



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: April 19, 2017	<input type="checkbox"/> Informational Presentation <input type="checkbox"/> Initial Approval <input checked="" type="checkbox"/> Final Approval
UDC Meeting Date: May 10, 2017	
Combined Schedule Plan Commission Date (if applicable): _____	

1. **Project Address:** 4601 Frey Street
Project Title (if any): Frey Street Mixed Use

2. This is an application for (Check all that apply to this UDC application):

New Development Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Frey Street Lodging Associates, LLC
Street Address: 8333 Greenway Blvd., Suite 200
Telephone: (608-662-8334) **Fax:** (_____) _____

Company: Raymond Management Company
City/State: Middleton/WI **Zip:** 53562
Email: perkel@raymondteam.com

Project Contact Person: Josh Wilcox
Street Address: 7780 Elmwood Avenue, Suite 204
Telephone: (608-829-1750) **Fax:** (608-829-3056)

Company: Gary Brink & Associates, Inc.
City/State: Middleton/WI **Zip:** 53562
Email: josh.wilcox@garybrink.com

Project Owner (if not applicant): _____
Street Address: _____
Telephone: (_____) _____ **Fax:** (_____) _____

City/State: _____ **Zip:** _____
Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on 10/27/16.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Josh Wilcox

Relationship to Property Architect

Authorized Signature

Date 4/19/17

FREY STREET - MIXED USE DEVELOPMENT

4601 FREY STREET
MADISON, WISCONSIN

UDC FINAL
APRIL 19, 2017



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PROJECT ROOM MATRIX:

Frey Street, Madison, WI													
Floor	G1	1st	2nd	3rd	4th	5th	6th	7th	8th	9th	10th	11th	Total
Hotel Area	10,511	18,815				14,398	14,398	14,398	14,398	14,398	14,398	14,398	130,112
Parking Area	12,841	16,257	34,794	34,794									98,686
Office Area/Mechanical		726			24,543								25,269
Total Floor Area	23,352	35,798	34,794	34,794	24,543	14,398	14,398	14,398	14,398	14,398	14,398	14,398	254,067
Accessible Parking Stalls	2	1	2	2									7
Compact Parking Stalls	5	2	10	10									27
Standard Parking Stalls	11	22	68	72									173
Total Parking Stalls	18	25	80	84									207
Accessible King						1	0	0	1	0	1	1	4
Standard King Rooms						14	14	14	14	14	14	14	98
King "A"						3	4	4	4	4	4	4	27
Accessible D/Q						1	1	1	0	1	0	0	4
Standard D/Q Rooms						7	7	7	7	7	7	7	49
Total Rooms						26	26	26	26	26	26	26	182
Bike Stalls	19	10											29
Total Site Square Fottage	43,549												



DEVELOPER:

FREY STREET LODGING ASSOCIATES, LLC
C/O RAYMOND MANAGEMENT COMPANY

8333 GREENWAY BLVD., SUITE 200
MIDDLETON, WISCONSIN 53562
PHONE: (608) 662-8334
EMAIL: perkel@raymondteam.com, steinhauer@raymondteam.com
PRINCIPAL CONTACT: BARY PERKEL, LISA STEINHAUER

STRUCTURAL ENGINEER

ONEIDA TOTAL INTEGRATED ENTERPRISES (OTIE)

5100 EASTPARK BLVD., SUITE 300
MADISON, WI 53718
PHONE: (608) 241-6717
EMAIL: jhall@otie.com
PRINCIPAL CONTACT: JAMES J. HALL



ARCHITECT:

GARY BRINK & ASSOCIATES, INC.
7780 ELMWOOD AVENUE, SUITE 204
MIDDLETON, WISCONSIN 53562
PHONE: (608) 829-1750
EMAIL: josh.wilcox@garybrink.com
PRINCIPAL CONTACT: JOSH WILCOX

CIVIL ENGINEER

VIERBICHER
999 FOURIER DRIVE, #201
MADISON, WISCONSIN 53717
PHONE: (608) 826-0532
EMAIL: tsch@vierbicher.com
PRINCIPAL CONTACT: TIMOTHY SCHLEEPER



LANDSCAPE ARCHITECT

KEN SAIKI DESIGN, INC.
303 S. PATTERSON, SUITE ONE
MADISON, WISCONSIN 53703
PHONE: (608) 251-3600
EMAIL: amolien@ksd-la.com
PRINCIPAL CONTACT: ABBIE MOILIEN



GENERAL CONTRACTOR

KRAEMER BROTHERS, LLC
925 PARK AVENUE
PLAIN, WISCONSIN 53577
PHONE: (608) 546-2411

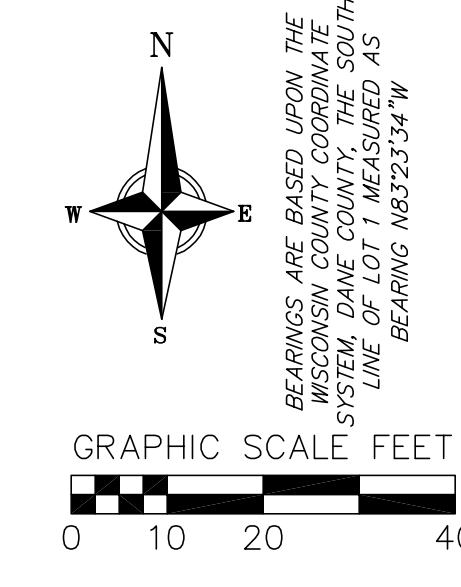
PROJECT: FREY STREET - MIXED USE DEVELOPMENT
4601 FREY STREET
MADISON, WISCONSIN 53705
CLIENT: FREY STREET LODGING ASSOCIATES, LLC
C/O RAYMOND MANAGEMENT COMPANY
MIDDLETON, WISCONSIN 53562

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PROJECT: 201525
DRAWN BY: 201525
DATE:
SCALE: AS NOTED
UDC #: 11-16-1076
LAND USE: 02-08-2017
CITY SUBMITTAL: 03-01-2017
GPP: 03-28-2017
GPP ADD #: 04-13-2017
UDC #: 04-15-2017

PROJECT INFORMATION AND CONTACTS

JOB #201525

SURVEY LEGEND
 ● FOUND 7/8" IRON ROD
 ● FOUND 3/4" IRON ROD
 ▲ FOUND P.K. NAIL
 () INDICATES RECORDED AS
 [] SEE NOTES



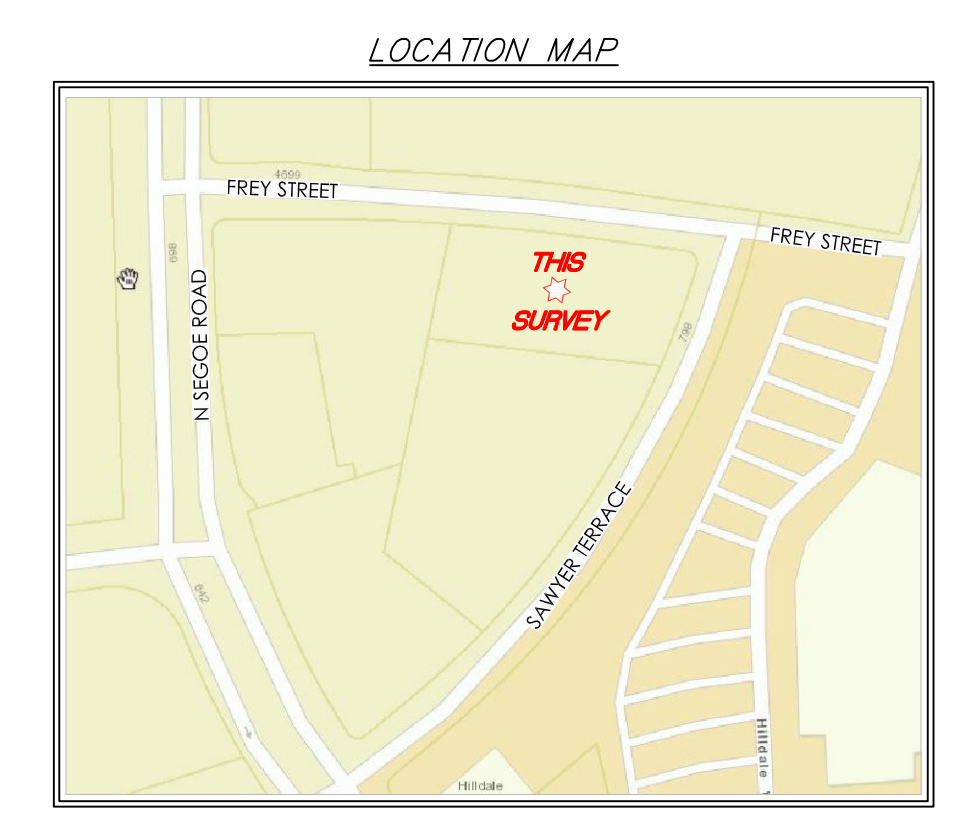
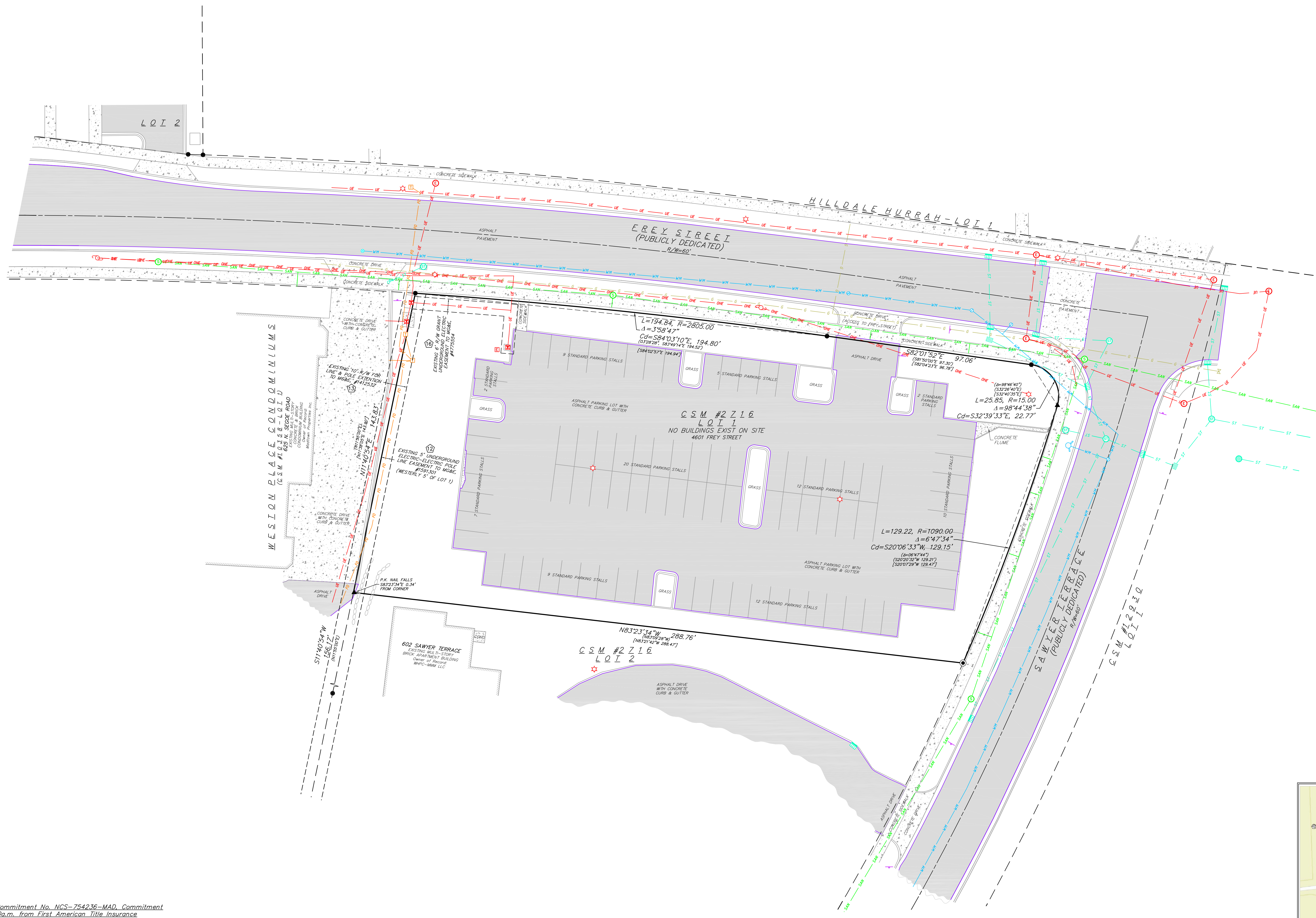
SURVEYED FOR:
 The Raymond Group
 attn: Barry Parker
 6333 Greenway Blvd.,
 Suite 200
 Madison, WI 53762

SURVEYED BY:
 Vierbicher Associates, Inc.
 By: Michael S. Marty
 959 Fourrier Drive,
 Suite 201
 Madison, WI 53717
 (608) 821-3255
 mmor@vierbicher.com

ALTA/ACSM CERTIFICATION
 To the Raymond Group: WELLS FARGO BANK, NATIONAL ASSOCIATION, its successors and assigns, and First American Title Insurance Company National Commercial Services:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 8, 9, 11(b), 13, 16, 17, 18, 19, and 21 of Table A, thereof. The field work was completed on November 18, 2015.

Vierbicher Associates, Inc.
 By: Michael S. Marty
 Dated this 11th day of December, 2015.

Michael S. Marty, P.L.S. No. 2482



- NOTES CONTINUED**
- [] Indicates information as depicted on ALTA Survey by Francis R. Thousand, dated January 20, 2010, Project Number 090885E and on file at the Dane County Surveyor's Office, Map No. 2010-00427.
 - This survey was prepared based upon information provided in the Title Commitment No. NCS-754236-MAD, dated September 18, 2015 at 7:30a.m., from First American Title Insurance Company National Commercial Services.
 - Parcel number and address per title commitment is: 251-0709-202-0201-0, 4601 Frey Street, Madison, WI 53703.
 - Area of parcel surveyed is 43,549 square feet more or less.
 - This survey is based upon an ALTA/ACSM Land Title Survey by Vierbicher Associates, Inc., dated June 9, 2015, Map No. S-590 and on file at the Dane County Surveyor's Office, Map #2015-00009 and upon field survey work performed on November 18, 2015. Any changes in site conditions after November 18, 2015 are not reflected by this survey.
 - Utility locations were field located based upon substantial, visible above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers: 20151913296, 20151913315 and 20151913387. Location of buried private utilities are not within the scope of this survey.
 - No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
 - Surveyor has made no investigation or independent search for encroachments, restrictive covenants, or easements; title evidence.
 - By graphic plotting only the parcel surveyed falls within "Zone X - Areas determined to be outside the 0.2% chance floodplain of the Flood Insurance Rate Map Community Panel Number 404 of 850, Map Number 5502500404G, Map Revised January 2, 2009.
 - During the course of field survey work there was no observed evidence of which the surveyor is aware, of current earth moving work, building construction or building additions.
 - During the course of field survey work there was no observed evidence of which the surveyor is aware, of the site used as a solid waste dump, sump or sanitary landfill.
 - There are no proposed changes in street right-of-way lines of which the surveyor is aware. During the course of field survey work, there was no observed evidence of recent street or sidewalk construction or repairs.
 - "Owner of Record" information depicted hereon is per information obtained from the City of Madison Assessor's website on November 18, 2015.
 - No wetlands were delineated at the time the field survey work was completed.
 - Current zoning classification per information obtained from the City of Madison Assessor's website on May 25, 2015 is PD-Planned Development District.
 - There are a total of 88 standard parking stalls on the parcel surveyed.

Description as provided in Title Commitment No. NCS-754236-MAD, Commitment Date December 07, 2015 at 7:30a.m., from First American Title Insurance Company National Commercial Services, 10 W. Mifflin Street, Suite 300, Madison, WI 53703.

Lot One (1), Certified Survey Map No. 2716, recorded in Volume 10, of Certified Survey Maps, Pages 385, 386 and 387, as Document No. 1555494, located in the NE 1/4 of the NW 1/4 of Section 20, 77N, 19E, City of Madison, Dane County, Wisconsin. TOGETHER WITH easements established in Declaration of Reciprocal Easement Agreement recorded June 24, 2010 as Document No. 4667176.

NOTES:
 This survey was prepared based upon information provided in Title Commitment No. NCS-754236-MAD, Commitment Date December 07, 2015 at 7:30a.m., from First American Title Insurance Company National Commercial Services, 10 W. Mifflin Street, Suite 302, Madison, WI 53703, Schedule A, Section Two, Exceptions references the following:

- EXCEPTION 12:** Grant of Easement to Madison Gas and Electric recorded September 12, 1978 in Volume 992 of Records, Page 332, as Document No. 1591201. (Easement shown.)
- EXCEPTION 13:** Easement for public utilities and incidental purposes as disclosed by Certified Survey Map No. 2716. (Easement shown. Easement recorded in Vol. 558 of Records, Page 751, as Doc. #1412532)
- EXCEPTION 14:** Notation set forth on Certified Survey Map No. 2716 stating: The park fee has not been paid for Lots 1 and 3 and shall be paid prior to approving any plans for residential use for Lots 1 and 3.
- EXCEPTION 15:** Declaration of Reciprocal Easement Agreement recorded June 24, 2010 as Document No. 4667176. (Easements general in nature and not plottable. Refer to document.)
- EXCEPTION 16:** Right of Way Grand Underground Electric to Madison Gas and Electric Company recorded July 1, 2011 as Document No. 4725554. (Easement dependent upon certificate of as-constructed facilities. Easement shown based upon location of utility markings.)
- EXCEPTION 17:** Affidavit or Notice of Agreement and Default, recorded November 18, 2011 as Document No. 4814662. (Not a survey item. Refer to document.)

- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING SIGN
 - EXISTING CURB INLET
 - EXISTING FIELD INLET
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER MAIN VALVE
 - EXISTING STORM STOP
 - EXISTING WELL
 - EXISTING WATER MANHOLE
 - EXISTING GAS VALVE
 - EXISTING ELECTRIC MANHOLE
 - EXISTING ELECTRIC PEDESTAL
 - EXISTING TRANSFORMER
 - EXISTING LIGHT POLE
 - EXISTING UTILITY POLE
 - EXISTING TV PEDESTAL
 - EXISTING TELEPHONE PEDESTAL
- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING FIBER OPTIC LINE
 - EXISTING RETAINING WALL
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - EXISTING STORM SEWER LINE (SIZE NOTED)
 - EXISTING WATER MAIN (SIZE NOTED)

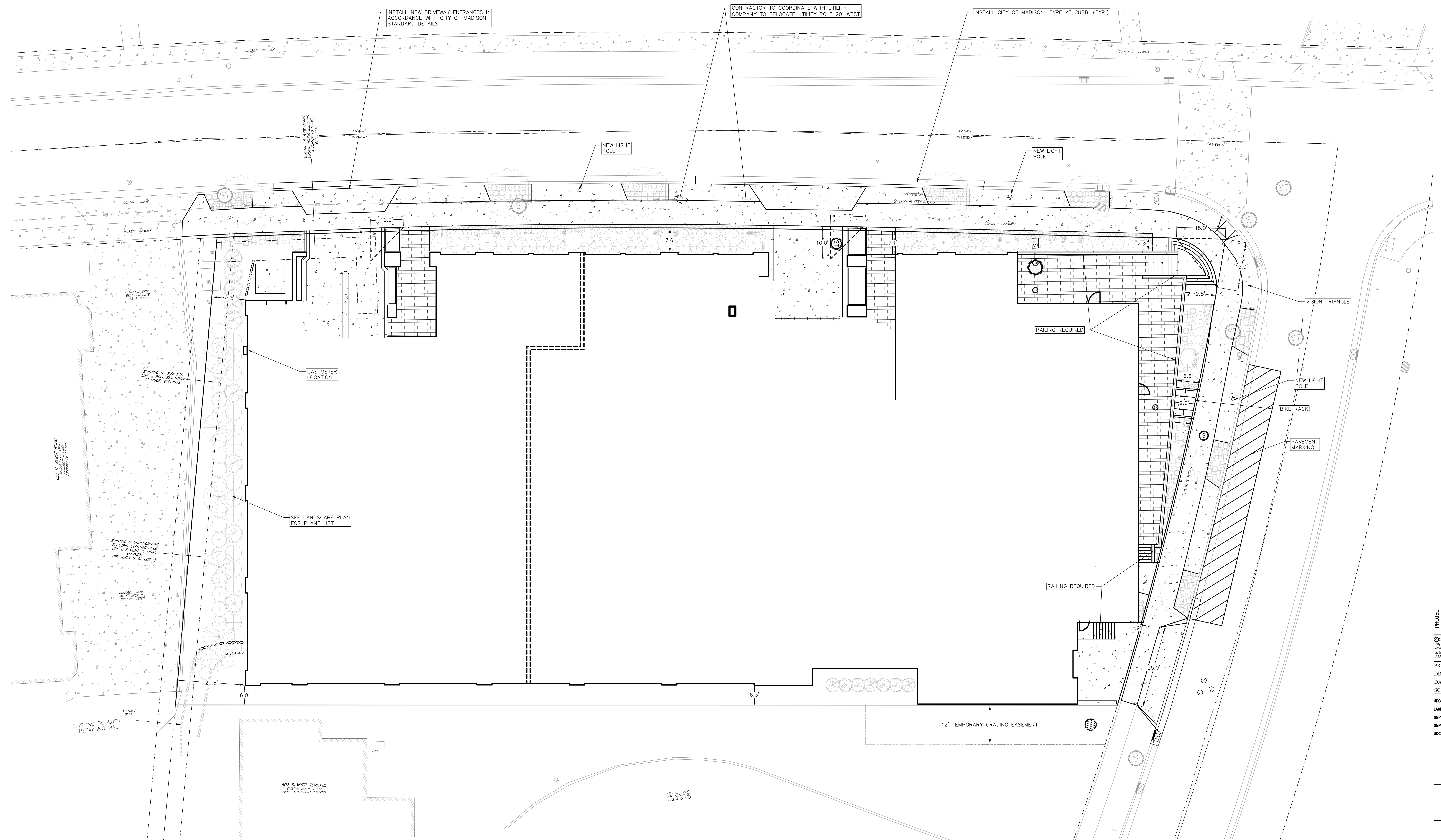
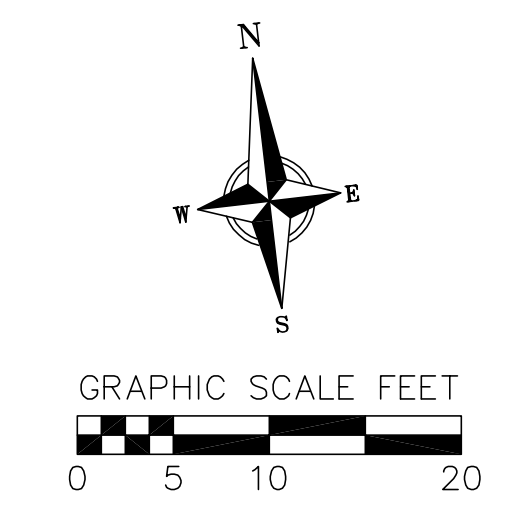
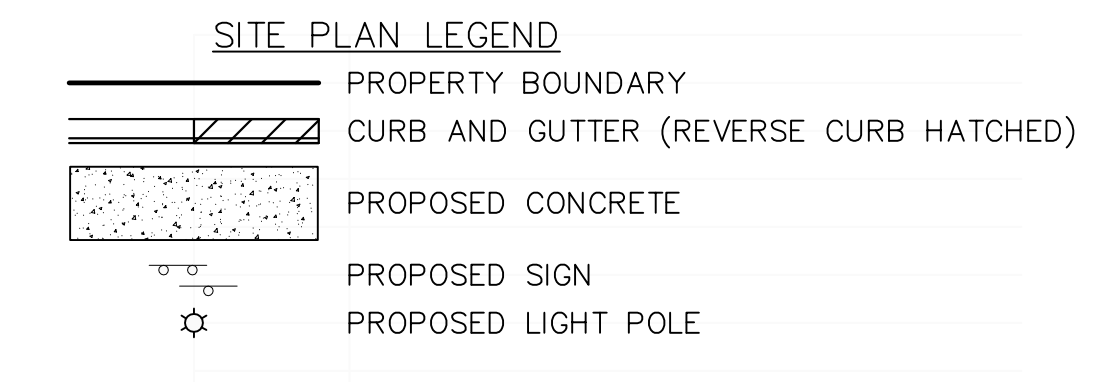
PROJECT: FREY STREET - MIXED USE DEVELOPMENT
CLIENT: THE RAYMOND GROUP
DATE: 04-19-2017
SCALE: 1"=20'
LAND USE: 02-08-2017
DATE: 03-28-2017
DATE: 04-12-2017
DATE: 04-19-2017

SITE CONSTRUCTION NOTES:

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CURB FACE HEIGHT IN DRIVEWAYS SHALL BE 6 INCHES. CURB FACE IN PARKING LOTS SHALL BE 4 INCHES.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

DEMOLITION/EROSION CONTROL NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
11. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.



PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 1400 SOUTH WISCONSIN ST. 53705
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC
 C/O RAYMOND MANAGEMENT COMPANY
 1302 GREENWAY BOULEVARD
 MADISON, WI 53704

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PROJECT: 201525
 DRAWN BY: DPFR
 DATE: 04-19-2017
 SCALE: 1"=10'

UDC # 11-16-2016
 LAND USE 02-06-2017
 O&P 03-28-2017
 O&P ADDENDUM #1 04-12-2017
 UDC 04-18-2017

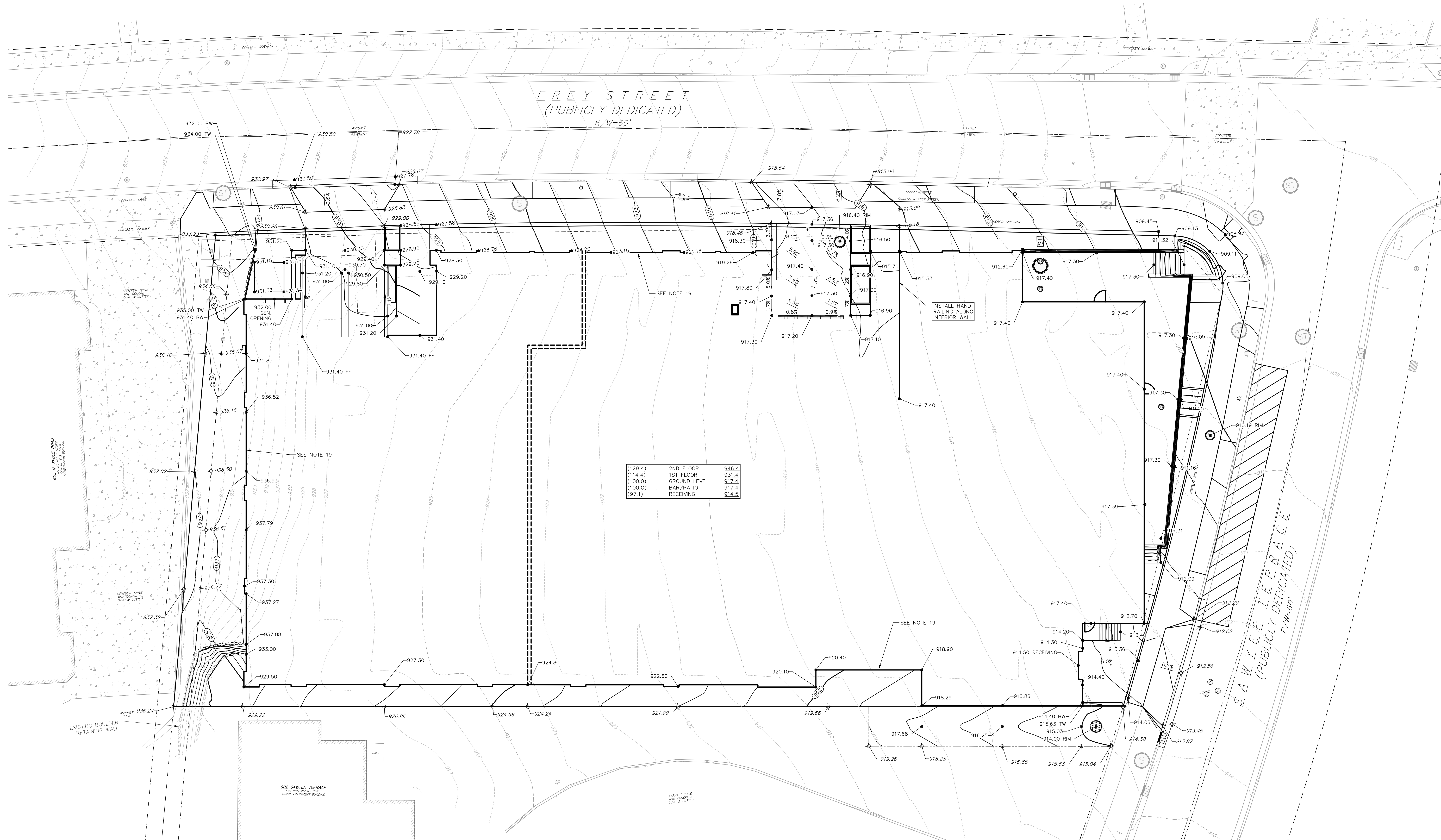
GRADING NOTES:

- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- INSTALL W DOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND W DOT TYPE A IN FIELD INLETS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
- RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
- CONTRACTOR SHALL CONFIRM ELEVATION AND EXTENT OF WATERPROOFING WITH ARCHITECTURAL PLANS WHERE GRADING IS REQUIRED ABOVE THE ADJACENT FLOOR ELEVATION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SITE ENGINEER PRIOR TO CONSTRUCTION.

GRADING LEGEND

- 820 - EXISTING MAJOR CONTOURS
- 818 - EXISTING MINOR CONTOURS
- 820 - PROPOSED MAJOR CONTOURS
- 818 - PROPOSED MINOR CONTOURS
- □ □ SILT FENCE
- DRAINAGE DIRECTION
- 2.92% PROPOSED SLOPE ARROWS
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- INLET PROTECTION
- EROSION MAT CLASS
- TRACKING PAD

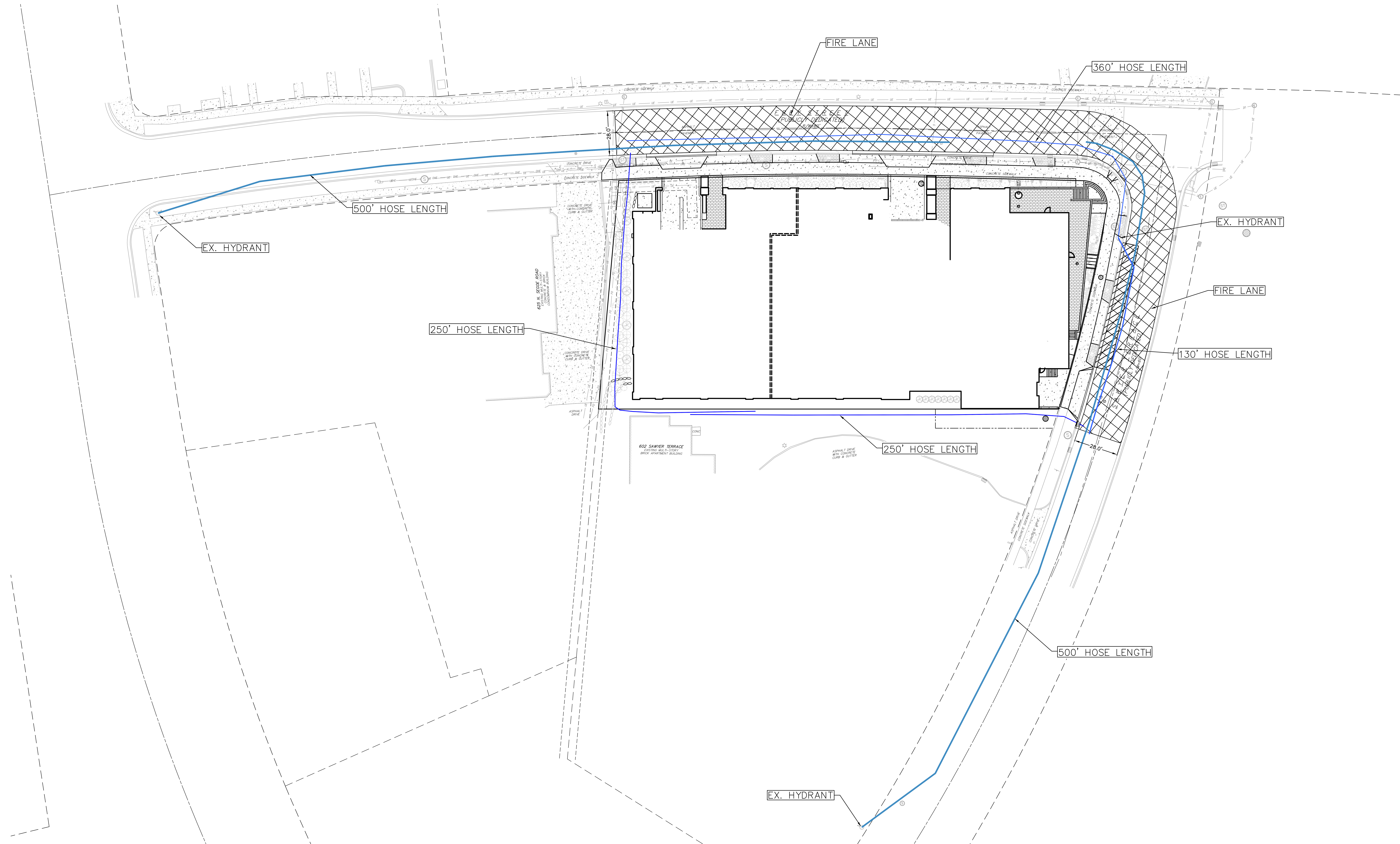
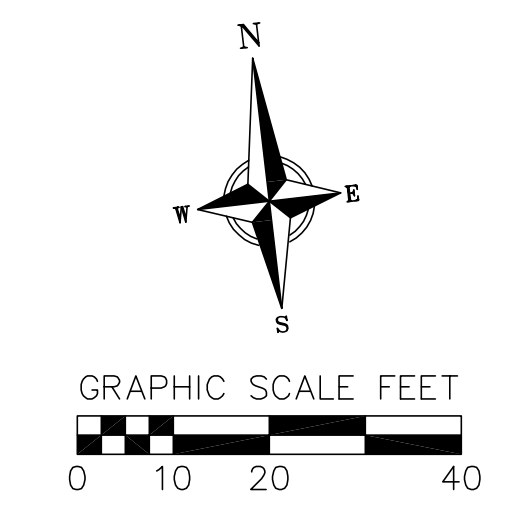
GRAPHIC SCALE FEET
 0 5 10 20



PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC
 C/O RAYMOND MANAGEMENT COMPANY
 1000 GREENWAY BOULEVARD
 SUITE 200
 MILWAUKEE, WI 53212

DATE: 4-19-2017
 SCALE: 1"=10'

11-16-2016
 02-08-2017
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PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 LOCATION: MADISON, WISCONSIN 53705
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC
 C/O RAYMOND MANAGEMENT COMPANY
 1000 GREENWAY BOULEVARD
 MADISON, WI 53702

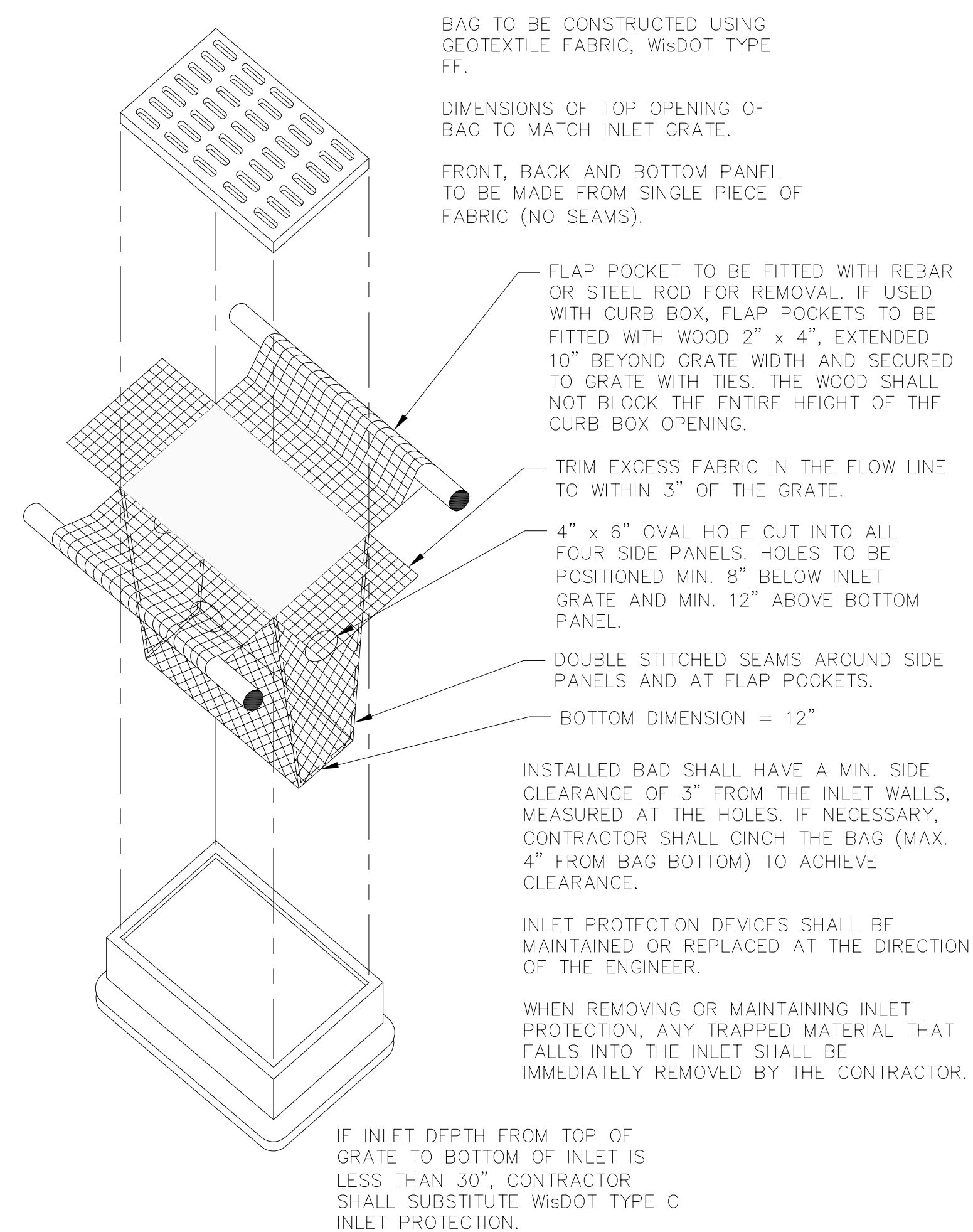
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PROJECT: 201525
 DRAWN BY: DPER
 DATE: 04-19-2017
 SCALE: 1"=20'

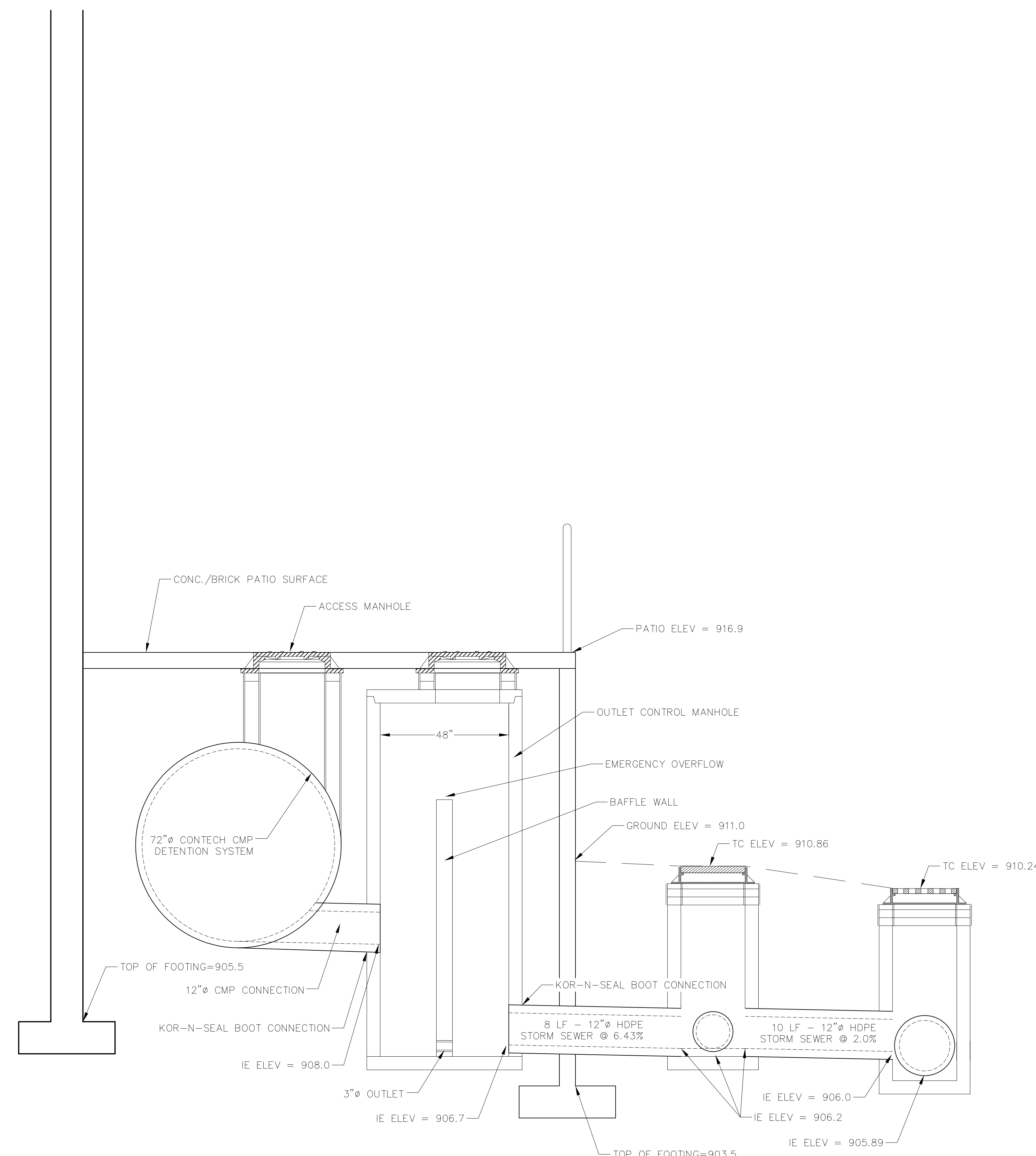
UDC #: 11-16-2016
 LAND USE: 02-06-2017
 O&P: 03-28-2017
 O&P ADDENDUM #1: 04-12-2017
 UDC: 04-18-2017

EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, INLET PROTECTION, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY OF MADISON. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF:** FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- INSTALL MINIMUM 6"-7" WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.



1 INLET PROTECTION TYPE D
NOT TO SCALE



2 STORM WATER VAULT SECTION
NOT TO SCALE

SEEDING RATES:

- TEMPORARY:**
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

- PERMANENT:**
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

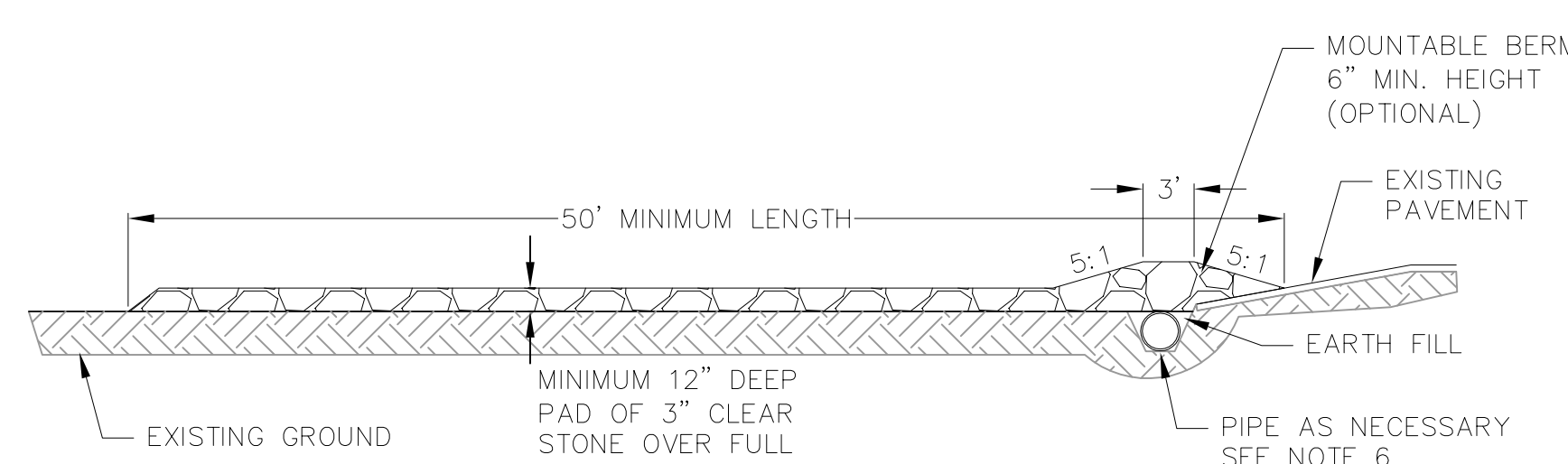
- TEMPORARY AND PERMANENT:**
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

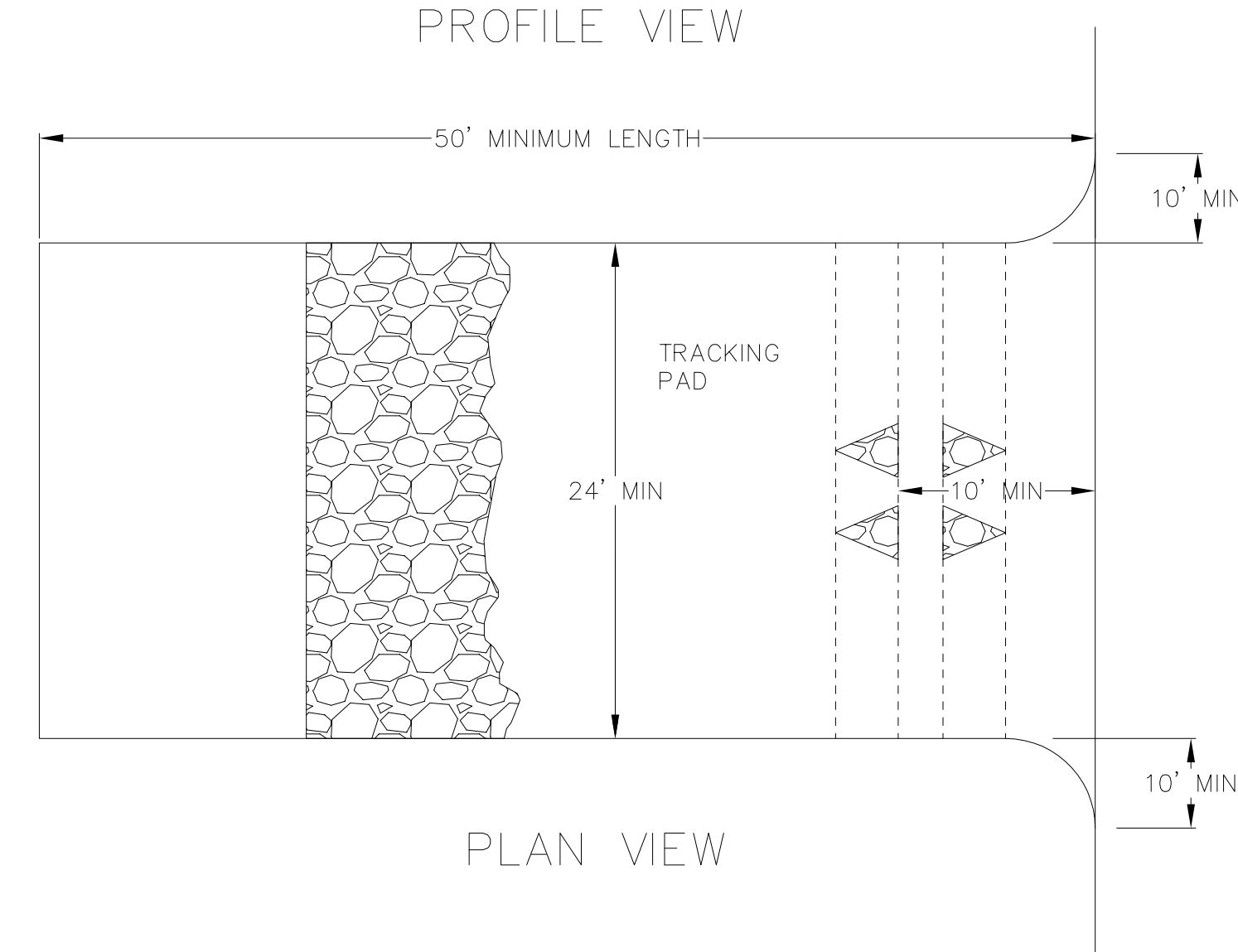
- TEMPORARY AND PERMANENT:**
USE 1/4" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 607, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

CONSTRUCTION SEQUENCE:

- INSTALL PERIMETER EROSION CONTROL & TRACKING PAD
- STRIP & STOCKPILE TOPSOIL
- ROUGH GRADE
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION
- CONSTRUCT ACCESS DRIVE & PARKING LOTS (STONE BASE, CURB & GUTTER, AND SIDEWALK).
- CONSTRUCT BUILDING
- RESTORE TERRACES
- REMOVE TRACKING PAD & SILT FENCE AFTER DISTURBED AREAS ARE RESTORED



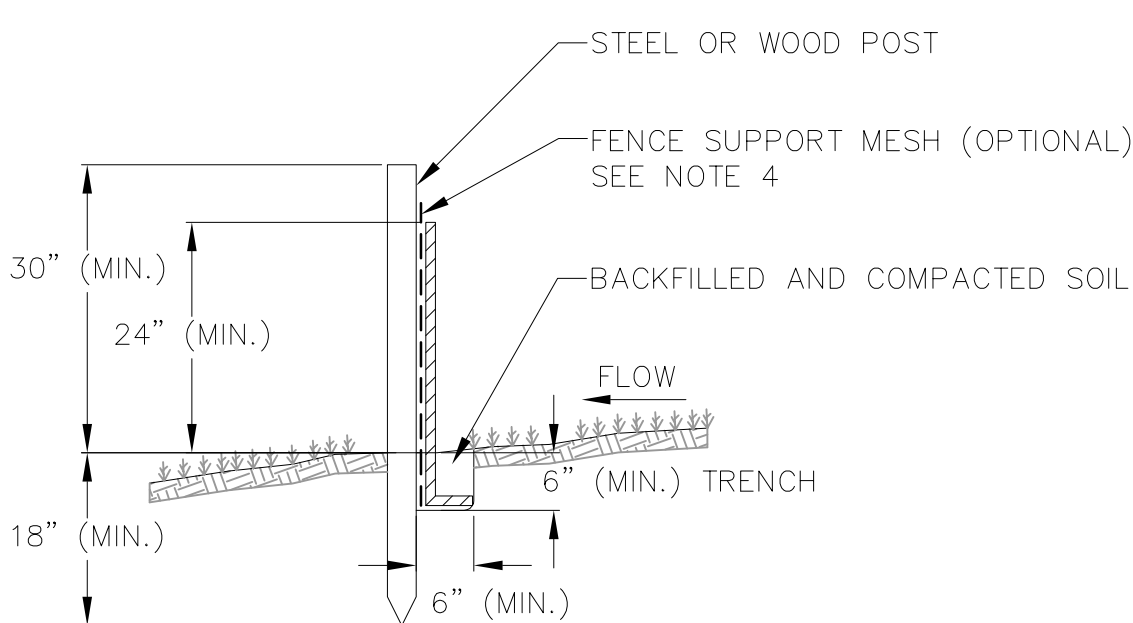
PROFILE VIEW



PLAN VIEW

- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

4 TRACKING PAD
NOT TO SCALE



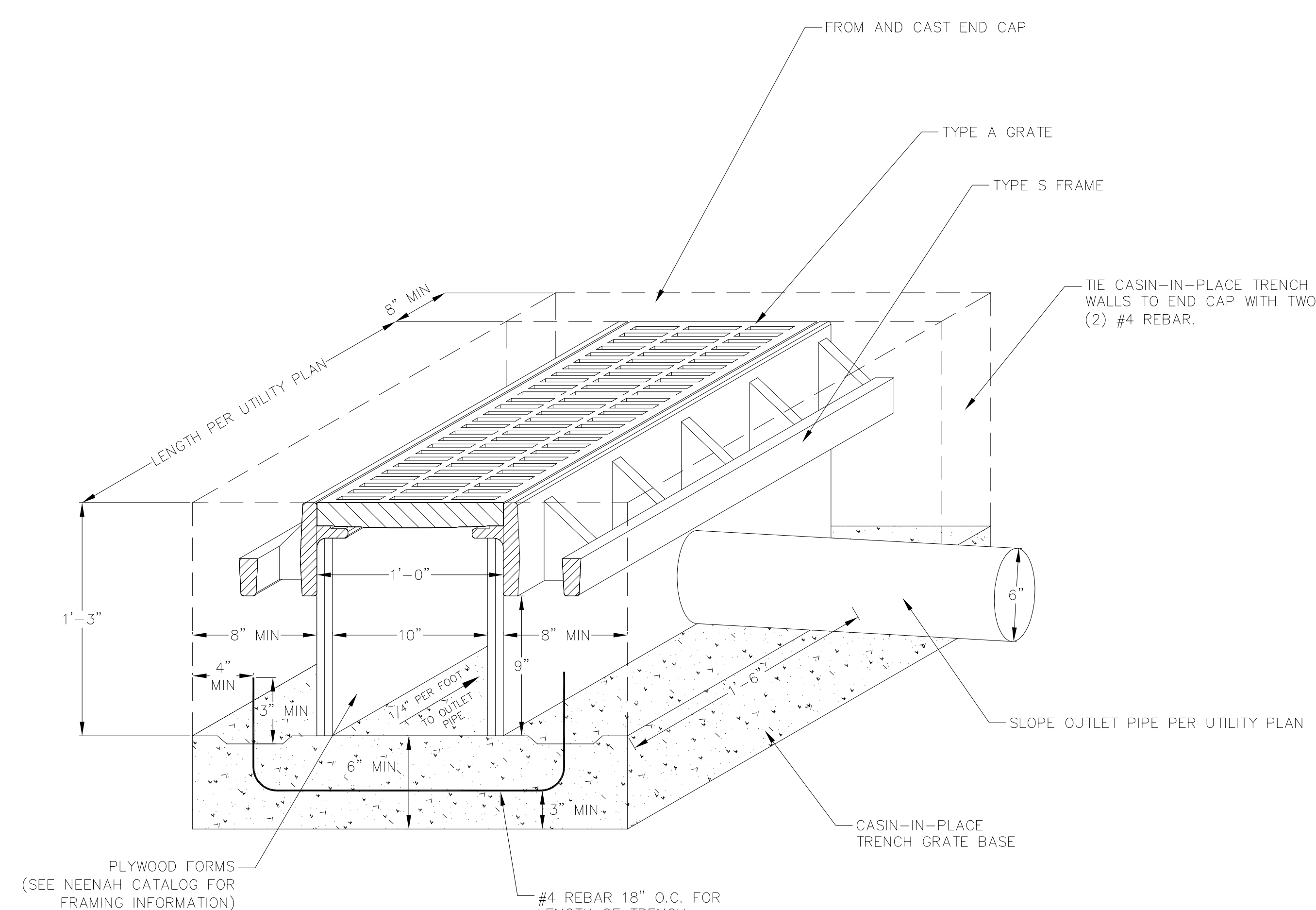
NOTES:

- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

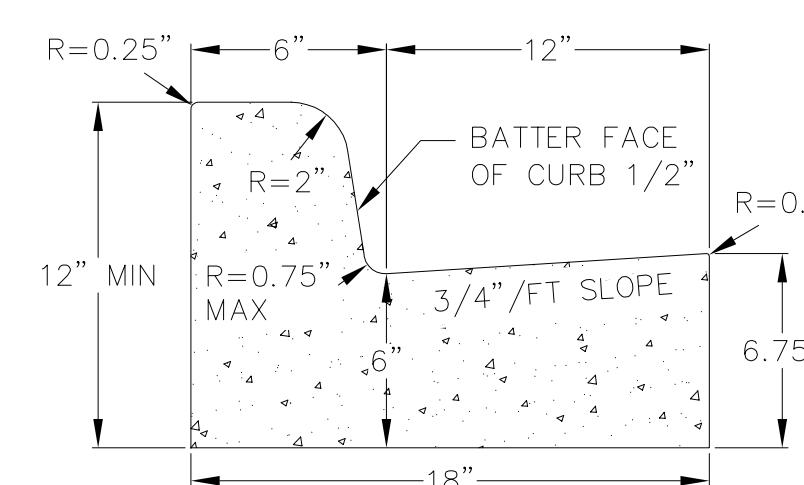
5 SILT FENCE
NOT TO SCALE

3 EROSION MAT
NOT TO SCALE

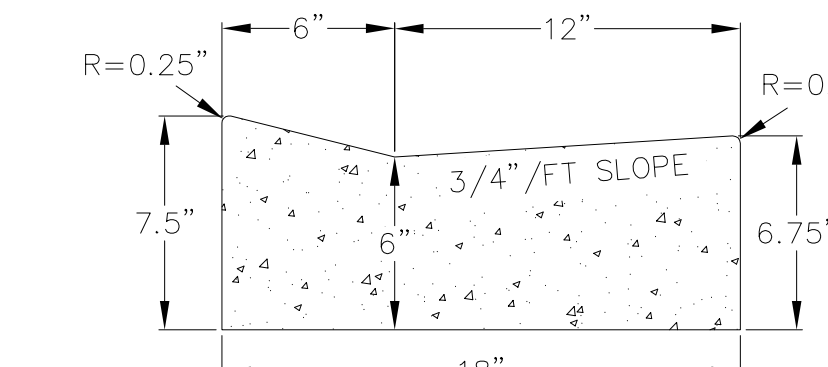
C2.0



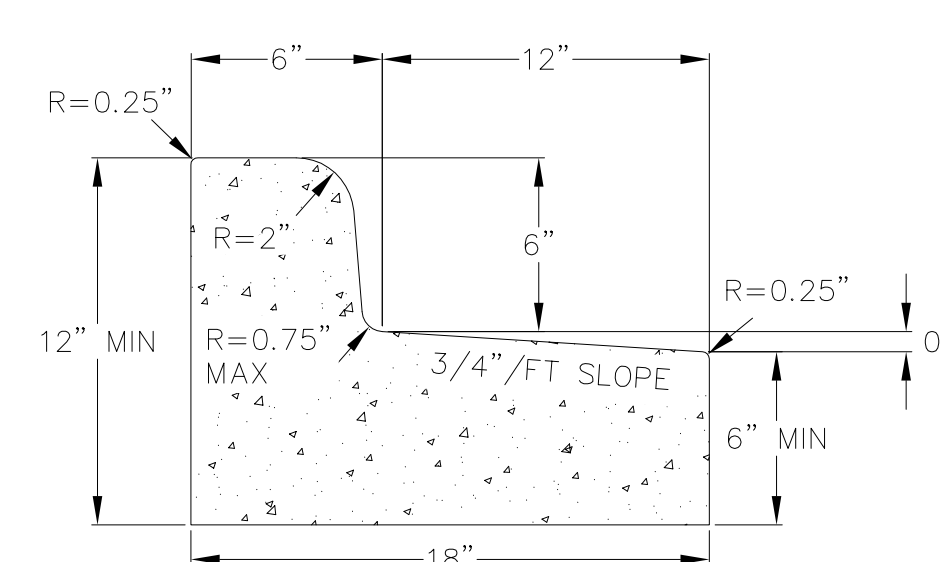
1 TRENCH GRATE - R-4994-CB
 C2.0 NOT TO SCALE



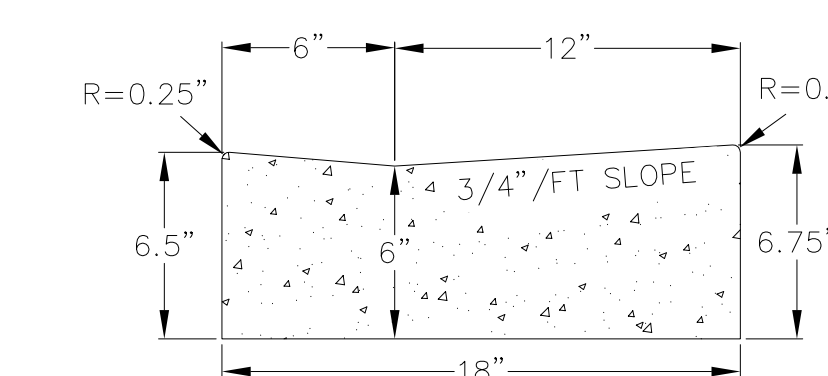
CURB AND GUTTER
 CROSS SECTION



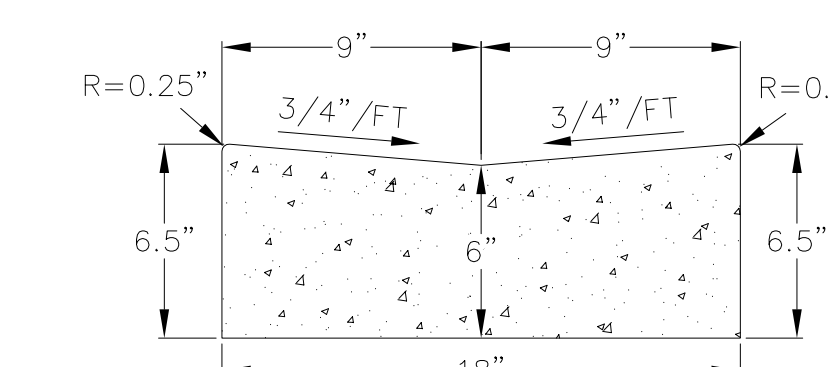
DRIVEWAY GUTTER
 CROSS SECTION



CURB AND GUTTER
 REJECT SECTION

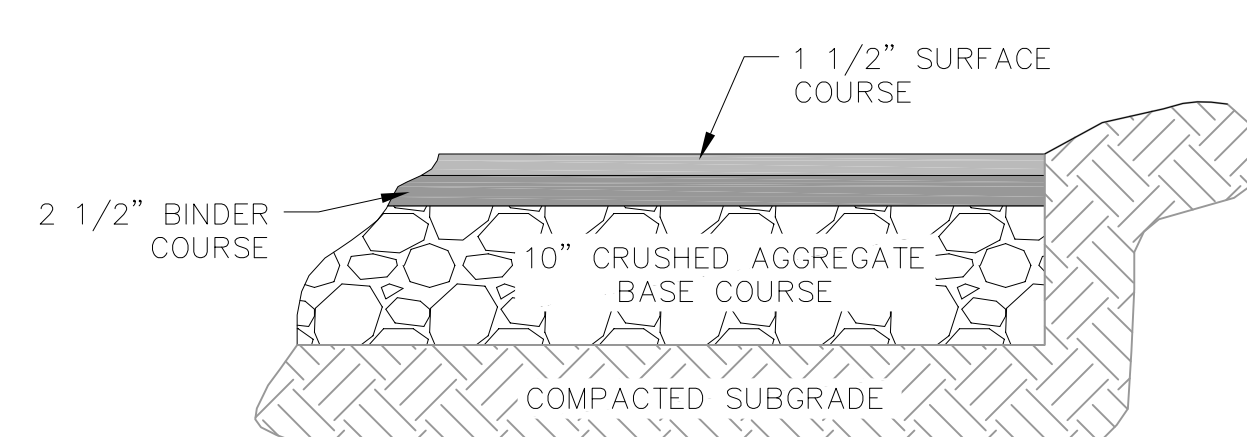


HANDICAP RAMP
 GUTTER CROSS SECTION

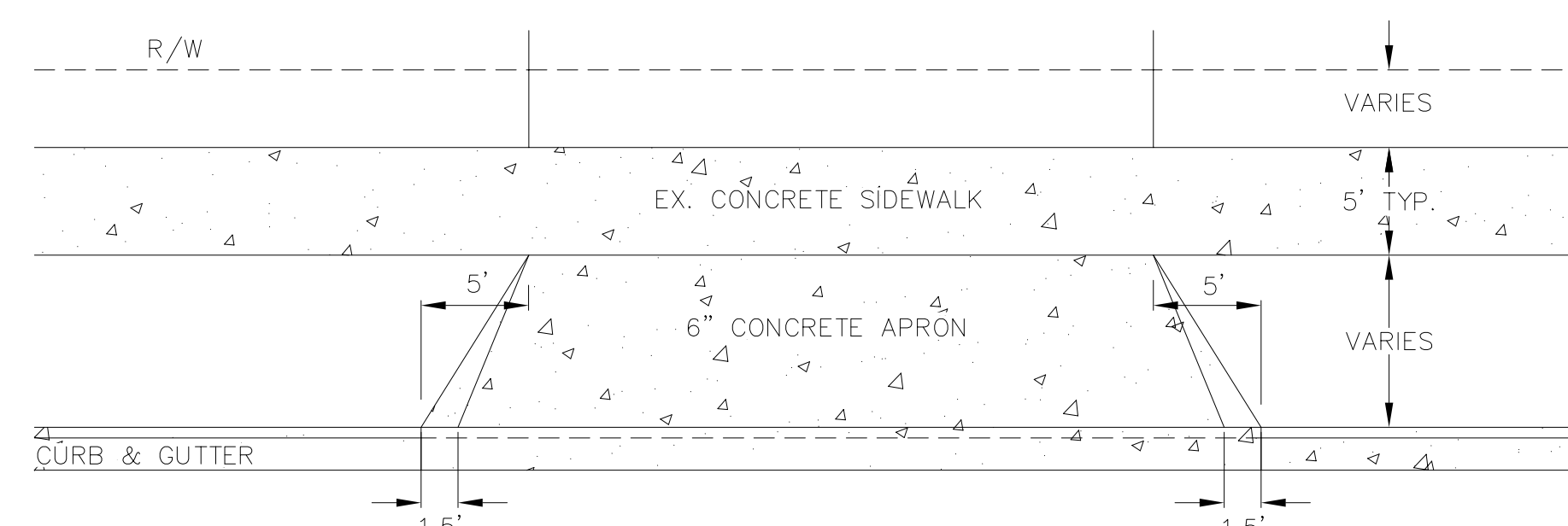


VALLEY CURB AND
 GUTTER CROSS SECTION

4 18" CONCRETE CURB AND GUTTER
 C2.1 NOT TO SCALE

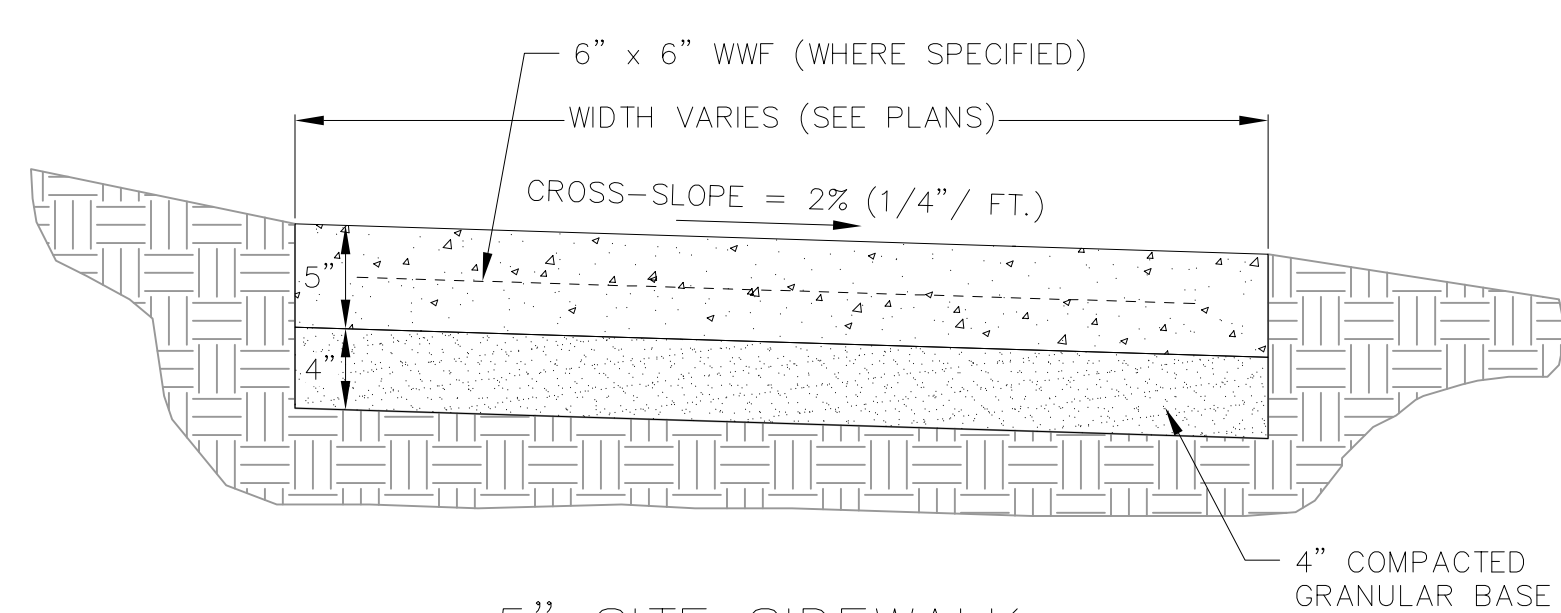


BITUMINOUS PAVEMENT DRIVES

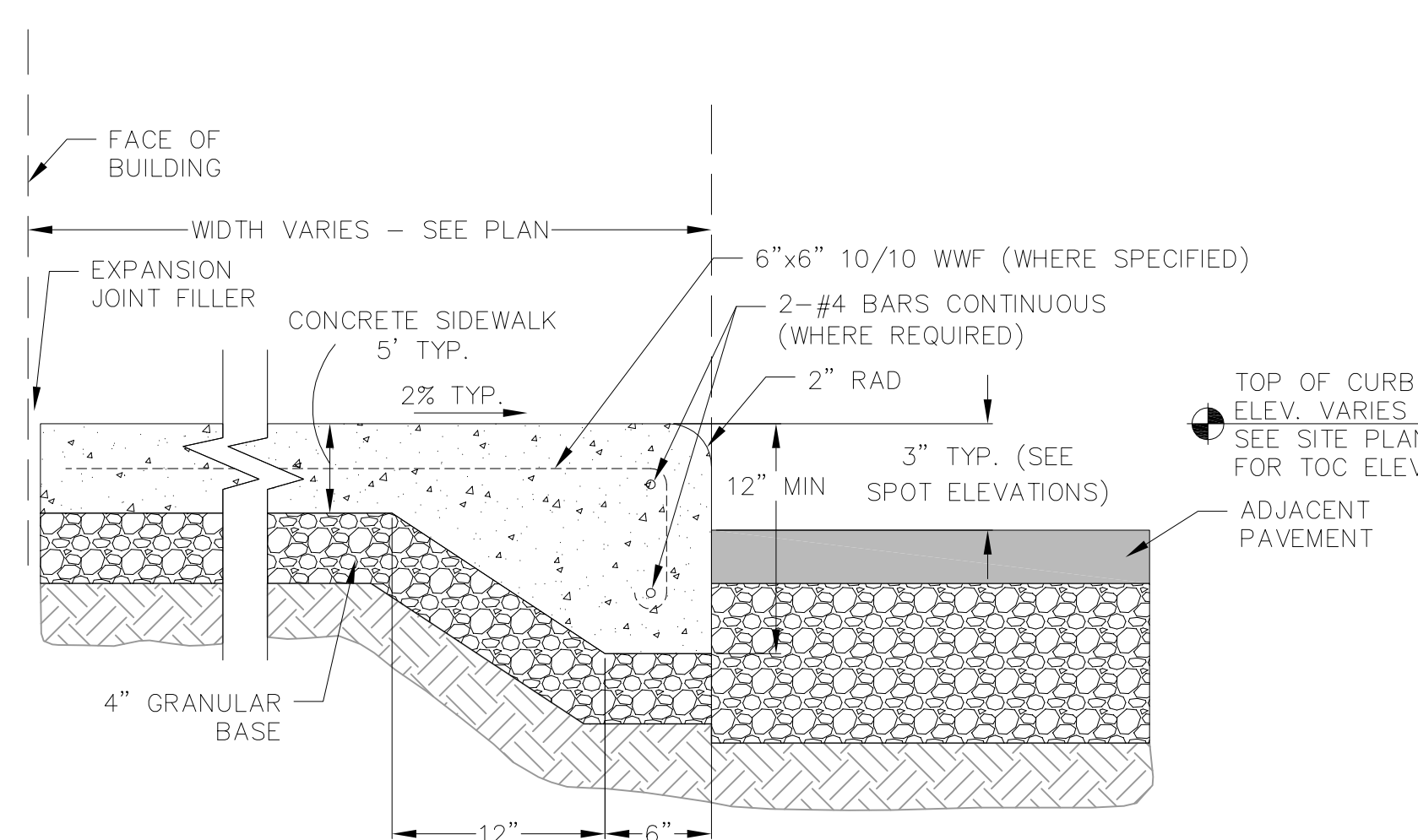


3 DRIVEWAY DETAIL
 C2.1 NOT TO SCALE

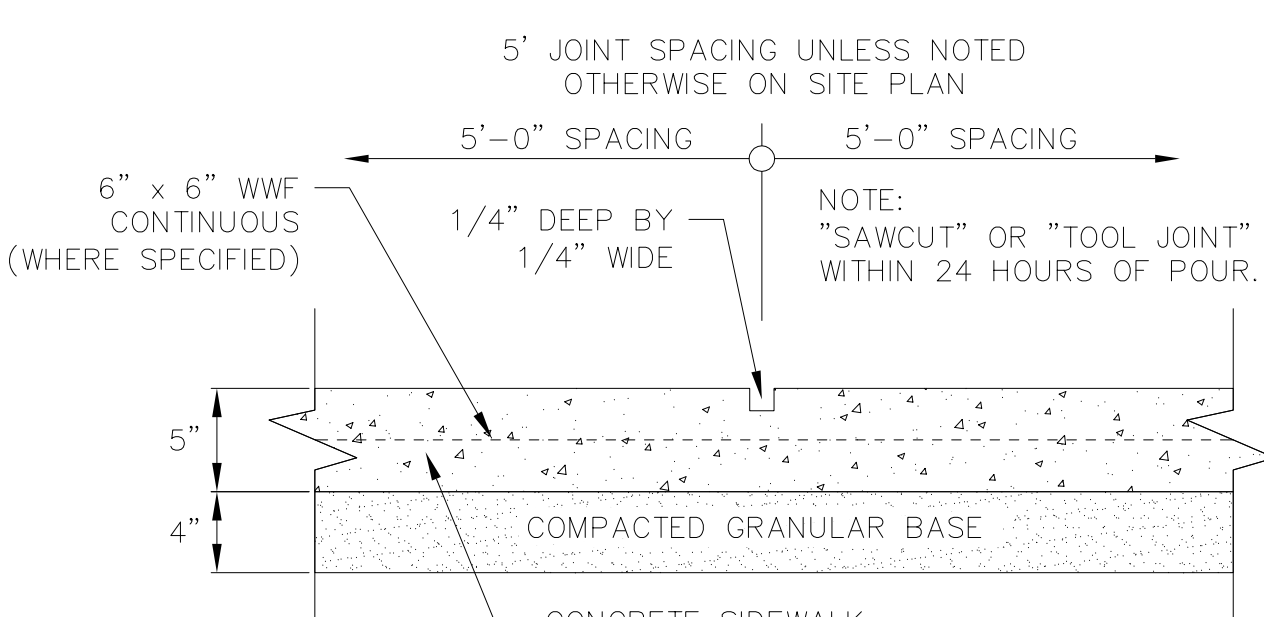
2 SITE PAVEMENT
 C2.1 NOT TO SCALE



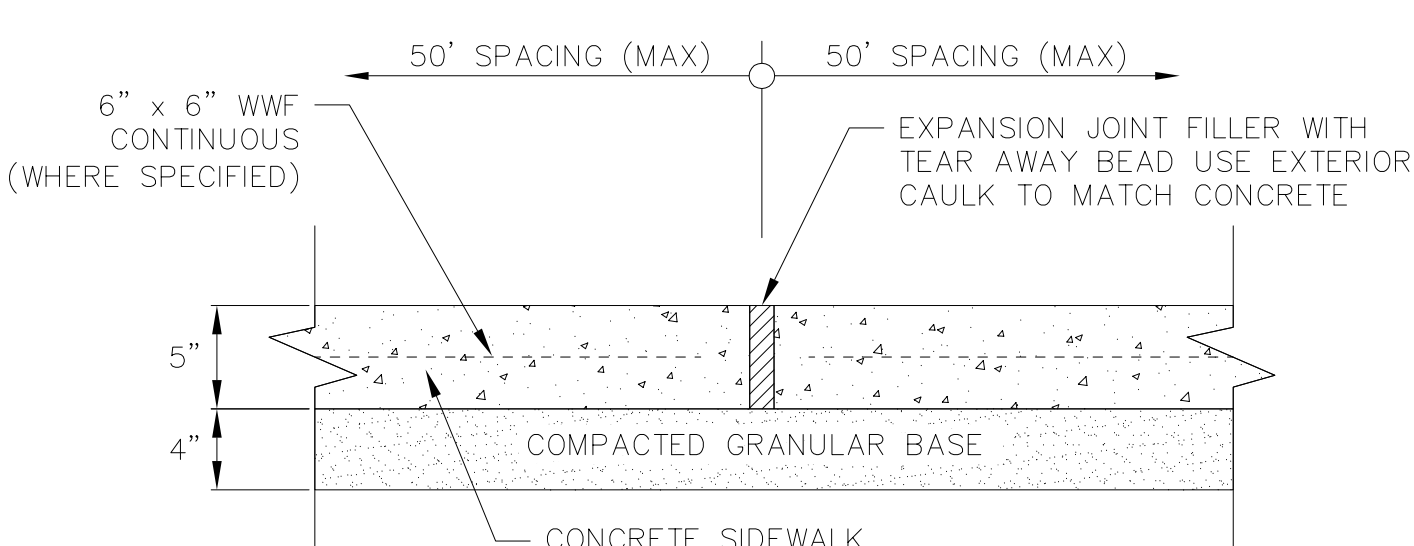
5" SITE SIDEWALK



6 CURBED SIDEWALK DETAIL
 C2.1 NOT TO SCALE

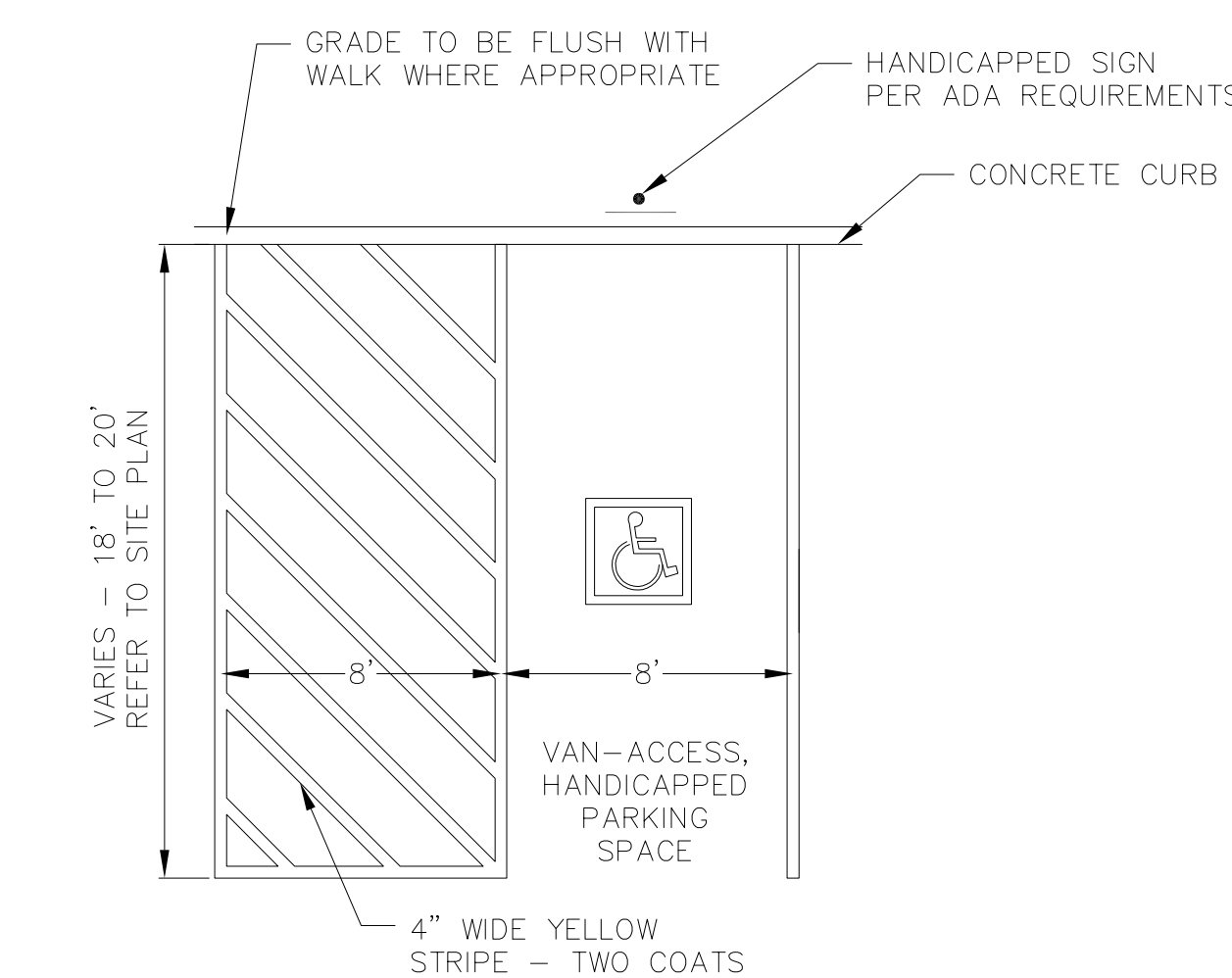


SIDEWALK CONTROL JOINT

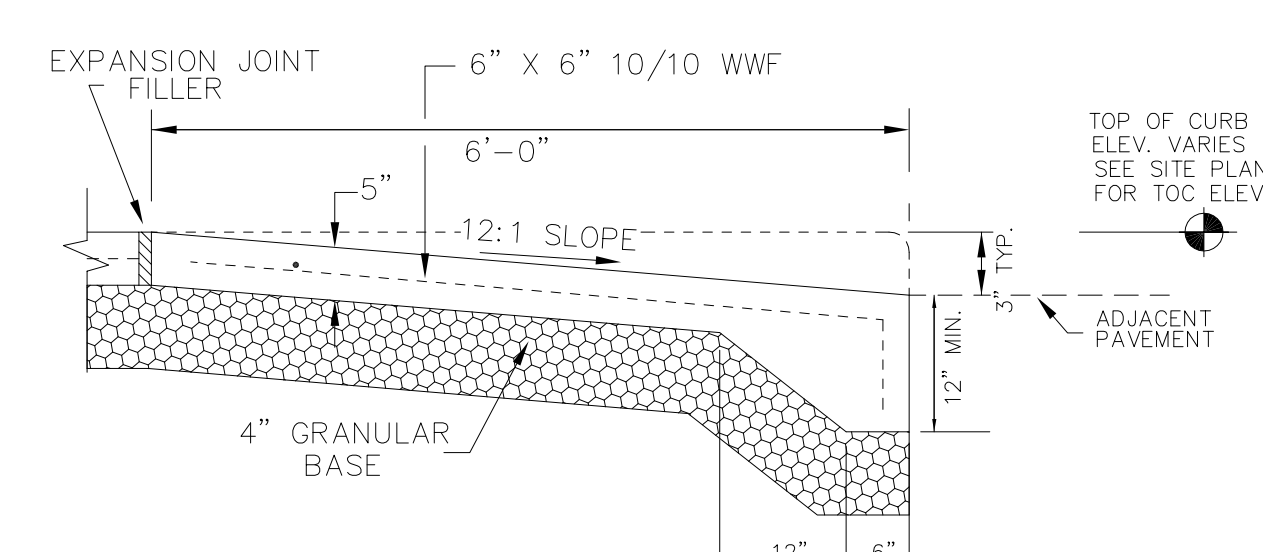


SIDEWALK EXPANSION JOINT

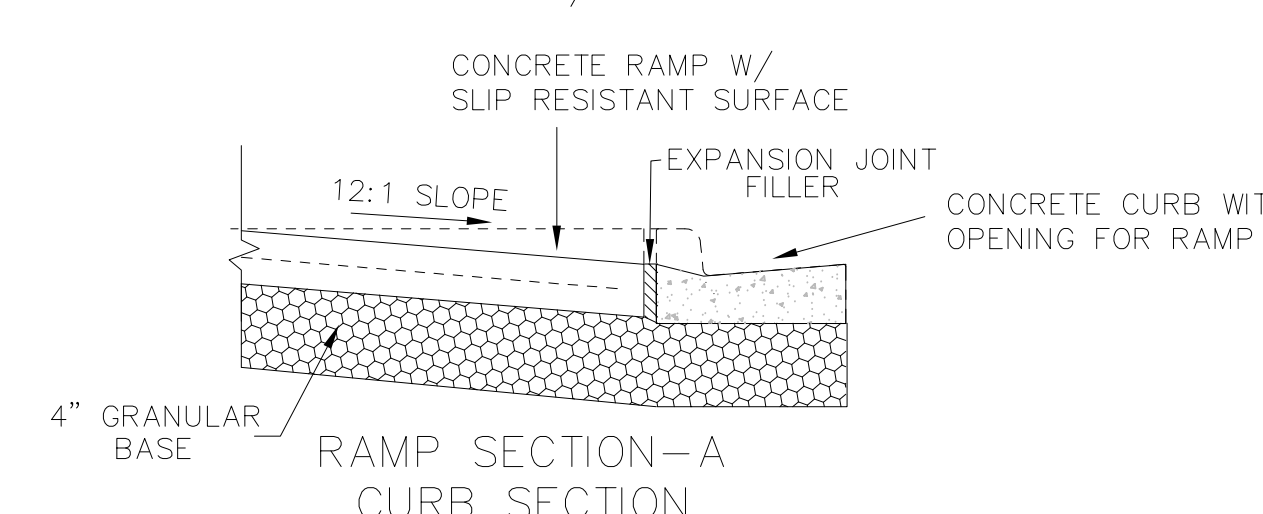
5 5" SIDEWALK
 C2.1 NOT TO SCALE



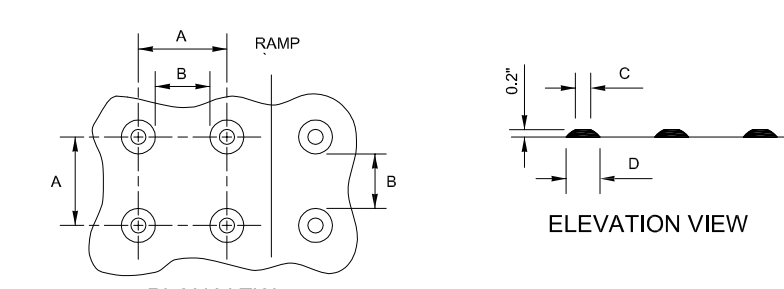
7 HANDICAP STRIPING
 C2.1 NOT TO SCALE



RAMP SECTION-A
 SIDEWALK / CURB COMBINATION

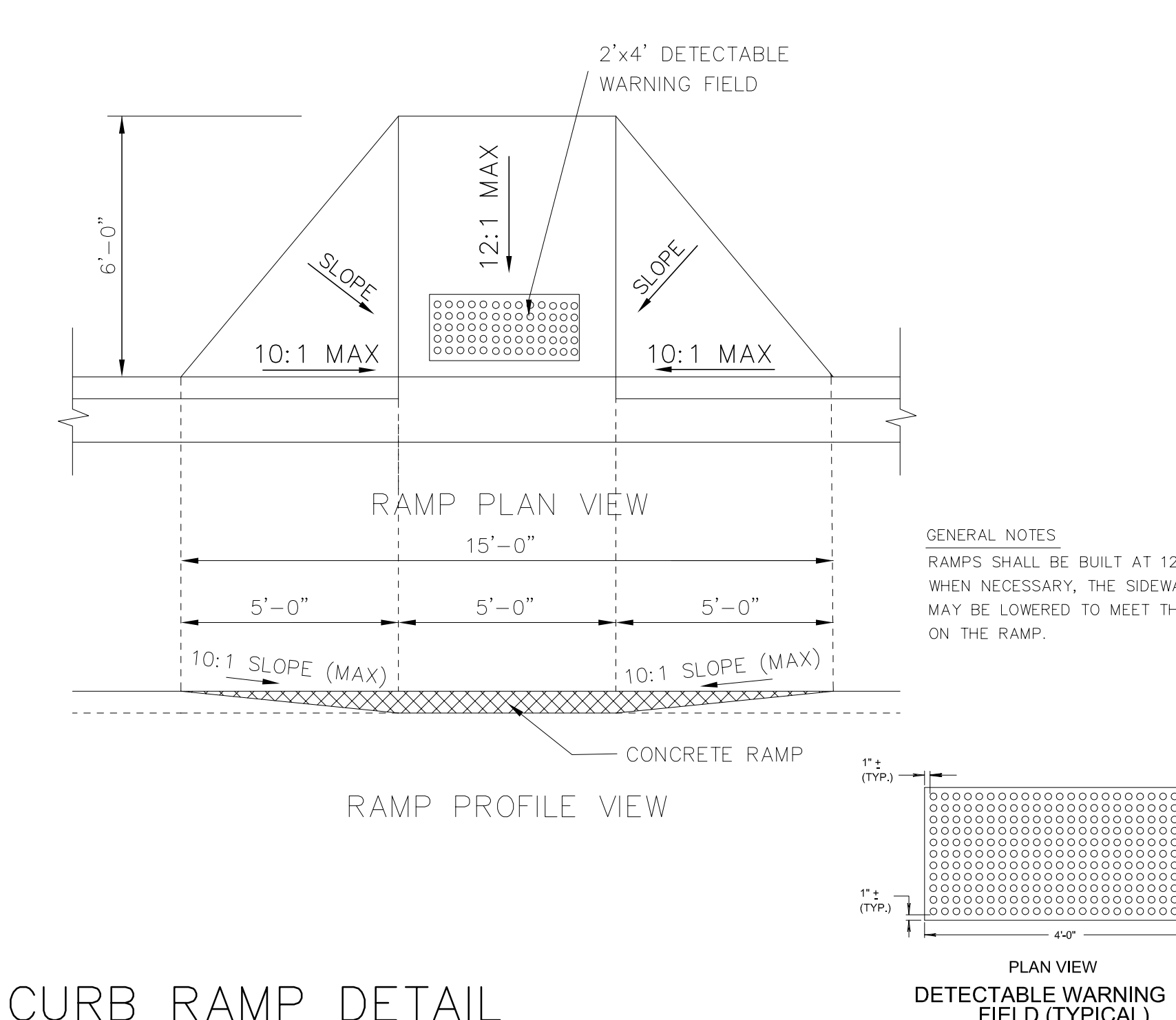


RAMP SECTION-A
 CURB SECTION



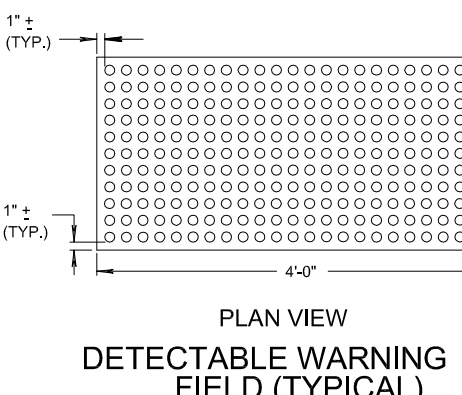
TRUNCATED DOMES
 DETECTABLE WARNING
 PATTERN DETAIL

NOTE: 1) MATERIALS AND METHOD OF CONSTRUCTION FOR TRUNCATED DOMES SHALL BE SPECIFIED IN SPECIAL PROVISIONS OR AS REQUIRED BY THE VILAGE ENGINEER.
 2) COLOR SHALL BE A DISSIMILAR COLOR FROM THE ADJACENT PAVED SURFACE AND APPROVED BY THE OWNER AND ENGINEER.



RAMP PROFILE VIEW

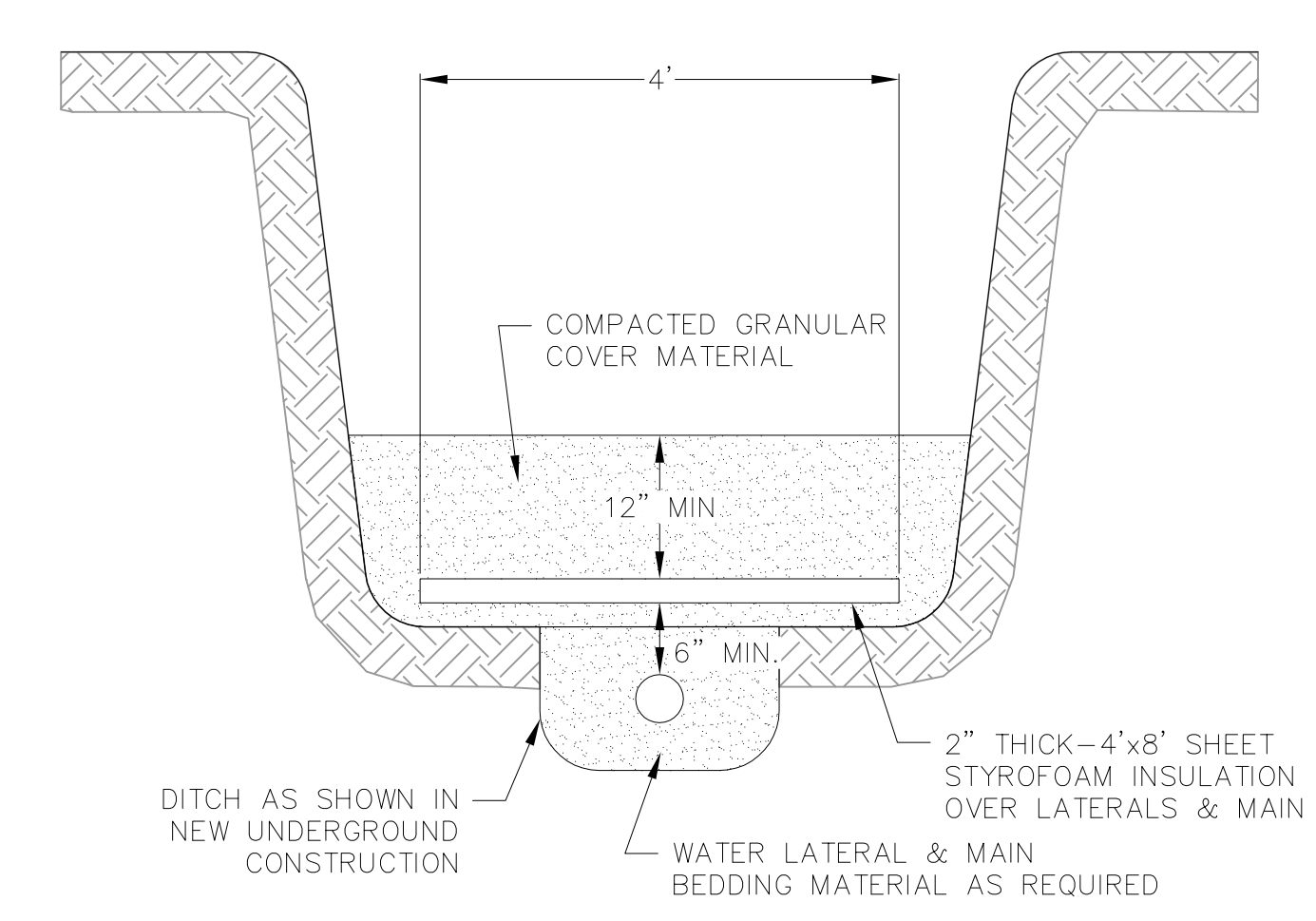
GENERAL NOTES:
 RAMP SHALL BE BUILT AT 12:1 OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.



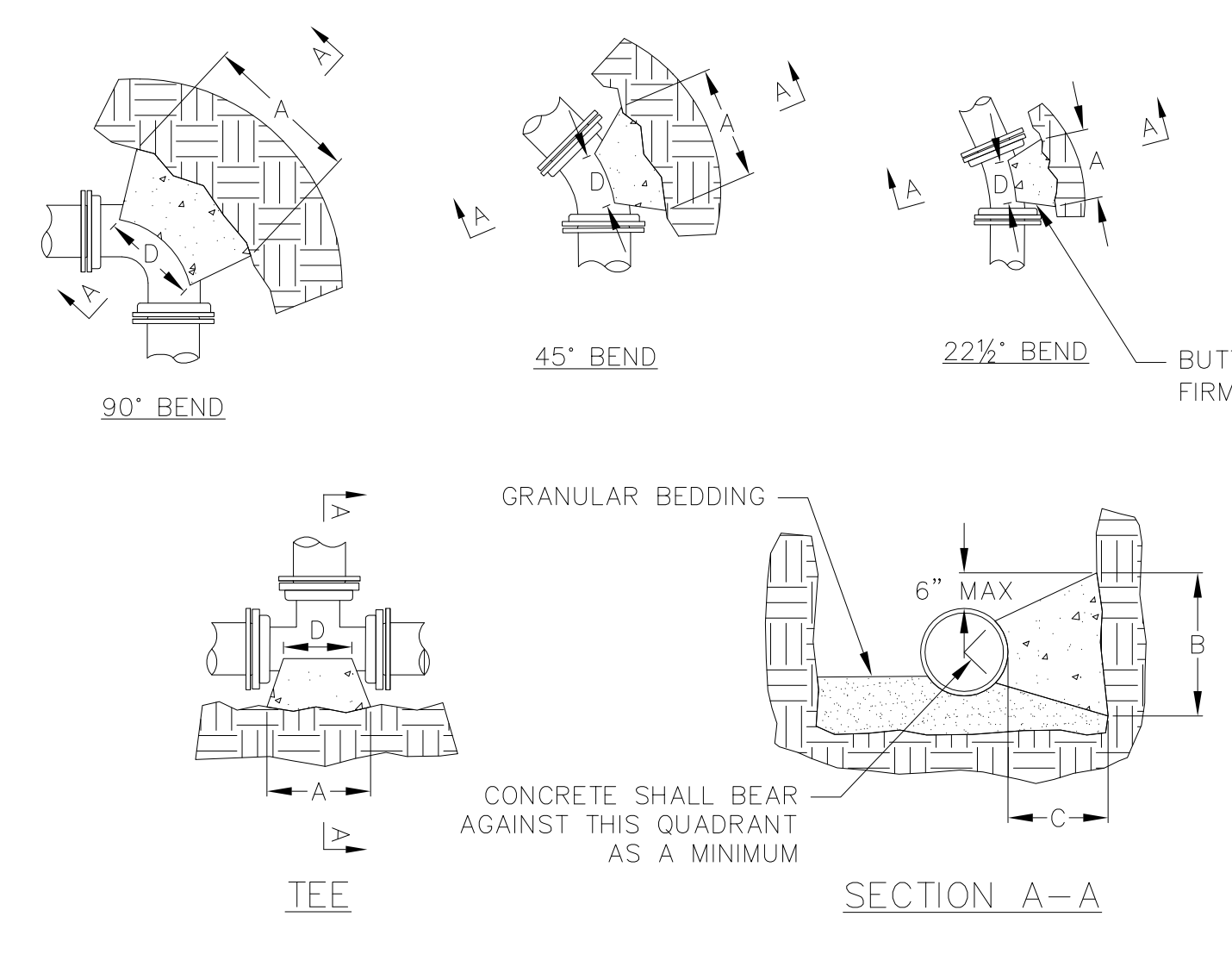
PLAN VIEW
 DETECTABLE WARNING
 FIELD (TYPICAL)

8 CURB RAMP DETAIL
 C2.1 NOT TO SCALE

PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC
 C/O RAYMOND MANAGEMENT COMPANY
 1000 EAST WISCONSIN STREET
 MADISON, WISCONSIN 53705
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 PROJECT: 201525
 DRAWN BY: DPER
 DATE: 4-19-2017
 SCALE: AS SHOWN
 UDC #1: 11-16-2016
 LAND USE: 02-08-2017
 OMP: 03-28-2017
 OMP Addendum #01: 04-12-2017
 UDC: 04-19-2017



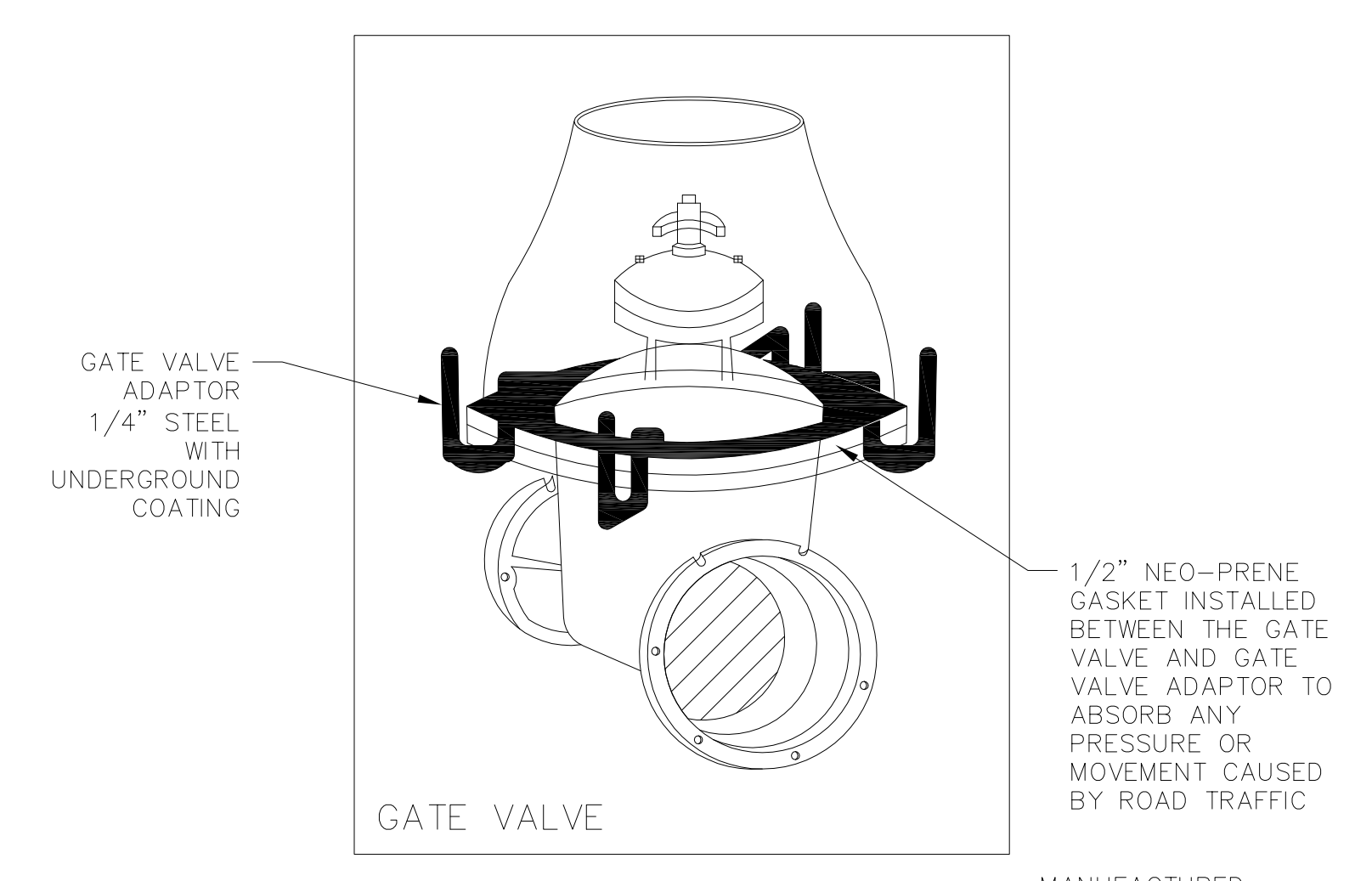
1 INSULATION DETAIL
 NOT TO SCALE



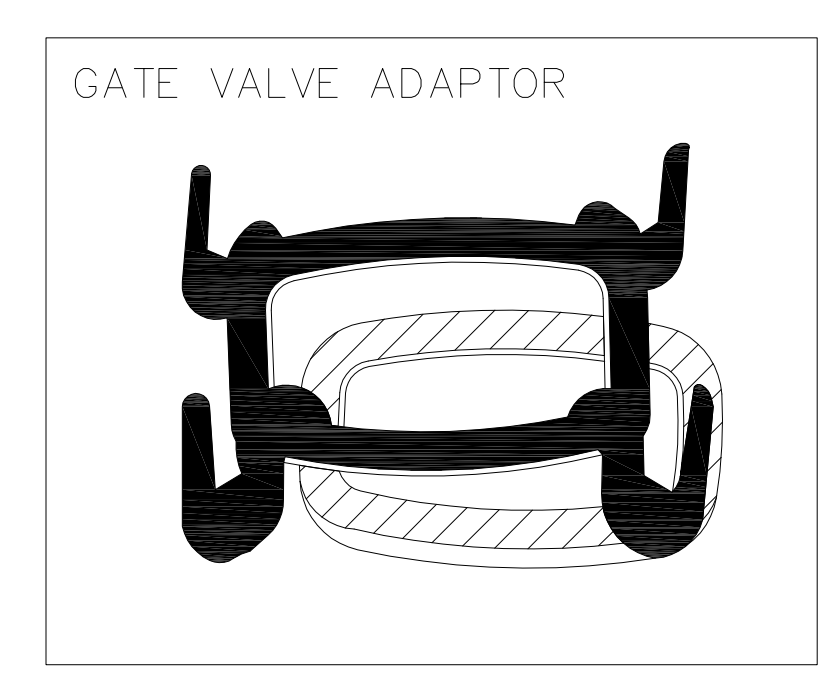
DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.
 DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "C" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

PIPE SIZE	BUTTRUSS DIMENSIONS									
	TEES		11.25° BEND		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B	A	B
4	0'-10"	1'-6"	0'-5"	0'-8"	0'-6"	1'-1"	0'-10"	1'-3"	1'-6"	1'-4"
6	1'-6"	1'-8"	0'-6"	1'-2"	0'-9"	1'-6"	1'-4"	1'-8"	2'-2"	1'-10"
8	1'-9"	2'-4"	0'-9"	1'-4"	1'-0"	2'-0"	1'-11"	2'-0"	3'-0"	2'-4"
10	1'-9"	2'-4"	0'-9"	1'-4"	1'-0"	2'-0"	1'-11"	2'-0"	3'-0"	2'-4"
12	2'-3"	1'-7"	1'-0"	1'-4"	2'-4"	1'-1"	2'-6"	2'-6"	3'-7"	2'-8"
16	3'-8"	2'-10"	2'-0"	2'-10"	1'-6"	3'-0"	3'-0"	3'-6"	3'-0"	3'-0"
20	5'-0"	3'-10"	3'-5"	2'-6"	1'-11"	3'-9"	3'-9"	3'-9"	6'-9"	3'-9"
24	5'-4"	4'-8"	1'-8"	3'-0"	2'-4"	4'-3"	4'-7"	4'-3"	8'-4"	4'-4"

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/30 FT.
 * = FOR TEE THIS WILL BE THE BRANCH PIPE
 CONCRETE SHALL BE CLASS "F"

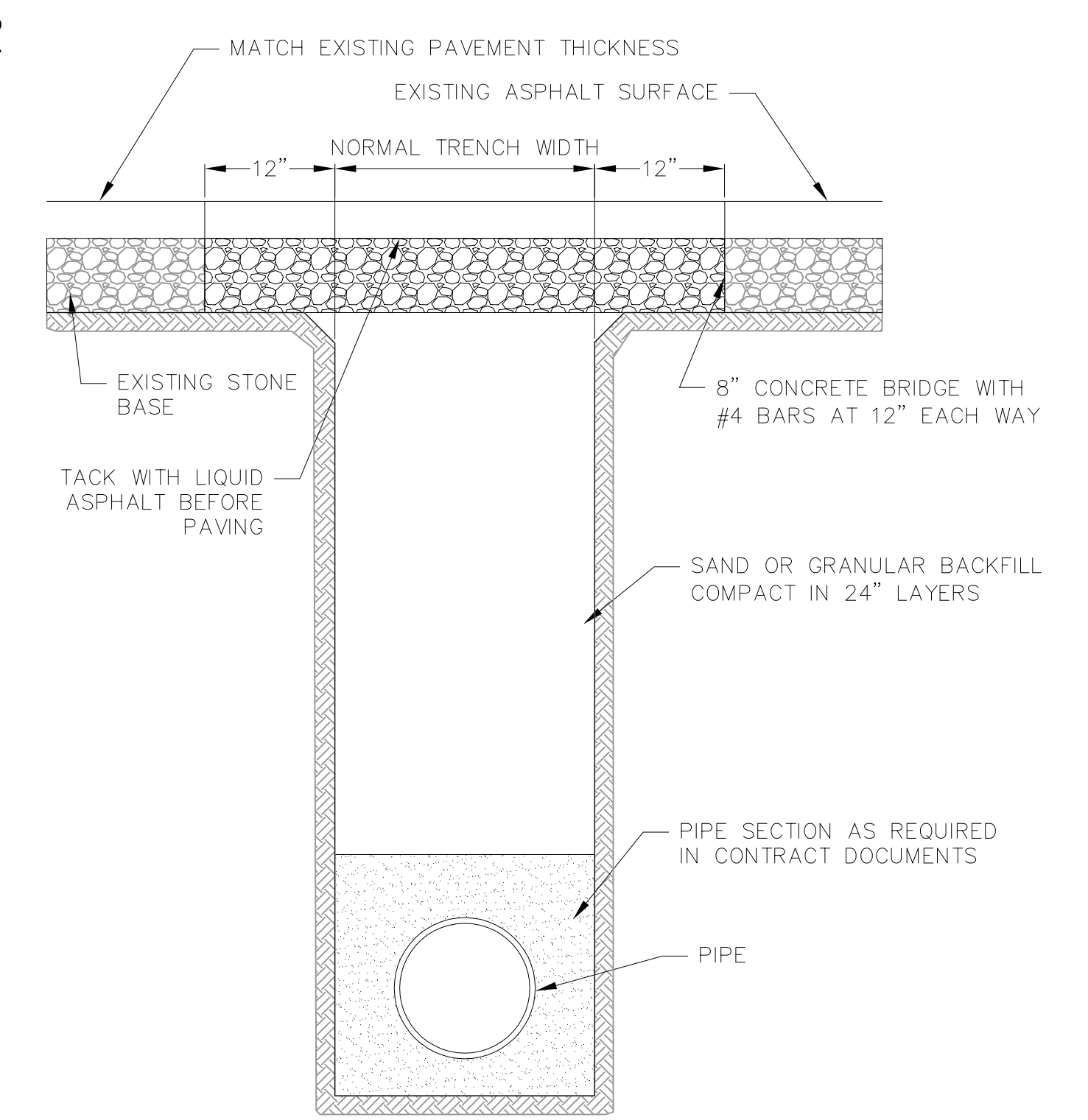


NOTE: GATE VALVE ADAPTORS ARE MANDATORY IN THE VILLAGE OF DEFORST
 MANUFACTURED BY ADAPTOR, INC. 3642 E. AMERICAN AVE. MILWAUKEE, WI 53154



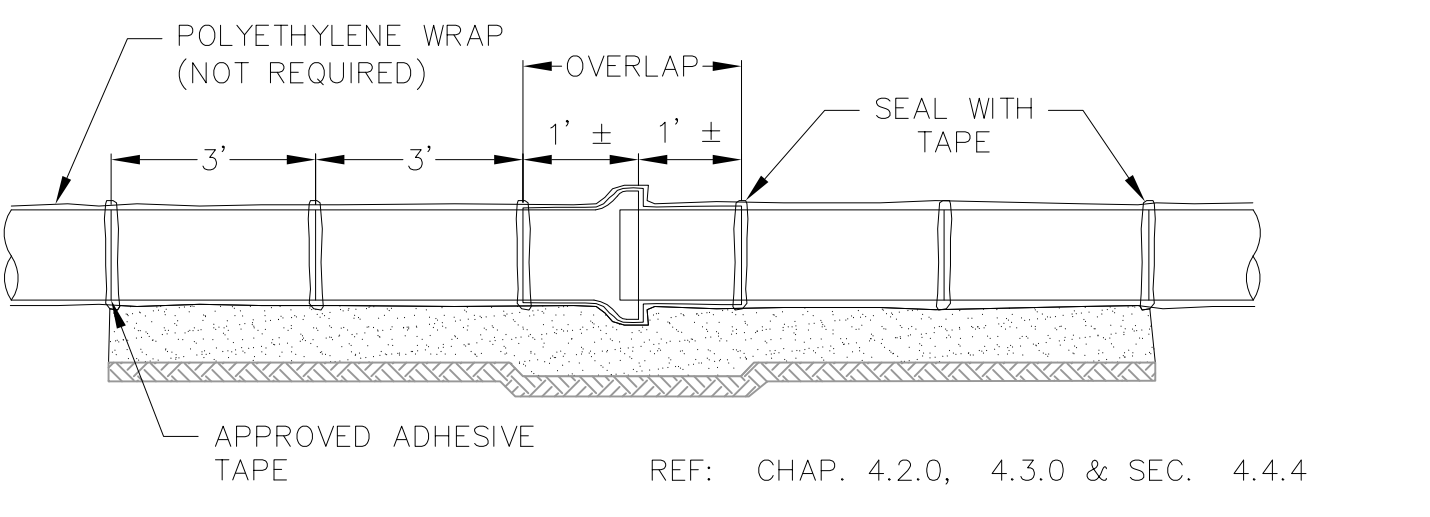
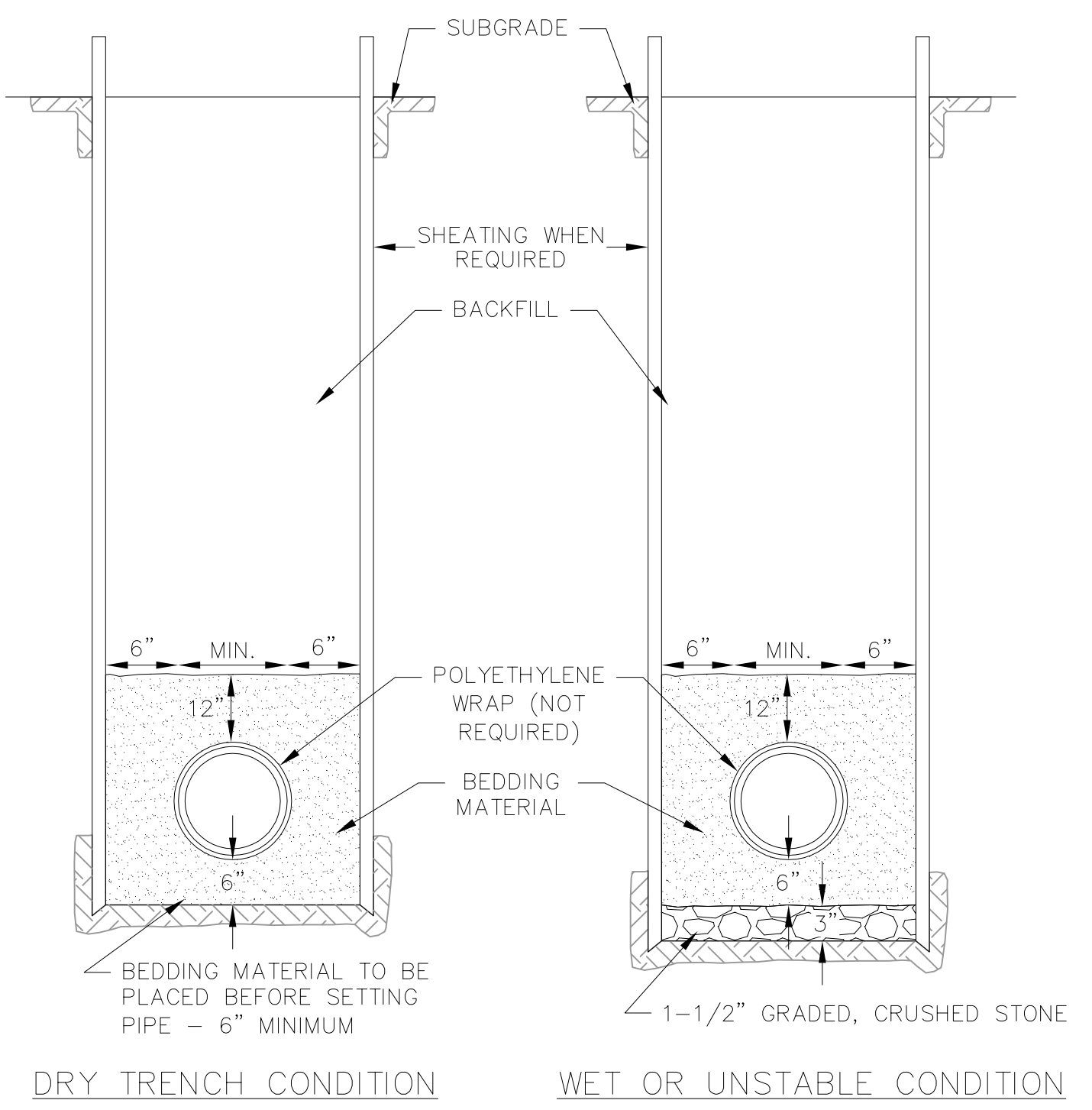
2 GATE VALVE AND GATE VALVE ADAPTOR
 NOT TO SCALE

PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30



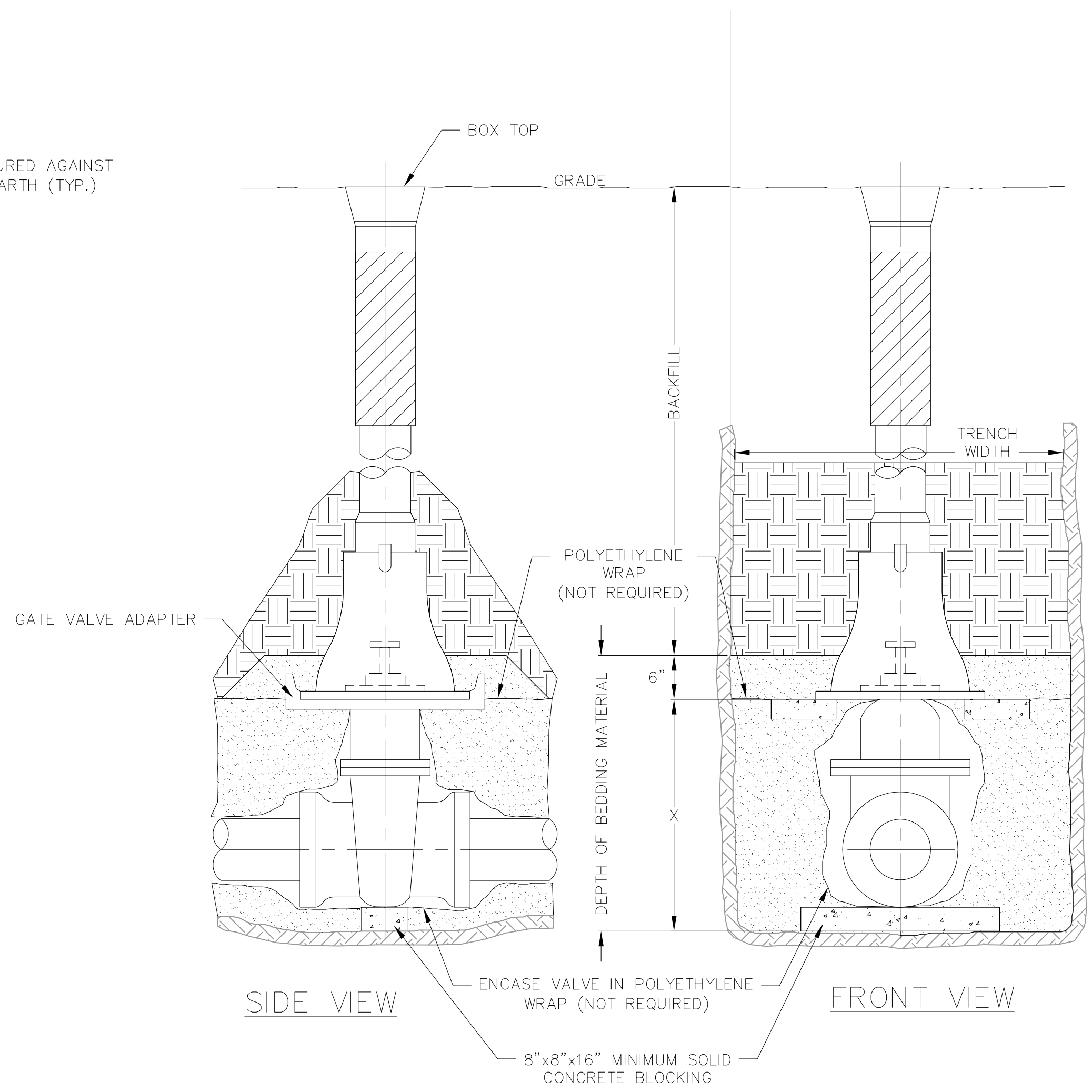
5 CUT PAVEMENT TRENCH SECTION
 NOT TO SCALE

3 BUTTRUSS FOR BENDS
 NOT TO SCALE



6 STANDARD WATERMAIN TRENCH SECTION
 NOT TO SCALE

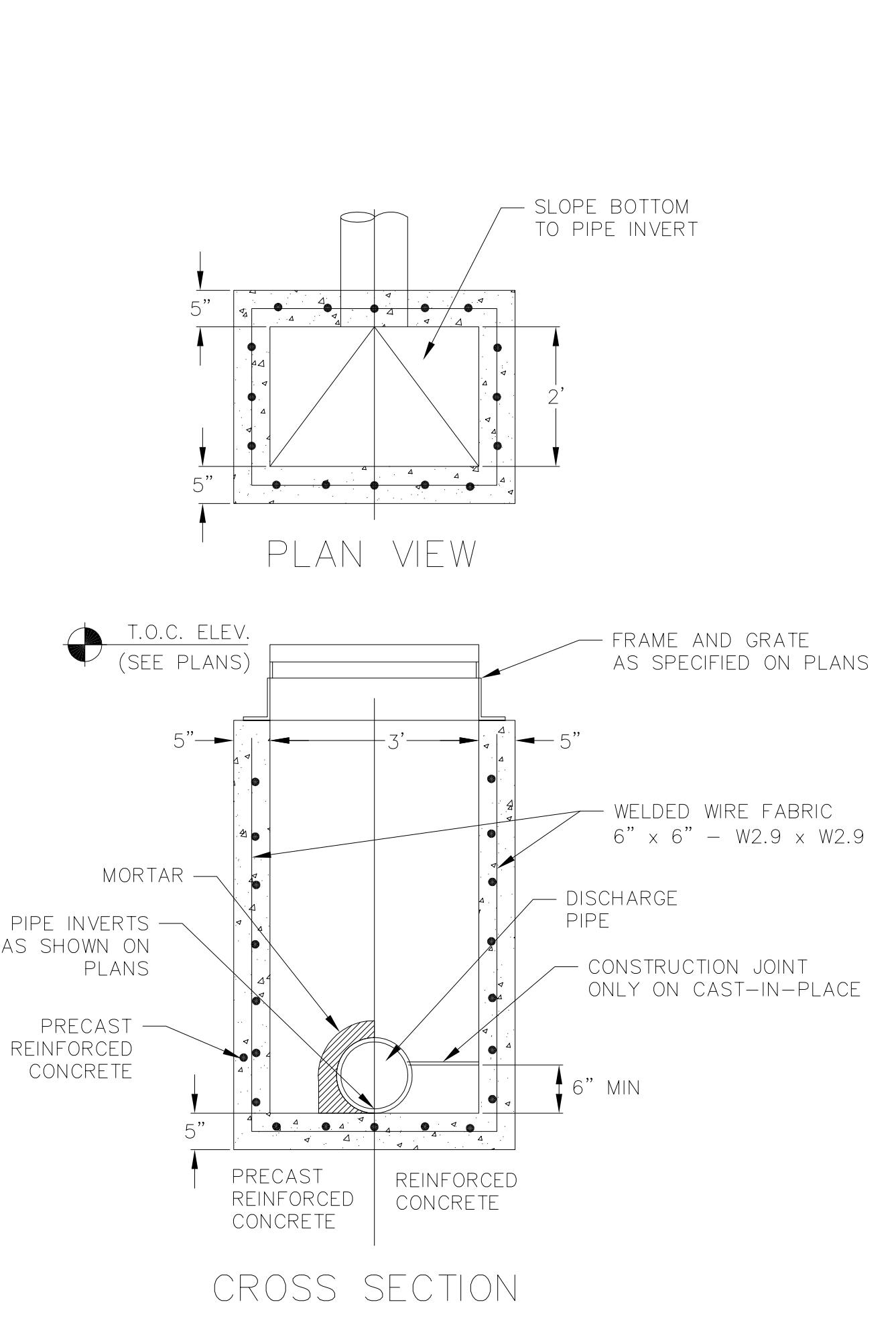
4 STANDARD GATE VALVE BOX SETTING
 NOT TO SCALE



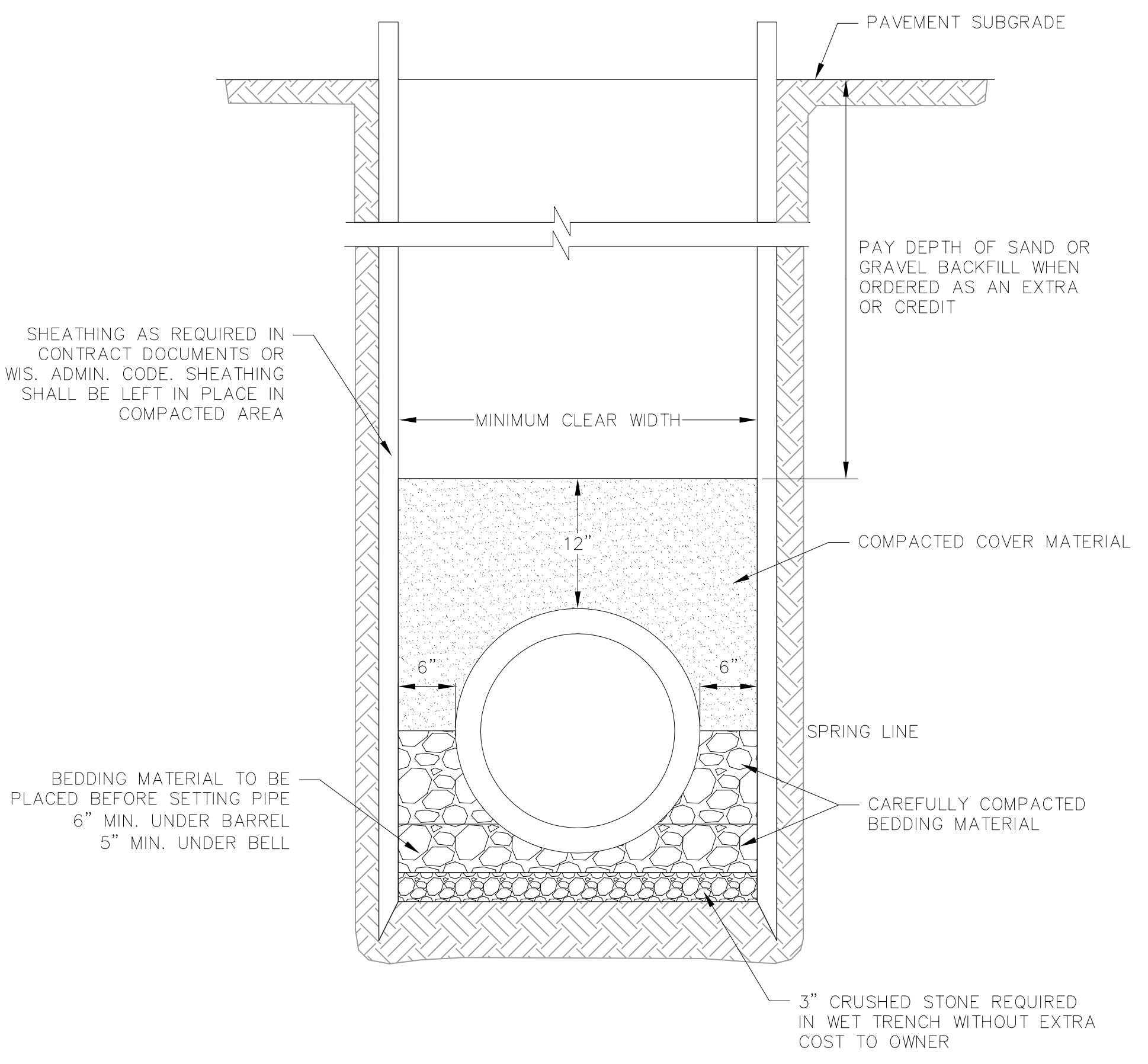
STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

7 STORM SEWER MANHOLE
 NOT TO SCALE

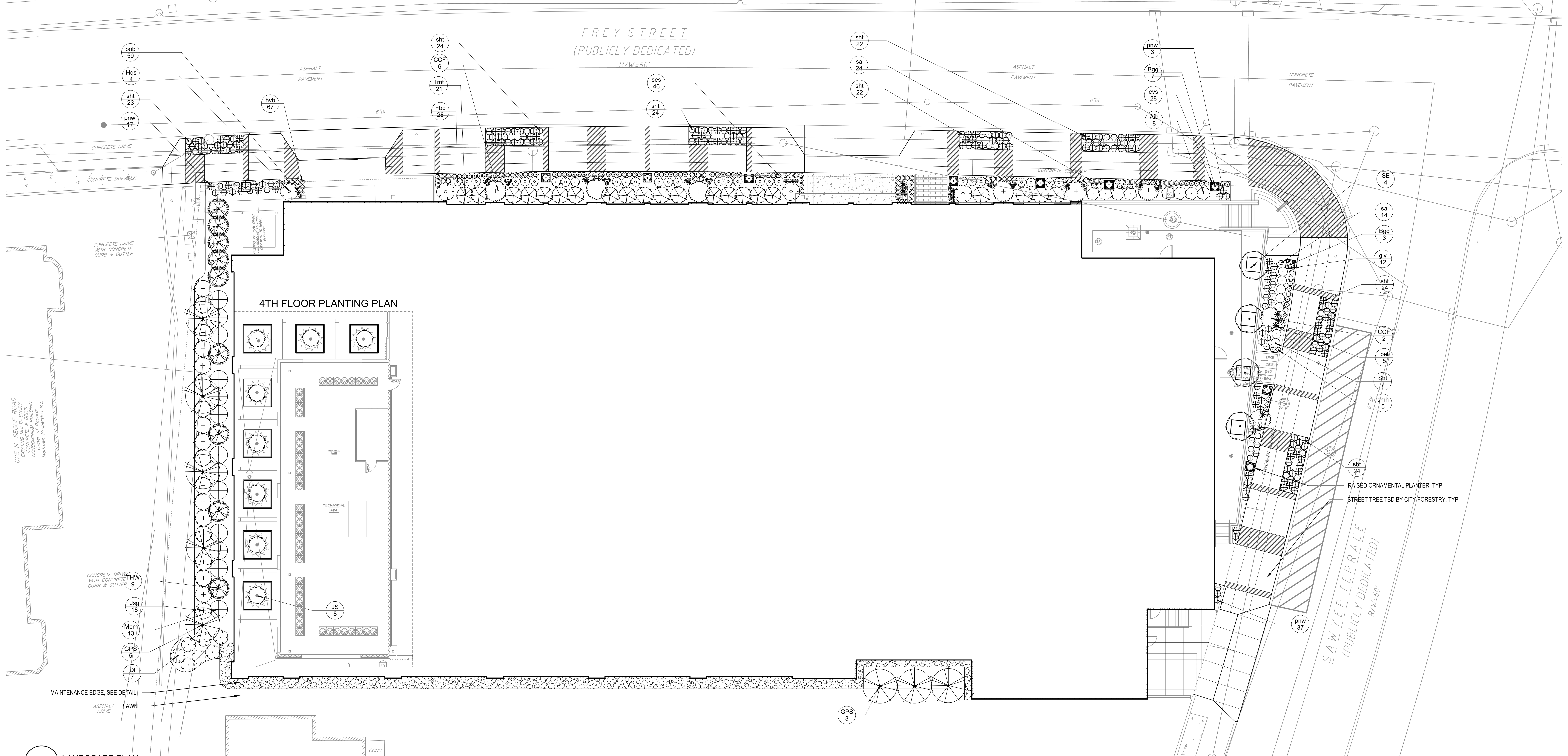


8 CURB INLET - TYPE 3, 2' x 3' BASIN
 NOT TO SCALE

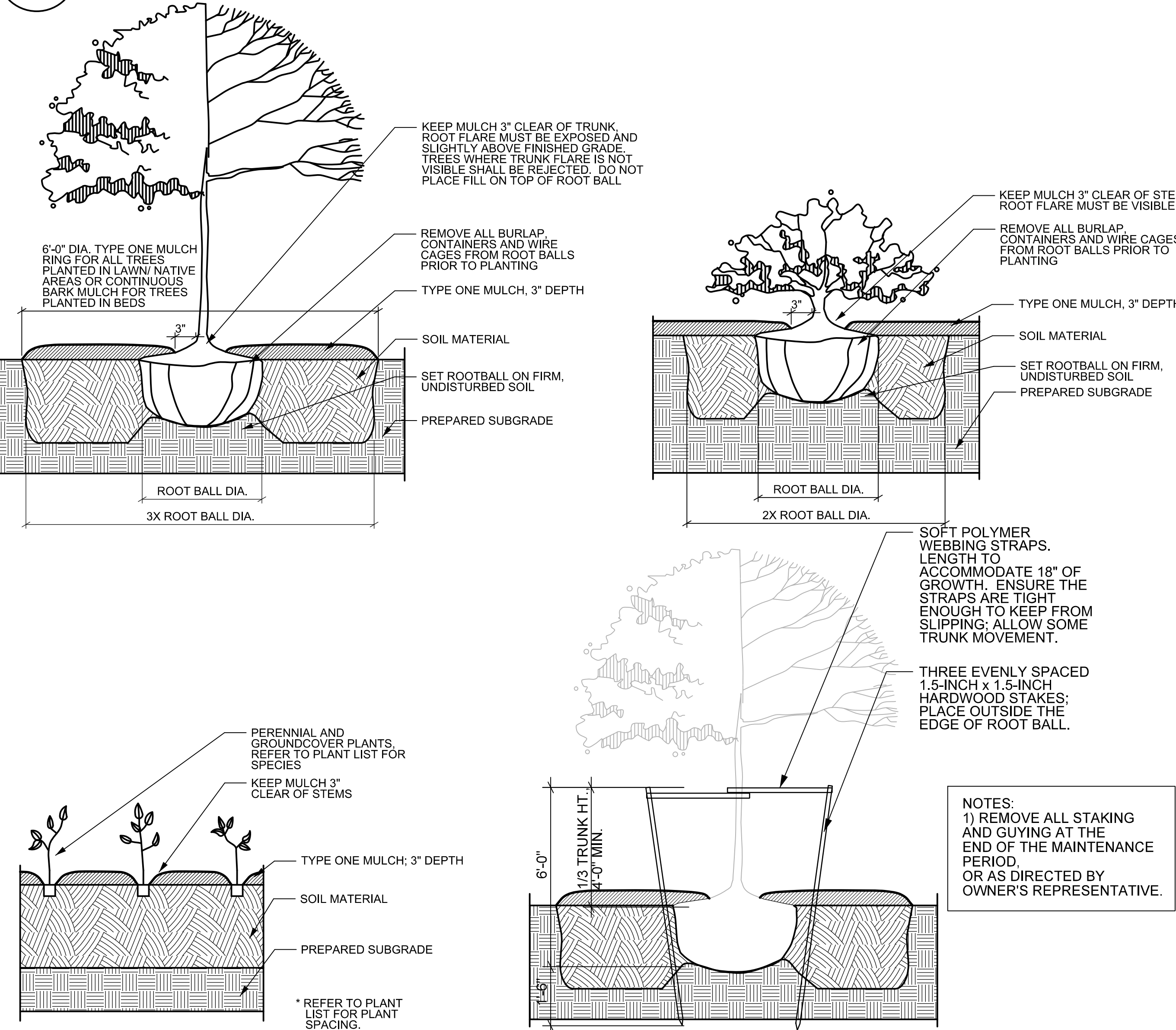


3 CLASS B BEDDING COMPACTED SECTION
 NOT TO SCALE

PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 CLIENT: WISCONSIN INFRASTRUCTURE
 FREY STREET LODGING ASSOCIATES, LLC
 C/O RAYMOND MANAGEMENT COMPANY
 1100 W. WISCONSIN ST. SUITE 200
 MILWAUKEE, WI 53233
 DRAWN BY: DPBR
 DATE: 4-19-2017
 SCALE: AS SHOWN
 UDC #1: 11-16-2016
 LAND USE: 02-08-2017
 CMP: 03-28-2017
 CMP ADDENDUM #01: 04-12-2017
 UDC: 04-19-2017



1 LANDSCAPE PLAN
 1"=10'-0" on 36"x48" sheet



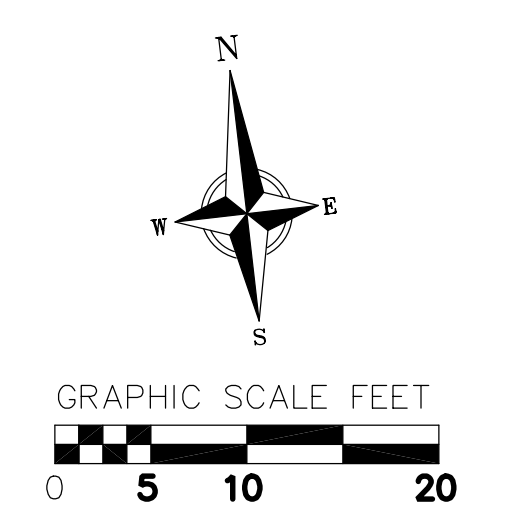
2 TYPICAL PLANTING DETAILS
 NTS

Frey Street Redevelopment				
Developed Lots	SF	Acres	Landscape Points Subtotal	
Total Developed Area (Lot + Building Area)	8,718			
Landscape Points (5 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)			145	
Development Frontage (Landmark Plaza)		Overstory Trees Required *		
Total LF of Street Frontage	410	14	68	
Between Parking/Building & Street				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0	0	0
Tall Evergreen Tree	35	0	0	0
Ornamental Tree	15	8	0	120
Upright Evergreen Shrub	10	0	0	0
Shrub, deciduous	3	56	0	168
Shrub, evergreen	4	34	0	136
Ornamental Grass/Perennial	2	146	0	292
Development Frontage Points Total				716
General Site, Foundation, Screening				
6'-6" ht. screening shall be provided along side and rear property boundaries adjacent to residential districts (in front yard setback screening shall not exceed 4' ht.)				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	5	0	175
Tall Evergreen Tree	35	16	0	560
Ornamental Tree	15	21	0	315
Upright Evergreen Shrub	10	21	0	210
Shrub, deciduous	3	18	0	54
Shrub, evergreen	4	18	0	72
Ornamental Grass/Perennial	2	42	0	84
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	2	0	0	0
Foundation Plantings Total				1017
TOTAL LANDSCAPE POINTS				1733

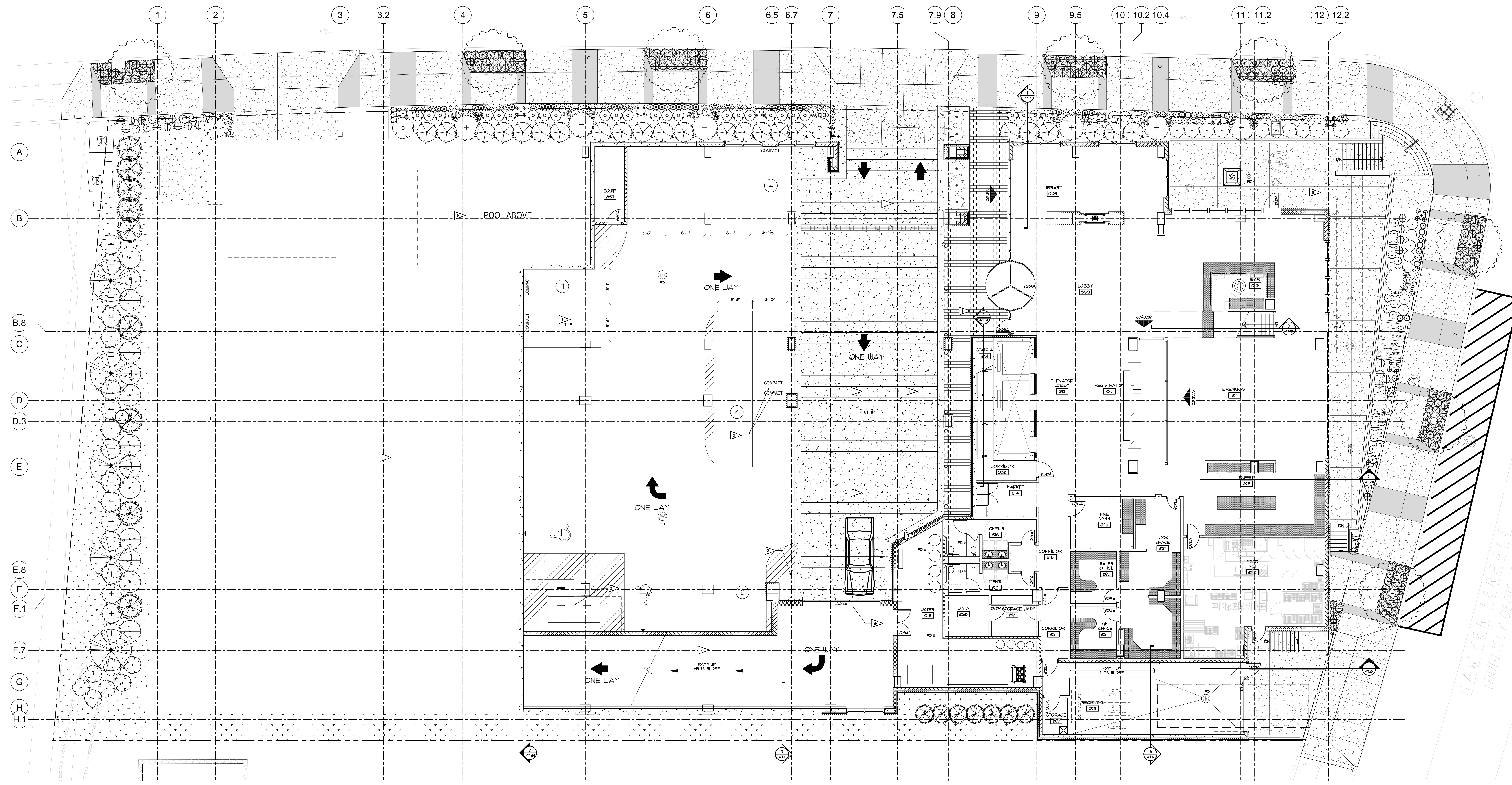
* In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.

PLANT SCHEDULE					
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
JS	Juniperus chinensis 'Spartan' / Spartan Juniper	B & B		5' HT. (MIN.)	8
THW	Tuja occidentalis 'Hetz Wintergreen' / Hetz Wintergreen Arborvitae	B & B		6' HT. (MIN.)	9
ORNAMENTAL TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
CCF	Carpinus caroliniana 'J.N. Upright' / Firespire Muscadewood	B & B	UPRIGHT MULTI-STEM	6' HT. (MIN.)	8
SE	Syringa reticulata 'Elknot' / Snow Cap Lilac	B & B	1.5' Cal		4
SHADE TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
GPS	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2' Cal	6' HT. (MIN.)	8
DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
Ab	Aronia melanocarpa 'Morton' / Inzoquia Beauty Black Chokeberry	3 gal	18" HT. (MIN.)		8
Di	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal	18" HT. (MIN.)		7
Fic	Fothergilla gardenii 'Beaver Creek' / Dwarf Witchhazel	3 gal	18" HT. (MIN.)		28
Hgs	Hydrangea quercifolia 'Snow Queen' / Snow Queen Oakleaf Hydrangea	3 gal			4
Mpm	Myrica pensylvanica 'Morton' / Silver Spine Bayberry	3 gal	18" HT. (MIN.)		13
Sst	Spiraea betulifolia 'Tor' / Birchleaf Spirea	3 gal	18" HT. (MIN.)		7
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
Bgg	Buxus x Green Gem / Green Gem Boxwood	3 gal	18" HT. (MIN.)		10
Jsg	Juniperus chinensis 'Sea Green' / Sea Green Juniper	3 gal	18" HT. (MIN.)		18
Tnt	Taxus x media 'Tautoni' / Tauton Yew	3 gal	18" HT. (MIN.)		21
HERBACEOUS PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
eys	Epidendrum x versicolor 'Sulphureum' / Bicolor Barrenwort	1 gal			28
ghv	Geranium macranthum 'Ingwersen's Variety' / Ingwersen's Variety Bigroot Geranium	1 gal			12
hvb	Heuchera villosa 'Brownies' / Coral Balls	1 gal			67
pnl	Pieris x Little Spire / Russian Sage	1 gal			5
pol	Polygonatum biflorum / Solomon's Seal	1 gal			59
smh	Stachys monieri 'Humble' / Common Betony	1 gal			5
ORNAMENTAL GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
prw	Panicum virgatum 'North Wind' / Northwind Switch Grass	1 gal			57
sa	Sesleria autumnalis / Autumn Moor Grass	1 gal			38
ses	Sesleria asperata / Green Moor Grass	1 gal			46
stt	Sporobolus heterolepis 'Tara' / Prairie Droopseed	5 gal			163

- NOTES:**
- Contractor shall contact City Forestry at least 48 hours prior to any work on street trees.
 - The planned removal of trees includes all brush and stump removal.
 - Approval and permitting of street tree removals and street tree planting shall be obtained from the City Forester and/or the Board of Public Works prior to the approval of the site plan. Any tree removals that are required for construction after the development plan is approved will require at least a 72 hour wait period before a tree removal permit can be issued by Forestry, to notify the Alder of the change in the tree plan.
 - Street trees shall be planted per planting specifications found in section 209 of City of Madison Standard Specifications for Public Works Construction.
 - All at-grade planting areas shall receive 18" topsoil minimum, 2" of compost meeting WI-DNR Specification 5100 shall be tilled into the top 6" of topsoil. Topsoil shall meet City of Madison Standard Specifications for Public Works Construction.
 - All raised planters shall receive 18" planter soil minimum. Basis of design is PM35 Planter Mix by Midwest Trading (<http://www.midwest-trading.com/product/PM-35-Planter-Mix>) or approved equal.
 - All plant beds shall be treated with pre-emergent herbicide after planting and prior to mulching. Apply per manufacturer's specifications.
 - All plant beds shall have 3" shredded hardwood bark mulch unless otherwise noted.
 - All plant beds not adjacent to hardscape shall have a shovel-cut edge unless otherwise noted.
 - All plant material shall be warranted for 12 months following substantial completion. All plants shall be in healthy, flourishing condition at installation and through warranty period as determined by landscape architect. Contractor will be required to replace unacceptable plants.



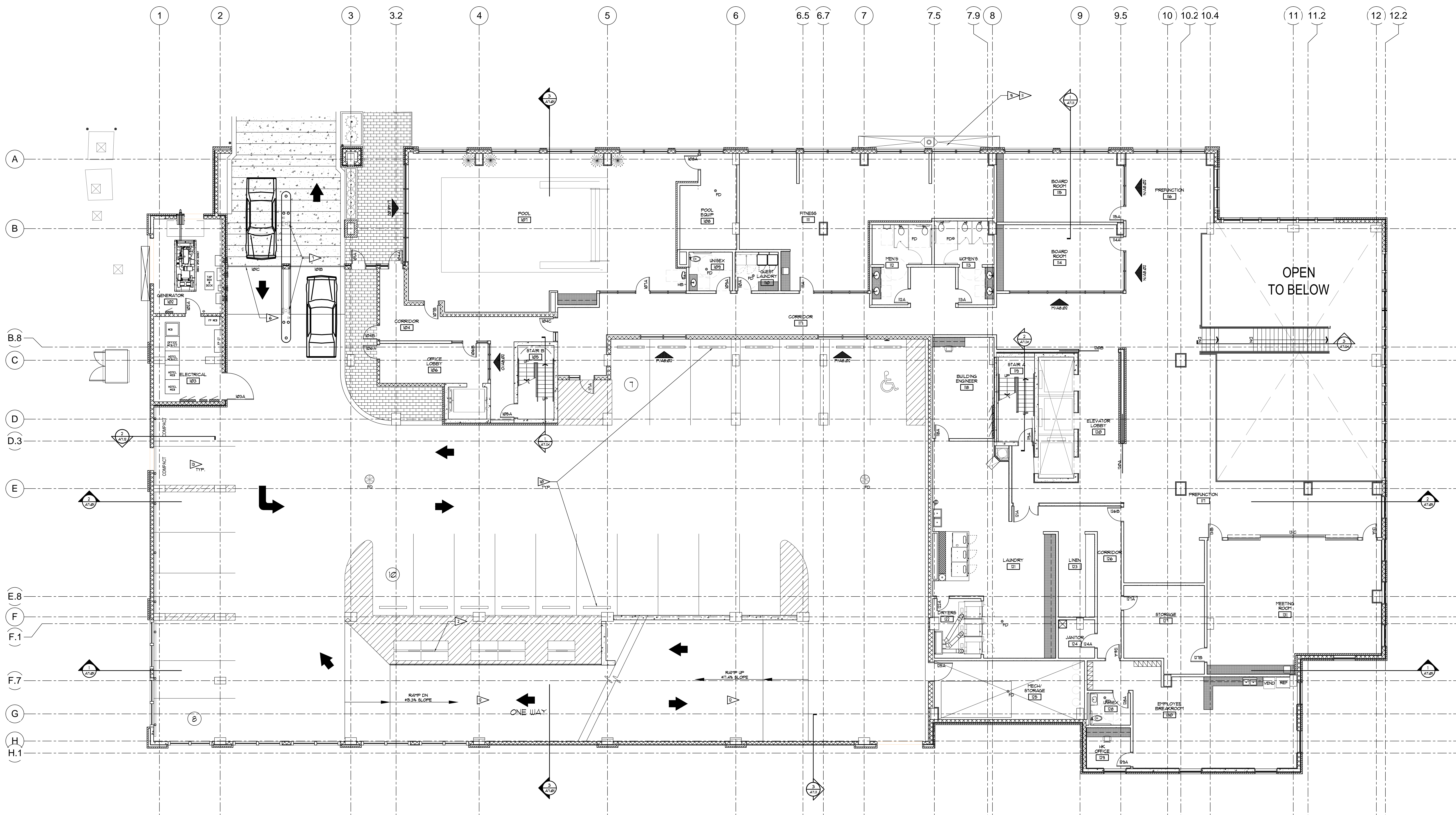
FREY STREET
 (PUBLICLY DEDICATED)
 R/W=60'



**FLOOR PLAN
 GROUND LEVEL**
 1/8" = 1'-0"
 0' 4' 8' 16' 24'

GENERAL PLAN NOTES		KEY NOTES	
1. ALL DIMENSIONS ARE TO FACE-ON-GRID UNLESS NOTED OTHERWISE.	2. EXTERIOR OPENINGS ARE TO FACE-OF-EXTERIOR SHEATHING OR DAMPPROOFING SHOULD NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF CONCRETE WALL BOARD TO ACHIEVE LISTED WALL TYPES AGAINST/BEHIND STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.	▽ DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.	▽ BIKE PARKING DOCK. SEE A3/01 FOR DETAILS.
3. SEE SHEET A2/00 FOR DIMENSIONS OF SPECIFIC AREAS.	4. SEE W/ PLANS FOR DIMENSIONS OF SPECIFIC AREAS.	▽ HANGERS/CLIPS TO BE COVERED BY ADDITIONAL STUD WALL.	▽ HANGERS/CLIPS TO BE COVERED BY ADDITIONAL STUD WALL.
5. SEE SHEET A2/00 FOR WALL TYPE CONSTRUCTION.	6. GYPSUM BOARD SHALL BE COVERED OVER BY ADDITIONAL STUD WALL.	▽ UNDESIRABLE. ABOVE BELOW FIRST FLOOR.	▽ POOL ABOVE.
7. SEE SHEET FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.	8. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOF SIGNAGE INCLUDING OCCUPANCY SIGN IN ALL REQUIRED AREAS/ROOFS.	▽ HIGH SPEED HE/D O DOOR.	▽ DOOR ACCESS CONTROL SYSTEM.
9. UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM ADJACENT WALL.		▽ ELEVATED TERRACE W/ 9" RT WATER RETENTION PER CIVIL DRAWINGS.	▽ CANOPY BELOW.
		▽ UNBEL STOP PER A3/01.	▽ BALLASTED BLACK EPDM OVER 4" POLY ISO.
		▽ CONCRETE SPEED RAMP W/ TRANSITION 1" UP / 1" BOTTOM.	▽ COMPACT PARKING SHALL BE VARIED IN WIDTH. ALL ARE GREATER THAN 8'-1" IN WIDTH & 8'-0" DEEP.
		▽ PAINTED ALUMINUM TRILIA.	▽ MECHANICAL UNIT W/ ALUMINUM SCREEN.
		▽ OUTLINE OF HOTEL TOWER ABOVE.	▽ 48"X48"X8" TALL COPPER PLANTERS W/ (1) EVERGREEN TREE 8" Ø" Ø2" FINAL LOCATION AND TREE SIZE IS TO BE COORDINATED BY OWNER AND ARCHITECT.
PLAN SYMBOLS ○ WALL-MOUNTED FIRE EXTINGUISHER 4-A BRCC 10-1/2 NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL. ○ FULLY-ASSEMBLED FIRE EXTINGUISHER CABINET MODEL NO. JAP-100 AND FIRE EXTINGUISHER 4-A BRCC 10-1/2 NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL. ○ INDICATES WALL TYPE REFER TO DRAWING A2/00 FOR WALL TYPE CONSTRUCTION. ○ FLOOR DRAIN. ○ STOREY LEADER REFER TO PLUMBING DUGS. ○ DOOR TYPE REFER TO DRAWING A3/01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE. ○ DOOR/INTERIOR OPENING NUMBER REFER TO DRAWING A3/01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.			

PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 4601 FREY STREET
 MADISON, WISCONSIN 53705
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC
 C/O RAYMOND MANAGEMENT COMPANY
 1100 EAST WISCONSIN AVENUE
 MADISON, WI 53703
 PROJECT: 201525
 DRAWN BY: BLM
 DATE: 12-12-2016
 SCALE: AS NOTED
 UDC #: 11-16-1016
 LAND USE: 03-08-2017
 CITY SUBMITTAL: 03-01-2017
 GMP: 03-28-2017
 GMP ADD 1: 04-13-2017
 UDC #: 04-15-2017
 GROUND FLOOR PLAN
 A2.00



**FLOOR PLAN
FIRST FLOOR**
1/8" = 1'-0"
0' 4' 8' 16' 24'

GENERAL PLAN NOTES	KEY NOTES
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.	▽ DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
2. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING OR DAMPPROOFING SHOULD NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF CONCRETE WALL, BOARD, TO ACHIEVE LISTED WALL TYPES AGAINST/OPPOSITE STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.	▽ BIKE PARKING DOCK. SEE A410 FOR DETAILS.
3. SEE SHEET A220 FOR WALL TYPE CONSTRUCTION.	▽ HANDICAP SIGN. SEE A410 FOR DETAILS.
4. GREN W/ATD WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL. TRAPING, SUBSTITUTE 5/8" TYPE 'X' DENGLASS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FINISHING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.	▽ UNDEVELOPED. A210A BELOW FIRST FLOOR.
5. SEE SHEET A220 FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.	▽ POOL ABOVE.
6. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOF SIGNAGE INCLUDING OCCUPANCY SIGN IN ALL REQUIRED ASSEMBLY ROOMS.	▽ HIGH SPEED HE/D D.OOR.
7. UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM ADJACENT WALL.	▽ DOOR ACCESS CONTROL 5117101.
	▽ ELEVATED TERRACE W/ 9" RT WATER RETENTION PER CIVIL DRAWINGS.
	▽ CANOPY BELOW.
	▽ LABEL STOP PER A410.
	▽ BALLASTED BLACK EPDM OVER 4" POLY ISO.
	▽ CONCRETE SPEED RAMP W/ TRANSITION 1" UP / 1" BOTTOM.
	▽ COMPACT PARKING SHALL BE VARIED IN WIDTH. ALL ARE GREATER THAN 8'-1" IN WIDTH & 8'-0" DEEP.
	▽ PAINTED ALUMINUM TRUSS.
	▽ MECHANICAL UNIT W/ ALUMINUM SCREEN.
	▽ OUTLINE OF HOTEL TOWER ABOVE.
	▽ 48" x 48" x 10" TALL COPPER PLANTERS W/ (1) EVERGREEN TREE # 20" Ø" O.C. FINAL LOCATION AND TREE SIZE IS TO BE COORDINATED BY OWNER AND ARCHITECT.

PLAN SYMBOLS
WALL-MOUNTED FIRE EXTINGUISHER. 4-A ABC. 10-1/2 NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
FULLY-ENCLOSED FIRE EXTINGUISHER CABINET. MODEL NO. J40-100 AND FIRE EXTINGUISHER 4-A ABC. 10-1/2 NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
FLOOR DRAIN
STORE LEADER REFER TO PLUMBING DUGS.
DOOR TYPE REFER TO DRAWINGS A410 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
DOOR/INTERIOR OPENING NUMBER REFER TO DRAWINGS A410 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

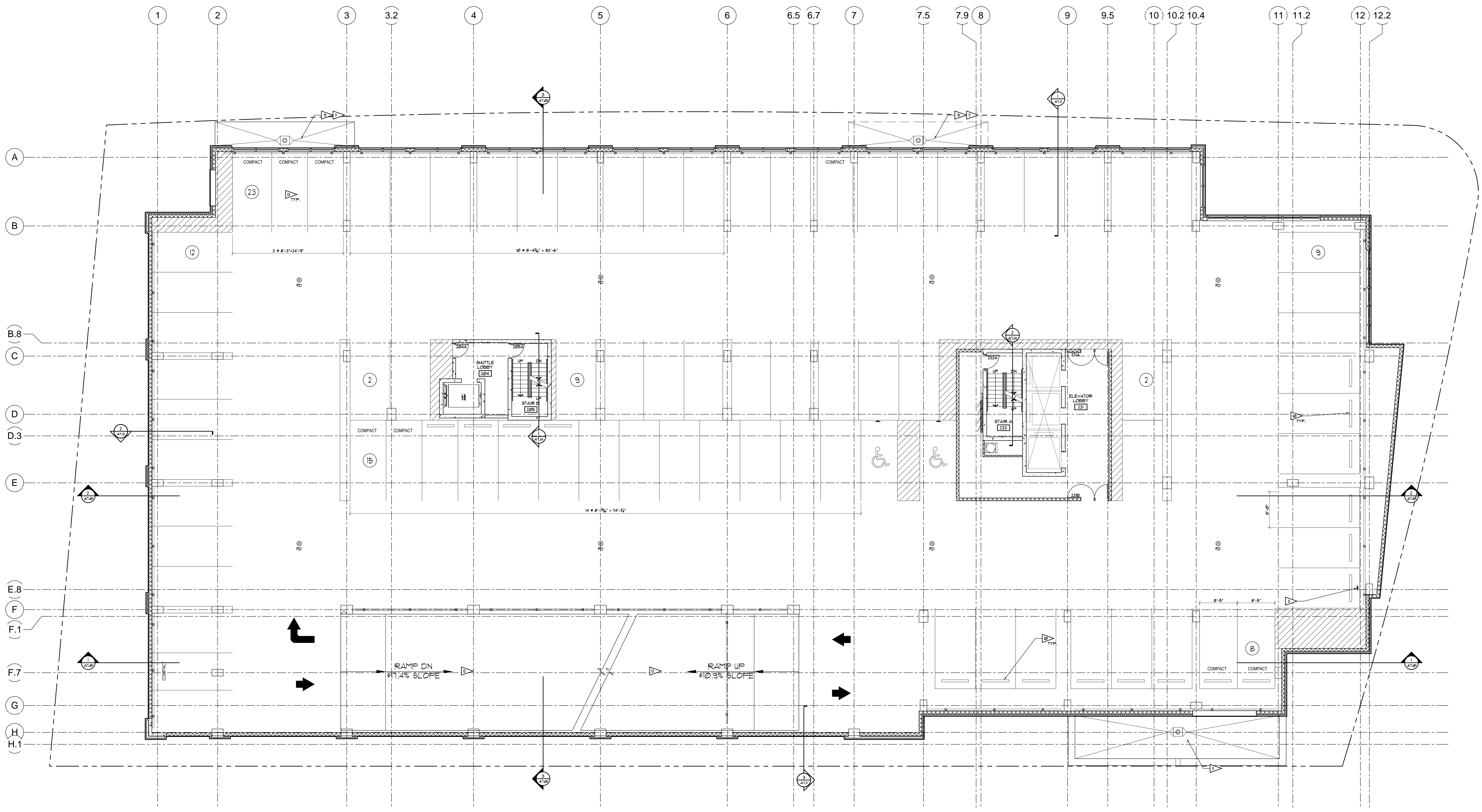
PROJECT: FRY STREET - MIXED USE DEVELOPMENT
4601 FRY STREET
MADISON, WISCONSIN 53705

CLIENT: FRY STREET LODGING ASSOCIATES, LLC
C/O RAYMOND MANAGEMENT COMPANY
MIDDLETON, WISCONSIN 53562

PROJECT: 201525
DRAWN BY: BLM
DATE: 12-12-2016
SCALE: 1/8" = 1'-0" NOTED
LAND USE: 03-01-2017
CITY SUBMITTAL: 03-01-2017
GMP: 03-28-2017
GMP ADD 1: 04-13-2017
UDC 1: 04-19-2017

FIRST FLOOR PLAN

A2.01



**FLOOR PLAN
SECOND FLOOR**
1/8" = 1'-0"
0' 4' 8' 16' 24'

GENERAL PLAN NOTES		KEY NOTES	
1. ALL DIMENSIONS ARE TO FACE-ON-GRID UNLESS NOTED OTHERWISE.	2. EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR SHEATHING OR DAMPPROOFING SHOULD NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF COMPACT WALL BOARD. TO ACHIEVE LISTED WALL TYPES AGAINST/OPPOSITE STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.	▽	DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
3. SEE W/ PLANS FOR DIMENSIONING OF SPECIFIC AREAS.	4. SEE SHEET A220 FOR WALL TYPE CONSTRUCTION.	▽	BIKE PARKING DOCK. SEE A210 FOR DETAILS.
5. WHEN WETTED WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL, FRAMING, SUBSTITUTE 5/8" TYPE 'X' DENGLASS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.	6. SEE SHEET FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.	▽	HANDICAP SIGN. SEE A210 FOR DETAILS.
7. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOF SIGNAGE INCLUDING OCCUPANCY MARK IN ALL REQUIRED ASSEMBLY ROOMS.	8. UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4' FROM ADJACENT WALL.	▽	INDICATE W/ ALPHA BELOW FIRST FLOOR.
		▽	POOL ABOVE.
		▽	HIGH SPEED HE/D D DOOR.
		▽	DOOR ACCESS CONTROL 4'11" DIA.
		▽	ELEVATED TERRACE W/ 9" RT WATER RETENTION PER CIVIL DRAWINGS.
		▽	CANOPY BELOW.
		▽	WHEEL STOP PER A210.
		▽	BALLASTED BLACK EPDM OVER 4" POLY ISO.
		▽	CONCRETE SPEED RAMP W/ TRANSITION 1" UP / 1" BOTTOM.
		▽	COMPACT PARKING SHALL BE VARIED IN WIDTH. ALL ARE GREATER THAN 8'-1" IN WIDTH & 8'-0" IN DEEP.
		▽	PAINTED ALUMINUM TRUSSES.
		▽	MECHANICAL UNIT W/ ALUMINUM SCREEN.
		▽	OUTLINE OF HOTEL TOWER ABOVE.
		▽	48" x 48" TALL COPPOSITE PLANTERS W/ (1) EVERGREEN TREE # 20" Ø C/D. FINAL LOCATION AND TREE SIZE IS TO BE COORDINATED BY OWNER AND ARCHITECT.

PROJECT: FRY STREET - MIXED USE DEVELOPMENT
4601 FRY STREET
MADISON, WISCONSIN 53705

CLIENT: FRY STREET LODGING ASSOCIATES, LLC
C/O RAYMOND MANAGEMENT COMPANY
MIDDLETON, WISCONSIN 53562

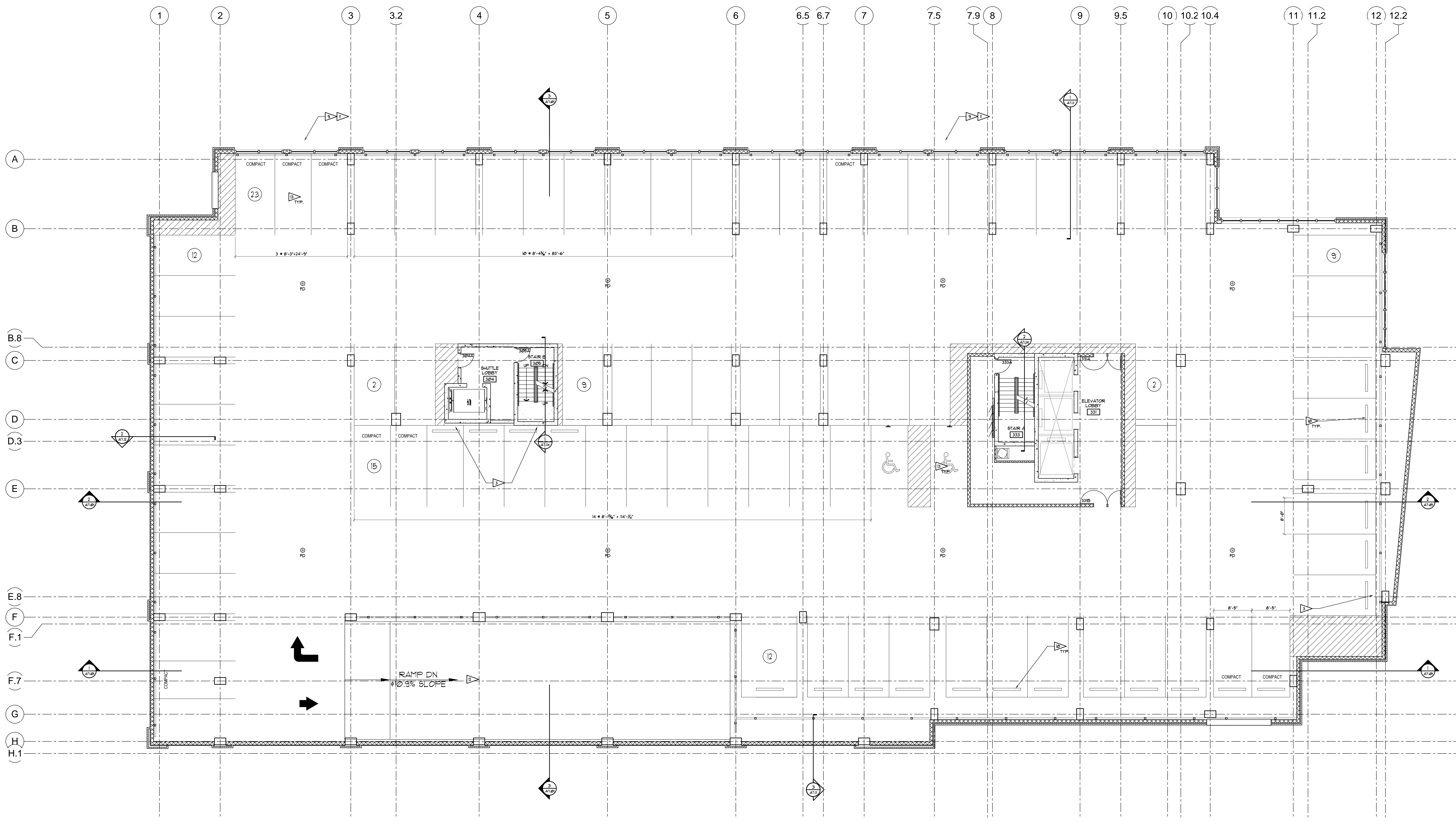
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PROJECT: 201525
DRAWN BY: BLM
DATE: 12-12-2016
SCALE: AS NOTED

UDC # 11-16-2016
LAND USE 03-08-2017
CITY SUBMITTAL 03-01-2017
GMP 03-28-2017
GMP ADD # 04-13-2017
UDC # 04-15-2017

SECOND FLOOR PLAN

A2.02



**FLOOR PLAN
 THIRD FLOOR**
 1/8" = 1'-0"

GENERAL PLAN NOTES

- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING OR DAMPPROOFING. DO NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF CONCRETE WALL BOARD TO ACHIEVE LISTED WALL TYPES AND OFFSET STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.
- SEE W/F PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
- SEE SHEET A2.0 FOR WALL TYPE CONSTRUCTION.
- UNLESS NOTED WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL. TRAPPING, SUBSTITUTE 5/8" TYPE 'X' DENGLASS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRACING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
- SEE SHEET T FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
- OWNER SHALL PROVIDE ALL CODE REQUIRED ROOF SIGNAGE INCLUDING OCCUPANCY MARK IN ALL REQUIRED ASSEMBLY ROOMS.
- UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM ADJACENT WALL.

PLAN SYMBOLS

- WALL-MOUNTED FIRE EXTINGUISHER 4-A BRCC, 15-1/2 NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
- FULLY-RECESSED FIRE EXTINGUISHER CABINET, MODEL NO. JAP-100, AND FIRE EXTINGUISHER 4-A BRCC, 15-1/2 NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
- INDICATES WALL TYPE, REFER TO DRAWING A2.0 FOR WALL TYPE CONSTRUCTION.
- FLOOR DRAIN
- STAIR LEADER REFER TO PLUMBING
- DOOR TYPE REFER TO DRAWING A2.0 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- DOOR/INTERIOR OPENING NUMBER REFER TO DRAWING A2.0 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

KEY NOTES

- DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
- RAMP PARKING DOCK. SEE A2.0 FOR DETAILS.
- HANDICAP SIGN. SEE A2.0 FOR DETAILS.
- UNEXCAVATED AREA BELOW FIRST FLOOR.
- POOL ABOVE.
- HIGH SPEED HE/D C/DOR.
- DOOR ACCESS CONTROL SYSTEM.
- ELEVATED TERRACE W/ STAIR WATER RETENTION PER CIVIL DRAWINGS.
- CANDY BELLO.
- WHEEL STOP PER A2.0.
- BALLASTED BLACK EPDM OVER 4" x 4" OF POLY ISO.
- CONCRETE SPEED RAMP W/ TRANSITION 1/4" UP, 1" BOTTOM.
- COMPACT PARKING STALL SIZE VARIES IN WIDTH. ALL ARE GREATER THAN 8'-1" IN WIDTH & 8'-0" DEEP.
- PAINTED ALUMINUM TRELLIS.
- MECHANICAL UNIT W/ ALUMINUM SCREEN.
- OUTLINE OF HOTEL TOWER ABOVE.
- 40" x 40" x 8" TALL COPPERITE PLANTERS W/ (U) EVERGREEN TREE 8" x 12" x 12" IN FINAL LOCATION AND TREE SIZE IS TO BE COORDINATED W/ OWNER AND ARCHITECT.

PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 4601 FREY STREET
 MADISON, WISCONSIN 53705

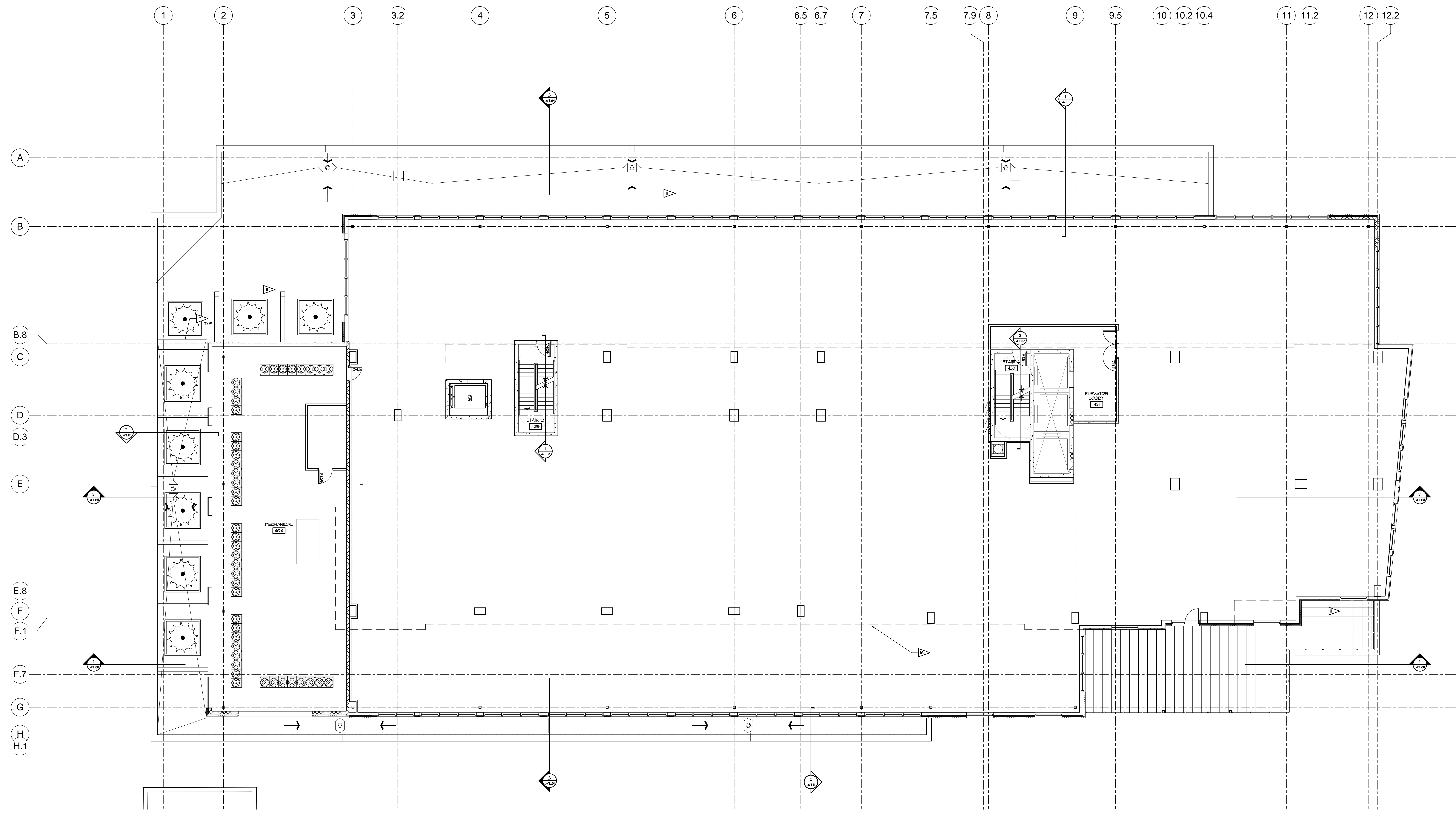
CLIENT: FREY STREET LODGING ASSOCIATES, LLC
 C/O RAYMOND MANAGEMENT COMPANY
 1100 EAST WISCONSIN AVENUE
 MADISON, WI 53703

PROJECT: 201525
DRAWN BY: BLM
DATE: 12-12-2016
SCALE: AS NOTED

UDC # 11-16-1016
LAND USE 03-08-2017
CITY SUBMITTAL 03-01-2017
OPP 03-28-2017
OPP ADD # 04-13-2017
UDC # 04-19-2017

THIRD FLOOR PLAN

A2.03



**FLOOR PLAN
FOURTH FLOOR**
1/8" = 1'-0"
0' 4' 8' 16' 24'

GENERAL PLAN NOTES		KEY NOTES	
1. ALL DIMENSIONS ARE TO FACE-OF-WALL UNLESS NOTED OTHERWISE.	2. EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR SHEATHING OR DAMPPROOFING. DO NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.	▽	DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
3. SEE SHEET A1.20 FOR WALL TYPE CONSTRUCTION.	4. WHEN NOTED, WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL. TRAPING, SUBSTITUTE 5/8" TYPE 'X' DENGLASS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FINISHING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.	▽	BIKE PARKING DOCK. SEE A1.01 FOR DETAILS.
5. SEE SHEET A1.20 FOR WALL TYPE CONSTRUCTION.	6. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOF SIGNAGE INCLUDING OCCUPANCY SIGN IN ALL REQUIRED ASSEMBLY ROOFS.	▽	HANDICAP SIGN. SEE A1.01 FOR DETAILS.
7. SEE SHEET A1.20 FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.	8. UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4' FROM ADJACENT WALL.	▽	INDICATE: MEPA BELOW FIRST FLOOR.
		▽	POOL ABOVE.
		▽	HIGH SPEED HE/D DOOR.
		▽	DOOR ACCESS CONTROL SYSTEM.
		▽	ELEVATED TERRACE W/ 9" RT WATER RETENTION PER CIVIL DRAWINGS.
		▽	CANOPY BELOW.
		▽	WHEEL STOP PER A1.01.
		▽	BALLASTED BLACK EPDM OVER 4" POLY ISO.
		▽	CONCRETE SPEED RAMP W/ TRANSITION 1" UP / 1" BOTTOM.
		▽	COMPACT PARKING STALL SIZE VARIES IN WIDTH. ALL ARE GREATER THAN 8'-1" IN WIDTH & 8'-0" IN DEPTH.
		▽	PAINTED ALUMINUM TRUSS.
		▽	MECHANICAL UNIT W/ ALUMINUM SCREEN.
		▽	OUTLINE OF HOTEL TOWER ABOVE.
		▽	48" x 48" x 10' TALL COPPER PLANTERS W/ (1) EVERGREEN TREE # 20" Ø D.C. FINAL LOCATION AND TREE SIZE IS TO BE COORDINATED BY OWNER AND ARCHITECT.

PLAN SYMBOLS	
	WALL-MOUNTED FIRE EXTINGUISHER. 4-A BRCC. 10-1/2 NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
	FULLY-ASSEMBLED FIRE EXTINGUISHER CABINET. MODEL NO. JAP-100. AND FIRE EXTINGUISHER. 4-A BRCC. 10-1/2 NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
	FLOOR DRAIN
	FLOOR DRAIN
	DOOR TYPE. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	DOOR/INTERIOR OPENING NUMBER. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

PROJECT: FREY STREET - MIXED USE DEVELOPMENT
4601 FREY STREET
MADISON, WISCONSIN 53705

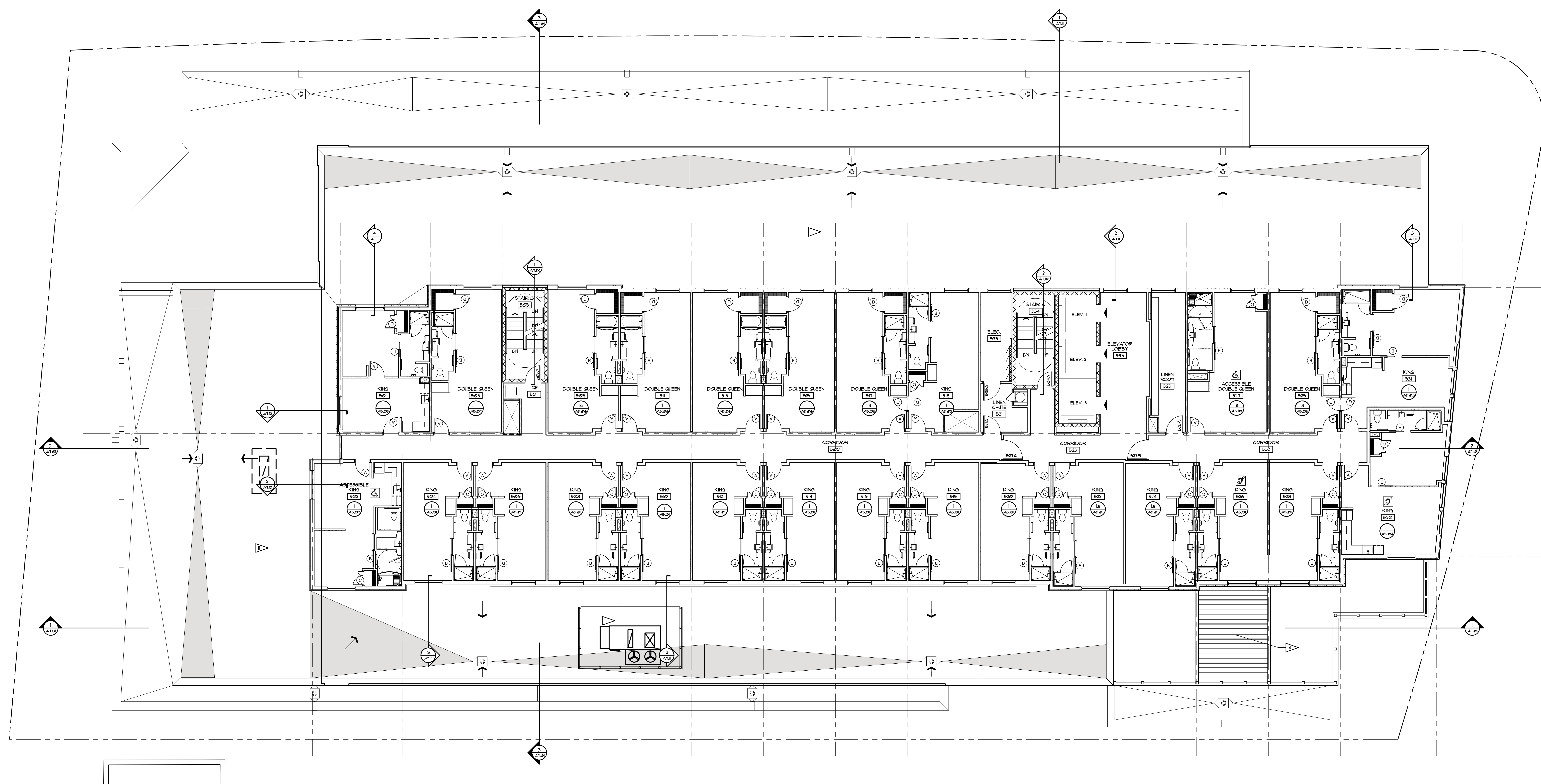
CLIENT: FREY STREET LODGING ASSOCIATES, LLC
C/O RAYMOND MANAGEMENT COMPANY
MIDDLETON, WI 53562

PROJECT: 201525
DRAWN BY: BLM
DATE: 12-12-2016
SCALE: AS NOTED

UDC # 11-16-2016
LAND USE 03-08-2017
CITY SUBMITTAL 03-01-2017
GMP 03-28-2017
GMP ADD # 04-13-2017
UDC # 04-15-2017

FOURTH FLOOR PLAN

A2.04



FIFTH FLOOR PLAN
1/8" = 1'-0"
0' 4' 8' 16' 24'

GENERAL PLAN NOTES	
1.	ALL DIMENSIONS ARE TO FACE-OF-WALL UNLESS NOTED OTHERWISE.
2.	EXTERIOR OPENINGS ARE TO FACE-OF-EXTERIOR SHEATHING OR DAMPPROOFING. DO NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.
3.	SEE SHEET A2.00 FOR WALL TYPE CONSTRUCTION.
4.	UNLESS NOTED OTHERWISE, ALL CORNER REQUIRED ROOF SIGNAGE INCLUDING OCCUPANCY SIGN IN ALL REQUIRED ASSEMBLY ROOMS.
5.	UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM ADJACENT WALL.

KEY NOTES	
▷	DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
▷	BIKE PARKING DOCK. SEE ALSO FOR DETAILS.
▷	HANDICAP SIGN. SEE ALSO FOR DETAILS.
▷	UNEXCAVATED. AREA BELOW FIRST FLOOR.
▷	POOL ABOVE.
▷	HIGH SPEED HE/D O DOOR.
▷	DOOR ACCESS CONTROL SYSTEM.
▷	ELEVATED TERRACE W/ STAIR WATER RETENTION PER CIVIL DRAWINGS.
▷	CANDY BELOW.
▷	WHEEL STOP PER AISC.
▷	BALLASTED BLACK EPDM OVER 4" POLY ISO.
▷	CONCRETE SPEED RAMP W/ TRANSITION 1" UP / 1" BOTTOM.
▷	COMPACT PARKING STALL SIZE VARIES IN WIDTH. ALL ARE GREATER THAN 8'-1" IN WIDTH & 8'-0" DEEP.
▷	PAINTED ALUMINUM TRELLIS.
▷	MECHANICAL UNIT W/ ALUMINUM SCREEN.
▷	OUTLINE OF HOTEL TOWER ABOVE.
▷	40"X40" TALL COPPER PLANTERS W/ (U) EVERGREEN TREE 8" W/ 8" DIA. FINAL LOCATION AND TREE SIZE IS TO BE COORDINATED W/ OWNER AND ARCHITECT.

PLAN SYMBOLS	
	WALL-MOUNTED FIRE EXTINGUISHER. 4-A BRCC. 10-1/2 NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
	FULLY ASSESSED FIRE EXTINGUISHER CABINET. MODEL NO. JAP-100. AND FIRE EXTINGUISHER. 4-A BRCC. 10-1/2 NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
	INDICATES WALL TYPE. REFER TO DRAWING A2.00 FOR WALL TYPE CONSTRUCTION.
	FLOOR DRAIN.
	STOREY LEADER. REFER TO PLUMBING DUGS.
	DOOR TYPE. REFER TO DRAWING A2.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	DOOR/INTERIOR OPENING NUMBER. REFER TO DRAWING A2.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

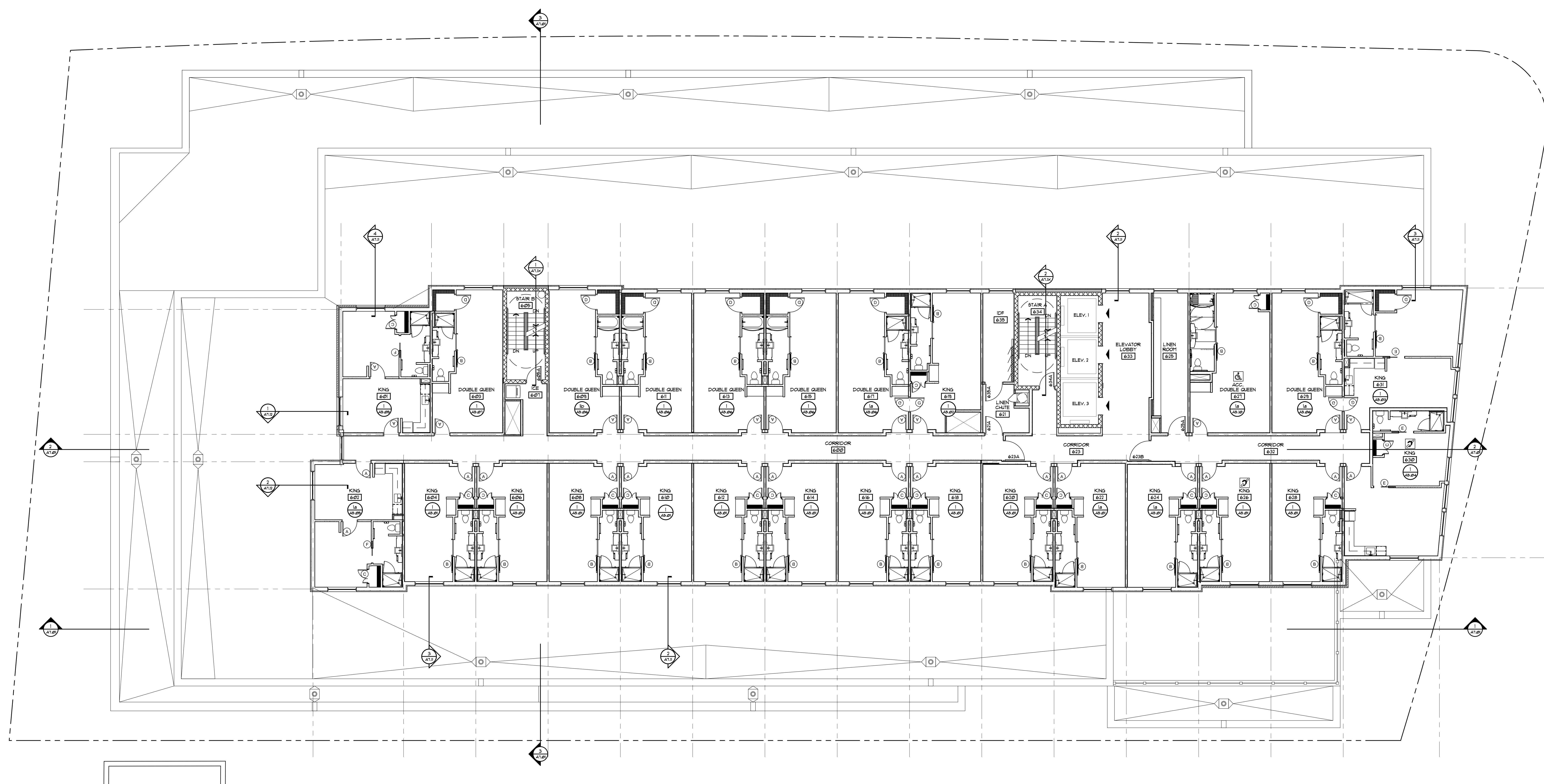
PROJECT: **FREY STREET - MIXED USE DEVELOPMENT**
4601 FREY STREET
MADISON, WISCONSIN 53705

CLIENT: **FREY STREET LODGING ASSOCIATES, LLC**
C/O RAYMOND MANAGEMENT COMPANY
MIDDLETON, WI 53562

PROJECT: 201525
DRAWN BY:
DATE:
SCALE: AS NOTED
UDC # 11-16-2016
LAND USE 03-09-2017
CITY SUBMITTAL 03-01-2017
GMP 03-28-2017
GMP ADD # 04-13-2017
UDC # 04-19-2017

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A2.05



6th FLOOR PLAN
1/8" = 1'-0"
0' 4' 8' 16' 24'

GENERAL PLAN NOTES	
1.	ALL DIMENSIONS ARE TO FACE-OF-WALL UNLESS NOTED OTHERWISE.
2.	EXTERIOR OPENINGS ARE TO FACE-OF-EXTERIOR SHEATHING OR DAMPPROOFING. DO NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.
3.	SEE SHEET A2.00 FOR WALL TYPE CONSTRUCTION.
4.	UNLESS NOTED OTHERWISE, ALL WALLS SHALL BE COVERED OVER BY ADDITIONAL STUD WALL. TRAPPING, SUBSTITUTE 5/8" TYPE 'X' DENOGLASS SHEATHING IN FIRE-RATED WALL. ASSEMBLY, IF NECESSARY, WHERE WALL FINISHING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
5.	SEE SHEET FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
6.	OWNER SHALL PROVIDE ALL CODE REQUIRED ROOF SIGNAGE INCLUDING OCCUPANCY SIGN IN ALL REQUIRED ASSEMBLY ROOMS.
7.	UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM ADJACENT WALL.

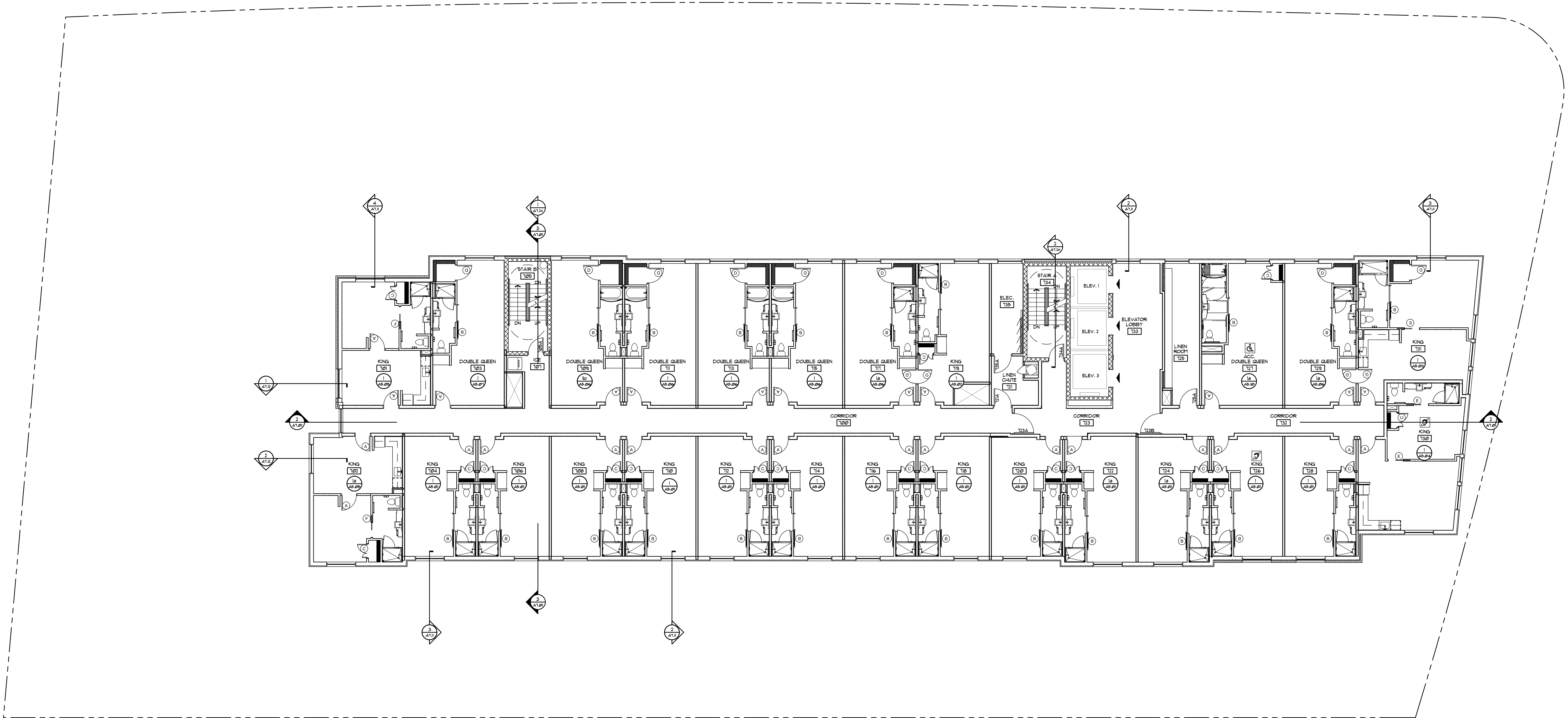
PLAN SYMBOLS	
	WALL-MOUNTED FIRE EXTINGUISHER. 4-A BRBC. 15-15 NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
	FIRE EXTINGUISHER CABINET. MODEL NO. JAP-100. 4-A BRBC. 15-15 NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
	INDICATES WALL TYPE. REFER TO DRAWING A2.00 FOR WALL TYPE CONSTRUCTION.
	FLOOR DRAIN.
	STOREY LEADER. REFER TO PLUMBING DUGS.
	DOOR TYPE. REFER TO DRAWING A2.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	DOOR/INTERIOR OPENING NUMBER. REFER TO DRAWING A2.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

KEY NOTES	
	DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
	BIKE PARKING DOCK. SEE A2.01 FOR DETAILS.
	HANDICAP SIGN. SEE A2.01 FOR DETAILS.
	UNEXCAVATED AREA BELOW FIRST FLOOR.
	POOL ABOVE.
	HIGH SPEED ELEVATOR DOOR.
	DOOR ACCESS CONTROL SYSTEM.
	ELEVATED TERRACE WITH WATER RETENTION PER CIVIL DRAWINGS.
	CANDY BUFFET.
	LABEL STOP PER AISLE.
	BALLASTED BLACK EPOXY OVER 4" POLY FIBER CONCRETE.
	CONCRETE SPEED RAMP WITH TRANSITION. ALL ARE GREATER THAN 8'-0" IN WIDTH & 8'-0" DEEP.
	COMPACT PARKING STALL SIZE VARIES IN WIDTH. ALL ARE GREATER THAN 8'-0" IN WIDTH & 8'-0" DEEP.
	PAINTED ALUMINUM TRELLIS.
	MECHANICAL UNIT WITH ALUMINUM SCREEN.
	OUTLINE OF HOTEL TOWER ABOVE.
	40x40x8' TALL COPYPPOINT PLANTINGS WITH EVERGREEN TREE. SEE A2.01 FOR FINAL LOCATION AND TREE SIZE TO BE COORDINATED BY OWNER AND ARCHITECT.

PROJECT: FRY STREET - MIXED USE DEVELOPMENT
4601 FRY STREET, MADISON, WISCONSIN 53705
CLIENT: FRY STREET LODGING ASSOCIATES, LLC
C/O RAYMOND MANAGEMENT COMPANY
MIDDLETON, WISCONSIN 53562

PROJECT: 201525
DRAWN BY: BLM
DATE: 11-30-2016
SCALE: AS NOTED
UDC 1: 11-16-2016
LAND USE: 03-08-2017
CITY SUBMITTAL: 03-01-2017
GMP: 03-28-2017
GMP ADD 1: 04-13-2017
UDC 2: 04-19-2017

6TH FLOOR PLAN
A2.06



7TH FLOOR PLAN
1/8" = 1'-0"
0' 4' 8' 16' 24'

- GENERAL PLAN NOTES**
- ALL DIMENSIONS ARE TO FACE-OF-STUD UNLESS NOTED OTHERWISE.
 - EXTERIOR OPENINGS ARE TO FACE-OF-EXTERIOR SHEATHING OR DAMPPROOFING SHOULD NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.
 - SEE SHEET A2.00 FOR WALL TYPE CONSTRUCTION.
 - WHEN WET-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL, TRAPPING, SUBSTITUTE 5/8" TYPE 'X' DENGLASS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRATING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
 - SEE SHEET FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
 - OWNER SHALL PROVIDE ALL CODE REQUIRED ROOF SIGNAGE INCLUDING OCCUPANCY SIGN IN ALL REQUIRED ASSEMBLY ROOFS.
 - UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM ADJACENT WALL.

- PLAN SYMBOLS**
- WALL-MOUNTED FIRE EXTINGUISHER, 4-A BRCC, 15-1/2 NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
 - FULLY-NECESSED FIRE EXTINGUISHER CABINET, MODEL NO. JAP-100, AND FIRE EXTINGUISHER, 4-A BRCC, 15-1/2 NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
 - INDICATES WALL TYPE, REFER TO DRAWING A2.00 FOR WALL TYPE CONSTRUCTION.
 - FLOOR DRAIN
 - STORY LEADER, REFER TO PLUMBING
 - DOOR TYPE, REFER TO DRAWING A2.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
 - DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A2.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

- KEY NOTES**
- DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
 - BIKE PARKING DOCK, SEE A2.01 FOR DETAILS.
 - HANDICAP SIGN, SEE A2.01 FOR DETAILS.
 - UNEXCAVATED, 6" MIN. BELOW FIRST FLOOR.
 - POOL ABOVE.
 - HIGH SPEED HE/D O DOOR.
 - DOOR ACCESS CONTROL SYSTEM.
 - ELEVATED TERRACE W/ 5" MIN. WATER RETENTION PER CIVIL DRAWINGS.
 - CANDY BELLO.
 - WHEEL STOP PER A2.01.
 - BALLASTED BLACK EPDM OVER 4" POLY ISO.
 - CONCRETE SPEED RAMP W/ TRANSITION 1/4" UP, 1" BOTTOM.
 - COMPACT PARKING STALL SIZE VARIES IN WIDTH, ALL ARE GREATER THAN 8'-1" IN WIDTH & 8'-0" DEEP.
 - PAINTED ALUMINUM TRELLIS.
 - MECHANICAL UNIT W/ ALUMINUM SCREEN.
 - OUTLINE OF HOTEL TOWER ABOVE.
 - 40"X40"X8" TALL COPPERITE PLANTERS W/ (1) EVERGREEN TREE & 2" 10" 0" 1/2" FINAL LOCATION AND TREE SIZE IS TO BE COORDINATED W/ OWNER AND ARCHITECT.

PROJECT: FREY STREET - MIXED USE DEVELOPMENT
4601 FREY STREET
MADISON, WISCONSIN 53705

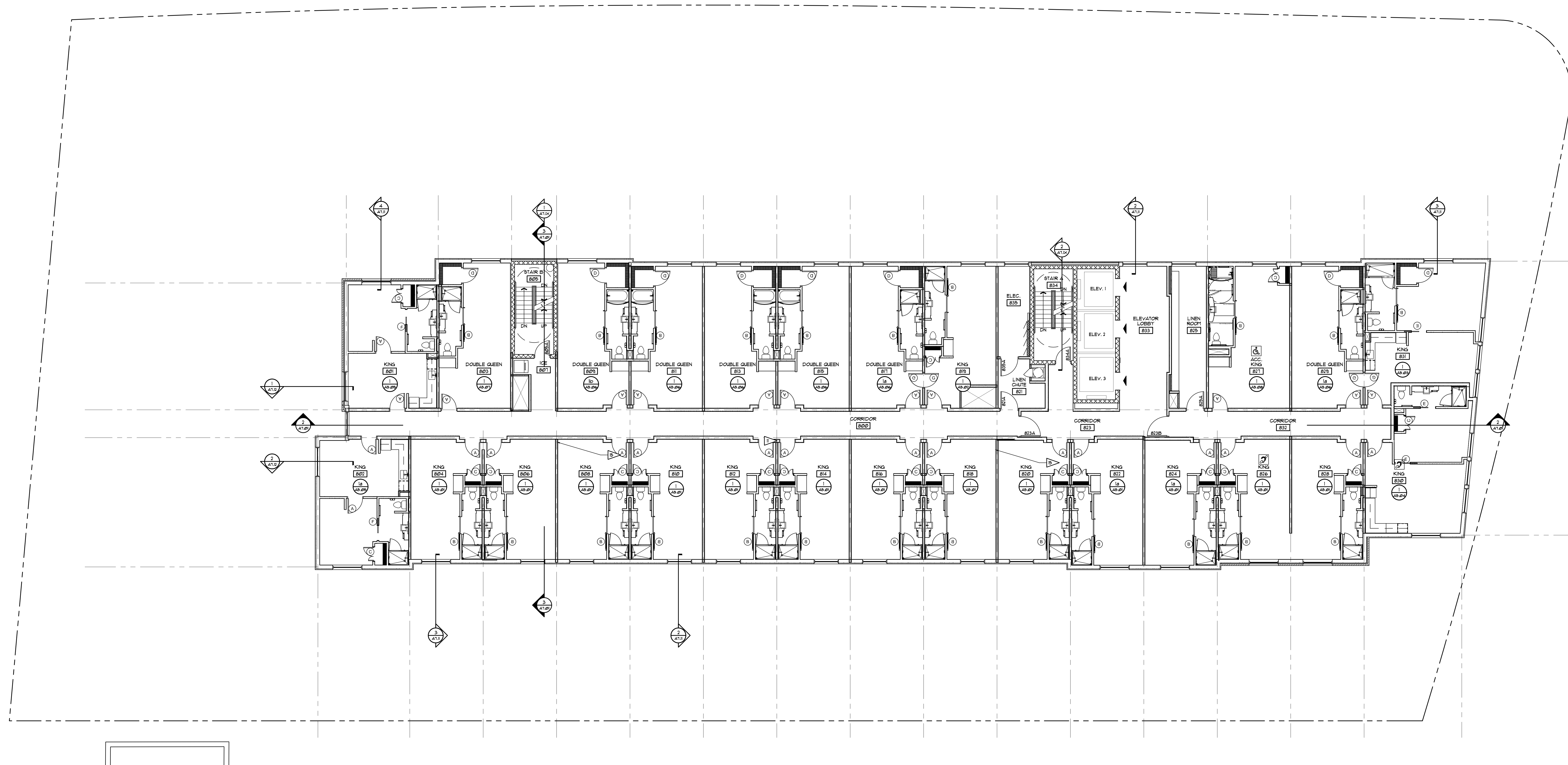
CLIENT: FREY STREET LODGING ASSOCIATES, LLC
C/O RAYMOND MANAGEMENT COMPANY
MIDDLETON, WI 53562

PROJECT: 201525
DRAWN BY: BLM
DATE: 11-30-2016
SCALE: AS NOTED

UDC # 11-16-2016
LAND USE 03-08-2017
CITY SUBMITTAL 03-01-2017
09P 03-28-2017
GPP ADD # 04-13-2017
UDC # 04-19-2017

7TH FLOOR PLAN

A2.07



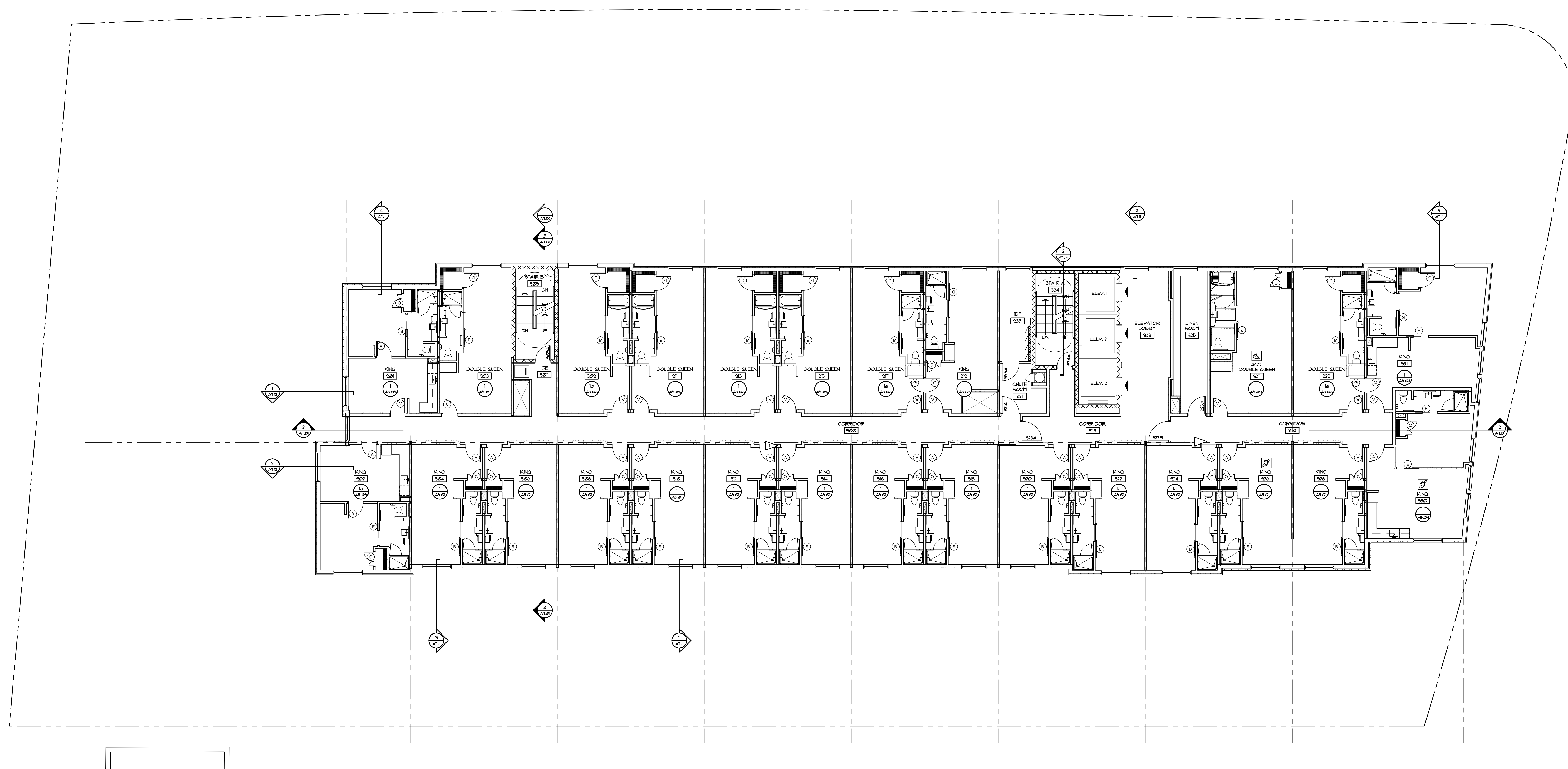
8TH FLOOR PLAN
 1/8" = 1'-0"
 0' 4' 8' 16' 24'

KEY NOTES	
▽	DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
▽	BIKE PARKING DOCK. SEE AUIP FOR DETAILS.
▽	HANDICAP SIGN. SEE AUIP FOR DETAILS.
▽	UNEXCAVATED AREA BELOW FIRST FLOOR.
▽	POOL ABOVE.
▽	HIGH SPEED HE/D O/DOR.
▽	DOOR ACCESS CONTROL SYSTEM.
▽	ELEVATED TERRACE W/ STAIR WATER RETENTION PER CIVIL DRAWINGS.
▽	CANDY BELLOU.
▽	WHEEL STOP PER AUIP.
▽	BALLASTED BLACK EPDM OVER 4" X 4" OF POLY ISO.
▽	CONCRETE SPEED RAMP W/ TRANSITION 1/4" UP, 1" BOTTOM.
▽	COMPACT PARKING STALL SIZE VARIES IN WIDTH. ALL ARE GREATER THAN 8'-1" IN WIDTH X 8'-0" DEEP.
▽	PAINTED ALUMINUM TRELLIS.
▽	MECHANICAL UNIT W/ ALUMINUM SCREEN.
▽	OUTLINE OF HOTEL TOWER ABOVE.
▽	40" X 40" TALL COPPER PLANTERS W/ (1) EVERGREEN TREE 8" W/ 8" O.C. FINAL LOCATION AND TREE SIZE IS TO BE COORDINATED W/ OWNER AND ARCHITECT.

- GENERAL PLAN NOTES**
- ALL DIMENSIONS ARE TO FACE-OF-STUD UNLESS NOTED OTHERWISE.
 - EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR FINISHING FOR TERRAZZO. SHOW DO NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF GYP/SUB WALL BOARD TO ACHIEVE LISTED WALL TYPES ADJUST/OFFSET STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.
 - SEE W/ PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
 - SEE SHEET A210 FOR WALL TYPE CONSTRUCTION.
 - WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 3/4" TYPE 'X' GYPSUM BOARD SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, GYPSUM WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE ERE.
 - SEE SHEET T2 FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
 - OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS IN ALL REQUIRED ASSEMBLY ROOMS.
 - UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM ADJACENT WALL.

PROJECT: **FREY STREET - MIXED USE DEVELOPMENT**
 4601 FREY STREET
 MADISON, WISCONSIN 53705
 CLIENT: **FREY STREET LODGING ASSOCIATES, LLC**
 C/O RAYMOND MANAGEMENT COMPANY
 1100 ELMWOOD AVENUE
 MIDDLETON, WI 53562

PROJECT: 201525
 DRAWN BY: BLM
 DATE: 11-30-2016
 SCALE: AS NOTED
 UDC #: 11-16-2016
 LAND USE: 03-08-2017
 CITY SUBMITTAL: 03-01-2017
 GMP: 03-28-2017
 GMP ADD #: 04-13-2017
 UDC #: 04-15-2017



9TH FLOOR PLAN
1/8" = 1'-0"
0' 4' 8' 16' 24'

- GENERAL PLAN NOTES**
- ALL DIMENSIONS ARE TO FACE-OF-STUD, UNLESS NOTED OTHERWISE.
 - EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR FINISHING FOR EXTERIOR WALL BOARDING TO ACHIEVE LISTED WALL TYPES ADJUST/OFFSET STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.
 - SEE W/ PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
 - SEE SHEET A2.09 FOR WALL TYPE CONSTRUCTION.
 - WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 3/4" TYPE 'X' GYPSUM BOARD SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE ERECTION.
 - SEE SHEET T2 FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
 - OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY TYPES IN ALL REQUIRED ASSEMBLY ROOMS.
 - UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM ADJACENT WALL.

- KEY NOTES**
- DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
 - BIKE PARKING DOCK. SEE A2.09 FOR DETAILS.
 - HANDICAP SIGN. SEE A2.09 FOR DETAILS.
 - EXCAVATE 1'-0" DEPT BELOW FIRST FLOOR.
 - POOL ABOVE.
 - HIGH SPEED HE/D D DOOR.
 - DOOR ACCESS CONTROL SYSTEM.
 - ELEVATED TERRACE W/ 9" RT WATER RETENTION PER CIVIL DRAWINGS.
 - CANOPY BELOW.
 - WHEEL STOP PER AUL.
 - BALLASTED BLACK EPOXY OVER 4" POLY 150.
 - CONCRETE SPEED RAMP W/ TRANSITION 1" UP / 1" BOTTOM.
 - COMPACT PAVING SHALL BE VARIED IN WIDTH. ALL ARE GREATER THAN 6'-1" IN WIDTH & 8'-0" DEEP.
 - PAINTED ALUMINUM TRUSS.
 - MECHANICAL UNIT W/ ALUMINUM SCREEN.

PROJECT: **FREY STREET - MIXED USE DEVELOPMENT**
4601 FREY STREET
MADISON, WISCONSIN 53705

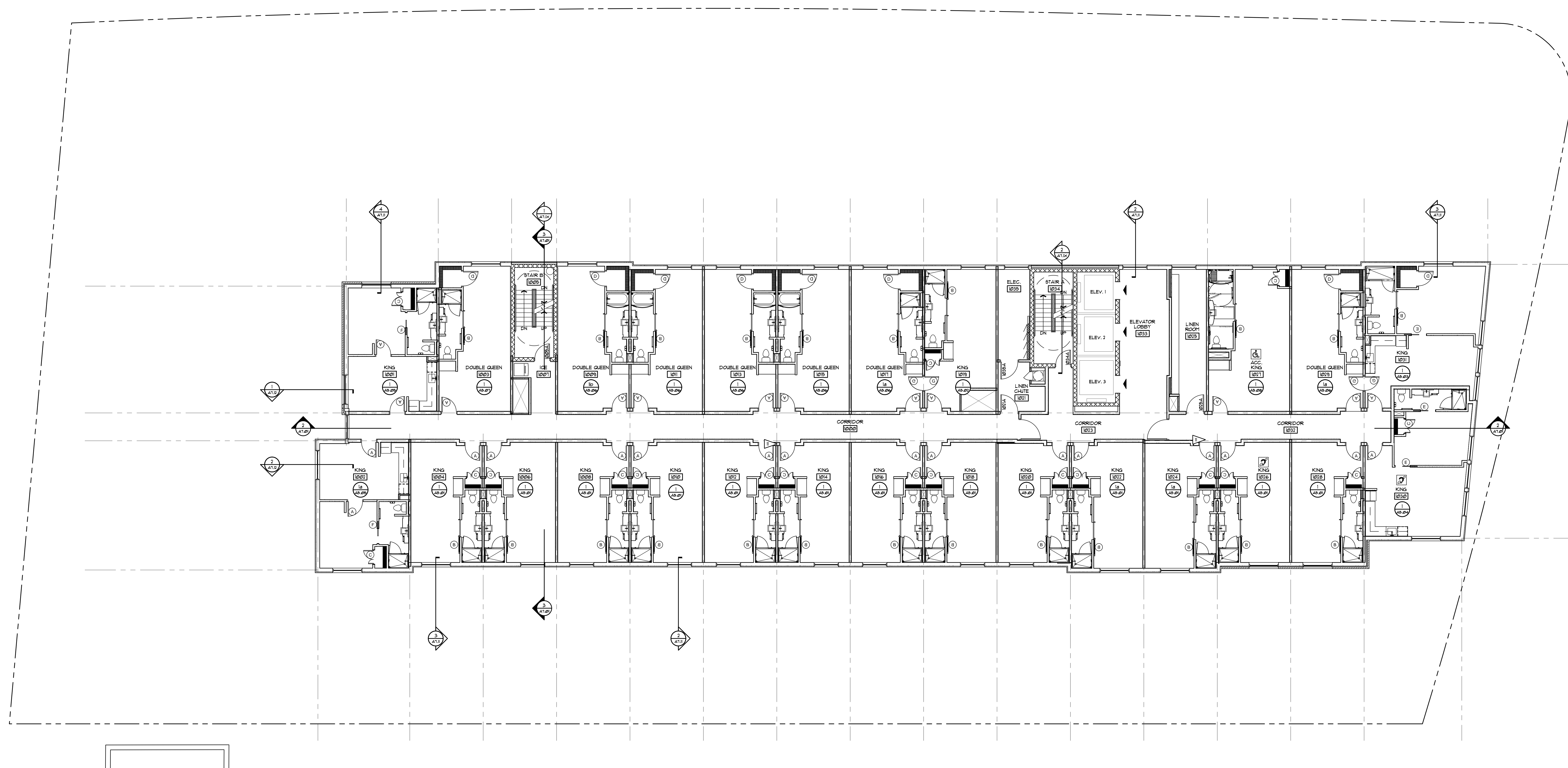
CLIENT: **FREY STREET LODGING ASSOCIATES, LLC**
C/O RAYMOND MANAGEMENT COMPANY
MIDDLETON, WI 53562

PROJECT: 201525
DRAWN BY: BLM
DATE: 11-30-2016
SCALE: AS NOTED

UDC # 11-16-2016
LAND USE 03-08-2017
CITY SUBMITTAL 03-28-2017
GPP 03-28-2017
GPP ADD # 04-13-2017
UDC # 04-15-2017

9TH FLOOR PLAN

A2.09



10TH FLOOR PLAN
 1/8" = 1'-0"

KEY NOTES	
▽	DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
▽	BIKE PARKING DOCK. SEE A10 FOR DETAILS.
▽	HANDICAP SIGN. SEE A10 FOR DETAILS.
▽	INDECAVATED ADA COMPLIANT BELOW FIRST FLOOR.
▽	POOL ABOVE.
▽	HIGH SPEED HE/D D DOOR.
▽	DOOR ACCESS CONTROL 8111701.
▽	ELEVATED TERRACE W/ 9" RT WATER RETENTION PER CIVIL DRAWINGS.
▽	CANOPY BELOW.
▽	WHEEL STOP PER A10.
▽	BALLASTED BLACK EPDM OVER 4" POLY ISO.
▽	CONCRETE SPEED RAMP W/ TRANSITION 1" UP / 1" BOTTOM.
▽	COMPACT PAVING SHALL BE VARIED IN WIDTH. ALL ARE GREATER THAN 6'-1" IN WIDTH & 8'-0" DEEP.
▽	PAINTED ALUMINUM TRUSS.
▽	MECHANICAL UNIT W/ ALUMINUM SCREEN.
▽	OUTLINE OF HOTEL TOWER ABOVE.
▽	40" x 48" x 8" TALL COPPOSITE PLANTERS W/ (1) EVERGREEN TREE # 20" x 2" DIA. FINAL LOCATION AND TREE SIZE IS TO BE COORDINATED BY OWNER AND ARCHITECT.

- GENERAL PLAN NOTES**
- ALL DIMENSIONS ARE TO FACE-OF-STUD UNLESS NOTED OTHERWISE.
 - EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR FINISHING FOR EXTERIOR WALL BOARD TO ACHIEVE LISTED WALL TYPES ADJUST/OFFSET STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.
 - WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 3/8" TYPE 'X' ZENOLIGAS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE ERE.
 - SEE W/ PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
 - SEE SHEET A120 FOR WALL TYPE CONSTRUCTION.
 - WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 3/8" TYPE 'X' ZENOLIGAS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE ERE.
 - SEE SHEET T2 FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
 - OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGN IN ALL REQUIRED ASSEMBLY ROOMS.
 - UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM ADJACENT WALL.

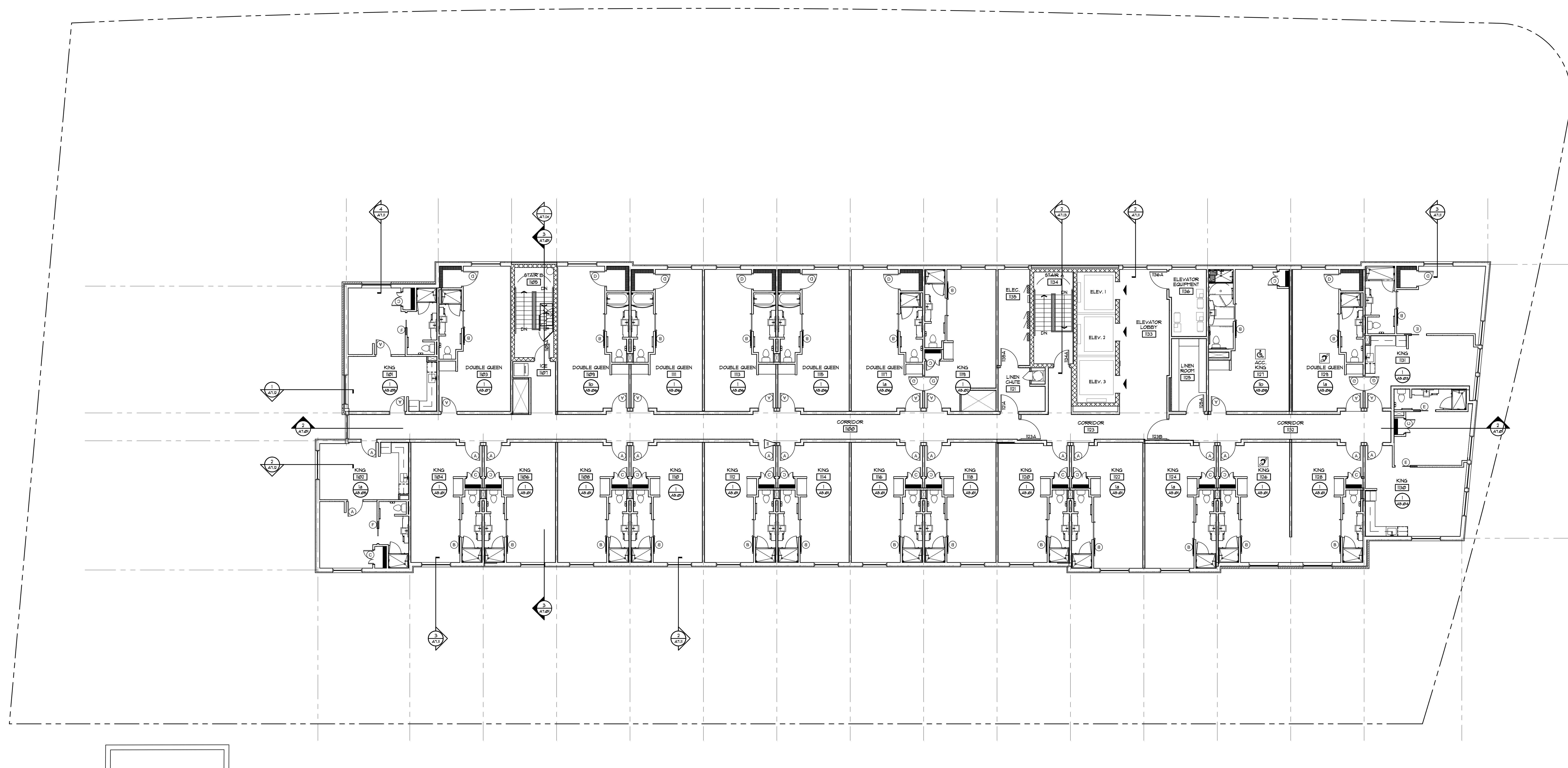
PROJECT: **FREY STREET - MIXED USE DEVELOPMENT**
 4601 FREY STREET
 MADISON, WISCONSIN 53705
 CLIENT: **FREY STREET LODGING ASSOCIATES, LLC**
C/O RAYMOND MANAGEMENT COMPANY
 1100 EAST WISCONSIN AVENUE
 MADISON, WI 53703

PROJECT: 201525
 DRAWN BY: BLM
 DATE: 11-30-2016
 SCALE: AS NOTED

UDC # 11-16-2016
 LAND USE 03-08-2017
 CITY SUBMITTAL 03-01-2017
 GPP 03-28-2017
 GPP ADD # 04-13-2017
 UDC # 04-15-2017

10TH FLOOR PLAN

A2.10



11TH FLOOR PLAN
 1/8" = 1'-0"

- GENERAL PLAN NOTES**
- ALL DIMENSIONS ARE TO FACE-OF-STUD, UNLESS NOTED OTHERWISE.
 - EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR FINISHING FOR EXTERIOR WALL BOARDING TO ACHIEVE LISTED WALL TYPES ADJUST/OFFSET STUD FACE AS NECESSARY TO ACHIEVE UNBROKEN FINISH LINE.
 - SEE SHEET A2.10 FOR WALL TYPE CONSTRUCTION.
 - WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 3/4" TYPE 'X' CONCRETE MASONRY IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE ERECTION.
 - SEE SHEET T2 FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
 - OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY TYPES IN ALL REQUIRED ASSEMBLY ROOMS.
 - UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM ADJACENT WALL.

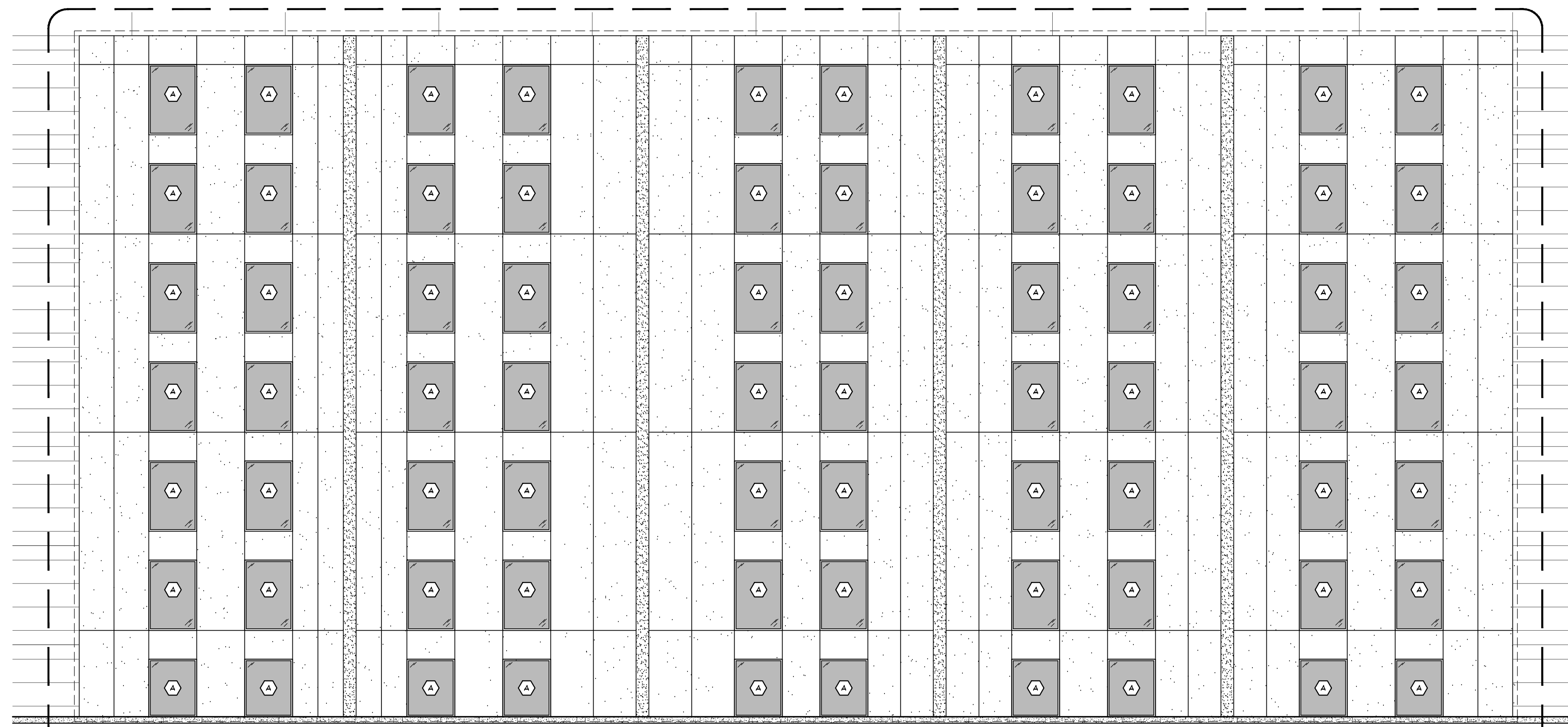
- KEY NOTES**
- DECORATIVE CONCRETE PAVING W/ RADIANT HEAT.
 - BIKE PARKING DOCK. SEE A2.10 FOR DETAILS.
 - HANDICAP SIGN. SEE A2.10 FOR DETAILS.
 - INDECAVATED AREA BELOW FIRST FLOOR.
 - POOL ABOVE.
 - HIGH SPEED HE/D D DOOR.
 - DOOR ACCESS CONTROL SYSTEM.
 - ELEVATED TERRACE W/ 9" RT WATER RETENTION PER CIVIL DRAWINGS.
 - CANOPY BELOW.
 - WHEEL STOP PER AUL.
 - BALLASTED BLACK EPOXY OVER 4" POLY 150.
 - CONCRETE SPEED RAMP W/ TRANSITION 1/4" UP / 1/4" DOWN.
 - COMPACT PARKING STALL SIZE VARIES IN WIDTH. ALL ARE GREATER THAN 8'-1" IN WIDTH & 8'-0" IN DEPTH.
 - PAINTED ALUMINUM TRUSS.
 - MECHANICAL UNIT W/ ALUMINUM SCREEN.

PROJECT: **FREY STREET - MIXED USE DEVELOPMENT**
 4601 FREY STREET
 MADISON, WISCONSIN 53705

CLIENT: **FREY STREET LODGING ASSOCIATES, LLC**
 C/O RAYMOND MANAGEMENT COMPANY
 MADISON, WISCONSIN 53705

PROJECT: 201525
 DRAWN BY: BLM
 DATE: 11-30-2016
 SCALE: AS NOTED

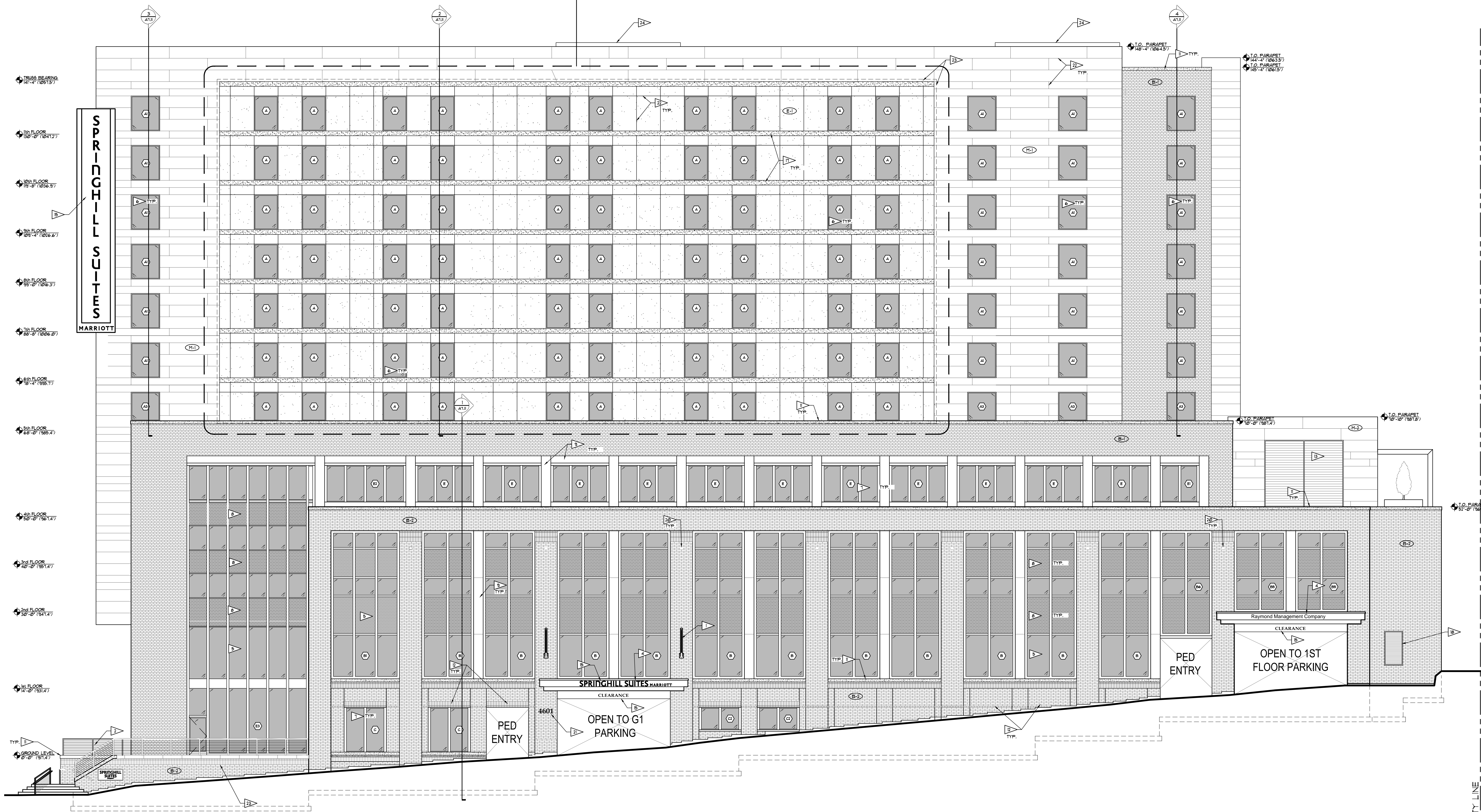
UDC # 11-16-2016
 LAND USE 03-08-2017
 CITY SUBMITTAL 03-28-2017
 GPP 03-28-2017
 GPP ADD # 04-13-2017
 UDC # 04-15-2017



2 JOINT OPTION
NORTH ELEVATION (FREY STREET)
SCALE: 1/8" = 1'-0"

GRAPHIC	EXTERIOR FINISH KEY
	METAL NO. 1 SIZE: VARIES COLOR: CHAMPAGNE TIGLA FRG: EASTTRIM (4th ACZ RAINSCREEN)
	METAL NO. 2 SIZE: VARIES COLOR: CLASSIC BRONZE FRG: EASTTRIM (4th ACZ RAINSCREEN)
	BRICK NO. 1 SIZE: UTILITY FRG: INTERMEDIATE BRICK COLOR: FENIGHT BLACK
	BRICK NO. 2 SIZE: UTILITY FRG: SOBERMORION COLOR: FRISCO CLEAR
	PRECAST SILL NO. 1 SIZE: VARIES COLOR: CUSTOM TO MATCH B-2
	FIBER CEMENT PANELS W/ TRIM SIZE: VARIES COLOR: TO MATCH M-2
	EIFS NO. 1 FINISH: MED. SAND COLOR: STUCCO 82/549
	EIFS NO. 1 FINISH: MED. SAND COLOR: MODERNE WHITE 84/610

- KEYNOTE - BUILDING ELEVATIONS**
- ▽ KEYNOTE - DENOTES ITEM TO BE INSTALLED, ACTION TO BE TAKEN, OR INFORMATION CRITICAL TO THE UNDERSTANDING OF THE BUILDING DESIGN AND CONSTRUCTION.
 - ▽ BALL MOUNTED FLAG POLE WITH ILLUMINATED GLOBE.
 - ▽ STAINLESS STEEL GUARDRAIL SYSTEM.
 - ▽ ALUMINUM TUBE TRUSS STRUCTURE - BRONZE FINISH.
 - ▽ GARDNY WITH M-2 FINISH AND SCOFFIT
 - ▽ ALUMINUM CURTAIN WALL ASSEMBLY IN COLOR BRONZE. GLAZING TO BE TINTED.
 - ▽ ALUMINUM WINDOW UNIT IN COLOR BRONZE. GLAZING TO BE CLEAR AND BE TINTED.
 - ▽ ALUMINUM STOREFRONT ASSEMBLY IN COLOR BRONZE. GLAZING TO MATCH DENOTES SPANDREL GLAZING.
 - ▽ METAL PANEL COLUMN (M-2)
 - ▽ HOLLOW METAL DOOR / FRAME ASSEMBLY
 - ▽ 8" PC-1 SILL OR CAP
 - ▽ BRICK AREA RECEIVED 15'
 - ▽ PREFIN METAL LOUVER - SEE MECHANICAL DRAWINGS.
 - ▽ GAS METER - SEE MECHANICAL PLANS
 - ▽ INTERNALLY LIGHTED SIGNAGE - TO BE APPROVED SEPARATELY
 - ▽ OVERHEAD CLEARANCE SIGNAGE - SEE SPECIFICATION SECTION SHAD. VERIFY ACTUAL CLEARANCE IN FIELD PRIOR TO MANUFACTURING SIGNAGE.
 - ▽ 15' PROJECTED EPS BAND (E-2)
 - ▽ MECHANICAL WALL PENETRATION - SEE HVAC & PLUMBING PLANS
 - ▽ DRYER VENT TERMINUS - VERIFY SIZE WITH EQUIPMENT MANUFACTURER.
 - ▽ LIGHT FIXTURE - SEE ELECTRICAL PLANS FOR TYPE AND MOUNTING ELEVATION.
 - ▽ BUILDING ADDRESS SIGNAGE - IF ALUMINUM LETTERS - PROVIDE BLOCKING / STANDOPS AS REQUIRED. SEE SPECIFICATION SECTION SHAD.
 - ▽ EIFS STONE OR METAL JOINT SHOWN THIS / TYPICAL.
 - ▽ EPS FACED LIGHT COVER WITH LED LIGHTING.
 - ▽ ROOF TOP EQUIPMENT SCREENING - COLOR TO MATCH M-2



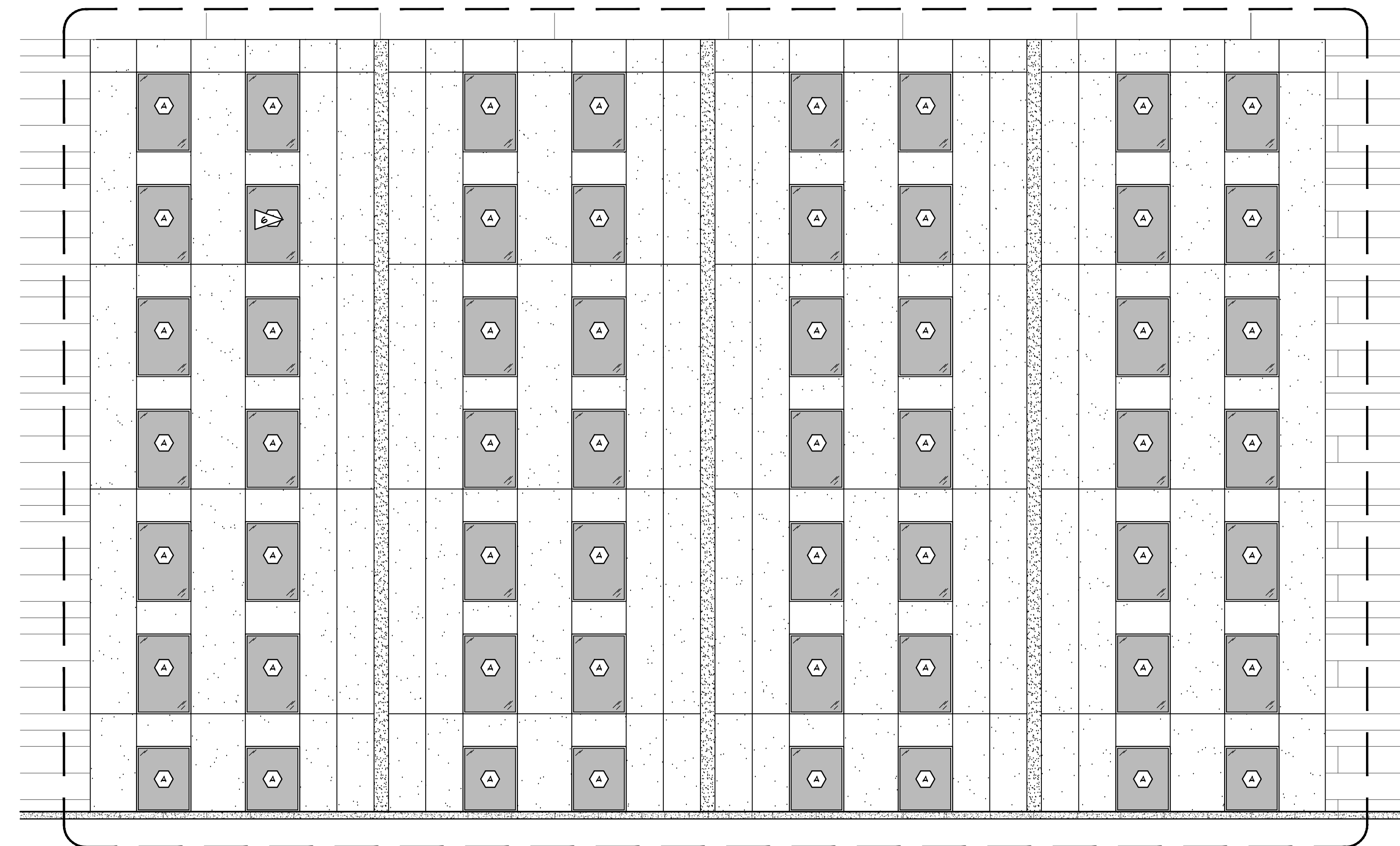
1 NORTH ELEVATION (FREY STREET)
SCALE: 1/8" = 1'-0"

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4601 FREY STREET
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C/O RAYMOND MANAGEMENT COMPANY
MIDDLETON, WI 53562

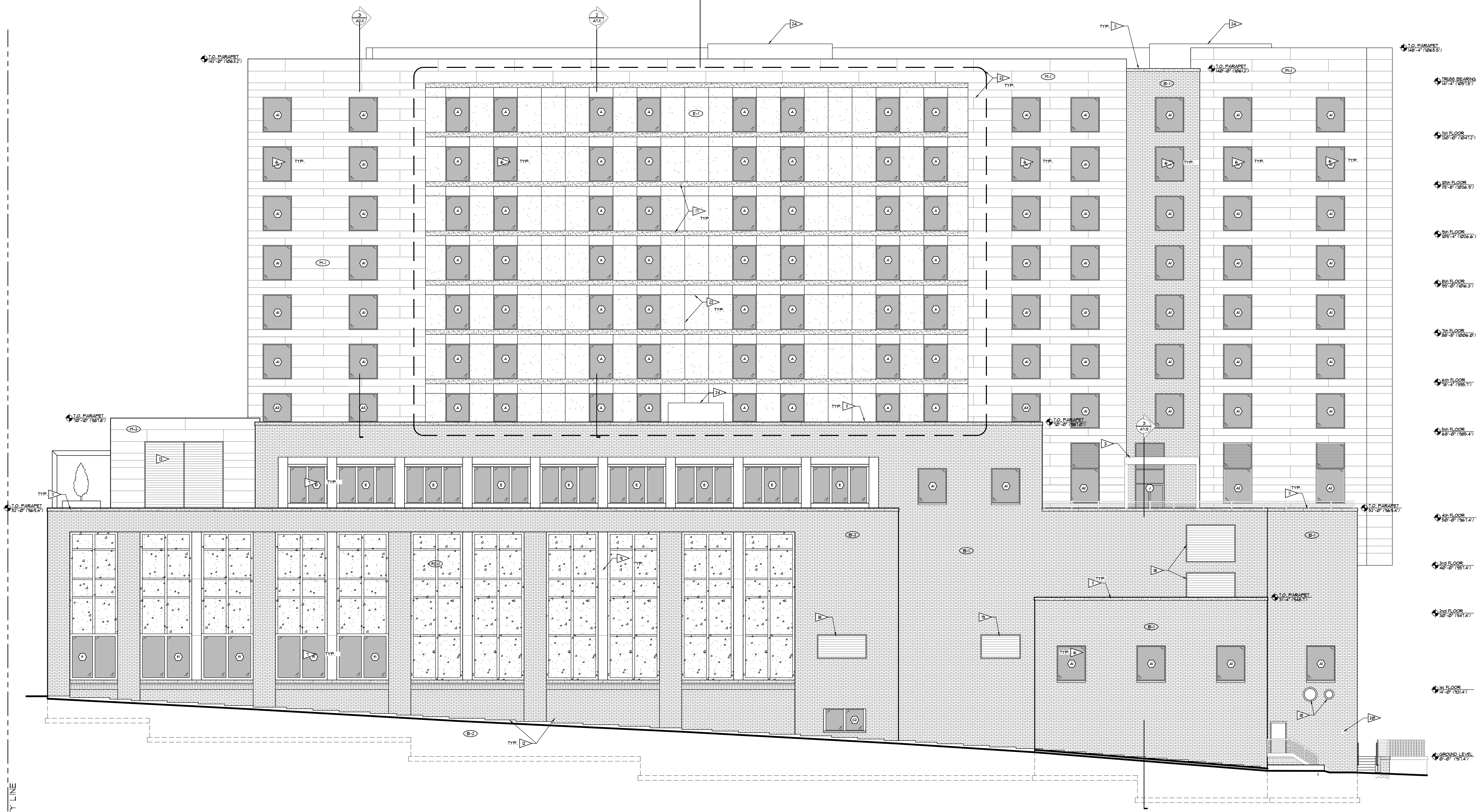
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PROJECT: 201525
DRAWN BY: BLM
DATE: 12-12-2016
SCALE: AS NOTED
UDC #: 1-16-2016
LAND USE: 03-08-1071
CITY SUBMITTAL: 03-01-1071
GMP: 03-18-1071
GMP ADD #: 04-13-1071
UDC #: 04-19-1071

GRAPHIC	EXTERIOR FINISH KEY	KEYNOTE - BUILDING ELEVATIONS
	METAL NO. 1 SIZE: VARIES COLOR: CHAMPAGNE PECA FRG: EASTTRIM (44# AZH RAINSCREEN)	KEYNOTE - DENOTES ITEM TO BE INSTALLED, ACTION TO BE TAKEN OR INFORMATION CRITICAL TO THE UNDERSTANDING OF THE BUILDING DESIGN AND CONSTRUCTION.
	METAL NO. 2 SIZE: VARIES COLOR: CLASSIC BRONZE FRG: EASTTRIM (44# AZH RAINSCREEN)	▶▶▶ STAINLESS STEEL GUARDRAIL SYSTEM
	BRICK NO. 1 SIZE: UTILITY FRG: INTERMEDIATE BRICK COLOR: TWENTH BLACK	▶▶▶ ALUMINUM TUBE TRUSS STRUCTURE - BRONZE FINISH
	BRICK NO. 2 SIZE: UTILITY FRG: SOBERMENT COLOR: FRISCO CLEAR	▶▶▶ GANTRY WITH M-2 FASCIA AND SOFFIT
	PRECAST CONCRETE NO. 1 SIZE: VARIES COLOR: CUSTOM TO MATCH B-2	▶▶▶ ALUMINUM CURTAIN WALL ASSEMBLY IN COLOR BRONZE - GLAZING TO BE TINTED
	FIBER CEMENT PANELS W/ TRIM SIZE: VARIES COLOR: TO MATCH M-2	▶▶▶ ALUMINUM WINDOW UNIT IN COLOR BRONZE - GLAZING TO BE CLEAR
	EIFS NO. 1 FINISH: RED SAND COLOR: STUCCO 825649	▶▶▶ ALUMINUM STOREFRONT ASSEMBLY IN COLOR BRONZE - GLAZING TO BE TINTED
	EIFS NO. 2 FINISH: RED SAND COLOR: MODERNE WHITE 826160	▶▶▶ MATCH DENOTES SPANDREL GLAZING



JOINT OPTION
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT: FRY STREET - MIXED USE DEVELOPMENT
401 N. FRY STREET
MADISON, WISCONSIN 53705
CLIENT: FRY STREET LODGING ASSOCIATES, LLC
C/O RAYMOND MANAGEMENT COMPANY
MIDDLETON, WI 53562

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 MADISON, WISCONSIN 53705
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 MADISON, WISCONSIN

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PROJECT: 201525
 DRAWN BY:
 DATE:
 SCALE: AS NOTED
 UDC #: 11-16-1016
 LAND USE: 03-08-2017
 CITY SUBMITTAL: 03-01-2017
 GPP: 03-28-2017
 GPP ADD #: 04-13-2017
 UDC #: 04-19-2017



PROJECT: FREY STREET - MIXED USE DEVELOPMENT
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 C/O RAYMOND MANAGEMENT COMPANY
 MADISON, WI 53705

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 C/O RAYMOND MANAGEMENT COMPANY
 MADISON, WI 53703

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 PROJECT: 201525
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 MIDDLETON, WISCONSIN

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PROJECT: **FREY STREET - MIXED USE DEVELOPMENT**
 4601 FREY STREET
 MADISON, WISCONSIN 53705
 CLIENT: **FREY STREET LODGING ASSOCIATES, LLC**
C/O RAYMOND MANAGEMENT COMPANY
 1100 LEXINGTON, WISCONSIN 53527

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