

Circle Bike Rack, 2 Bike Capacity, Flange Mount, Black

Circular bicycle rack features a round, modern design for simplicity and security. All welded, 10-gauge steel constructed rack holds bikes upright and are ideal for athletic fields and parks with an existing cement surface. One-piece rack is easy-to-install. Securely holds up to two bicycles. Color is black. Unassembled. Measures 37" x 33-1/2".

Product Specifications	
LENGTH INCHES	37
HEIGHT INCHES	33-1/2
CAPACITY	2 Bikes
COLOR FINISH	Green
Base Model Number	700300
BRAND	Global Industrial™
CONSTRUCTION	10-Gauge Steel
MOUNT TYPE	Flange For Existing Cement
TUBE DIAMETER INCHES	2-5/8
TYPE	Circle Bike Rack
WEIGHT LBS	33.75
ASSEMBLED	Unassembled

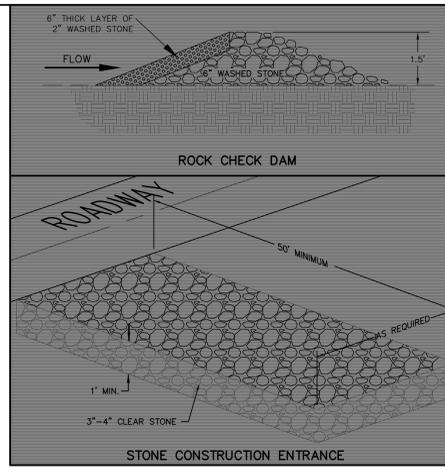
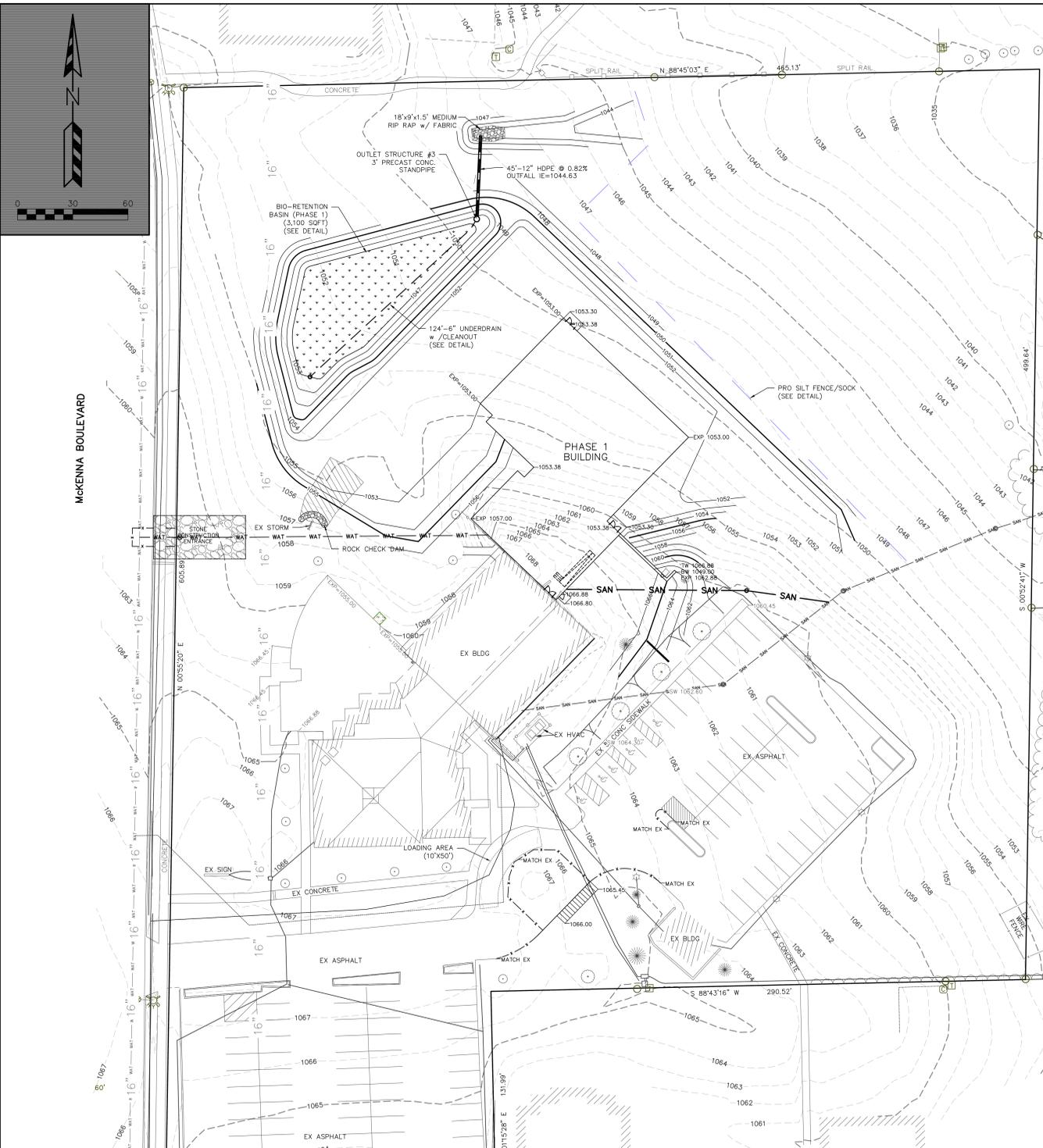


Accepts 2 Bike Capacity

OUR REDEEMER LUTHERAN CHURCH – BUILDING ADDITION
 SITE PLAN – PHASE 1
 SHEET: C-2
 DATED: SEPTEMBER 15, 2020

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

www.quamengineering.com
 4604 Siggelkow Road, Suite A; McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



EROSION NOTES:
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING, NOTIFYING THE ENGINEER AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
TIME SCHEDULE:
 MARCH 1, 2021 - MARCH 7, 2021 INSTALL INITIAL EROSION CONTROL DEVICES.
 APRIL 1, 2021 - SEPTEMBER 1, 2021 CONSTRUCT BUILDING ADDITION AND RESTORE DISTURBED AREAS.
 SEPTEMBER 1, 2021 - OCTOBER 1, 2021 CONSTRUCT BIORETENTION BASIN AND RESTORE DISTURBED AREAS.
RESTORATION NOTES:
 ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICABLE. SEED MIXTURES SHALL BE USED ON ALL AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL PFCRESS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%, PHOSPHORIC ACID, NOT LESS THAN 8%, POTASH, NOT LESS THAN 8%.

OWNER:
 OUR REDEEMER LUTHERAN CHURCH
 ATTN: PASTOR BOB KNIPPEL
 1701 MCKENNA BOULEVARD
 MADISON, WI 53711

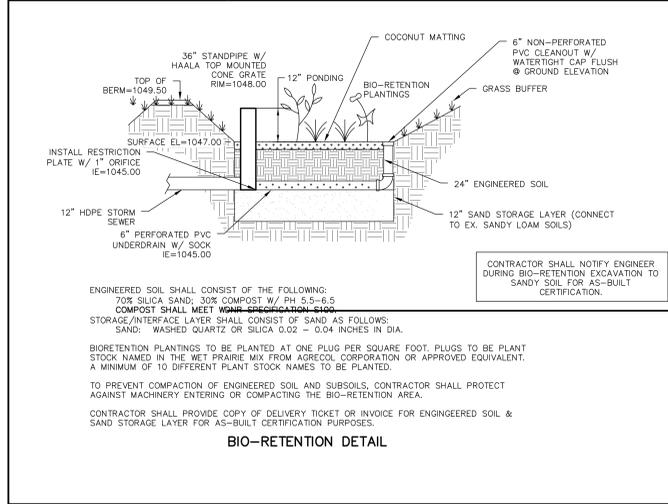
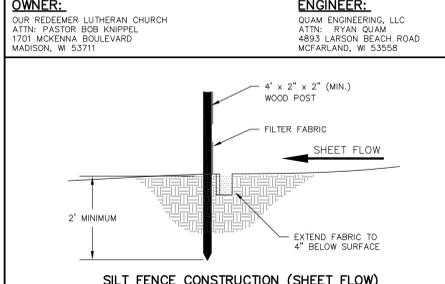
ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4893 LARSON BEACH ROAD
 MCFARLAND, WI 53558

ROCK CHECK DAM
 6" THICK LAYER OF 2" WASHED STONE
 1.5' MINIMUM

STONE CONSTRUCTION ENTRANCE
 1" MINIMUM
 3"-4" CLEAR STONE

BUILDING ADDITION ROOFTOP DRAINAGE SYSTEM SHALL BE DIRECTED TO RAIN GARDEN

ALL DISTURBED AREAS SHALL BE SEED & MULCHED BY NOVEMBER 30, 2009. ANY AREAS THAT DID NOT ESTABLISH FROM THE NOVEMBER APPLICATION SHALL BE PERMANENTLY RESTORED WITH WDOT CLASS II, TYPE B EROSION MATTING THE FOLLOWING SPRING.

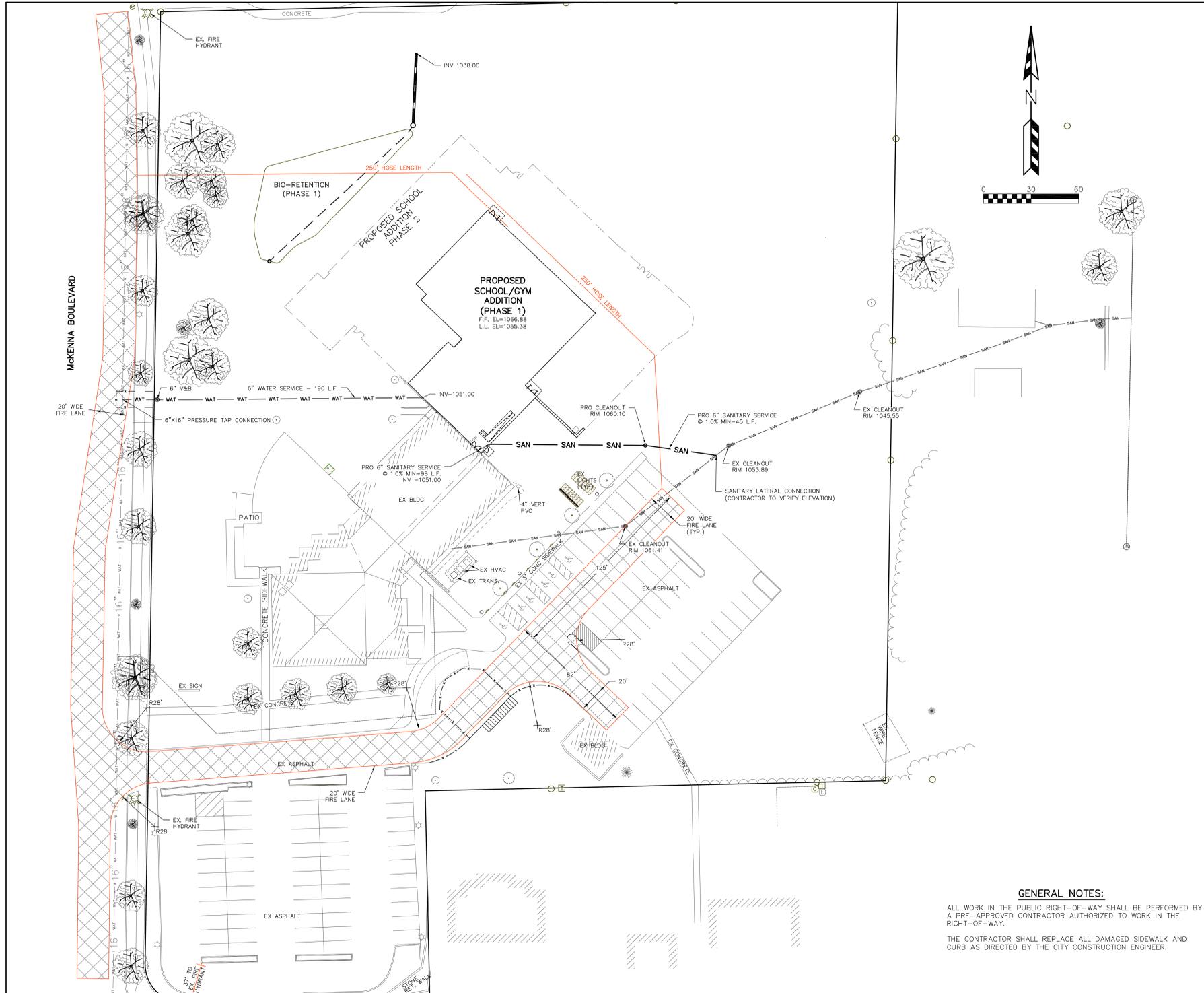


CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

OUR REDEEMER LUTHERAN CHURCH - BUILDING ADDITION GRADING PLAN PHASE 1 SHEET: C-3

DATED: SEPTEMBER, 15 2020

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 www.quamengineering.com
 4893 Larson Beach Road; McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



UTILITY NOTES:

- ALL WATER MAIN CONSTRUCTION AND CONNECTIONS SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES STANDARDS.
- PLUMBER SHALL VERIFY SANITARY LATERAL AND WATER SERVICE SIZE TO PROPOSED BUILDINGS
- THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL WATER SERVICES SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER SERVICE.
- MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 12" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
- ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.
- THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.
- ANY DAMAGE TO MCKENNA BLVD WILL REQUIRE PATCHING IN ACCORDANCE WITH THE CITY ENGINEERING STREET PATCHING CRITERIA.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.
- SANITARY SEWER SHALL BE PVC ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
- ALL STORM SEWER SHALL BE HDPE SMOOTH WALL INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR APPROVED EQUAL. PIPE SHALL HAVE WATERTIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.
- THE CONTRACTOR SHALL OBTAIN A CONNECTION PERMIT AND EXCAVATION PERMIT PRIOR TO COMMENCING THE WATER SERVICE CONSTRUCTION.
- CATCH BASINS AND INLETS SHALL BE CONCRETE AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS OR APPROVED EQUAL.

GENERAL NOTES:

- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A FIRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.

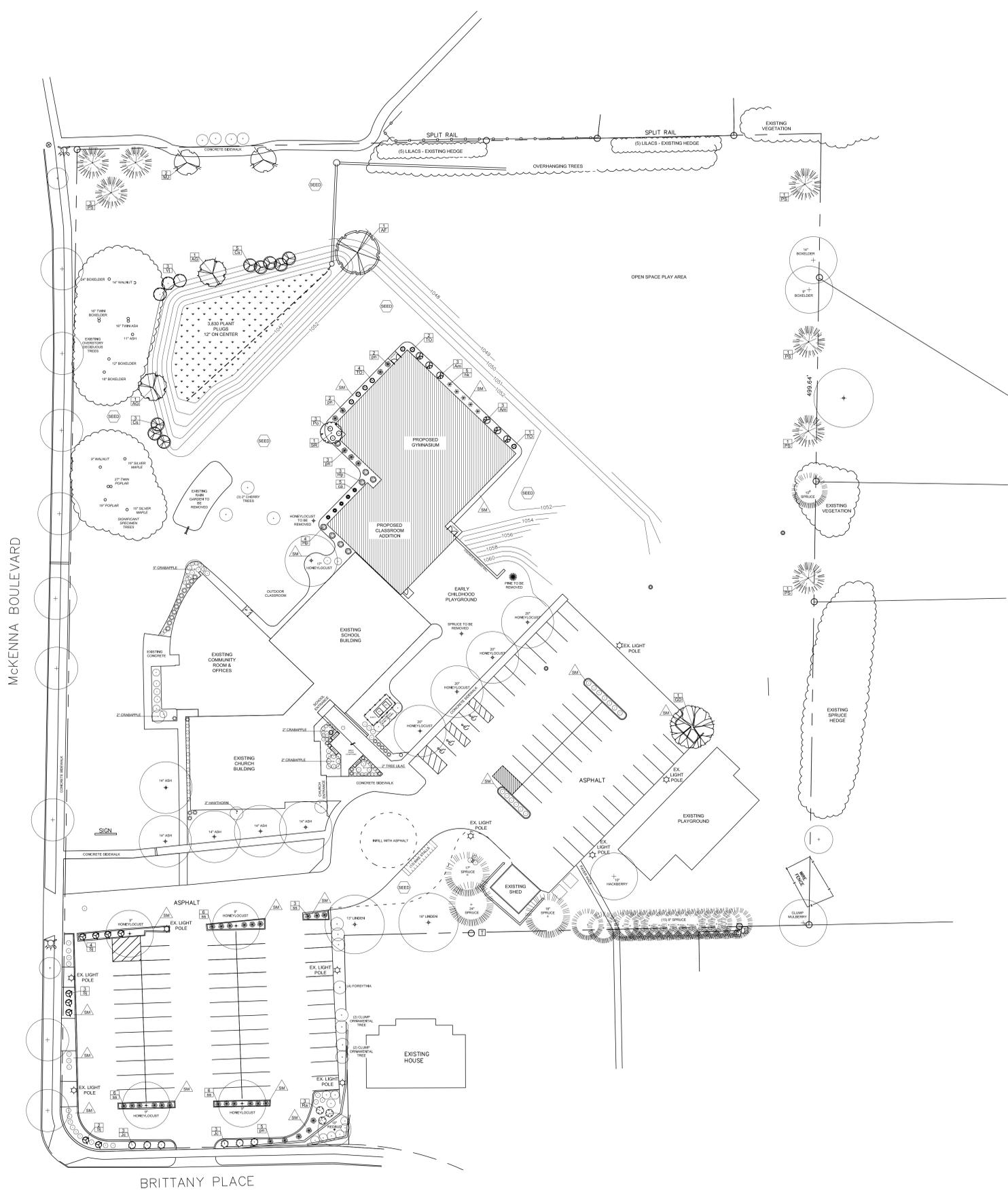
OUR REDEEMER LUTHERAN CHURCH - BUILDING ADDITION
 UTILITY AND FIRE LANE PLAN - PHASE 1
 SHEET: C-4
 DATED: SEPTEMBER 15, 2020

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Verona, WI 53593
PH: (608) 827-9401
FAX: (608) 827-9402
WEB: www.olsontoot.com



PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT	STEM
DECIDUOUS TREES						
AF	<i>Acer x freemanii 'Jeffersred'</i>	Autumn Blaze Maple	1	2"	B&B	
GD	<i>Gymnocladus dioica 'Espresso-JFS'</i>	Espresso Kentucky Coffeetree	1	2"	B&B	

ORNAMENTAL TREES						
AG	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Serviceberry	2	6'	B&B	clump
MJ	<i>Malus 'Jewelcole'</i>	Red Jewel Crabapple	2	2"	B&B	
SR	<i>Syringa reticulata 'Ivory Silk'</i>	Ivory Silk Japanese Tree Lilac	1	2"	B&B	

EVERGREEN TREES						
PS	<i>Pinus strobus</i>	Eastern White Pine	7	6'	B&B	
TO	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Arborvitae	7	5'	B&B	

EVERGREEN SHRUBS						
Jc	<i>Juniperus chinensis 'Daub's Frosted'</i>	Daub's Frosted Juniper	6	#5	Cont.	

DECIDUOUS SHRUBS						
Am	<i>Aronia melanocarpa 'Morton'</i>	Iroquois Beauty Chokeberry	6	#3	Cont.	
Cs	<i>Cornus sericea 'Isanti'</i>	Isanti Red Twig Dogwood	8	#5	Cont.	
Hp	<i>Hydrangea paniculata 'Jane'</i>	Little Lime Hydrangea	7	#3	Cont.	
Po	<i>Physocarpus opulifolius 'Donnolley'</i>	Little Devil Ninebark	3	#5	Cont.	
Ra	<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Sumac	3	#2	Cont.	
SJ	<i>Spirea japonica 'Neon Flash'</i>	Neon Flash Spirea	9	#2	Cont.	
Vj	<i>Viburnum dentatum 'Ralph Senior'</i>	Autumn Jazz Arrowwood Viburnum	3	#5	Cont.	

ORNAMENTAL GRASSES & PERENNIALS						
ca	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	5	#1	Cont.	
hk	<i>Hosta 'Krossa Regal'</i>	Krossa Regal Hosta	5	#1	Cont.	
pn	<i>Panicum virgatum 'Northwind'</i>	Northwind Switch Grass	12	#1	Cont.	
ss	<i>Sporobolus heterolepis</i>	Prairie Dropseed Grass	21	#1	Cont.	

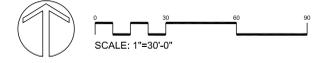
- △ Capitol Washed Stone / Vinyl edge in all areas around buildings
- △ Brown Dyed Wood Mulch / Shovel cut edge
- △ Premium sunny seed blend with straw mat. (Class 1 Type B single red)

- LANDSCAPE NOTES:**
- Refer to Grading & Erosion Control Plan for final contour information.
 - Individual tree and shrub groupings in lawn areas to receive wood mulch rings with shovel cut edge.
 - Vinyl edge is Dimex EdgePro polyvinyl edging or equivalent
 - Parking lot islands are Capitol Washed Stone with weed fabric

BIO-RETENTION BASIN:
Plant plugs to be planted at one plug per square foot. Plugs to be plant stock named in the wet prairie mix from Agrecol Corporation or approved equivalent. A minimum of 10 different plant species to be installed.

STREET TREE NOTE:
Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of a tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (266-4818) prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry prior to the start of construction. Tree protection specifications can be found in section 107.13 of City of Madison Standard Specifications for Public Works Construction - <http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/Part1.pdf>. Any tree removals that are required for construction after the development plan is approved will require at least a 72 hour wait period before a tree removal permit can be issued by Forestry, to notify the Alderperson of the change in the tree plan.

City of Madison, WI Landscape Worksheet						LANDSCAPE POINTS REQUIRED	
OUR REDEEMER LUTHERAN CHURCH + SCHOOL						3761	
LOT LARGER THAN 5 ACRES		SQUARE FEET					
Total Developed Area		230,884					
255,689 (lot) - 24,805 (building footprints)							
PLANT TYPE / ELEMENT	POINT VALUE	CREDITS / EXISTING		NEW/PROPOSED			
		QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED		
Overstory Deciduous	35	27	945	2	70		
Tall Evergreen Tree	35	19	665	7	245		
Ornamental Tree	15	13	195	5	75		
Upright Evergreen Shrub (i.e. arborvitae)	10	0	0	7	70		
Shrub, deciduous	3	70	210	39	117		
Shrub, evergreen	4	9	36	6	24		
Ornamental Grasses/Perennials	2	85	170	43	86		
Ornamental/Decorative Fencing or Wall (4pts / 10LF)	4		0		0		
Existing Significant Specimen Tree (UP TO 30% OF TOTAL)	14	66	924		0		
Landscape Furniture for public seating and/or transit connections	5		0		0		
SUB TOTALS			3145		687		
TOTAL POINTS PROVIDED						3832	



OUR REDEEMER LUTHERAN CHURCH + SCHOOL
1701 McKenna Boulevard
Madison, Wisconsin

Date: 2020.09.16
Scale: 1"=30'-0"
Designer: BNF

Seal:
To protect against legal liability, the plans presented herein are "schematic," and should not be outsourced as "biddable" or "construction documents" unless approved by the Landscape Designer. This is not an original document unless stamped in red, as ORIGINAL.

Revisions:

Reference Name:

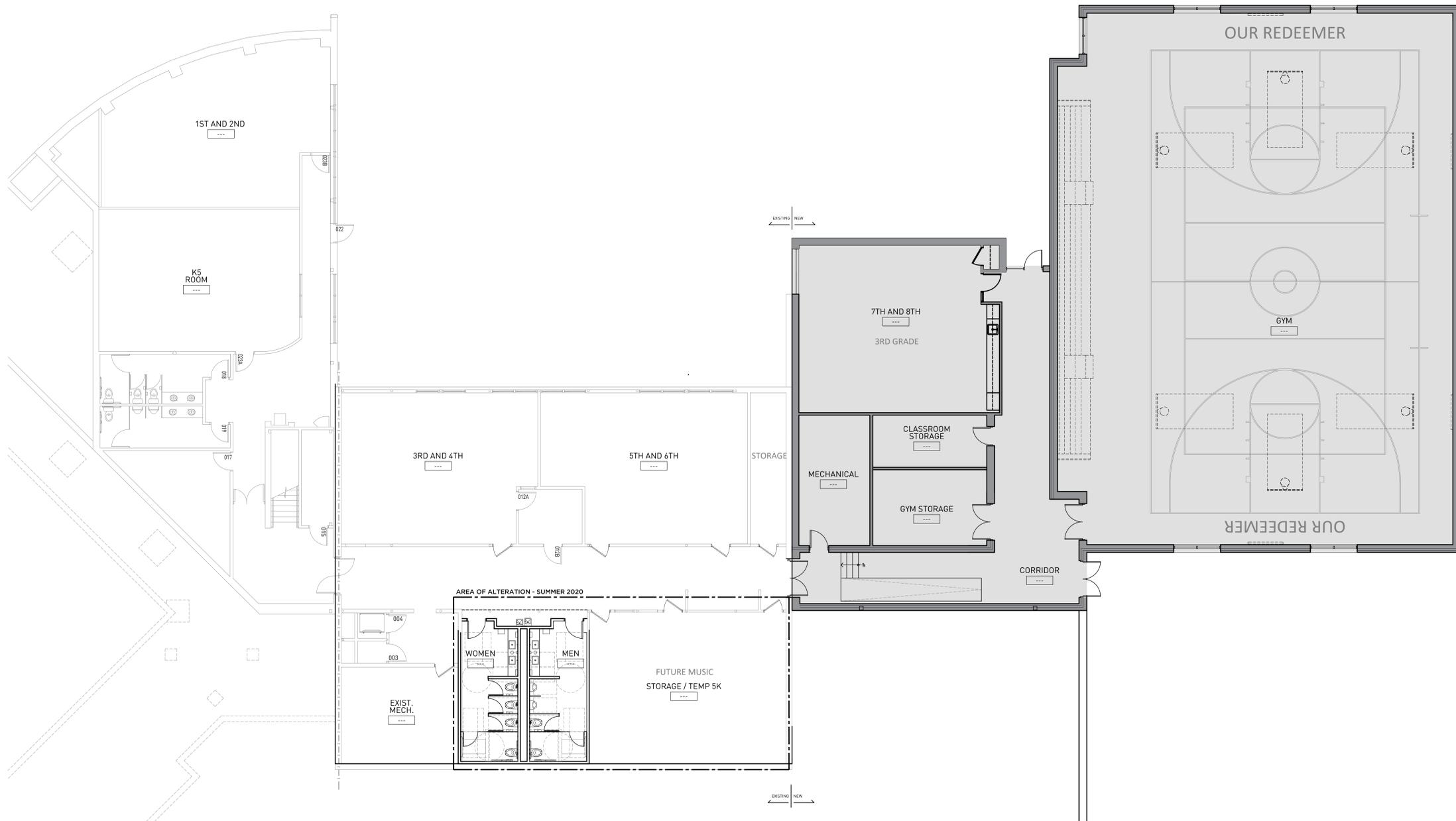


TREDO GROUP

219 N MILWAUKEE ST
SUITE 630
MILWAUKEE, WISCONSIN
53202

(414) 254 0498

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PROJECT NAME
OUR REDEEMER
1701 MCKENNA BLVD.
MADISON, WI, 53711

DRAFT
NOT FOR
CONSTRUCTION

DRAWING ISSUE HISTORY

SET TYPE
SCHEMATIC DESIGN

AA PROJECT NUMBER
19019

DATE
09-16-2020

SHEET TITLE
FLOOR
PLANS

SHEET NUMBER



01 LOWER FLOOR PLAN
PHASE 1

SCALE - 1/8" = 1'-0"

A100



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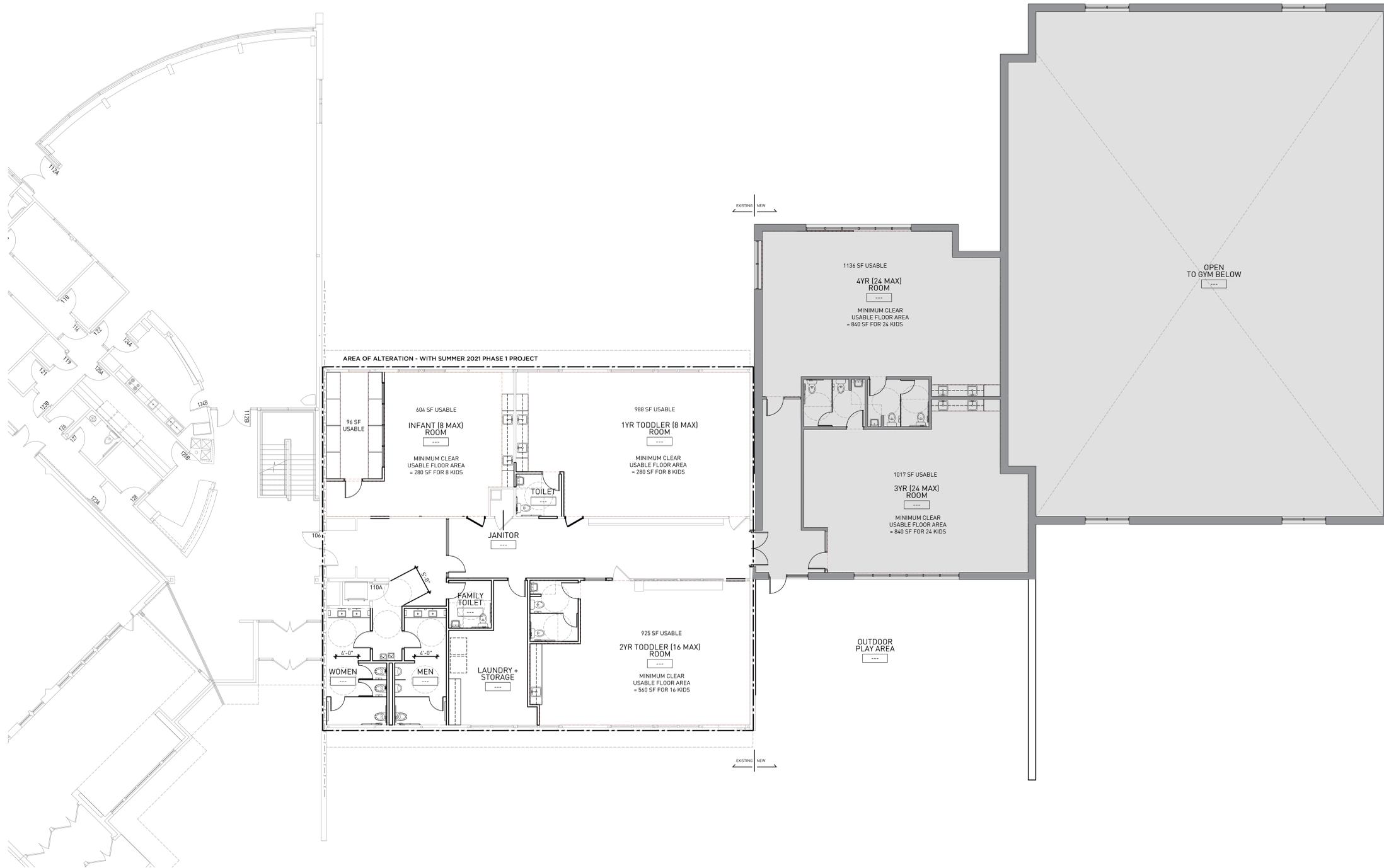
AA PROJECT NUMBER
19019

DATE
09-16-2020

SHEET TITLE
FLOOR
PLANS

SHEET NUMBER

A101



01 FIRST FLOOR PLAN
PHASE 1

SCALE - 1/8" = 1'-0"



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1701 MCKENNA BLVD.
MADISON, WI, 53711

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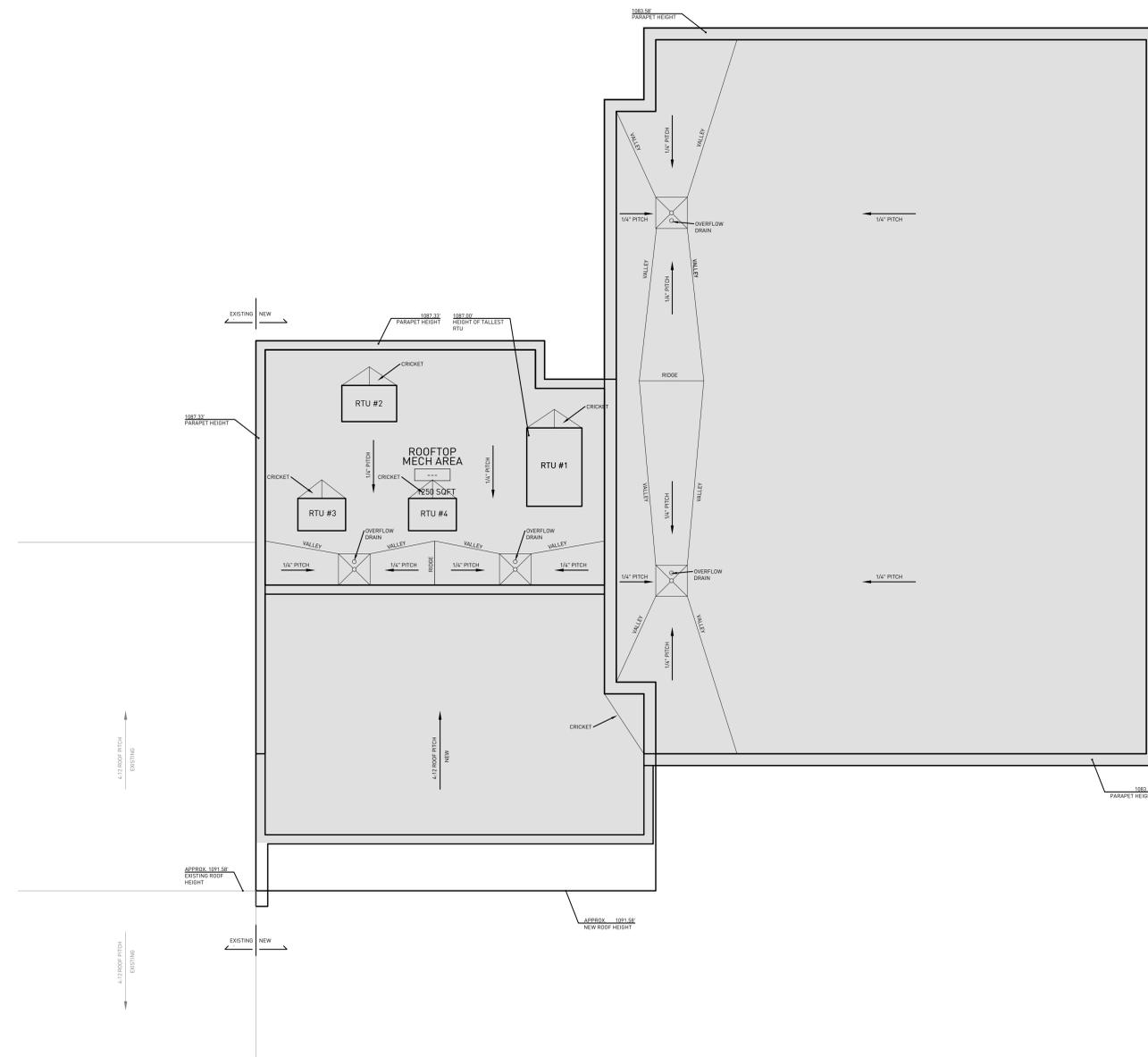
AA PROJECT NUMBER
19019

DATE
09-16-2020

SHEET TITLE
ROOF
PLAN

SHEET NUMBER

A102



01 FIRST FLOOR PLAN
PHASE 1

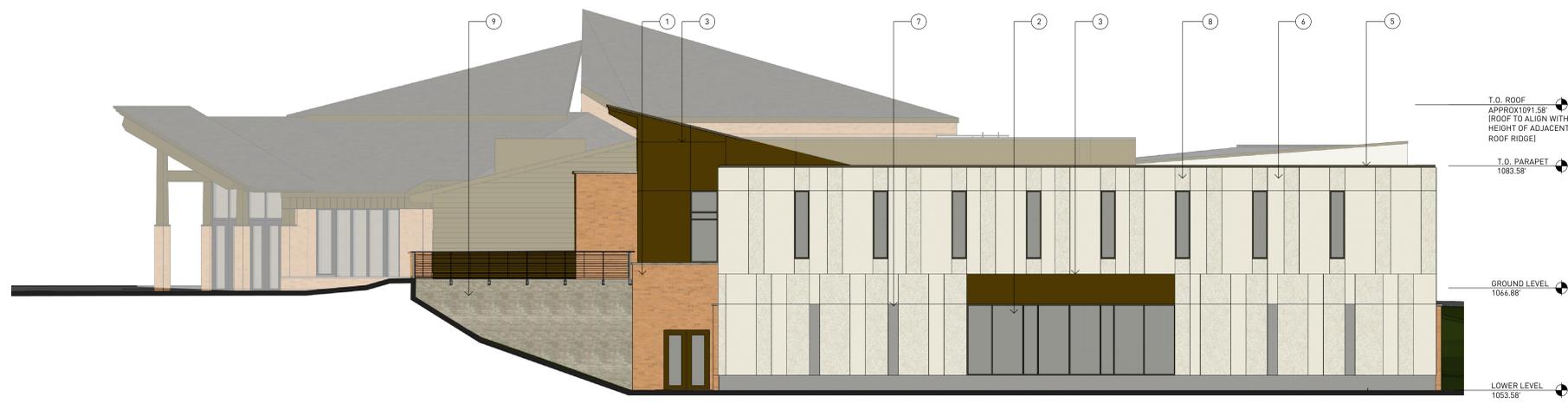
SCALE - 1/8" = 1'-0"



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 SUITE 630
 MILWAUKEE, WISCONSIN
 53202
 (414) 254 0498
 TREDOGROUP.COM

**ELEVATION
 KEYED NOTES**

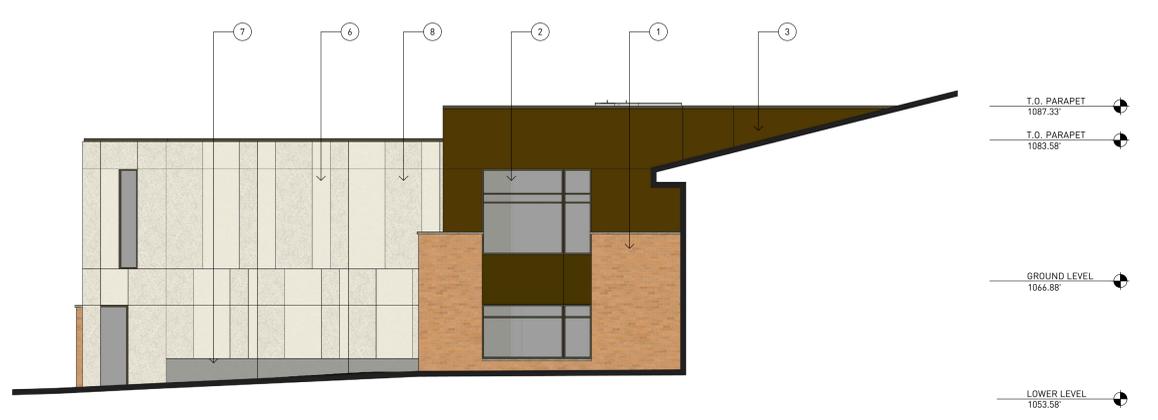
1. BRICK MASONRY, COLOR : MATCH EXISTING
2. ALUMINUM STOREFRONT SYSTEM, COLOR: TBD
3. CEMENT BOARD PANEL SYSTEM, COLOR #1 TBD
4. CEMENT BOARD PANEL SYSTEM, COLOR #2 TBD
5. METAL COPING, COLOR: TBD
6. PRECAST CONCRETE - FLAT TEXTURE, COLOR : NATURAL
7. PRECAST CONCRETE - FLAT TEXTURE, COLOR : STAINED
8. PRECAST CONCRETE - EXPOSED AGGREGATE TEXTURE, COLOR : NATURAL
9. CAST CONCRETE, COLOR NATURAL



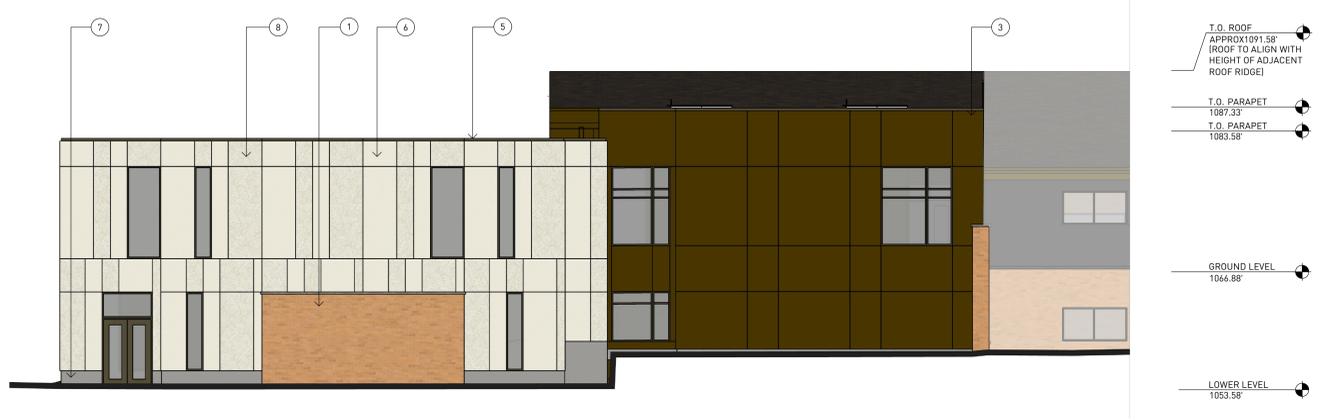
01 PLAN EAST SCALE - 1/4" = 1'-0"



02 PLAN SOUTH ELEVATION SCALE - 1/4" = 1'-0"



03 PLAN WEST ELEVATION SCALE - 1/4" = 1'-0"



04 PLAN NORTH ELEVATION SCALE - 1/4" = 1'-0"

PROJECT NAME
OUR REDEEMER
 1701 MCKENNA BLVD.
 MADISON, WI, 53711

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 CONSTRUCTION

DRAWING ISSUE HISTORY

NO.	DATE	DESCRIPTION
1	09-16-2020	SCHEMATIC DESIGN

SET TYPE
 SCHEMATIC DESIGN

AA PROJECT NUMBER
 19019

DATE
 09-16-2020

SHEET TITLE
 BUILDING
 ELEVATIONS

SHEET NUMBER

A200



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219 N MILWAUKEE ST
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MILWAUKEE, WISCONSIN
53202

(414) 254 0498

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1701 MCKENNA BLVD.
MADISON, WI, 53711

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DRAWING ISSUE HISTORY

SET TYPE
SCHEMATIC DESIGN

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DATE
09-16-2020

SHEET TITLE
FLOOR
PLANS

SHEET NUMBER

P2.1



01 LOWER FLOOR PLAN
FUTURE PHASE

SCALE - 1/8" = 1'-0"



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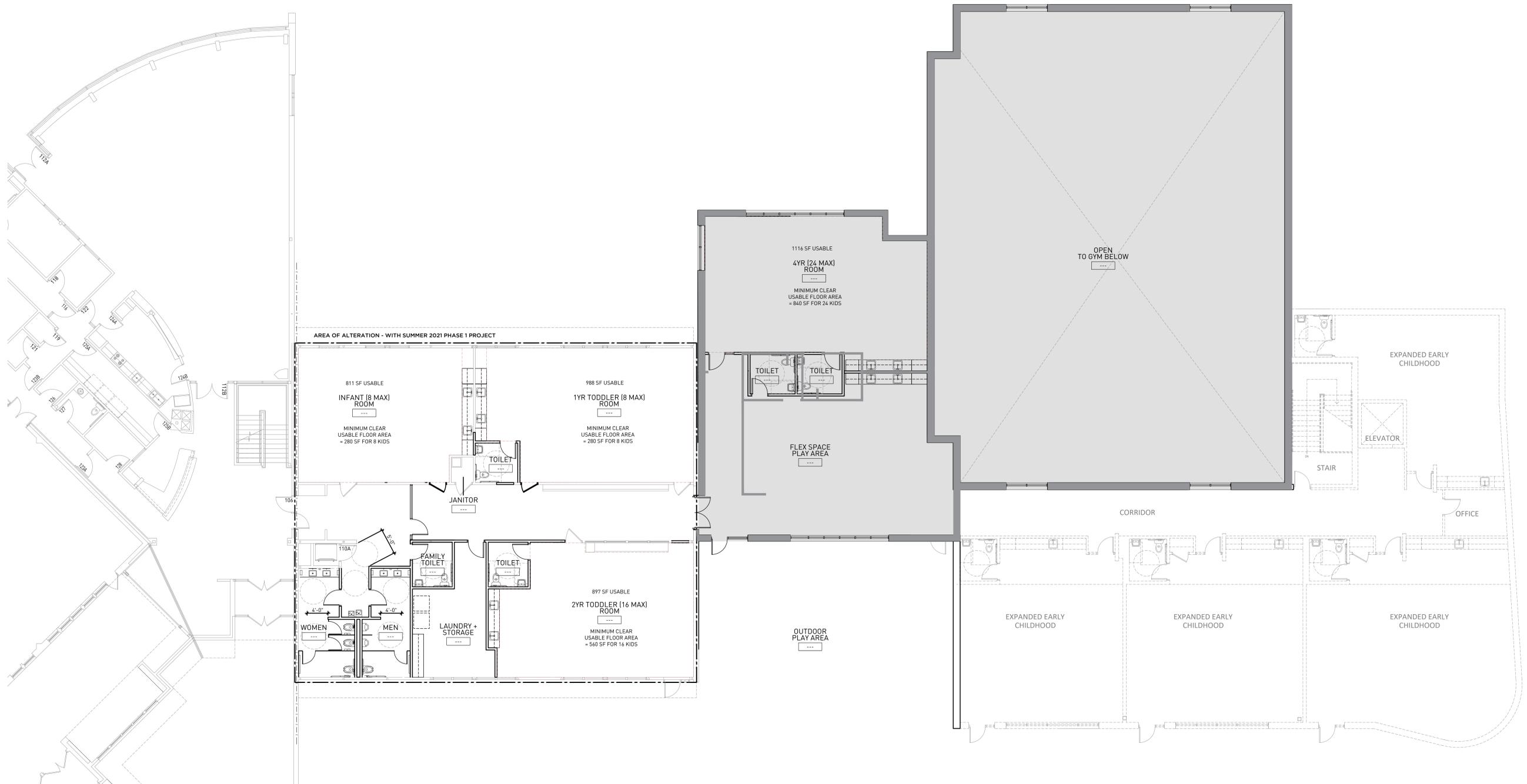
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FLOOR
PLANS

SHEET NUMBER



01 FIRST FLOOR PLAN
FUTURE PHASE

SCALE - 1/8" = 1'-0"

P2.2



Department of Planning & Community & Economic Development
 215 Martin Luther King Jr Blvd, Suite 017
 Madison, WI 53703
 Phone: 266-4551 Email: Zoning@cityofmadison.com

Parking Lot / Site Plan Approval Application Checklist

Instructions: Please complete this form and submit it with all the materials necessary for a parking lot plan review and approval. Check boxes for the items submitted that apply to your project. If you are not sure about what to show or submit, call the appropriate agency (see Box G). Once your application is accepted, staff will review, approve and return your application materials within 7 working days or sooner.

Site Address 1701 MCKENNA BLVD, MADISON WI 53711		
Contact Person CHRIS HOOGES	Company QUAM ENGINEERING	Phone/FAX (608) 838-7750
Contact Person Address 4604 SIGLEKOW RD, SUITE A, MCFARLAND WI 53558		
Project Type (check one): <input type="checkbox"/> New <input checked="" type="checkbox"/> Alteration		

A. These items must be included with an application:

- 1. Scaled drawing(s): 1" = 20' or similar: 5 sets ~~see~~ N/A
- 2. PDF copy of plans on non-returnable CD, USB Flash Drive, or emailed to zoning@cityofmadison.com
- 3. Conditional Use or PD/SIP approval letter (if applicable)
- 4. Driveway Opening Permit application EX - N/A
- 5. Easements for joint driveways or joined parking lots on separate parcels (if applicable)
- 6. Land Disturbing Activity Permit Application (sizes 1 acre or more in size)
- 7. Erosion Control Plan: 5 sets (sizes 1 acre or more in size-See Example Plan 2)
- 8. Landscape Plan/Worksheet (if applicable per Sec. 28.142(2))
- 9. Outdoor Lighting Plan and manufacturers specs (if applicable)

B. Information about your property that must be shown on your drawing(s). See Example Plan W:

- 9. Project information block on first page of plan
- 10. Property lines
- 11. Abutting right-of-way, roadways, driveways and terraces shown and dimensioned
- 12. Elevations of existing and proposed site to City datum
- 13. Elevation of top of curb
- 14. Storm sewers or drainage pattern (See Example Plan Y)
- 15. Proposed driveway radii
- 16. Type of surface on driveway, approach and lot (grass, landscaping, concrete, bituminous paving, mulch, etc.)
- 17. Location of existing and proposed impervious surfaces
- 18. Means of separation between parking lot and sidewalk or adjoining property
- 19. Tree islands
- 20. Screening or landscaping (See Example Plan X)
- 21. On-site fire hydrants

C. Information about the structures that must be shown on your drawing:

- 22. Existing structures (footprints and dimensions)
- 23. Proposed structures (footprints and dimensions)
- 24. Setbacks and distance to lot lines (front, rear and sides)

OFFICE USE ONLY:

Date/Time Received:	Accepted:
Staff Person	

D. Parking layout information that must be on your drawing(s). See Example Plan W:

- 25. Dimensions of parking stalls and drive aisles
- 26. Location of accessible parking stalls
- 27. Location of accessible parking stall signs
- 28. Location and width of accessibility ramps EK
- 29. Location of loading facilities
- 30. Bicycle parking rack locations, spaces, and rack detail

E. "Off-property" information that must be shown on your drawing(s):

- 31. Trees, poles, signs in the right-of-way (if applicable)
- 32. Medians (if applicable)
- 33. Driveway openings directly across the street (if applicable) N/A
- 34. Distance to nearest intersection N/A
- 35. Fire hydrants within 500 feet of your property line

F. Other information you want staff to know:

G. Questions: Call City Staff for help.

ZONING	Building Use	266-4551
	Setbacks	
	Landscaping	
	Occupancy	
TRAFFIC ENGINEERING	Parking lot geometrics	266-4761
ENGINEERING	Drainage	266-4751
	Land disturbing activity	
	Soil erosion	
FIRE	Fire hydrants / access	266-4484
BUILDING INSPECTION	Parking lot lighting	266-4551

8/18/15



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 1701 McKenna Blvd, Madison, WI
 Name of Project Our Redeemer Lutheran Church and School
 Owner / Contact Contact: Brad Fregien, Olson Toon Landscaping, Inc.
 Contact Phone (608)827-9401 Contact Email brad@olsontoon.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area 230,884 sq ft

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area 13,084 sq ft / 100 = 131 points

Total landscape points required 3,761 points

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35	27	945	2	70
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35	19	665	7	245
Ornamental tree	1 1/2 inch caliper	15	13	195	5	75
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			7	70
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3	70	210	39	117
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4	9	36	6	24
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2	85	170	43	86
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	5 trees, 66 caliper inches	924		
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals				3145		687

Total Number of Points Provided 3832 points

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



City of Madison Fire Department

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Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 1701 McKenna Blvd

Contact Name & Phone #: Ryan Quam, 608-838-7750

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
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Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.



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