

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>12/12/07</u>	Action Requested
UDC MEETING DATE: <u>12/19/07</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 615, 639, 653 PLEASANT VIEW ROAD

ALDERMANIC DISTRICT: #9, PAUL SKIDMORE

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
GALLINA INVESTMENTS, LLC + JAMES WICHMAN BROWNHOUSE DESIGNS, LLC
8500 GREENWAY BOULEVARD, SUITE 200 202 W. GORHAM ST.
MIDDLETON, WI 53562 MADISON, WI 53703

CONTACT PERSON: PATRICK MCGOWAN / BROWNHOUSE
Address: 202 W. GORHAM ST.
MADISON, WI 53703
Phone: 608 663-5100
Fax: 608 663-5151
E-mail address: pmcgowan@brownhousedesigns.com

TYPE OF PROJECT:
(See Section A for:)

- Planned Unit Development (PUD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

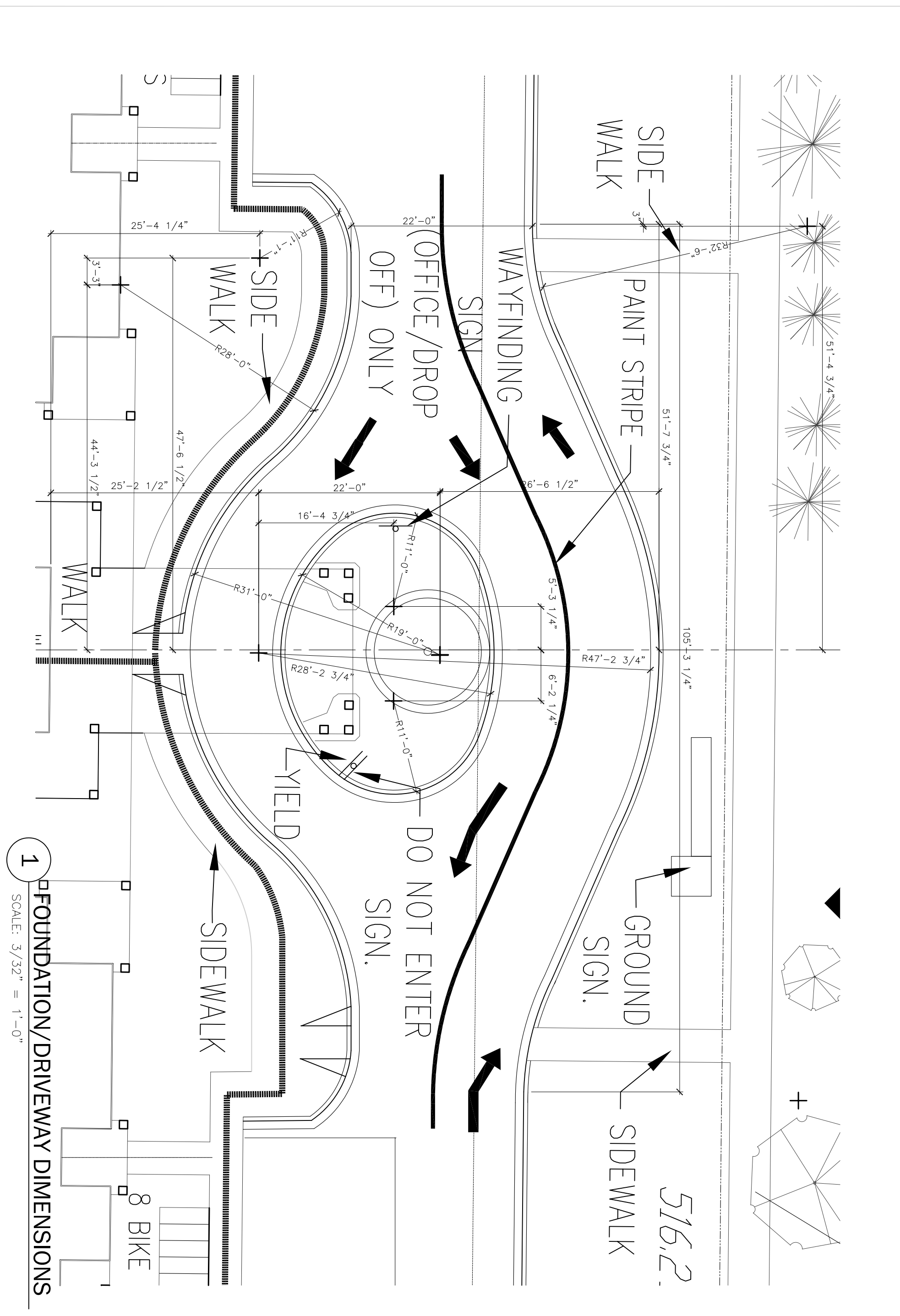
(See Section B for:)
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
 Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



1

FOUNDATION/DRIVEWAY DIMENSIONS
SCALE: 3/32" = 1'-0"

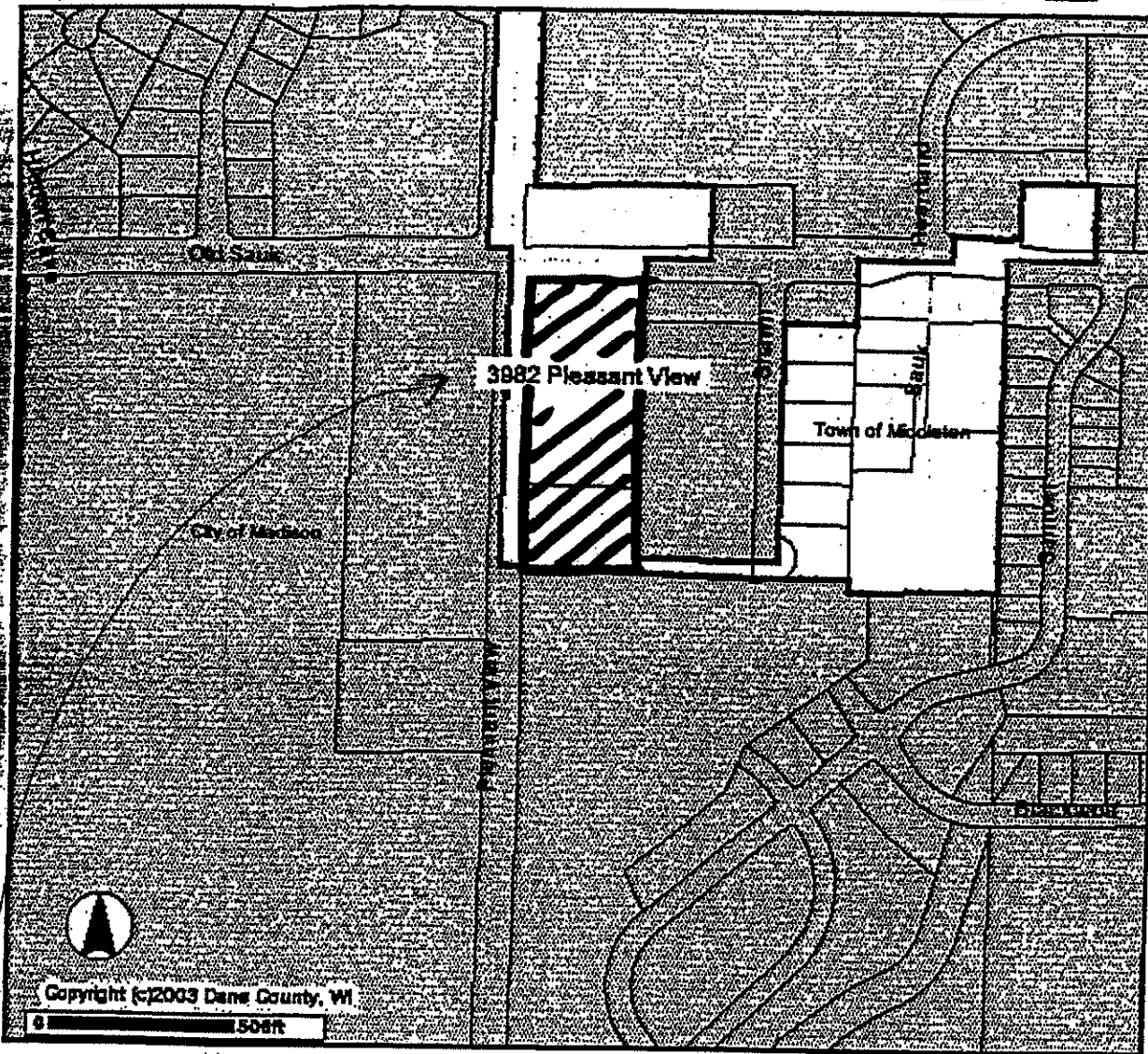
DRAWING:
DWG 1
DATE: 12/10/07
SCALE: 3/32" = 1'-0"

PROJECT: CHURCHILL CROSSING
TITLE: FRONT DROP OFF

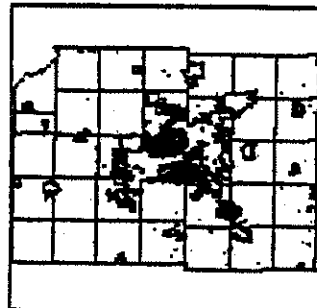
brownhouse
202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

Dane County DCiMap

Print Close

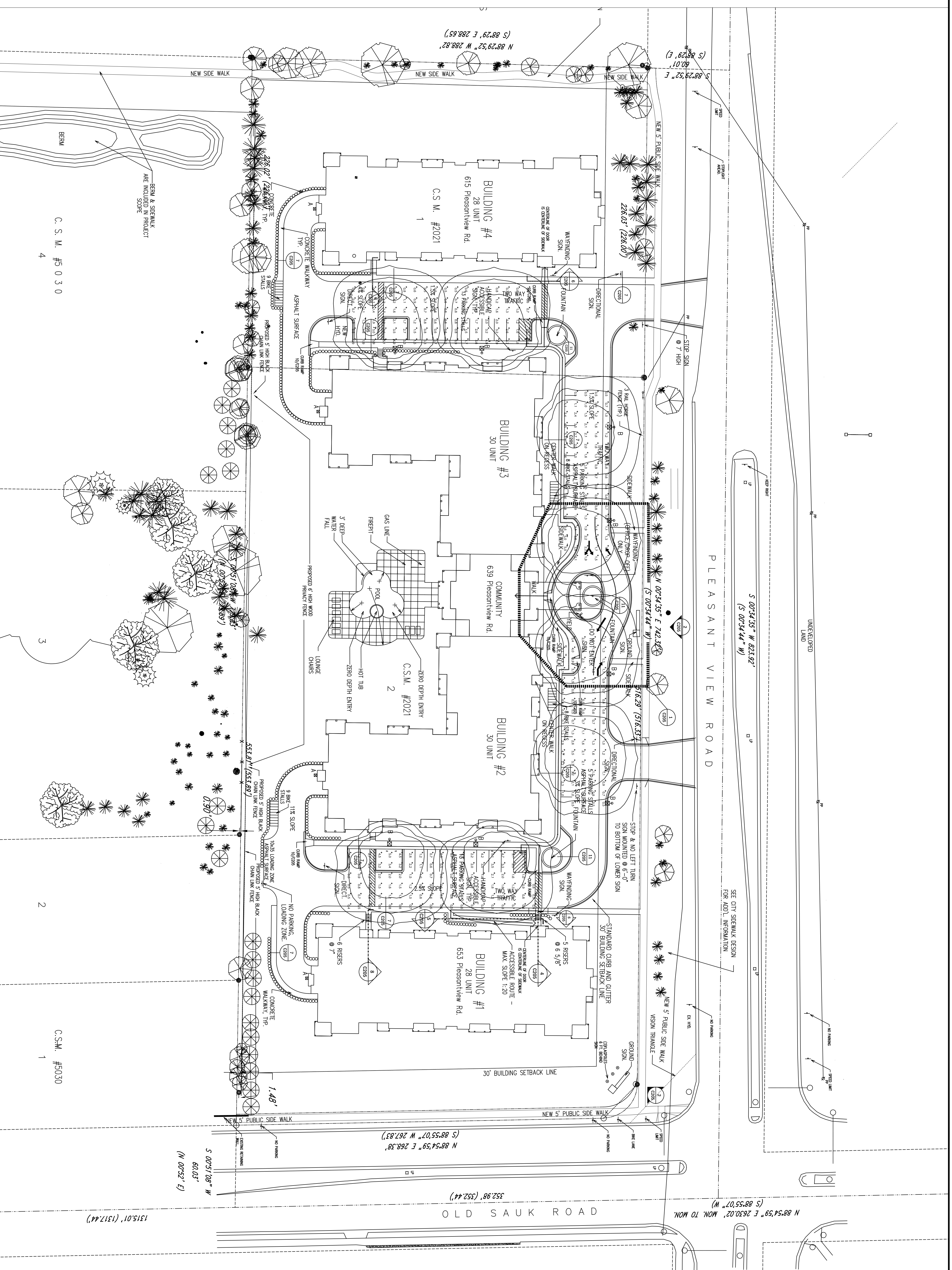


Now Known As:
 615, 639, 1653
 Pleasant View Rd.



DISCLAIMER
 This map was prepared using the Dane County DCiMap online geographic information system. All information is believed accurate but is NOT guaranteed to be without error. This map and its underlying data is intended to be used as a general index to land related information and is not intended for detailed, site-specific analysis. Dane County GIS datasets used to produce this map are copyrighted.

Site Locator Map



1 SITE LIGHTING PLAN
SCALE: NTS
TRUE NORTH

C.S.M. #5030
4

C.S.M. #5030
1

Churchill Crossing

639 Pleasant View Road
Madison, WI 53562

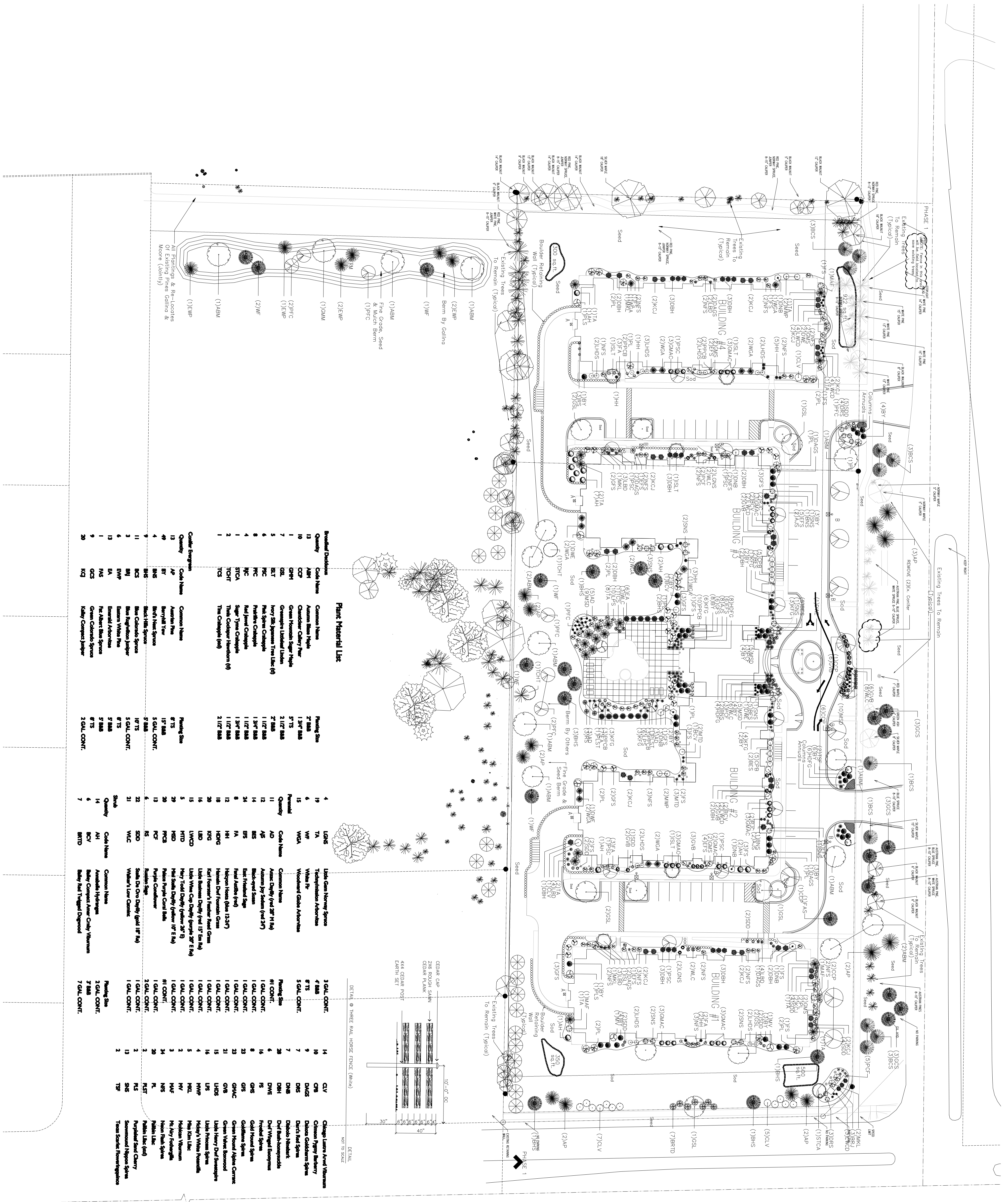


202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

DATE	12/12/07
REVISION/NO	
BID	11/1/07
STAFF APPR	9/10/07
MINOR ALT	9/10/07
DATE	8/10/07
DATE	8/10/07
DATE	8/10/07

Site Lighting Plan

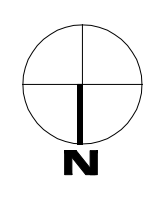
C204



Plant Material List

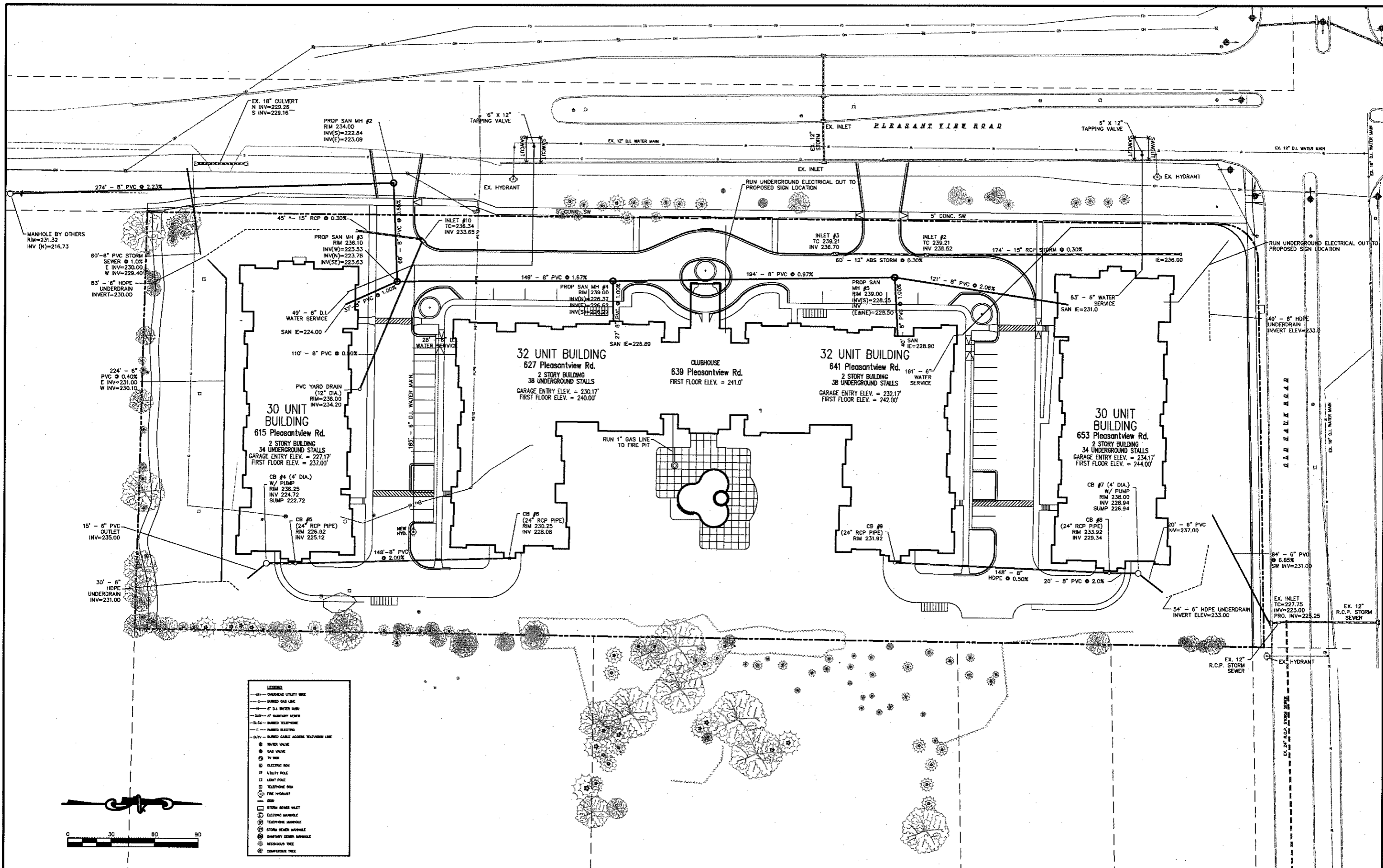
Quantity	Code Name	Common Name	Planting Size	Quantity	Code Name	Common Name	Planting Size
4	LNSE	Little Leaf Norway Spruce	3 GAL. CONT.	14	CV	Chinese Laurel Leaf Wisteria	3 GAL. CONT.
10	TA	Taxodium Michauxianum	8 FT.	10	CR	Common Spire Juniper	3 GAL. CONT.
4	WF	White Fir	3 GAL. CONT.	9	DMC	Dark Green Spruce	3 GAL. CONT.
15	WCA	Western Cedar Alternans	3 GAL. CONT.	7	DSE	Dark Green Spruce	3 GAL. CONT.
11	AD	Asian Drift (red 3/4")	8 FT.	28	DH1	Dark Hybrid	3 GAL. CONT.
12	AS	Asian Drift (red 3/4")	8 FT.	6	DWE	Dark Hybrid	3 GAL. CONT.
12	BS	Balsam Poplar	8 FT.	4	FR	Fraxinus	3 GAL. CONT.
14	BS	Balsam Poplar	8 FT.	23	GR	Green Spruce	3 GAL. CONT.
8	FA	Fatal Arbutus (red)	8 FT.	15	GR1	Green Spruce	3 GAL. CONT.
12	H1	Hibiscus (red)	8 FT.	21	GR2	Green Spruce	3 GAL. CONT.
18	H2	Hibiscus (red)	8 FT.	15	GR3	Green Spruce	3 GAL. CONT.
16	H3	Hibiscus (red)	8 FT.	14	GR4	Green Spruce	3 GAL. CONT.
15	LNCD	Little Leaf Norway Spruce	3 GAL. CONT.	16	GR5	Green Spruce	3 GAL. CONT.
14	LNCD	Little Leaf Norway Spruce	3 GAL. CONT.	14	GR6	Green Spruce	3 GAL. CONT.
5	MTD	May Todd Drift (purple 3/4")	8 FT.	2	HY	Holly	3 GAL. CONT.
29	MSD	May Todd Drift (purple 3/4")	8 FT.	2	HY	Holly	3 GAL. CONT.
12	PC3	Pyralis Purple Coat 3/4"	8 FT.	3	HY1	Holly	3 GAL. CONT.
19	PC3	Pyralis Purple Coat 3/4"	8 FT.	34	MS	Mountain Spruce	3 GAL. CONT.
4	RS	Rubus	3 GAL. CONT.	20	NS	Norway Spruce	3 GAL. CONT.
4	SD	Shade Drift (red 3/4")	8 FT.	2	NS1	Norway Spruce	3 GAL. CONT.
21	WLC	White Leaf Cedar	3 GAL. CONT.	13	NS2	Norway Spruce	3 GAL. CONT.
7	WLC	White Leaf Cedar	3 GAL. CONT.	1	NS3	Norway Spruce	3 GAL. CONT.
7	WTD	White Todd Drift (purple 3/4")	8 FT.	2	NS4	Norway Spruce	3 GAL. CONT.
4	WTD	White Todd Drift (purple 3/4")	8 FT.	1	NS5	Norway Spruce	3 GAL. CONT.
4	WTD	White Todd Drift (purple 3/4")	8 FT.	1	NS6	Norway Spruce	3 GAL. CONT.
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LANDSCAPE PLAN
1" = 40'



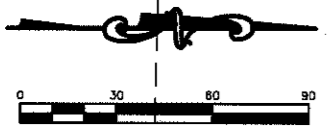
Project Title
**Churchhill Crossing
Apartments**
Site Address: 615, 639 & 653 Pleasant View Rd.
Old Site Address: 3982 Pleasant View Rd.
Drawing Title
Site Plan
Project No. _____ Drawing No. **C203**

Revisions
Issued - Jan. 29, 2004
Initial UDC Submitted - August 11, 2004
I2 Submitted - August 18, 2004
Plan Commission Submitted - September 8, 2004
Final UDC Submitted - October 13, 2004
Issued For Pricing - 4/4/05
Issued For Construction - April 22, 2005
Issued For Parking Lot Approval - May 31, 2005
Issued For Plan Review - June 17, 2005
Issued For Bid - November 1, 2007

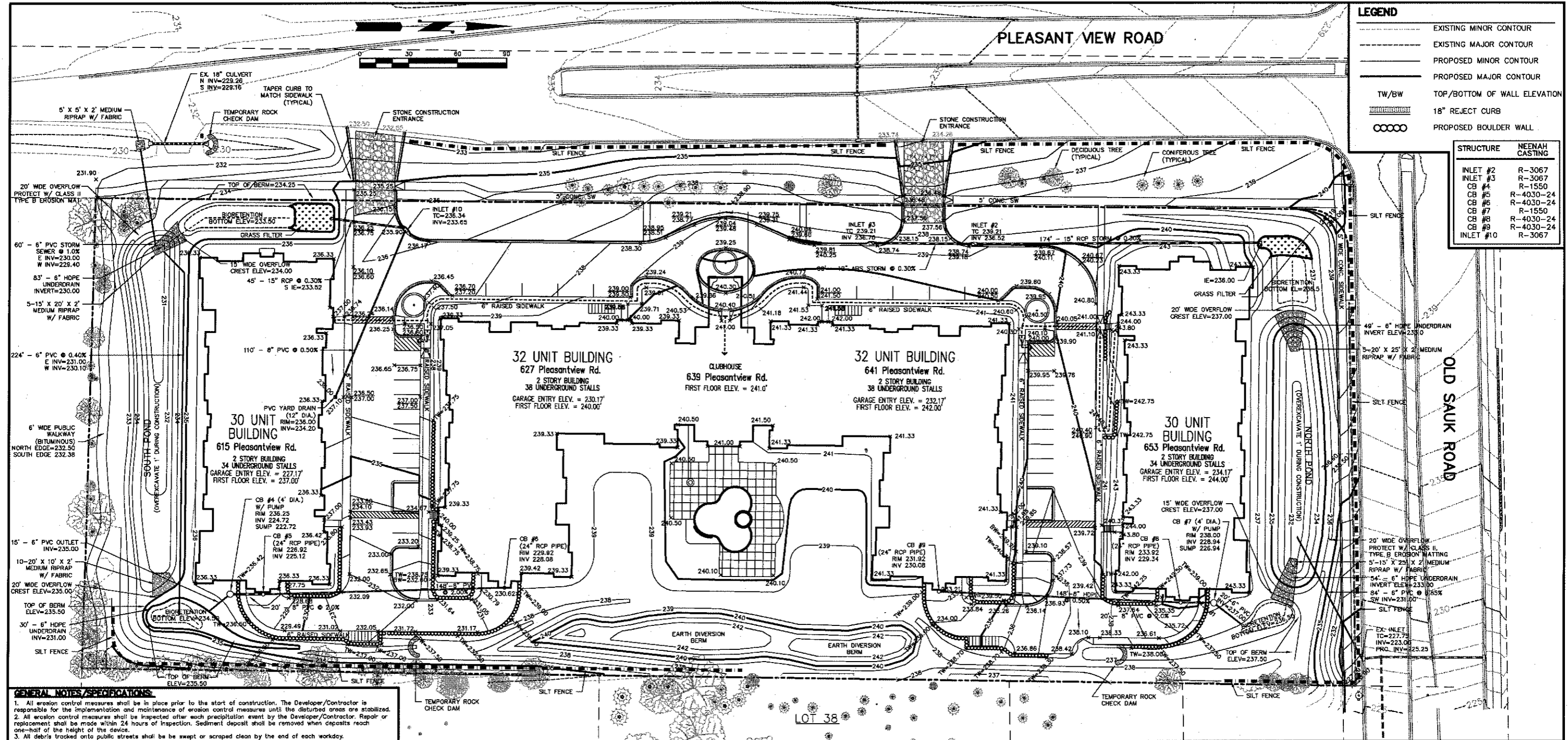


LEGEND

- OVERHEAD UTILITY WIRE
- BURIED GAS LINE
- 8" D.I. WATER MAIN
- 12" R.C.P. STORM SEWER
- BURIED TELEPHONE
- BURIED ELECTRIC
- BURIED CABLE ACCESS TELEVISION LINE
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ TV BOX
- ⊙ ELECTRIC BOX
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ TELEPHONE BOX
- ⊙ FIRE HYDRANT
- ⊙ SIGN
- ⊙ STORM SEWER INLET
- ⊙ ELECTRIC MANSHOLE
- ⊙ TELEPHONE MANSHOLE
- ⊙ STORM SEWER MANSHOLE
- ⊙ SANITARY SEWER MANSHOLE
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE



Burse surveying & engineering 1400 E. Washington Ave., Suite 158 Madison, WI 53703 608.250.9263



LEGEND

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR
- - - PROPOSED MAJOR CONTOUR
- TW/BW TOP/BOTTOM OF WALL ELEVATION
- 18" REJECT CURB
- OOOOO PROPOSED BOULDER WALL

STRUCTURE NEENAH CASTING

INLET #2	R-3067
INLET #3	R-3067
CB #4	R-1550
CB #5	R-4030-24
CB #6	R-4030-24
CB #7	R-1550
CB #8	R-4030-24
CB #9	R-4030-24
INLET #10	R-3067

GENERAL NOTES/SPECIFICATIONS

- All erosion control measures shall be in place prior to the start of construction. The Developer/Contractor is responsible for the implementation and maintenance of erosion control measures until the disturbed areas are stabilized.
- All erosion control measures shall be inspected after each precipitation event by the Developer/Contractor. Repair or replacement shall be made within 24 hours of inspection. Sediment deposit shall be removed when deposits reach one-half of the height of the device.
- All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
- WDOT Type D inlet protection shall be installed in all open grate inlets after installation. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pal.htm>.
- All disturbed areas shall be seeded immediately after grading activities have been completed.
- Erosion control devices shall comply with all Madison ordinances and DNR standards found at <http://dnr.wi.gov/org/water/wm/nps/stormwater/techstds.htm>.

TIME SCHEDULE

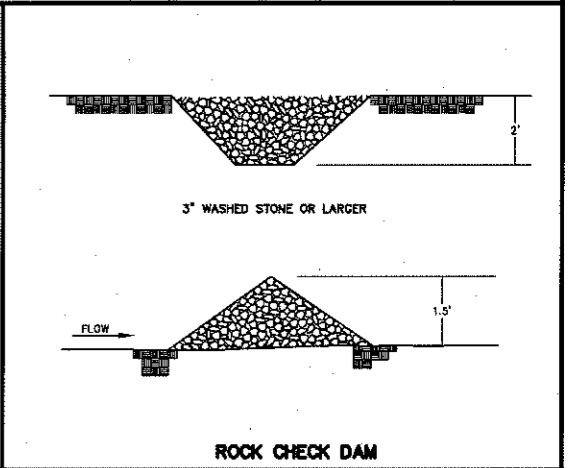
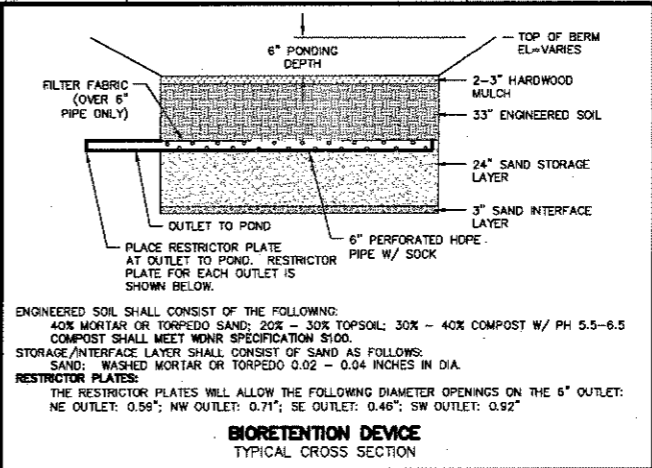
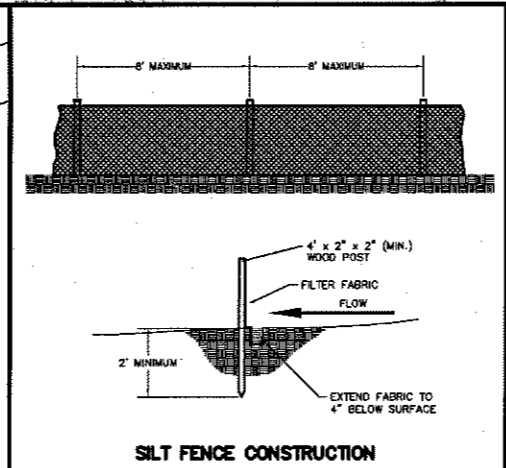
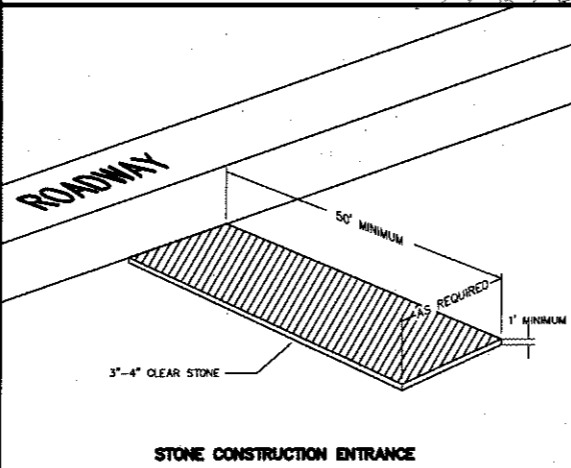
- November 18 - December 7, 2007: Install erosion control devices and construct detention ponds. Seed and mulch outer fill slopes when complete. Do not construct bioretention basins until after all other construction is complete and disturbed areas are stable.
- December 10, 2007 - March 14, 2008: Excavate for and commence construction of buildings. Spread heavily applied mulch or wood chips to all surfaces exposed to construction traffic.
- March 17, 2008 - Sept. 12, 2008: Construct parking and drive areas, retaining walls, and finish grading. Restore all disturbed areas with seed and mulch.
- Sept. 15, 2008 - January 30, 2009: Complete building construction.
- April 13, 2009 - May 15, 2009: Complete bioretention construction.

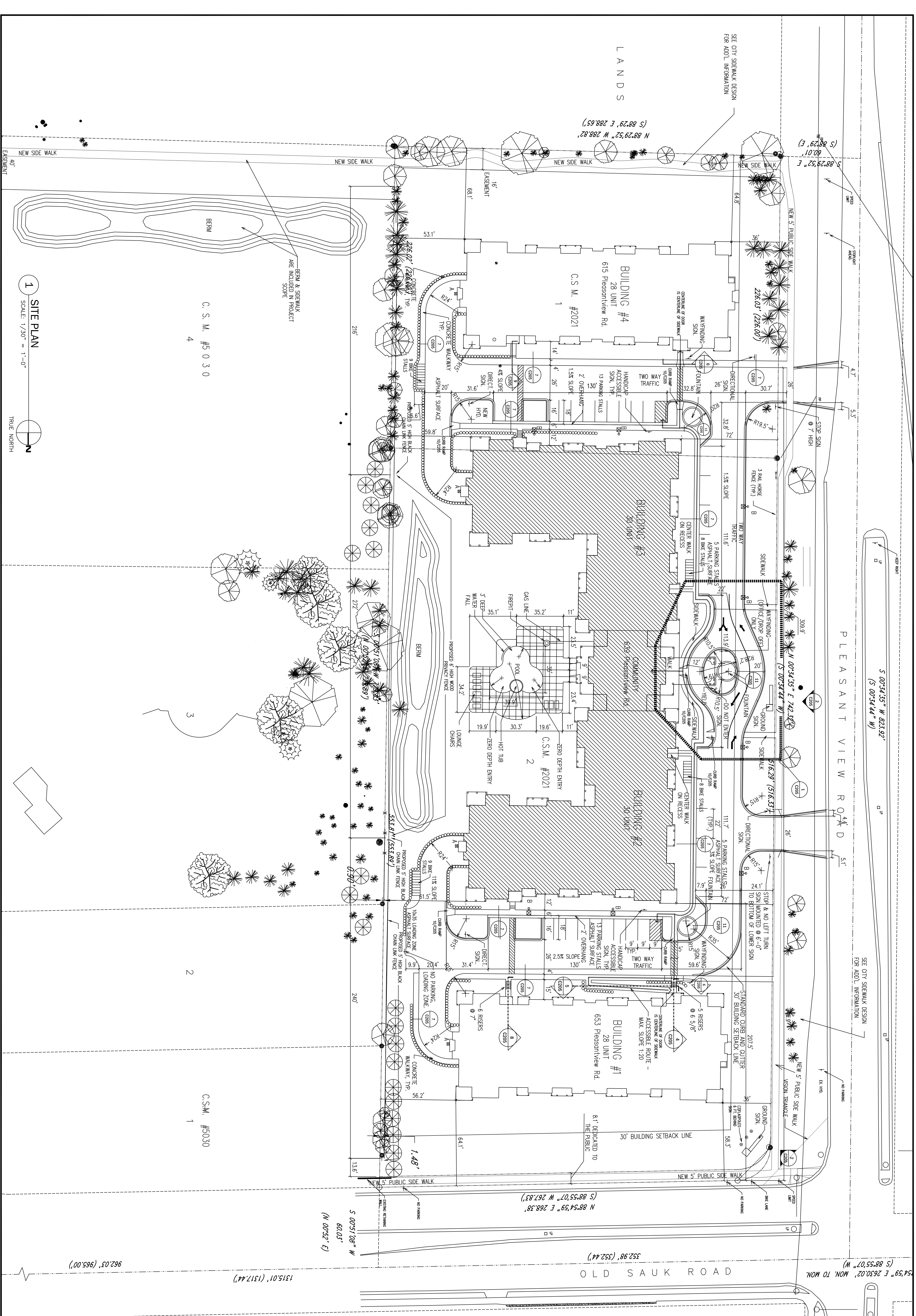
RESTORATION NOTES

All disturbed areas, except street pavement, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed and mulch. Restoration will occur as soon after the disturbance as practical. Seed mixture 40 shall be used on all areas. Mixtures shall be in accordance with section 630 of D.O.T. specifications. An equal amount of annual ryegrass shall be added to the mix. Seed mixtures shall be applied at the rate of seven (7) pounds per 1,000 square feet. Fertilizer shall be applied at the rate of seven (7) pounds per 1,000 square feet. Fertilizer shall meet the minimum requirements that follow: nitrogen, not less than 16%; phosphoric acid, not less than 6%; potash, not less than 6%.

OWNER:
Gallina Investments, LLC
Attn: Craig Enzenroth
8500 Greenway Blvd., Suite #200
Madison, WI 53762

ENGINEER:
Burse Surveying and Engineering, Inc.
Attn: Peter D. Fortlage
1400 E. Washington Avenue, Suite 158
Madison, WI 53703





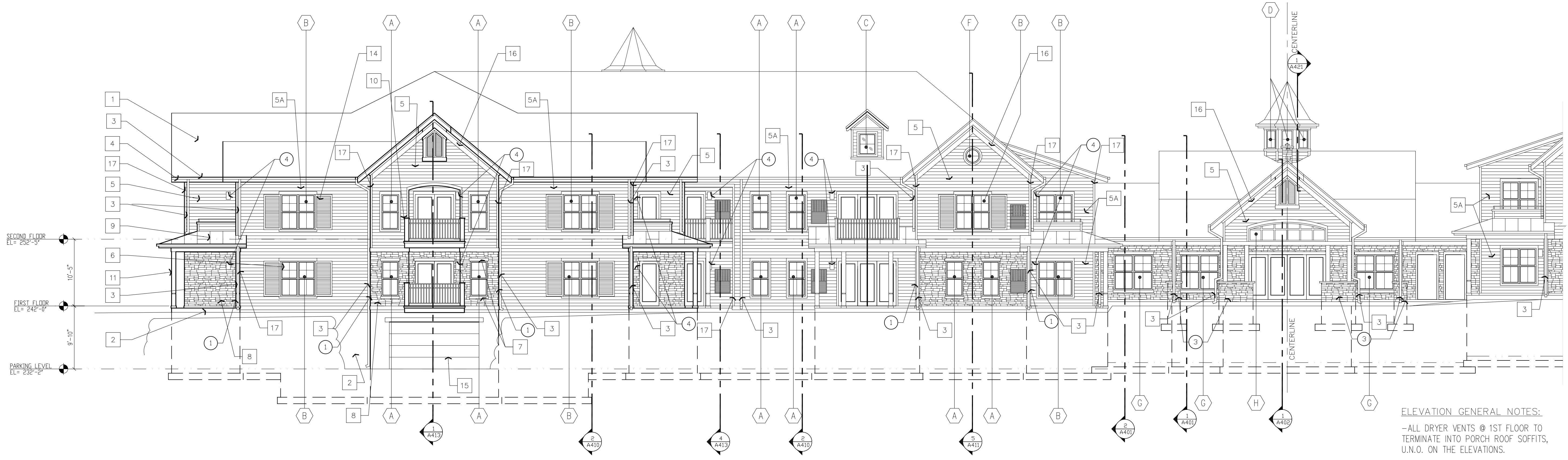
1 SITE PLAN
 SCALE: 1/32" = 1'-0"
 TRUE NORTH

C.S.M. #5030
 4

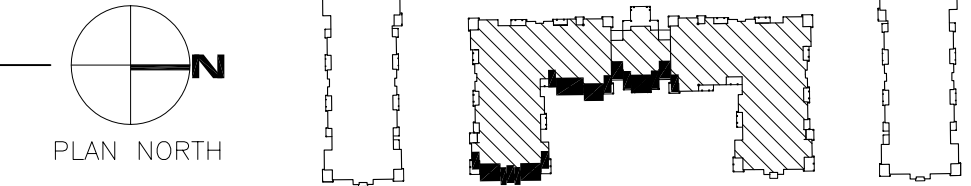
C.S.M. #5030
 1

<p>C200</p> <p>SITE PLAN</p>	<p>Churchill Crossing 639 Pleasant View Road Madison, WI 53562</p>	<p>brownhouse 202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax</p>
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<p>DATE: 12/12/07 REVISION: 01 DATE: 12/12/07</p>	<p>DATE: 12/12/07 REVISION: 01 DATE: 12/12/07</p>	<p>DATE: 12/12/07 REVISION: 01 DATE: 12/12/07</p>
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1 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



ELEVATION GENERAL NOTES:
-ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, U.N.O. ON THE ELEVATIONS.
-ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, U.N.O. ON THE ELEVATIONS.

TYPICAL MATERIALS:

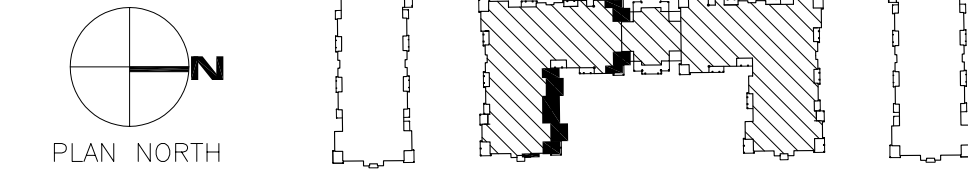
- 1 ASPHALT SHINGLES: LANDMARK PREMIUM DESIGNER SHINGLES, CERTAINTEED. COLOR: HEARTHSTONE
- 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL, INTEGRAL COLOR
- 3 ALUMINUM GUTTERS & DOWNSPOUTS. COLOR TO MATCH ALCOA PERFORMANCE METALS, COLOR: PEBBLESTONE CLAY - WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM. COLOR: PEBBLESTONE CLAY.
- 4 ALUMINUM WRAPPED FASCIA. ALCOA, PERFORMANCE METALS COLOR: PEBBLESTONE CLAY
- 5 FIBER CEMENT BOARD SIDING. COLOR TO MATCH PEBBLESTONE CLAY.
- 5A FIBER CEMENT BOARD SIDING. COLOR TO MATCH MONTANA SUEDE.
- 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE
- 7 PRECAST SILL & HEAD
- 8 OWENS CORNING CULTURED STONE, COLOR: CHARDONNAY SOUTHERN LEDGESTONE (CSV-2054)
- 9 STANDING SEAM METAL ROOF COLOR = PAC-CLAD MANSARD BROWN
- 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDPLANK, COLOR = SAND
- 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR, COLOR = SAND
- 12 VINYL TRIM. COLOR: PEBBLESTONE CLAY
- 13 PRECAST LINTEL
- 14 CUSTOM SHUTTER AS APPROVED BY OWNER. COLOR: BLACK.
- 15 INSULATED OVERHEAD DOOR. COLOR: CHESTNUT BROWN
- 16 1x12 COMPOSITE RAKE BOARD WITH 1x4 RAKE TRIM AT ALL GABLE ENDS (NOT ON RETURN WALLS)
- 17 1x6 CORNER BOARDS AT OUTSIDE CORNER WITH 1x4 CORNER BOARD AT INSIDE CORNER

ELEVATION KEY NOTES

- 1 CULTURED STONE ON RETURN WALLS
- 2 FLUE TERMINATION CAP. PAINT
- 3 CULTURED STONE PIERS
- 4 LIGHT FIXTURE



2 NORTH COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"



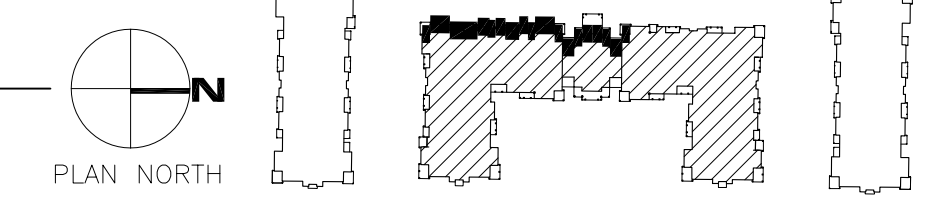
DWG STATUS	DATE:
MINOR ALT	9/10/07
STAFF APPR	9/10/07
BID	11/1/07
UDC SUBMIT	12/12/07
REVISION/NO.	DATE:

BLDS. 2&3
EXTERIOR
ELEVATIONS

A303



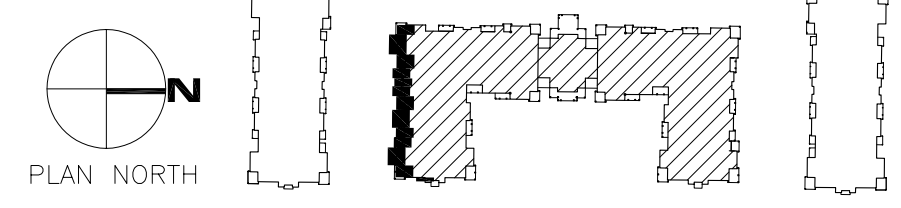
1 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



ELEVATION GENERAL NOTES:
 -ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, U.N.O. ON THE ELEVATIONS.
 -ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, U.N.O. ON THE ELEVATIONS.



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



- TYPICAL MATERIALS:**
- 1 ASPHALT SHINGLES: LANDMARK PREMIUM DESIGNER SHINGLES, CERTAINTED. COLOR: HEARTHSTONE
 - 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL, INTEGRAL COLOR
 - 3 ALUMINUM GUTTERS & DOWNSPOUTS. COLOR TO MATCH ALCOA PERFORMANCE METALS, COLOR: PEBBLESTONE CLAY - WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM. COLOR: PEBBLESTONE CLAY.
 - 4 ALUMINUM WRAPPED FASCIA. ALCOA, PERFORMANCE METALS COLOR: PEBBLESTONE CLAY
 - 5 FIBER CEMENT BOARD SIDING. COLOR TO MATCH PEBBLESTONE CLAY.
 - 5A FIBER CEMENT BOARD SIDING. COLOR TO MATCH MONTANA SUEDE.
 - 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE
 - 7 PRECAST SILL & HEAD
 - 8 OWENS CORNING CULTURED STONE, COLOR: CHARDONNAY SOUTHERN LEDGESTONE (CSV-2054)
 - 9 STANDING SEAM METAL ROOF COLOR = PAC-CLAD MANSARD BROWN
 - 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDIPLANK, COLOR = SAND
 - 11 PAINTED WOOD COLUMNS - PAINTED HARDIPLANK OR CEDAR, COLOR = SAND
 - 12 VINYL TRIM. COLOR: PEBBLESTONE CLAY
 - 13 PRECAST LINTEL
 - 14 CUSTOM SHUTTER AS APPROVED BY OWNER. COLOR: BLACK.
 - 15 INSULATED OVERHEAD DOOR. COLOR: CHESTNUT BROWN
 - 16 1x12 COMPOSITE RAKE BOARD WITH 1x4 RAKE TRIM AT ALL GABLE ENDS (NOT ON RETURN WALLS)
 - 17 1x6 CORNER BOARDS AT OUTSIDE CORNER WITH 1x4 CORNER BOARD AT INSIDE CORNER

- ELEVATION KEY NOTES**
- 1 CULTURED STONE ON RETURN WALLS
 - 2 FLUE TERMINATION CAP. PAINT
 - 3 CULTURED STONE PIERS
 - 4 LIGHT FIXTURE

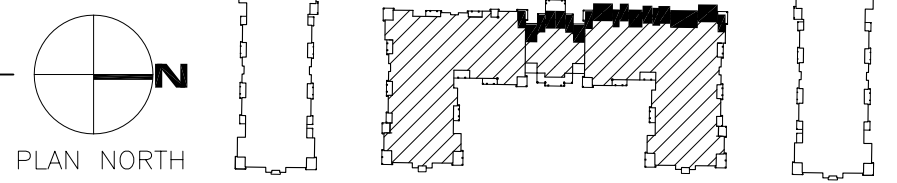
DWG STATUS:	DATE:
MINOR ALT	9/10/07
STAFF APPR	9/10/07
BID	11/17/07
UDC SUBMIT	12/12/07
REVISION/NO.	DATE:

BLDS. 2&3
EXTERIOR ELEVATIONS

A302



1 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



ELEVATION GENERAL NOTES:

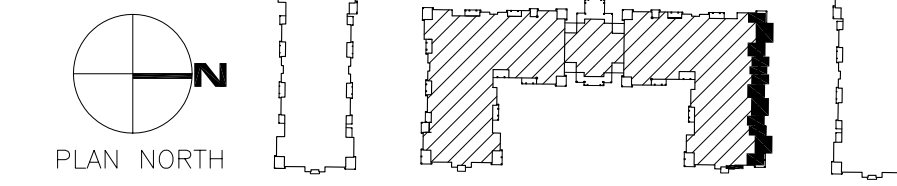
- ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, U.N.O. ON THE ELEVATIONS.
- ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, U.N.O. ON THE ELEVATIONS.

TYPICAL MATERIALS:

- 1 ASPHALT SHINGLES: LANDMARK PREMIUM DESIGNER SHINGLES, CERTAINTED. COLOR: HEARTHSTONE
- 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL, INTEGRAL COLOR
- 3 ALUMINUM GUTTERS & DOWNSPOUTS. COLOR TO MATCH ALCOA PERFORMANCE METALS. COLOR: PEBBLESTONE CLAY - WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM. COLOR: PEBBLESTONE CLAY.
- 4 ALUMINUM WRAPPED FASCIA. ALCOA, PERFORMANCE METALS COLOR: PEBBLESTONE CLAY
- 5 FIBER CEMENT BOARD SIDING. COLOR TO MATCH PEBBLESTONE CLAY.
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- 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE
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- 8 OWENS CORNING CULTURED STONE, COLOR: CHARDONNAY SOUTHERN LEDGESTONE (CSV-2054)
- 9 STANDING SEAM METAL ROOF COLOR = PAC-CLAD MANSARD BROWN
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- 13 PRECAST LINTEL
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- 17 1x6 CORNER BOARDS AT OUTSIDE CORNER WITH 1x4 CORNER BOARD AT INSIDE CORNER



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



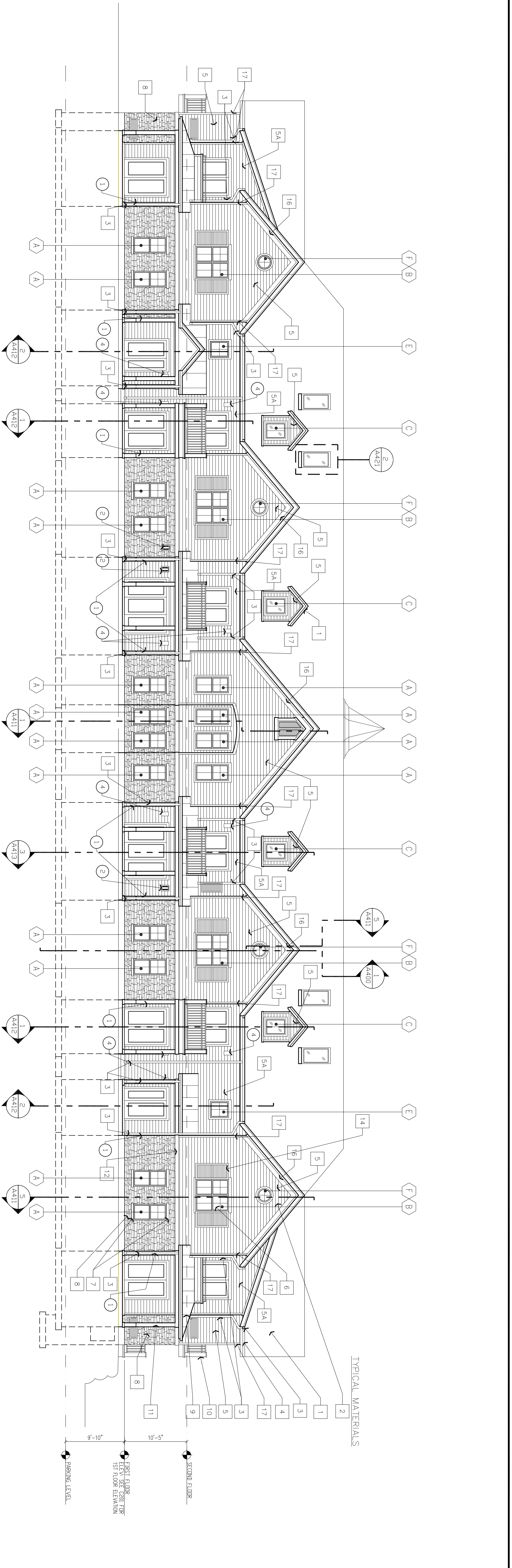
ELEVATION KEY NOTES

- 1 CULTURED STONE ON RETURN WALLS
- 2 FLUE TERMINATION CAP. PAINT
- 3 CULTURED STONE PIERS
- 4 LIGHT FIXTURE

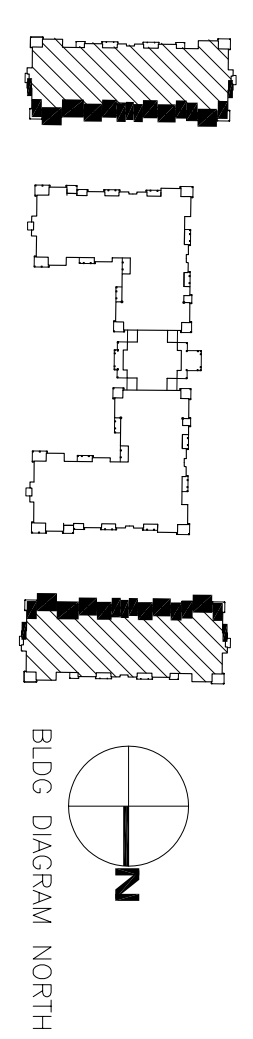
DWG STATUS	DATE:
MINOR ALT	9/10/07
STAFF APPR	9/10/07
BID	11/1/07
UDC SUBMIT	12/12/07
REVISION/NO.	DATE:

BLDS. 2&3
EXTERIOR
ELEVATIONS

A301



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BLDG DIAGRAM NORTH

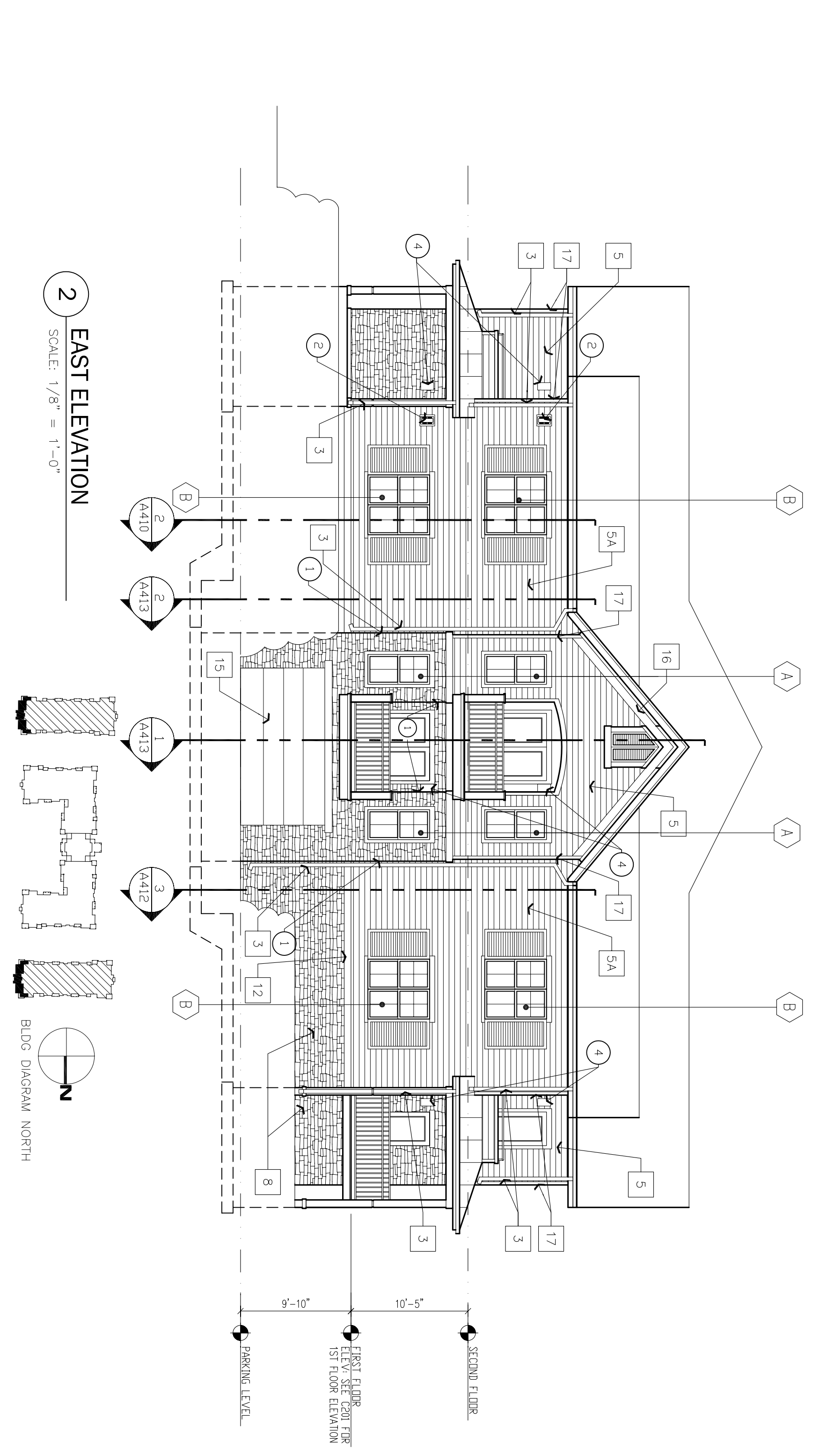
ELEVATION GENERAL NOTES:
 -ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, UNO. ON THE ELEVATIONS.
 -ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, UNO. ON THE ELEVATIONS.

TYPICAL MATERIALS:

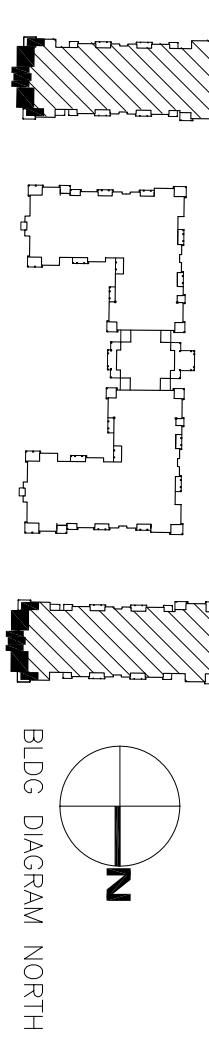
- 1 ASPHALT SHINGLES: LANDMARK PREMIUM DESIGNER SHINGLES, CERTAINTED. COLOR: HEARTHSTONE
- 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL, INTERIOR COLOR
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ELEVATION KEY NOTES

- 1 CULTURED STONE ON RETURN WALLS
- 2 FLUE TERMINATION CAP: PAINT
- 3 CULTURED STONE PIERS
- 4 LIGHT FIXTURE



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



BLDG DIAGRAM NORTH

ELEVATION KEY NOTES

- 1 CULTURED STONE ON RETURN WALLS
- 2 FLUE TERMINATION CAP: PAINT
- 3 CULTURED STONE PIERS
- 4 LIGHT FIXTURE

DWG STATUS: DATE:
 MINOR ALT: 8/10/07
 START APPR: 8/10/07
 BLDG SHEET: 12/12/07
 REVISION/NO. DATE:

Churchill Crossing
 653 Pleasant View Road (also 615 Pleasant View Rd.)
 Madison, WI 53562

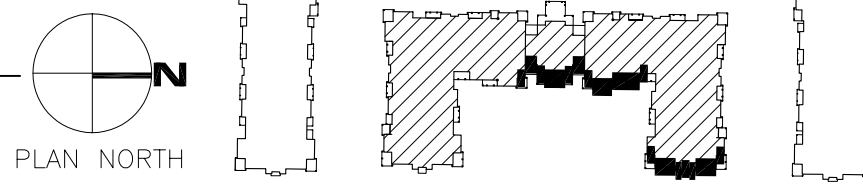
brownhouse

202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

EXTERIOR ELEVATIONS
A301



1 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



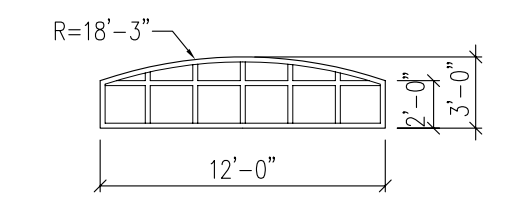
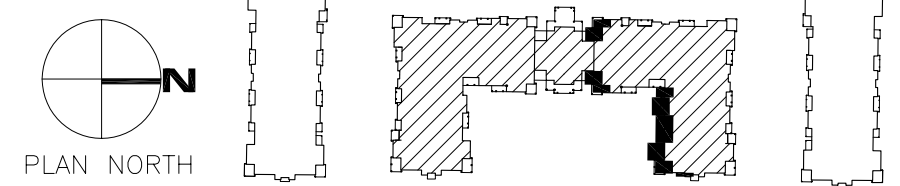
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 - 7 PRECAST SILL & HEAD
 - 8 OWENS CORNING CULTURED STONE, COLOR: CHARDONNAY SOUTHERN LEDGESTONE (CSV-2054)
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- ELEVATION KEY NOTES**
- 1 CULTURED STONE ON RETURN WALLS
 - 2 FLUE TERMINATION CAP. PAINT
 - 3 CULTURED STONE PIERS
 - 4 LIGHT FIXTURE

ELEVATION GENERAL NOTES:
-ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, U.N.O. ON THE ELEVATIONS.
-ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, U.N.O. ON THE ELEVATIONS.



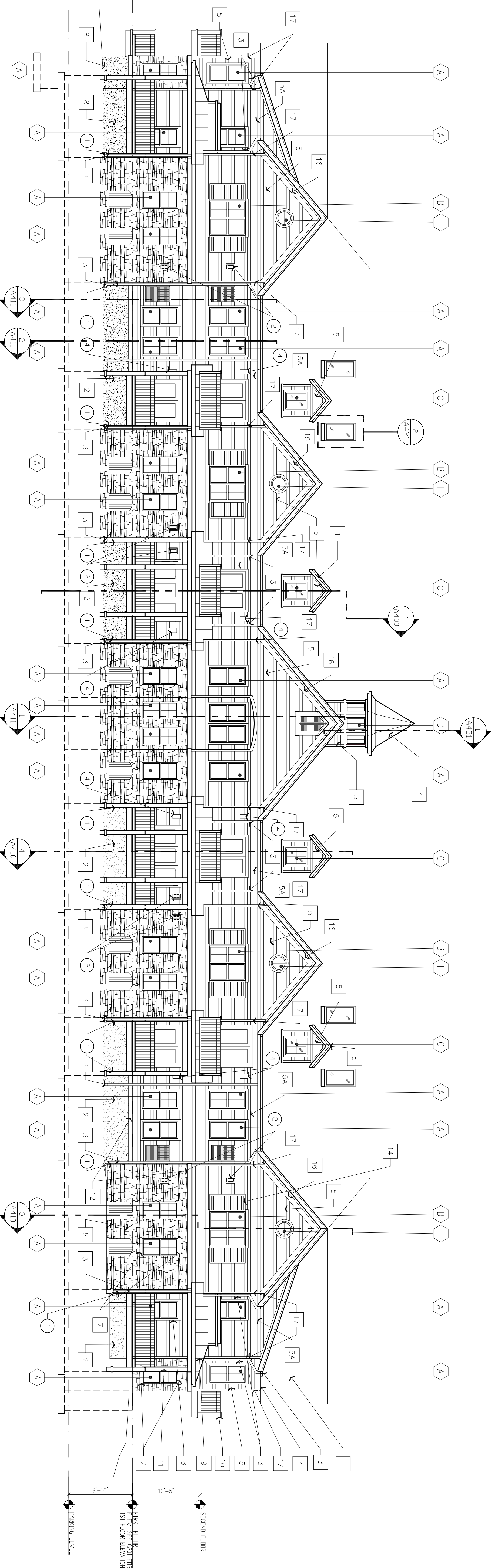
2 SOUTH COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"



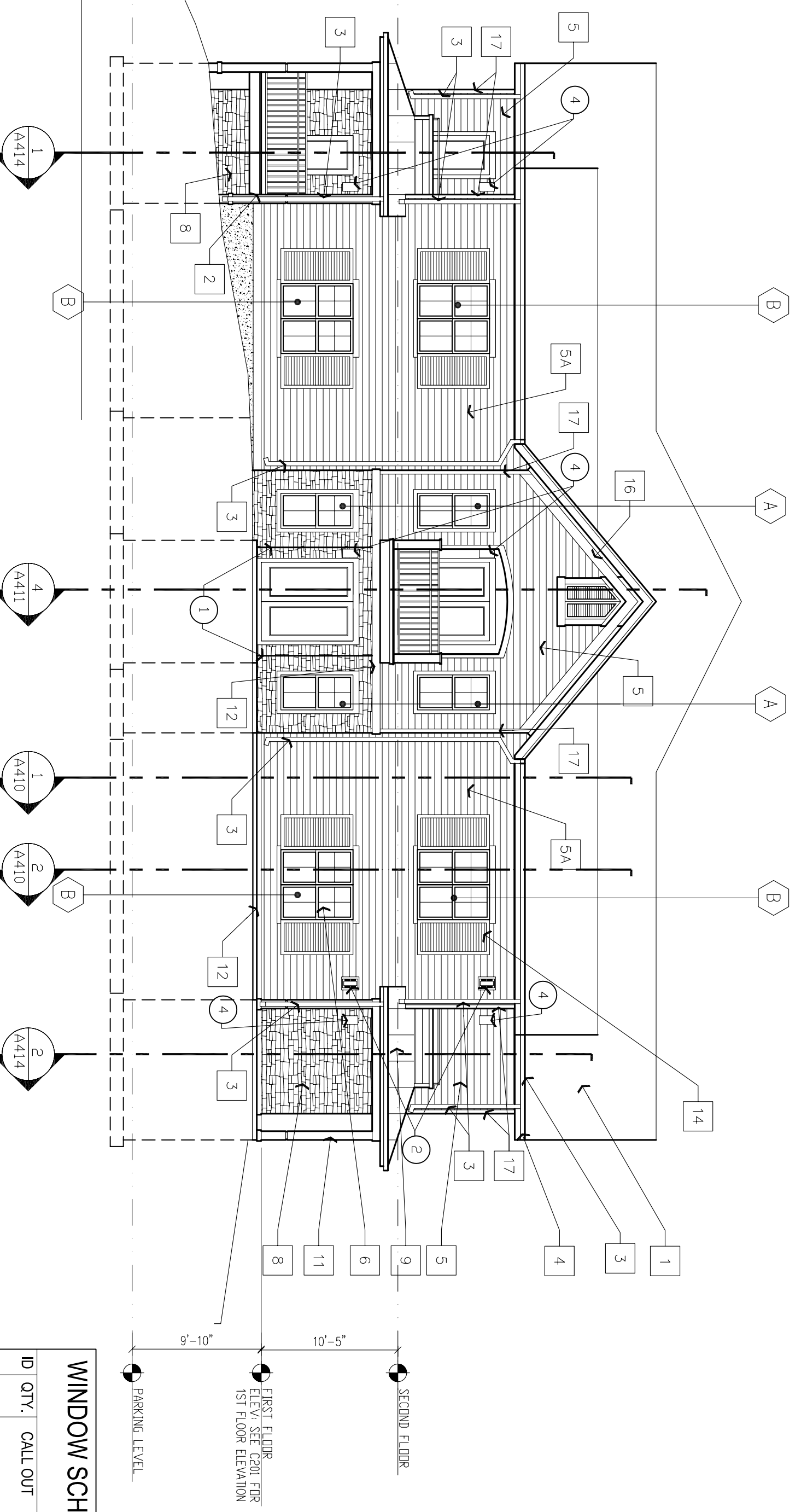
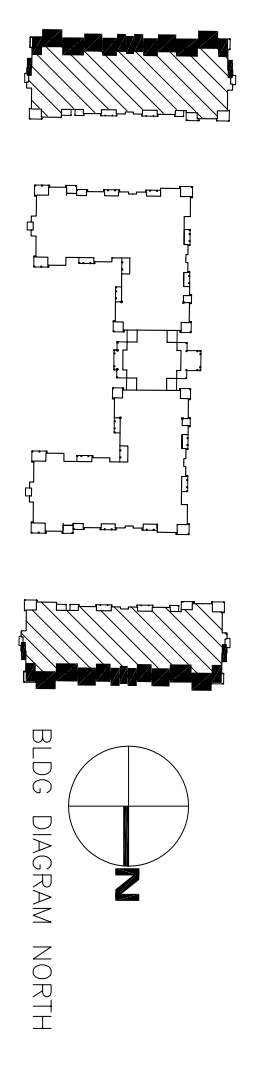
WINDOW H

WINDOW SCHEDULE		BUILDINGS 2 AND 3						
ID	QTY.	SIZE	TYPE	APPROXIMATE ROUGH OPENING	MANUFACTURER	MATERIAL	MODEL	REMARKS
A	102	2'-8"x5'-6"	SINGLE HUNG	2'-8"x5'-6"	MILGARD	VINYL	-	VINYL WINDOW W/ CLEAR INSULATED, LOWE GLASS
B	32	(2) - 2'-8"x5'-6"	SINGLE HUNG	5'-4"x5'-6"	MILGARD	VINYL	-	VINYL WINDOW W/ CLEAR INSULATED, LOWE GLASS
C	16	2'-8"x3'-4"	FIXED	2'-8"x3'-4"	MILGARD	VINYL	-	VINYL WINDOW W/ CLEAR INSULATED, LOWE GLASS
D	24	1'-10"x3'-0"	FIXED	1'-10"x3'-0"	MILGARD	VINYL	-	VINYL WINDOW W/ CLEAR INSULATED, LOWE GLASS
E	6	2'-8"x3'-0"	FIXED	2'-8"x3'-0"	MILGARD	VINYL	-	VINYL WINDOW W/ CLEAR INSULATED, LOWE GLASS
F	18	2'-4"	FIXED	2'-4" ROUND	MILGARD	VINYL	-	VINYL WINDOW W/ CLEAR INSULATED, LOWE GLASS
G	7	(2) - 3'-0"x5'-6"	SINGLE HUNG	6'-0"x5'-6"	MILGARD	VINYL	-	VINYL WINDOW W/ CLEAR INSULATED, LOWE GLASS
H	2	SEE DIAGRAM	FIXED	SEE DIAGRAM	MILGARD	VINYL	-	VINYL WINDOW W/ CLEAR INSULATED, LOWE GLASS

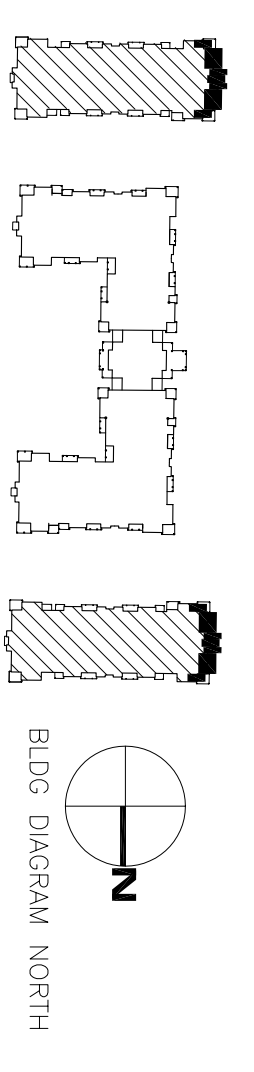
*** GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF SUBSTITUTIONS OF WINDOW / DOOR. MANUFACTURER PRIOR TO ORDERING THE PRODUCT. ***
*** PROVIDE SAFETY GLAZING AT ALL COMMON WINDOWS WITHIN 24" OF FLOOR AND ANY WINDOW / SLOUGHT ADJACENT TO DOORS. ***
*** GENERAL CONTRACTOR TO VERIFY QUANTITIES LISTED IN THIS SCHEDULE PRIOR TO BID SUBMITTAL. ***



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

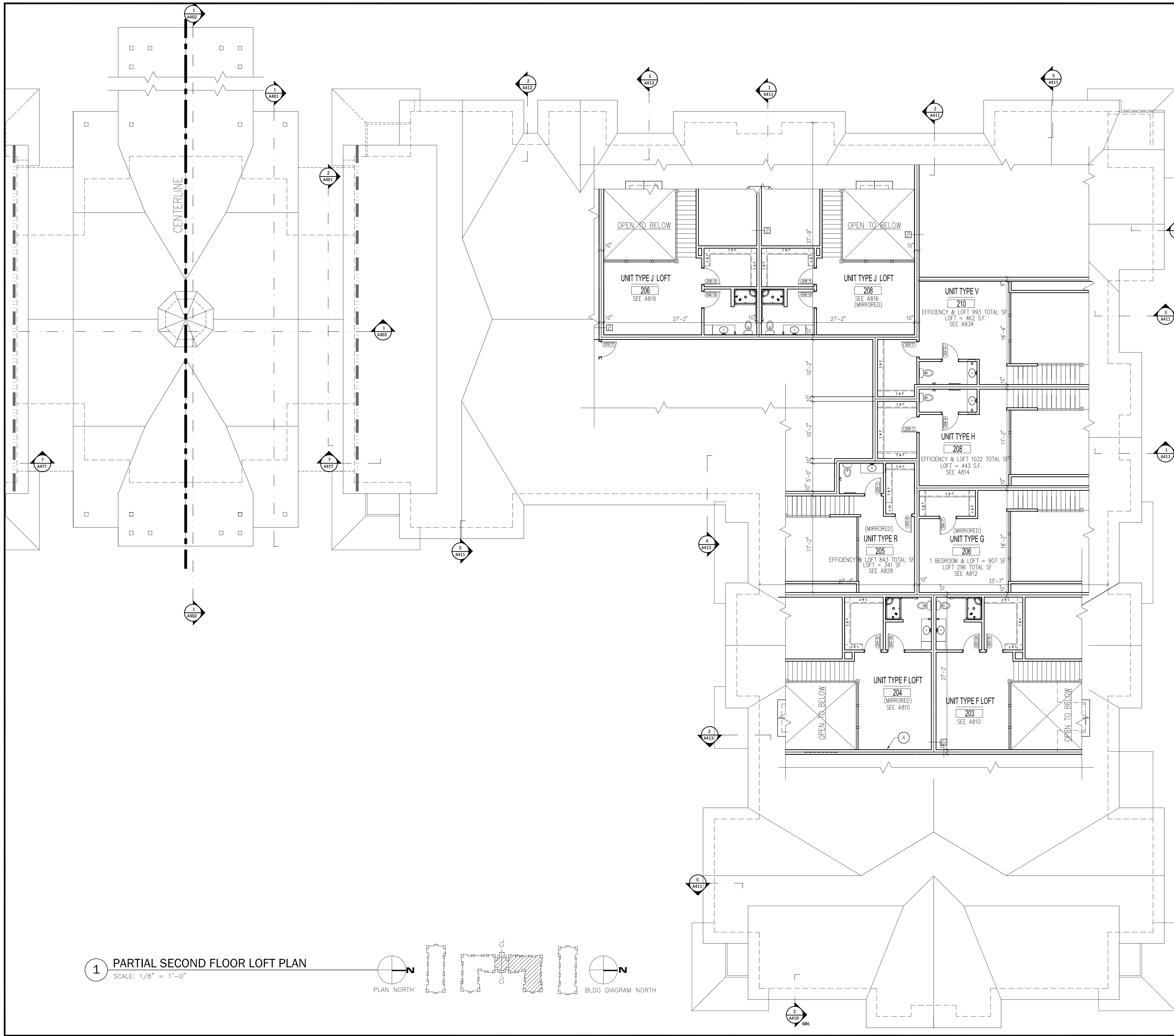


WINDOW SCHEDULE BUILDINGS 1 AND 4

ID	QTY	CALL OUT	TYPE	APPROXIMATE ROUGH OPENING	MANUFACTURER	MATERIAL	MODEL	REMARKS
A	96	2'-8"5/8"	DOUBLE HUNG	2'-8"5/8"	N/A	-	-	WNT WINDOW W/ CLEARANSLATED LOWE GLASS
B	32	2'-2"8/16"	DOUBLE HUNG	5'-4"5/8"	N/A	-	-	WNT WINDOW W/ CLEARANSLATED LOWE GLASS
C	16	2'-8"3/4"	FIXED	2'-8"3/4"	N/A	-	-	WNT WINDOW W/ CLEARANSLATED LOWE GLASS
D	16	1'-10"3/4"	FIXED	1'-10"3/4"	N/A	-	-	WNT WINDOW W/ CLEARANSLATED LOWE GLASS
E	4	2'-8"3/4"	FIXED	2'-8"3/4"	N/A	-	-	WNT WINDOW W/ CLEARANSLATED LOWE GLASS
F	16	2'-4"	2-4" ROUND	N/A	-	-	-	WNT WINDOW W/ CLEARANSLATED LOWE GLASS

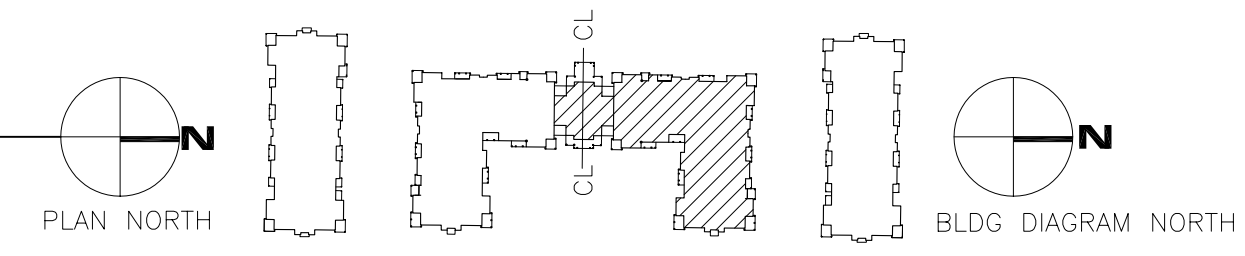
ELEVATION GENERAL NOTES:
 -ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, U.N.O.
 -ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, U.N.O.
 ON THE ELEVATIONS.

- TYPICAL MATERIALS:
- 1 ASPHALT SHINGLES, LANDMARK PREMIUM DESIGNER SHINGLES, CERTAINEED. COLOR: HEARTHSTONE
 - 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL, INTERGRAL COLOR
 - 3 ALUMINUM GUTTERS & DOWNSPOUTS, COLOR TO MATCH ALCOA PERFORMANCE METALS. COLOR: PEBBLESTONE CLAY. WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM, COLOR: PEBBLESTONE CLAY.
 - 4 ALUMINUM WRAPPED FASCIA, ALCOA, PERFORMANCE METALS COLOR: PEBBLESTONE CLAY
 - 5 FIBER CEMENT BOARD SIDING, COLOR TO MATCH PEBBLESTONE CLAY.
 - 5A FIBER CEMENT BOARD SIDING, COLOR TO MATCH MONTANA SLIDE.
 - 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE
 - 7 PRECAST SILL & HEAD
 - 8 OMENS CORNING CULTURED STONE, COLOR: CHARONNAY SOUTHERN LEDGESTONE (CSY-2054)
 - 9 STANDING SEAM METAL ROOF
 - 9 COLOR = PAC-GLAD MANSARD BROWN
 - 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDPLANK, COLOR = SAND
 - 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR, COLOR = SAND
 - 12 VINYL TRIM, COLOR: PEBBLESTONE CLAY
 - 13 PRECAST UNITE
 - 14 CUSTOM SHUTTER AS APPROVED BY OWNER, COLOR: BLACK.
 - 15 INSULATED OVERHEAD DOOR, COLOR: CHESTNUT BROWN
 - 16 1x12 COMPOSITE RAKE BOARD WITH 1x4 RAKE TRIM AT ALL GABLE ENDS (NOT ON RETURN WALLS)
 - 17 1x6 CORNER BOARDS AT OUTSIDE CORNER WITH 1x4 CORNER BOARD AT INSIDE CORNER
- ELEVATION KEY NOTES
- 1 CULTURED STONE ON RETURN WALLS
 - 2 FLUE TERMINATION CAP PAINT
 - 3 CULTURED STONE PERS
 - 4 LIGHT FIXTURE

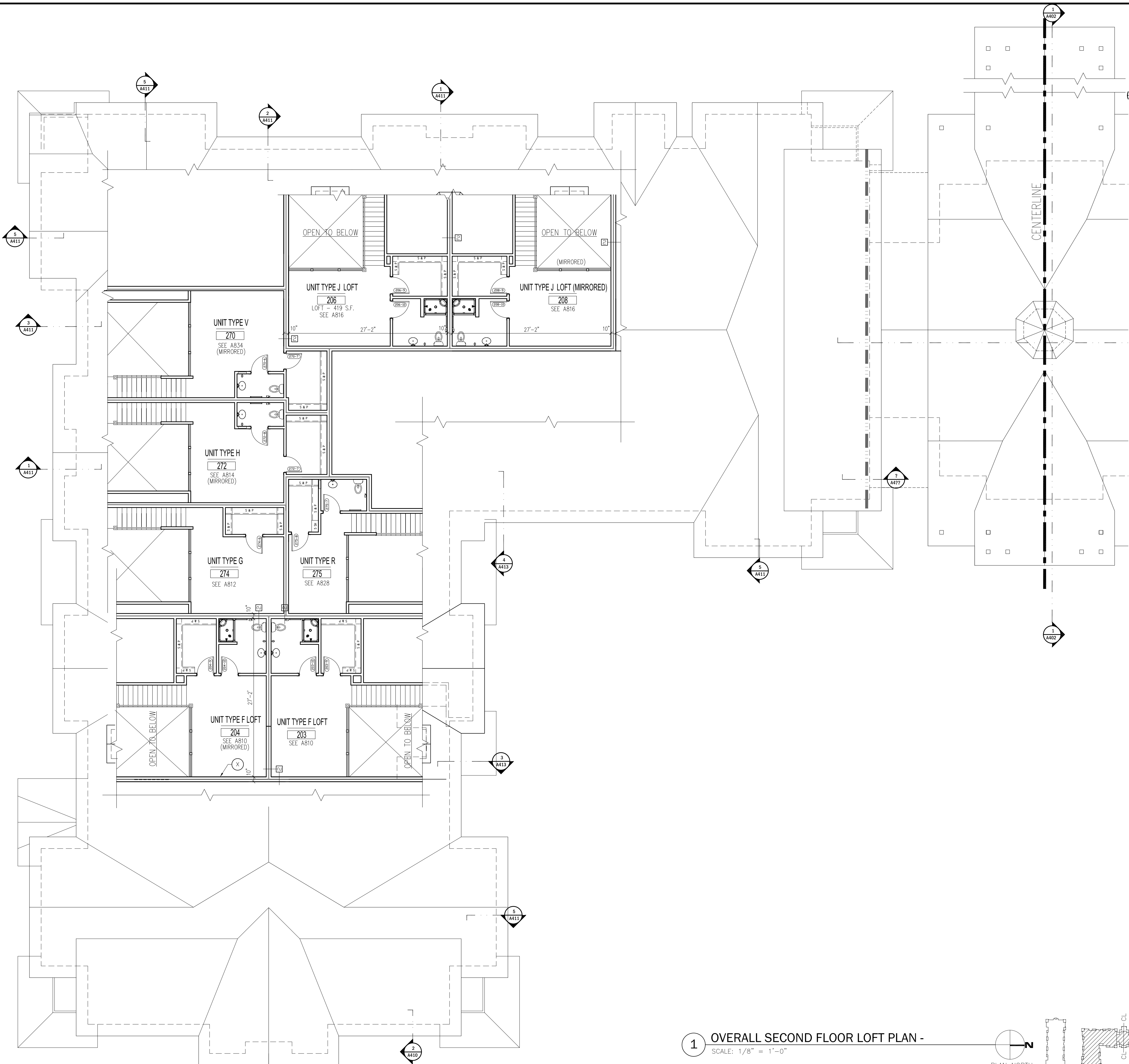


- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
 - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F., PER DETAIL C4/XXXX.
 - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4' WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4' LINE.
 - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 - 6 CONCRETE STOOP
 - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
 - 8 NOT USED
 - 9 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
 - 10 ALIGN FACE OF CMU W/ FACE OF CONCRETE
 - 11 CENTER DOOR IN STORAGE UNIT
 - 12 TELEPHONE ENTRY SYSTEM, SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18.
 - 13 HANDRAILS

1 PARTIAL SECOND FLOOR LOFT PLAN
SCALE: 1/8" = 1'-0"

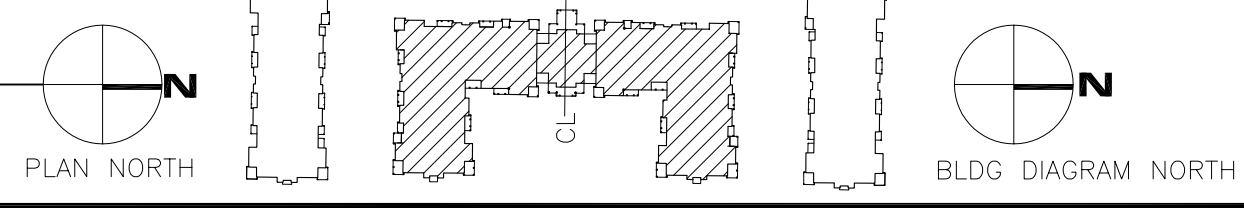


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MINOR ALT	9/10/07
STAFF APPR	9/10/07
BID	11/1/07
UDC SUBMIT	12/12/07
REVISION/NO.	DATE:

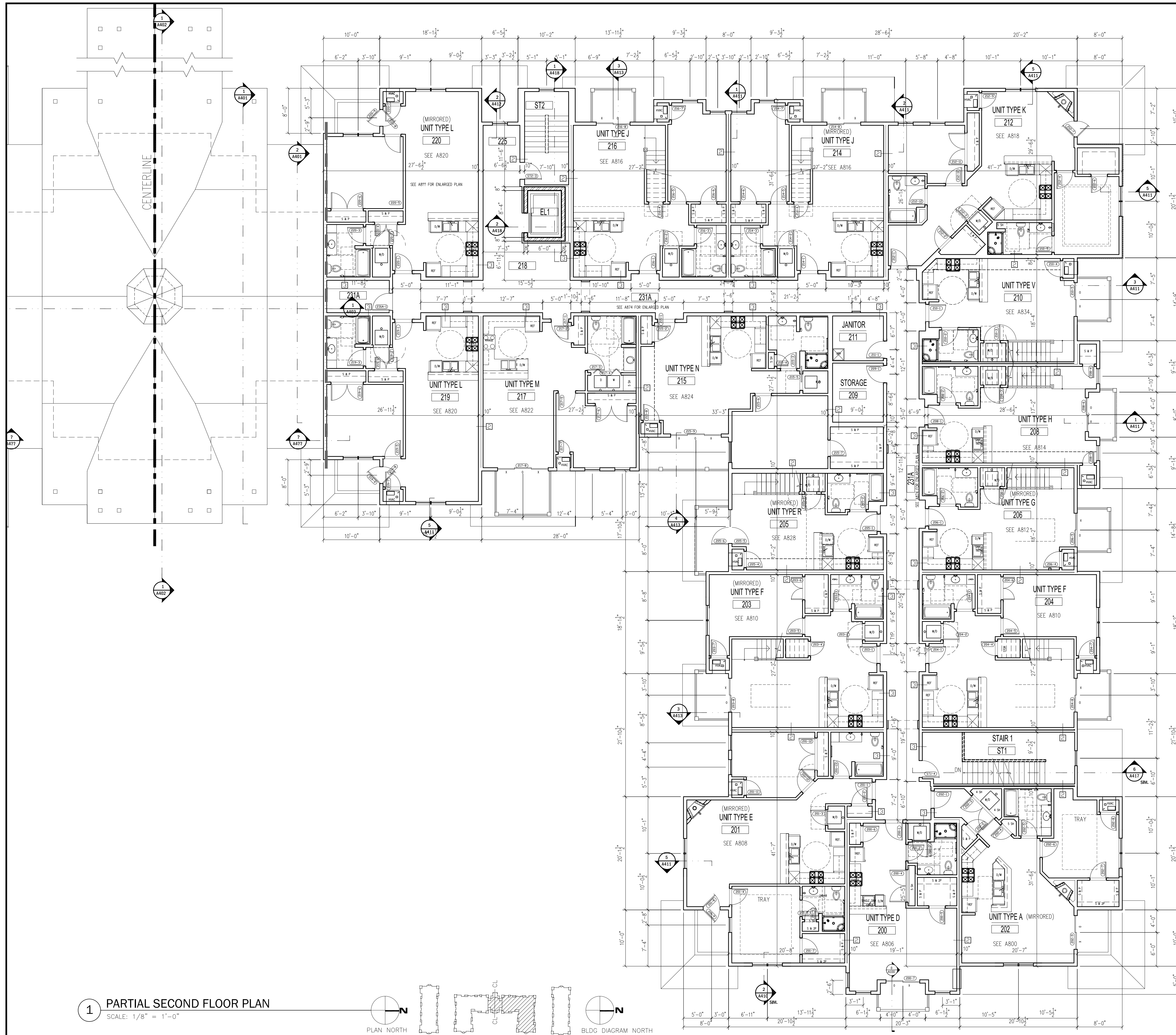


- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
 - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F., PER DETAIL (X/XXXX).
 - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 - 6 CONCRETE STOOP
 - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
 - 8 NDT USED
 - 9 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
 - 10 ALIGN FACE OF CMU W/ FACE OF CONCRETE
 - 11 CENTER DOOR IN STORAGE UNIT
 - 12 TELEPHONE ENTRY SYSTEM. SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18.
 - 13 HANDRAILS

1 OVERALL SECOND FLOOR LOFT PLAN -
SCALE: 1/8" = 1'-0"

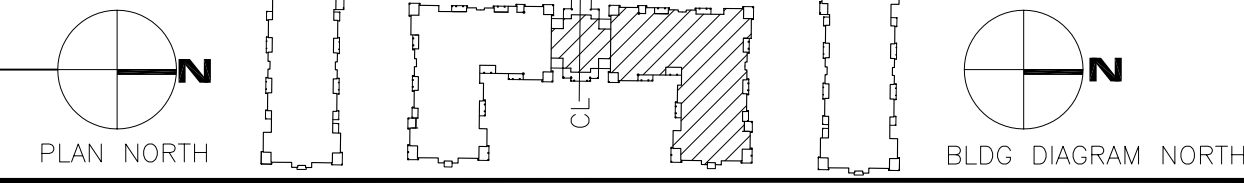


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STAFF APPR	9/10/07
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REVISION/NO.	DATE:

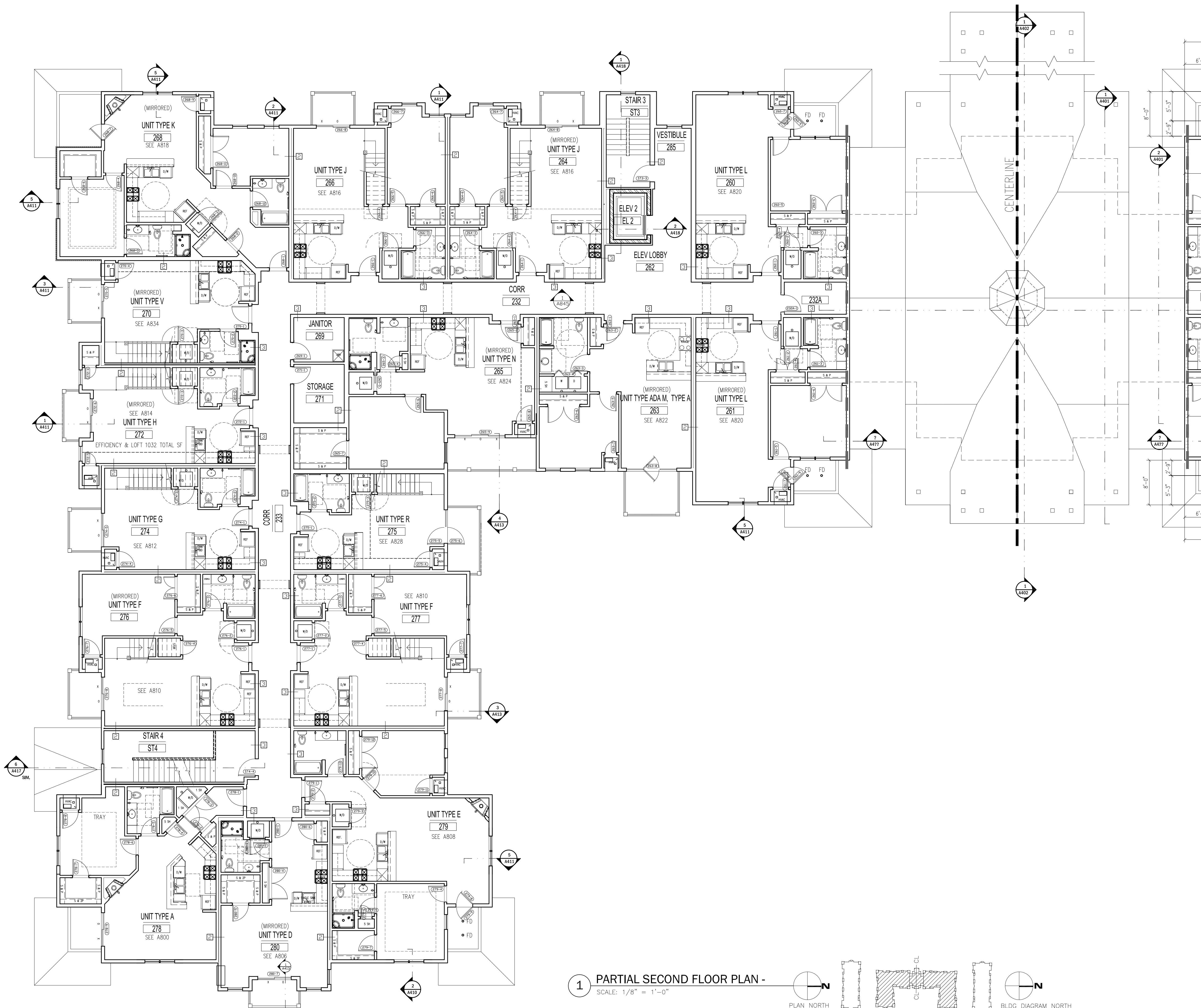


- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
 - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F. PER DETAIL 04/XXXX.
 - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 - 6 CONCRETE STOOP
 - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
 - 8 NOT USED
 - 9 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
 - 10 ALIGN FACE OF CMU W/ FACE OF CONCRETE
 - 11 CENTER DOOR IN STORAGE UNIT
 - 12 TELEPHONE ENTRY SYSTEM. SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18.
 - 13 HANDRAILS

1 PARTIAL SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



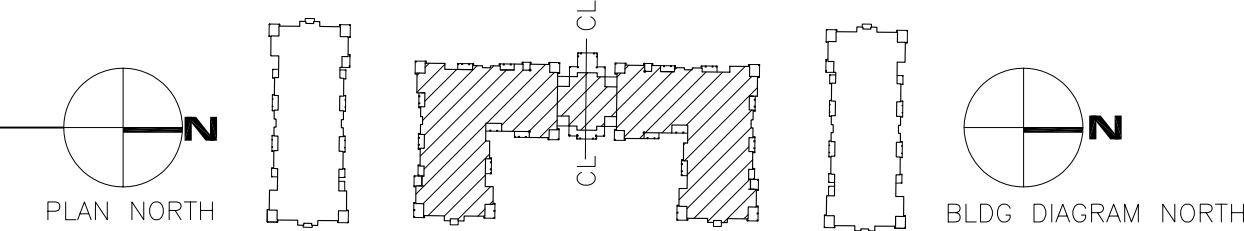
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UDC SUBMIT	12/12/07
REVISION/NO.	DATE:



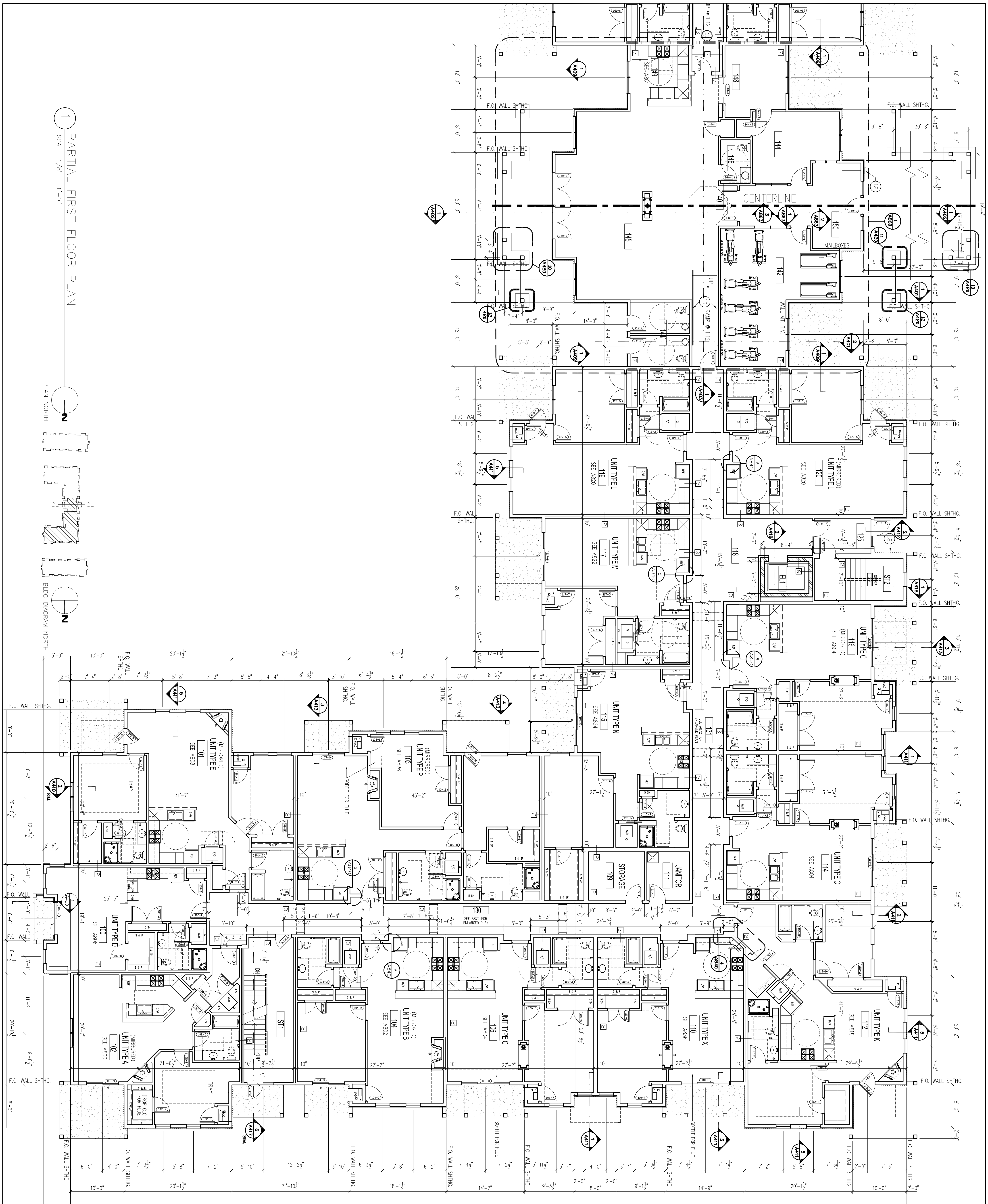
FLOOR PLAN NOTES

- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
- 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F., PER DETAIL C/XXX.
- 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
- 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
- 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
- 6 CONCRETE STOOD
- 7 UNIT HEATER - GAS FIRED, CEILING HUNG
- 8 NOT USED
- 9 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
- 10 ALIGN FACE OF CMU W/ FACE OF CONCRETE
- 11 CENTER DOOR IN STORAGE UNIT
- 12 TELEPHONE ENTRY SYSTEM. SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A70L, E-18.
- 13 HANDRAILS

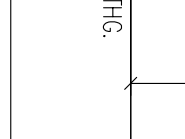
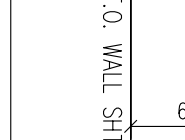
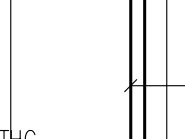
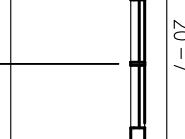
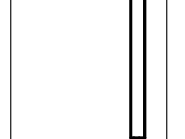
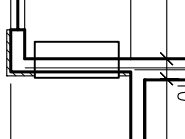
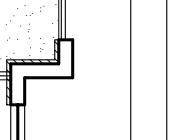
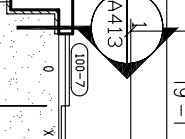
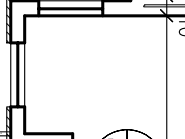
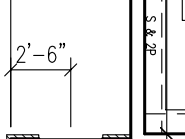
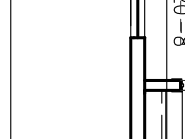
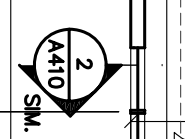
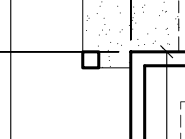
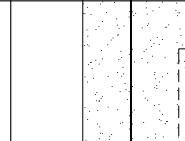
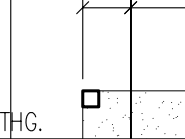
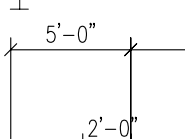
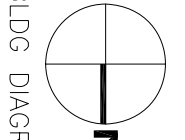
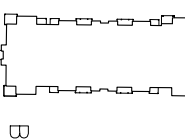
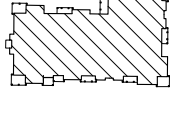
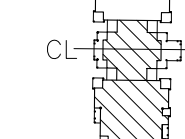
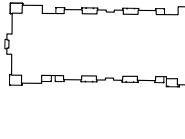
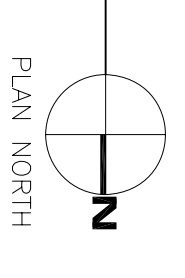
1 PARTIAL SECOND FLOOR PLAN -
SCALE: 1/8" = 1'-0"



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MINOR ALT	9/10/07
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1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
 - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F. **PER DETAIL AXXXX**
 - 3 EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 - 6 CONCRETE STOOD
 - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
 - 8 NOT USED
 - 9 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
 - 10 ALIGN FACE OF CMU W/ FACE OF CONCRETE
 - 11 CENTER DOOR IN STORAGE UNIT
 - 12 TELEPHONE ENTRY SYSTEM, SEE A801, E-78
 - 13 HANDRAILS

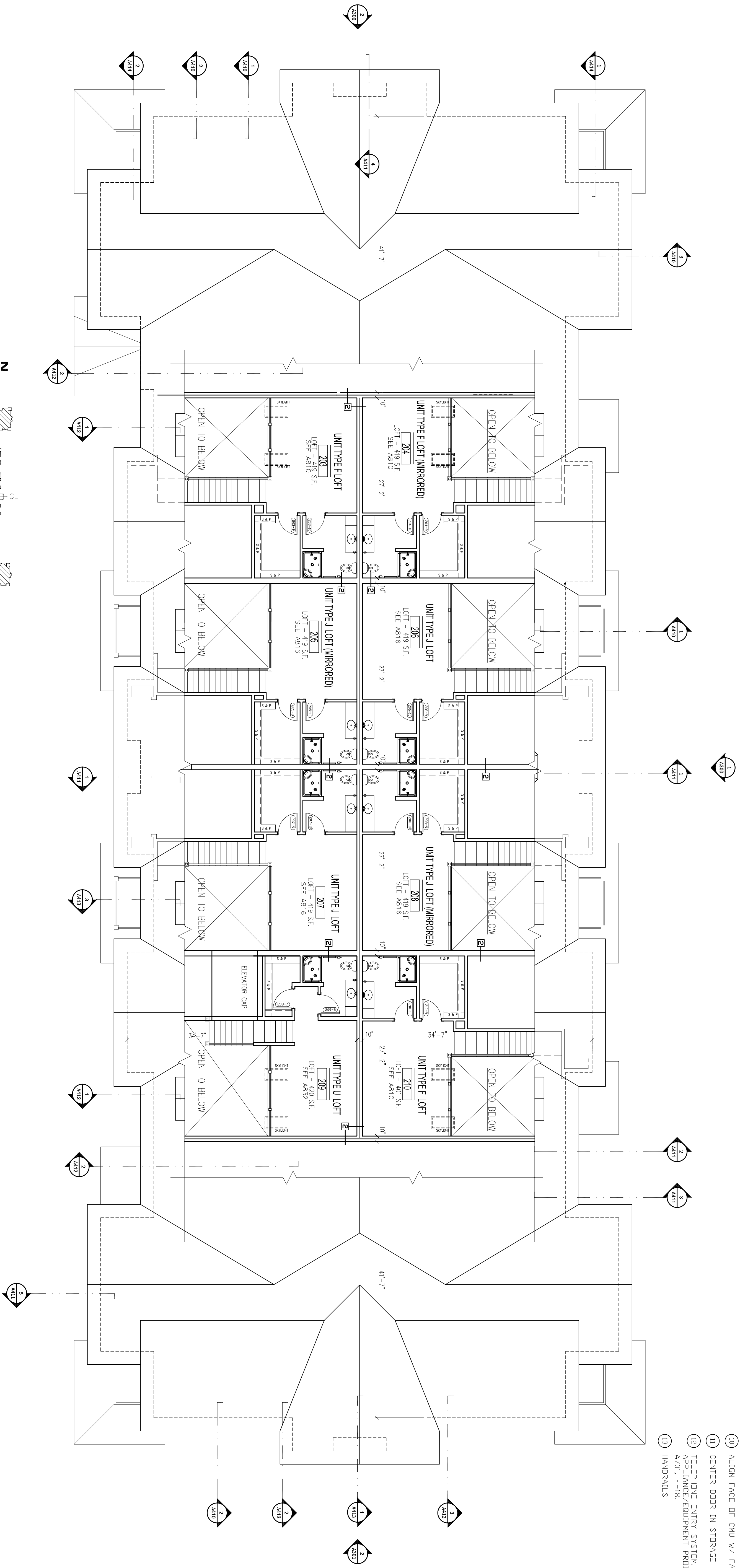
Churchill Crossing
639 Pleasant View Road
Madison, WI 53562

brownhouse
202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

A203

FLOOR PLAN

DWG. STATUS / DATE:
MINOR ALT. 9/10/07
STAFF APPR. 9/10/07
BID. 11/7/07
DOC. SUBMIT 12/12/07
REVISION/NO. DATE:



1 SECOND FLOOR LOFT FLOOR PLAN
 SCALE: 1/8" = 1'-0" BUILDING 1, BLDG 4 SIM., MIRRORED
 PLAN NORTH
 BLDG DIAGRAM NORTH

- GENERAL FLOOR PLAN NOTES**
1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
 2. SEE A700 FOR PARTITION TYPES
 3. SEE A800 SHEETS FOR UNIT DIMENSIONS
 4. SEE DETAIL 3/A842 FOR DOORS LOCATED IN CORNERS OF ROOMS
 5. SEE APPLIANCE/EQUIPMENT PRODUCT LIST A701 FOR ELEVATOR
 6. SEE A700 FOR FINISH PRODUCTS LIST
 7. SEE A701 FOR PLUMBING FIXTURES, APPLIANCES, EQUIPMENT AND LIGHT FIXTURES.
 8. SEE A701 FOR UNIT PLANS TYPES, KITCHEN TYPES, AND FINISH GROUP MATRIX.

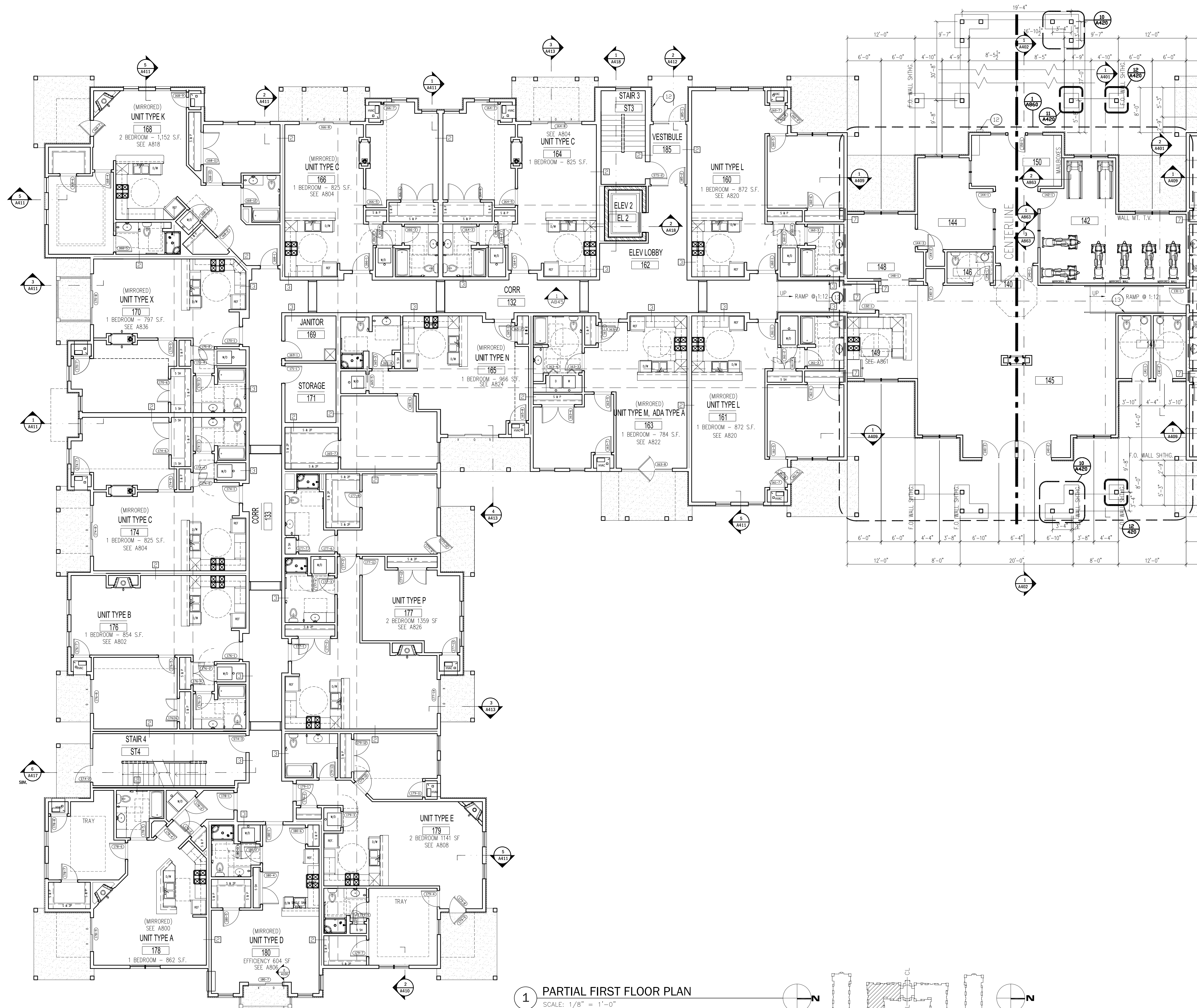
- FLOOR PLAN NOTES**
1. WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF.
 2. GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF. **PER DETAIL C/A700.**
 3. EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 4. TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 5. PROVIDE PRESSURE TREATED DOUBLE STILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 6. CONCRETE STIOP
 7. UNIT HEATER - GAS FIRED, CEILING HUNG
 8. NOT USED
 9. ALIGN SPACE OF GWB W/ FACE OF CONCRETE
 10. ALIGN FACE OF CMU W/ FACE OF CONCRETE
 11. CENTER DOOR IN STORAGE UNIT
 12. TELEPHONE ENTRY SYSTEM SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18.
 13. HANDRAILS

Churchill Crossing
 653 Pleasant View Road (also 615 Pleasant View Rd.)
 Madison, WI 53562

brownhouse
 202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

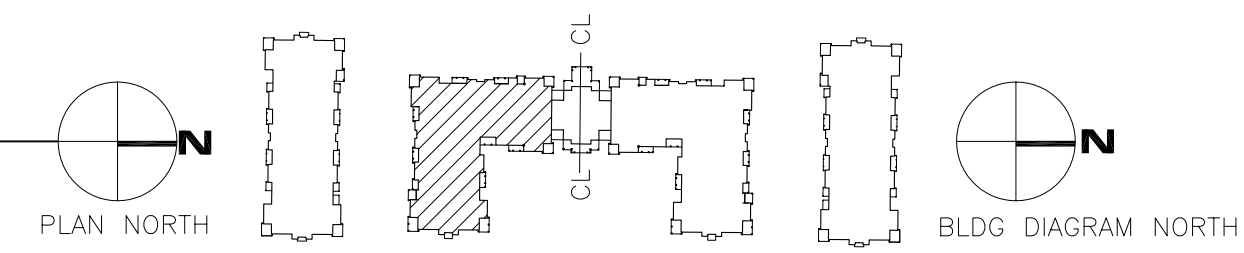
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01	ISSUED	9/10/07
02	REVISED	9/10/07
03	REVISED	9/10/07
04	REVISED	11/1/07
05	REVISED	12/12/07

FLOOR PLAN
A203

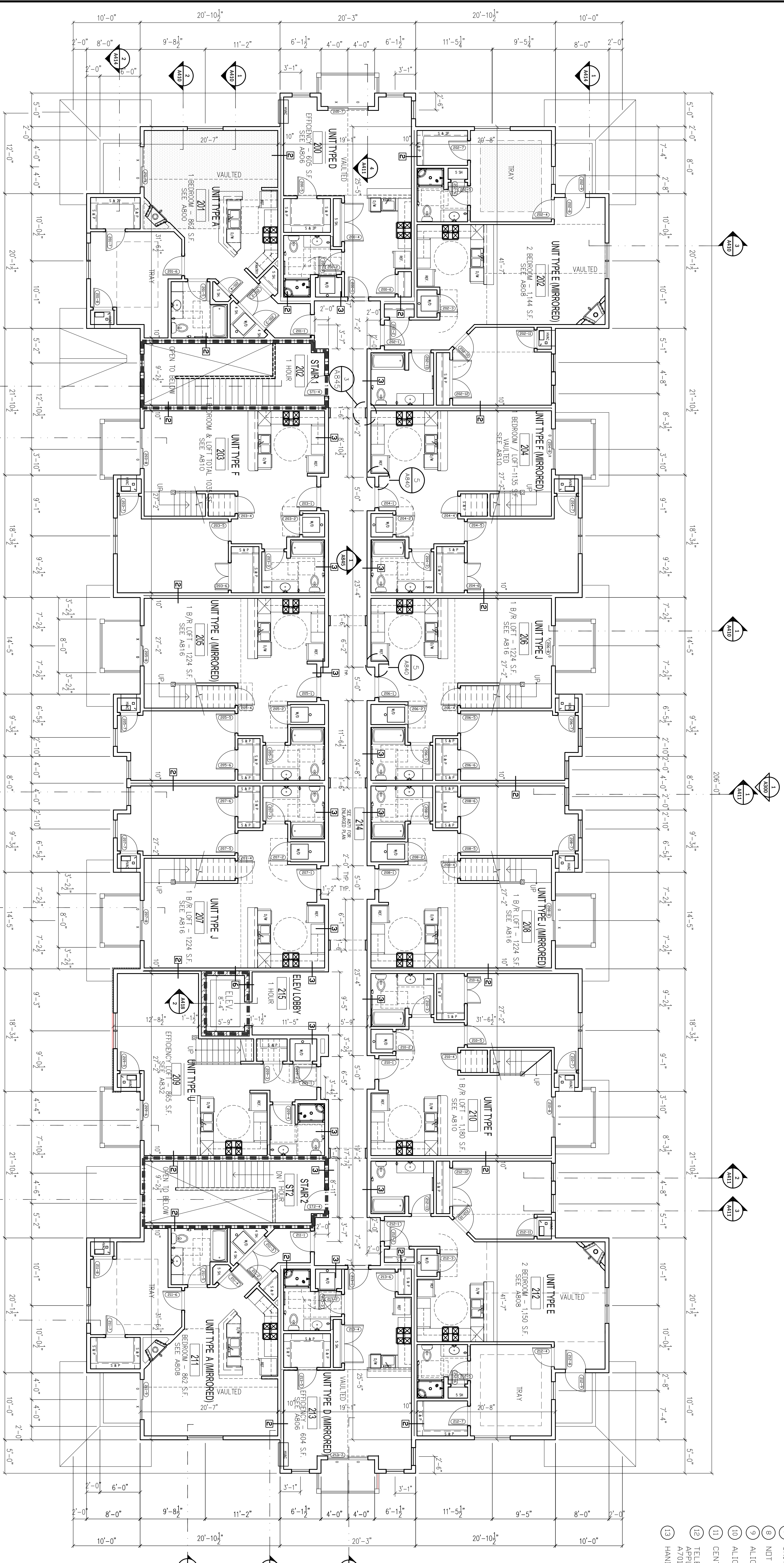


- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
 - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F., PER DETAIL CA/XXX.
 - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4' WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4' LINE.
 - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 - 6 CONCRETE STOOD
 - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
 - 8 NOT USED
 - 9 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
 - 10 ALIGN FACE OF CMU W/ FACE OF CONCRETE
 - 11 CENTER DOOR IN STORAGE UNIT
 - 12 TELEPHONE ENTRY SYSTEM. SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18.
 - 13 HANDRAILS

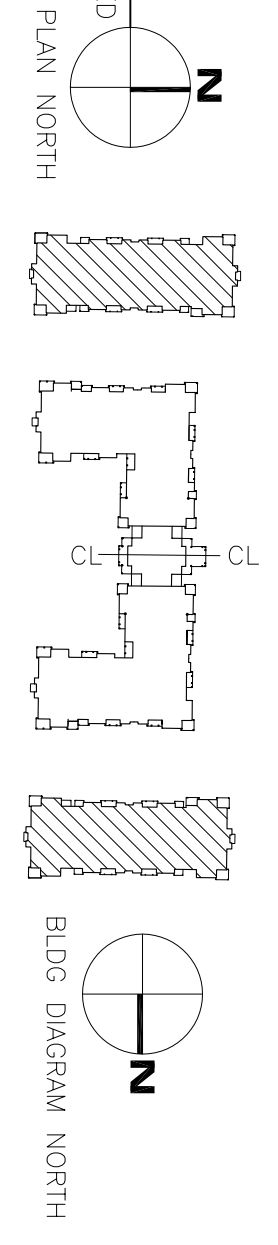
1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



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1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
BUILDING 1, BLDG 4 SIM., MIRRORRED
PLAN NORTH



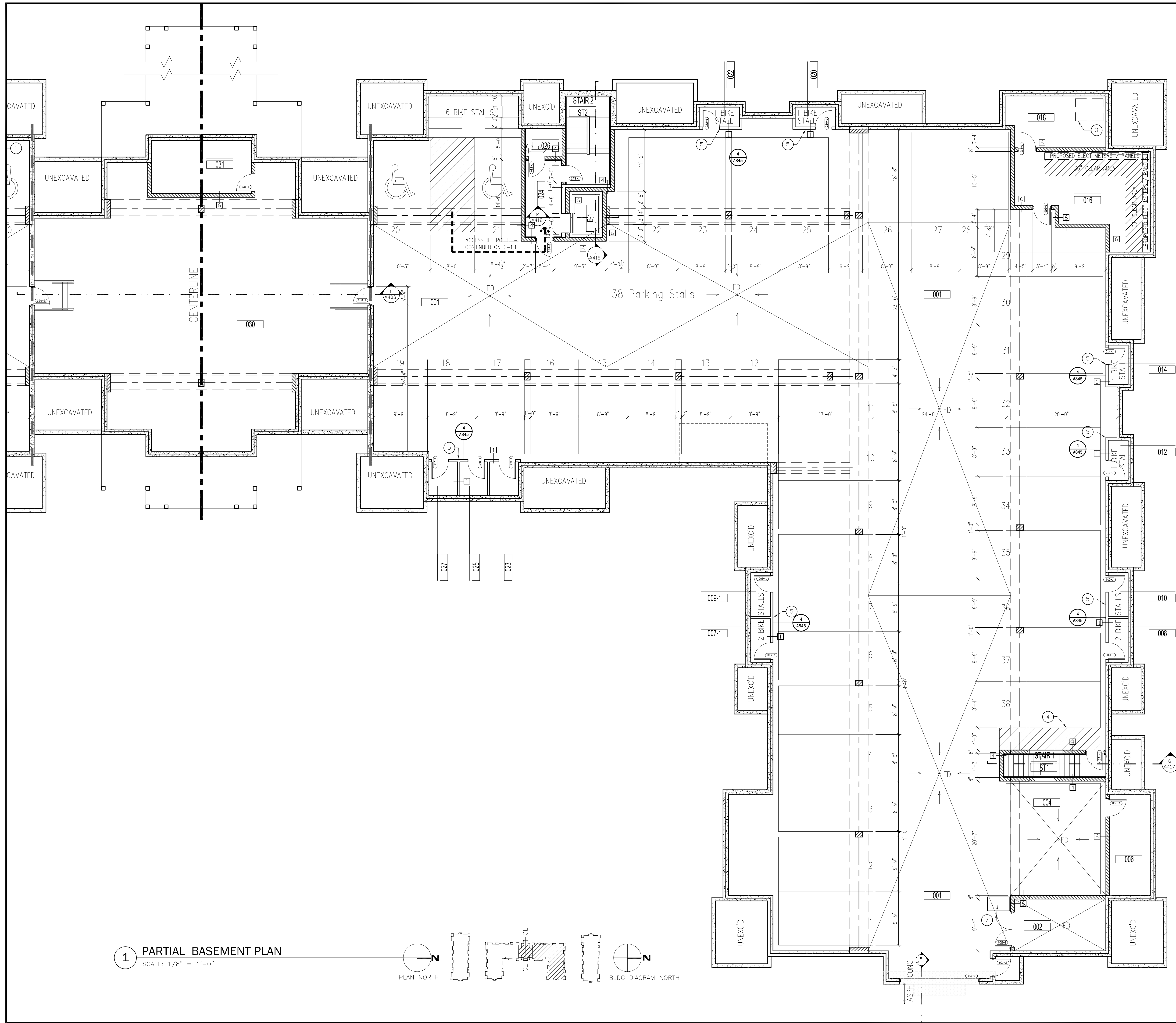
- GENERAL FLOOR PLAN NOTES**
1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
 2. SEE A700 FOR PARTITION TYPES
 3. SEE A800 SHEETS FOR UNIT DIMENSIONS
 4. SEE DETAIL 3/A842 FOR DOORS LOCATED IN CORNERS OF ROOMS
 5. SEE APPLIANCE/EQUIPMENT PRODUCT LIST A701 FOR ELEVATOR.
 6. SEE A700 FOR FINISH PRODUCTS LIST.
 7. SEE A701 FOR PLUMBING FIXTURES, APPLIANCES, EQUIPMENT AND LIGHT FIXTURES.
 8. SEE A701 FOR UNIT PLANS TYPES, KITCHEN TYPES, AND FINISH GROUP MATRIX.
- FLOOR PLAN NOTES**
1. WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF.
 2. GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF.
 3. SEE DETAIL 3/A842 FOR CORNERS OF ROOMS AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 4. TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 5. PROVIDE PRESSURE TREATED DOUBLE STILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 6. CONCRETE STOP
 7. UNIT HEATER - GAS FIRED, CEILING HANG
 8. NOT USED
 9. ALIGN SPACE OF GWB W/ FACE OF CONCRETE
 10. ALIGN FACE OF CMU W/ FACE OF CONCRETE
 11. CENTER DOOR IN STORAGE UNIT
 12. TELEPHONE ENTRY SYSTEM SEE A700, E1-18.
 13. HANDRAILS

DATE	12/12/07
REVISION/NOI	
JOC SUBMIT	12/12/07
DATE	
STAFF	APR 9/10/07
MINOR	9/10/07
DATE	

Churchill Crossing
653 Pleasant View Road (also 615 Pleasant View Rd.)
Madison, WI 53562

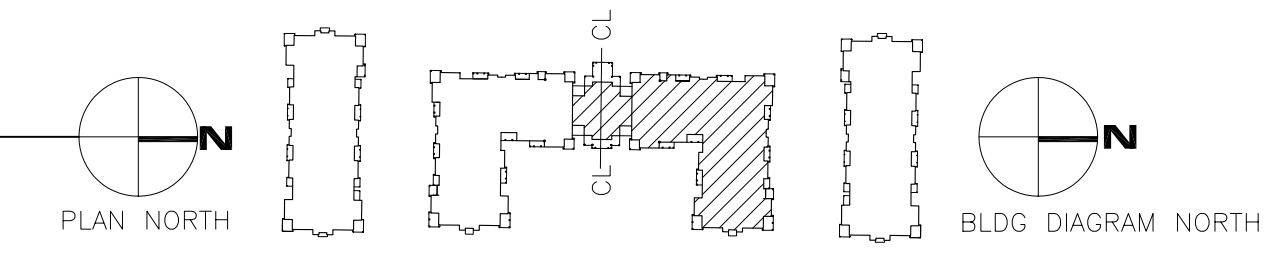
brownhouse
202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

A202
FLOOR PLAN

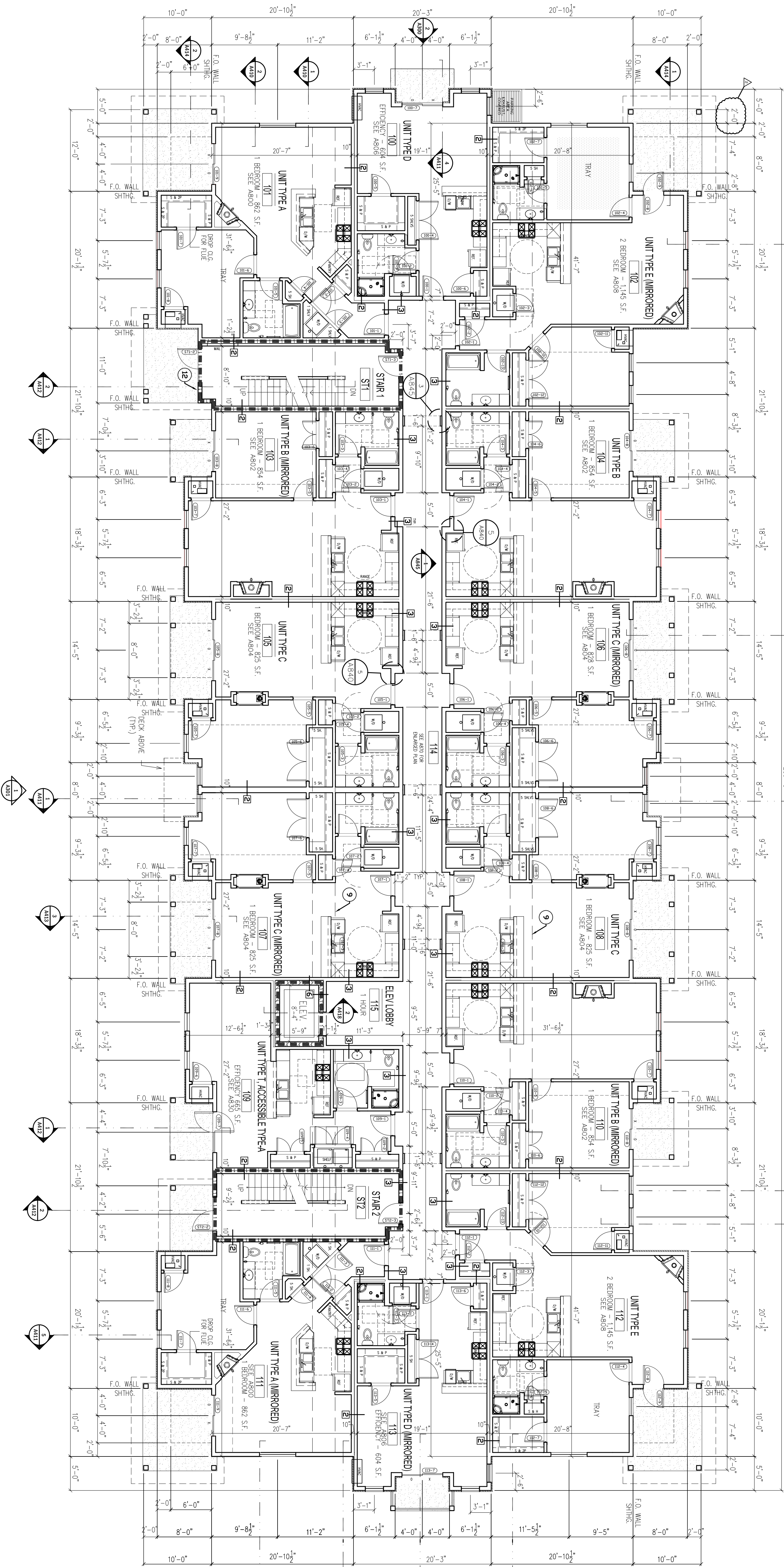


- FLOOR PLAN NOTES
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
 - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F., PER DETAIL CX/XXX.
 - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 - 6 CONCRETE STOOP
 - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
 - 8 NOT USED
 - 9 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
 - 10 ALIGN FACE OF CMU W/ FACE OF CONCRETE
 - 11 CENTER DOOR IN STORAGE UNIT
 - 12 TELEPHONE ENTRY SYSTEM. SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18.
 - 13 HANDRAILS

1 PARTIAL BASEMENT PLAN
SCALE: 1/8" = 1'-0"



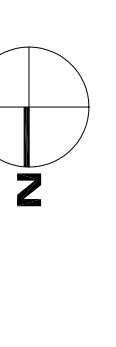
DWG STATUS:	DATE:
MINOR ALT	9/10/07
STAFF APPR	9/10/07
BID	11/1/07
UDC SUBMIT	12/12/07
REVISION/NO.	DATE:



1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

BUILDING 1, BLDG 4 SIM., MIRRORRED



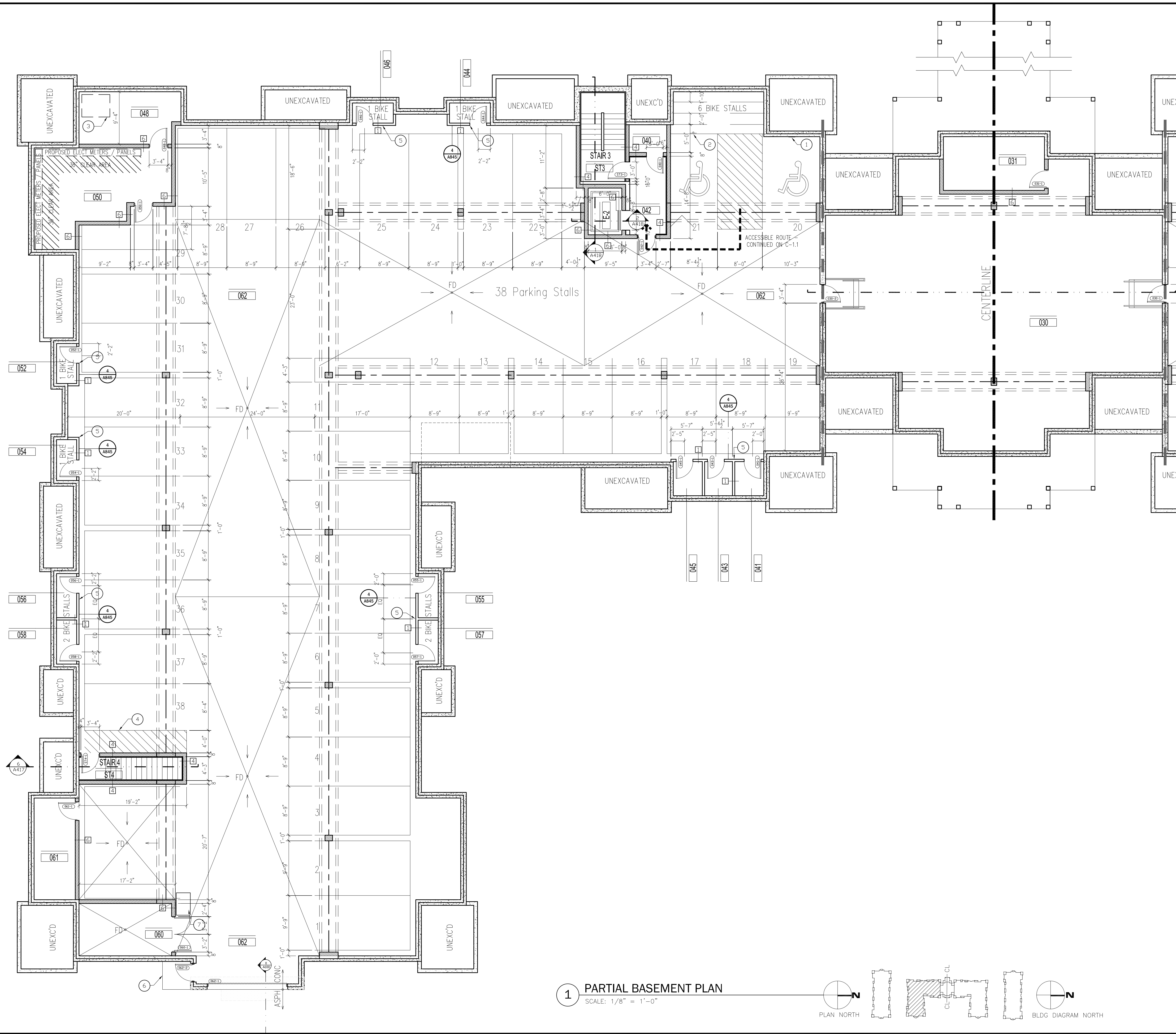
- GENERAL FLOOR PLAN NOTES**
1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
 2. SEE A700 FOR PARTITION TYPES
 3. SEE A800 FOR UNIT DIMENSIONS
 4. SEE DETAIL 3/4@82 FOR DOORS LOCATED CORNERS OF ROOMS
 5. SEE APPLIANCE/EQUIPMENT PRODUCT LIST
 6. SEE A700 FOR FINISH PRODUCTS LIST
 7. SEE A700 FOR PLUMBING FIXTURES, APPLIANCES, EQUIPMENT AND LIGHT FIXTURES
 8. SEE A700 FOR UNIT PLANS TYPES, KITCHEN TYPES, AND FINISH GROUP MATRIX
- FLOOR PLAN NOTES**
1. WALL-MOUNTED ACCESSIBLE PARKING STALL STORAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F
 2. GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING 5'-0" A.F.F. PER DETAIL 02XXXX OF SIGN @ 5'-0" A.F.F.
 3. LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 4. TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 5. PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 6. CONCRETE STODP
 7. UNIT HEATER - GAS FIRED, CEILING HUNG
 8. NOT USED
 9. ALIGN SPACE OF G.W.B. W/ FACE OF CONCRETE
 10. ALIGN FACE OF CMU W/ FACE OF CONCRETE
 11. CENTER DOOR IN STORAGE UNIT
 12. TELEPHONE ENTRY SYSTEM, SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-38
 13. HANDRAILS

Churchill Crossing
 653 Pleasant View Road (also 615 Pleasant View Rd.)
 Madison, WI 53562

brownhouse
 202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

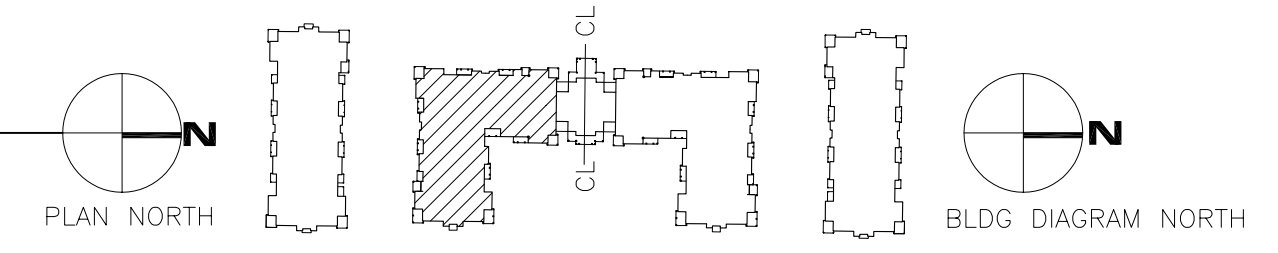
FLOOR PLAN
A201

DWG STATUS DATES:
 MINOR ALT. 9/10/07
 START APPR 9/10/07
 DOC. SUBMIT 12/12/07
 REVISION/NO. DATE:



- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
 - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F., **PER DETAIL C-XXXX**.
 - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4' WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4' LINE.
 - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 - 6 CONCRETE STOOP
 - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
 - 8 NOT USED
 - 9 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
 - 10 ALIGN FACE OF CMU W/ FACE OF CONCRETE
 - 11 CENTER DOOR IN STORAGE UNIT
 - 12 TELEPHONE ENTRY SYSTEM. SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18.
 - 13 HANDRAILS

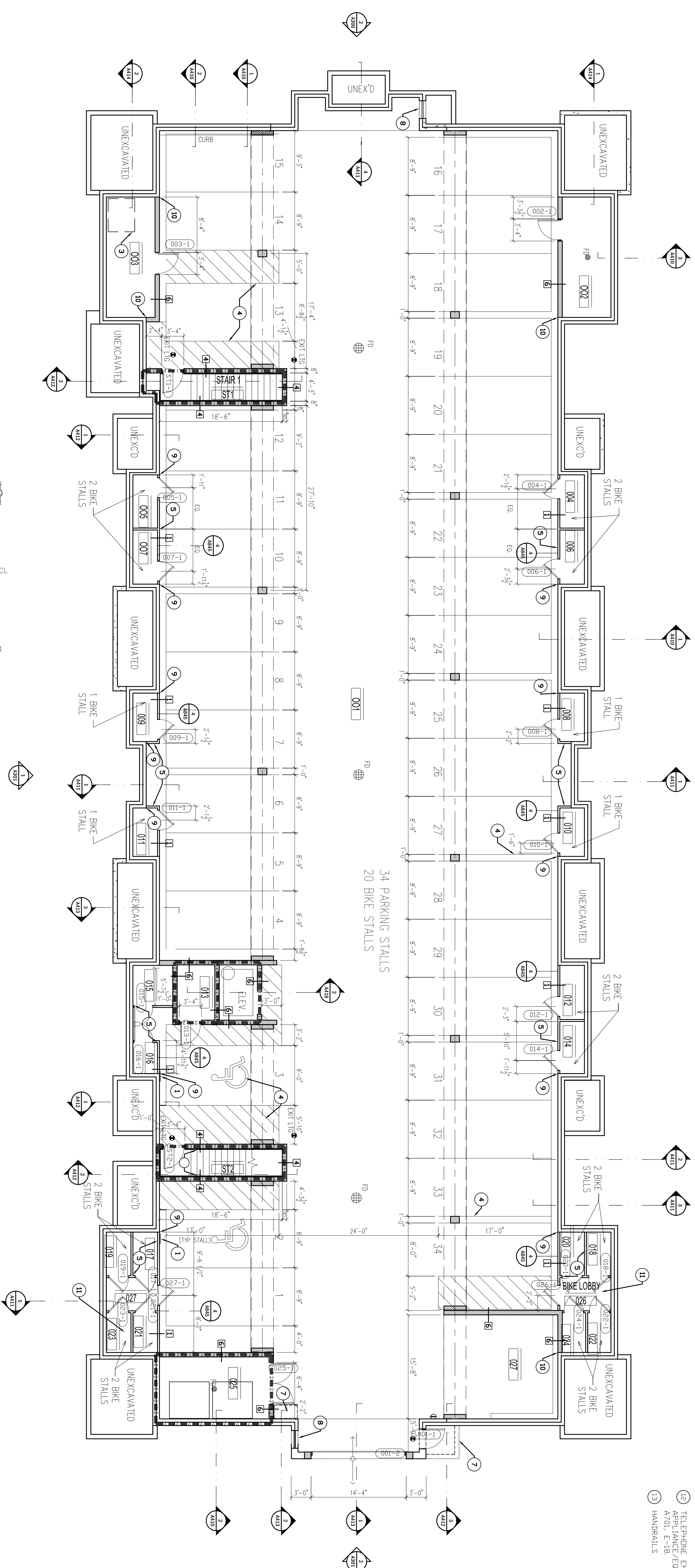
1 PARTIAL BASEMENT PLAN
SCALE: 1/8" = 1'-0"



DWG STATUS:	DATE:
MINOR ALT	9/10/07
STAFF APPR	9/10/07
BID	11/1/07
UDC SUBMIT	12/12/07
REVISION/NO.	DATE:

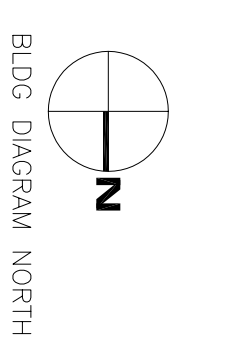
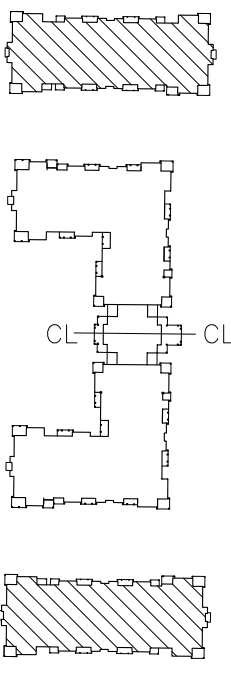
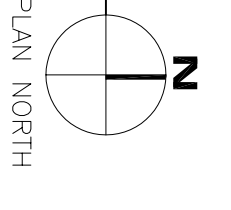
FLOOR PLAN

A200



1 BASEMENT PLAN
SCALE: 1/8" = 1'-0"

BUILDING 1, BLOC 4 SIM., MIRRORED
PLAN NORTH



- GENERAL FLOOR PLAN NOTES**
1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
 2. SEE A700 FOR PARTITION TYPES
 3. SEE A800 SHEETS FOR UNIT DIMENSIONS
 4. SEE DETAIL 020000 FOR DOORS LOCATED IN UNEXCAVATED AREAS
 5. SEE A700 FOR FINISH PRODUCTS LIST
 6. SEE A700 FOR FINISH PRODUCTS LIST
 7. SEE A700 FOR FINISH PRODUCTS LIST
 8. SEE A700 FOR FINISH PRODUCTS LIST
 9. SEE A700 FOR FINISH PRODUCTS LIST
 10. SEE A700 FOR FINISH PRODUCTS LIST
 11. SEE A700 FOR FINISH PRODUCTS LIST
 12. SEE A700 FOR FINISH PRODUCTS LIST
 13. SEE A700 FOR FINISH PRODUCTS LIST

- FLOOR PLAN NOTES**
1. WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
 2. GALVANIZED PILE-MOUNTED ACCESSIBLE PARKING 5'-0" A.F.F. PER DETAIL 020000 OF SIGN & EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
 3. TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
 4. PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
 5. CONCRETE STODP
 6. UNIT HEATER - GAS FIRED, CEILING HUNG
 7. NOT USED
 8. ALIGN SPACE OF GWB W/ FACE OF CONCRETE
 9. ALIGN FACE OF CWU W/ FACE OF CONCRETE
 10. CENTER DOOR IN STORAGE UNIT
 11. TELEPHONE ENTRY SYSTEM, SEE A701, E-18
 12. APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18
 13. HANDRAILS

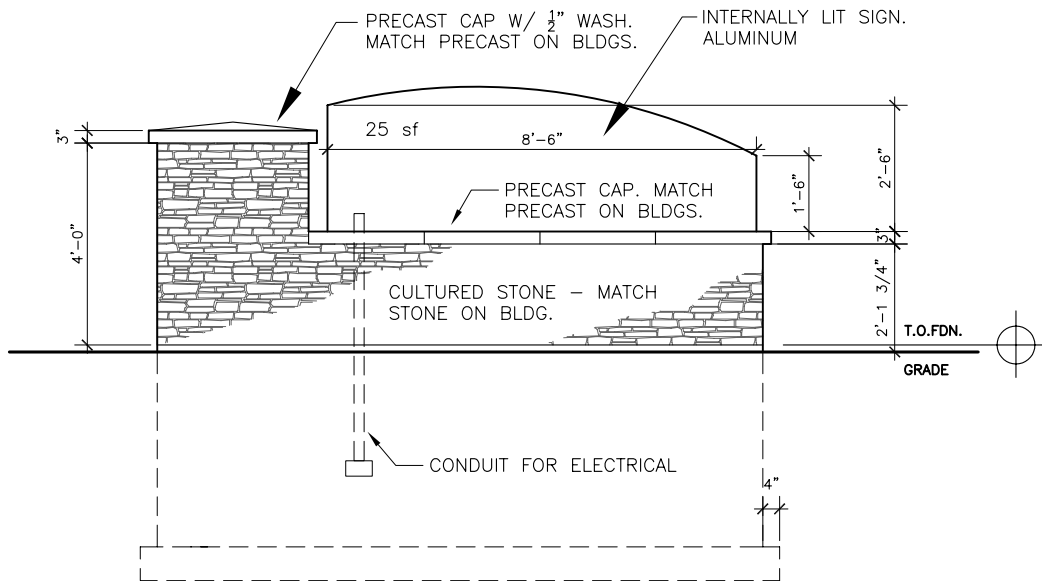
Churchill Crossing
653 Pleasant View Road (also 615 Pleasant View Rd.)
Madison, WI 53562



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FLOOR PLAN
A200

DWG STATUS: DATE: 12/12/07
MINOR ALT.: 12/12/07
START APPR.: 12/12/07
BLOC SUBMIT: 12/12/07
REVISION/NO. DATE:



1 GROUND SIGN
 SCALE: 1/4" = 1'-0"

DRAWING:

SI-200

DATE: XXX

SCALE: 1/4" = 1'-0"

PROJECT: CHURCHILL CROSSING
 615, 639, 653 Pleasant View Rd.
 Madison, WI

TITLE: Ground Signs

brownhouse

202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax