

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: Feb. 29, 2006

Action Requested

- Informational Presentation
 Initial Approval and/or Recommendation
 Final Approval and/or Recommendation

UDC MEETING DATE: Mar. 8, 2006

PROJECT ADDRESS: 72 West Towne Mall

ALDERMANIC DISTRICT: 9

OWNER/DEVELOPER (Partners and/or Principals)

Donald A. Pobst / CBL Properties

2030 Hamilton Place Blvd.

Chattanooga, TN 37421-6000

ARCHITECT/DESIGNER/OR AGENT:

Carl Frey / KA Architecture

1468 W. 9th St. #600

Cleveland OH 44113

CONTACT PERSON: Carl Frey

Address: 1468 W. 9th St. #600

Phone: Cleveland, OH 44113
216-830-1521

Fax: 216-781-6586

E-mail address: cfrey@ka-inc.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Community Development (PCD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Residential Development (PRD)
 New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 School, Public Building or Space (Fee may be required)
 New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
 Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

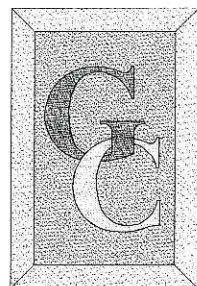
(See Section D for:)

- Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)

Other _____



*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



GRANITE CITY FOOD & BREWERY

72 WEST TOWNE MALL
MADISON, WISCONSIN

for
Granite City Food and Brewery
5831 Cedar Lake Road
Saint Louis Park, MN 55416
www.gcfb.net



SJA ARCHITECTS
DULUTH • ST CLOUD
2035 15TH Street N
St. Cloud, Minnesota 56303
Phone (320) 253-2100
Fax (320) 253-2269
www.staniusjohnson.com



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 - KE11 FOOD SERVICE ENLARGED ELECTRICAL ROUGH-IN PLAN
 - KME1 FOOD SERVICE ENLARGED BAR PLUMB/ELECT.
 - KSC1 FOOD SERVICE SPECIAL CONDITION PLAN
 - KSC2 FOOD SERVICE SPECIAL CONDITION PLAN

STRUCTURAL ENGINEERING:

EMANUELSON-PODAS, INC.
CONSULTING ENGINEERS
3524 Labore Road
White Bear Lake, MN 55110
(651) 481-9120 Fax (651) 481-9201

MECHANICAL/ELECTRICAL ENGINEERING:

EMANUELSON-PODAS, INC.
CONSULTING ENGINEERS
4980 LINCOLN DRIVE
EDINA, MN 55438
(652) 930-0050 FAX: (652) 930-0777

CIVIL ENGINEERING:

National Survey & Engineering
16745 W. Bluemound Road
Brookfield, Wisconsin 55005-5938
(262)781-1000 Fax (262)781-8466

CODE ANALYSIS

PROJECT: MADISON WEST
OWNER: GRANITE CITY FOOD AND BREWERY
LOCATION: WEST TOWNE MALL
MADISON, WISCONSIN

2000 IBC
BUILDING TO BE PROVIDED WITH AUTOMATIC SPRINKLER SYSTEM THROUGHOUT.

I. OCCUPANCY CLASSIFICATION

| | |
|-----------------------------|-------------------------------------|
| A. Dining | A-2 |
| 1. Interior | A-2 |
| 2. Patio | A-2 |
| B. Kitchen | A-2 |
| C. Brewery with Upper Level | A-2 (Accessory Use) |
| D. Office | B |
| E. Break Room | A-2 |
| F. Storage | NR |
| 1. Coolers/General | A-2 (Part of Kitchen) |
| 2. Liquor/Beer | A-2 (Part of Kitchen) |
| 3. Misc. Storage | A-2 (Incidental Use under 100 s.f.) |

II. OCCUPANCY SEPARATION REQUIREMENTS

| | |
|---------------------------------------|---------------------------------------|
| A. Between A-2 and B | NR (When less than 10X of floor area) |
| B. Between A-2 and A-2 Incidental Use | NR (When under 100 s.f.) |

III. CONSTRUCTION

| | |
|---|---|
| A. Construction Type | V-B |
| B. Fire Resistive Requirements: | |
| 1. Exterior and Interior Bearing Walls: | 1 HR when less than 10'-0" elsewhere All over 10'-0" walls are NR |
| Provided: | |

III. CONSTRUCTION (Continued)

| | |
|---------------------------|---|
| 2. Ext Non-bearing Walls: | 1 HR when less than 10'-0" elsewhere All over 10'-0" walls are NR |
| Provided: | |
| 3. Structural Frame: | NR |
| Provided: | NR |
| 4. Permanent Partitions | NR |
| Provided: | NR |
| 5. Shaft Enclosures: | 1 HR |
| Provided: | No shaft enclosure required. |
| 6. Floor-Ceilings/Floors: | NR |
| Provided: | NR |
| 7. Roof-Ceilings/Roofs: | NR |
| Provided: | NR |
| 8. Exit Doors and Windows | See Table 704.8 |
| Provided: | NR |

C. Fire resistive construction: Any required corridors need not be constructed of fire resistive construction when building has sprinkler system as specified in Section 1016.1 of the IBC 2000. (None required.)

D. Building is provided with an automatic sprinkler system to conform to Section 803.2.1.2 of IBC 2000 (Group A-2 occupancy with fire area exceeding 5,000 s.f.)

IV. BUILDING AREA

| | |
|--|------------|
| A. Gross Area | 8,531 s.f. |
| B. Allowable Area Permitted by Code | 8,000 S.F. |
| C. Increase per Section 506 | |
| Aa = 8,000 * (8,000/75/100) + (8,000/300/100) = 40,455 | |
| D. Area increase due to frontage | |
| If = 100 [(FP-0.25W)/30 + 100(580/580-2530)/30] = 75X | |

S.F. D.

IV. BUILDING HEIGHT

| | |
|---------------------|-----------|
| A. Actual | 1 Story |
| B. Permitted by IBC | 2 Stories |

V. OCCUPANT LOAD.
Minimum of Two Means of Egress is Required where Number of Occupants is at least 50.

TOTAL WITH ALTERNATE

| Use | Minimum of Two Means of Egress is Req'd where Number of Occ. is at least | Sq. Ft. | Occupant Load | Total Occupant Load |
|-----------------------|--|--------------|---------------|---------------------|
| Interior Dining | 50 | 3,600 | 15 | 240.0 |
| Kitchen | 50 | 1,328 | 200 | 6.7 |
| Brewery w/ Mezz Level | 50 | 1,014 | 300 | 3.4 |
| Office | 50 | 155 | 100 | 1.6 |
| Break Room | 50 | 77 | 15 | 5.1 |
| Mech/Elec Room | 50 | 168 | 300 | .56 |
| Storage | 50 | 847 | 300 | 2.8 |
| Circ./Rest./Rm./Walls | NA | 2,341 | 0 | 0.0 |
| Totals | | 8,531 | | 260.16 |

VII. EXITS (Continued)

F. Maximum travel distance permitted by 2000 IBC Section 1004.2.4

| | |
|--------------------|-------------------|
| L. Sprinkled Bldg: | 250'-0" |
| Actual: | less than 250'-0" |

IX. FIRE BLOCKS

A. Required @ 10'-0" intervals horizontal and vertical in congested spaces

IX. DRAFT STOPS

A. Floor/slab
1. Not required where sprinkler system is used.

X. INTERIOR FINISHES

A. Interior wall and ceiling finish requirements per Table 803.4:

| | |
|--|--|
| 1. For sprinkled building rooms and enclosed spaces: | |
| Class C | |
| 2. Wall finishes in building are ceramic tile, RFP panels and paint. | |
| 3. Ceiling finishes are paint and acoustical ceiling tile. | |

B. Interior Floor Finish Requirements per Section 804:

| | |
|--|--|
| 1. For sprinkled building all floor finishes comprised of fibers must pass DOC FF-1 spill test | |
| 2. Floor finishes in building are vinyl composite tiles and ceramic tiles, pill test does not apply. | |

VII. EXITS

| | | |
|---------------------------|-----------|-----------|
| A. Number of Exits | Required: | Provided: |
| 1. Interior Dining | 2 | 3 |
| 2. Kitchen | 1 | 3 |
| 3. Brewery w/ Upper level | 1 | 2 |
| 4. Office | 1 | 1 |
| 5. Break Room | 1 | 1 |
| 6. Mech/Elec Room | 1 | 1 |
| 7. Storage | 1 | 1 |
| 8. Patio | 2 | 2 |

B. Restaurant Exit Width
Required: 260.2 x .15 = 39.03"
Provided: 49"

C. Ramp Width Provided:
Strait Width
Required: 260.2 x .2 = 52.04"
Provided: 60" (per set of stairs)

D. Patio Exit Width
Required: 65.8x2 = 131.6"
Provided: 72"

XI. PLUMBING FIXTURES

| USE | No. of Sq. Ft. | Sq. Ft. per Occ. | Total Occ. | Req'd USC | Req'd LSC | Req'd W | Req'd M | Req'd W | Req'd M | Req'd W | Req'd M |
|-----------------------|----------------|------------------|------------|-----------|-----------|----------|----------|----------|----------|----------|----------|
| Dining | | | | | | | | | | | |
| Interior | 3,600 | 15 | 240.0 | | | | | | | | |
| Exterior | 1,897 | 15 | 126.5 | | | | | | | | |
| Kitchen | 1,328 | 200 | 6.6 | | | | | | | | |
| Brewery w/ Mezz level | 1,014 | 300 | 3.4 | | | | | | | | |
| Office | 155 | 200 | 1.6 | | | | | | | | |
| Break Room | 77 | 15 | 5.1 | | | | | | | | |
| Mech/Elec. Storage | 168 | 0 | .52 | | | | | | | | |
| Circ./Misc. | 847 | 300 | 2.8 | | | | | | | | |
| | 2,341 | 0 | 0 | | | | | | | | |
| Totals Req'd | 10,519 | | 326 | 3 | 3 | 1 | 1 | 4 | 4 | 2 | 2 |
| Provided: | | | | | | | | | | | |

Note: A. Three additional hand wash sinks/ lavatories are provided in bar and kitchen areas, only 1 service sink is required.

MECHANICAL/ELECTRICAL

- ME11 MECHANICAL/ELECTRICAL SITE PLAN
- M21 FLOOR PLAN-PLUMBING
- M22 PARTIAL FLOOR PLANS - PLUMBING
- M31 FLOOR PLAN - HVAC
- M41 MECHANICAL MEZZ PLAN AND DETAILS
- M42 MECHANICAL SCHEDULES
- M51 MECHANICAL ROOF PLAN AND DETAILS
- M61 PLUMBING RISER DIAGRAM-WASTE AND VENT
- M62 PLUMBING RISER DIAGRAM-DOMESTIC WATER
- E2 LIGHTING FLOOR PLAN
- E3 POWER FLOOR PLAN
- E4 SYSTEMS FLOOR PLAN
- E5 ELECTRICAL MEZZANINE PLAN AND DETAILS
- E61 ELECTRICAL SCHEDULES
- E62 ELECTRICAL SCHEDULES
- E63 ELECTRICAL SCHEDULES

REVISIONS

| Mark | Date | Description |
|------|------|-------------|
| | | |
| | | |
| | | |
| | | |

GRANITE CITY FOOD & BREWERY
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MADISON, WISCONSIN

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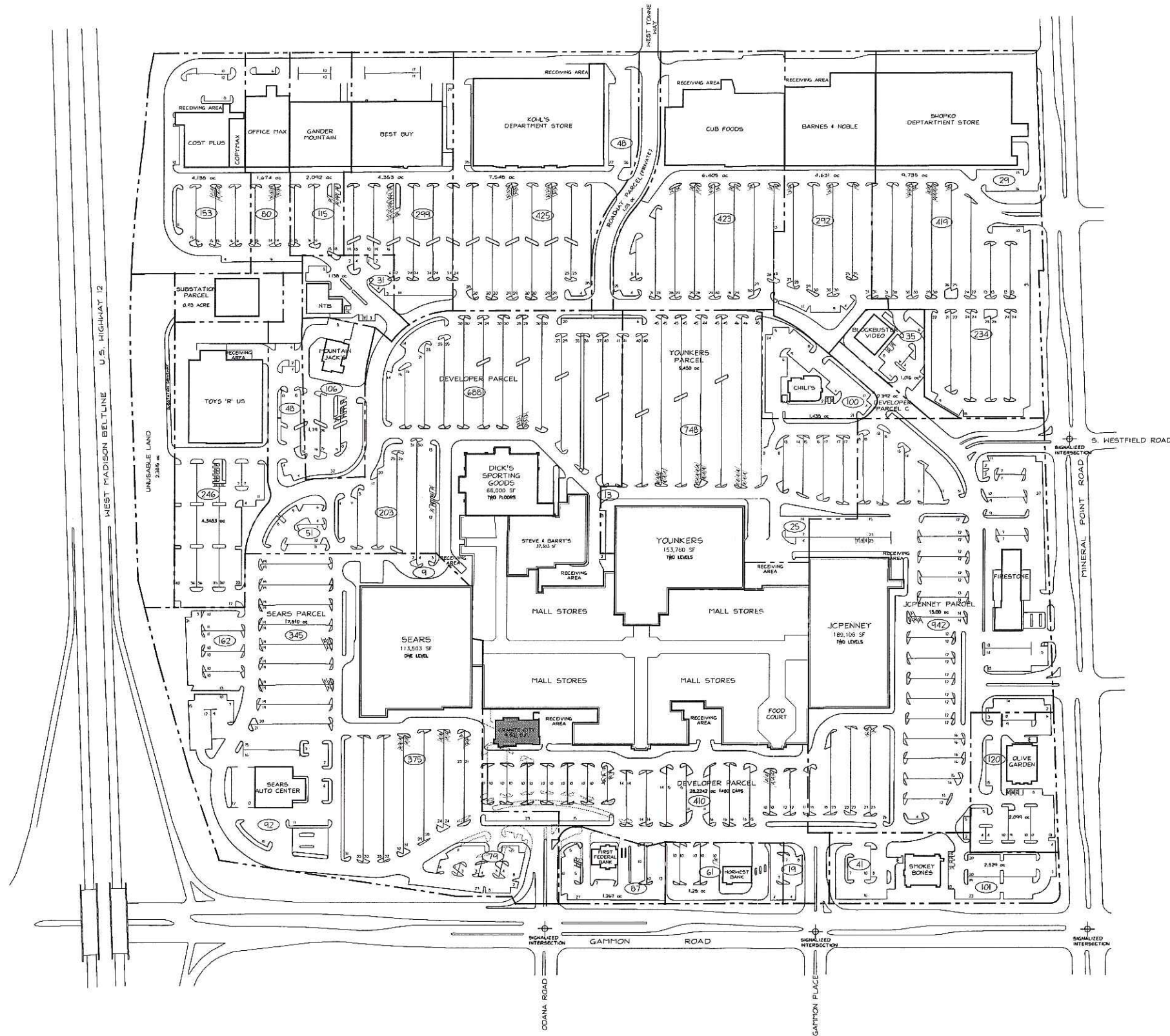
GENERAL INFORMATION

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**PRELIMINARY
NOT FOR
CONSTRUCTION**

Drawn By: DL, JK Sheet No:
Checked By: DL
Job No.: 05503
Date: 2/17/06

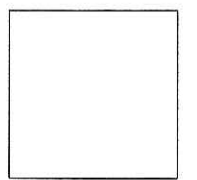
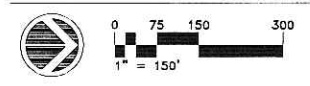
G001



Site Data

| | |
|---|---------------------|
| Retail Development - Mall | |
| Younkers | 153,760 sf |
| JCPenney | 189,106 sf |
| Sears | 113,503 sf |
| Dicks | 66,000 sf |
| Steve & Barrys | 37,303 sf |
| Mall Shops | 274,424 sf |
| Total | 834,096 sf |
| Parking Required @ 1/300sf | 2,780 spaces |
| Retail Development - Fringe Land | |
| Toys R Us | 48,638 sf |
| Cost Plus | 21,134 sf |
| Copy Max | 6,215 sf |
| Office Max | 25,161 sf |
| Gander Mountain | 30,502 sf |
| Best Buy | 44,239 sf |
| Kohl's | 89,593 sf |
| Cub Foods | 70,500 sf |
| Barnes & Noble | 59,995 sf |
| Shopko | 97,773 sf |
| Blockbuster Video | 6,536 sf |
| Total | 500,286 sf |
| Parking Required @ 1/300sf | 1,668 spaces |
| Bank Development | |
| Norwest Bank | 6,871 sf |
| First Federal Savings Bank | 5,529 sf |
| Total | 12,450 sf |
| Parking Required @ 1/300sf | 42 spaces |
| Restaurant Development | |
| Mountain Jack's | 353 seats* |
| Chili's | 333 seats* |
| Olive Garden | 400 seats* |
| Red Lobster | 473 seats* |
| Granite City | 367 seats |
| Total | 1,927 seats |
| Parking Required @ 30% capacity | 578 spaces |
| Automotive Service | |
| NTB | 9 bays* |
| Firestone | 30 bays* |
| Sears Automotive | 30 bays* |
| Total | 69 bays |
| Parking Required @ 2/bay + emp. | 210 spaces |
| Total Parking Required for Site | 5,278 spaces |
| Total Parking Provided | 7,554 spaces |

Overall Site Plan



1466 West 9th Street, #600
Cleveland, Ohio 44115
216.781.7144 fax 216.781.6556
www.koarc.com

The Architecture of Life

West Towne Mall
Madison, WI

Original Issue Date:
- 07 FEB 2006

Revisions

| No. | Date/Description |
|-----|------------------|
| | |
| | |
| | |
| | |
| | |

Authorized Use:

- Design Development
- Progress
- Bidding
- Building Permit
- Construction
- Other

Current Date:
07 FEB 2006

Sheet Description:
Overall Site Plan

Drawn By: CFF

Checked By: Kostoff

Plot: 03051-15

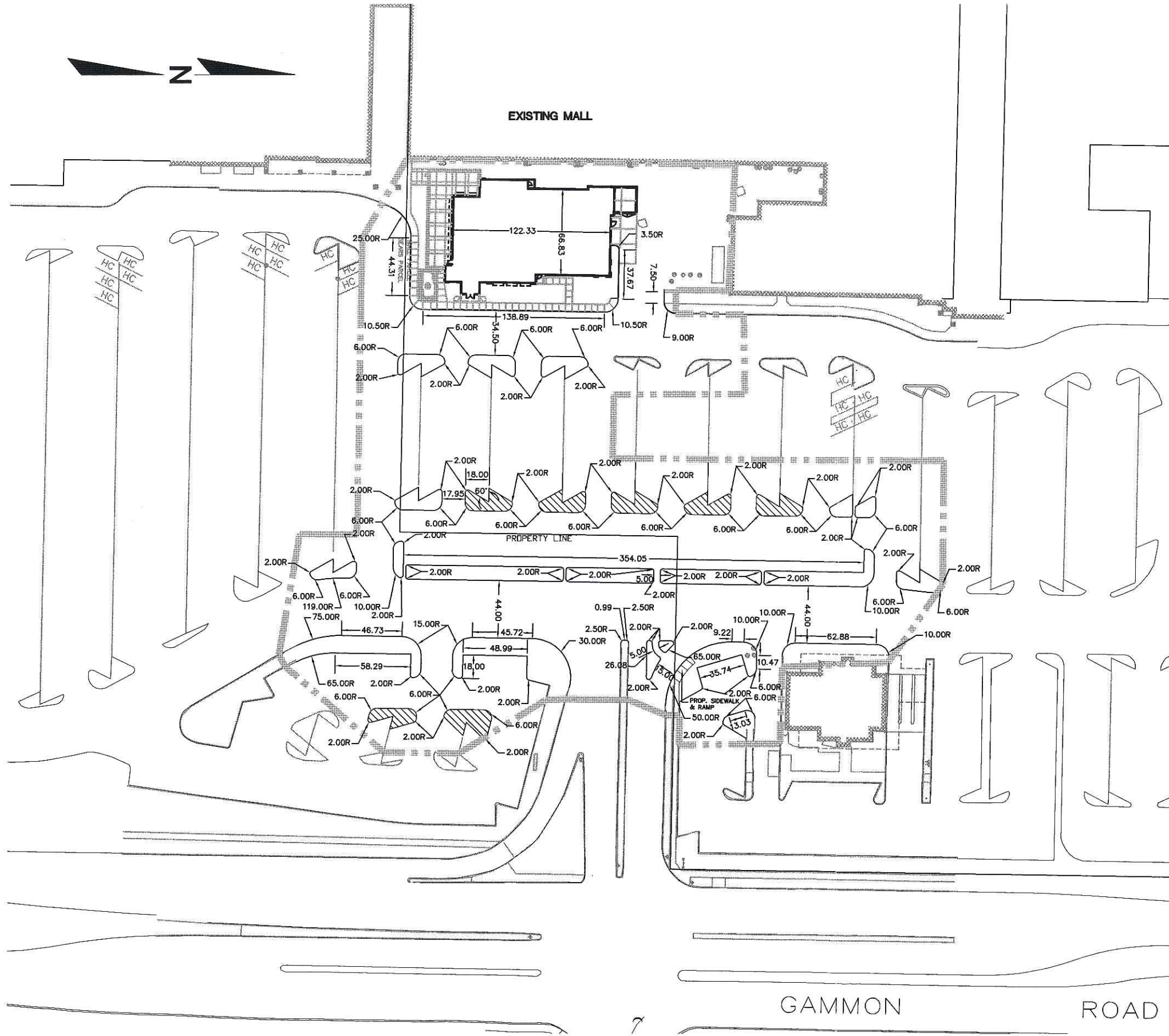
Drawing #

SP
Discipline Phase #

01
Division # Sheet #



EXISTING MALL

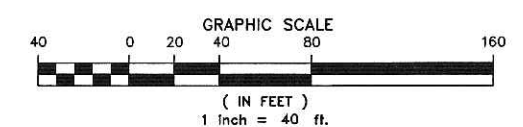


- NOTES**
- 1.) ALL STRUCTURAL FOOTPRINTS SHOWN ON PLAN ARE CONCEPTUAL.
 - 2.) ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING WALL.
 - 3.) TOTAL DISTURBED AREA = 151,579 S.F.

- PROPOSED 6" CONCRETE CURB AND GUTTER
- INDICATES CONSTRUCTION LIMITS LINE
- INDICATES PROPOSED PAINTED ISLAND
- INDICATES PROPOSED CURBED ISLAND
- INDICATES EXISTING CURBED ISLAND

— SURVEY PROVIDED BY NSE, DATED NOVEMBER 11, 2005
 — PROPOSED SITE LAYOUT BASED ON PLAN RECEIVED FROM SJA ARCHITECTS, DATED FEBRUARY 27, 2006

DIGGERS HOTLINE
 Toll Free (800) 242-8611
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com



GAMMON ROAD

| DATE | REVISION # | BY | DR |
|---------|------------|----|----|
| 3/07/06 | | | |

CBL & ASSOCIATES PROPERTIES, INC.
 CBL CENTER, SUITE 500
 2030 HAMILTON PLACE BOULEVARD
 CHATTANOOGA, TN 37421
 (423) 855-0001 / FAX (423) 490-8390

GRANITE CITY WEST TOWNE MALL EXPANSION
 MADISON, WI

SITE PLAN

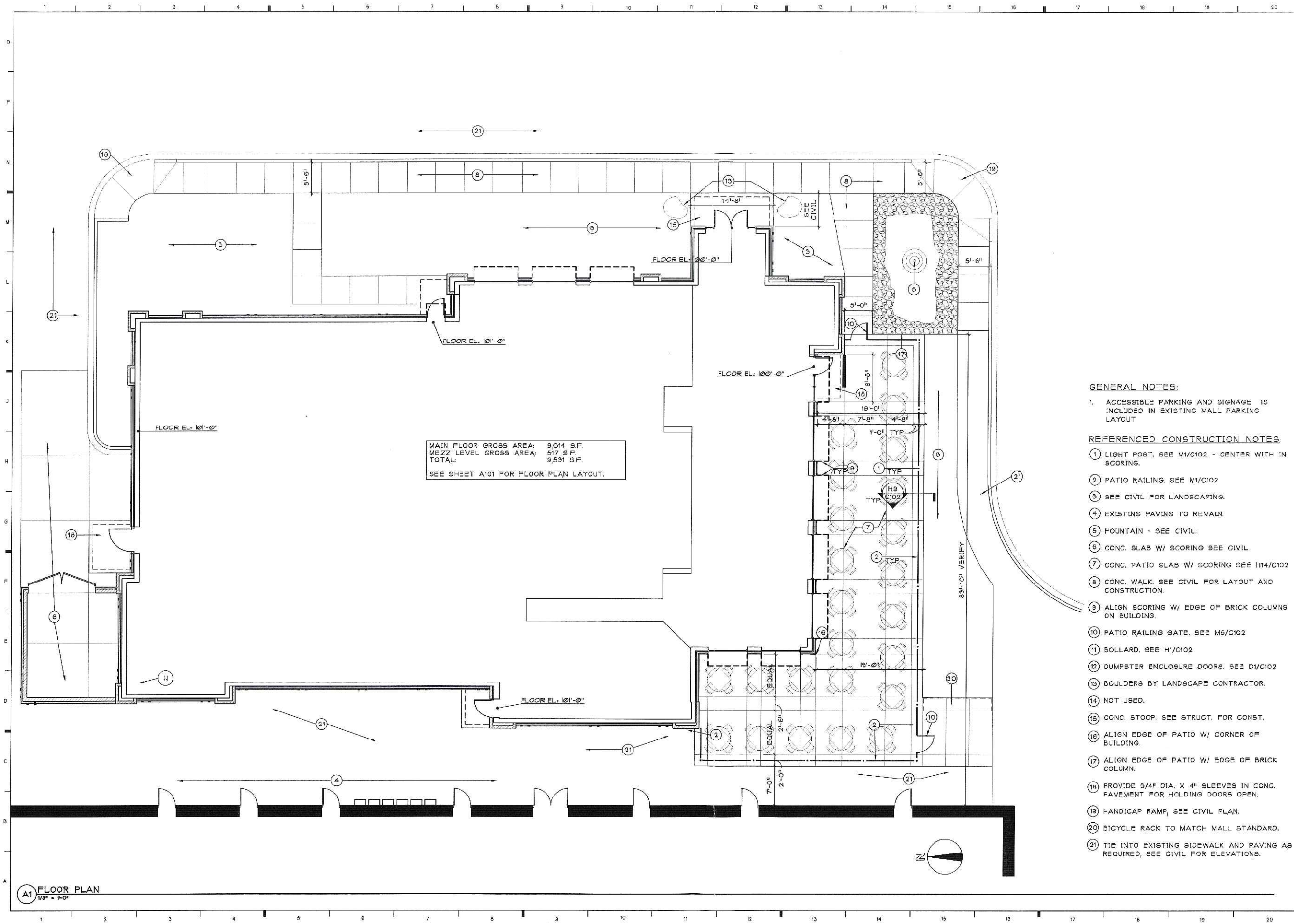
National Survey & Engineering
 2525 W. Belmont Road
 Brookfield, WI 53005-2000
 www.nse.com
 NSE PROJECT NO.: 0050639

DATE: 02-08-06
 SCALE: 1" = 40'
 PLAN NO.: CE-S2

NATIONAL SURVEY & ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF NATIONAL SURVEY & ENGINEERING.



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 2035 15TH Street N
 St. Cloud, Minnesota 56303
 Phone (320) 253-2100
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 www.staniusjohnson.com



MAIN FLOOR GROSS AREA: 9,014 S.F.
 MEZZ LEVEL GROSS AREA: 517 S.F.
 TOTAL: 9,531 S.F.
 SEE SHEET A101 FOR FLOOR PLAN LAYOUT.

GENERAL NOTES:

1. ACCESSIBLE PARKING AND SIGNAGE IS INCLUDED IN EXISTING MALL PARKING LAYOUT

REFERENCED CONSTRUCTION NOTES:

- 1 LIGHT POST. SEE M1/C102 - CENTER WITH IN SCORING.
- 2 PATIO RAILING. SEE M1/C102
- 3 SEE CIVIL FOR LANDSCAPING.
- 4 EXISTING PAVING TO REMAIN.
- 5 FOUNTAIN - SEE CIVIL.
- 6 CONC. SLAB W/ SCORING SEE CIVIL.
- 7 CONC. PATIO SLAB W/ SCORING SEE H14/C102
- 8 CONC. WALK. SEE CIVIL FOR LAYOUT AND CONSTRUCTION.
- 9 ALIGN SCORING W/ EDGE OF BRICK COLUMNS ON BUILDING.
- 10 PATIO RAILING GATE. SEE M5/C102
- 11 BOLLARD. SEE H1/C102
- 12 DUMPSTER ENCLOSURE DOORS. SEE D1/C102
- 13 BOULDERS BY LANDSCAPE CONTRACTOR.
- 14 NOT USED.
- 15 CONC. STOOP. SEE STRUCT. FOR CONST.
- 16 ALIGN EDGE OF PATIO W/ CORNER OF BUILDING.
- 17 ALIGN EDGE OF PATIO W/ EDGE OF BRICK COLUMN.
- 18 PROVIDE 3/4" DIA. X 4" SLEEVES IN CONC. PAVEMENT FOR HOLDING DOORS OPEN.
- 19 HANDICAP RAMP, SEE CIVIL PLAN.
- 20 BICYCLE RACK TO MATCH MALL STANDARD.
- 21 TIE INTO EXISTING SIDEWALK AND PAVING AS REQUIRED, SEE CIVIL FOR ELEVATIONS.

| REVISIONS | | |
|-----------|------|-------------|
| Mark | Date | Description |
| | | |
| | | |
| | | |

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 MADISON WEST
 MADISON, WISCONSIN
 for
 Granite City Food and Brewery
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SITE PLAN

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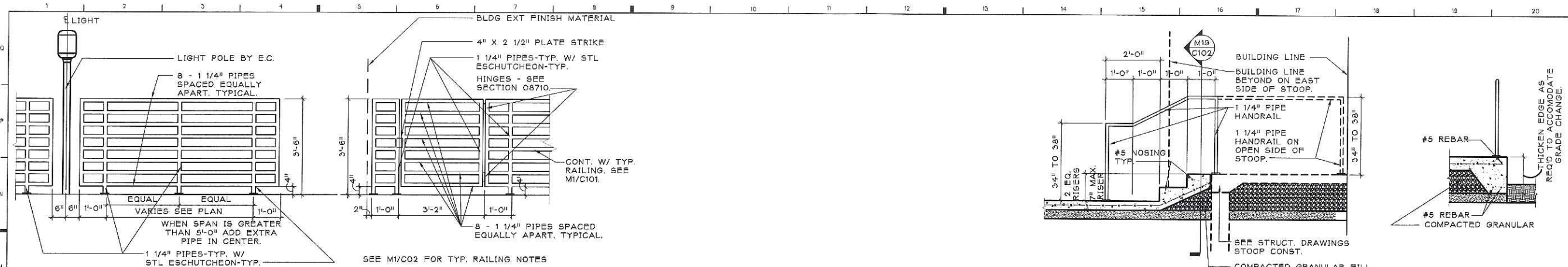
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 Checked By: DL
 Job No.: 05503
 Date: 2/17/06

C101

A1 FLOOR PLAN
 1/8" = 1'-0"

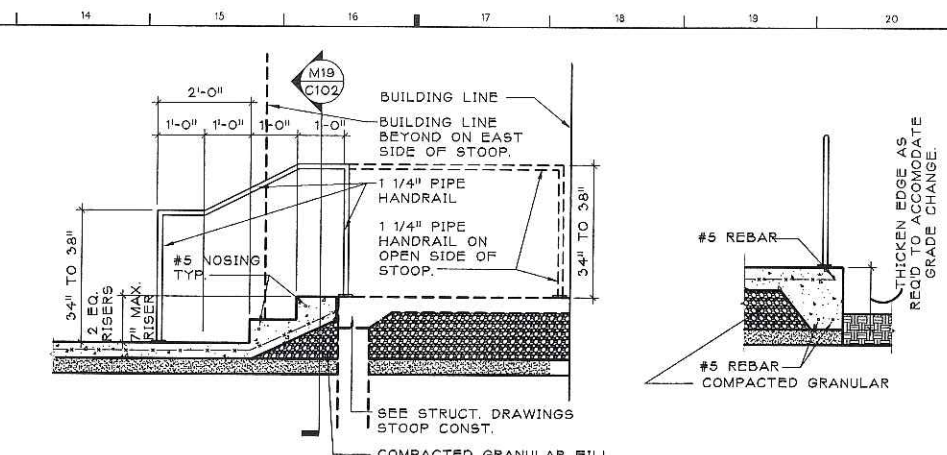


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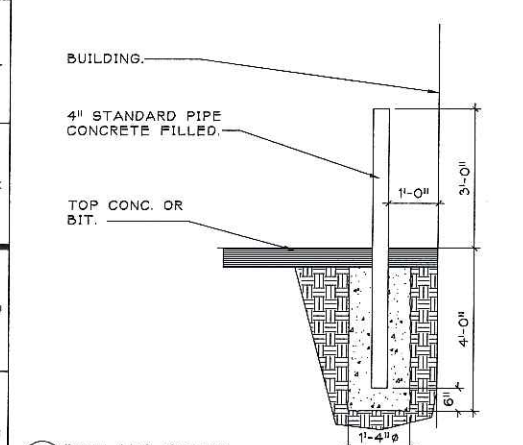
M1 PATIO RAILING DETAIL
1/2" x 9'-0"

M5 PATIO RAILING GATE DETAIL
1/2" x 9'-0"

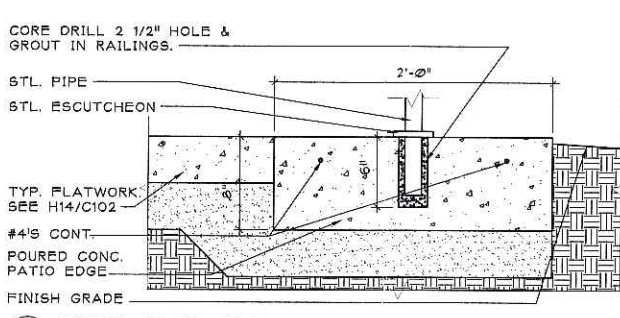


M14 STAIR AND HANDRAIL AT STOOP DETAIL
1/2" x 9'-0"

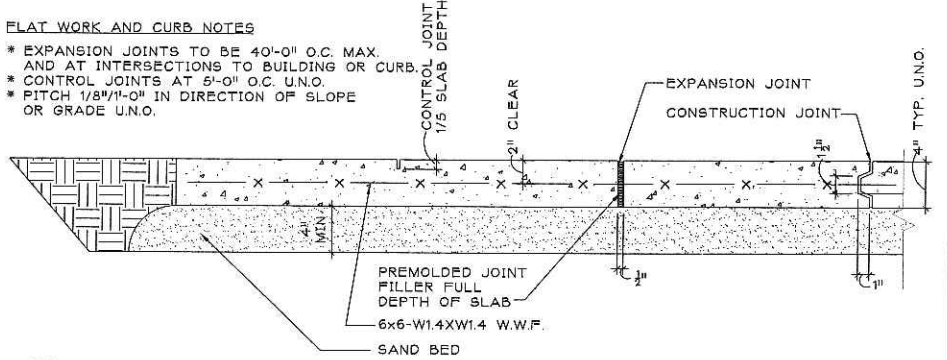
M19 STAIR DETAIL
1/2" x 9'-0"



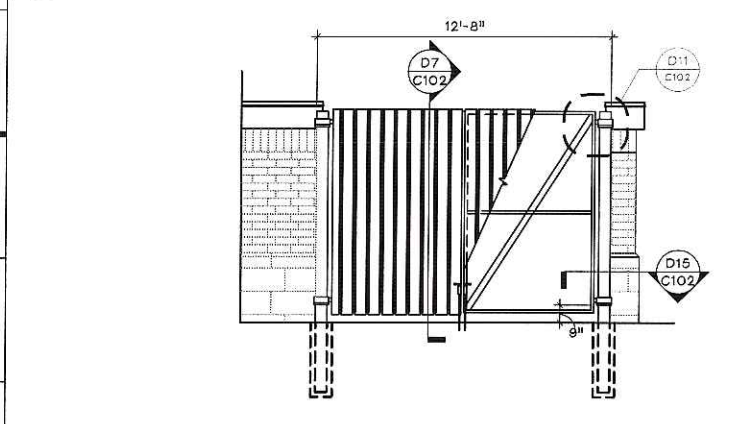
H1 BOLLARD DETAIL
1/2" x 9'-0"



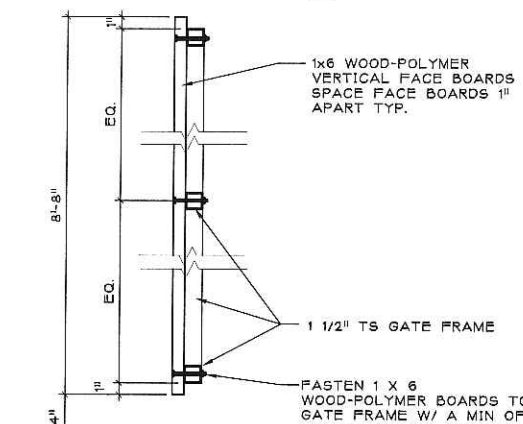
H9 TYPICAL PATIO EDGE
1/2" x 9'-0"



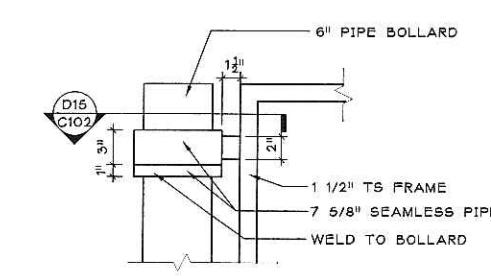
H14 TYPICAL EXTERIOR FLATWORK
1/2" x 9'-0"



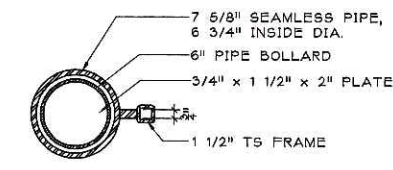
D1 TRASH ENCLOSURE ELEVATION
1/4" x 9'-0"



D7 TRASH ENCLOSURE GATE SECTION
1/2" x 9'-0"



D11 TRASH ENCLOSURE GATE DETAIL
1/2" x 9'-0"



D15 TRASH ENCL GATE HINGE SECT
1/2" x 9'-0"

| REVISIONS | | |
|-----------|------|-------------|
| Mark | Date | Description |
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| | | |

GRANITE CITY FOOD & BREWERY
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SITE DETAILS

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Drawn By: DL, JK Sheet No:
 Checked By: DL
 Job No.: 05503
 Date: 2/17/06

C102

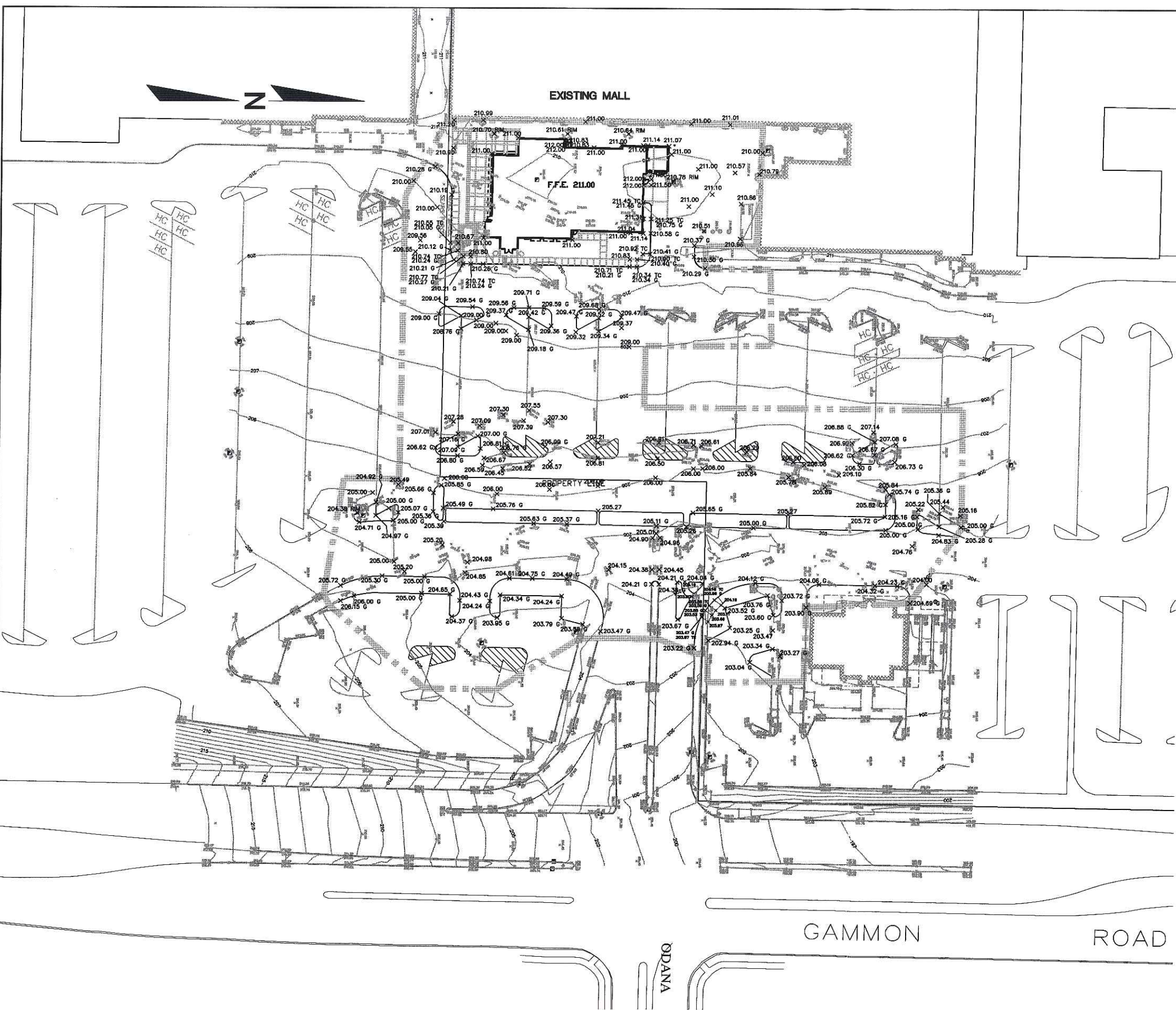


West
T-O-W-N-E

Granite City
FOOD & BREWERY



EXISTING MALL



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 3) SPOT GRADES ARE TO FACE OF CURB, PAVEMENT OR BUILDING, UNLESS OTHERWISE NOTED.

LEGEND

- 764 ——— EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- 764.00 TC ——— PROPOSED TOP OF CURB SPOT ELEVATION
- 764.00 B ——— PROPOSED BOTTOM OF CURB SPOT ELEVATION
- 764.00 ——— PROPOSED SPOT ELEVATION
- CONSTRUCTION LIMITS LINE
- PROPOSED INLET GRATE SCREEN (SEE DETAIL BELOW)
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED STORM MANHOLE

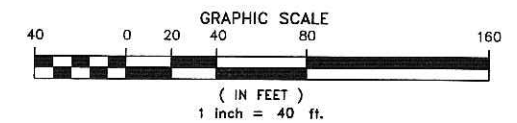
— SURVEY PROVIDED BY NSE,
 DATED NOVEMBER 11, 2005
 — PROPOSED SITE LAYOUT BASED ON PLAN
 RECEIVED FROM SJA ARCHITECTS,
 DATED JANUARY 27, 2006



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GAMMON ROAD

ODANA



| DATE | REVISION # | BY |
|------------------------------|------------|----|
| 3/27/06 <td> <td></td> </td> | <td></td> | |

**CBL & ASSOCIATES
 PROPERTIES, INC.**
 CBL CENTER, SUITE 500
 2030 HAMILTON PLACE BOULEVARD
 CHATTANOOGA, TN 37421
 (423) 855-0001 / FAX (423) 490-8390

**GRANITE CITY
 WEST TOWNE MALL
 EXPANSION
 MADISON, WI**

**GRADING AND EROSION
 CONTROL PLAN**

National Survey & Engineering
 3700 W. Inwood Road
 Milwaukee, WI 53247
 Telephone: 414-259-1181
 Fax: 414-259-1182
 www.nse-engineering.com

DATE: 02-08-06
 SCALE: 1" = 40'
 PLAN NO.: CE-G6

NSE PROJECT NO. 3000639



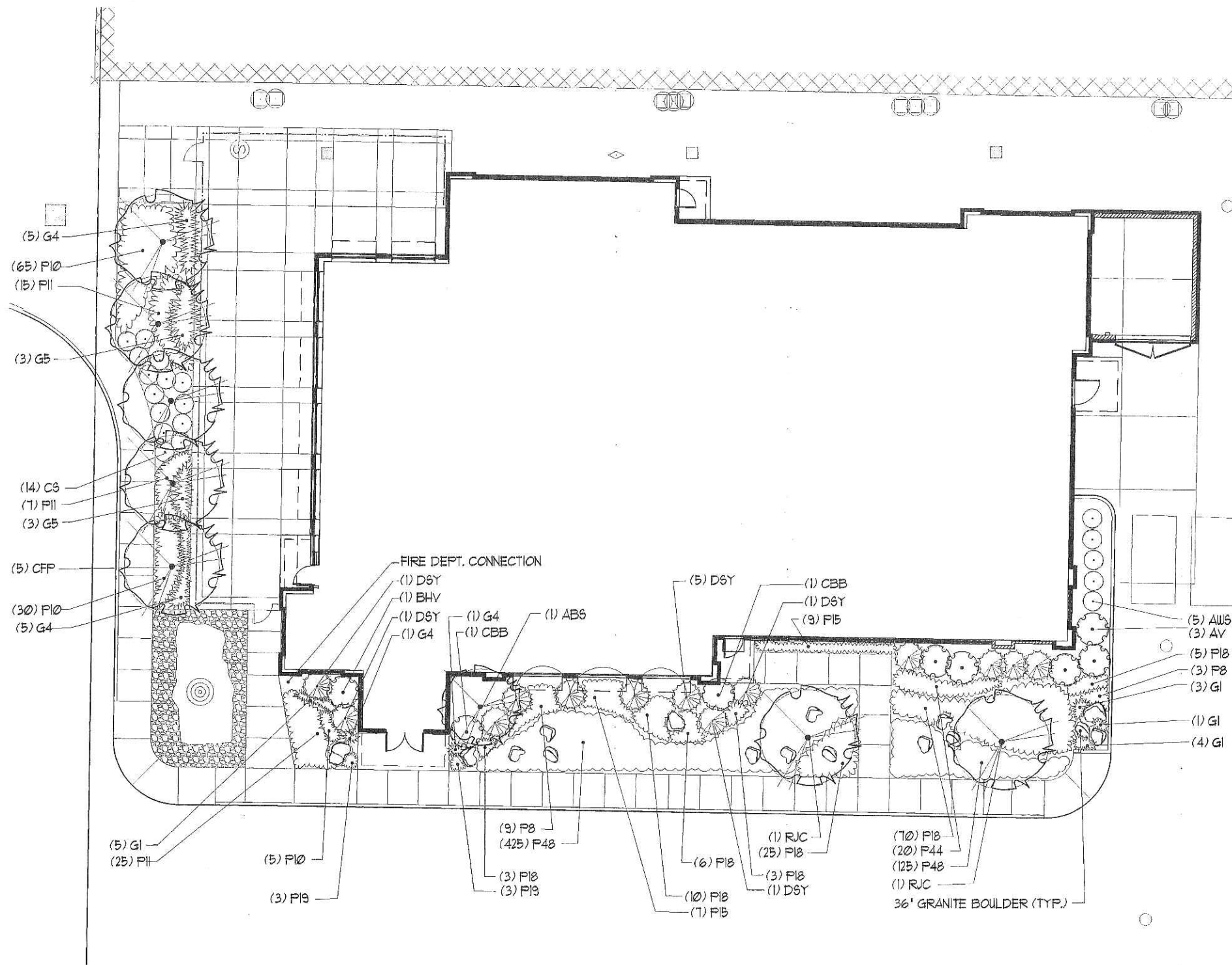
SJA ARCHITECTS
DULUTH • ST. CLOUD

2035 15TH Street N
St. Cloud, Minnesota 56303
Phone (320) 253-2100
Fax (320) 253-2269
www.staniusjohnson.com

PLANT MATERIAL SCHEDULE

| SYM | AMT. | COMMON NAME | BOTANICAL NAME | SIZE | ROOT | REMARKS |
|-----|------|---|---|-------------|------|-------------|
| ABS | 1 | AUTUMN BRILLIANCE SERVICEBERRY | AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE' | 7' HT. | BB | |
| RJC | 2 | RED JEWEL CRAB | MALUS 'RED JEWEL' | 2 1/2" CAL. | BB | |
| CFP | 5 | GALLERY FLOWERING PEAR 'CLEVELAND SELECT' | PYRUS CALLERYANA 'CLEVELAND SELECT' | 2 1/2" CAL. | BB | |
| AV | 3 | ARROWWOOD VIBURNUM | VIBURNUM DENTATUM | 3' | BB | |
| BHV | 1 | BLACKHAW VIBURNUM | VIBURNUM PRUNIFOLIUM | 3" | BB | |
| CBB | 2 | COMPACT BURNING BUSH | EUONYMUS ALATUS 'COMPACTUM' | 24" | BB | |
| DSY | 9 | DENSIFORMIS SPREADING YEW | TAXUS X MEDIA DENSIFORMIS | 24" | BB | |
| AUS | 5 | ANTHONY WATERER SPIRAEA | SPIRAEA BUNALDA 'ANTHONY WATERER' | 15" | POT | |
| C5 | 14 | CHAMPLAIN SHRUBROSE | ROSA 'CHAMPLAIN' | 15" | POT | |
| G1 | 13 | BLUE OAT GRASS | HELICTOTRICHON SEMPERVIRENS | 1 GAL. | POT | 18" SPACING |
| G4 | 12 | HEAVY METAL SWITCHGRASS | PANICUM VIRGATUM | 1 GAL. | POT | 24" SPACING |
| G5 | 6 | KARL FOERSTER REED GRASS | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' | 1 GAL. | POT | 30" SPACING |
| P8 | 12 | CONFLOUER 'PURPLE' | ECHINACEA PURPUREA | 4 1/2" | POT | 18" SPACING |
| F10 | 100 | COREOPSIS 'ZAGREB' | COREOPSIS VERTICILLATA 'ZAGREB' | 4 1/2" | POT | 15" SPACING |
| F11 | 41 | CRANESBILL 'BLOOD RED' | GERANIUM SANGUINEUM | 4 1/2" | POT | 18" SPACING |
| F15 | 16 | DAYLILY 'LITTLE WINE CUP' | HEMEROCALLIS 'LITTLE WINE CUP' | 4 1/2" | POT | 24" SPACING |
| F18 | 122 | DAYLILY 'STELLA de ORO' | HEMEROCALLIS 'STELLA de ORO' | 4 1/2" | POT | 18" SPACING |
| F19 | 6 | DWARF SHASTA DAISEY 'LITTLE PRINCESS' | CHRYSANTHEMUM SUPERBUM 'LITTLE PRINCESS' | 4 1/2" | POT | 18" SPACING |
| F44 | 20 | PALACE PURPLE CORAL BELL | HEUCHERA MICRANTHA | 4 1/2" | POT | 15" SPACING |
| F48 | 550 | PURPLE LEAF WINTERCREEPER | EUONYMUS COLORATUS 'PURPUREA' | 4 1/2" | POT | 12" SPACING |

NOTE: ALL MULCHED BEDS TO RECEIVE 3' OF #1 MISSISSIPPI RIVER STONE OVER TYPAR WEED BARRIER.

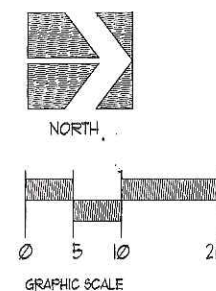
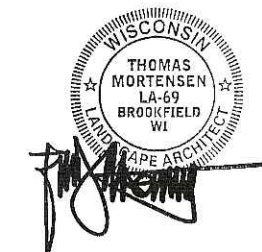


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National Survey & Engineering

Telephone 262-781-0000
 Facsimile 262-781-6499
 3746 W. Bluemound Road
 Suite 200
 Brookfield, WI 53005-6884
 www.nse.com

NSE PROJECT NO.: 3050640

LANDSCAPE ARCHITECT:
 CHARLES N. STASSI, ASLA

REVISIONS

| Mark | Date | Description |
|------|---------|-------------|
| --- | 3-11-05 | REVISION #1 |
| --- | | |
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PROJECT
GRANITE CITY FOOD & BREWERY
 Madison, Wisconsin
 for
 Granite City Food and Brewery
 5831 Cedar Lake Road
 Saint Louis Park, MN 55116
 www.gcfb.net

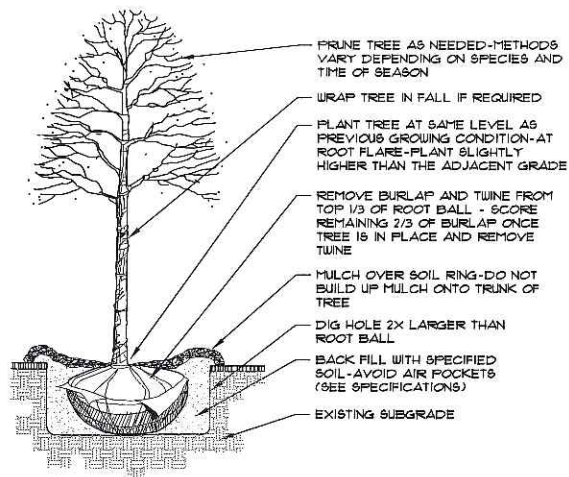
LANDSCAPE PLAN

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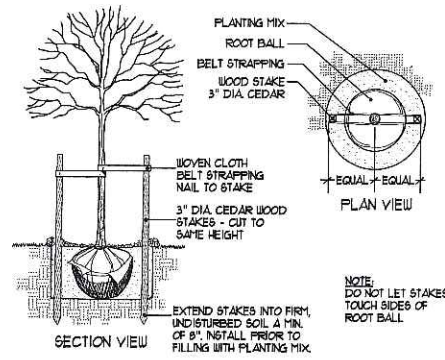
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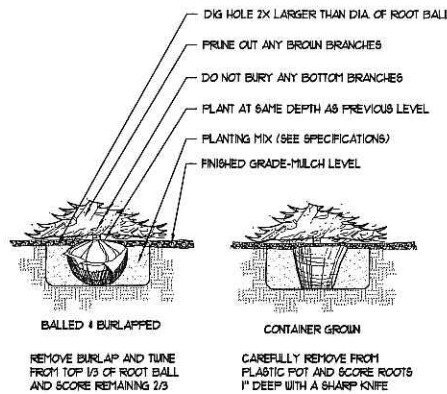
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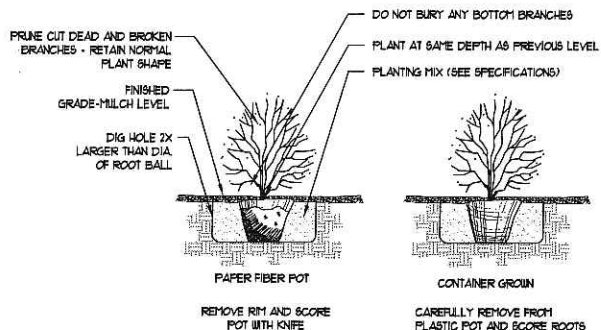
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NOT TO SCALE



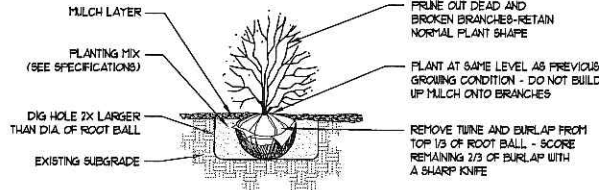
DECIDUOUS TREE STAKING DETAIL FOR PARKING ISLANDS AND RESTRICTED AREAS
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EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE



POTTED SHRUB PLANTING DETAIL
NOT TO SCALE



DECIDUOUS SHRUB PLANTING DETAIL
NOT TO SCALE

GENERAL LANDSCAPE NOTES

- CONTRACTOR RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE TO HAVE SITE MARKED PRIOR TO ANY DIGGING OR EARTHWORK.
- CONTRACTOR TO VERIFY ALL PLANT QUANTITIES SHOWN ON PLANT LIST AND VERIFY WITH PLAN REPORT ANY DISCREPANCIES IMMEDIATELY TO LANDSCAPE ARCHITECT AND/OR GENERAL CONTRACTOR.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z601 (LATEST VERSION). LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT, AND POTENTIALLY REJECT, ANY PLANTS THAT ARE INFERIOR, COMPROMISED, UNDERSIZED, DISEASED, IMPROPERLY TRANSPORTED, INSTALLED INCORRECTLY OR DAMAGED.
- ANY POTENTIAL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS MUST BE INSTALLED AS PER SIZES SHOWN ON PLANT MATERIAL SCHEDULE. UNLESS APPROVED BY LANDSCAPE ARCHITECT, ANY CHANGES TO SIZES SHOWN ON PLAN MUST BE SUBMITTED IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TREE PLANTING: PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. REMOVE EXCESS SOIL FROM TOP OF ROOT BALL, IF NEEDED. HEMP BURLAP AND TUINE IS PREFERRED OVER TREATED (SEE PLANTING DETAILS). IF WIRE CAGES EXIST ON THE ROOTBALL, CUT AND REMOVE THEM FROM TOP AND SIDES OF ROOTBALL ONCE THE TREE HAS BEEN PLACED INTO THE HOLE AND WILL NO LONGER BE MOVED.
- TREE PLANTING: BACKFILL TREE PLANTING HOLES 80% EXISTING SOIL, REMOVED FROM EXCAVATION AND 20% PLANT STARTER MIX. AVOID ANY AIR POCKETS AND DO NOT TAMP SOIL. DO NOT DISCARD ANY GRAVEL, HEAVY CLAY OR STONES. PROVIDE A 3" DEEP 4" DIA. SHREDDED HARDWOOD BARK MULCH RING AROUND ALL LAWN TREES. DO NOT BUILD UP ANY MULCH ONTO TRUNK OF ANY TREE. TREES THAT ARE INSTALLED INCORRECTLY WILL BE REPLACED AT THE TIME AND EXPENSE OF THE LANDSCAPE CONTRACTOR.
- SHRUB PLANTING: ALL SHRUBS TO BE PROPERLY PLANTED WITH A 50/50 MIX OF PLANT STARTER AND TOPSOIL. INSTALL TOPSOIL INTO ALL PLANT BEDS AS NEEDED TO ACHIEVE PROPER GRADE AND DISPLACE UNDESIRABLE SOIL (SEE PLANTING DETAILS). REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES FROM PLANT BEDS PRIOR TO PLANTING.
- MULCHING: ALL PLANTINGS RECEIVE A 3" DEEP LAYER OF HIGH QUALITY SHREDDED HARDWOOD BARK MULCH (NOT ENVIRONMENTAL). ALL PERENNIAL PLANTING AREAS TO RECEIVE A 2" LAYER OF THE SAME MULCH. DO NOT MULCH ANNUAL FLOWER BEDS (IF APPLICABLE). DO NOT ALLOW MULCH TO CONTACT PLANT STEMS AND TREE TRUNKS.
- EDGING: EDGE ALL PLANTING BEDS WITH A 4" DEEP SPADED EDGE (SHOVEL CUT OR MECHANICAL). BEDLINES ARE TO BE CUT CRISP, AS PER PLAN. A CLEAR DEFINITION BETWEEN LAWN AREA AND PLANT BED IS REQUIRED.
- PLANT BED PREPARATION: ALL PERENNIAL, ANNUAL AND GROUNDCOVER AREAS ARE REQUIRED TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO INSTALLATION. ROTOTILL THE FOLLOWING MATERIALS, AT THE FOLLOWING RATIO, INTO EXISTING OR INSTALLED TOPSOIL TO A DEPTH OF APPROX. 6" -
 PER EVERY 100 SQUARE FEET OF BED AREA ADD:
 2 QLT. BALE OF PEAT MOSS
 2 LBS. OF 5-10-5 GARDEN FERTILIZER
 1/4 QLT. YARD OF COMPOSTED MANURE
 NOTE: BULK PLANT STARTER WILL NOT BE AN ACCEPTABLE ALTERNATIVE FOR THE ABOVE SOIL AMENDMENTS, UNLESS APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TOPSOIL IN PARKING ISLANDS: ALL PARKING LOT ISLANDS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM DEPTH OF 8" TO INSURE LONG TERM PLANT HEALTH. TOPSOIL SHOULD BE PLACED BY GENERAL / GRADING CONTRACTOR DURING ROUGH GRADING OPERATIONS. THE LANDSCAPE CONTRACTOR TO BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING BEDS AND LAWN AREAS. GRADE ALL PLANTING ISLANDS A MINIMUM OF 6" TO PROVIDE PROPER DRAINAGE, UNLESS OTHERWISE SPECIFIED.
- TOPSOIL - LANDSCAPE CONTRACTOR TO EVALUATE CONDITION OF SITE GRADING PRIOR TO PERFORMING WORK, AND DETERMINE IF ADDITIONAL TOPSOIL IS REQUIRED TO PROPERLY INSTALL THE PLANTINGS AND TURF AREAS. IF REQUIRED, PROVIDE AN ESTIMATE IN BID / PROPOSAL REFLECTING THE COST PER CUBIC YARD TO PROVIDE, HAIL, AND SPREAD ADDITIONAL TOPSOIL, ALONG WITH AN ESTIMATE OF THE QUANTITY OF TOPSOIL WHICH MAY BE REQUIRED.
- LAWN INSTALLATION FOR ALL SEEDED TURFGRASS AREAS: REMOVE / KILL OFF ANY EXISTING UNWANTED VEGETATION PRIOR TO SEEDING. PREPARE THE TOPSOIL (IF ADEQUATE-OR PROVIDE AS IN #10) AND SEED BED BY REMOVING ALL SURFACE STONES 1" OR LARGER. APPLY A STARTER FERTILIZER AND SPECIFIED SEED UNIFORMLY AND PROVIDE MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. ESCOPE SEED AND FERTILIZER SPECIFICATIONS TO LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE USED IN SLOPES AND ON STEEP GRADERS, WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF THE LANDSCAPE CONTRACTOR ON HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. A FINISH DEPTH OF 3" OF BLENDED, PREPARED AND NON-COMPACTED TOPSOIL IS REQUIRED FOR ALL LAWN AREAS. IF STRAW MULCH IS USED AS A MULCH COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE. AN ACCEPTABLE QUALITY TURF IS DEFINED AS HAVING:
 NO BARE SPOTS LARGER THAN 1 SQUARE FOOT
 NO MORE THAN 1/8" OF THE TOTAL AREA WITH BARE SPOTS LARGER THAN 1 SQUARE FOOT
 A UNIFORM COVERAGE THROUGHOUT ALL TURF AREAS
- SEED TYPE: #1 FOR PREMIUM LAWN AREAS. PROGREEN 505 APPLIED AT RECOMMENDED RATES (AVAILABLE AT PROGREEN PLUS, 1-800-PRO-GREEN) OR AN EQUIVALENT, APPROVED PREMIUM QUALITY TURF SEED MIX WHICH WILL GERMINATE QUICKLY. PROVIDE SEED SPECIFICATIONS TO OWNER / LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- WARRANTY AND REPLACEMENTS: ALL PLANTINGS ARE TO BE WATERED AT TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED. TREES, EVERGREENS, AND SHRUBS TO BE GUARANTEED (100% REPLACEMENT) FOR A MINIMUM OF ONE YEAR FROM THE DATE OF PROJECT COMPLETION. PERENNIALS, GROUNDCOVERS, AND ORNAMENTAL GRASSES TO BE GUARANTEED FOR A MINIMUM OF ONE GROWING SEASON. WATERING AND GENERAL ONGOING MAINTENANCE INSTRUCTIONS ARE TO BE SUPPLIED BY LANDSCAPE CONTRACTOR TO THE OWNER, UPON THE COMPLETION OF THE PROJECT.
- PROJECT COMPLETION: LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL REVIEW OF THE PROJECT, UPON COMPLETION WITH THE LANDSCAPE ARCHITECT, CLIENT / OWNER / REPRESENTATIVE, AND THE GENERAL CONTRACTOR TO ANSWER QUESTIONS, PROVIDE CARE INSTRUCTIONS (IN WRITING) FOR THE NEW PLANTINGS AND TURF, AND INSURE THAT ALL SPECIFICATIONS HAVE BEEN MET.

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 Facsimile 262-781-6400
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 Suite 200
 Brookfield, WI 53005-0902
www.nse.com
 NSE PROJECT NO: 3050640

LANDSCAPE ARCHITECT:
 CHARLES N. STASSI, ASLA

| Mark | Date | Description |
|------|----------|-------------|
| --- | 03-01-05 | REVISION #1 |
| --- | --- | --- |
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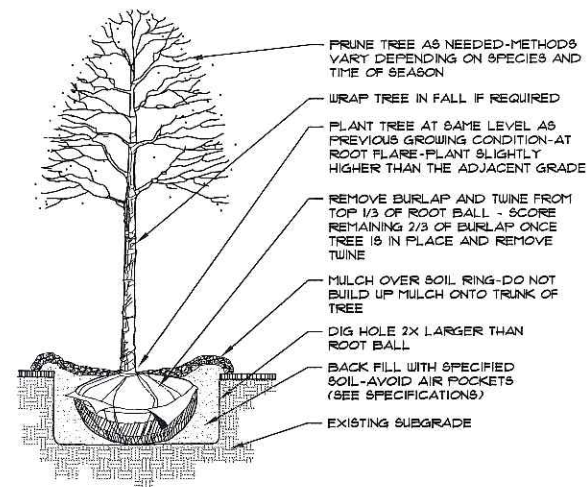
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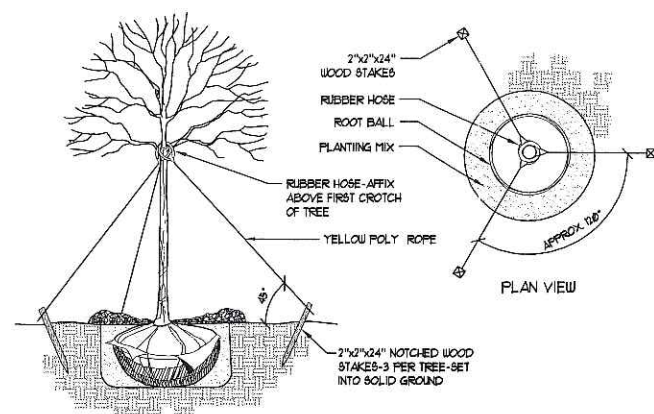
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 Job No: _____ LP-2
 Date: 02/07/06

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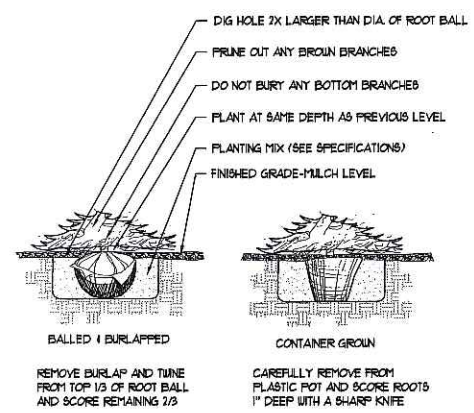
PLANTING DETAILS



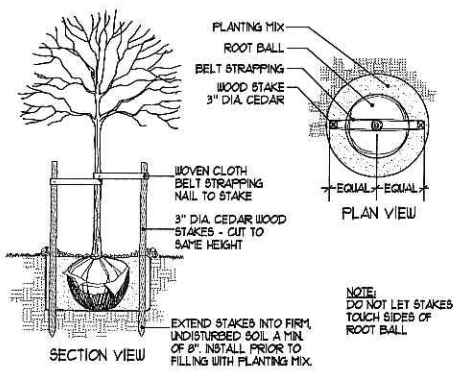
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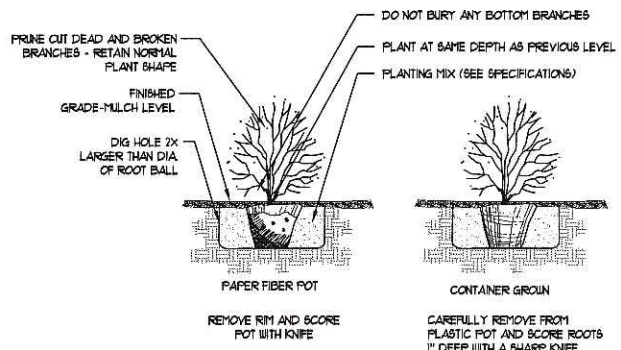
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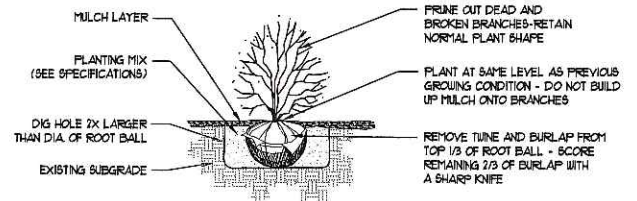
EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE STAKING DETAIL FOR PARKING ISLANDS AND RESTRICTED AREAS
NOT TO SCALE



POTTED SHRUB PLANTING DETAIL
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DECIDUOUS SHRUB PLANTING DETAIL
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- TREE PLANTING: BACKFILL TREE PLANTING HOLES 80% EXISTING SOIL REMOVED FROM EXCAVATION AND 20% PLANT STARTER MIX. AVOID ANY AIR POCKETS AND DO NOT TAMP SOIL DOWN ON GRAVEL, HEAVY CLAY OR STONES. PROVIDE A 3" DEEP, 4 FT. DIAMETER SHREDED HARDWOOD BARK MULCH RING AROUND ALL LAWN TREES. DO NOT BUILD UP ANY MULCH ONTO TRUNK OF ANY TREE. TREES THAT ARE INSTALLED INCORRECTLY WILL BE REPLACED AT THE TIME AND EXPENSE OF THE LANDSCAPE CONTRACTOR.
- SHRUB PLANTING: ALL SHRUBS TO BE POCKET PLANTED WITH A BOND MIX OF PLANT STARTER AND TOPSOIL. INSTALL TOPSOIL INTO ALL PLANT BEDS AS NEEDED TO ACHIEVE PROPER GRADE AND DISPLACE UNDESIRABLE SOIL (SEE PLANTING DETAIL). REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES FROM PLANT BEDS PRIOR TO PLANTING.
- MULCHING: ALL PLANTING BEDS TO RECEIVE A 3" DEEP LAYER OF HIGH QUALITY SHREDED HARDWOOD BARK MULCH (NOT ENVIRONMENTAL). ALL PERENNIAL PLANTING AREAS TO RECEIVE A 2" LAYER OF THE SAME MULCH. DO NOT MULCH ANNUAL FLOWER BEDS (IF APPLICABLE). DO NOT ALLOW MULCH TO CONTACT PLANT STEMS AND TREE TRUNKS.
- EDGINGS: EDGE ALL PLANTING BEDS WITH A 4" DEEP GRADED EDGE (SHOVEL CUT OR MECHANICAL) BEELINES ARE TO BE CUT CRISP, AS PER PLAN. A CLEAR DEFINITION BETWEEN LAWN AREA AND PLANT BED IS REQUIRED.
- PLANT BED PREPARATION: ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS ARE REQUIRED TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO INSTALLATION. ROTOTILL THE FOLLOWING MATERIALS, AT THE FOLLOWING RATIO, INTO EXISTING OR INSTALLED TOPSOIL TO A DEPTH OF APPROX. 6":
 - PER EVERY 100 SQUARE FEET OF BED AREA ADD:
 - 2 CU. FT. BALE OF PEAT MOSS
 - 2 LBS. OF 8-10-5 GARDEN FERTILIZER
 - 1/4 CU. YARD OF COMPOSTED MANURE
 NOTE: BULK PLANT STARTER WILL NOT BE AN ACCEPTABLE ALTERNATIVE FOR THE ABOVE SOIL AMENDMENTS, UNLESS APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TOPSOIL: IN PARKING ISLANDS, ALL PARKING LOT ISLANDS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM DEPTH OF 10" TO INSURE LONG TERM HEALTH. TOPSOIL SHOULD BE PLACED BY GENERAL / GRADING CONTRACTOR DURING ROUGH GRADING OPERATIONS. THE LANDSCAPE CONTRACTOR TO BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING BEDS AND LAWN AREAS. CROWN ALL PLANTING ISLANDS A MINIMUM OF 6" TO PROVIDE PROPER DRAINAGE, UNLESS OTHERWISE SPECIFIED.
- TOPSOIL: LANDSCAPE CONTRACTOR TO EVALUATE CONDITION OF SITE GRADING PRIOR TO PERFORMING WORK, AND DETERMINE IF ADDITIONAL TOPSOIL IS REQUIRED TO PROPERLY INSTALL THE PLANTINGS AND TURF AREAS. IF REQUIRED, PROVIDE AN ESTIMATE IN BID / PROPOSAL REFLECTING THE COST PER CUBIC YARD TO PROVIDE, HAIL AND SPREAD ADDITIONAL TOPSOIL, ALONG WITH AN ESTIMATE OF THE QUANTITY OF TOPSOIL WHICH MAY BE REQUIRED.
- LAWN INSTALLATION: FOR ALL SEEDING TURFGRASS AREAS, REMOVE / KILL OFF ANY EXISTING UNWANTED VEGETATION PRIOR TO SEEDING. PREPARE THE TOPSOIL (IF ADEQUATE OR PROVIDE AS IN #10) AND SEED BED BY REMOVING ALL SURFACE STONES 1" OR LARGER, APPLY A STARTER FERTILIZER AND SPECIFIED SEED UNIFORMLY AND PROVIDE MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. FERTILIZER, SEED AND FERTILIZER SPECIFICATIONS TO LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION. FRESH CROWNED TURF ARE TO BE USED IN ROLLS AND ON STEEP GRADES, WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF THE LANDSCAPE CONTRACTOR ON HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. A MINIMUM DEPTH OF 3" OF BLENDED, PREPARED AND NON-COMPACTED TOPSOIL IS REQUIRED FOR ALL LAWN AREAS. IF STRAW MULCH IS USED AS A MULCH COVERING, A TACKLER MAY BE NECESSARY TO AVOID WIND DAMAGE. AN ACCEPTABLE QUALITY TURF IS DEFINED AS HAVING:
 - NO BARE SPOTS LARGER THAN 1 SQUARE FOOT
 - NO MORE THAN 10% OF THE TOTAL AREA WITH BARE SPOTS LARGER THAN 1 SQUARE FOOT
 - A UNIFORM COVERAGE THROUGHOUT ALL TURF AREAS
- SEED TYPE 'A' FOR PREMIUM LAWN AREAS. PROGREEN MBS APPLIED AT RECOMMENDED RATES (AVAILABLE AT PROGREEN PLUS, 1-800-PRO-GREEN) OR AN EQUIVALENT, APPROVED PREMIUM QUALITY TURF BEED MIX WHICH WILL GERMINATE QUICKLY. PROVIDE BEED SPECIFICATIONS TO OWNER / LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SHRUBBARY AND REPLACEMENTS: ALL PLANTINGS ARE TO BE WATERED AT TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED. TREES, EVERGREENS, AND GRASSES TO BE GUARANTEED (BARK REPLACEMENT) FOR A MINIMUM OF ONE YEAR FROM THE DATE OF PROJECT COMPLETION. PERENNIALS, GROUNDCOVERS, AND ORNAMENTAL GRASSES TO BE GUARANTEED FOR A MINIMUM OF ONE GROWING SEASON. WATERING AND GENERAL ONGOING MAINTENANCE INSTRUCTIONS ARE TO BE SUPPLIED BY LANDSCAPE CONTRACTOR TO THE OWNER UPON THE COMPLETION OF THE PROJECT.
- PROJECT COMPLETION: LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL REVIEW OF THE PROJECT UPON COMPLETION WITH THE LANDSCAPE ARCHITECT CLIENT / OWNER / REPRESENTATIVE, AND THE GENERAL CONTRACTOR TO ANSWER QUESTIONS, PROVIDE CARE INSTRUCTIONS IN WRITING FOR THE NEW PLANTINGS AND TURF, AND INSURE THAT ALL SPECIFICATIONS HAVE BEEN MET.

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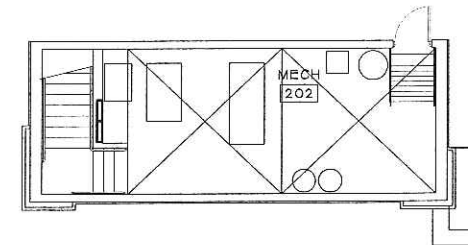
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| <p>GRANITE CITY WEST TOWNE MALL EXPANSION MADISON, WI</p> | | |
| <p>LANDSCAPE NOTES AND DETAILS</p> | | |
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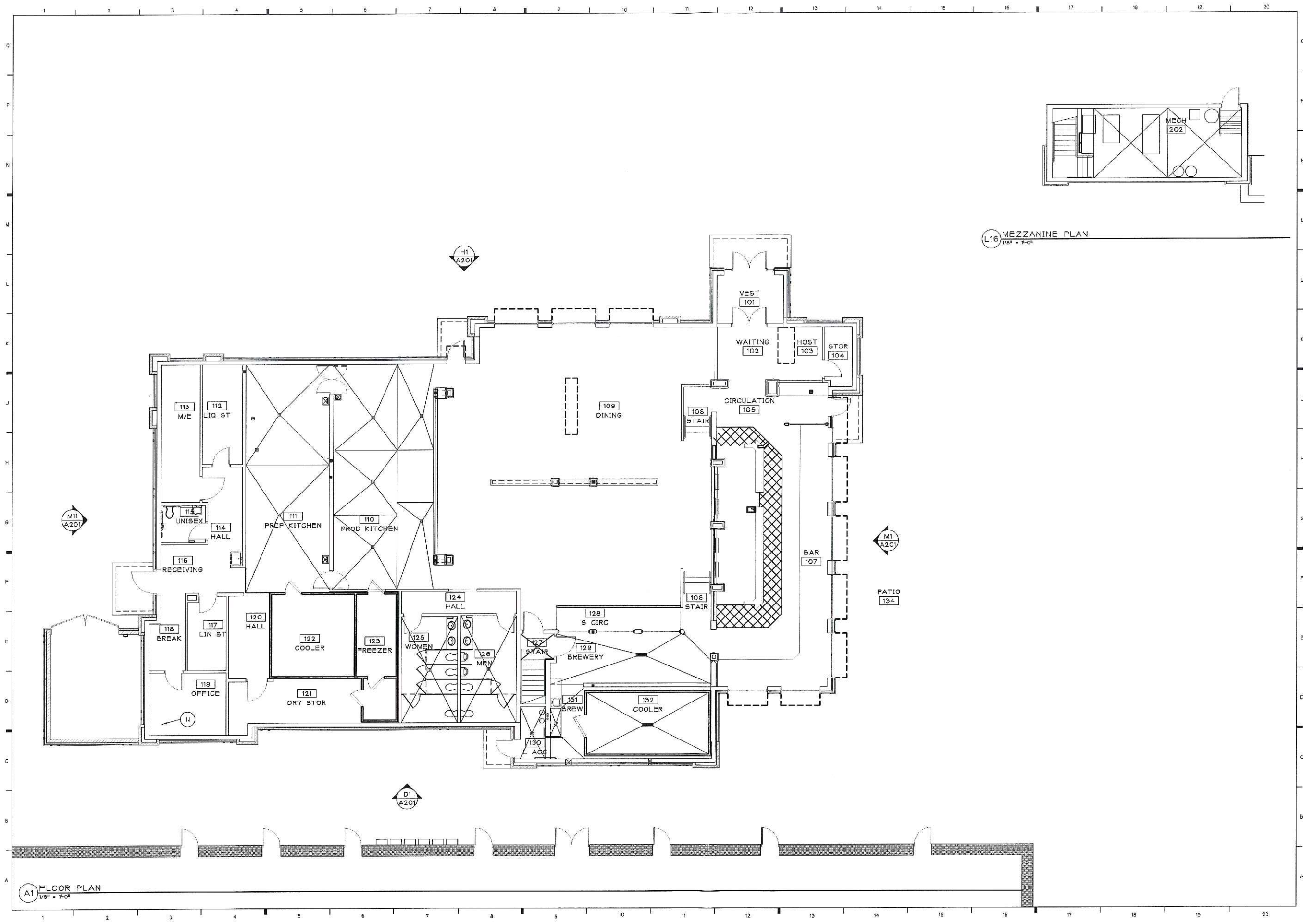


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L16 MEZZANINE PLAN
1/8" = 1'-0"



A1 FLOOR PLAN
1/8" = 1'-0"

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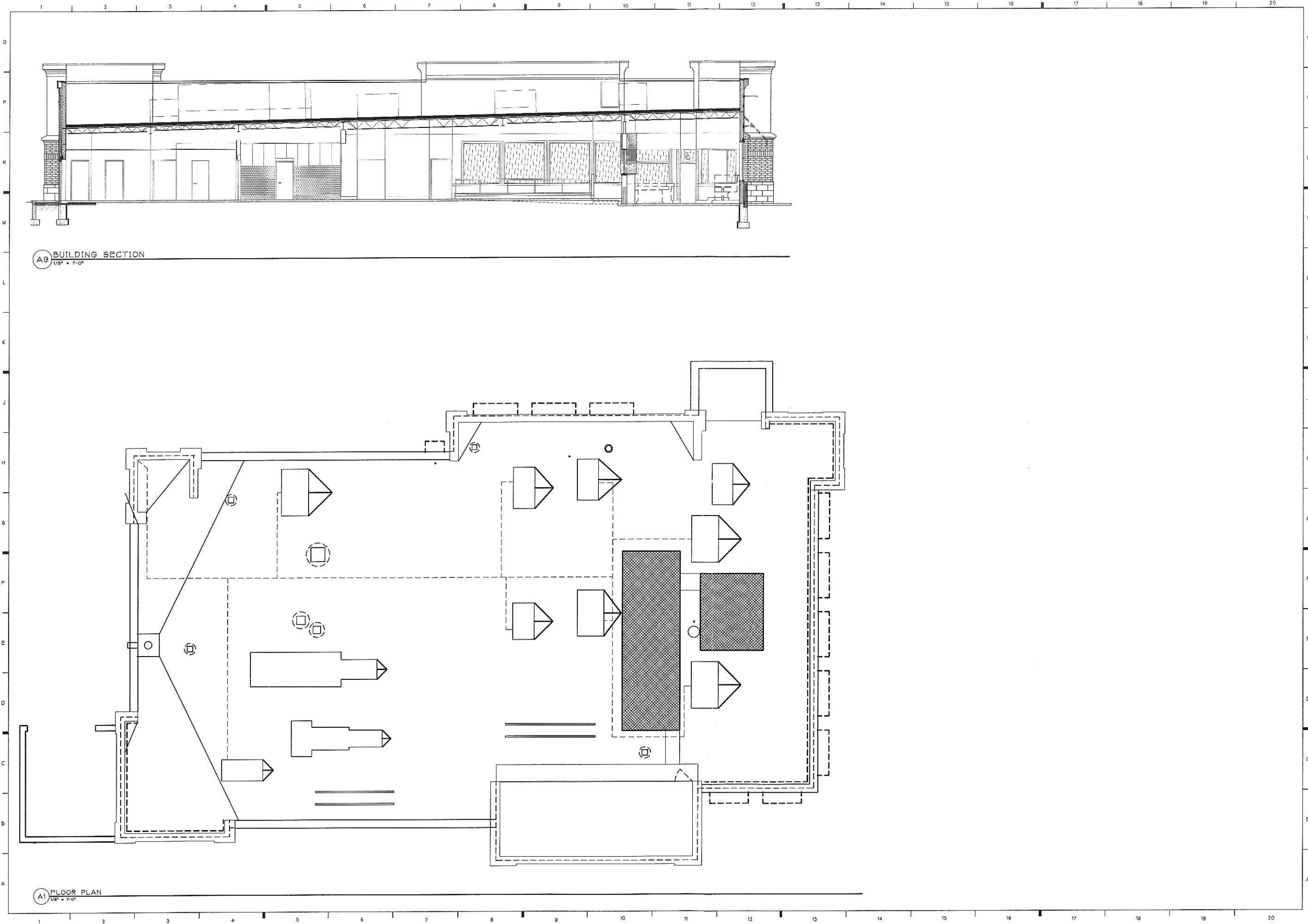
FLOOR PLAN

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Job No.: 05503
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A101



A9 BUILDING SECTION
1/8" = 1'-0"

A1 FLOOR PLAN
1/8" = 1'-0"



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ROOF PLAN - DETAILS

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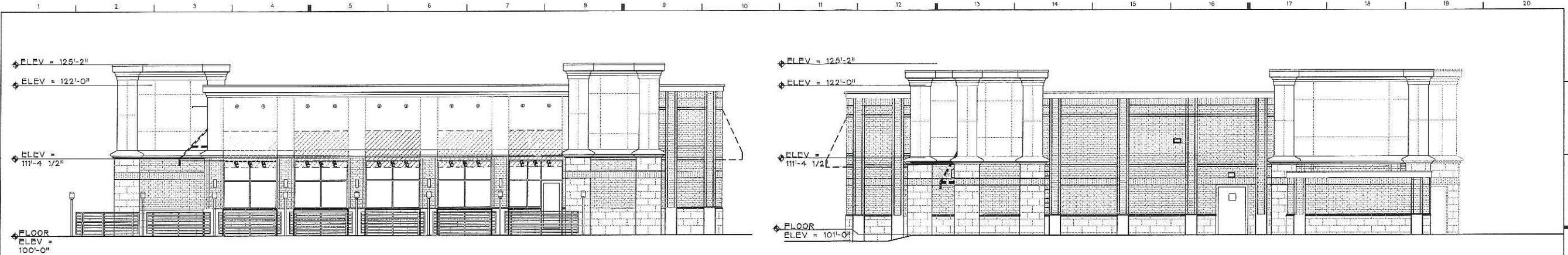
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Drawn By: DL, JK Sheet No:
Checked By: DL
Job No.: 05503
Date: 2/17/06

A120

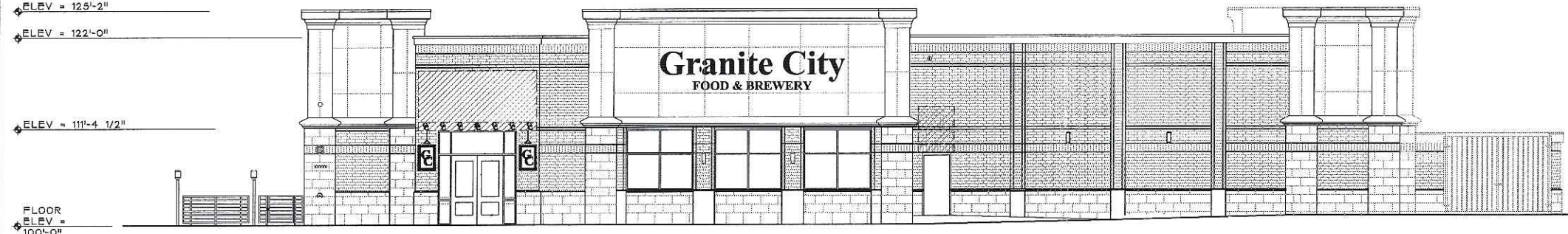


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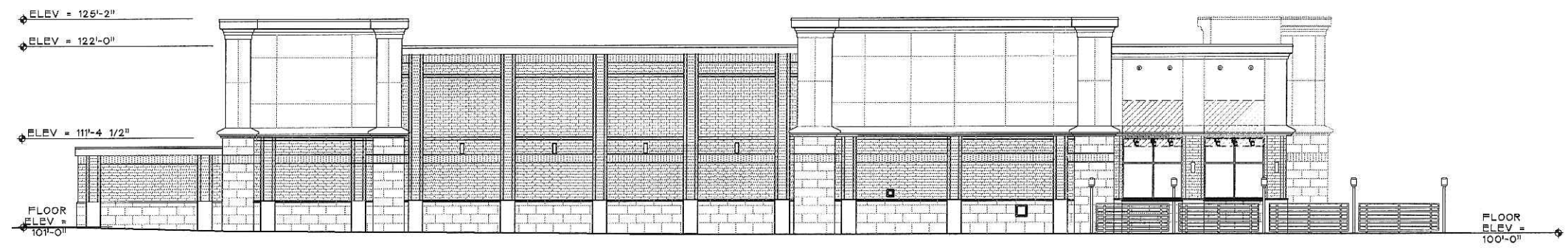


M1 SOUTH ELEVATION
 1/8" = 1'-0"

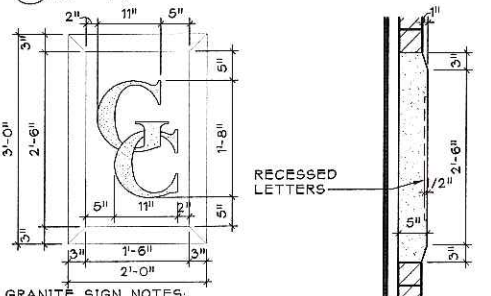
M11 NORTH ELEVATION
 1/8" = 1'-0"



H1 EAST ELEVATION
 1/8" = 1'-0"



D1 WEST ELEVATION
 1/8" = 1'-0"



GRANITE SIGN NOTES:
 1. CUSTOM GC LETTERS VERIFY W/ OWNER TYPE.
 2. SEE SPEC. FOR GRANITE COLOR AND FINISHES.

A1 CAST GRANITE SIGN
 3/4" = 1'-0"



CAST STONE NOTES:
 1. STONE TO BE 8" MIN BELOW F.F. TYP. SEE SECTIONS FOR ALL LOCATIONS.

A5 CAST STONE DETAIL
 3/4" = 1'-0"

| Mark: | Date: | Description: |
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EXTERIOR ELEVATIONS

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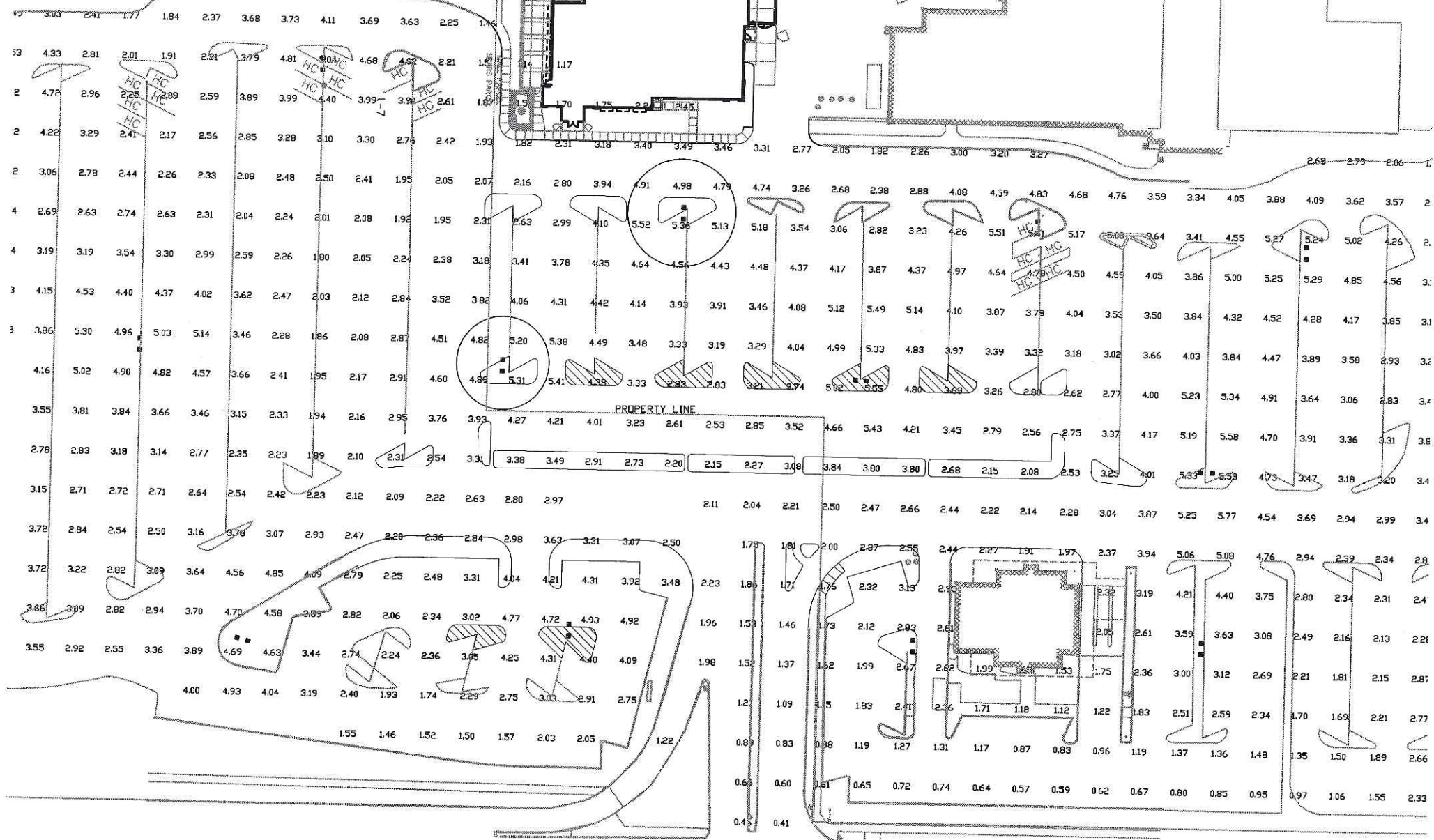
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 Checked By: DL
 Job No.: 065935
 Date: 12/17/05

A201



EXISTING MALL



PHOTOMETRIC DATA

PLANE : TEST

POINT SPACING LEFT-TO-RIGHT = 25 ft

POINT SPACING TOP-TO-BOTTOM = 25 ft

LOWER LEFTHAND CORNER OF PLANE:

X = 8800.77 Y = 5958.78 Z = 0

UPPER RIGHTHAND CORNER OF PLANE:

X = 11327.16 Y = 7287.12 Z = 0

LIGHT METER IS NORMAL TO PLANE

AVERAGE fc = 3.28

MAXIMUM fc = 7.93

MINIMUM fc = .33

AVERAGE MINIMUM = 0.84

MAXIMUM/MINIMUM = 24.03

TOTAL NUMBER OF POINTS = 3558

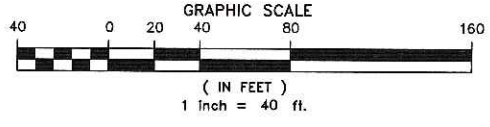
NOTES

- 1.) ALL STRUCTURAL FOOTPRINTS SHOWN ON PLAN ARE CONCEPTUAL.
- 2.) PHOTOMETRIC DATA RECEIVED FROM FOOTCANDLE, DATED 2/24/06
- 3.) PHOTOMETRIC DATA IS CALCULATED FOR THE ENTIRE MALL.

- PROPOSED 6" CONCRETE CURB AND GUTTER
- INDICATES PROPOSED PAINTED ISLAND
- INDICATES PROPOSED CURBED ISLAND
- INDICATES EXISTING CURBED ISLAND
- PROPOSED BUILDING FOOTPRINT
- LUMINAIRES
- X.XX PHOTOMETRIC DATA
- INDICATES LOCATION OF RELOCATED LIGHT POLES

— SURVEY PROVIDED BY NSE, DATED NOVEMBER 11, 2005

— PROPOSED SITE LAYOUT BASED ON PLAN RECEIVED FROM SJA ARCHITECTS, DATED JANUARY 27, 2006



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| | |
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| DATE | 03-01-06 |
| SCALE | 1" = 40' |
| PLAN NO. | PS-1 |
| BY | |
| REVISIONS | |
| DATE | |

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PHOTOMETRIC STUDY

National Survey & Engineering
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 252-791-9006
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