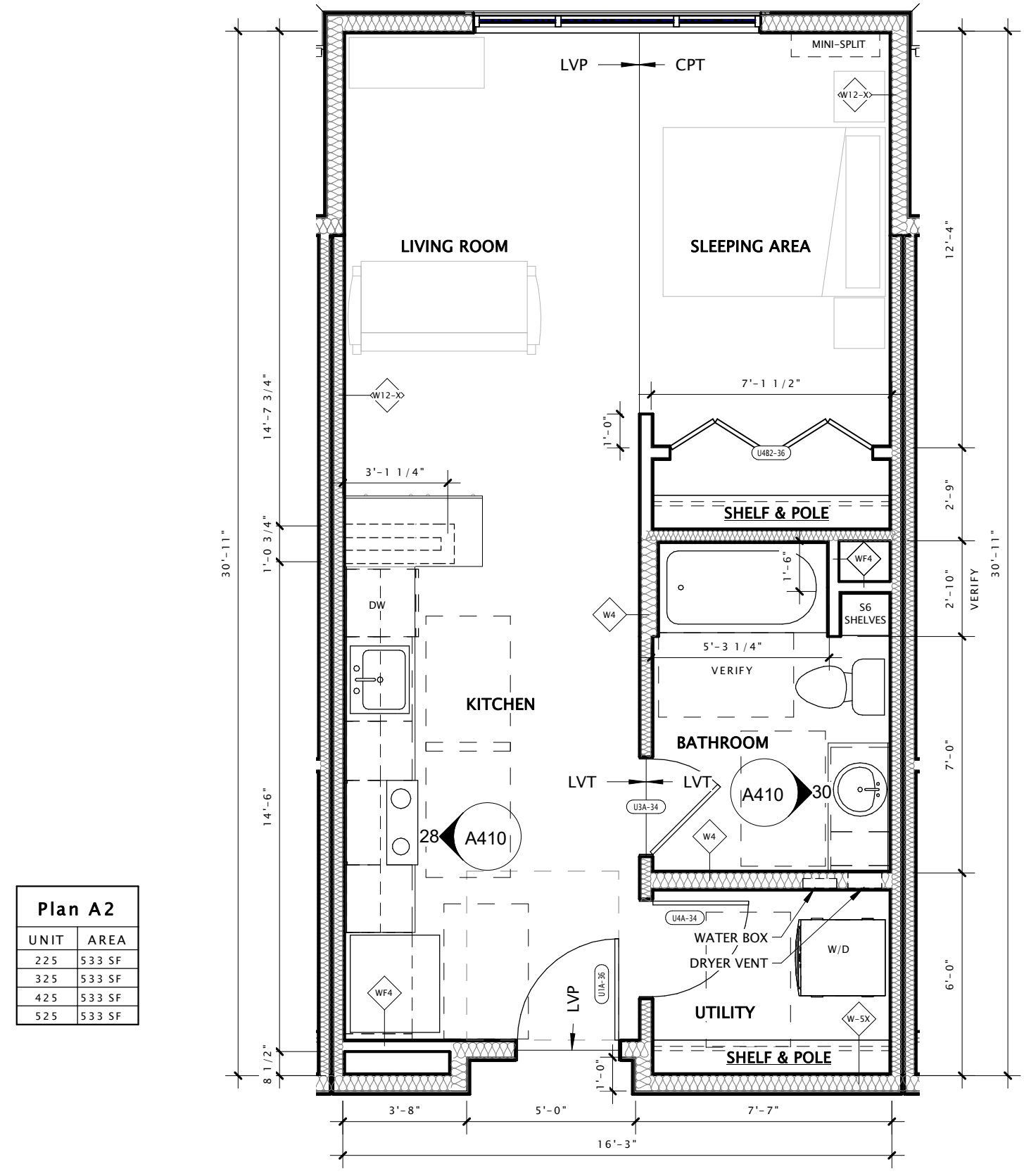
SHEET NUMBER

**A140**

**UNIT PLAN NOTES**

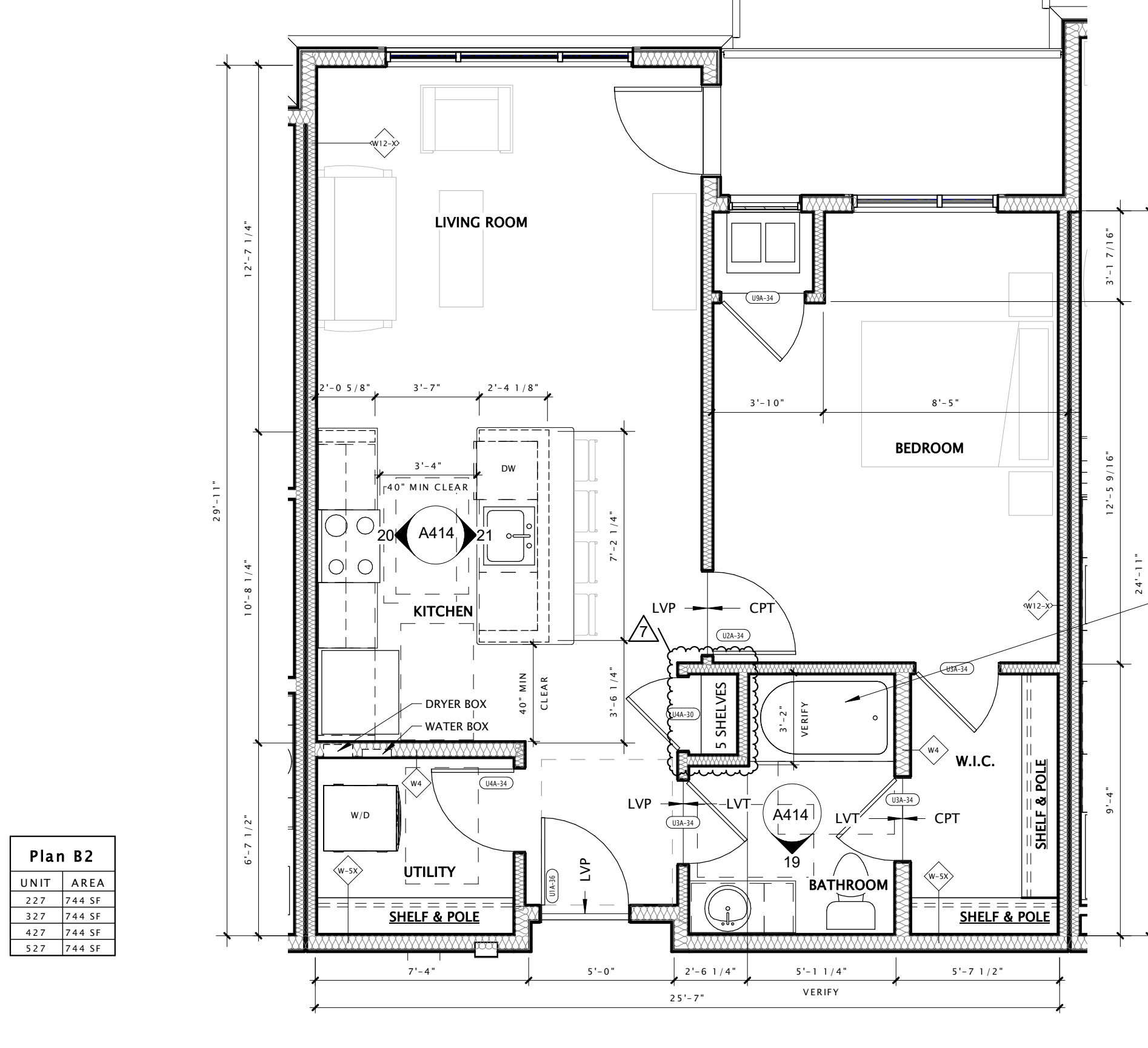
- DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- SEE OVERALL PLANS FOR EXTERIOR DOOR & WINDOW LOCATIONS. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- ALL INTERIOR WALLS SHALL BE TYPE W2 UNLESS OTHERWISE NOTED.
- ALL UNITS SHALL HAVE PLUMBING ROUGHED IN FOR LAUNDRY APPLIANCES.
- VERIFY ALL TUB AND SHOWER ROUGH OPENINGS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION WITHIN ALL STUD WALLS AS INDICATED ON ENLARGED UNIT PLANS.
- ALL UNIT BATHROOMS SHALL MEET THE ACCESSIBILITY REQUIREMENTS OF G006 AND G007.
- ALL APPLIANCES, EQUIPMENT, ETC IN ADA (TYPE 'A') UNITS SHALL HAVE ACCESSIBLE OPERABLE PARTS PER ANSI 117.1 - SECTION 309.
- PROVIDE BLOCKING AT ALL TOWEL BAR & GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- TYPICAL CLOSETS SHALL HAVE CLOSET SYSTEM BY CALIFORNIA CLOSETS. LINEN & PANTRY CLOSETS SHALL HAVE 5 WIRE SHELVES. SHELVES THAT TERMINATE INTO AN ANGLED WALL SHALL BE LAMINATE SHELVING.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPLASHES.
- SEE SCOPE SPECIFICATIONS FOR BATHROOM ACCESSORIES THAT ARE TO BE PROVIDED.
- INSTALL MOISTURE RESISTANT, PAPERLESS GYPSUM WALL BOARD AT WALLS BEHIND ALL PLUMBING FIXTURES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.

**TYPICAL STUDIO UNIT**



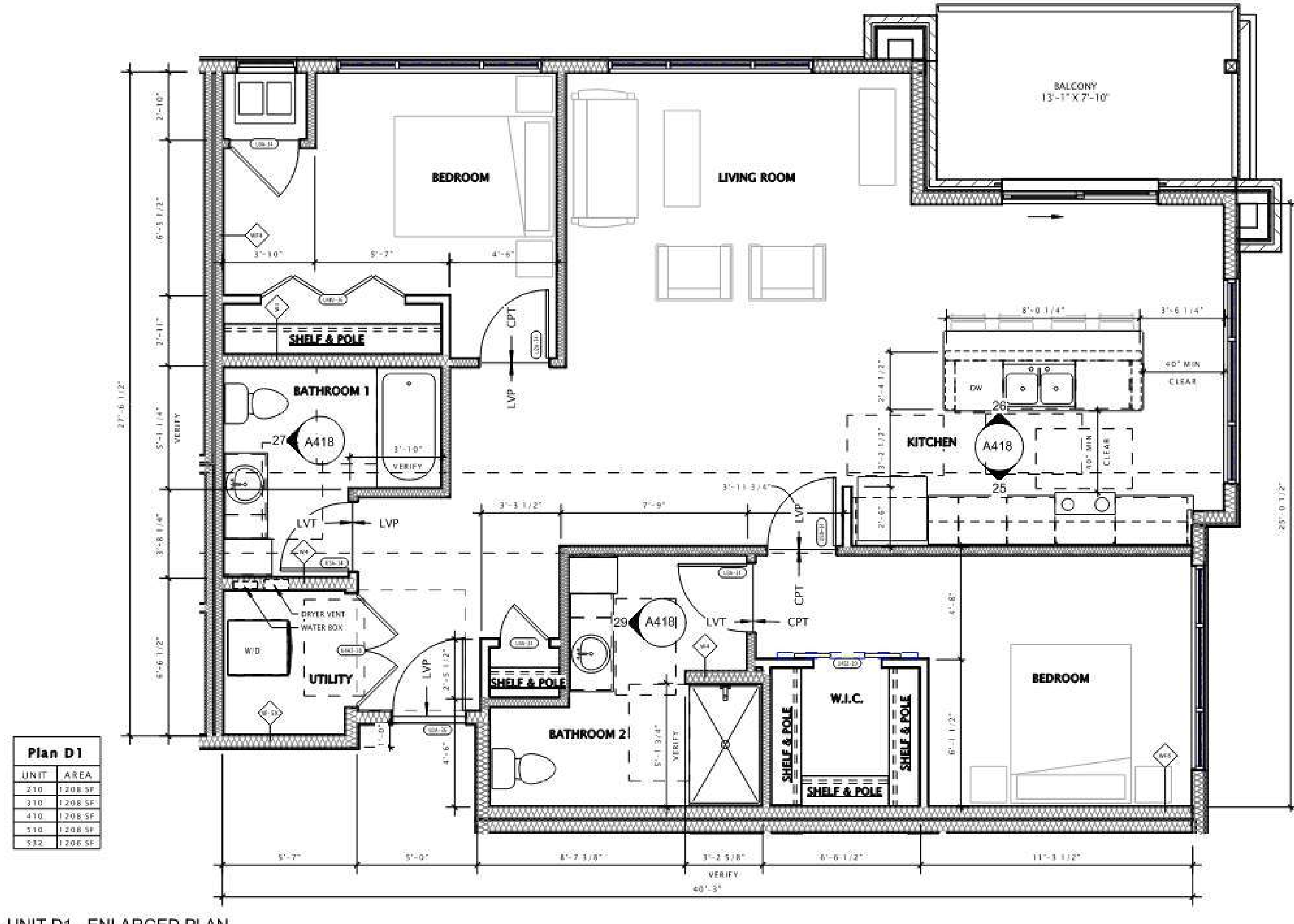
25 UNIT A2 - ENLARGED PLAN  
1/4" = 1'-0"

**TYPICAL 1 BEDROOM UNIT**



13 UNIT B2 - ENLARGED PLAN  
1/4" = 1'-0"

**TYPICAL 2 BEDROOM UNIT**



13 UNIT D1 - ENLARGED PLAN  
1/4" = 1'-0"