



Location
1701 Wright Street

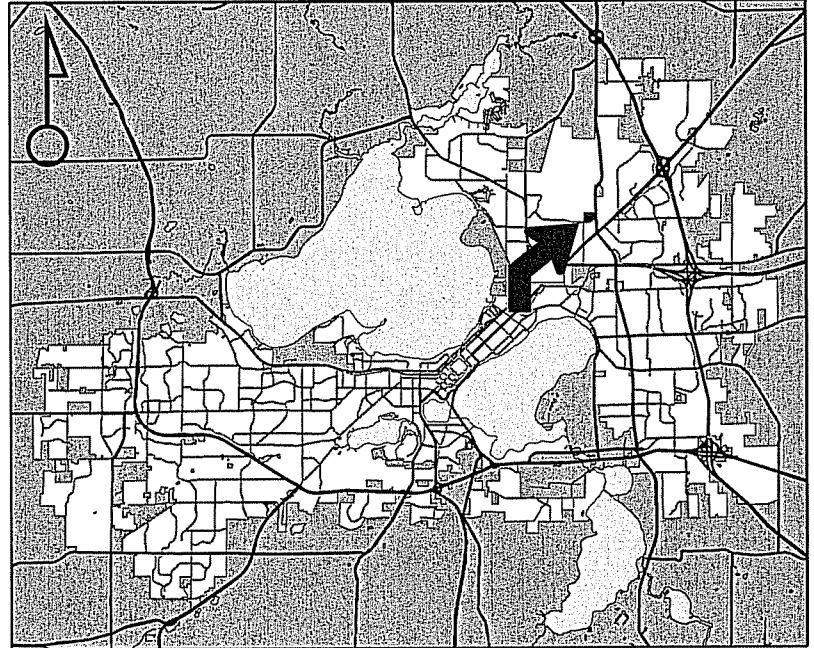
Project Name
Madison College Cullinary
Addition & Renovation

Applicant
Mark Thomas Jr-Madison College/
Hamid Noughani-Assemblage Architects

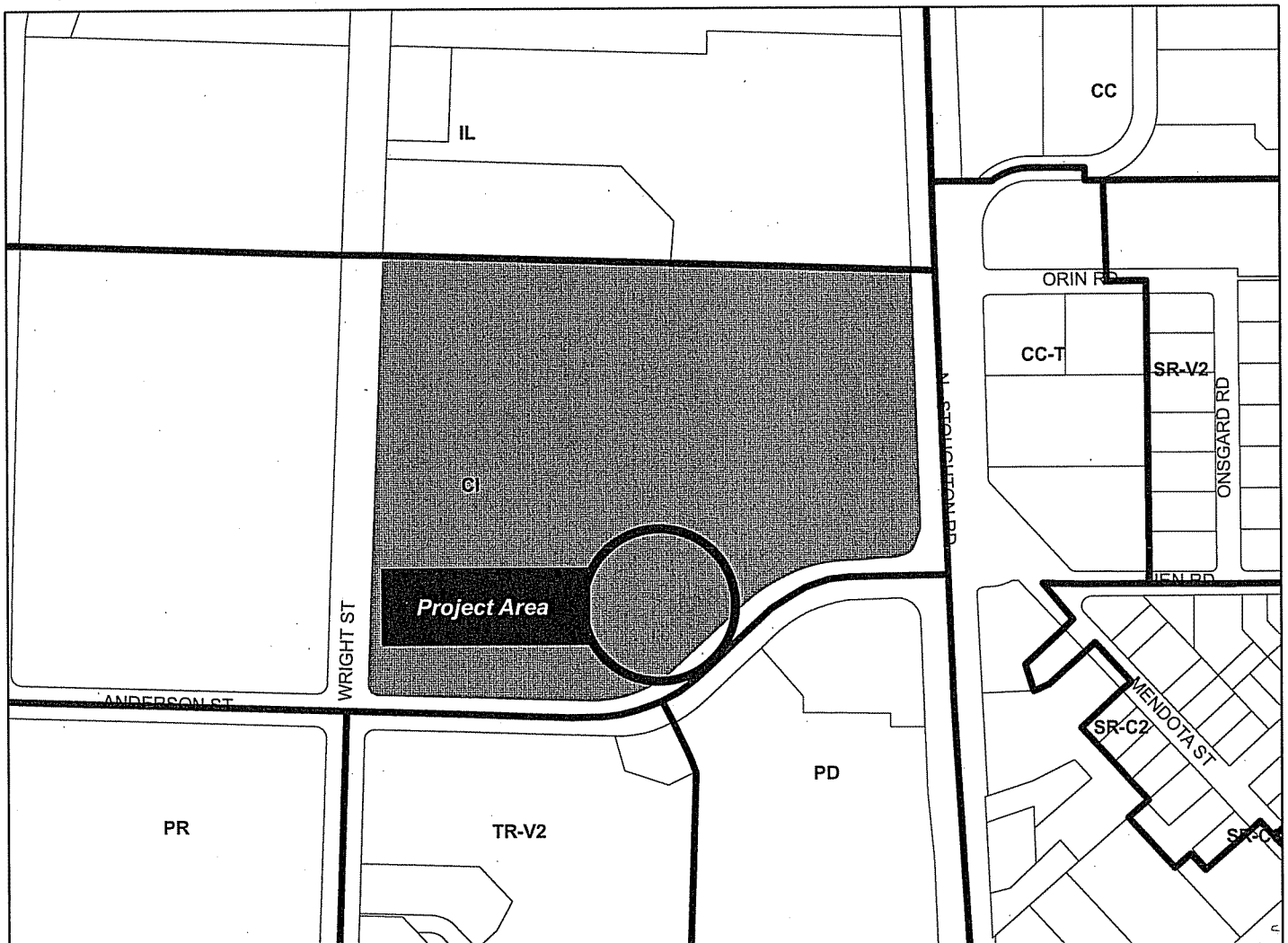
Existing Use
Madison College

Proposed Use
Construct classroom addition at Madison
College exceeding 4,000 sq. ft. in CI zoning

Public Hearing Date
Plan Commission
18 May 2015

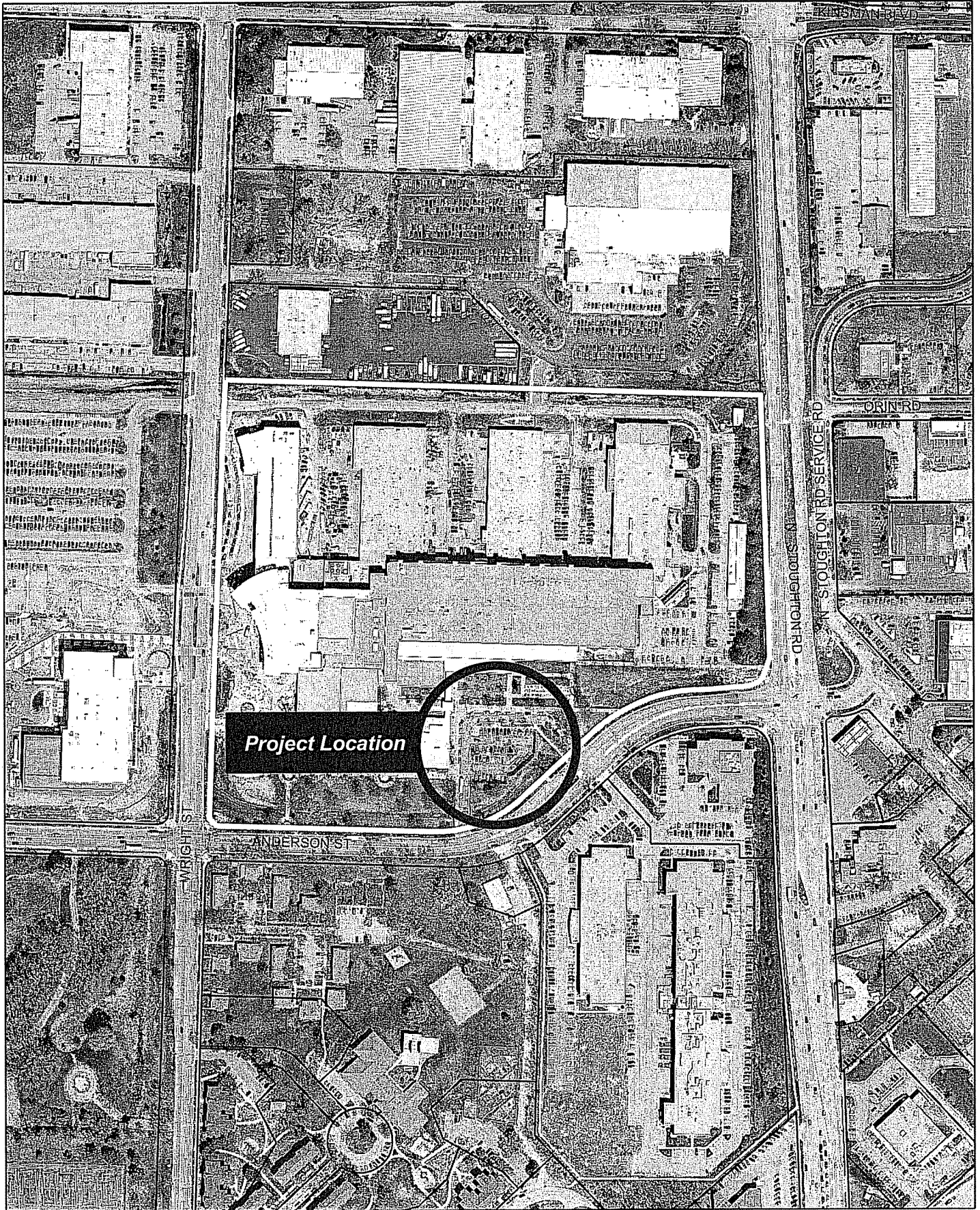


For Questions Contact:Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 13 May 2015





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid <u>600</u>	Receipt No. <u>001699-</u>
Date Received <u>3/4/15</u>	<u>0003</u>
Received By <u>JL</u>	
Parcel No. <u>0810-294-0086-9</u>	
Aldermanic District <u>12-Larry Palm</u>	
Zoning District <u>C1</u>	
Special Requirements <u>CU</u>	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 1701 Wright Street, Madison WI 53704
Project Title (if any): Madison College Culinary Addition and Renovation

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Mark Thomas Jr **Company:** Madison College
Street Address: 1701 Wright Street **City/State:** Madison WI **Zip:** 53704
Telephone: (608) 246-6301 **Fax:** (608) 246-6331 **Email:** mthomasjr@madisoncollege.edu

Project Contact Person: Hamid Noughani **Company:** Assemblage Architects
Street Address: 7427 Elmwood Avenue **City/State:** Middleton, WI **Zip:** 53562
Telephone: (608) 827-5047 **Fax:** (608) 827-6960 **Email:** noughani@assemblagearchitects.com

Property Owner (if not applicant): _____
Street Address: _____ **City/State:** _____ **Zip:** _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Building addition to the south portion of the existing building infill between to the administration building and interior renovations.

Development Schedule: Commencement _____ Completion _____

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altere buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| ◦ Project Team | ◦ Building Square Footage | ◦ Value of Land |
| ◦ Existing Conditions | ◦ Number of Dwelling Units | ◦ Estimated Project Cost |
| ◦ Project Schedule | ◦ Auto and Bike Parking Stalls | ◦ Number of Construction & Full-Time Equivalent Jobs Created |
| ◦ Proposed Uses (and ft ² of each) | ◦ Lot Coverage & Usable Open Space Calculations | ◦ Public Subsidy Requested |
| ◦ Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations


Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Al Martin Date: 11-10-2014 Zoning Staff: _____ Date: _____

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Mark Thomas Jr Relationship to Property: Owner
Authorizing Signature of Property Owner  Date 3.3.15 15

Madison College - Culinary Addition and Renovation
1701 Wright Street, Madison, WI

Letter of intent:

Project Team

Architect Assemblage Architects – architecture
Engineers Henneman Engineering – plumbing, fire protection, electrical, IT
Pearson Engineering – mechanical
JSD Professional Services – civil, landscape, and site
Gunnar Malm and Associates – Structural
EF Whitney – food service

Construction Manager: JH Findorff

Exiting condition: The building houses Madison College curriculum and staff. The existing three story steel framed building with exterior brick envelope was constructed in the 1980's. The building has undergone renovations and additions over the years.

Project Schedule: Project will be phase as the building will remain occupied. Anticipated time frame is August 2015-December 2017

Proposed Uses: The new addition will house an expanded culinary program, student food service and associated seating area, lobby and lounges replace those displaced. The renovated area will relocate the Barber/Cosmetology program, student services programs, and office and conference rooms displaced.

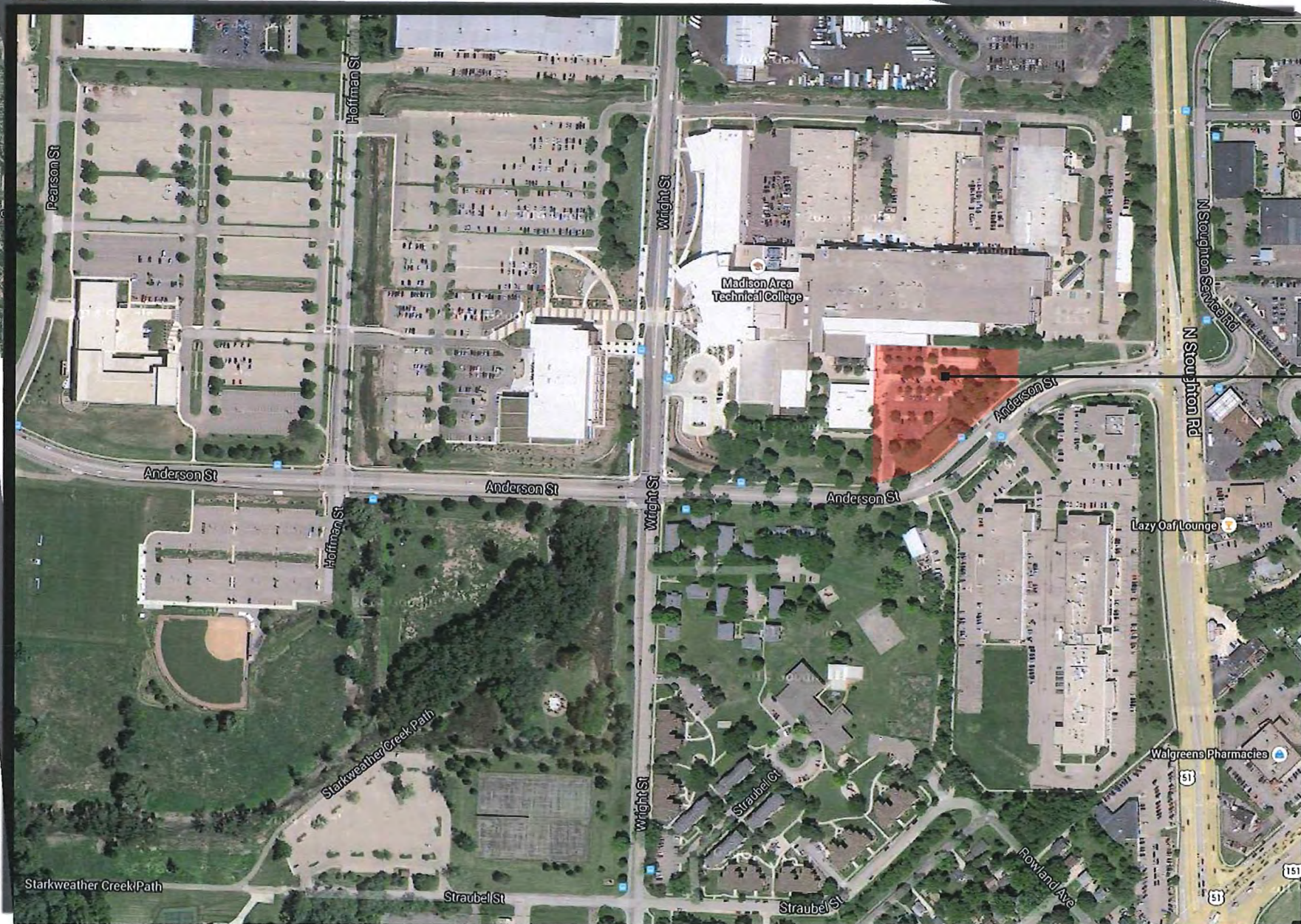
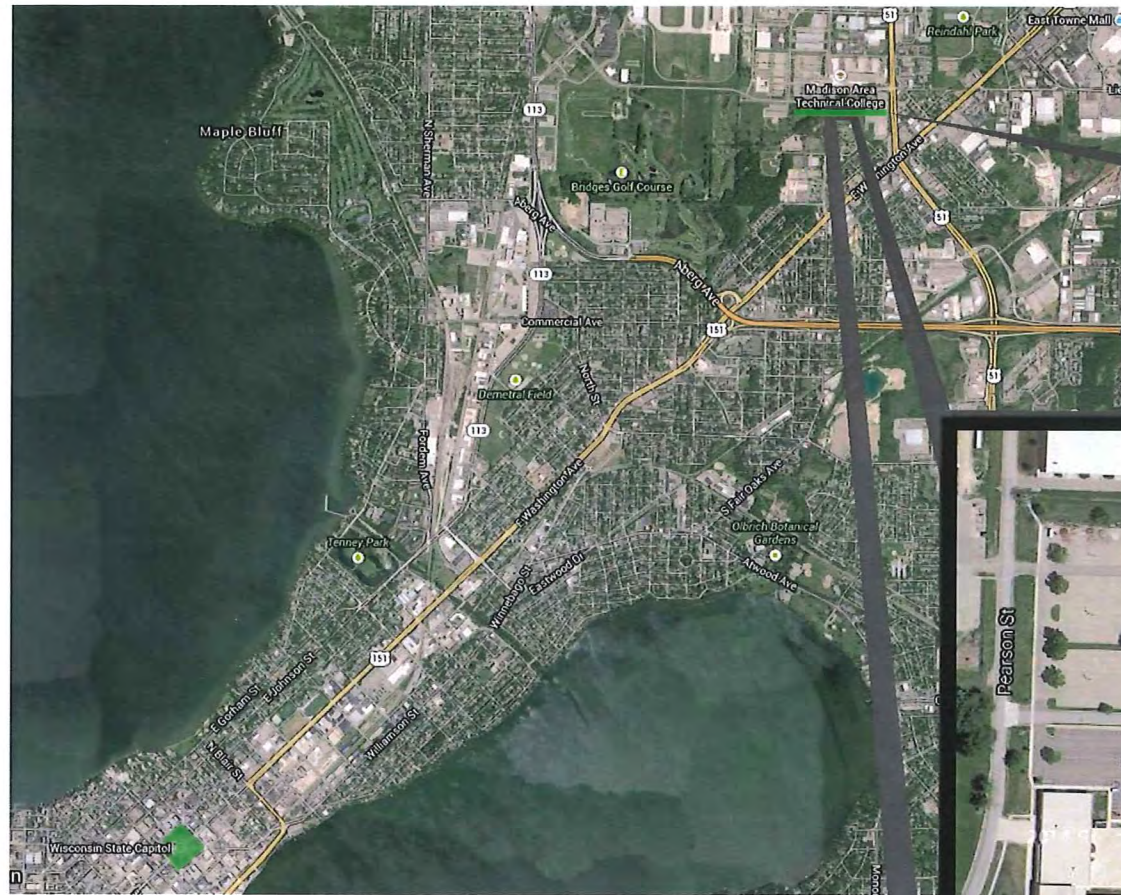
Parking information: Refer to C200

Impervious area: The impervious area within the limits of disturbance for this project on the Madison College Campus includes an existing impervious total of 49,179 SF or 1.129 Acres and a proposed impervious total of 49,798 SF or 1.143 Acres. The proposed impervious area is a function of expanded building footprint and reconfiguration of the existing parking lot. Stormwater management requirements will be met with existing onsite facilities serving the existing impervious area for redevelopment requirements. The proposed impervious area will utilize the existing storm conveyance system and bioretention serving this part of campus.

Hours of Operation: The building is open 7 am to 10 pm Monday – Friday and 7 am to 3 pm Saturday and Sunday.

Overall Building Square Footage: 980,000 SF (including proposed addition)

Estimated construction Cost: \$27 M



PROJECT AREA

SITE LOCATOR MAP



assemblageARCHITECTS
 7427 Elmwood Avenue, Middleton, Wisconsin 608 827 5047
 HOME WORK CV

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners



EXISTING ADMINISTRATION BUILDING ENTRY



EXISTING ADMINISTRATION BUILDING ENTRY

EXISTING CONTEXT



MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



Gateway Building



Health Services Building



Protective Services Building

MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



Foundation Building



Student Housing

MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS

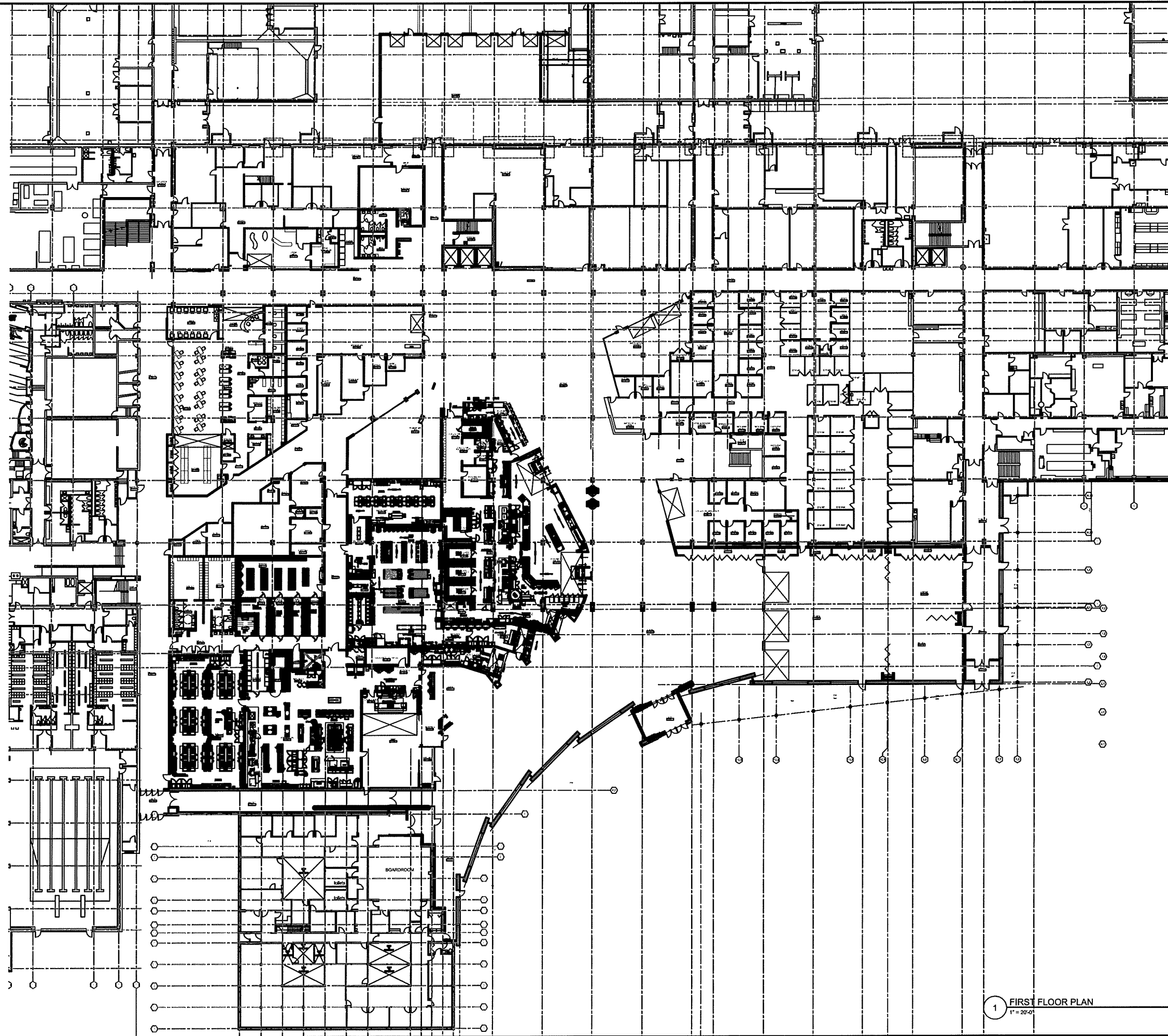


SITE CONTEXT - EXISTING SOUTH ENTRY

3-5-2015

assemblage ARCHITECTS
7427 Elmwood Avenue, Middleton, Wisconsin 608.827.5047

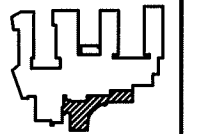
JSD Professional Services, Inc.
• Engineers • Surveyors • Planners



MADISON COLLEGE
 TRUAX BUILDING
 CULINARY ADDITION AND
 RENOVATIONS
 Madison, Wisconsin

Issued for: UDC INITIAL / FINAL
 Issue date: 03-05-2015
 AA Project No.: 2014-04
 MC Project No.: B15-001
 Bid Pkg No.:

REVISION	DATE



assemblage
 ARCHITECTS
 7427 Elmwood Avenue
 Middleton, WI 53562
 T 608.827.5047

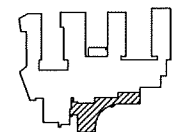
SCALE
 1" = 20'-0"

SHEET TITLE
 OVERALL FIRST FLOOR PLAN

SHEET NUMBER
 A100

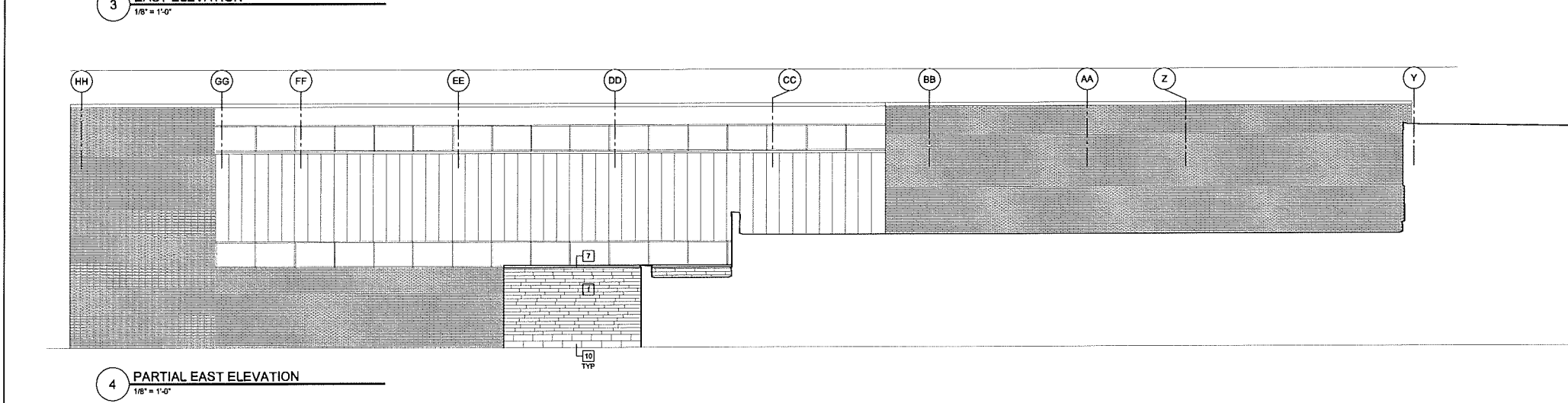
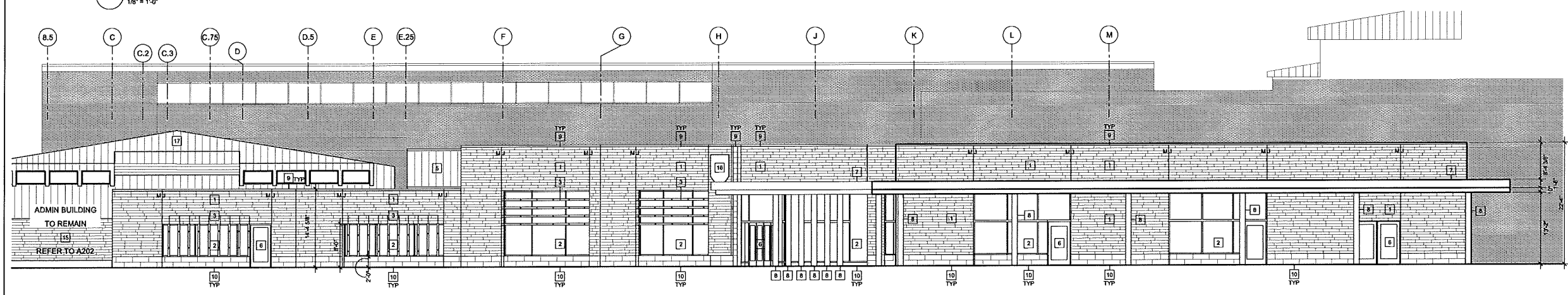
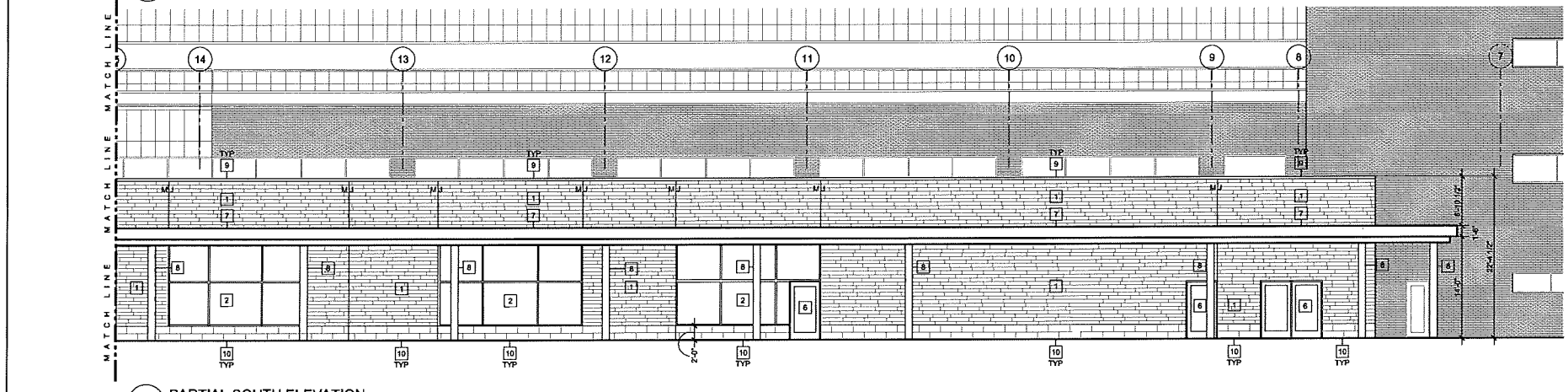
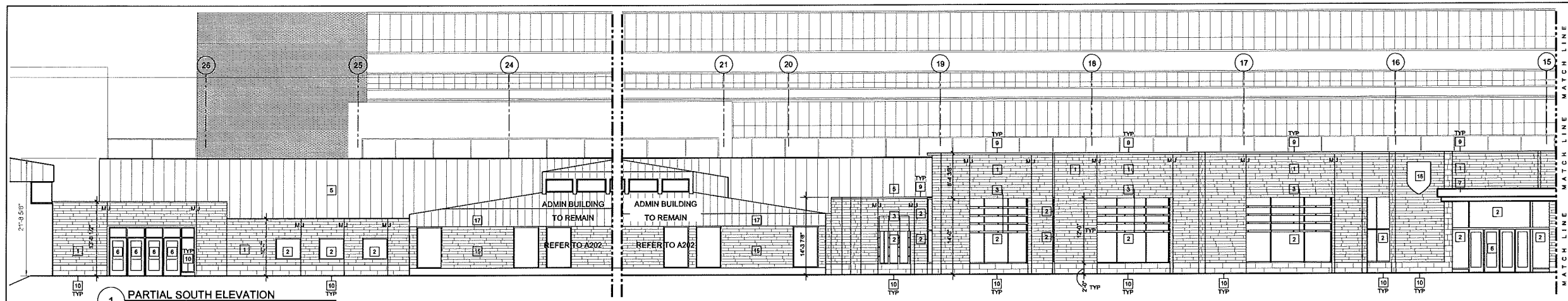
1 FIRST FLOOR PLAN
 1" = 20'-0"

REVISION	DATE



assemblage
ARCHITECTS
7427 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047

SCALE	1/8" = 1'-0"
SHEET TITLE	BUILDING ELEVATIONS
SHEET NUMBER	A201



- KEYNOTES**
- 1] STONE MASONRY SYSTEM
 - 2] CURTAIN WALL SYSTEM
 - 3] SHADING DEVICE
 - 4] CONTROL JOINT
 - 5] METAL PANEL FACADE SYSTEM
 - 6] EXTERIOR DOOR AS SCHEDULED
 - 7] METAL CANOPY SYSTEM
 - 8] CONCRETE COLUMN
 - 9] ARCHITECTURAL PRECAST COPING SYSTEM
 - 10] CUT STONE CURB SYSTEM STACK BOND
 - 11] OVERHEAD DOOR AS SCHEDULED
 - 12] PAINTED STEEL RAILING
 - 13] CONCRETE LOADING DOCK WALL
 - 14] LOADING DOCK EQUIPMENT AS SCHEDULED
 - 15] NEW 4" LIMESTONE ON EXISTING METAL FRAMING
 - 16] SIGNAGE, COORDINATE WITH OWNER
 - 17] METAL ROOF SYSTEM ON EXISTING STEEL FRAME

MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS

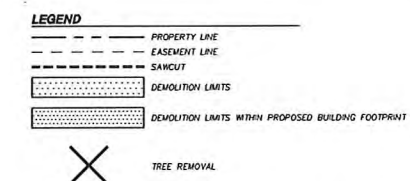
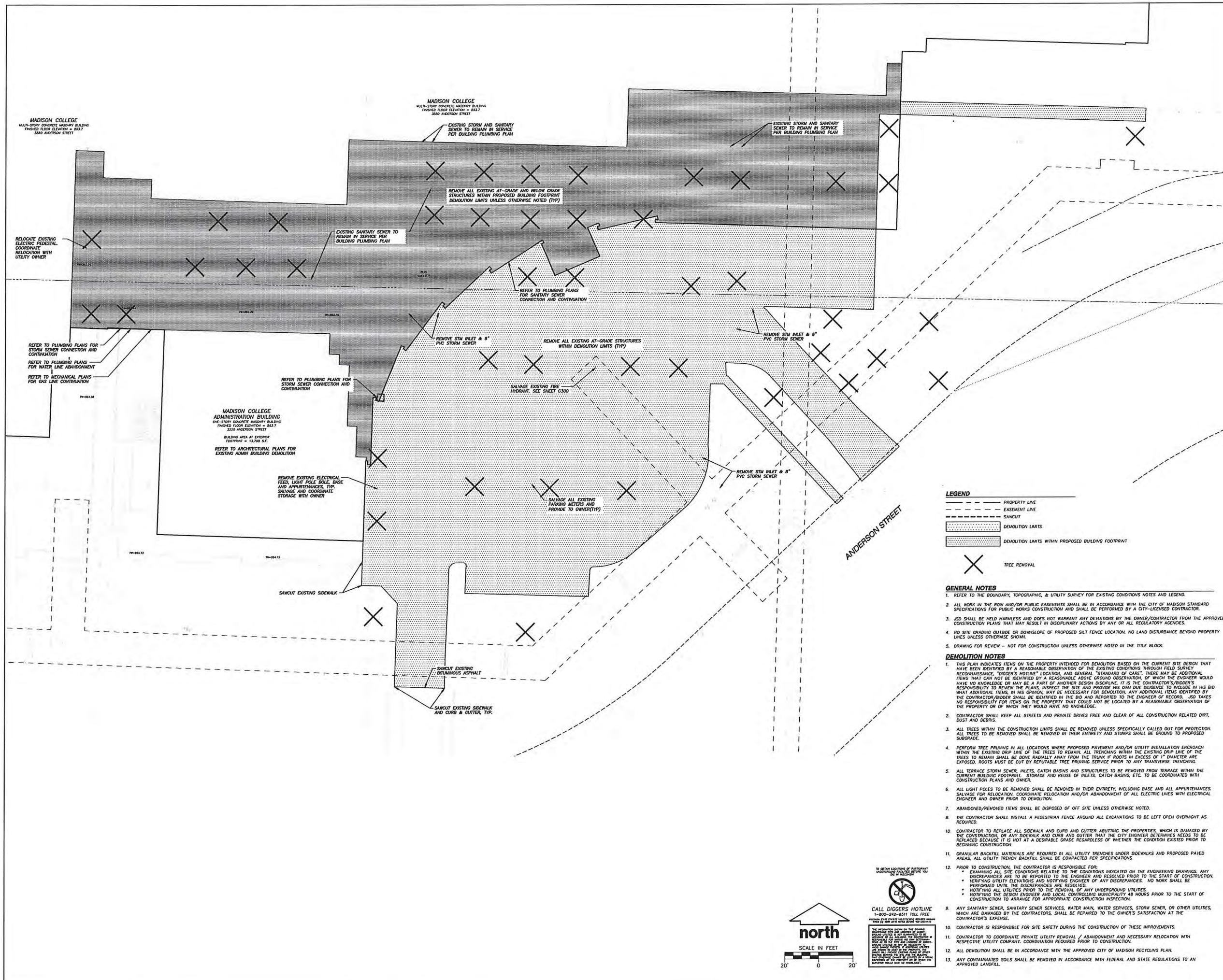
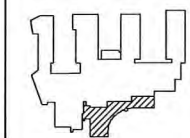


MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS





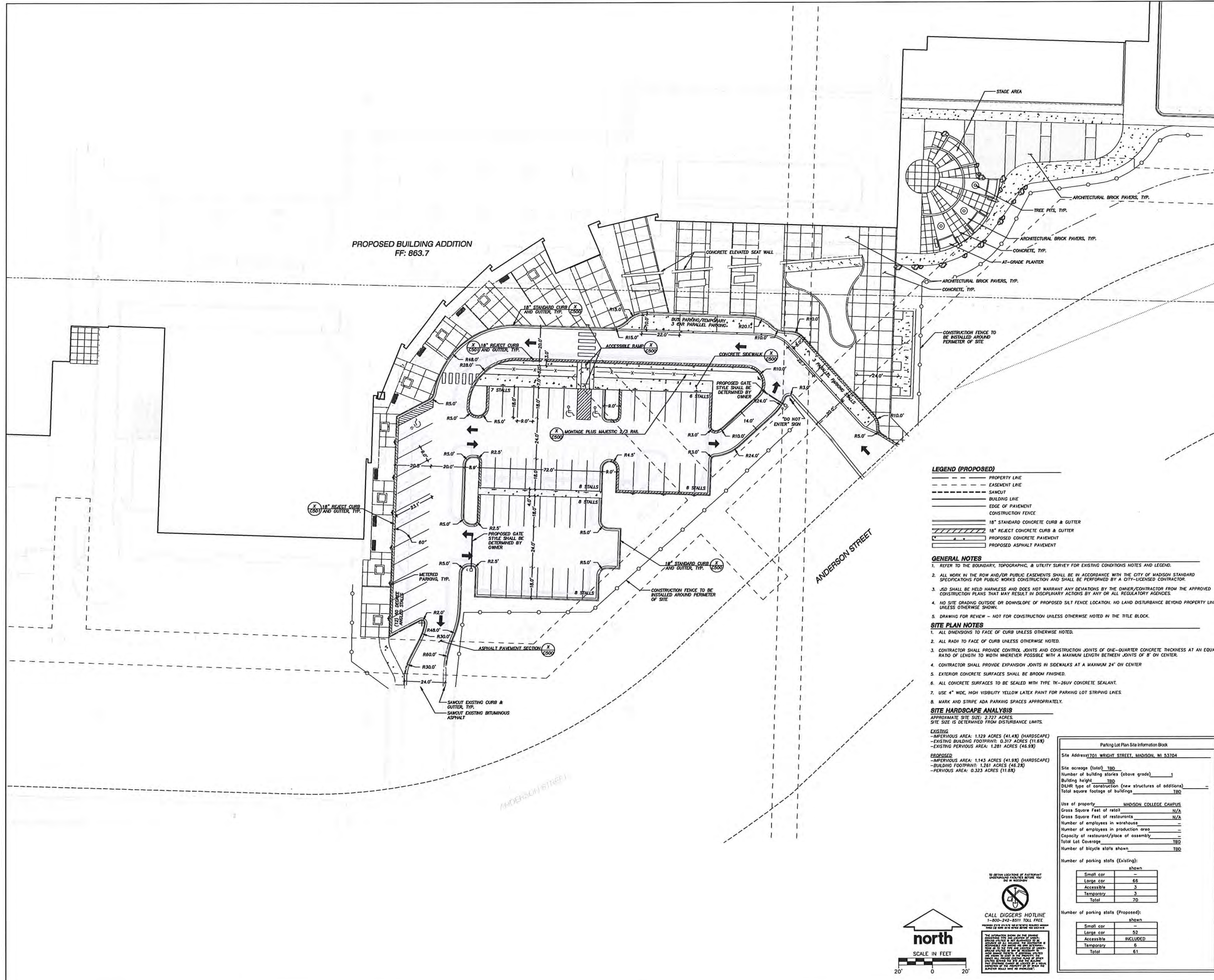
- GENERAL NOTES**
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SUT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

- DEMOLITION NOTES**
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS ORIGINAL, MAY BE NECESSARY FOR REMOVAL. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
 - CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
 - ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
 - PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENDOURCH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALY AWAY FROM THE TRUNK. IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED, ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCING.
 - ALL TERRACE STORM SEWER, INLETS, CATCH BASINS AND STRUCTURES TO BE REMOVED FROM TERRACE WITHIN THE CURRENT BUILDING FOOTPRINT. STORAGE AND REUSE OF INLETS, CATCH BASINS, ETC. TO BE COORDINATED WITH CONSTRUCTION PLANS AND OTHER.
 - ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
 - ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
 - CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ADJUTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
 - CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY, COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
 - ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED CITY OF MADISON RECYCLING PLAN.
 - ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.



TO OBTAIN LOCATIONS OF PARTIAL UTILITY LOCATIONS BEFORE YOU DIG, CALL THE DIGGER'S HOTLINE 1-800-242-8511 TOLL FREE. **CALL DIGGERS' HOTLINE** 1-800-242-8511 TOLL FREE. **DO NOT DIG UNTIL YOU HAVE CALLED THE DIGGER'S HOTLINE.**

PROPOSED BUILDING ADDITION
FF: 863.7



LEGEND (PROPOSED)

- PROPERTY LINE
- EASEMENT LINE
- SAWCUT
- BUILDING LINE
- EDGE OF PAVEMENT
- CONSTRUCTION FENCE
- 18" STANDARD CONCRETE CURB & GUTTER
- 18" RELECT CONCRETE CURB & GUTTER
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

- GENERAL NOTES**
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 - ASD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - NO SITE GRADING OUTSIDE OR DOWNDROPE OF PROPOSED S&T FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

- SITE PLAN NOTES**
- ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE IV-28UV CONCRETE SEALANT.
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR PARKING LOT STRIPING LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.

SITE HARDSCAPE ANALYSIS

APPROXIMATE SITE SIZE: 2.727 ACRES
SITE SIZE IS DETERMINED FROM DISTURBANCE LIMITS.

EXISTING

- PERVIOUS AREA: 1.129 ACRES (41.4%) (HARDSCAPE)
- EXISTING BUILDING FOOTPRINT: 0.317 ACRES (11.6%)
- EXISTING PERVIOUS AREA: 1.281 ACRES (46.9%)

PROPOSED

- PERVIOUS AREA: 1.143 ACRES (41.9%) (HARDSCAPE)
- BUILDING FOOTPRINT: 1.261 ACRES (46.2%)
- PERVIOUS AREA: 0.323 ACRES (11.8%)

Parking Lot Plan Site Information Block

Site Address: 1701 WRIGHT STREET, MADISON, WI 53704

Site acreage (total) TBD
Number of building stories (above grade) 1
Building height TBD
DILHR type of construction (new structures or additions) ---
Total square footage of buildings TBD

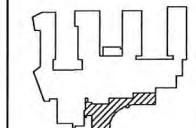
Use of property MADISON COLLEGE CAMPUS
Gross Square Feet of retail N/A
Gross Square Feet of restaurants N/A
Number of employees in warehouses ---
Number of employees in production area ---
Capacity of restaurant/place of assembly ---
Total Lot Coverage TBD
Number of bicycle stalls shown TBD

Number of parking stalls (Existing):

Small car	---
Large car	66
Accessible	3
Temporary	3
Total	70

Number of parking stalls (Proposed):

Small car	---
Large car	52
Accessible	INCLUDED
Temporary	6
Total	61



assemblage
ARCHITECTS
7427 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MADISON REGIONAL OFFICE
161 HAZARD DRIVE, SUITE 101
MADISON, WISCONSIN 53703
608.848.5000 PHONE | 608.848.2256 FAX
MADISON | MILWAUKEE
RENOVA | APPLETON

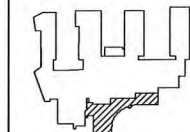
SCALE

SHEET TITLE

SITE PLAN

SHEET NUMBER

C200



assemblage
ARCHITECTS
7427 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5000 PHONE | 608.848.2235 FAX
MADISON | MILWAUKEE
KEOSAUO | APPLETON

SCALE

SHEET TITLE

GRADING & EROSION
CONTROL PLAN

SHEET NUMBER

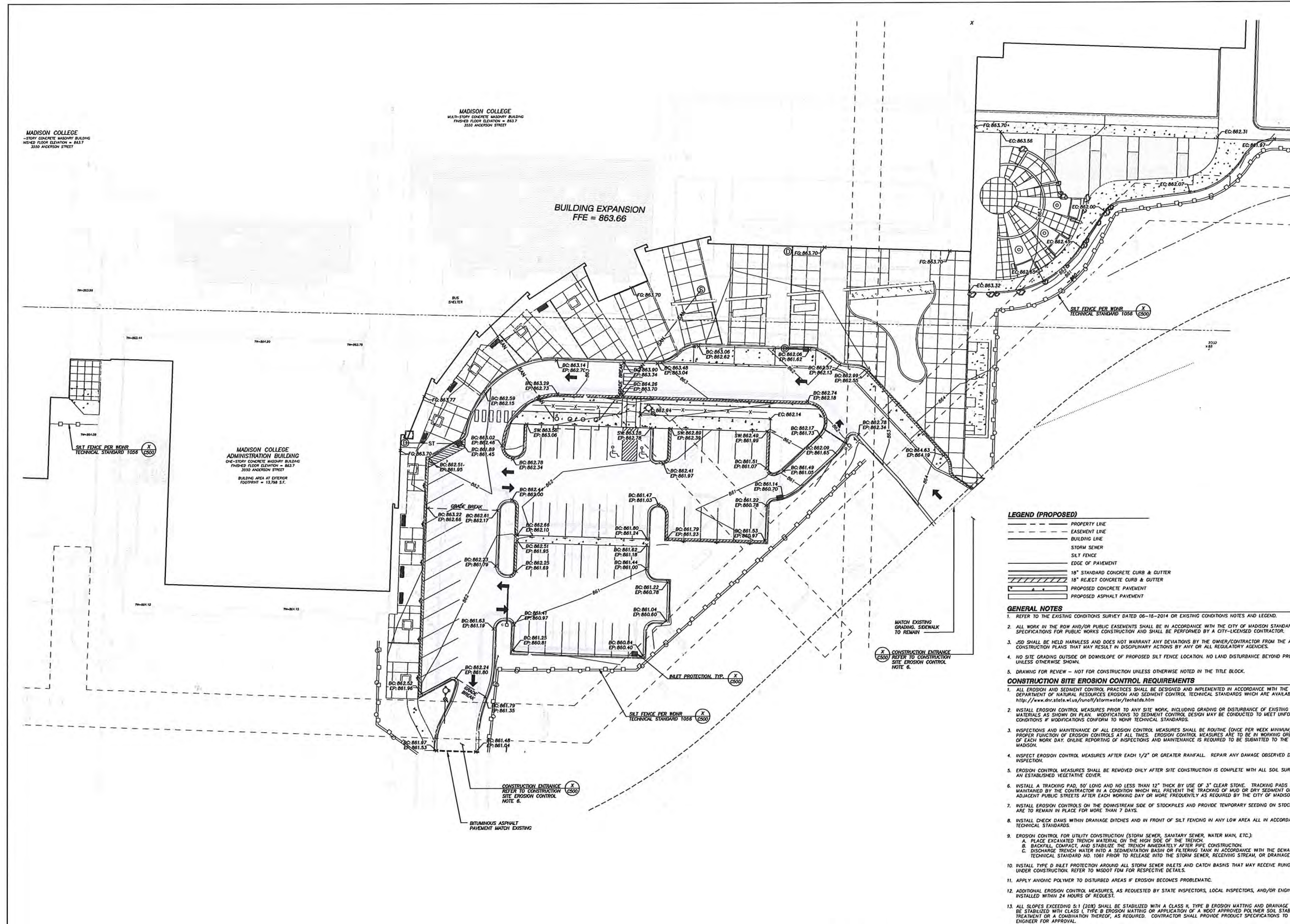
C300

MADISON COLLEGE
3-STORY CONCRETE MASONRY BUILDING
FINISHED FLOOR ELEVATION = 813.7
3550 ANDERSON STREET

MADISON COLLEGE
MULTI-STORY CONCRETE MASONRY BUILDING
FINISHED FLOOR ELEVATION = 813.7
3550 ANDERSON STREET

BUILDING EXPANSION
FFE = 863.66

MADISON COLLEGE
ADMINISTRATION BUILDING
ONE-STORY CONCRETE MASONRY BUILDING
FINISHED FLOOR ELEVATION = 813.7
3550 ANDERSON STREET
BLADING AREA AT EXTERIOR
FOOTPRINT = 13,758 S.F.



LEGEND (PROPOSED)

- PROPERTY LINE
- - - EASEMENT LINE
- BUILDING LINE
- STORM SEWER
- SILT FENCE
- EDGE OF PAVEMENT
- 18" STANDARD CONCRETE CURB & GUTTER
- 18" REJECT CONCRETE CURB & GUTTER
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY DATED 06-16-2014 OR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
3. USD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/fun/ef/Stormwater/technical.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESHEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO MNOR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. ONLINE REPORTING OF INSPECTIONS AND MAINTENANCE IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH MNOR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DOWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO MSDOT FDM FOR RESPECTIVE DETAILS.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (20%) SHALL BE STABILIZED WITH A CLASS II, TYPE B EROSION MATTING AND DRAINAGE SHALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A ROOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR/OWNER SHALL FEE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH MNOR REQUIREMENTS.
15. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO MNOR TECHNICAL STANDARD 1068.
16. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

GRADING AND SEEDING NOTES

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
5. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
6. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.

TO OBTAIN LOCATION OF PARTICIPANT
CONSTRUCTION FACILITIES BEFORE YOU
CALL DIGGERS HOTLINE
1-800-242-8311 TOLL FREE
OR VISIT US AT www.madison.gov



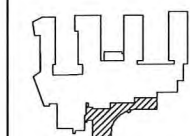
CONSTRUCTION ENTRANCE
REFER TO CONSTRUCTION
SITE EROSION CONTROL
NOTE 6.

MATCH EXISTING
GRADING, SIDEWALK
TO REMAIN

SILT FENCE PER MNOR
TECHNICAL STANDARD 1056

INLET PROTECTION, TYP.
REFER TO CONSTRUCTION
SITE EROSION CONTROL
NOTE 6.

BITUMINOUS ASPHALT
PAVEMENT MATCH EXISTING



assemblage
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MADISON | MILWAUKEE
KENOSHA | APPLETON

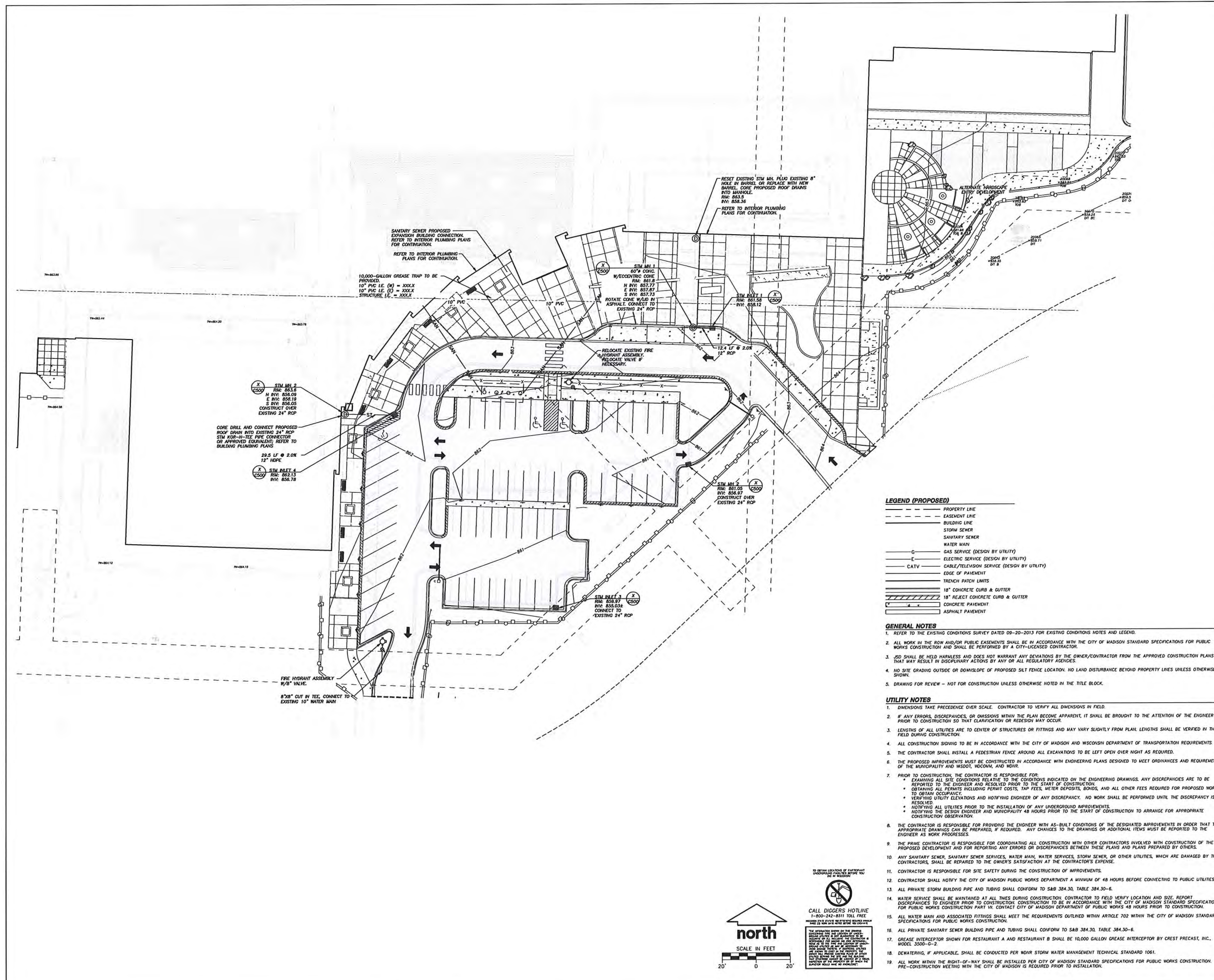
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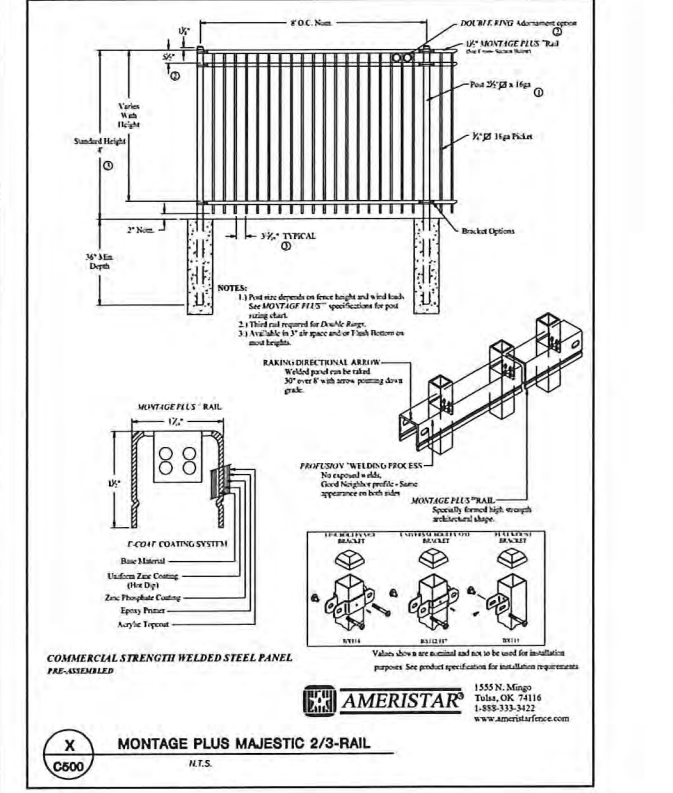
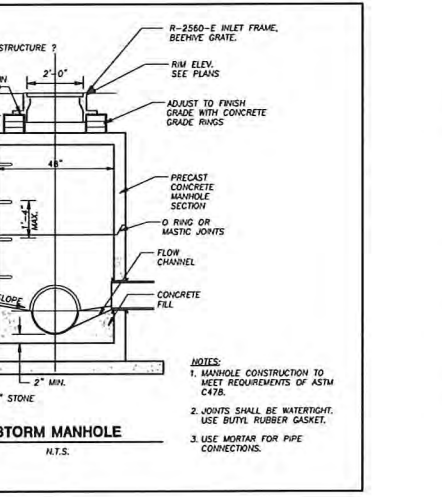
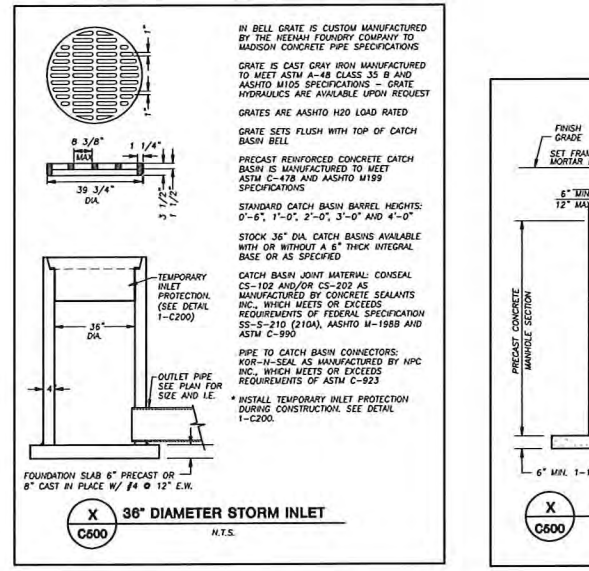
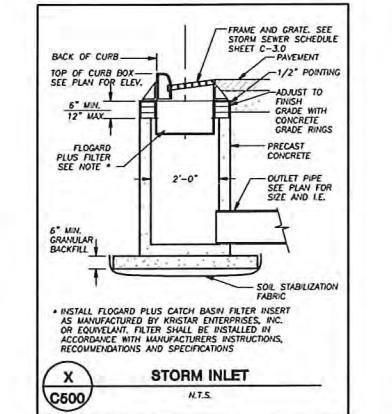
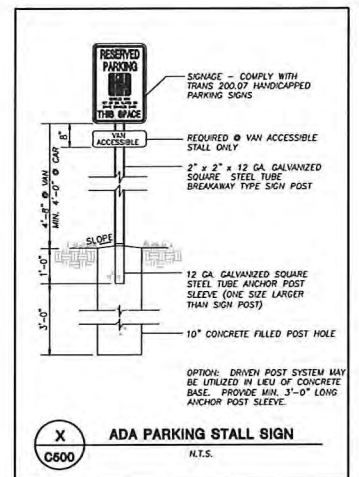
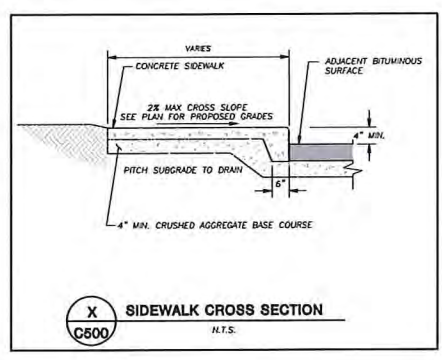
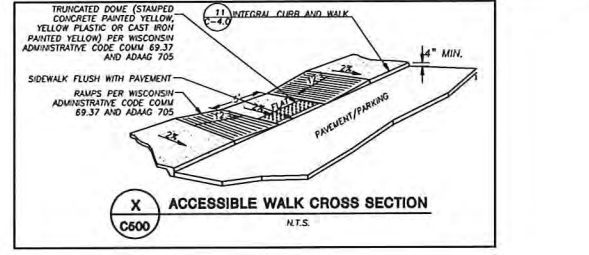
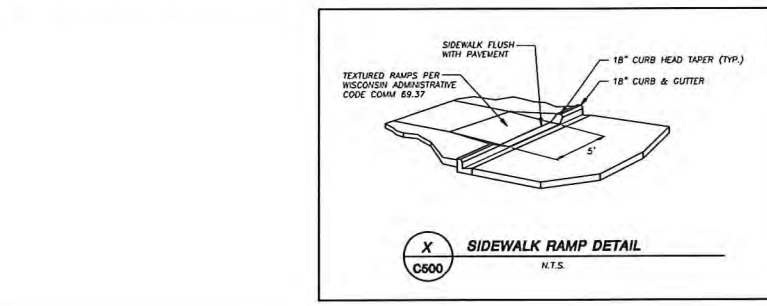
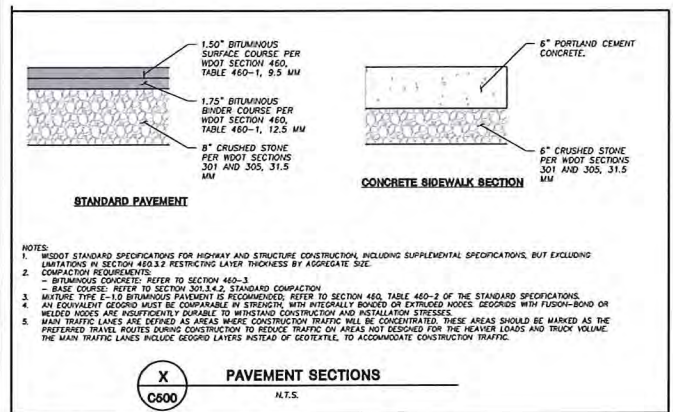
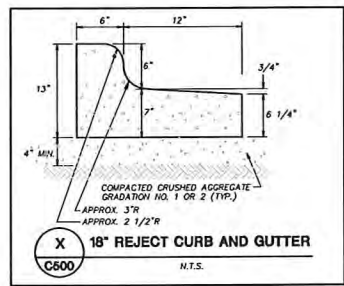
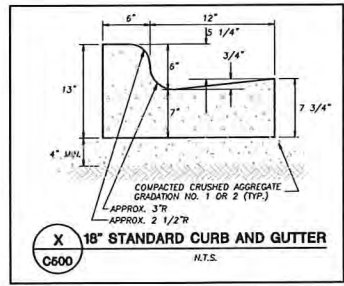
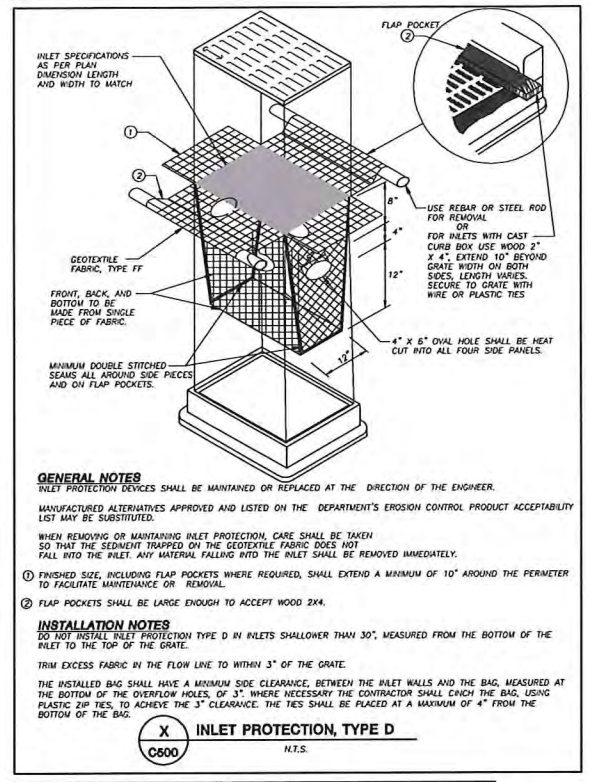
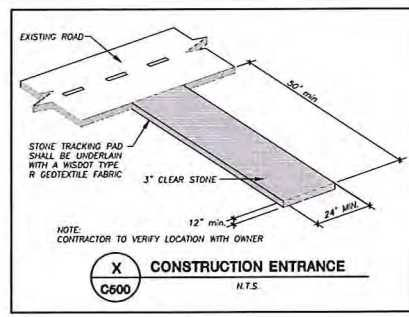
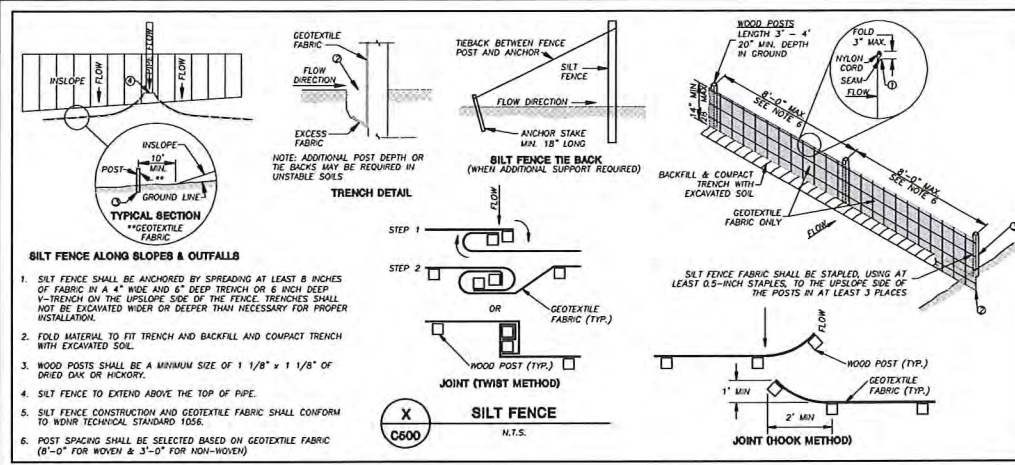
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UTILITY PLAN

SHEET NUMBER

C400





MADISON AREA TECHNICAL COLLEGE

MADISON COLLEGE
 TRUAX BUILDING
 CULINARY ADDITION AND RENOVATIONS
 Madison, Wisconsin

Issued for: UDC
 Issue date: 04-29-2015
 AA Project No.: 2014-04
 MC Project No.: B15-001
 Bid Pkg No.:

REVISION DATE

assemblage ARCHITECTS
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 Middleton, WI 53562
 T 608.827.5047

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 Engineers • Surveyors • Planners

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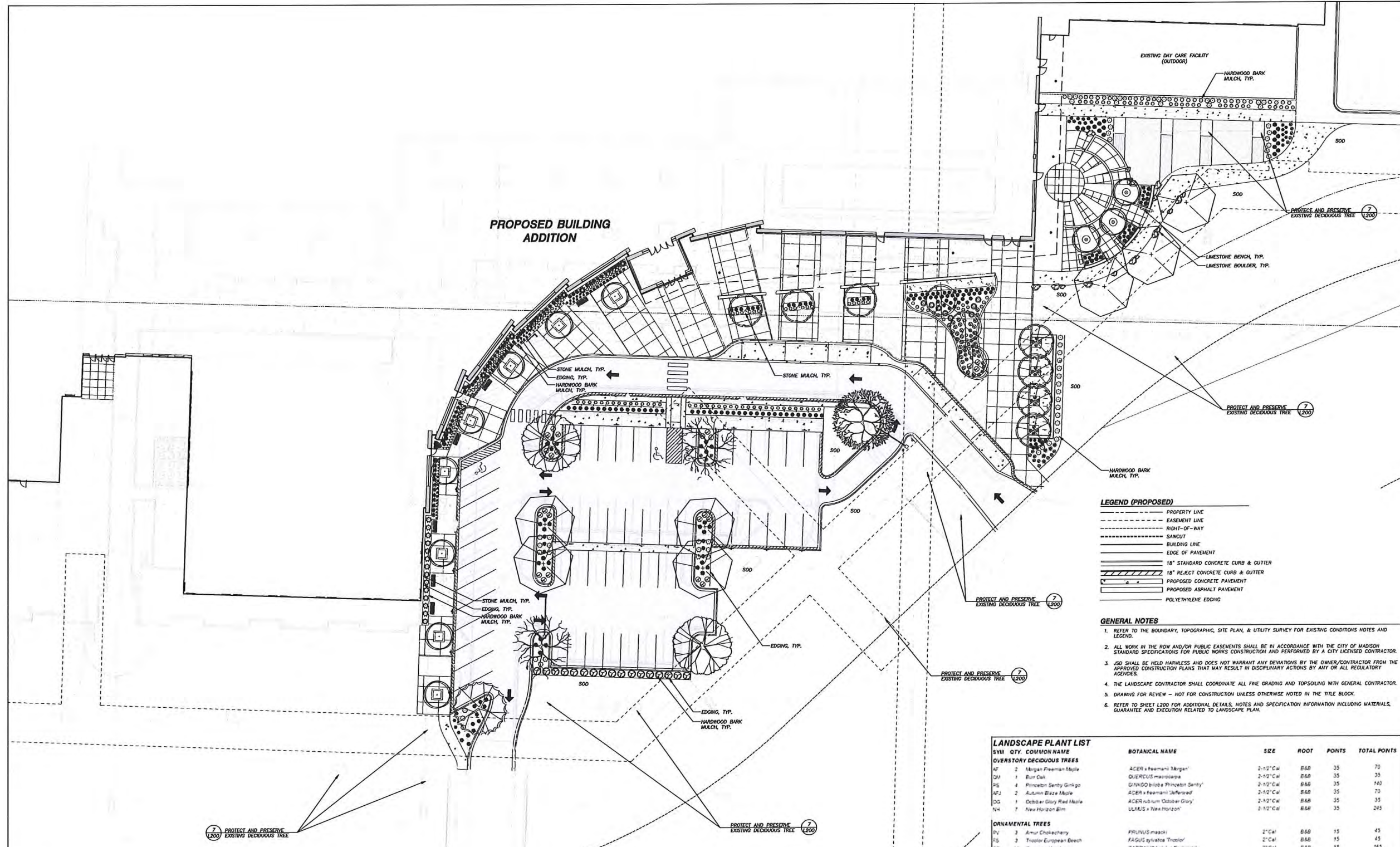
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DETAILS

SHEET NUMBER

C500



LEGEND (PROPOSED)

- PROPERTY LINE
- - - EASEMENT LINE
- - - RIGHT-OF-WAY
- - - SANICUT
- BUILDING LINE
- EDGE OF PAVEMENT
- 18" STANDARD CONCRETE CURB & GUTTER
- 18" RECT. CONCRETE CURB & GUTTER
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- POLYETHYLENE EDGING

GENERAL NOTES

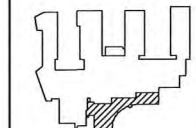
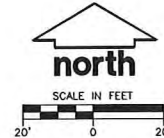
1. REFER TO THE BOUNDARY, TOPOGRAPHIC, SITE PLAN, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OF ALL REGULATORY AGENCIES.
4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
6. REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.

LANDSCAPE PLANT LIST

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS	
OVERSTORY DECIDUOUS TREES								
47	2	Morgan Freeman Maple	ACER x Freemani 'Morgan'	2-1/2" Cal	B&B	35	70	
QW	1	Burr Oak	QUERCUS macrocarpa	2-1/2" Cal	B&B	35	35	
PS	4	Princeton Sentry Ginkgo	GINKGO biloba 'Princeton Sentry'	2-1/2" Cal	B&B	35	140	
AFJ	2	Autumn Blaze Maple	ACER x Freemani 'Autumn Blaze'	2-1/2" Cal	B&B	35	70	
OG	1	October Glory Red Maple	ACER rubrum 'October Glory'	2-1/2" Cal	B&B	35	35	
N4	7	New Horizon Elm	ULMUS x New Horizon	2-1/2" Cal	B&B	35	245	
ORNAMENTAL TREES								
DV	3	Amur Chokeberry	FRUNUS maackii	2" Cal	B&B	15	45	
TS	3	Troitor European Beech	FAGUS sylvatica 'Troitor'	2" Cal	B&B	15	45	
CB	11	Common Hornbeam	CORNUS stolonifera 'Fraxinifolia'	2" Cal	B&B	15	165	
UPRIGHT EVERGREEN SHRUBS								
JC	7	Mountain Juniper	JUNIPERUS chinensis 'Mountain'	3-4' Ht	B&B	10	70	
DECIDUOUS SHRUBS								
FG	14	Dwarf Forsythia	FOXYTHIA glandulosa	12-24" Ht	#2 Cont	3	42	
FI	17	Border Forsythia	FORSYTHIA x intermedia 'Sunrise'	12-24" Ht	#2 Cont	3	51	
LD	24	Kelsey's Dogwood	CORNUS sericea 'Kelsey'	12-24" Ht	#2 Cont	3	72	
EVERGREEN SHRUBS								
JS	28	Blue Star Juniper	JUNIPERUS squamata 'Blue Star'	12-24" Ht	#2 Cont	4	112	
JA	8	Mini Arcadia Juniper	JUNIPERUS sibirica 'Mini Arcadia'	12-24" Ht	#2 Cont	4	32	
PERENNIALS								
RS	60	Russian Sage	PEROVSKIA altissima	8-18" Ht	#1 Cont	2	120	
SA	85	Little Spire Russian Sage	PEROVSKIA altissima 'Little Spire'	8-18" Ht	#1 Cont	2	170	
AM	24	Lady's Mantle	ALCHEMILLA mollis	8-18" Ht	#1 Cont	2	48	
CG	27	Dwarf Coreopsis	COREOPSIS grandiflora 'Sunray'	8-18" Ht	#1 Cont	2	54	
SA	40	Autumn Joy Sedum	SEDUM Autumn Joy	8-18" Ht	#1 Cont	2	80	
SD	27	Shella D'Ore Daylily	HEMEROCALLIS 'Shella D'Ore'	8-18" Ht	#1 Cont	2	54	
HG	39	Barbara Mitchell Daylily	HEMEROCALLIS 'Barbara Mitchell'	8-18" Ht	#1 Cont	2	78	
AS	45	Summer Beauty Alium	ALLIUM 'Summer Beauty'	8-18" Ht	#1 Cont	2	90	
AR	18	Bugleweed	AJUGA reptans	8-18" Ht	#1 Cont	2	36	
CP	25	Coral Bells Palace Purple	HEUCHERA miscantha 'Palace Purple'	10-12" Ht	#1 Cont	2	50	
ORNAMENTAL GRASSES								
MS	28	Morning Light Miscanthus	MISCANTHUS sinensis 'Morning Light'	8-18" Ht	#1 Cont	2	56	
PR	52	Prairie Dropseed	SPOROBOLOUS heterolepis	8-18" Ht	#1 Cont	2	104	
CA	148	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	8-18" Ht	#1 Cont	2	296	
PA	34	Dwarf Hameln Fountain Grass	PENSETUM 'Hameln Fountain Grass'	8-18" Ht	#1 Cont	2	68	
FLG	41	Japanese Flame Grass	MISCANTHUS sinensis var. purpureascens	8-18" Ht	#1 Cont	2	82	
							TOTAL	2617

LEGEND (PROPOSED)

<p>OVERSTORY DECIDUOUS TREES</p> Morgan Freeman Maple Burr Oak Princeton Sentry Ginkgo	<p>OVERSTORY DECIDUOUS TREES (CONT)</p> Autumn Blaze Maple October Glory Red Maple New Horizon Elm	<p>ORNAMENTAL TREES</p> Amur Chokeberry Troitor European Beech Common Hornbeam	<p>UPRIGHT EVERGREEN SHRUBS</p> Mountain Juniper <p>DECIDUOUS SHRUBS</p> Dwarf Forsythia Border Forsythia Kelsey's Dogwood Neon Flash Spirea <p>EVERGREEN SHRUBS</p> Blue Star Juniper Mini Arcadia Juniper	<p>PERENNIALS</p> Russian Sage Lady's Mantle Dwarf Coreopsis Autumn Joy Sedum Stella D'Ore Daylily Barbara Mitchell Daylily Summer Beauty Alium Bugleweed Coral Bells Palace Purple <p>ORNAMENTAL GRASSES</p> Morning Light Miscanthus Prairie Dropseed Karl Foerster Feather Reed Grass Dwarf Hameln Fountain Grass Japanese Flame Grass
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assemblage
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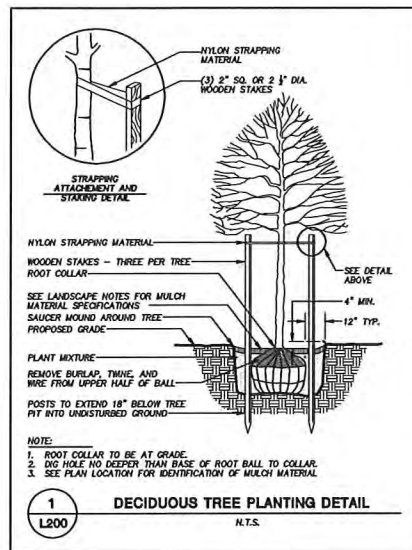
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SHEET TITLE

LANDSCAPE PLAN

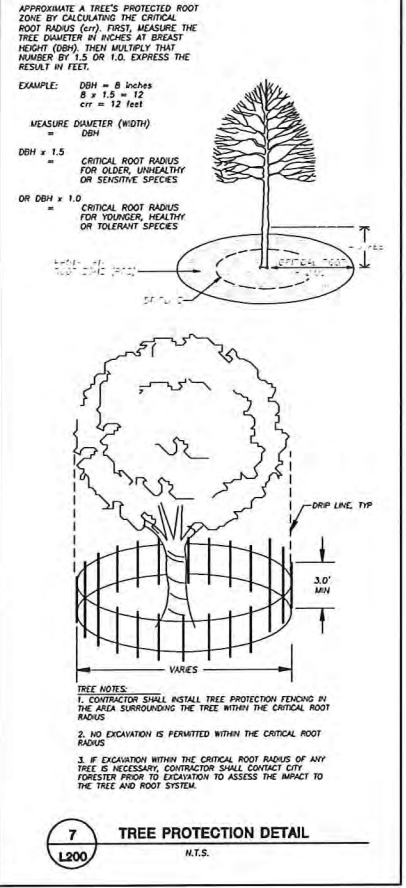
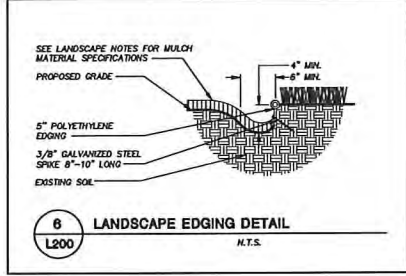
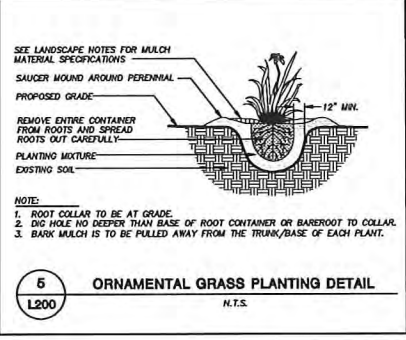
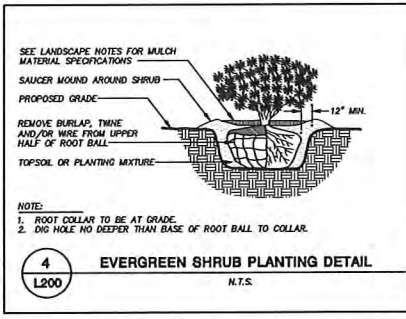
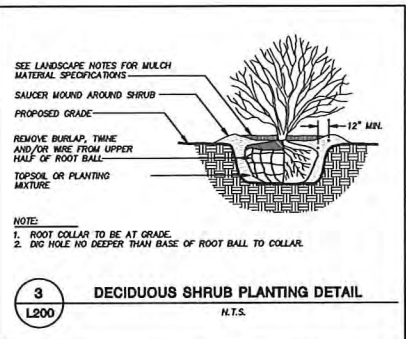
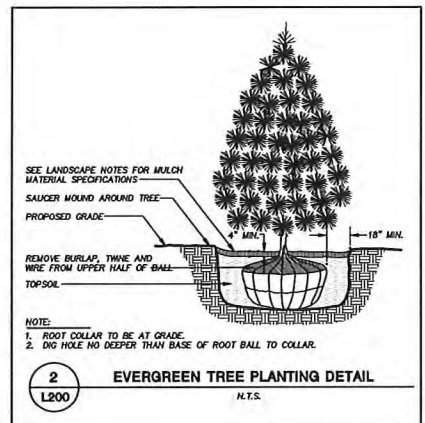
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LANDSCAPE NOTES & SPECIFICATIONS

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. ...
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. ...
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. ...
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK AND 2601-2004. ...
- MATERIALS - MULCH: SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS. 1. SEEDED AREAS = 7" 2. PLANTED AREAS AND PARKING ISLANDS = 24"
- MATERIALS - PRE-EMERGENT: PRE-EMERGENT HERBICIDE TO BE APPLIED TO ALL PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, BLACK POLYETHYLENE EDGING "VALLEY VIEW BLACK DIAMOND" OR EQUIVALENT AS APPROVED BY OWNER. ...
- MATERIALS - MULCH: ALL PLANTING AREAS AND PLANTING BEDS SHALL RECEIVE FINELY SHREDDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA. ...
- MATERIALS - FERTILIZER AND MULCH: TREES RINGS AND PLANTING BEDS SHALL RECEIVE FINELY SHREDDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF 4 INCHES OVER ENTIRE PLANTING BED OR TREE RING. ...
- MATERIALS - WEED BARRIER FABRIC: ALL PLANTING AREAS AND FENCED AREAS DESIGNATED TO RECEIVE CRUSHED GRAVEL SHALL BE INSTALLED WITH WEED BARRIER FABRIC. ...
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURES THAT OCCURRED DURING THE PLANTING PROCESS. ...
- CLEANUP: DISPOSE OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS. ...
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS AND SEEDED LAWN AREAS, THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30-60 DAYS. ...
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND SEEDED AREAS AS NECESSARY FOLLOWING THE ONE (1) YEAR PLANT GUARANTEE PERIOD.



CITY OF MADISON LANDSCAPE WORKSHEET
SECTION 2112 Madison General Ordinance

Project Location: Address: 1701 WRIGHT STREET, MADISON, WI 53704
Name of Project: MADISON COLLEGE TRUAX BUILDING CURBWAY ADDITION AND RENOVATIONS
Owner/Contractor: MADISON COLLEGE
Contact Person: (608) 848-5000 Contact Email: JUSTIN.FRANM@JSDINC.COM

**Landscape plans for existing trees must be submitted to the City of Madison at least 30 days prior to the start of construction. Plans must be prepared by a registered landscape architect.

Qualifications:
The following standards apply to all general contractors and landscapers working on the construction of existing buildings, structures and parking lots, except the construction of new buildings, structures and parking lots and the construction of new buildings, structures and parking lots, except the construction of new buildings, structures and parking lots, except the construction of new buildings, structures and parking lots, except the construction of new buildings, structures and parking lots.

Landscape Calculations and Distribution:
Required landscape items must be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveway and building, building footprints, but excluding the area of any building footprint or park, land, landscape or open space use such as athletic fields and undeveloped land area on the same property. There are three methods for calculating landscape items depending on the use of the land and zoning district.

Plant Type/Element	Minimum Size at Installation	Points	Points Achieved	Quantity	Points Achieved
Flowering Deciduous Tree	2" thick caliper measured 6' from trunk at branch height (DBH)	15	17	17	595
Small evergreen tree (4" pot, 5' tall)	1.5" caliper	15	17	17	255
Large evergreen shrub (6" pot)	1.5" caliper	10	7	7	70
Shrub (4" pot)	1.5" caliper	15	55	165	
Shrub (4" pot)	1.5" caliper	15	36	144	
Ornamental grasses/perennials	1.5" caliper	2	694	1368	
Ornamental flowering shrub (4" pot)	1.5" caliper	15	4	60	
Edging (polyethylene)	4" deep	10	7	7	70
Edging (galvanized steel)	4" deep	10	7	7	70
Landscape barriers (to public, existing and/or existing structures)	3' high	10	7	7	70
Sub Totals			250	2617	

Total Number of Points Provided: 2617

MADISON COLLEGE TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS
Madison, Wisconsin

Issued for: UOC
Issue date: 04-29-15
AA Project No.: 2014-04
AC Project No.: B15-001
Bid Fig. No.:

REVISION DATE

assemblage ARCHITECTS
7427 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

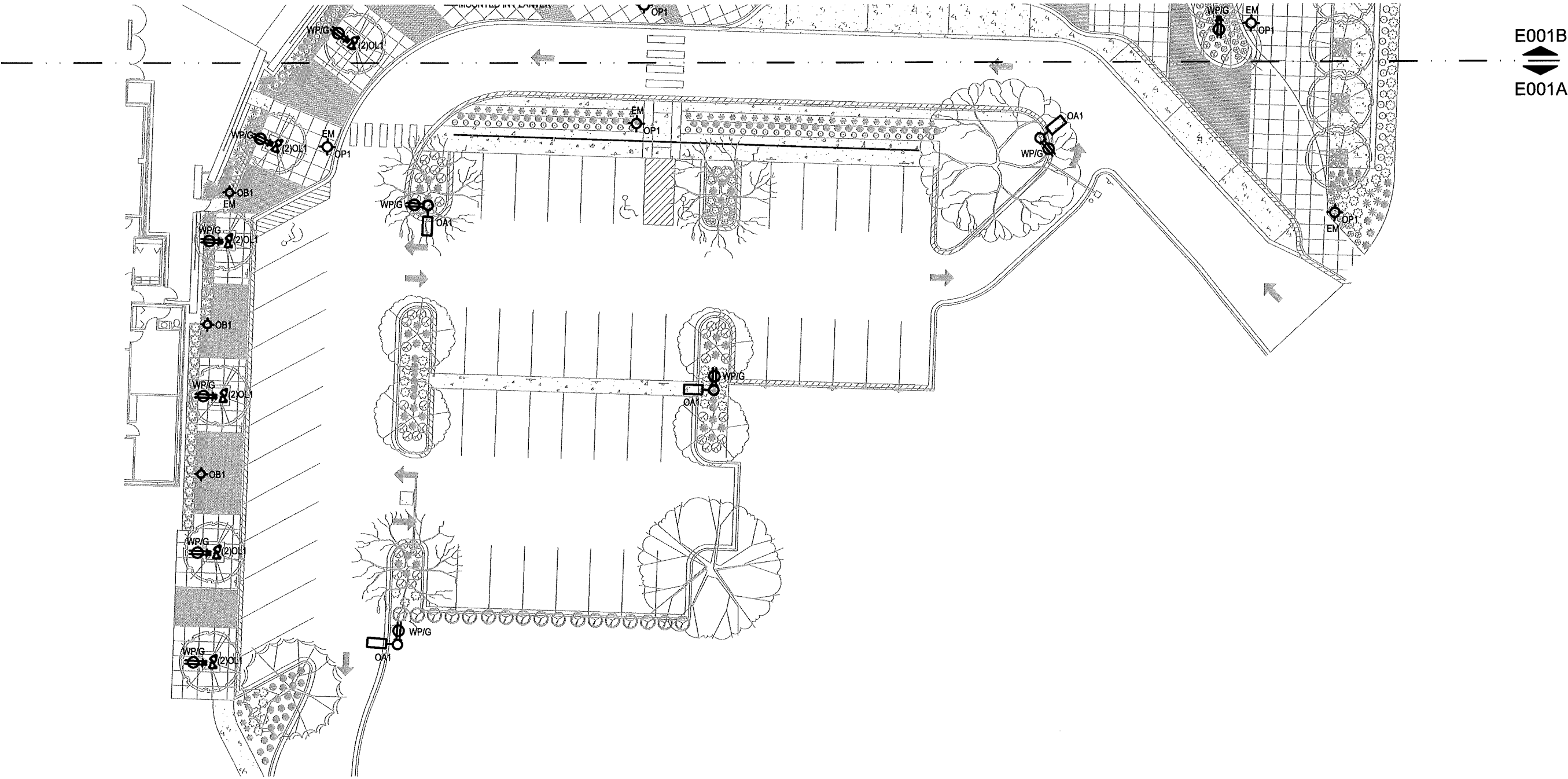
MADISON REGIONAL OFFICE
161 HORDON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5000 PHONE | 608.848.2255 FAX
MADISON | MILWAUKEE
KEOSAUQUO | APPLETON

SCALE

SHEET TITLE
LANDSCAPE DETAILS, NOTES AND SPECIFICATIONS

SHEET NUMBER
L200

MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



E001A
SITE LIGHTING PLAN

03-05-2015

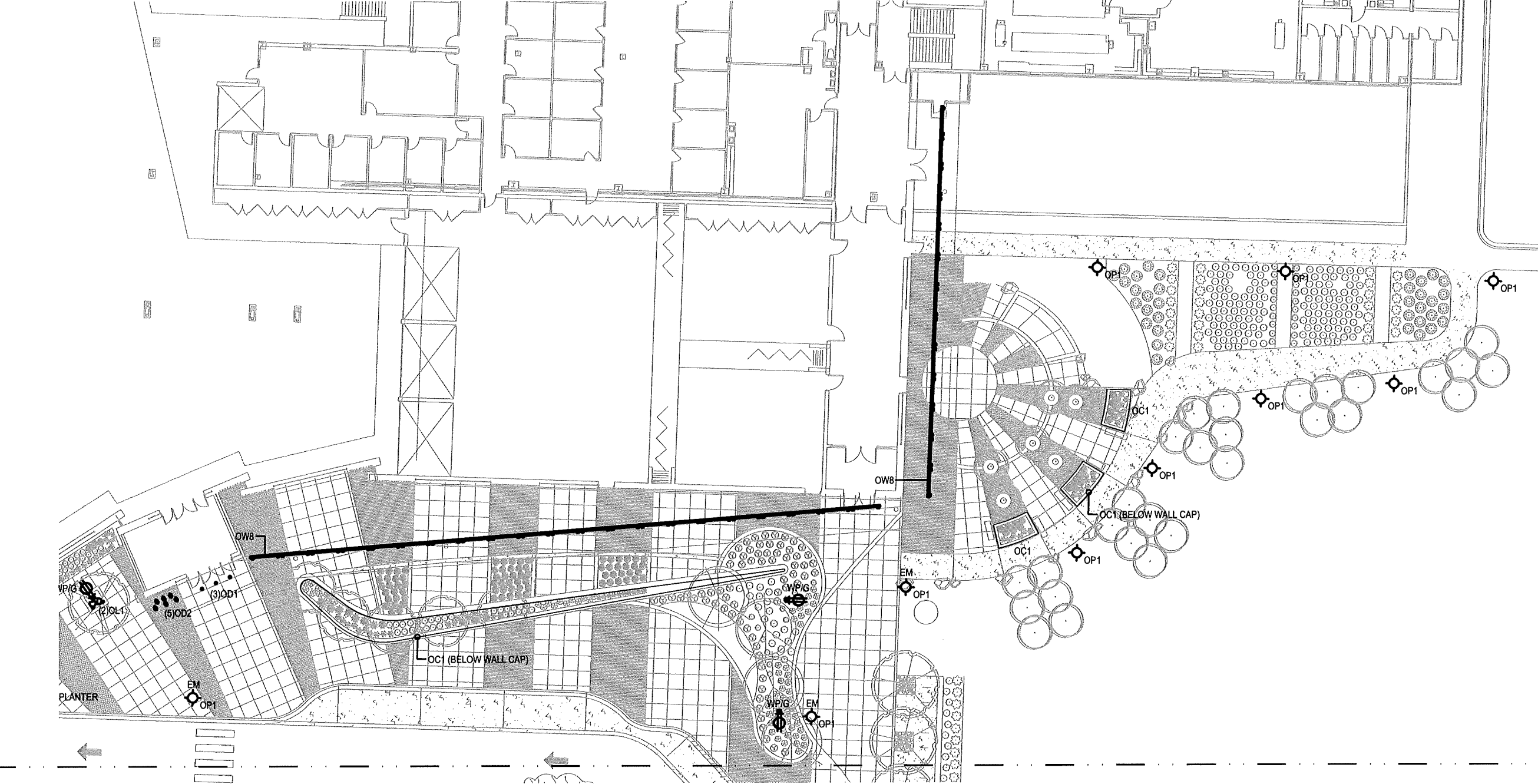
assemblageARCHITECTS

7427 Elmwood Avenue, Middleton, Wisconsin 608.827.5047



MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS

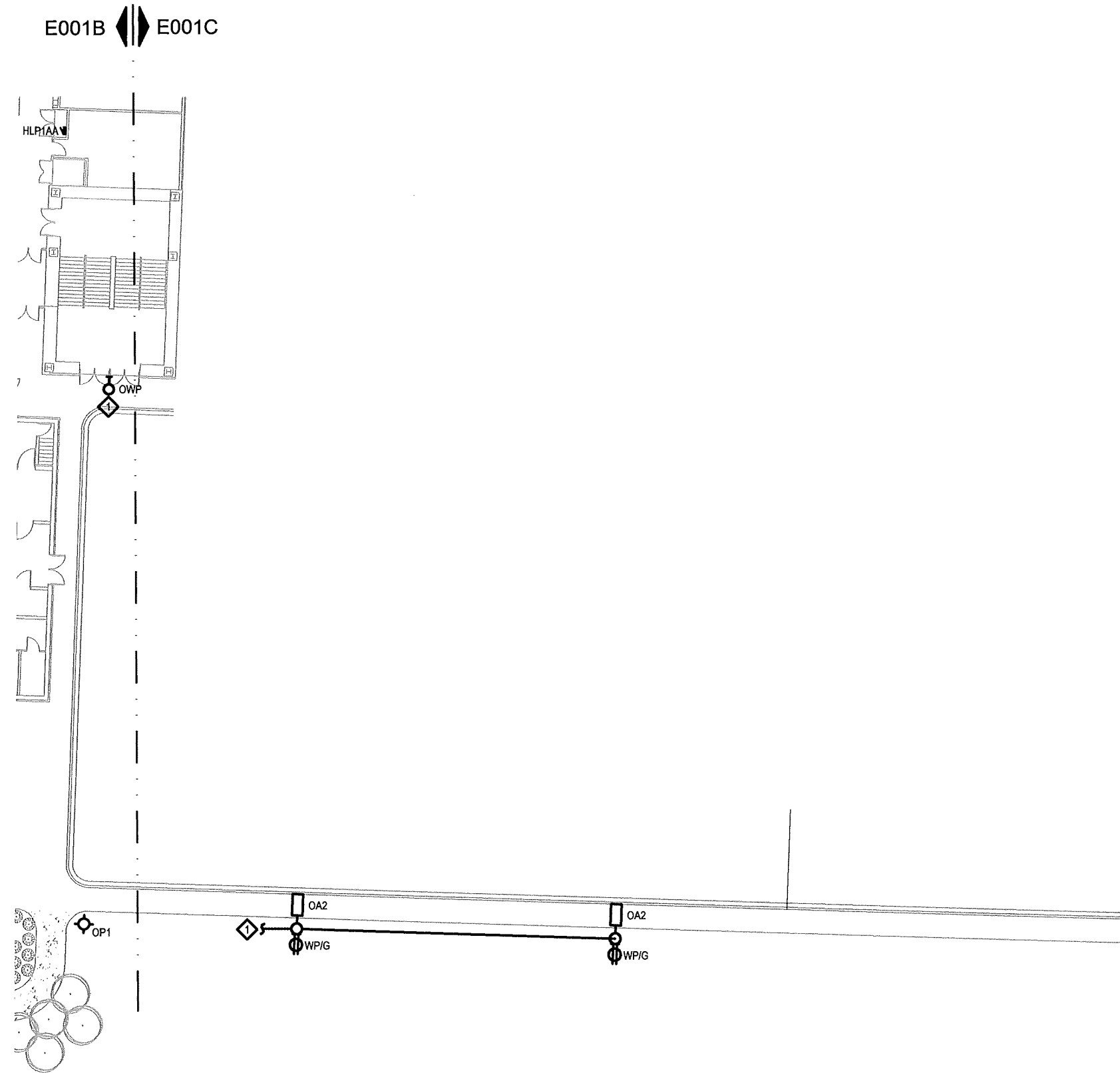
E001B  E001C



E001B

E001A

MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



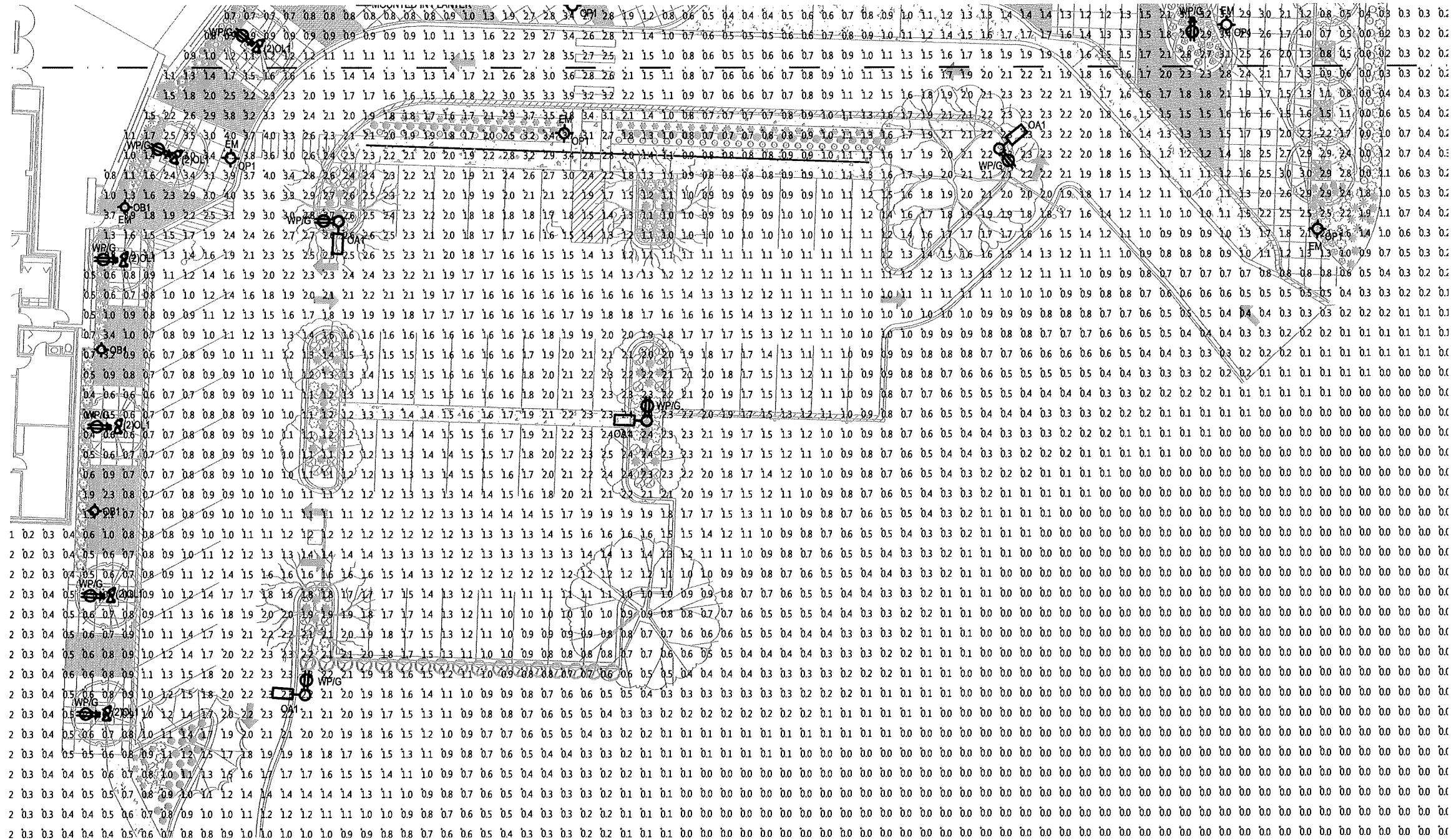
E001C
SITE LIGHTING PLAN

03-05-2015

assemblage ARCHITECTS
7427 Elmwood Avenue, Middleton, Wisconsin 608.827.5047

 **Henneman**
Engineering Inc.

MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS



E002B

 E002A

SUGGESTED CONTROL SEQUENCE:

POLE AND BUILDING MOUNTED LUMINAIRES
AUTOMATICALLY ON AT SUNSET.

LANDSCAPE LUMINAIRES AUTOMATICALLY ON 30
MINUTES AFTER SUNSET.

POLE AND BUILDING MOUNTED LUMINAIRES
AUTOMATICALLY REDUCED TO 50% OUTPUT AT
MIDNIGHT.

LANDSCAPE LUMINAIRES AUTOMATICALLY OFF
AT MIDNIGHT.

POLE LUMINAIRES RESTORED TO 100% OUTPUT
TWO HOURS BEFORE SUNRISE.

ALL LUMINAIRES AUTOMATICALLY OFF AT
SUNRISE.

POLE TYPE DISTRIBUTION KEY:

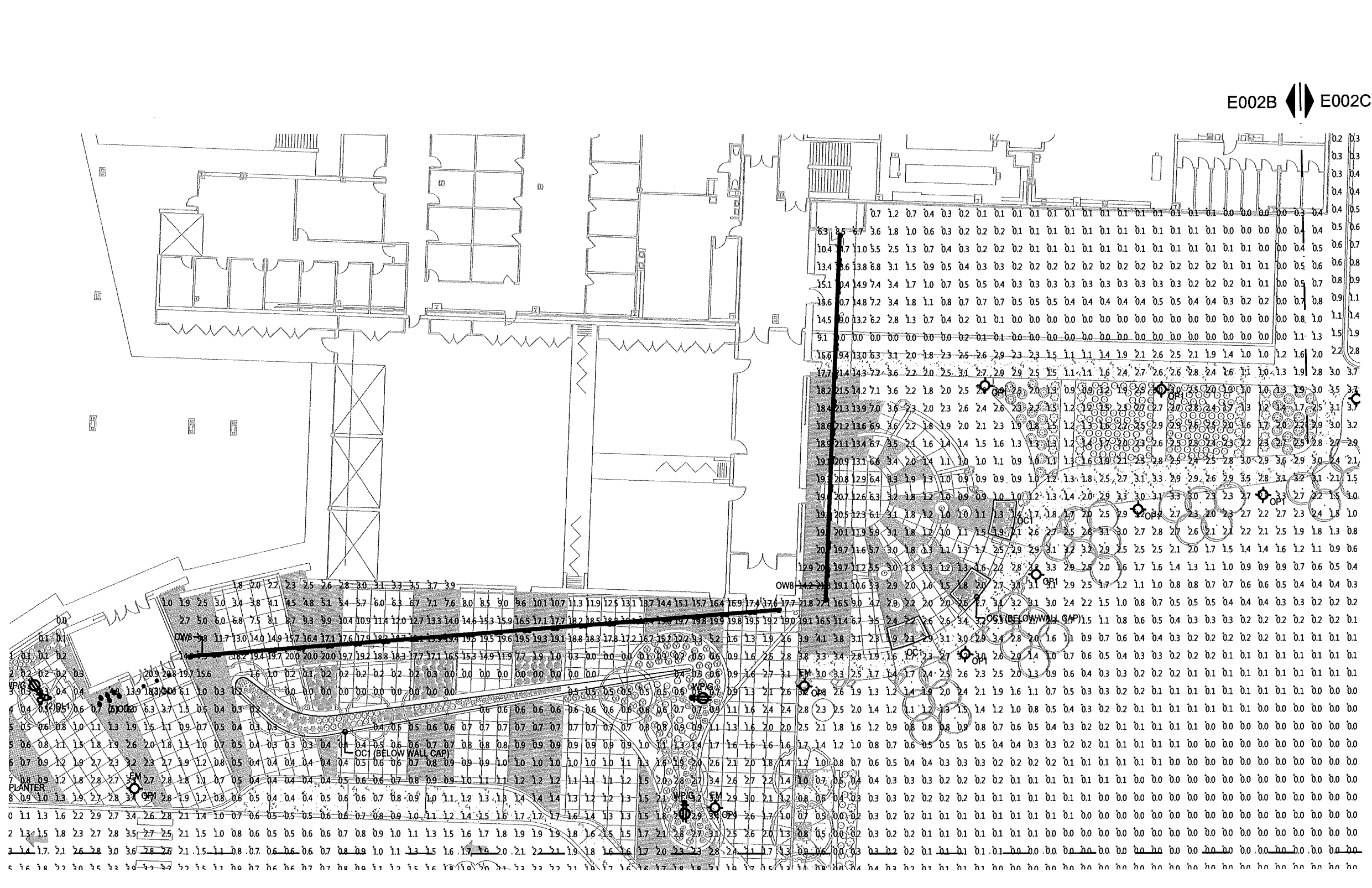
OA1 25'-0" TALL POLE WITH LED
AREA LIGHTING LUMINAIRE;
IES TYPE 5 DISTRIBUTION

OP1 12'-0" TALL POLE WITH LED
PEDESTRIAN LUMINAIRE;
IES TYPE 5 DISTRIBUTION

CALCULATION SUMMARY					
LABEL	CALCTYPE	UNITS	MIN	AVG	AVG/MIN
PARKING AREA	ILLUMINANCE	FC	0.5	1.98	3.96
DRIVE PATH	ILLUMINANCE	FC	0.4	1.42	3.55

CITY OF MADISON OUTDOOR LIGHTING STANDARD - OPEN PARKING FACILITIES, MEDIUM ACTIVITY LEVEL

MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS



SUGGESTED CONTROL SEQUENCE:

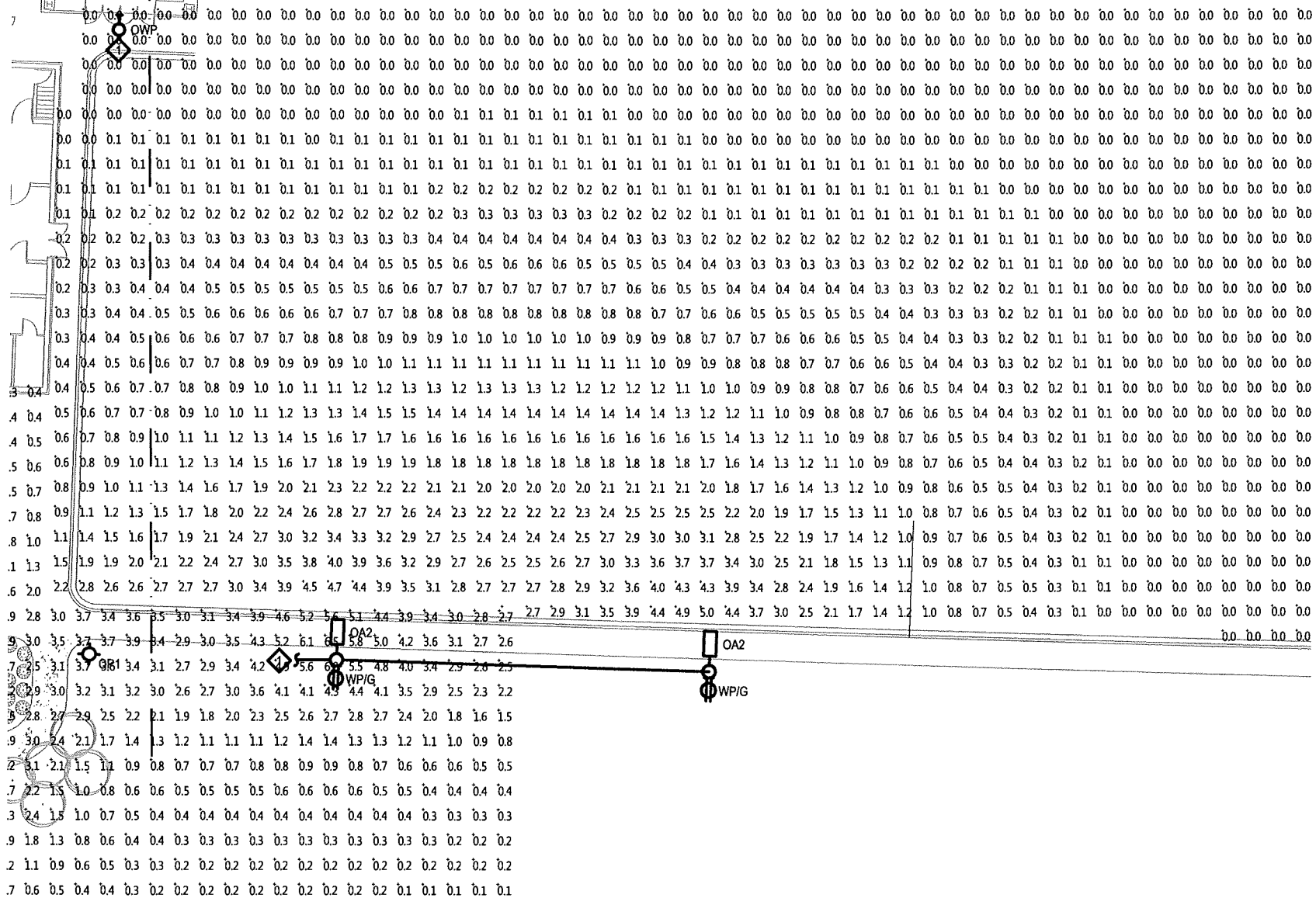
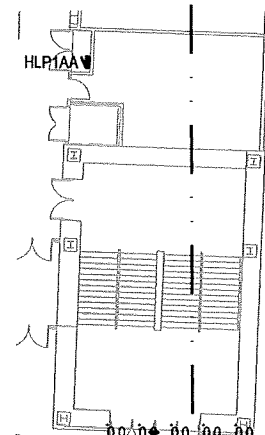
- POLE AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY ON AT SUNSET.
- LANDSCAPE LUMINAIRES AUTOMATICALLY ON 30 MINUTES AFTER SUNSET.
- POLE AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY REDUCED TO 50% OUTPUT AT MIDNIGHT.
- LANDSCAPE LUMINAIRES AUTOMATICALLY OFF AT MIDNIGHT.
- POLE LUMINAIRES RESTORED TO 100% OUTPUT TWO HOURS BEFORE SUNRISE.
- ALL LUMINAIRES AUTOMATICALLY OFF AT SUNRISE.

POLE TYPE DISTRIBUTION KEY:

- OA1: 25'-0" TALL POLE WITH LED AREA LIGHTING LUMINAIRE; IES TYPE 5 DISTRIBUTION
- OP1: 12'-0" TALL POLE WITH LED PEDESTRIAN LUMINAIRE; IES TYPE 5 DISTRIBUTION

MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS

E002B E002C



CALCULATION SUMMARY					
LABEL	CALCTYPE	UNITS	MIN	AVG	AVG/MIN
PARKING AREA	ILLUMINANCE	FC	0.5	1.98	3.96
DRIVE PATH	ILLUMINANCE	FC	0.4	1.42	3.55

CITY OF MADISON OUTDOOR LIGHTING STANDARD - OPEN PARKING FACILITIES, MEDIUM ACTIVITY LEVEL

MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS



Plexineon White 2X Series

PRODUCT SUMMARY



PRODUCT FEATURES

- Four Kelvin temperatures
- Energy efficient
- Long life time
- Stable and consistent color temperature
- Low voltage
- Easy to install
- Cool to the touch
- For use as exterior or interior accent lighting, direct view or indirect view applications, coves & more

Color Temperatures (+/- 10%)

- 2800K
- 3600K
- 4600K
- 6600K

Diffuser Color (when not illuminated)

- Light amber hue

Lengths Available

- Standard lengths: 2', 4', 6', 8', 10', 12', 15', 20', 25', 30', 35', 40', 45', 50', 55', 60', 65', 70', 75', 80', 85', 90', 95', 100'
- Rotary custom lengths available to the nearest 1/4" (13mm) +/- 0.25" (6mm)
- 2' (610mm) field cuttable pieces
- Illuminated outside corner pieces
- Rotary convex or concave bends to minimum inside radius of 12" (305mm)
- Rotary "easy bends" to a 3/8" (9.5mm) radius
- Gentle field bends to a 72" (1829mm) radius

Power Supply

- Class 2, 24VDC, 100 Watts - must be supplied by iLight
- Primary voltage: 110 or 120-277 depending on model
- Secondary voltage: 24VDC 4.1 A Max
- Maximum illumination length of a single 100W power supply 20 feet (6.10m)

Power Supply Tips

- 20% maximum coverage for breaker for primary current draw
- Do not plug multiple power supplies into one run of Plexineon
- All iLight power supplies should be on an independent circuit
- Recommend surge protection upstream from power supply
- Verify correct voltage prior to wiring to non-switching power supplies

Low Voltage Cable

- Maximum distance of low voltage cable in any given run:
 - 14 AWG: 40 feet (12.19m)
 - 12 AWG: 60 feet (18.29m)
 - 10 AWG: 100 feet (30.48m)

1. Drawing required for production
2. Field bending allowed only on fixtures without C-channel

ORDERING INFORMATION

CLASS	VOLTAGE	COLOR	HOUSING	LENGTH	CHANNEL	VERSION
T	24V	White	S	2' = 24"	CC = Clear Channel HC = No Channel SC = Stainless Steel Channel	00 = With Connectors 01 = Without Connectors
T	24V	White	S	2' = 24"	CC = Clear Channel HC = No Channel SC = Stainless Steel Channel	00 = With Connectors 01 = Without Connectors

Additional details are subject to change without notice. For the most recent version, please refer to www.ilight-tech.com.

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Plexineon White 2X Series

MECHANICAL INFORMATION

Width & Height Housing

- 0.55" (14mm) w x 1.47" (37mm) h with C-channel
- UV and impact resistant acrylic diffuser
- UV resistant plastic channel
- Stainless steel C-channel for mechanical support

Mounting

- Stainless steel spring mounted clips
- Clips to be 2" (51mm) in from end of piece and no more than 2" (51mm) maximum between clips

Power Supply Weight

- Electronic (Advance) Power Supply is 2 lbs. (0.9kg)
- Outdoor Magnetic Hybrid (Justin) Power Supply is 9 lbs. (4 kg)

Power Supply Dimensions

- Electronic (Advance) = 9.50" x 1.18" x 1.70" (242mm X 30.9mm X 43mm)
- Outdoor Magnetic Hybrid (Justin) = 11.25" x 3.25" x 3.36" (285mm x 83mm X 85mm)

Minimum Piece Spacing

- Linear (end to end) = 3/4" (19mm)
- Parallel (edge to edge) = 1" (25mm)

Electrical Information

Load Voltage
24V DC

Load Current
117.1 mA/foot at 24VDC (384 mA/meter)
2.81 watts/foot (9.22 watts/meter)

Maximum Run Length
20 feet (6.10m) with an iLight approved power supply

DC Cable

- 14 AWG, PVC/Nylon Type TC 600 Volt power and control cable or equivalent
- FT-4 fire rating
- Class 2 wiring system
- Connectors: Molex Splashproof - JS D0203 S2

Electrical Tips

- Only use iLight approved power supplies
- Do not cut non-cuttable pieces

Environmental Information

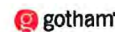
Operating Temperature Range
-25°C to 50°C (-13°F to 122°F)

Storage Temperature Range
-25°C to 75°C (-13°F to 167°F)

Certification


- Plexineon is MetLabs listed. MetLabs is a Nationally Recognized Testing Laboratory (NRTL). Complies with UL 1588 and CSA C22.2 No. 250 in Luminaire, Wbt location listed.
- Power Supplies are RU listed. RU stands for Recognized Components by Underwriters Laboratory.

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4" Evo® Downlight

Gothen Architectural Downlighting
LED Downlights
Solid State Lighting



OPTICAL SYSTEM

- Self-flanged hemispherical, multi-faceted or specular beam reflector
- Patented Beamforming Ray™ optical design (Pat. No. 5,260,060)
- 85° cut-off to reduce glare
- Top-down light characteristic

ELECTRICAL SYSTEM

- Fully tunable non-dimmable beam (1.5° light angle)
- 70W luminaire max (max 60000 hrs tested at 40°K, LM-79-2008)
- 120-277VAC, 5.360VA power supply with 0-10V dimming (10-100%)
- Overload and short circuit protection
- LED tested under LMIC

Mechanical System

- 16-gauge galvanized steel construction, maximum 1-1/2" ceiling thickness
- Telescopic mounting arm maximum of 3/4" and minimum of 1/2", pre-adjusted 4" vertical adjustment
- Tool-less adjustment post (pat. pending)
- Mount on max capacity, 5/16" dia. 4 x 4x11 1/2" studs to 90°C
- Light optics and driver accessible through aperture

WARRANTY

- 5-year limited warranty. Complete as early terms located at: www.gothamlighting.com/Support/Service/ServiceTerms_and_Conditions.aspx

EXAMPLE: 4" Evo® 40W 1500K 10'

Series	Color temperature	Nominal lumen values	Aperture/trim color	Distribution	Finish	Specialty	Voltage
40W	2700K	80	400 lumens	40R	Clear	LD	277
	3000K	10	1000 lumens	4PR	Pearl	LD	277
	3500K	14	1400 lumens	4WR	White	LD	277
	4100K	18	1800 lumens	4BR	Black	LD	277
	4100K	20	2000 lumens	4BR*	Black	LD	277

Drivers	Options	TRIM
AZ10 ¹	Phosphor Conversion LED dimming driver. Maximum dimming level 10%	Single face
EZ10	464LED SMD Power LED dimming driver. Max dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming. Refer to 101-001.
ED10	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10A	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10B	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10C	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10D	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10E	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10F	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10G	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10H	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10I	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10J	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10K	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10L	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10M	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10N	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10O	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10P	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10Q	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10R	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10S	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10T	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10U	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10V	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10W	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10X	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10Y	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.
ED10Z	464LED SMD Power LED dimming driver. Maximum dimming level -1%. 120V or 277V	4" light® network relay pack with 8-10V dimming for emergency circuit operation. Refer to 101-001.

ACCESSORIES (order as separate catalog numbers (shipped separately))

TCM Shaped ceiling adapter. Degree of slope must be specified (100, 150, 200, 250, 300). See 101-100. Refer to 101-100.

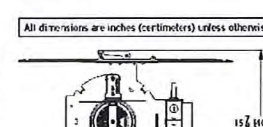
CTM-A-TE Ceiling hangers adjust (extends mounting frame to accommodate ceiling recess up to 2").

101-100 1-1/2" wall bar. Refer to 101-100.

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4" Evo Downlight

Gothen Architectural Downlighting
LED Downlights
Solid State Lighting



MECHANICAL INFORMATION

Aperture: 4-5/16 (11)
Ceiling Opening: 5-1/8 (13)
Overlap: 1/8" (3.18)

WATTAGE CONSUMPTION TABLE

LENGTH	WATTAGE	LENS PER WATT
600	15	49
1000	21	51
1100	23	55
1300	29	58
2200	31	65

INITIAL LUMENS

PRODUCT	LENS	WATT	LM/WATT	LM/FT
EYE 4"	606	18	34.3	N/A
EYE 4"	1000	22	37.9	N/A
EYE 4"	1400	30	76.2	N/A
EYE 4"	1800	38	71.1	N/A

ORDERING NOTES

1. Not available with finishes
2. Not valid in these jurisdictions: IL, IN, MI, and NY.
3. Refer to 101-100 for complete dimensions.
4. Not available with LED options. Specify 1500 or 277V. Not available with 24V.
5. For use with generator supply LED power. VLT requires an emergency battery pack and remote base.
6. Not available with LED options.
7. Not available with LED options.
8. Not available with LED options.
9. For dimensions, changes, refer to 101-100. Access above ceiling required.
10. Not available with LED options. Specify 1500 or 277V. Not available with 24V.

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OC1 LUMINAIRE TYPE OC1
NO SCALE

OD1 LUMINAIRE TYPE OD1
NO SCALE

MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS

SPECIFICATION SHEET

lumenfacade™
STAND ALONE - PROJECTOR
WHITE & STATIC COLORS

Client: _____
Project name: _____
Order #: _____
Type: _____ City: _____

FEATURES AND BENEFITS

Physical:


- Low copper content anodized aluminum housing
- Available in 1', 2', 3' or 4' sections
- Electrostatically applied polyester powder coat finish
- Machined aluminum end caps and silicone gaskets
- Stainless steel hardware
- Scratch resistant leader cable output, bottom feed
- Clear tempered glass
- 10" x 10", 10" x 60", 30" x 60" or 60" x 60" optics
- IP65
- IK07 rated
- Corrosion resistant option for marine environments
- Meets 3G ANSI C136.3 Vibration standard for bridge applications

Performance:

- Meets 17' (10.7 ft) @ 1.79 feet (39.3 in) clearance (4000K, 4' x 10" x 60" optic, HO version)
- CRI values: 85+ (2700K), 80+ (3000K), 78+ (4000K)
- Lumen maintenance 120,000 hrs (L70 @ 25°C)
- Lumen measurements comply with LM-79-3B standard
- Resolution per foot or per fixture (see page 5)
- Operating temperatures: 25° C to 50° C (15F to 122F)

Electrical:

- Input voltage limits: 100 to 277V
- Power & Data in 1 cable (P16-S)
- Up to 64 feet with a single power feed (HO version, non dimming)
- SW/H versions meet ASHRAE standards for linear lighting on building facades
- Standard: 10F / 3in cord
- B.S.W./H (115-230V/ft HO version)
- Dimming options: 0-10 vdc, DMX, DALI, LumenFacade, or Lumen@ EcoSystem® enabled



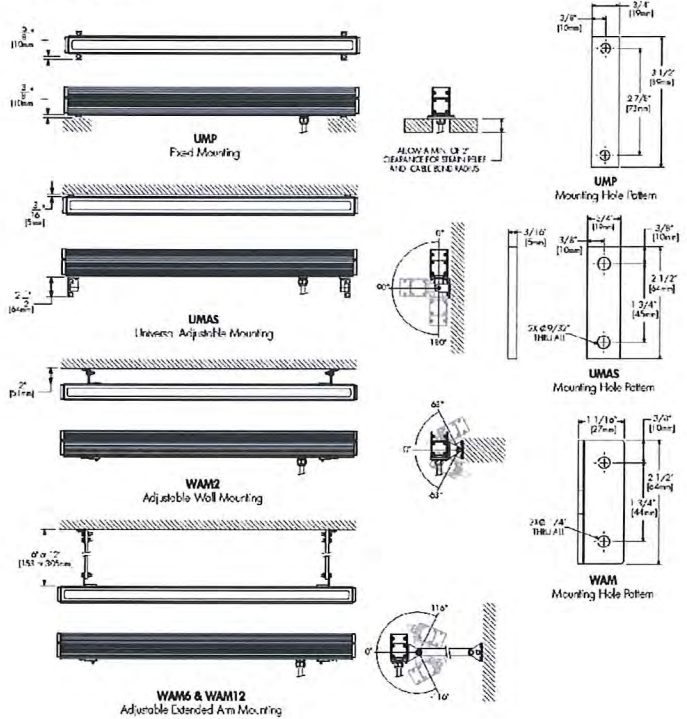
UL CE RoHS IK07
lumen pulse EcoSystem Enabled

1/9 Lumenpulse 1721 Milwaukee, Suite 1000, 4th and Central Corridor, 53111-1000 P: 514.432.3222 F: 514.432.4297
2014.12.22
Lumenpulse reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.

SPECIFICATION SHEET

lumenfacade™
STAND ALONE - PROJECTOR
WHITE & STATIC COLORS

MOUNTING OPTIONS

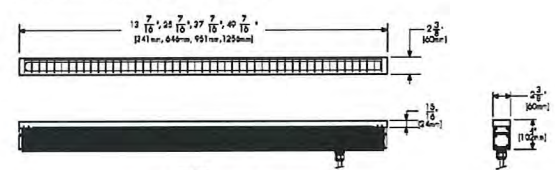


2/9 Lumenpulse 1721 Milwaukee, Suite 1000, 4th and Central Corridor, 53111-1000 P: 514.432.3222 F: 514.432.4297
2014.12.22
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SPECIFICATION SHEET

lumenfacade™
STAND ALONE - PROJECTOR
WHITE & STATIC COLORS

LOUVER ACCESSORY INSTALLATION DETAIL



LOGRD
Rigid Louver for Lumenfacade
(See page 4 for ordering code)

OPTION

A - 90° angle cord output top feed

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2014.12.22
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SPECIFICATION SHEET

lumenfacade™
STAND ALONE - PROJECTOR
WHITE & STATIC COLORS

HOW TO ORDER

LOGP	Select:	Select:	Select:	Select:	Select:	Select:	Select:	Select:	Select:
Housing	Voltage	Length	Colors and color temperature	Optic	Mounting Option	Finish	Control	Option	
1	2	3	4	5	6	7	8	9	
1	100 - 100 volts	12 - 13 3/8 inches (310mm) (2 kg/4.5 lbs)	27K - 2700K	10x10 - 0° x 10°	UMP	SL - Silver Smooth	NO - No Dimming	A - 90° angle cord output top feed	
2	120 - 120 volts	24 - 25 3/8 inches (615mm) (3.17 kg/7 lbs)	30K - 3000K	10x60 - 0° x 60°	UMAS	BL - Black Smooth	LI - Linear Dimming		
3	208 - 208 volts	48 - 49 3/8 inches (1254mm) (6.35 kg/14 lbs)	35K - 3500K	30x60 - 30° x 60°	WAM2	WH - White	DM - 0-10V Dimming option		
4			40K - 4000K	60x60 - 60° x 60°	WAM6 & WAM12	CC - Custom (please specify RAL color)	10% minimum dimming value		
5			RD - Red				DMX 1H - DMX Dimming option, resolution per fixture		
6			GB - Green				DMX 1X - DMX Dimming option, resolution per fixture		
7			BL - Blue				1% minimum dimming value		
8							1% minimum dimming value		
9							1% minimum dimming value		

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2014.12.22
Lumenpulse reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.

OW8 LUMINAIRE TYPE OW8
NO SCALE

MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS

Light building element for LED

Post construction: Made from four separate extruded sections: 1) wall thickness, mechanically fastened to a secure extruded lamp housing (top) and a wiring/balast compartment (bottom). Die castings are made from copper free 6063 cooper containing ALUMINUM.

Enclosure: One piece die cast aluminum extruded housing (top) clear, medical tempered glass, 1/4" thick, secured to the lamp enclosure to increase the light spread. Lens is secured to the lamp enclosure with a one piece die cast fitting, secured to housing with four (4) stainless steel screws. Fully gasketed using a one piece molded high temperature silicone gasket for weather light exposure. Reflector made from pure anodized aluminum.

Electrical: 47W LED luminaire, 45 footed system watts, 30°C start temp protection, integral 120V through 277V electronic LED driver, 0-10V dimming, standard LED color temperature is 4000K with a > 90 CRI. Available in 3000K (5-60 CRI); ask sales for order.

Anchor base: The #290B anchorage consists of a heavy gauge welded assembly of 1.57" thick galvanized steel. Luminaire fits over base and is secured by eight (8) stainless steel socket screws.

Finish: All BEGA molded finishes are polyester powder coat with minimum 3 mil thickness. Three finishes are available in four standard BEGA colors: Black (BK), White (WH), Bronze (BR), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations
Protection class: IP65.
Weight: 125 lbs.

Luminaire Lumens: 1124

7844 LED 47W LED 85h cft 120 177 890B

BEGA-US 1000 BEGA Way, Carpinteria CA 93019 (805)684-0533 FAX (805)566-9474 www.bega-us.com
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Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:

landscapeforms®

Concord
Design by: Robert A.H. Stone Architecture

Greater energy efficiency:
LEDs use less energy,
consume fewer resources

Enriches color:
Warm white light supports
ecology and human health

Better Light Control:
Engineered Avenir™ optics
eliminate wasted light
and light pollution

Longer Life:
Exceptional thermal
management increases
useful life

Alcott
LED Pedestrian Lighting

Alcott

Type 3
Structure: Housing and cabinet are cast aluminum, pole is aluminum extrusion.
Lamp: 40 Cree XP-E
TM21 L70 Life: 60,000 hours
Drive Current: 350mA
Optic: Proprietary Avenir™ Optic
Lens: Diffused
Power Supply: 100V-277V
LED Driver: 1 Dimmable THO-0765210DT
BUD Rating: 50/1031
IP Rating: IP66
Weight: 170 lbs (complete assembly)

Type 5
Structure: Housing and cabinet are cast aluminum, pole is aluminum extrusion.
Lamp: 95 Cree XP-E
TM21 L70 Life: 60,000 hours
Drive Current: 550mA
Optic: Proprietary Avenir™ Optic
Lens: Diffused
Power Supply: 100V-277V
LED Driver: 2 Dimmable THO-0765210DT
BUD Rating: 52/1101
IP Rating: IP66
Weight: 170 lbs (complete assembly)

lighting facts

Light Output (lumens)	2700
Watts	57
Lumens per Watt (LPW)	47
Color Accuracy	82

lighting facts

Light Output (lumens)	4811
Watts	115
Lumens per Watt (LPW)	42
Color Accuracy	82

General Description:
Pedestrian light for outdoor walkways. Light is highly designed using state-of-the-art LED lamp technology. Durable cast aluminum LED lamp housing sealed with thermoformed lens works with the integrated pole to provide outstanding heat management. Sealed housing uses the latest LED technology and improves lamp life by using more LEDs at lower current, may be removed for servicing. Diffused lens technology provides exceptional performance against glare as evident in the BUD rating. A warm white 3,500K lamp color was chosen for its warm aesthetic and ecological benefits.

Electrical:
100V-277V 50/60 Hz Dimmable, Class 2 LED driver is standard and mounted within integrated cast aluminum base cabinet. Alcott ships pre-wired, fully assembled and ready for installation.

Finish:
Pangard® offered exclusively by Landscape Forms is a 10 step program of sanding, priming, and powder coating that produces the finest metal finish available for site furniture. In addition, Pangard® contains no heavy metals and is free of hazardous Air Pollutants.

Warranty:
Five years (50,000 hrs) on LED cartridge and three years on finish and manufacturing defects.

Order:
Specify Alcott and powdercoat color for finish. Specify with Type 3 or Type 5 light. Specify optional cover plate. Alcott is surface mounted and ships with installation templates and hardware. Mounting hardware can be pre-ordered.

Order:
Energy Star Partner, UL Listed, RoHS, Patent # US Pat 6,662,977 © 2014 Landscape Forms, Inc.

Alcott Light Distribution and Spacing
Alcott meets or exceeds the IESNA DC-5 standard for Park, walkways, and Residential sidewalks at 60' pole spacing, Intermediate sidewalks at 50' pole spacing, and Commercial sidewalks at 50' pole spacing. Alcott, at 50' pole spacing, also meets the "Special Circumstances" criteria where increased vertical luminaire levels are needed for safety by improving facial recognition. Outside of North America, Alcott meets CE 136 2000 standard for Residential parks at 60' pole spacing, and City Center/ArCADIS at 50'.

Concord
landscapeforms®

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401 Lovell Ave., Hamden, CT 06518
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OP1 LUMINAIRE TYPE OP1 - ALTERNATE
NO SCALE

OP1 LUMINAIRE TYPE OP1 - BASE CAMPUS STANDARD
NO SCALE

MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS

ECOSENSE®

EcoSpec® Floodlight Bullet Mini



Features:

- Dimmable: TRUAX - ELV (RDP)
- Integral Driver - AC Power
- Flicker Free
- Long Life (L70)
- Glass Lens
- Field Interchangeable Accessory Lenses
- 360° Horizontal Rotation
- 130° Vertical Aiming

The EcoSpec Floodlight Bullet Mini offers field interchangeable optic lenses in a wide range of beam angle distributions to allow for simple optical design modifications without the need to replace the entire fixture. The integral driver connects directly to AC line voltage power, and is dimmable through ELV or TRUAX dimming hardware. This luminaire also has great flexibility with 130deg vertical aiming and 360deg horizontal rotation making it ideal for any application.

SPECIFICATIONS

PERFORMANCE	Correlated Color Temperature (K)	Lamp Output / Input Power (W)	Efficacy (lm/W)
2700K	745 lm / 11.2W	66 lm/W	
3000K	700 lm / 11.2W	62 lm/W	
3500K	650 lm / 11.2W	58 lm/W	
4000K	600 lm / 11.4W	53 lm/W	
Color Rendering Index	Min. 80		
Color Consistency	2 Step-MacAdam Ellipse		
Rated Life	L70-100,000 hours @ 25°C / L70-50,000 hours @ 50°C		
<small>* Color shift is 100% based on average color shift during the 50,000 hour test period at 50°C (122°F).</small>			
ELECTRICAL	Power Consumption	Power Factor	Operating Voltage
	10.9W Typical, 12.9W Maximum	Min. 0.90	100-120VAC, 220-240VAC, 277VAC (ETL), 50/60 Hz
	Operating Voltage		Operating / Startup Temperature
	-40°F to 122°F (-40°C to 50°C) (Storage: -40°F to 176°F (-40°C to 80°C))		
CONTROL	Dimming	100-120VAC - TRUAX/ELV RDP, 220-240VAC - TRUAX/ELV RDP, 277VAC - No Dim	
	100-120VAC - 0-10V Dimmer (0-10V Dimmer) (0-10V Dimmer)		
PHYSICAL	Dimensions	Dia. 4.02" x H 4.92" x L 5.73" (103mm x 125mm x 233mm)	
	Housing	Cast Aluminum, Clear Glass	
	Weight	4 lbs (2.0 kg)	
	Cable	Fishing Lead	
	Shielding	Optional 45° and 59° Cut-off Shields, 360° Locking Rotation	
	Environment	Indoor / Outdoor, CE Certified, ETL Certified, Vibration Resistant	
	Beam Angle	N/A	
	Mounting	1/2" x 1/2" Accessory Lens: 20° x 30° / 30° x 60° / 40° x 60° / 30° x 60° / 120° / 180° / 360° (Twist-lock type with locking nut)	
FEATURE RATING & CERTIFICATIONS	CE, ENEC, C-Tick, Corbett, ETL Certified, RoHS Compliant		
WARRANTY	5 Year Warranty		

1 EcoSense Lighting Inc. 915 Wilshire Boulevard, Suite 2475, Los Angeles, CA 90017
Phone: 213-228-6110 Fax: 213-228-6113 Toll Free: 855-832-8726
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ECOSENSE®

EcoSpec® Floodlight Bullet Mini

ORDERING INFORMATION

MODEL	COLOR	VOLTAGE	FINISH	OPTIC
BUL-S	27 - 2700K	120-1C - 100-120VAC*	BZ - Bronze	11 - 11° x 11°
(Single)	30 - 3000K	220-1C - 220-240VAC**	BK - Black	(Sealed Base Optic)
	35 - 3500K	277-1C - 277VAC*	WH - White	
	40 - 4000K			

EXAMPLE: BUL-S-40-120-1C-BK-11


ACCESSORIES

Shielding Options	Standard Lens Distributions	Optical Film Lens (Light Shaping Diffuser)
59° Cup (Standard with base fixture)	BUL-S-905-BZ	Built-to-order Lens Distributions
59° Full Shoot, Bronze	BUL-S-905-BK	Optical Lens 20° x 20°
59° Full Shoot, Black	BUL-S-905-BK	Optical Lens 30° x 30°
59° Full Shoot, White	BUL-S-905-WH	Optical Lens 40° x 40°
		Optical Lens 60° x 60°
		Optical Lens 80° x 80°
		Optical Lens 10° x 10°


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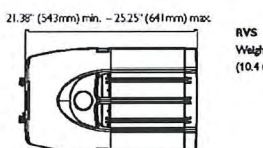
RoadView LED Series



15.38" (391mm)



4.66" (118mm) x 2.38" (61mm)



21.38" (543mm) min. - 25.25" (641mm) max.

RVS Weight: 23.0 to 26.0 lbs (10.4 to 11.8 kg)

Lamps

Lamp	LEDs	Current	Lumens	Source	Beam Spread	Beam Angle	Height	Length	Weight	Eff.
35WVLED-R	32	350	3684	37	0.31	23	10.4	21.38	5.43	0.53
55WVLED-R	32	530	5327	56	0.47	23	10.4	21.38	5.43	0.53
72WVLED-R	32	700	4524	73	0.41	23	10.4	21.38	5.43	0.53
55WVLED-R	48	350	5397	53	0.44	23	10.4	21.38	5.43	0.53
80WVLED-R	48	530	7799	81	0.48	23	10.4	21.38	5.43	0.53
106WVLED-R	48	700	9570	105	0.68	23	10.4	21.38	5.43	0.53
70WVLED-R	64	350	6970	68	0.57	26	11.8	25.25	6.41	0.60
110WVLED-R	64	530	10072	104	0.57	26	11.8	25.25	6.41	0.60
90WVLED-R	80	350	9555	85	0.71	26	11.8	25.25	6.41	0.60
135WVLED-R	80	530	12383	129	1.06	26	11.8	25.25	6.41	0.60

*For Type II distribution. See photometric files for all distributions.

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PHILIPS LUMEC

Optical systems / LED

LE2	TYPE II / Asymmetrical distribution
LE3	TYPE III / Asymmetrical distribution
LE4	TYPE IV / Asymmetrical distribution

Voltage

UNIV (120-277) 347 480
(not available for 27 LED models)

Driver options**

AST	Driver pre-programmed with progressive lamp starting*
CDMG	Dynamimer standard dimming program*
CDMGP	Dynamimer custom dimming program*
CLO	Constant Light Output, driver pre-programmed to achieve the same light intensity for the duration of the lifespan of the lamp*
DALI	Driver compatible with DALI control systems*
DMG	Dimmable driver 0-10 volt
OTL	Over The Life, driver pre-programmed to signal the end of lamp life*
OVR	Dynamimer override function for use with motion detector or other switching device

*Only available with 120 - 277 volts.
**For all programmable options please consult the factory for details.

Luminaire options

API	ANSI/NEMA wattage label
BL	Bubble level
OBLSW	Motion detector (requires DMG or CDMGP)
PH8	Photoelectric cell, twist-lock type includes receptacle
PHXL*	Photoelectric Cell, twist-lock type, "Fall ON", extended life
RC	Receptacle for a twist-lock photocell or shorting cap
SR	Strain relief

*Not available with 347 and 480 volt.

Luminaire accessory

SPC*	StarSense Photo-cell Control
------	------------------------------

*Luminaire option RC is required with this accessory.

Finish options

GY3	Gray	BR	Bronze
WH	White	BK	Black

*Extrusion painted to match as it housing color selected above (standard extrusion color is anodized aluminum).

Additional colors are available. Consult factory for complete specifications.

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PHILIPS LUMEC

OL1 LUMINAIRE TYPE OL1
NO SCALE

OA1 LUMINAIRE TYPE OA1
NO SCALE