



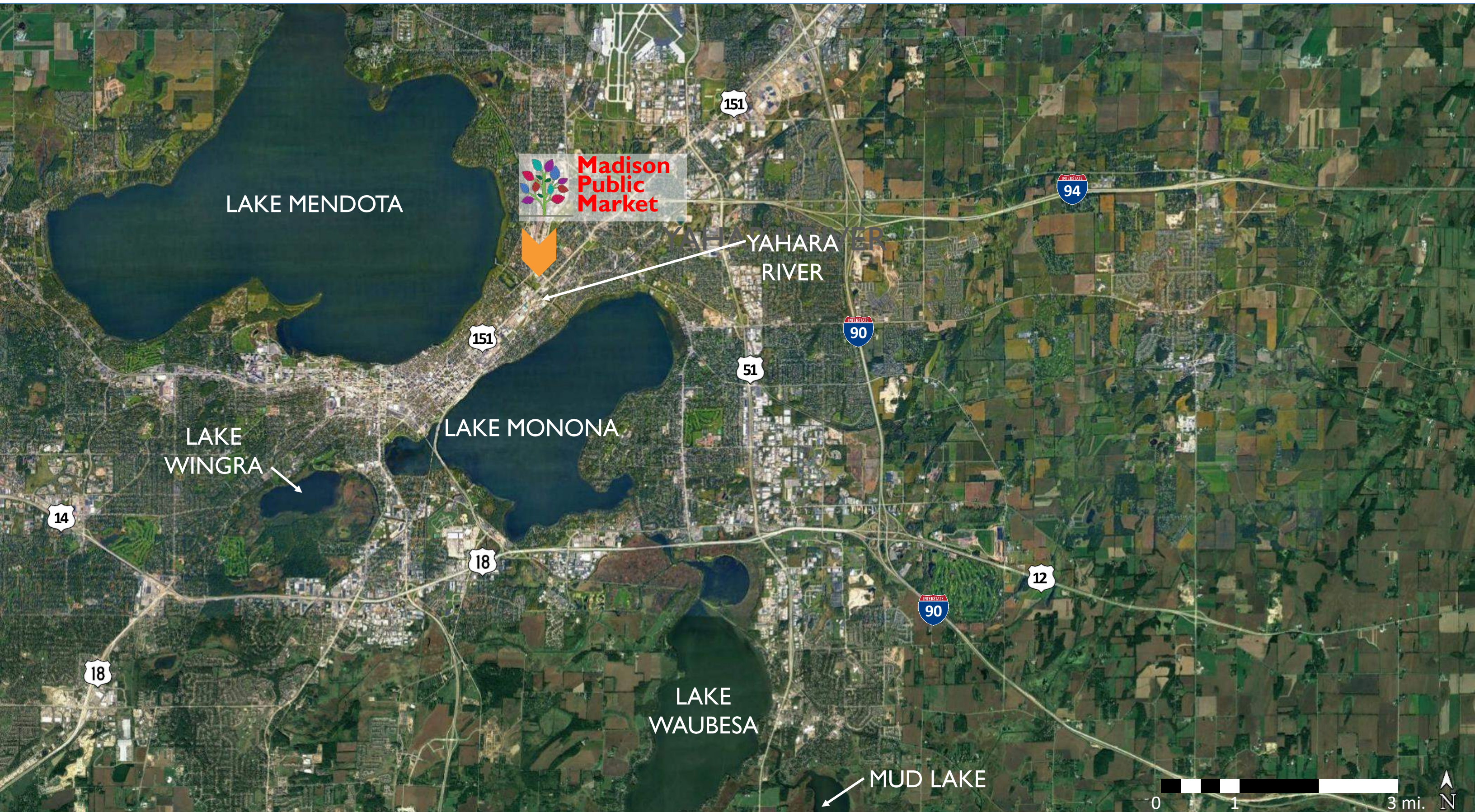
Madison
Public
Market

MADISON PUBLIC MARKET

Urban Design Commission Informational Submission

26 June 2019

Location: 200 North First St, Madison, WI 53704



source: adapted from google earth

location



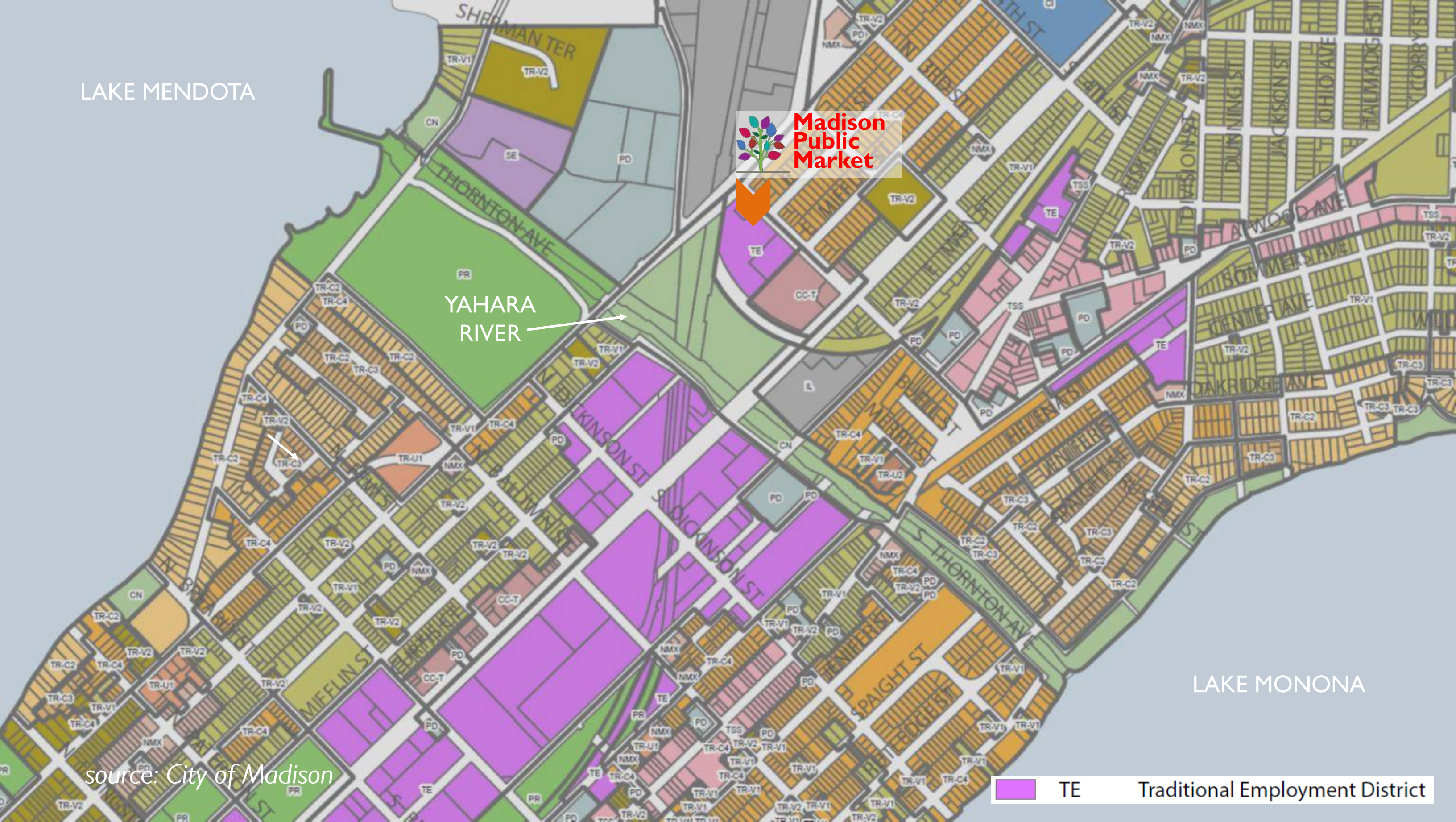
source: google earth

location: view from capitol



source: City of Madison Capitol Gateway Corridor Plan

location: zoning districts



LAKE MENDOTA

YAHARA RIVER

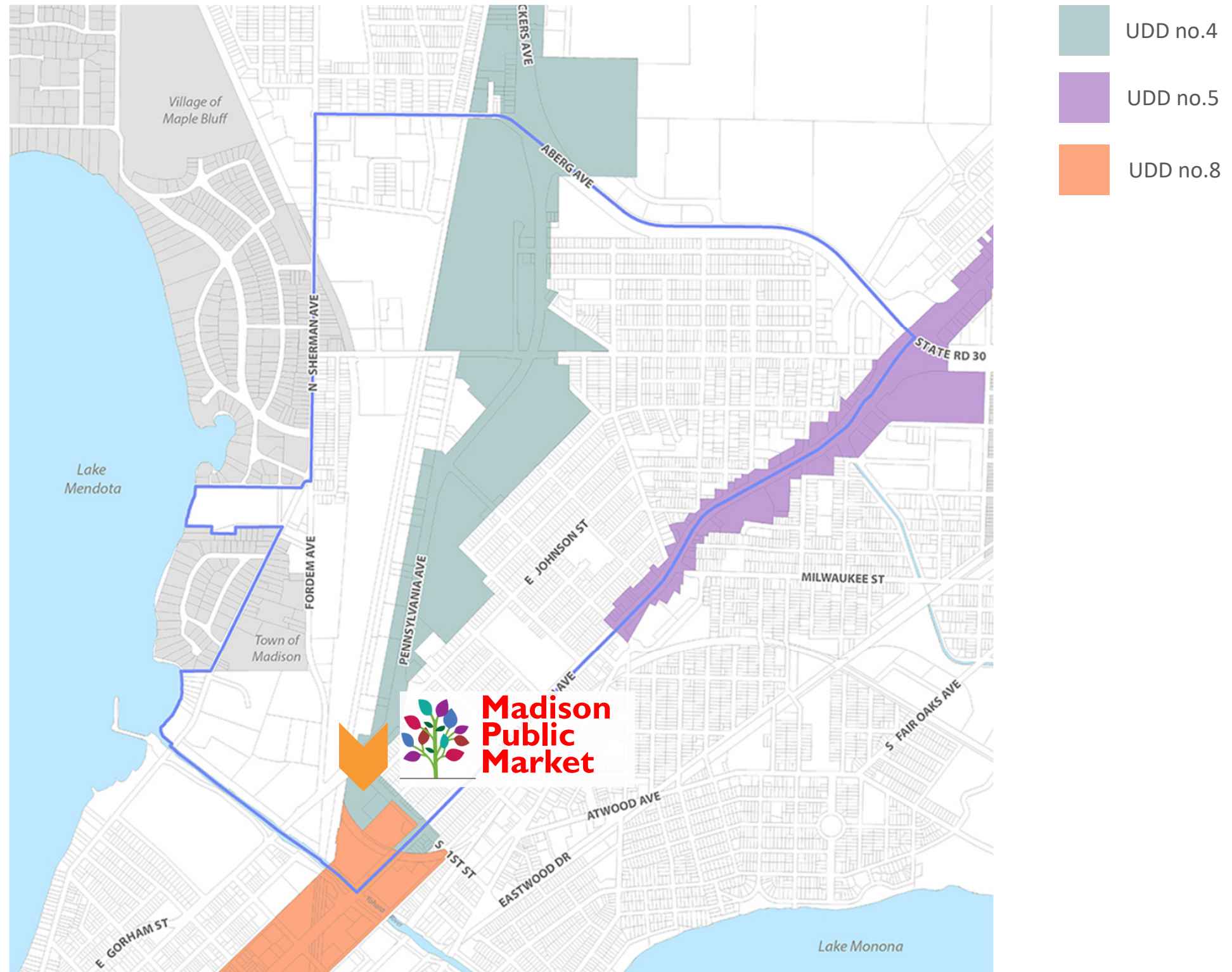
Madison Public Market

LAKE MONONA

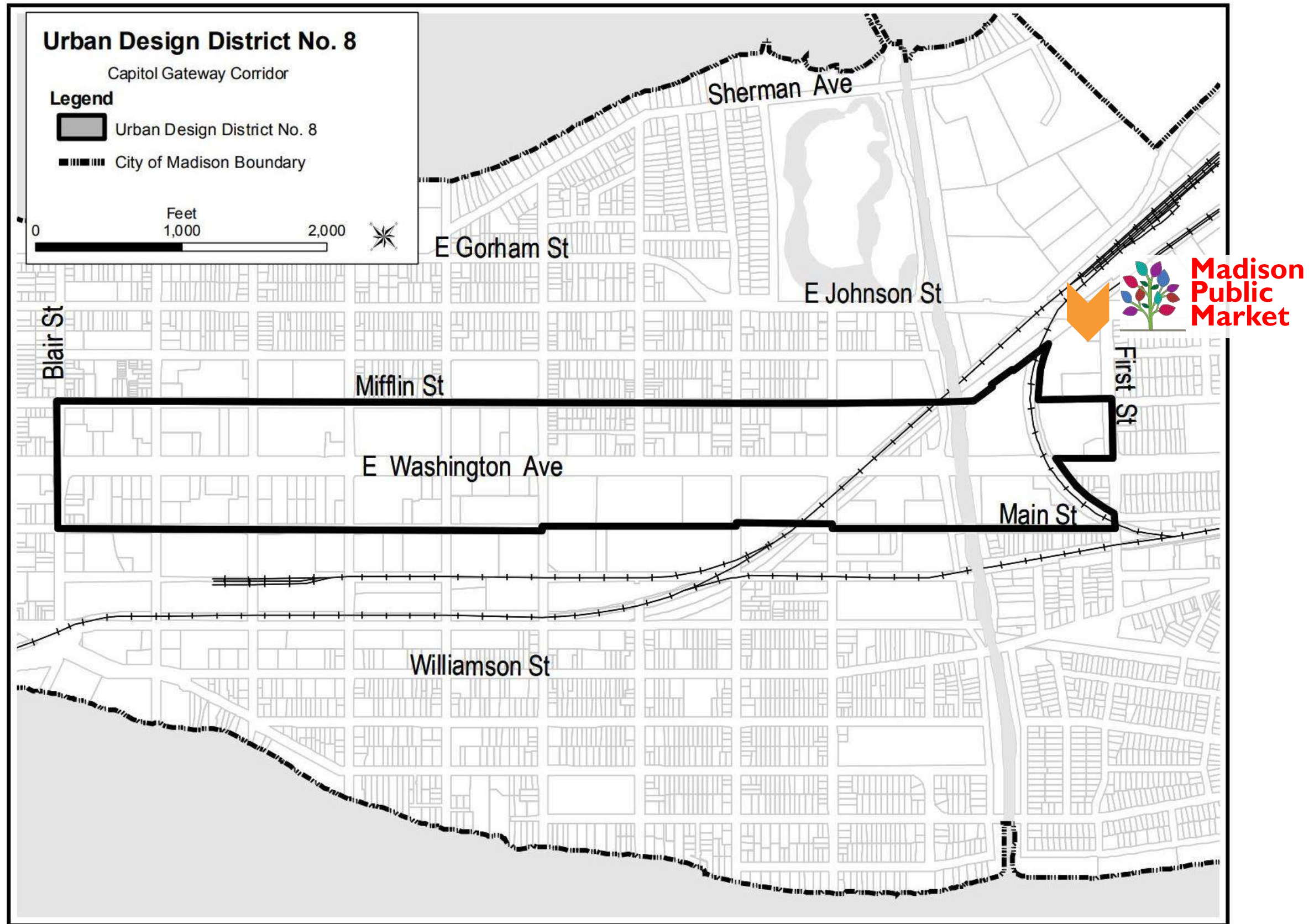
source: City of Madison

TE Traditional Employment District

location: urban design district no. 4

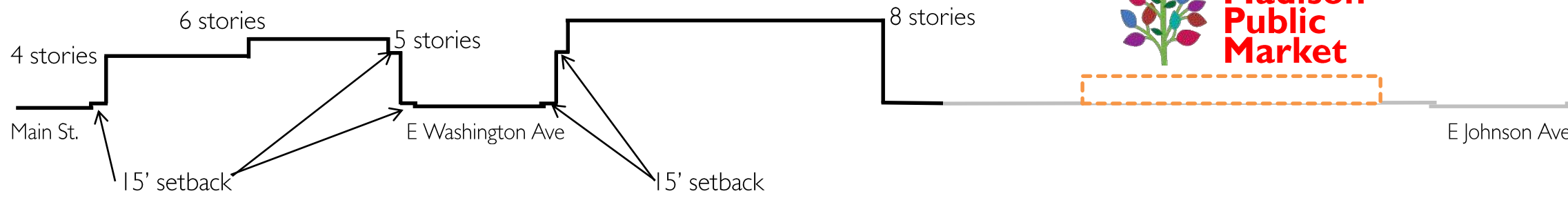


location: urban design district no. 8

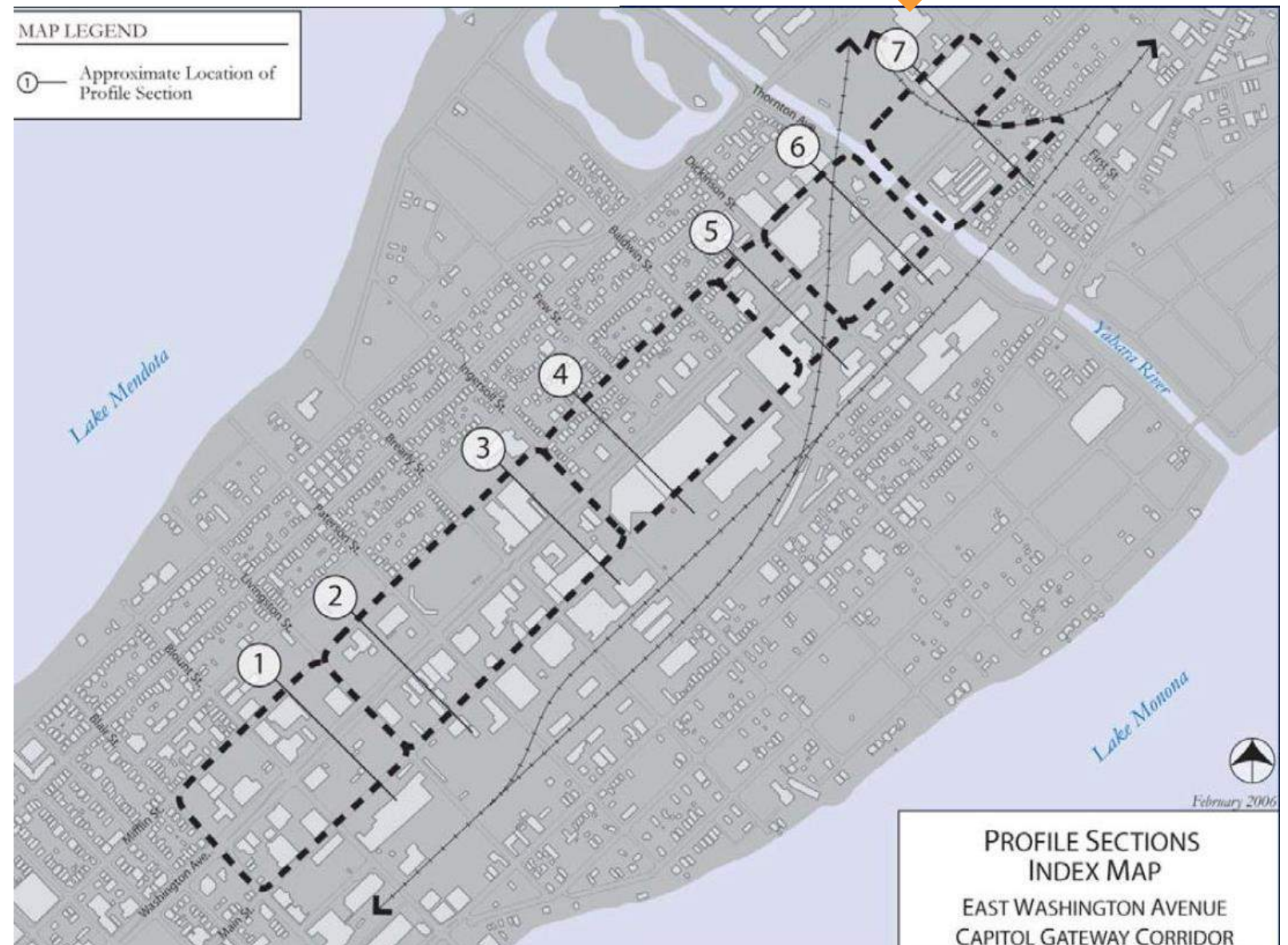


location: Capitol Gateway Corridor section

7



not to scale



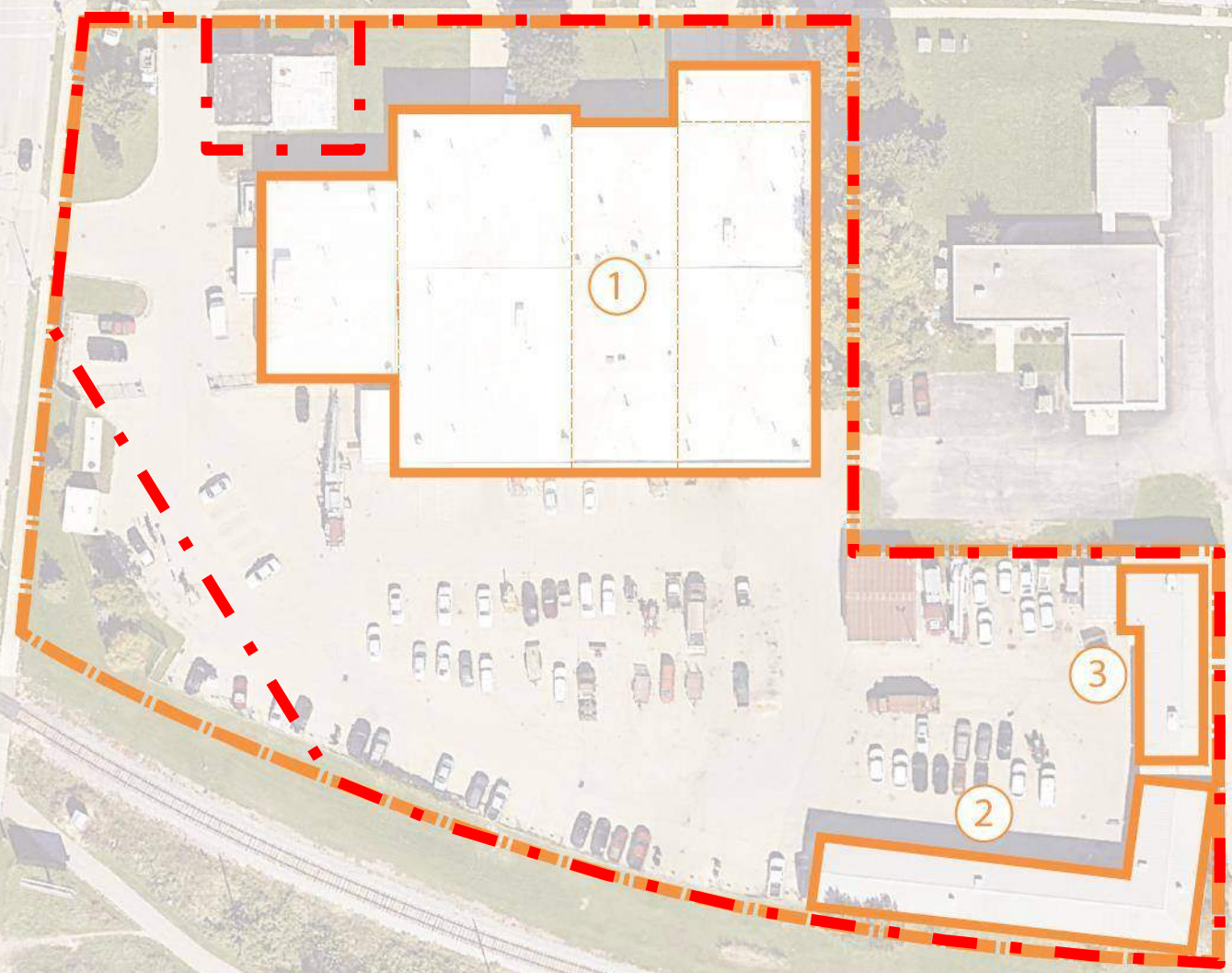
source: adapted from City of Madison

location: bike paths



source: City of Madison

existing site data



1 - MAIN MARKET BUILDING
38,600 SF - Ground Floor
6,000 SF - Mezzanine


44,600 SF

2 - FLEET SERVICES STORAGE BUILDING

6,925 SF

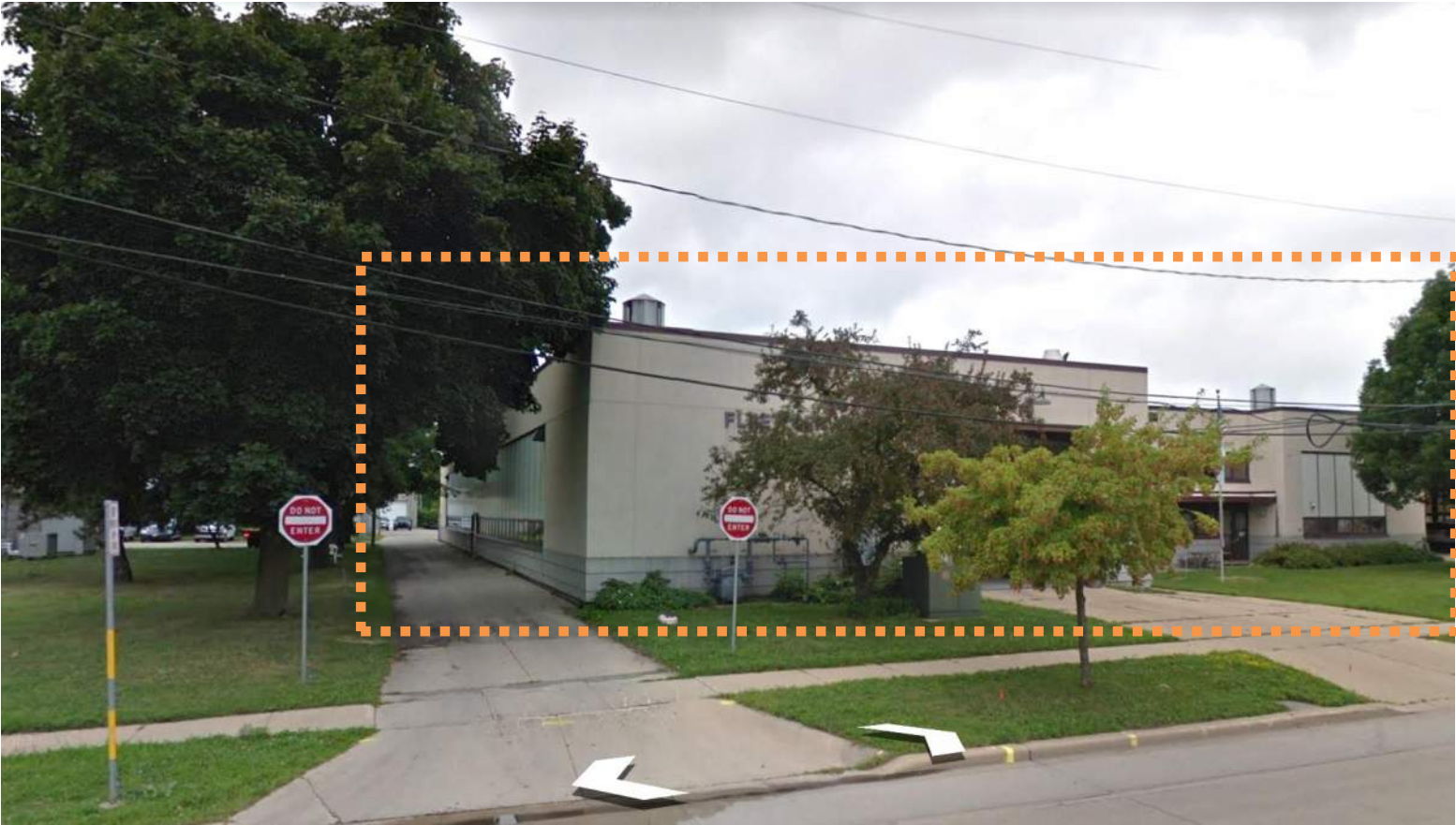
3 - POLICE STORAGE

4,046 SF

EXTG SITE AREA: 
145,490 SF (3.34 ACRES)

EXISTING PERVIOUS AREA:
~ 10,000 SF (6.8%)

Views from north 1st street



source: Google Maps Street View

views from E Johnson street



source: Google Maps Street View

views from E Washington Street



views from and near Burr Jones Park



Pedestrian bridge across Yahara River, looking towards future MPM
source: Google Map Photos



Yahara River looking towards E Washington Ave
source: Instagram @hilarysk



Burr Jones Fields, concert series in 2015
source: Instagram @ggpotter



Burr Jones Park looking towards E Washington Ave
source: Instagram @wemurkve

placemaking: identity



site identity: tall element location options

TALL ELEMENT AT N.1ST CORNER

TALL ELEMENT NEAR ENTRY PLAZA

A



VIEW FROM E. WASHINGTON ST LOOKING EAST

B



VIEW FROM E. WASHINGTON / N. 1ST LOOKING NORTH

C



VIEW FROM PENNSYLVANIA AVE LOOKING WEST

D



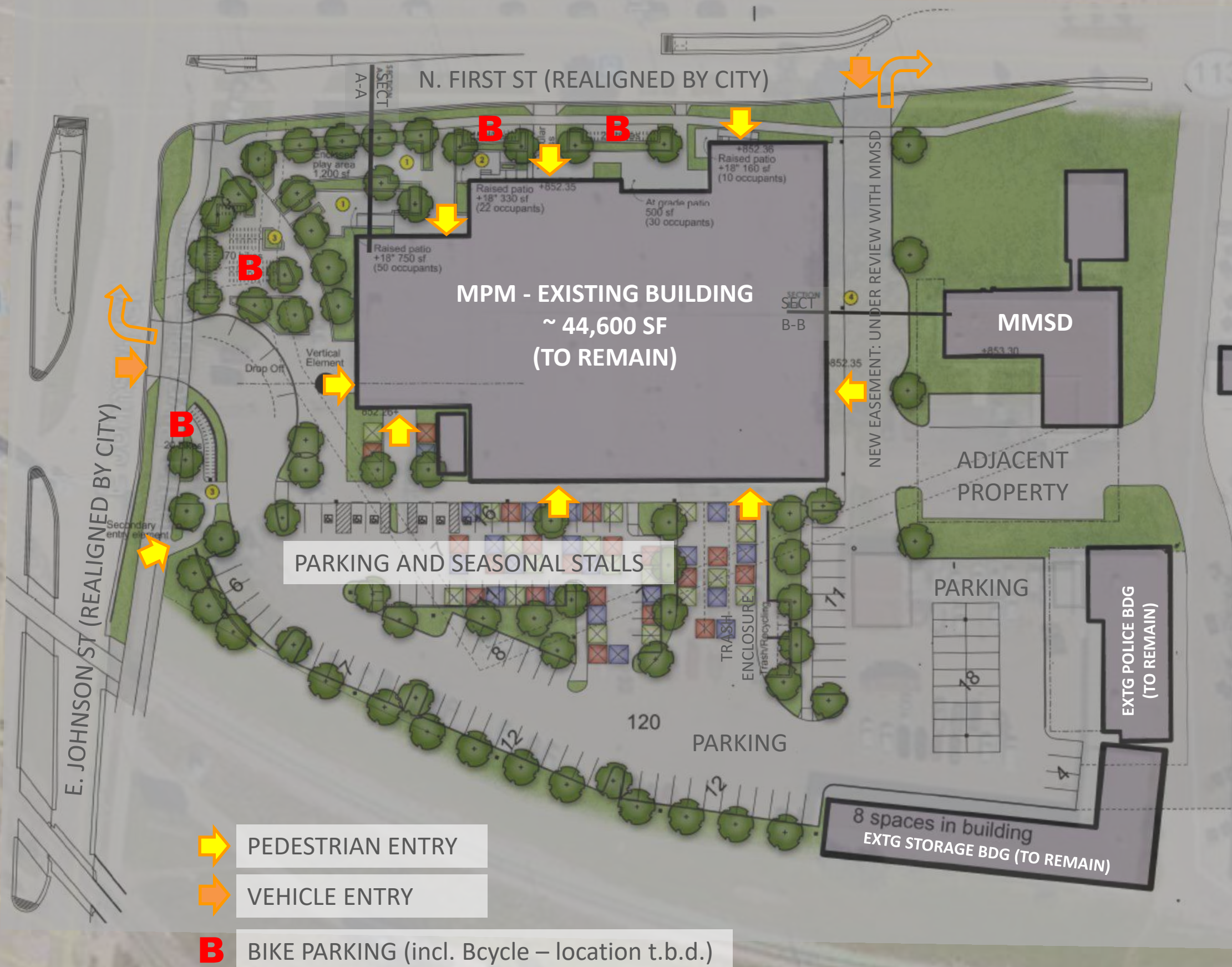
VIEW FROM E. JOHNSON ST LOOKING EAST

site identity: aerial view



TALL ELEMENT NEAR ENTRY PLAZA

preliminary proposed site plan and data






REVISED SITE AREA:
~ 152,800 SF (3.51 ACRES)

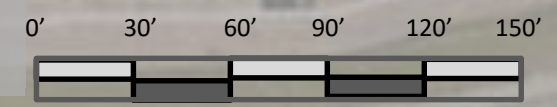
EXISTING PERVIOUS AREA:
~ 10,000 SF (6.8%)

NEW PERVIOUS AREA:
~ 19,000 SF (12.4%)

PERVIOUS AREA INCREASE:
~ 9,000 SF.

PARKING PROVISION:
112 (PLUS 12 IF MMSD ALLOW).

-  PEDESTRIAN ENTRY
-  VEHICLE ENTRY
-  BIKE PARKING (incl. Bcycle – location t.b.d.)



EXISTING RAIL LINE



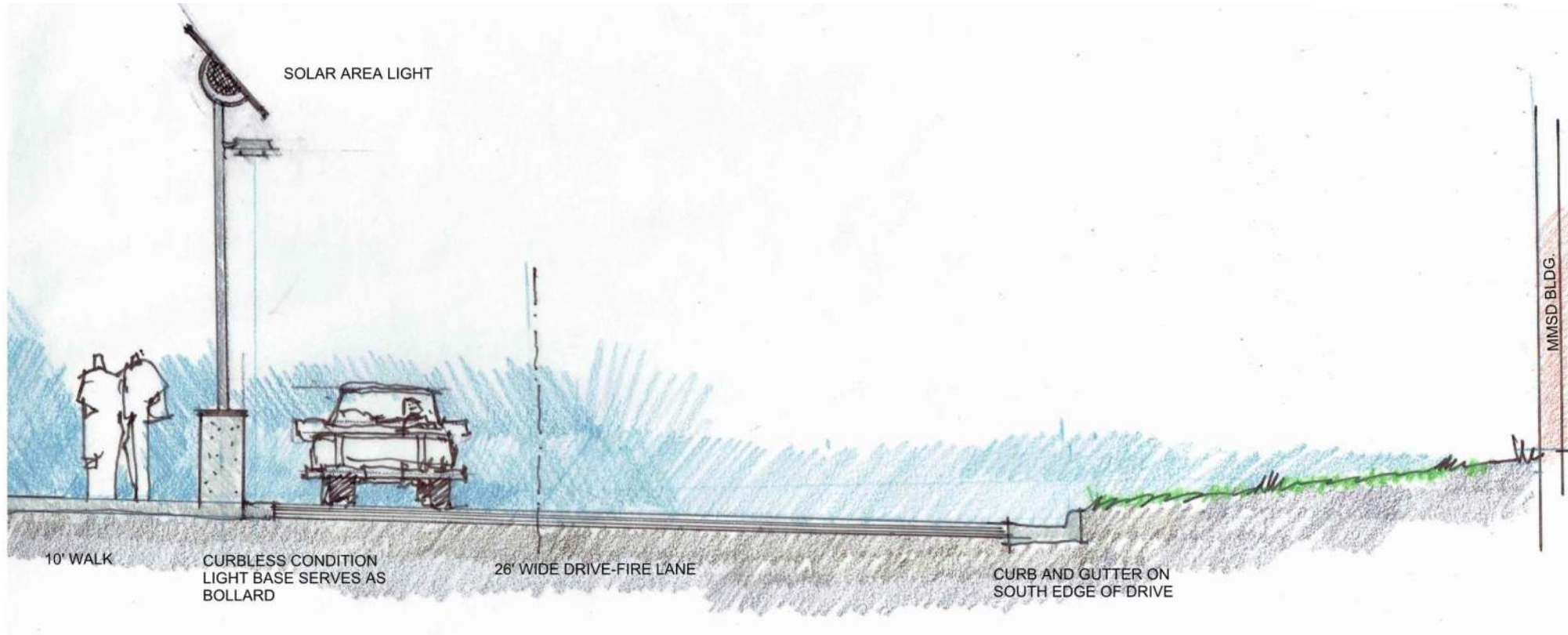
THIS UPDATE SITE PLAN WAS REFERENCED IN UDC INFORMATIONAL MEETING ON 6/26/19 AND HAS BEEN INCLUDED FOR REFERENCE



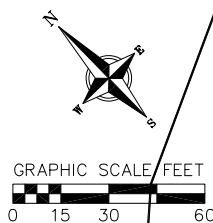
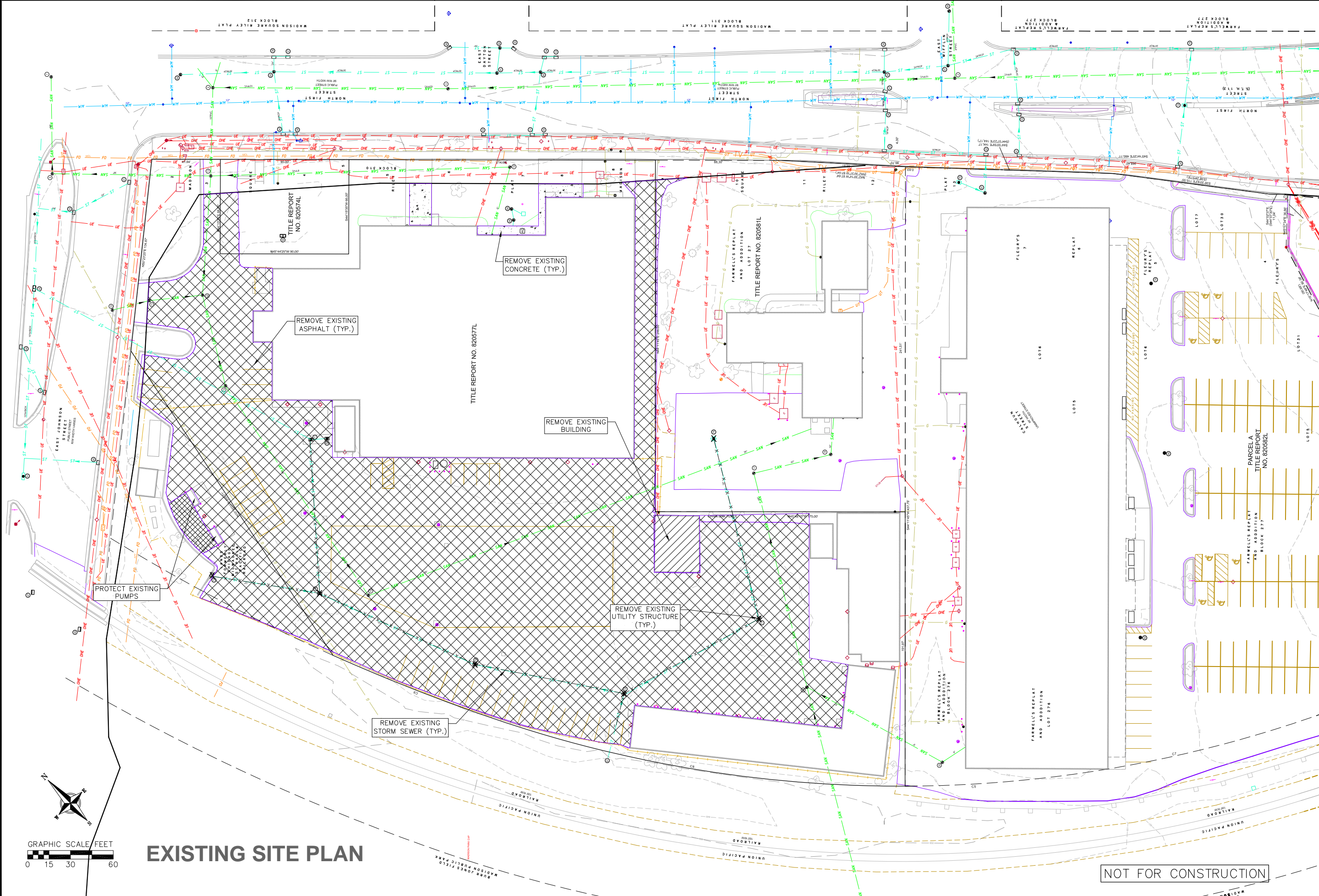
preliminary site sections



SECTION A-A SITE TERRACE AND CHILDREN'S PLAY AREA ADJACENT VENDOR UNIT



SECTION B-B EASEMENT ALONG MMSD ACCESS DRIVE



EXISTING SITE PLAN

NOT FOR CONSTRUCTION

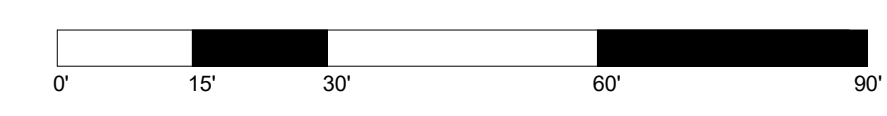
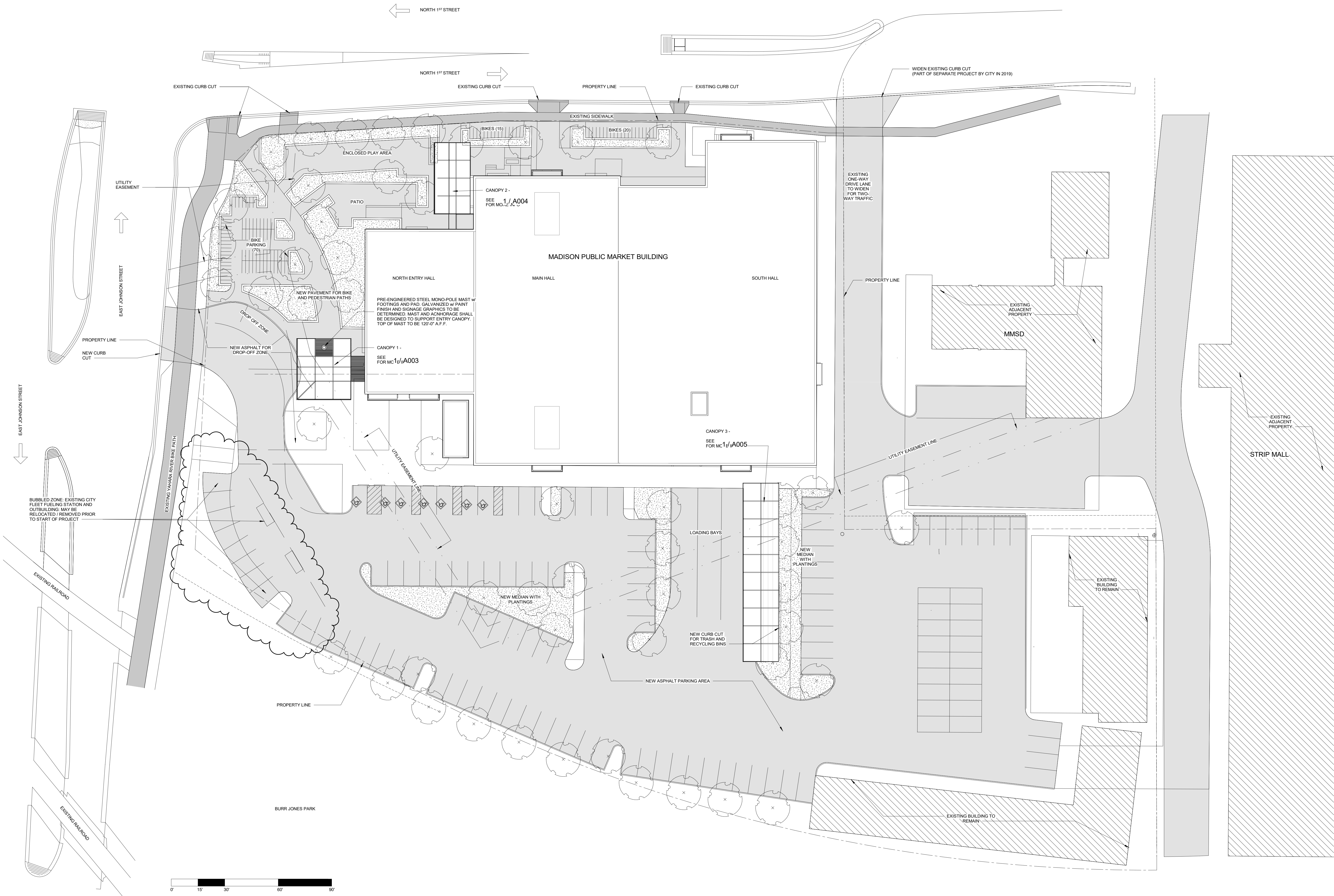
Concept Demolition Plan

Madison Public Market
200 N. First Street
City of Madison, Dane County WI

| REVISIONS | NO. | DATE | REMARKS |
|-----------|-----|------|---------|
| | | | |
| | | | |
| | | | |

SCALE: AS SHOWN

DATE: 6/4/2019
DRAFTER: SCHR
CHECKED: MSCH
PROJECT NO.: 180275
SHEET: 1 OF 1
DWG. NO.:



1 SITE PLAN-UDC
UDC01 3/64" = 1'-0"

MSR 710 South 2nd Street, 8th Floor
Minneapolis, Minnesota 55401-2282
Architecture 612.375.0336 tel
Interiors and 612.342.2216 fax
Urban Design www.msrdesign.com

MEP Engineer
MEP Associates, LLC
860 Blue Genian Rd #175
Eagan, MN 55121
651.379.9100 tel

Civil Engineer
Vierbicher
999 Fournier Dr, Suite 201,
Madison, WI 53717
608.826032 tel

Landscape Architect
Ken Saiki Design
1110 S. Park St
Madison, WI 53715
608.251.3600 tel

Structural Engineering, Fire Protection Engineering,
Technology and A/E
IMEG Corporation, Inc.
1800 Deming Way, Suite 200,
Madison, WI 53562

Lighting Design
Mazzetti, Inc.
1600 Stout St, Suite 450
Denver, CO 80202
720.644.5044 tel

Commercial Kitchen Design
Boelter Premier
7120 Northland Terrace,
Minneapolis, MN 55428
763.544.8800 tel

MADISON PUBLIC MARKET
200 N First St, Madison, WI 53704

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin. ARCHITECT SEAL.

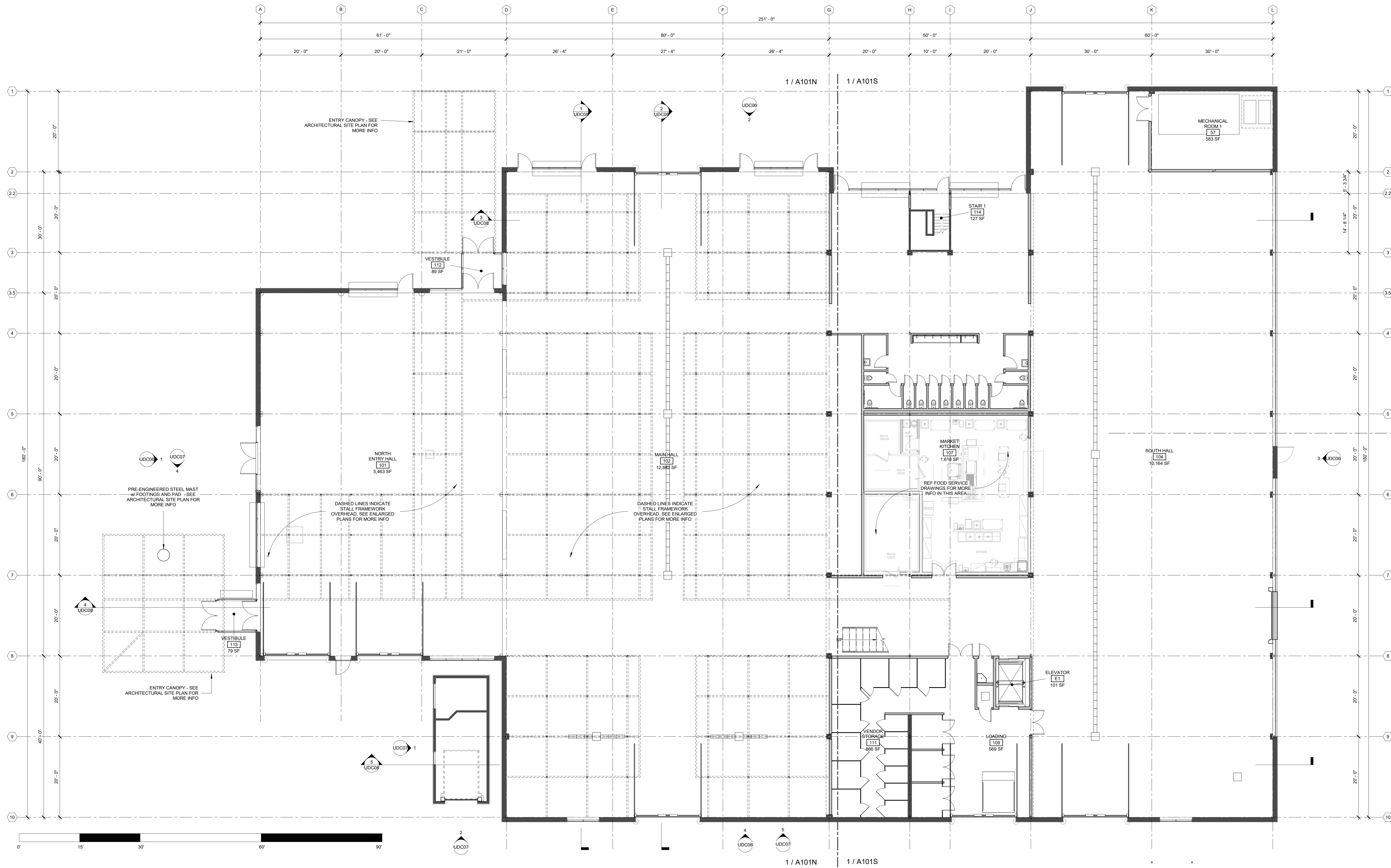
Signature: _____
Print Names: _____
Date: _____ License No.: _____

| MARK | DATE | DESCRIPTION |
|------|------------|-------------------------------------|
| 1 | 09/04/2019 | GEN-BUILDING DESIGN 1 PRICING ISSUE |
| | 05.12.2019 | UDC INFORMATIONAL SUBMISSION |

PROJECT NO. 2019006.00
PROJECT PHASE SITE AND BUILDING DESIGN 1
DRAWN BY: MSR CHECKED BY: MSR
Drawing 2019 Copyright West, Scherer & Rosecrance, LLC

SITE PLAN

UDC01



1 LEVEL 1 FLOOR PLAN - REFERENCE
UDC02 1" = 10'-0"

MADISON PUBLIC MARKET
200 N First St, Madison, WI 53704

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin.
ARCHITECT SEAL

Signature: _____
Print Names: _____
Date: _____ License No: _____

| MARK | DATE | DESCRIPTION |
|------|------------|--|
| | 06.04.2019 | SITE + BUILDING DESIGN 1 PRICING ISSUE |
| | 06.12.2019 | UDC INFORMATIONAL SUBMISSION |

PROJECT NO. 2019006.00
PROJECT PHASE SITE AND BUILDING DESIGN 1
DRAWN BY: MSR CHECKED BY: MSR
Drawing © 2019 Copyright West, Shuman & Rosebush, LLC

LEVEL 1

UDC02

MADISON PUBLIC MARKET

200 N First St, Madison, WI 53704

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin.
 ARCHITECT SEAL

Signature: _____

Print Names: _____

Date: _____ License No: _____

ISSUE MARK DATE DESCRIPTION

06.04.2019 SITE + BUILDING DESIGN 1 PRICING ISSUE

06.12.2019 UDC INFORMATIONAL SUBMISSION

PROJECT NO. 2019006.00

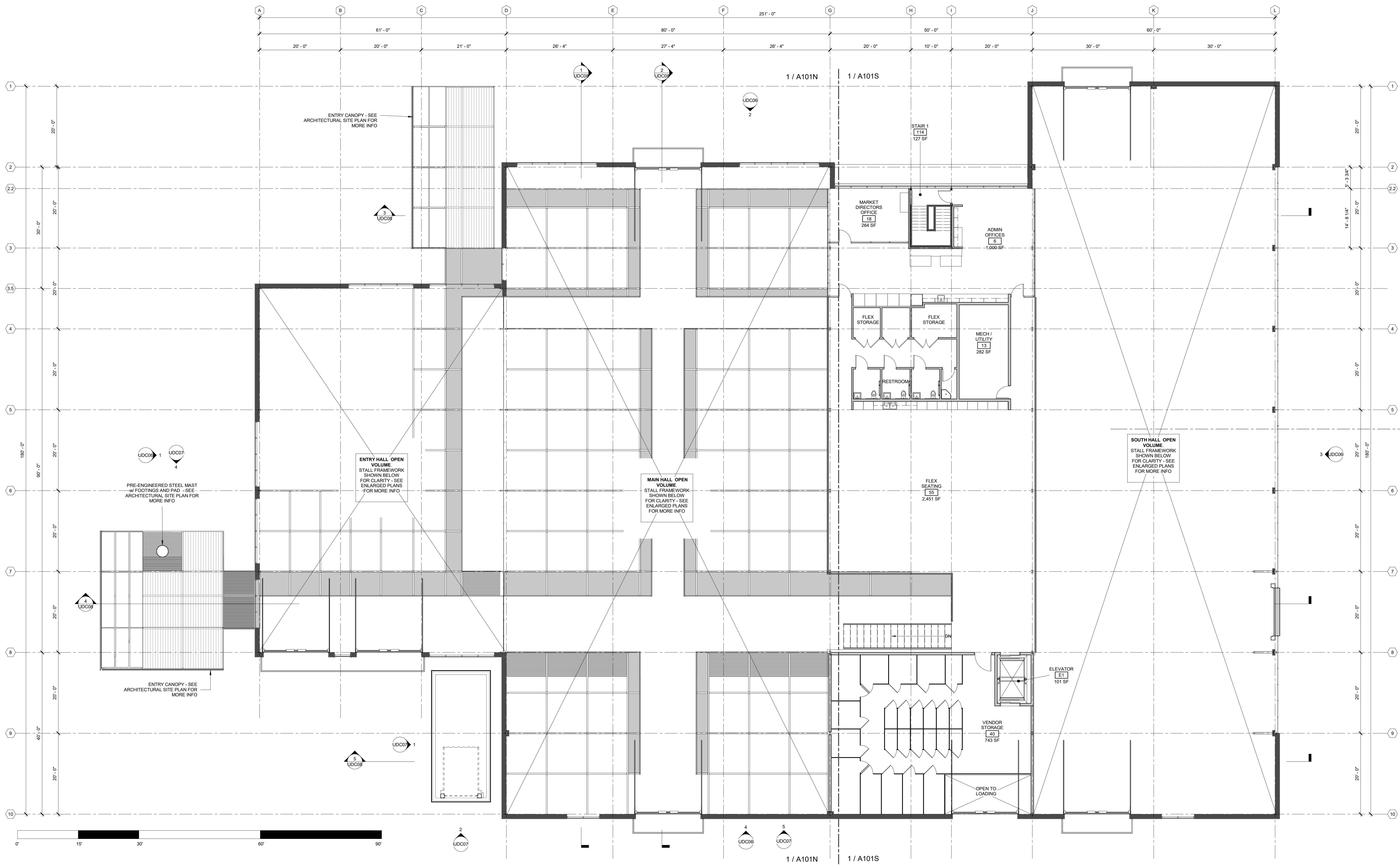
PROJECT PHASE SITE AND BUILDING DESIGN 1

DRAWN BY: MSR CHECKED BY: MSR

Design © 2019 Copyright West, Shuman & Associates, LLC

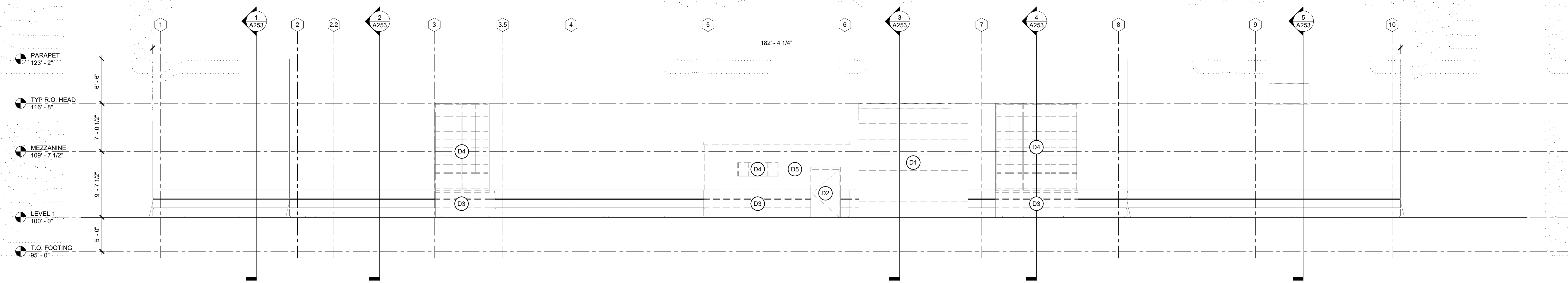
MEZZANINE PLAN

UDC03

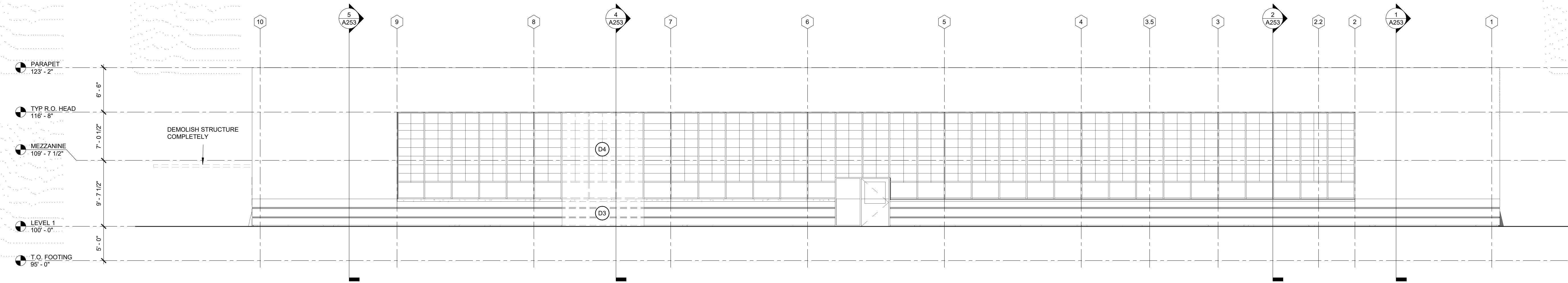


1 MEZZANINE PLAN - REFERENCE

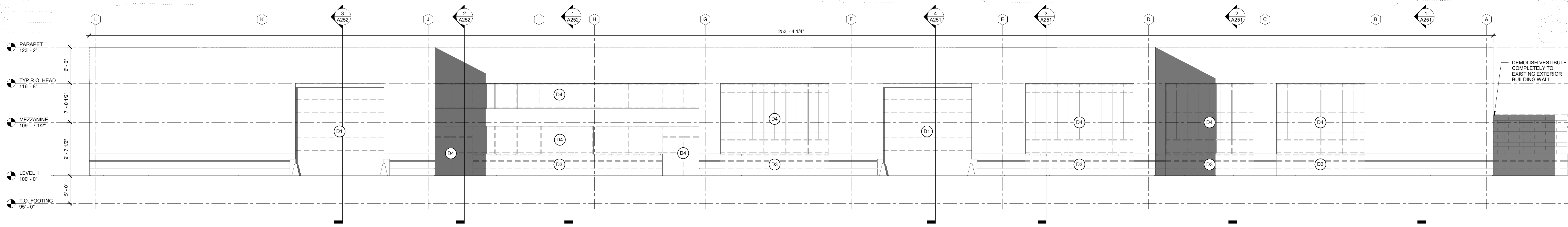
UDC03 1" = 10'-0"



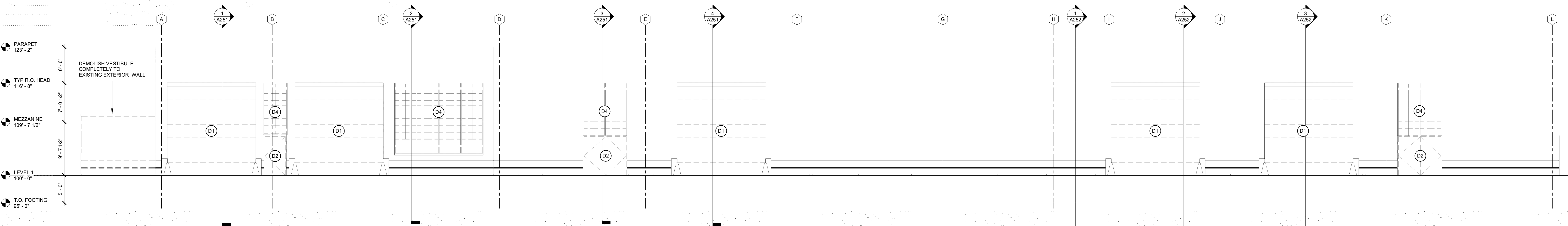
1 DEMO ELEVATION - NORTH - UDC
UDC05 1/8" = 1'-0"



2 DEMO ELEVATION - SOUTH - UDC
UDC05 1/8" = 1'-0"



3 DEMO ELEVATION - EAST - UDC
UDC05 1/8" = 1'-0"



4 DEMO ELEVATION - WEST - UDC
UDC05 1/8" = 1'-0"

- KEYED NOTES (DEMOLITION)**
- (D1) REMOVE EXISTING OVERHEAD DOOR AND ALL FRAME/HARDWARE/MOTOR COMPONENTS BACK TO ROUGH OPENING
 - (D2) REMOVE EXISTING DOOR(S) AND FRAME(S) TO ROUGH OPENING
 - (D3) REMOVE EIFS PANEL FROM CONCRETE FOUNDATION WALL. CLEAN CONCRETE TO PREPARE FOR NEW WATERPROOFING - COORDINATE W/ NEW WORK
 - (D4) REMOVE EXISTING STOREFRONT GLAZING SYSTEM AND ALL FLASHING/TRIM BACK TO ROUGH OPENING. REFERENCE NEW WORK FOR EXISTING MISC. STEEL TO REMAIN IN OPENINGS. PATCH AND REPAIR MASONRY FOR NEW CURTAIN WALL SYSTEM
 - (D5) REMOVE EXISTING MASONRY WALL COMPLETELY
 - (D6) REMOVE PART OF EXISTING FLOOR/ROOF IN PREPARATION FOR ELEVATOR SHAFT
 - (D7) REMOVE EXISTING STAIR COMPLETELY
 - (D8) REMOVE EXISTING INTERIOR WALL COMPLETELY
 - (D9) REMOVE EXISTING INTERIOR WIRE PARTITION, SALVAGE, CLEAN, AND STORE FOR REUSE
 - (D10) REMOVE EXISTING PLUMBING FIXTURES AND PLUMBING WALL CAVITY
 - (D11) REMOVE EXISTING CMU COLUMN WRAP
 - (D12) REMOVE EXISTING EXTERIOR CONCRETE WALL TO 2" BELOW F.F.E. SAW CUT CONCRETE CLEANLY, ALIGNED WITH CMU JAMBS ABOVE TO CREATE CLEAN ROUGH OPENING FOR NEW CURTAIN WALL
 - (D13) REMOVE EXISTING PRECAST CONCRETE SILL
 - (D14) DEMOLISH EXISTING BELOW PORTION OF CMU WALL TO CREATE NEW ROUGH OPENING. PROVIDE TEMPORARY SUPPORT @ HEAD - REFERENCE NEW WORK - REFERENCE STRUCTURAL
 - (D15) REMOVE EXISTING TRENCH GRATE; PROVIDE TEMPORARY COVER
 - (D16) CLEAN/REPLACE EXISTING TRENCH DRAIN LINING AS REQUIRED FOR NEW WORK-COORDINATE WITH MEP
 - (D17) REMOVE SLAB OR GRIND DOWN TO PREP FOR NEW VESTIBULE RECESSED MAT - COORDINATE WITH NEW WORK
 - (D18) DECOMMISSION AND REMOVE EXISTING PAINT BOOTH STRUCTURE AND ALL ASSOCIATED MECHANICAL AND ELECTRICAL UTILITIES - REFERENCE MEP
 - (D19) DISASSEMBLE AND SALVAGE EXISTING STEEL AND GLASS WALL. CLEAN AND STORE FOR REUSE
 - (D20) CLEAN EXISTING STEEL AND GLASS WALL TO REMAIN. PROVIDE TEMPORARY SUPPORT AND PROTECT IN PLACE - REFERENCE STRUCTURAL
 - (D21) REMOVE MEZZANINE FLOOR SLAB AND FRAMING - REFER TO STRUCTURAL
 - (D22) SALVAGE EXISTING HOIST FOR REUSE
 - (D23) DEMOLISH EXISTING SLAB AS REQUIRED FOR NEW KITCHEN EQUIPMENT - REFERENCE STRUCTURAL
 - (D24) REFERENCE MEP FOR REMOVAL WORK REQUIRED FOR KITCHEN EQUIPMENT IN THIS AREA
 - (D25) DEMOLISH SLAB FOR NEW SCISSOR LIFT - REFERENCE NEW WORK
 - (D26) DEMOLISH CONCRETE BELOW STEEL AND GLASS TO F.F.E. AS REQUIRED FOR NEW WALL. COORDINATE WITH NEW WORK. PROVIDE TEMPORARY SUPPORT FOR UPPER WALL - REFERENCE NEW WORK/REFERENCE STRUCTURAL

MSR 710 South 2nd Street, 8th Floor
Minneapolis, Minnesota 55401-2282
Architecture 612 375 0336 tel
Interiors and 612 342 2216 fax
Urban Design www.msrdesign.com

MEP Engineer
MEP Associates, LLC
860 Blue Genian Rd #175
Eagan, MN 55121
651 379 9100 tel

Civil Engineer
Vierbicher
999 Fournier Dr, Suite 201,
Madison, WI 53717
608 826032 tel

Landscape Architect
Ken Saiki Design
1110 S. Park St.
Madison, WI 53715
608 251 3600 tel

Structural Engineering, Fire Protection Engineering,
Technology and A/E
IMEG Corporation, Inc.
1800 Deming Way, Suite 200,
Madison, WI 53752

Lighting Design
Mazzetti, Inc.
1600 Stout St, Suite 450
Denver, CO 80202
720 644 5044 tel

Commercial Kitchen Design
Boelter Premier
7120 Northland Terrace,
Minneapolis, MN 55428
763 544 8800 tel

MADISON PUBLIC MARKET
200 N First St, Madison, WI 53704

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin. ARCHITECT SEAL

Signature: _____
Print Names: _____
Date: _____ License No: _____

| ISSUE | MARK | DATE | DESCRIPTION |
|-------|------|------------|--|
| | | 06.04.2019 | SITE + BUILDING DESIGN 1 PRICING ISSUE |
| | | 06.12.2019 | UDC INFORMATIONAL SUBMISSION |

| | |
|---------------|----------------------------|
| PROJECT NO. | 2019006.00 |
| PROJECT PHASE | SITE AND BUILDING DESIGN 1 |
| DRAWN BY: | MSR |
| CHECKED BY: | MSR |

DEMOLITION ELEVATIONS

UDC05

© 2019 Copyright MSR, Design & Research, LLC. All Rights Reserved. 03/2019/006.00/UDC05/0001

MADISON PUBLIC MARKET
 200 N First St, Madison, WI 53704

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin. ARCHITECT SEAL.

Signature: _____
 Print Names: _____
 Date: _____ License No: _____

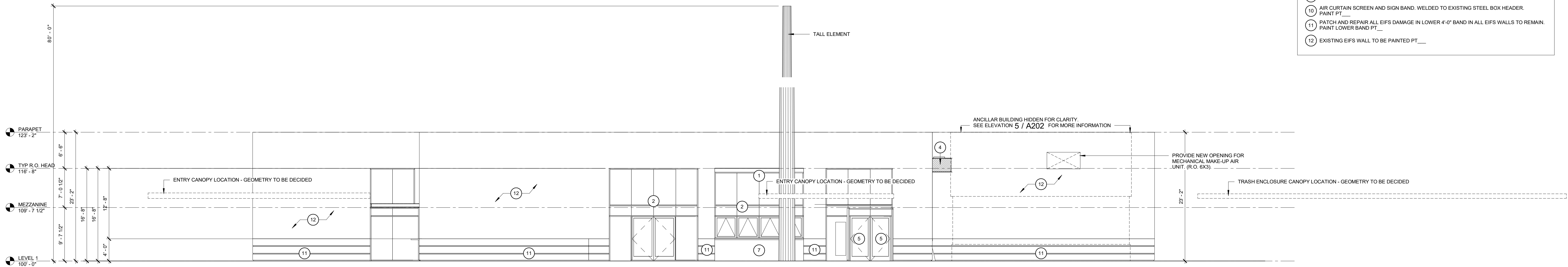
| ISSUE | MARK | DATE | DESCRIPTION |
|-------|------|------------|--|
| | | 06.04.2019 | SITE + BUILDING DESIGN 1 PRICING ISSUE |
| | | 06.12.2019 | UDC INFORMATIONAL SUBMISSION |

PROJECT NO: 2019006.00
 PROJECT PHASE: SITE AND BUILDING DESIGN 1
 DRAWN BY: MSR CHECKED BY: MSR
© 2019 MSR Group, Inc. All Rights Reserved.

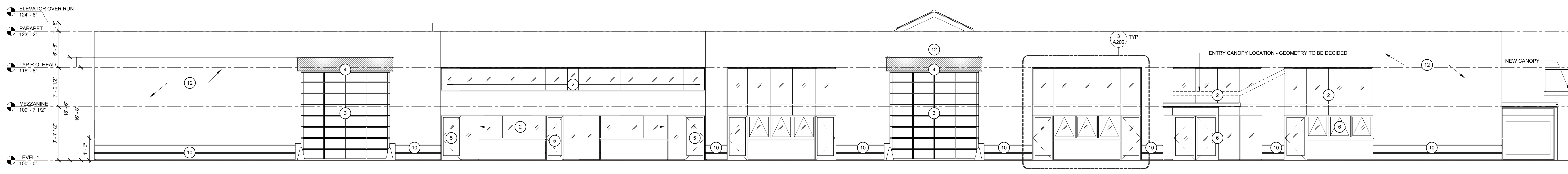
BUILDING ELEVATIONS

UDC06

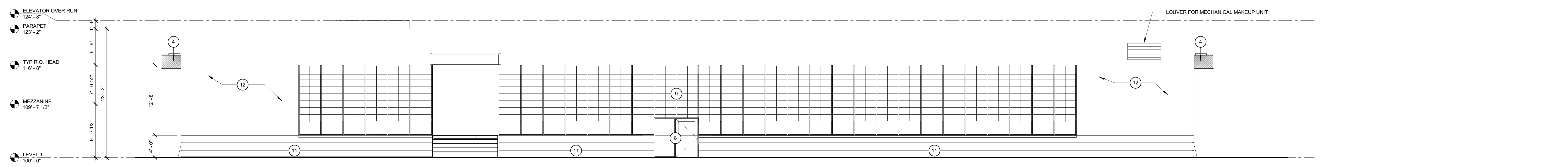
- KEYED NOTES (NEW CONSTRUCTION)**
- EXISTING STEEL BOX HEADER @ OPENING TO BE CLEANED AND PREPARED FOR NEW PAINTING AND WELDING. REF EXTERIOR DETAILS FOR NEW WELDED DETAILS. PAINT HEADERS PT___
 - NEW CURTAIN WALL SYSTEM TO BE INSTALLED IN EXISTING OPENING
 - NEW GARAGE DOOR TO BE INSTALLED IN EXISTING OPENING
 - NEW AIR CURTAIN TO BE ATTACHED TO FACE OF EXISTING WALL.
- BASIS OF DESIGN**
 MANUF: BERNER
 MODEL: INDUSTRIAL DIRECT DRIVE 20"
 PRODUCT No: IDC20
 INTAKE: TOP
 COLOR: CUSTOM POWDERCOAT
- NEW DOOR TO BE INSTALLED - REFER TO DOOR SCHEDULE
 - NEW DOUBLE DOOR TO BE INSTALLED - REFER TO DOOR SCHEDULE
 - NEW CONCRETE FOUNDATION WALL
 - EXISTING DOOR TO REMAIN
 - EXISTING STOREFRONT GLAZING SYSTEM TO REMAIN
 - AIR CURTAIN SCREEN AND SIGN BAND, WELDED TO EXISTING STEEL BOX HEADER. PAINT PT___
 - PATCH AND REPAIR ALL EIFS DAMAGE IN LOWER 4'-0" BAND IN ALL EIFS WALLS TO REMAIN. PAINT LOWER BAND PT___
 - EXISTING EIFS WALL TO BE PAINTED PT___



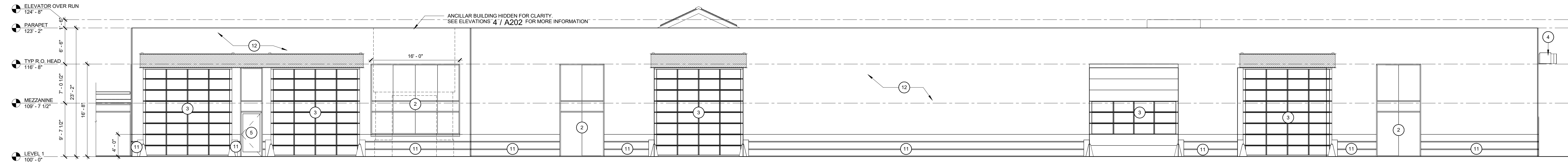
1 BUILDING NORTH ELEVATION - UDC
 UDC06 1/8" = 1'-0"



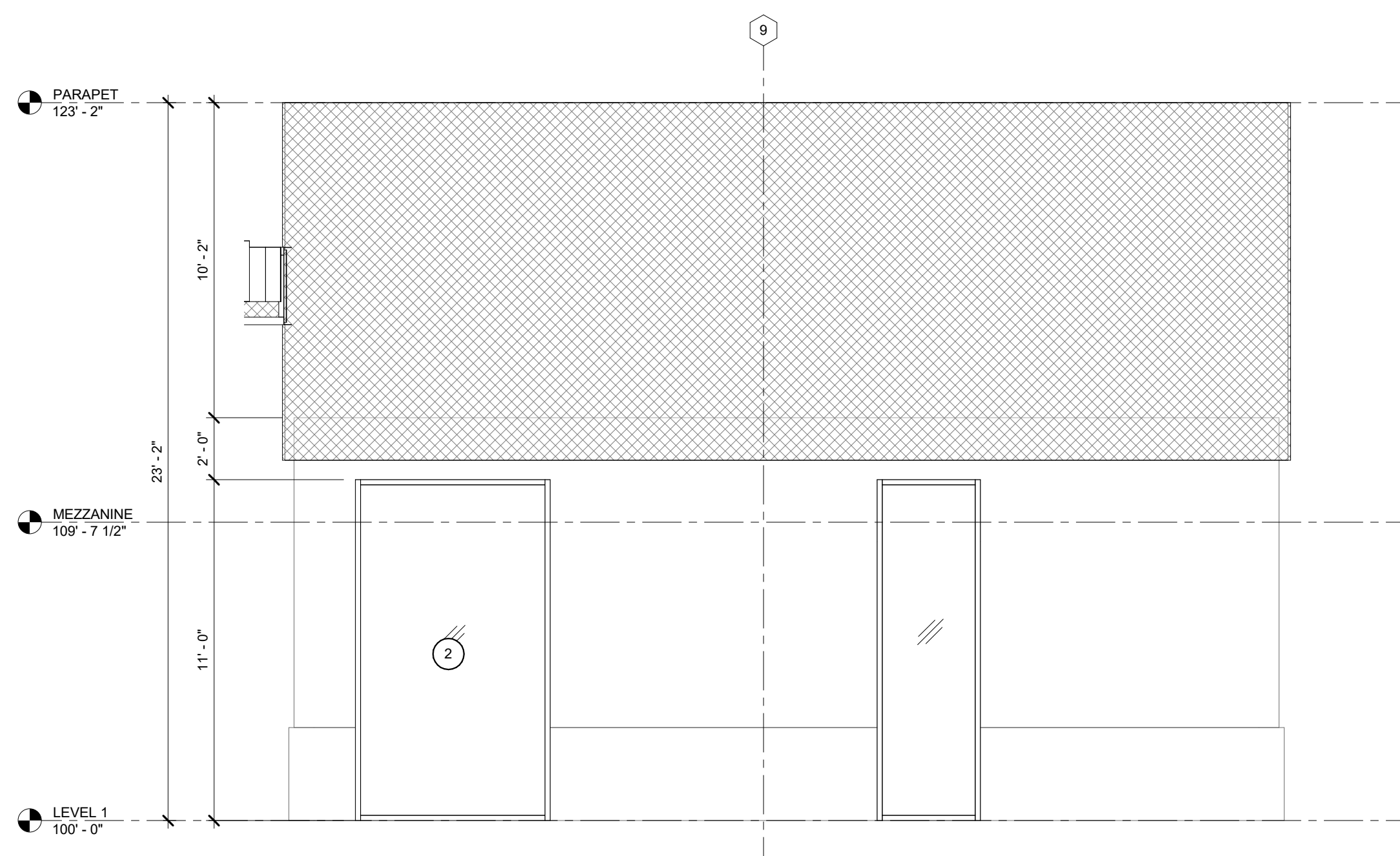
2 BUILDING EAST ELEVATION - UDC
 UDC06 1/8" = 1'-0"



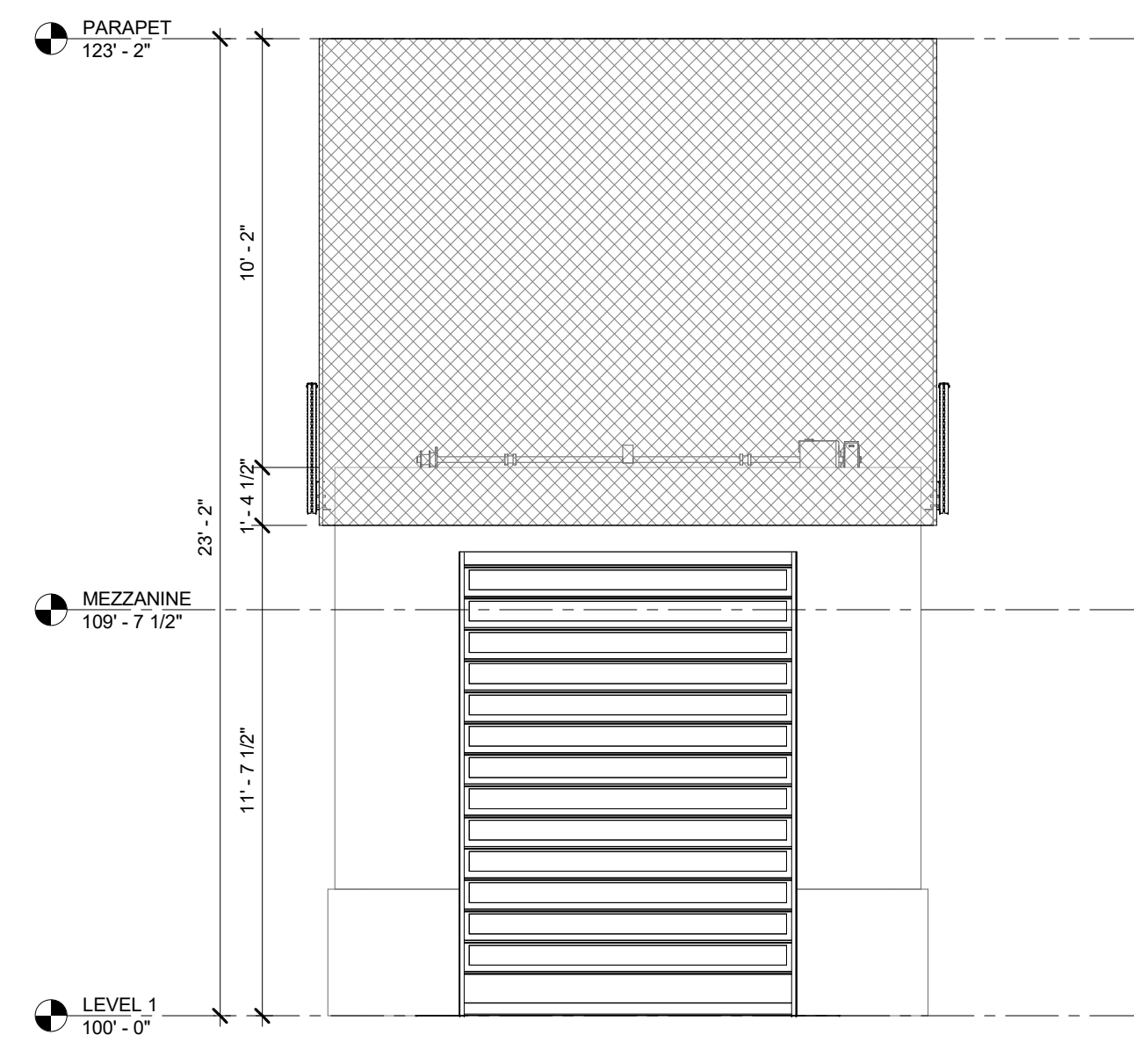
3 BUILDING SOUTH ELEVATION - UDC
 UDC06 1/8" = 1'-0"



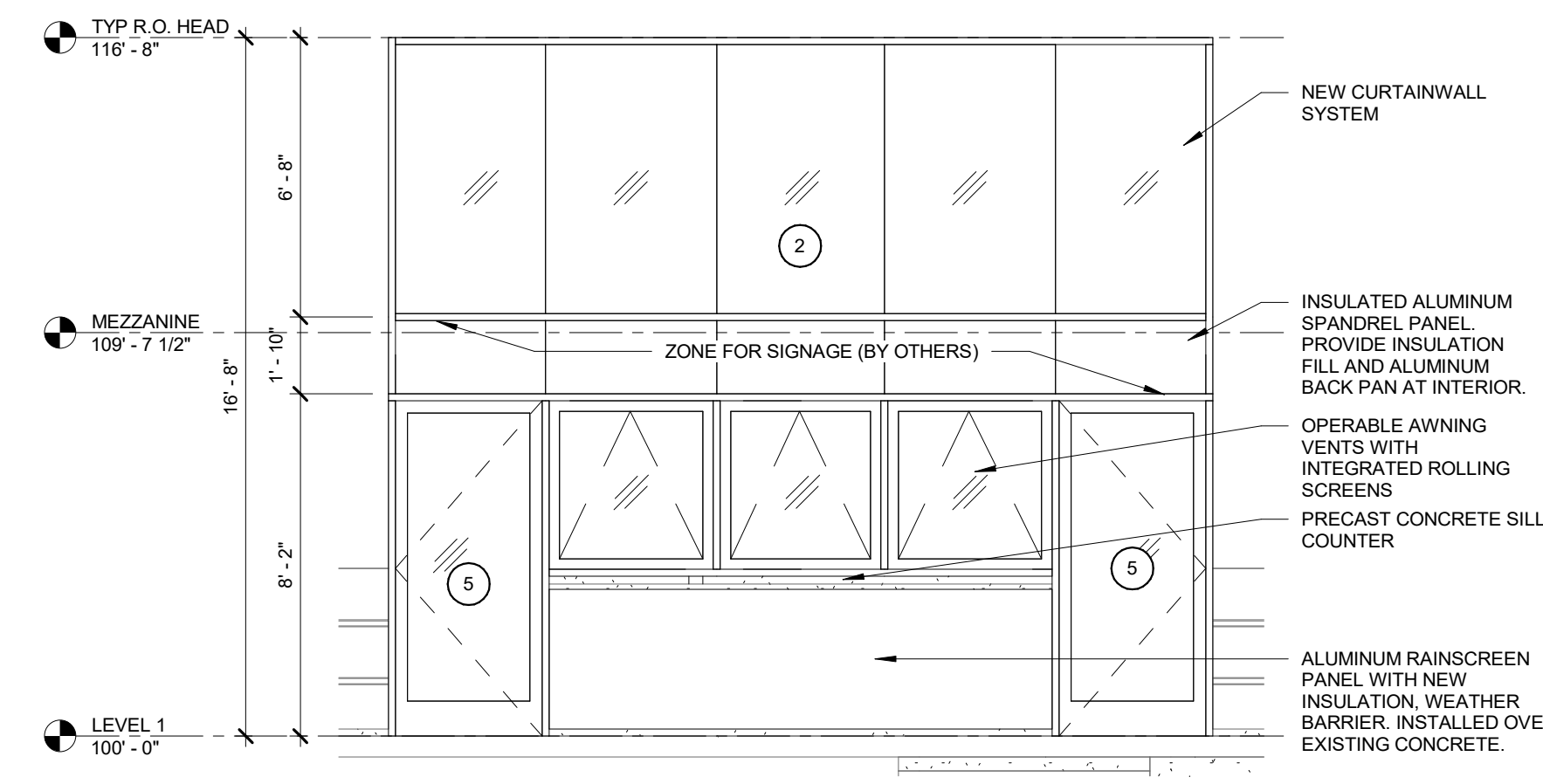
4 BUILDING WEST ELEVATION - UDC
 UDC06 1/8" = 1'-0"



1 ANCILLAR BUILDING NORTH ELEVATION - UDC
UDC07 1/4" = 1'-0"



2 ANCILLAR BUILDING EAST ELEVATION - UDC
UDC07 1/4" = 1'-0"



3 PARTIAL BUILDING EAST ELEVATION - CURTAINWALL SYSTEM INSERT, TYP. - UDC
UDC07 1/4" = 1'-0"

GENERAL NOTES

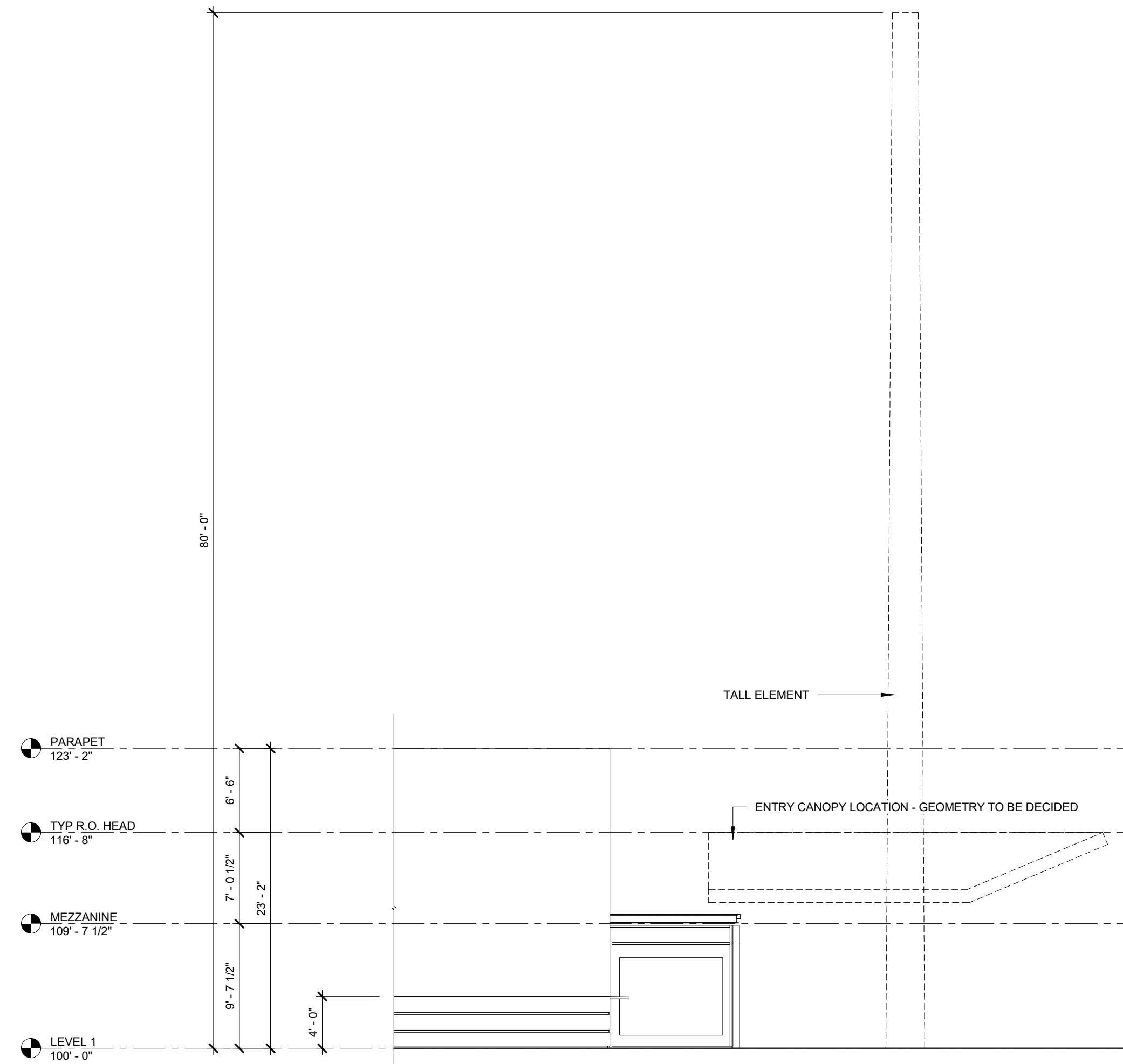
1. ALL EXISTING EIFS TO BE PAINTED. SEE ELEVATIONS FOR MORE INFORMATION.
2. SEE ARCHITECTURAL SITE PLAN FOR MORE INFORMATION ON EXTERIOR CANOPIES.

KEYED NOTES (NEW CONSTRUCTION)

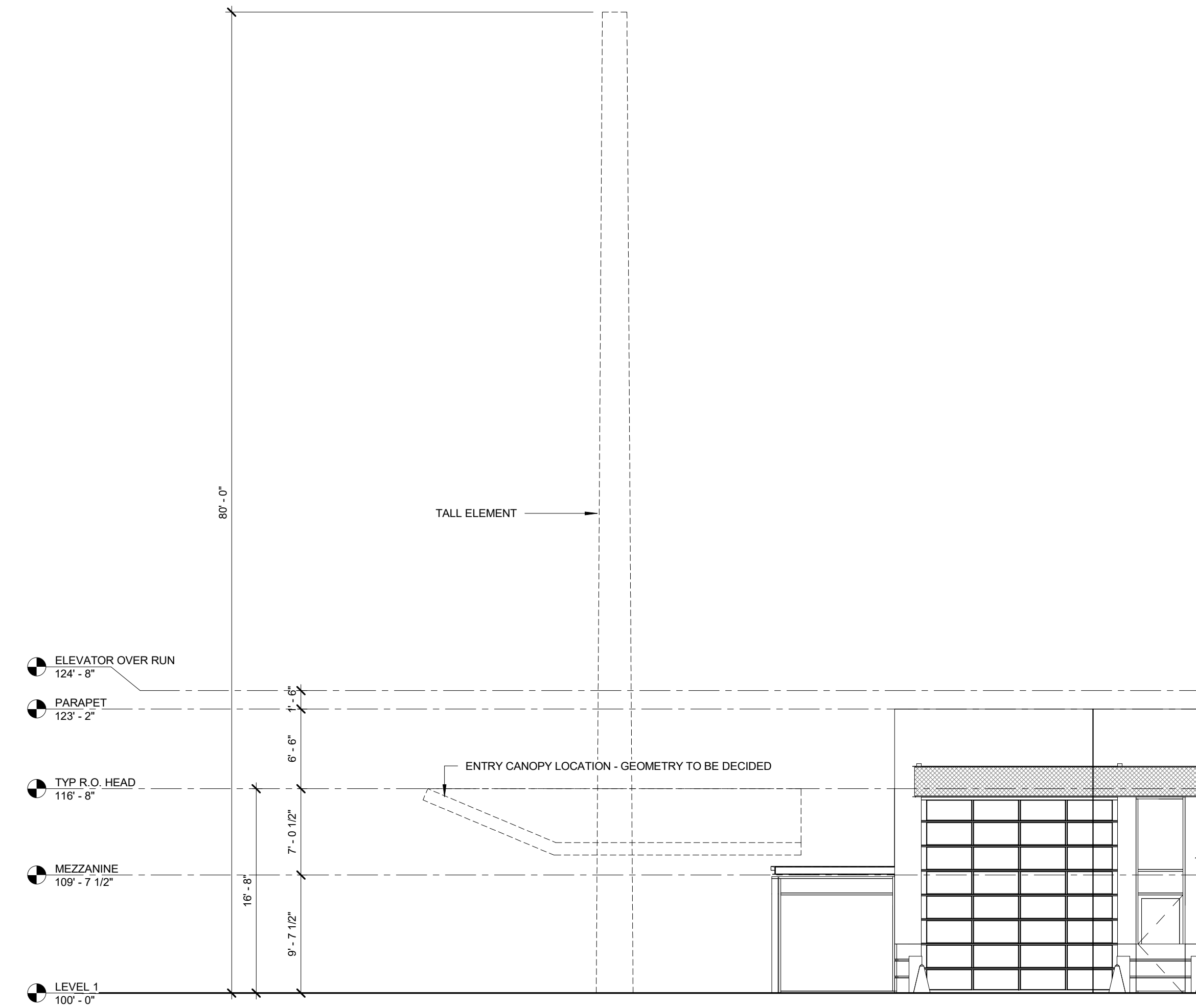
1. EXISTING STEEL BOX HEADER @ OPENING TO BE CLEANED AND PREPPED FOR NEW PAINTING AND WELDING. REF EXTERIOR DETAILS FOR NEW WELDED DETAILS. PAINT HEADERS PT ___
2. NEW CURTAIN WALL SYSTEM TO BE INSTALLED IN EXISTING OPENING
3. NEW GARAGE DOOR TO BE INSTALLED IN EXISTING OPENING
4. NEW AIR CURTAIN TO BE ATTACHED TO FACE OF EXISTING WALL.

BASIS OF DESIGN:
MANUFACTURER: MODEL INDUSTRIAL DIRECT DRIVE 20"
PRODUCT No. IDC30
INTAKE TOP
COLOR: CUSTOM POWDERCOAT

5. NEW DOOR TO BE INSTALLED - REFER TO DOOR SCHEDULE
6. NEW DOUBLE DOOR TO BE INSTALLED - REFER TO DOOR SCHEDULE
7. NEW CONCRETE FOUNDATION WALL
8. EXISTING DOOR TO REMAIN
9. EXISTING STOREFRONT GLAZING SYSTEM TO REMAIN
10. AIR CURTAIN SCREEN AND SIGN BAND. WELDED TO EXISTING STEEL BOX HEADER. PAINT PT.
11. PATCH AND REPAIR ALL EIFS DAMAGE IN LOWER 4'-0" BAND IN ALL EIFS WALLS TO REMAIN. PAINT LOWER BAND PT. ___
12. EXISTING EIFS WALL TO BE PAINTED PT. ___



4 PARTIAL EAST ELEVATION - CANOPY AND MAST - UDC
UDC07 1/8" = 1'-0"



5 PARTIAL WEST ELEVATION - CANOPY AND MAST - UDC
UDC07 1/8" = 1'-0"

MSR 710 South 2nd Street, 8th Floor
Minneapolis, Minnesota 55401-2282
Architecture 612 375 0336 tel
Interiors and 612 342 2216 fax
Urban Design www.msrdesign.com

MEP Engineer
MEP Associates, LLC

860 Blue Genian Rd #175
Eagan, MN 55121
651 379 9100 tel

Civil Engineer
Vierbicher

999 Fournier Dr, Suite 201,
Madison, WI 53717
608 8260332 tel

Landscape Architect
Ken Saiki Design

1110 S. Park St
Madison, WI 53715
608 251 3600 tel

Structural Engineering, Fire Protection Engineering,
Technology and A/E
IMEG Corporation, Inc.

1800 Deming Way, Suite 200,
Madison, WI 53562

Lighting Design
Mazzetti, Inc.

1600 Stout St, Suite 450
Denver, CO 80202
720 644 5044 tel

Commercial Kitchen Design
Boelter Premier

7120 Northland Terrace,
Minneapolis, MN 55428
763 544 8800 tel

MADISON PUBLIC MARKET

200 N First St, Madison, WI 53704

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin. ARCHITECT SEAL

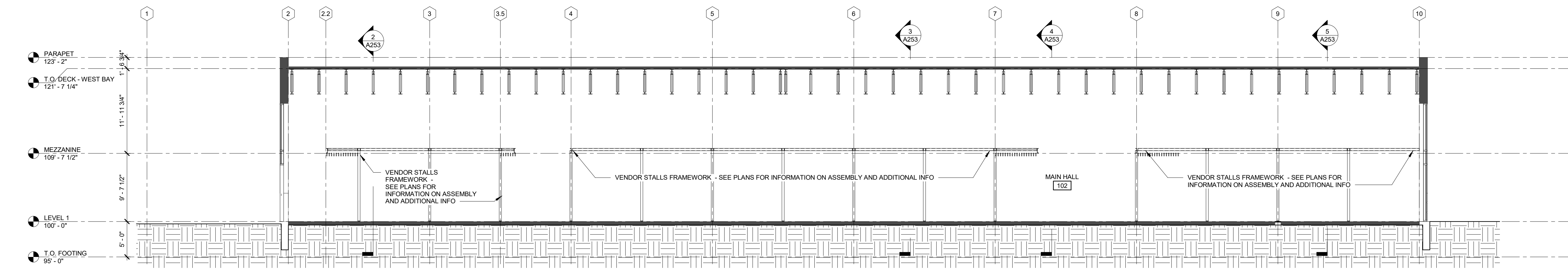
Signature: _____
Print Names: _____
Date: _____ License No. _____

| ISSUE | MARK | DATE | DESCRIPTION |
|-------|------|------------|--|
| | | 06.04.2019 | SITE + BUILDING DESIGN 1 PRICING ISSUE |
| | | 06.12.2019 | UDC INFORMATIONAL SUBMISSION |

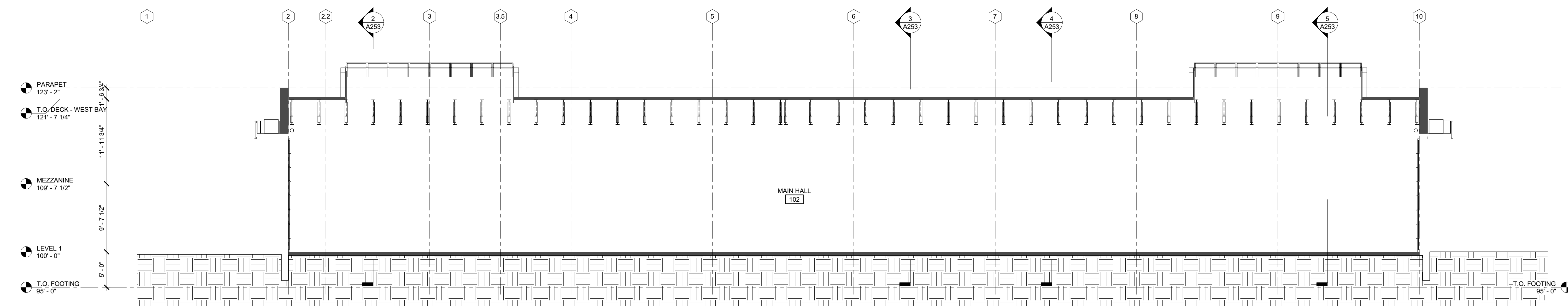
PROJECT NO. 2019006.00
PROJECT PHASE SITE AND BUILDING DESIGN 1
DRAWN BY: MSR CHECKED BY: MSR
Issued 2019 Copyright West, Sherrin & Associates, Ltd.

BUILDING ELEVATIONS

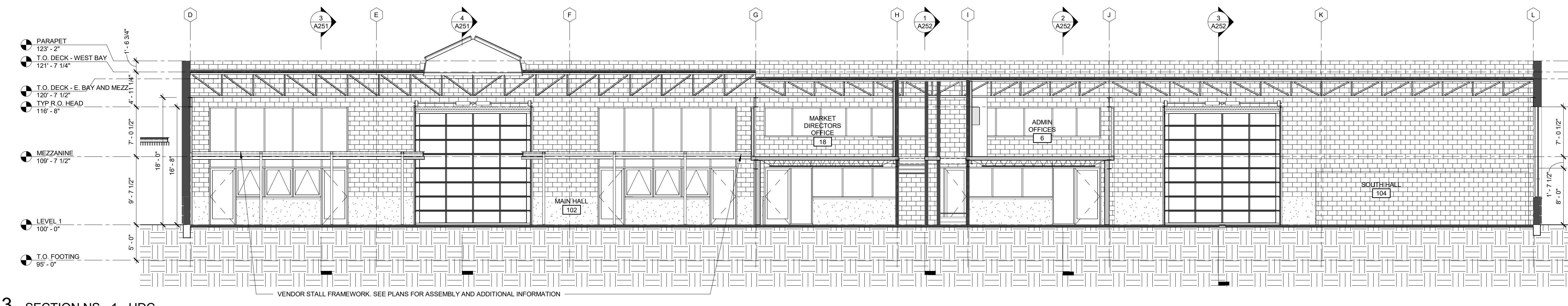
UDC07



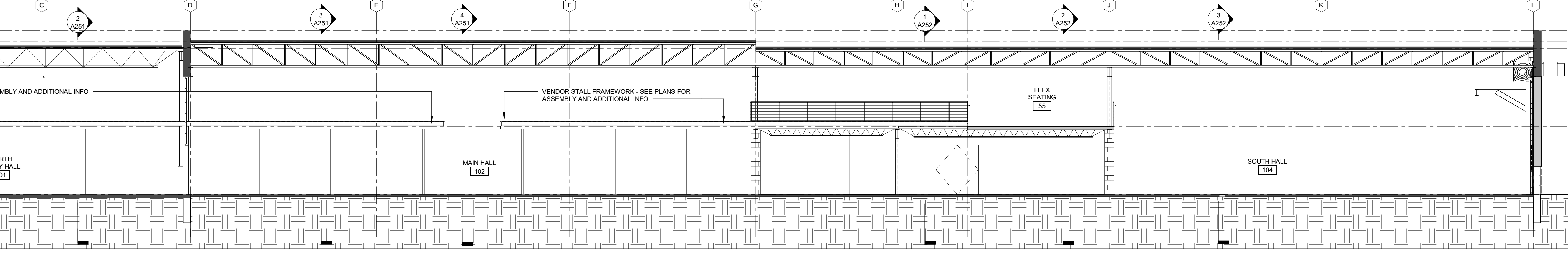
1 SECTION - EW - NORTH BAY1 - UDC
UDC08 1/8" = 1'-0"



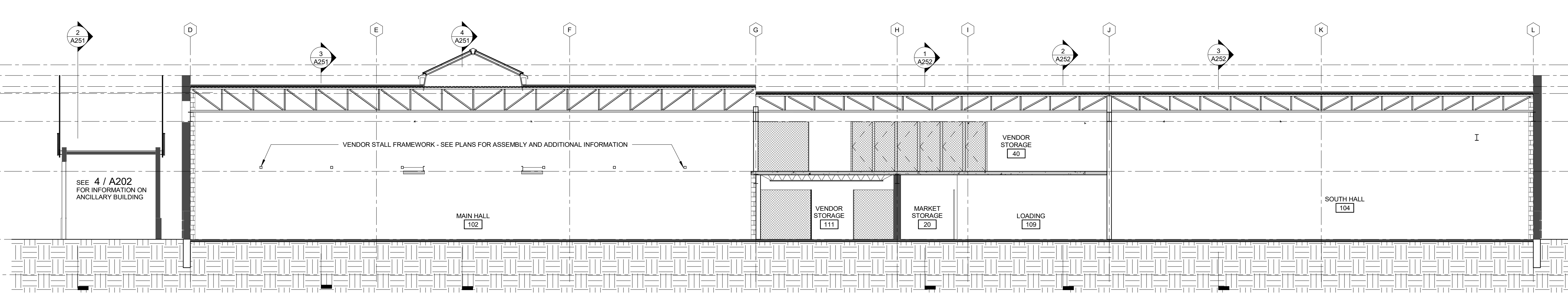
2 SECTION - EW - NORTH BAY - UDC
UDC08 1/8" = 1'-0"



3 SECTION NS - 1 - UDC
UDC08 1/8" = 1'-0"



4 SECTION NS - 3 - UDC
UDC08 1/8" = 1'-0"



5 SECTION NS - 4 - UDC
UDC08 1/8" = 1'-0"

MADISON PUBLIC MARKET
200 N First St, Madison, WI 53704

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin. ARCHITECT SEAL.

Signature: _____
Print Name: _____
Date: _____ License No: _____

| MARK | DATE | DESCRIPTION |
|------------|------------|--|
| 06.04.2019 | 06.04.2019 | SITE + BUILDING DESIGN 1 PRICING ISSUE |
| 06.12.2019 | 06.12.2019 | UDC INFORMATIONAL SUBMISSION |

PROJECT NO: 2019006.00
PROJECT PHASE: SITE AND BUILDING DESIGN 1
DRAWN BY: MSR CHECKED BY: MSR
Drawing ©2019 Copyright West, Shuman & Rasmussen, LLC

BUILDING SECTIONS

UDC08