

FORESTRY NOTES REGARDING STREET TREE:

There is one street tree in the apron in front of the house. The street tree is intended to be preserved and will be protected according to the following guidelines

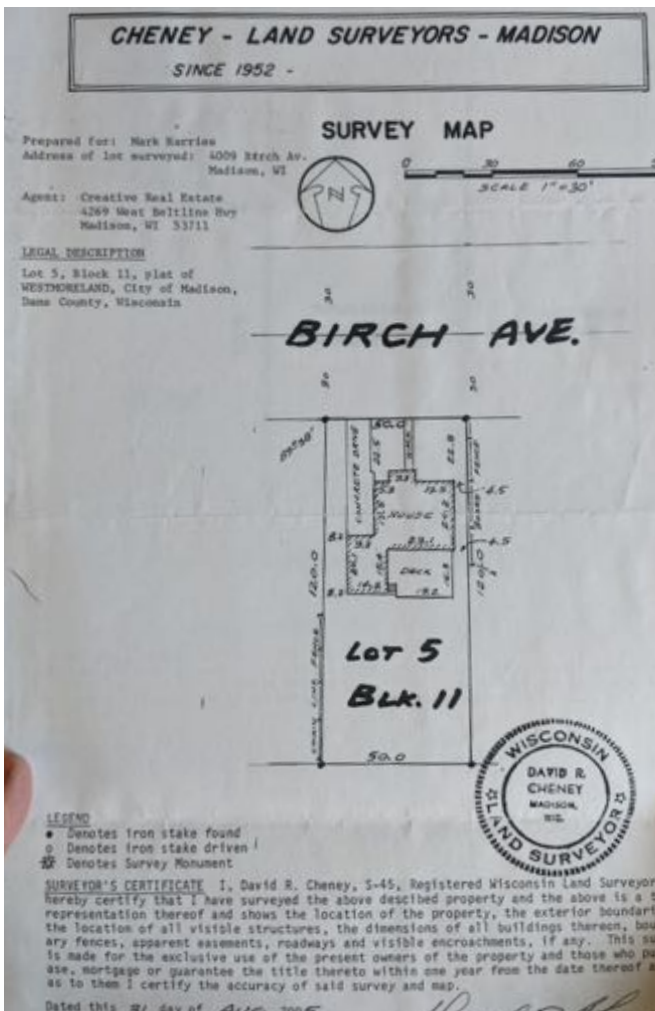
Contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. Contractor shall operate equipment in a manner as to not damage the branches of the street tree(s). This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to City Forestry at 266-4816. Penalties and remediation shall be required.

As defined by the Section 107.13 of City of Madison Standard Specifications for Public Works Construction: No excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 3 inches in diameter. If excavation is necessary, the Contractor shall contact Madison City Forestry (266-4816) prior to excavation. City of Madison Forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website: <https://www.cityofmadison.com/business/pw/specs.cfm>

On this project, street tree protection zone fencing is required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire width of terrace and, extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.

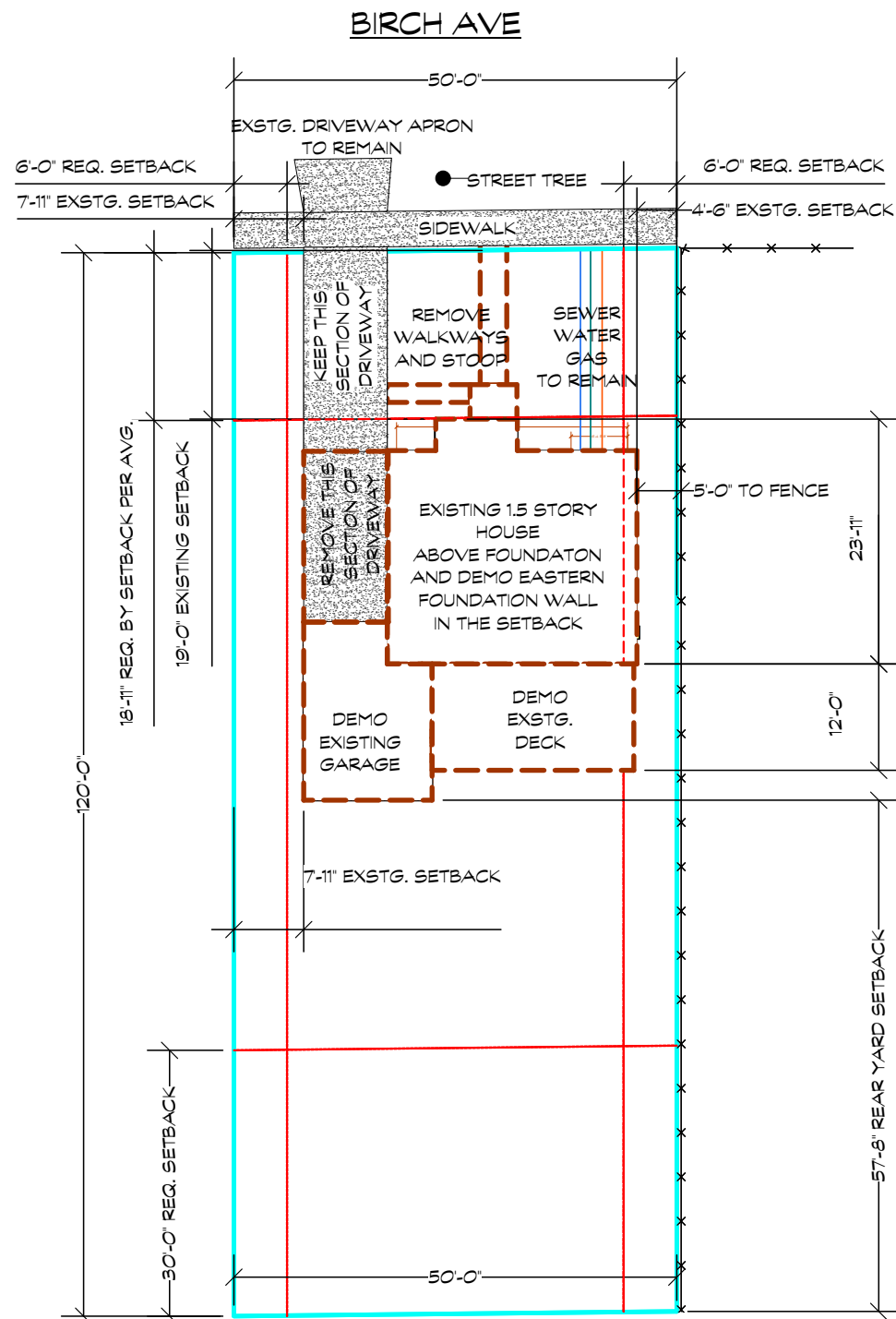
Street tree pruning shall be coordinated with Madison Forestry at a minimum of two weeks prior to the start of construction for this project. All pruning shall follow the American National Standards Institute (ANSI) A300 - Part 1 Standards for pruning.

Section 107.13(g) of City of Madison Standard Specifications for Public Works Construction addresses soil compaction near street trees and shall be followed by Contractor. The storage of parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.



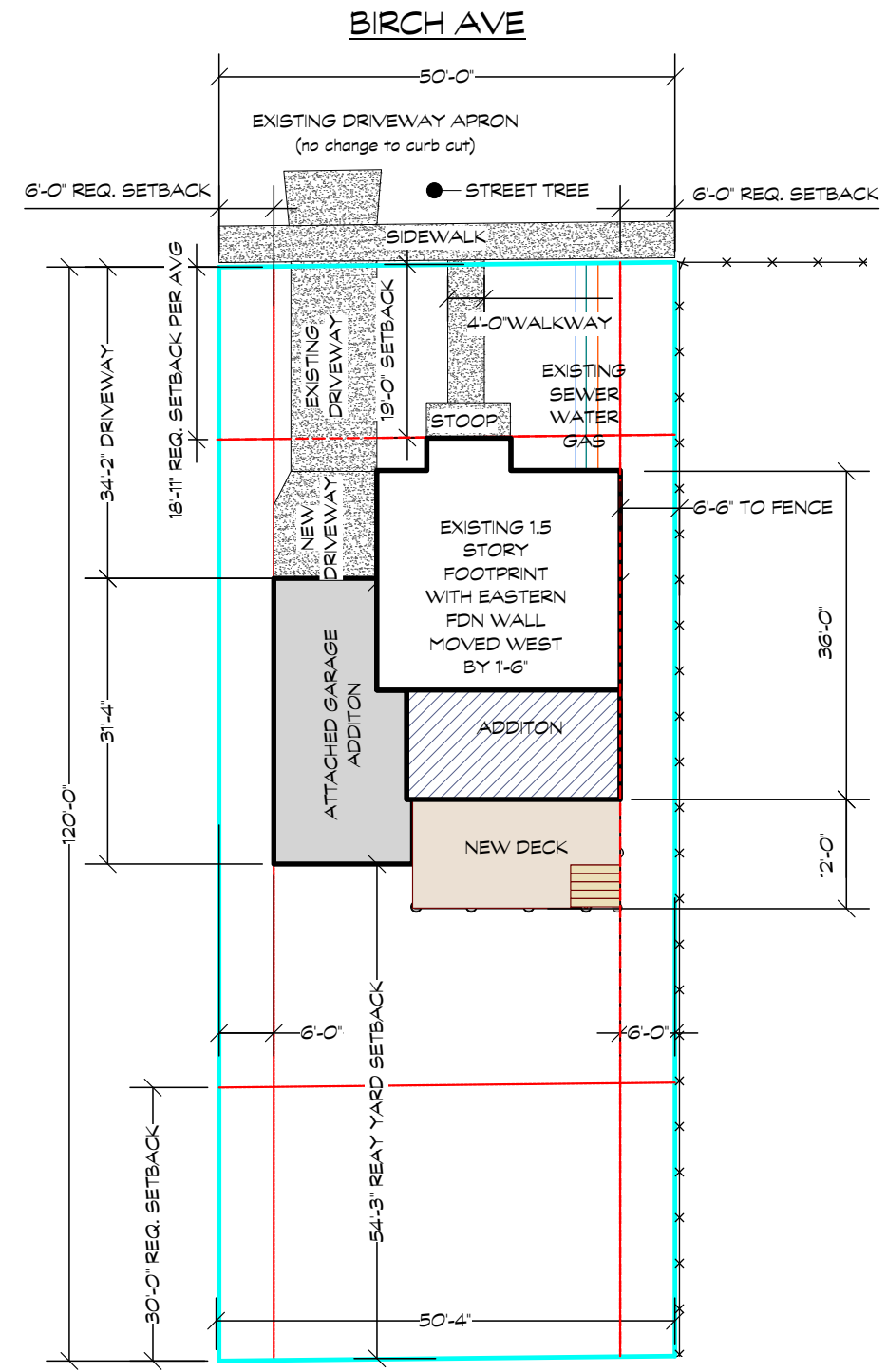
SCAN OF SURVEY CANNOT BE PRESENTED TO SCALE

EXISTING HOUSE AREA TABULATIONS MEASURED TO THE OUTSIDE FACE OF STRUCTURE
 UNFINISHED BASEMENT = 705 SQFT
 FIRST FLOOR = 705 SQFT
 SECOND FLOOR = 345 SQFT
 TOTAL EXISTING HOUSE = 1,050



2 DEMO SITE PLAN
 Scale: 1" = 20'-0"

EXISTING HOUSE AREA TABULATIONS MEASURED TO THE OUTSIDE FACE OF STRUCTURE
 UNFINISHED BASEMENT = 950 SQFT
 FIRST FLOOR = 950 SQFT
 SECOND FLOOR = 695 SQFT
 TOTAL PROPOSED HOUSE = 1645 SQFT



1 PROPOSED SITE PLAN
 Scale: 1" = 20'-0"

Version/Date:
 DEMO PERMIT
 230106
 17JAN'23

Printed by:
 m.t.

DEMOLITION APPLICATION
 BERAN / KENNEALLY
 4009 BIRCH AVE
 MADISON, WI. 53711

ASSOCIATED HOUSEWRIGHTS
 1217 Culmen St. Madison, WI. 53713
 www.housewrights.com
 (608) 238-7519

Sheet Contents:
 SITE PLAN

Scale:
 1"=20'-0"

Sheet No.
 A1



4009
19'-0" front yard setback



4013
17'-5" front yard setback



4017
18'-1" front yard setback



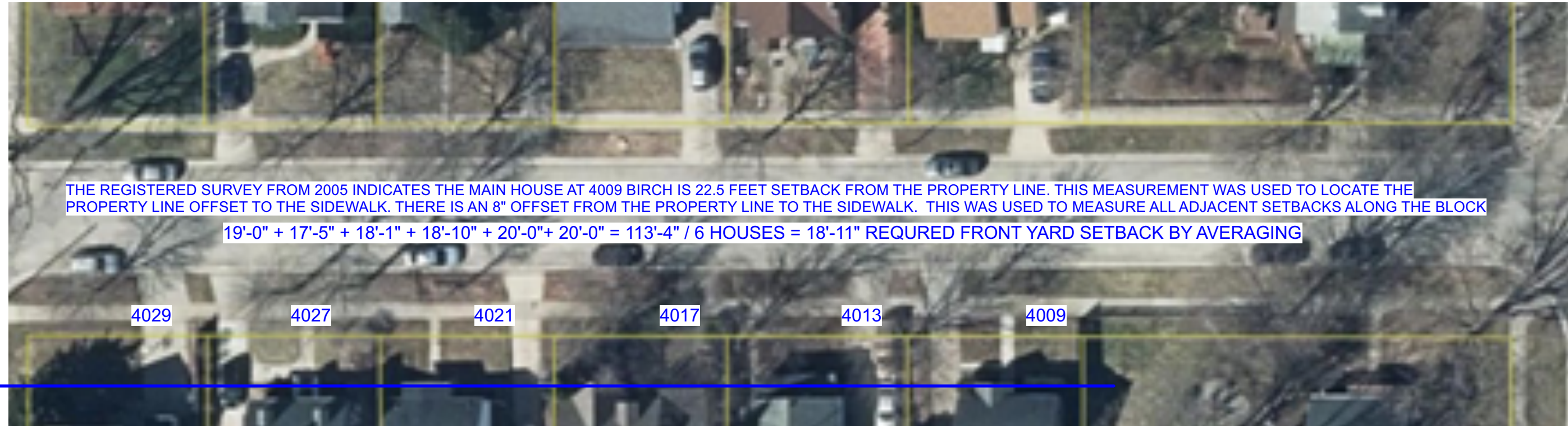
4021
18'-10" front yard setback



4027
23'-3" front yard setback



4029
26'-4" front yard setback



THE REGISTERED SURVEY FROM 2005 INDICATES THE MAIN HOUSE AT 4009 BIRCH IS 22.5 FEET SETBACK FROM THE PROPERTY LINE. THIS MEASUREMENT WAS USED TO LOCATE THE PROPERTY LINE OFFSET TO THE SIDEWALK. THERE IS AN 8" OFFSET FROM THE PROPERTY LINE TO THE SIDEWALK. THIS WAS USED TO MEASURE ALL ADJACENT SETBACKS ALONG THE BLOCK

$19'-0" + 17'-5" + 18'-1" + 18'-10" + 20'-0" + 20'-0" = 113'-4" / 6 \text{ HOUSES} = 18'-11" \text{ REQUIRED FRONT YARD SETBACK BY AVERAGING}$

ZONING ANALYSIS

TR-C2 ZONING ANALYSIS	REQUIRED	PROPOSED
LOT AREA.	4,000	6,000
FRONT YARD SETBACK	20'-0" but 18'-11" per averaging	19'-0"
SIDE YARD SETBACK	ONE-STORY:5, TWO-STORY:6	6'-0"
REAR YARD SETBACK	30'-0"	54'-3"
MAX HEIGHT	2 STORIES : 35'-0"	2 STORIES : 23'-9" (avg. of all bldg. facades)
MAX LOT COVERAGE	65%	34%
USEABLE OPEN SPACE	750 SF	2,886 SF



Setback Averaging, Front Setback .
Where at least fifty percent (50%) of the front footage of any block is built up with principal structures, the minimum front yard setback for new structures shall be the average setback of the existing principal structures on the block face or the normal setback requirement in the district whichever is less, but no less than ten (10) feet. Setback averaging on lakefront lots is as specified in Sec. 28.138. For the purpose of calculating the average setback:
(a) If the setback of an existing structure is greater than the required setback, the required setback shall be used.
(b) Setback averaging uses only front yard setbacks; side yards and reverse corner side yards on corner lots shall not be included.
(c) Projection into setbacks shall not be included.
(d) Setback reductions approved by variance or special exception shall not be included.
(e) If a block face is at least seventy-five percent (75%) built, a vacant lot on the block face shall not be included.



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Sheet Contents:
ZONING

Scale:
no scale

Sheet No.
A2



front/side view



front/ west side view



east side yard view



rear yard view

the deck components will be dismantled, cataloged and re-used for the new construction



typical condition of windows and trim

At some point the existing wood lap siding and original wall sheathing (possibly wood fiberboard) was removed from the house. The exterior walls were re-sided with 1" foil faced polyiso foam and T-111 siding. The foam boards do not have taped joints and there is no secondary WRB. Over time the polyiso foam has pulled away from the studs thereby exposing the studs bays and batt insulation to the exterior elements and insects.



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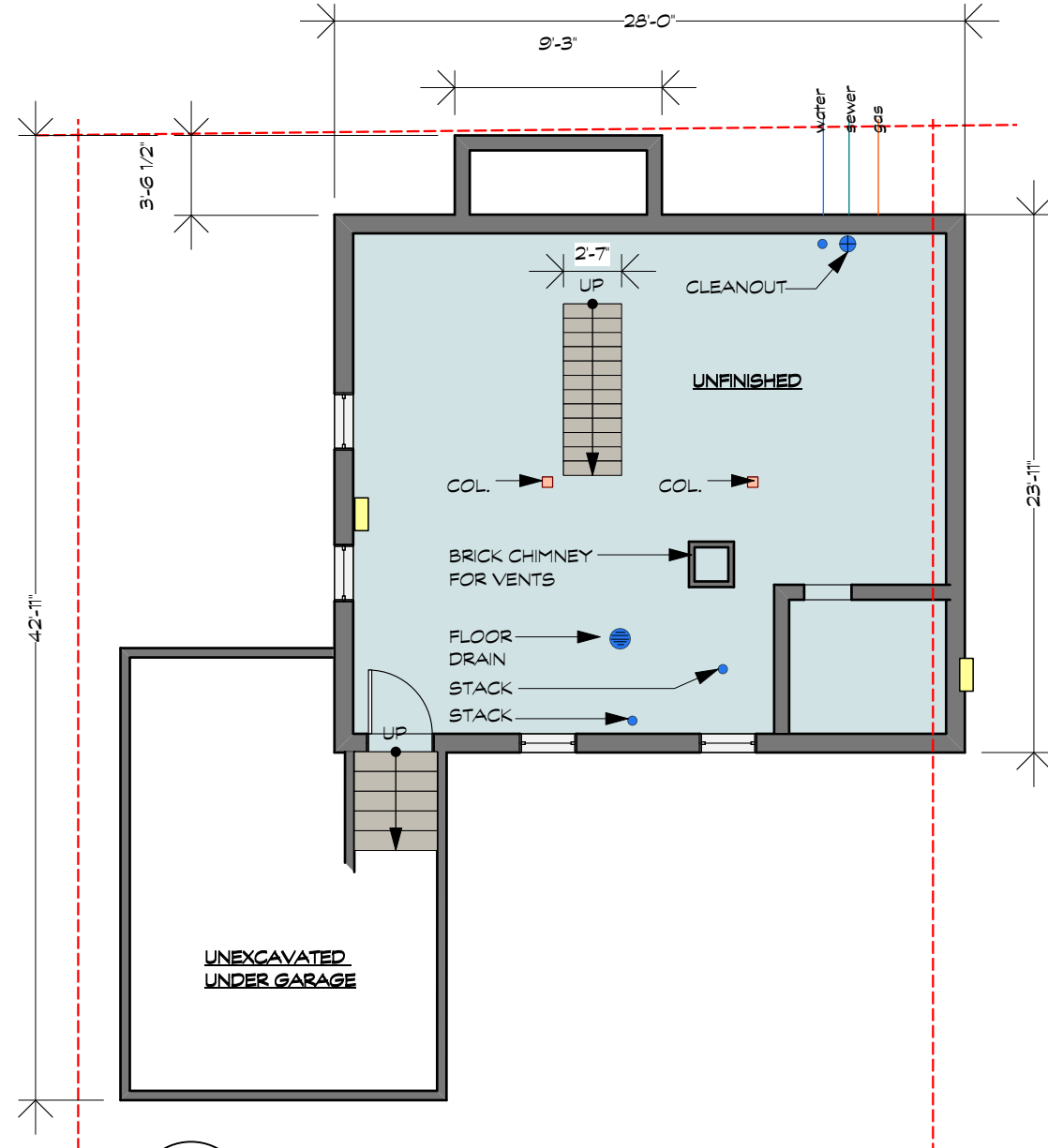
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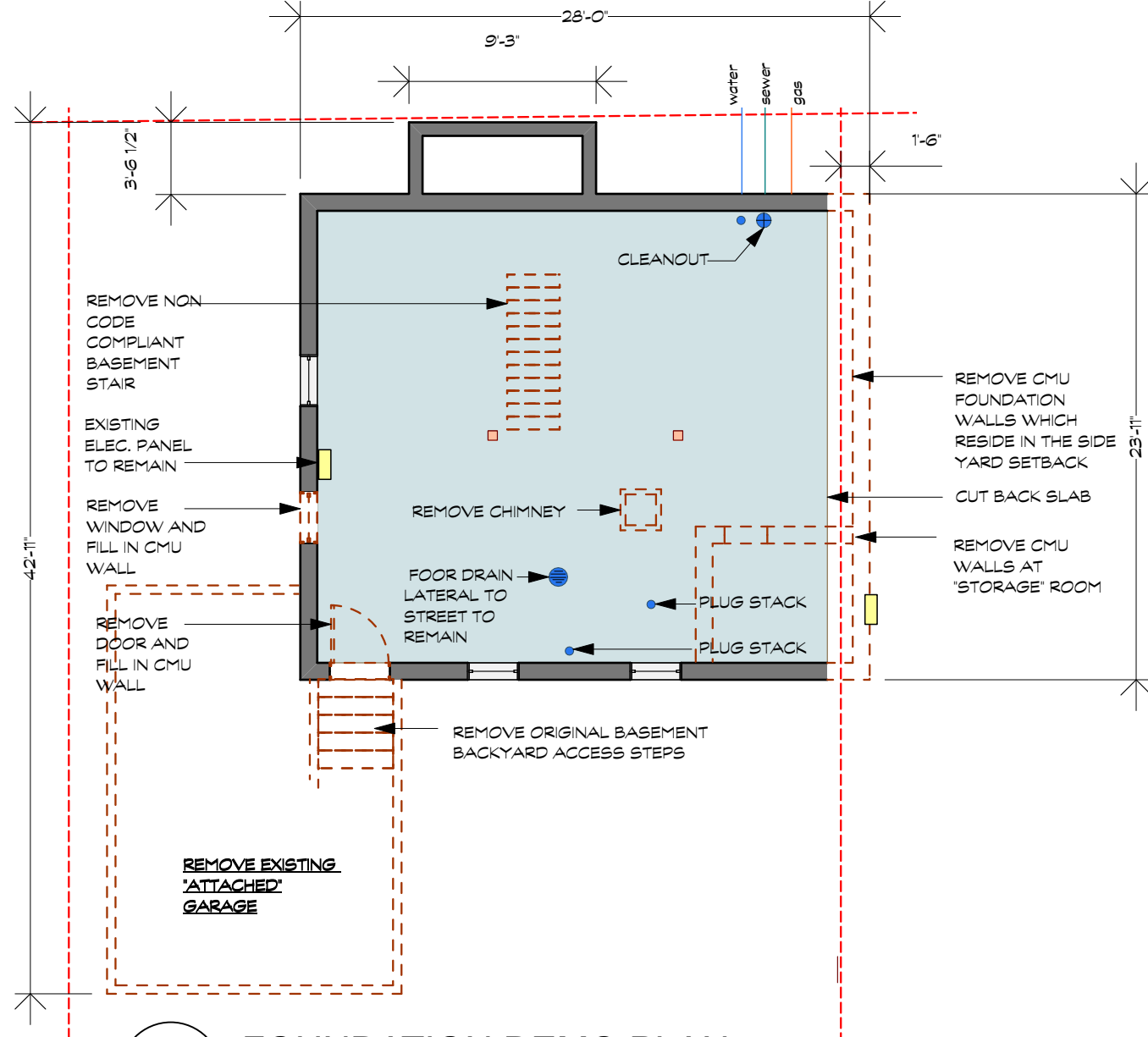
Sheet Contents:
 PHOTOS

Scale:
 1/8" = 1'-0"

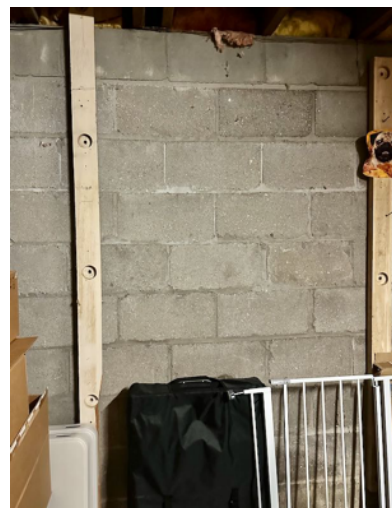
Sheet No.
 A3



3 EXISTING FDN. PLAN
Scale: 1/8" = 1'-0"
0 10 FT



4 FOUNDATION DEMO PLAN
Scale: 1/8" = 1'-0"
0 10 FT



10" CMU blocks are dry and exhibit no cracking



the first floor is framed with 2x8 joists set directly on the concrete with no treated wood sill plate. the ductwork is in need of replacement . there is single undersized central return and one upstairs bedroom has no registers.



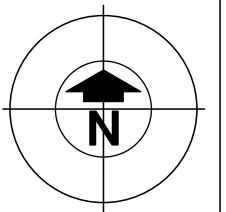
the house has no subflooring. the wood T&G boards are installed directly to the floor joists



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Sheet Contents:
FDN. PLAN
Scale:
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Sheet No.
A4

•Furnishings by others.



garage interior
large crack in slab
holes in roofing
structure is rotten



kitchen



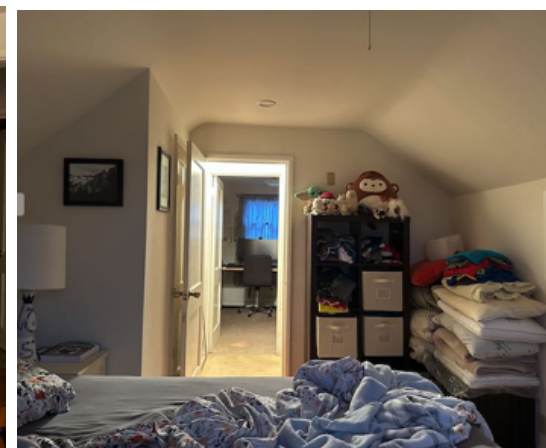
bathroom - clearances are way too tight for modern use



staircase
2'-7" wide with 7" deep treads



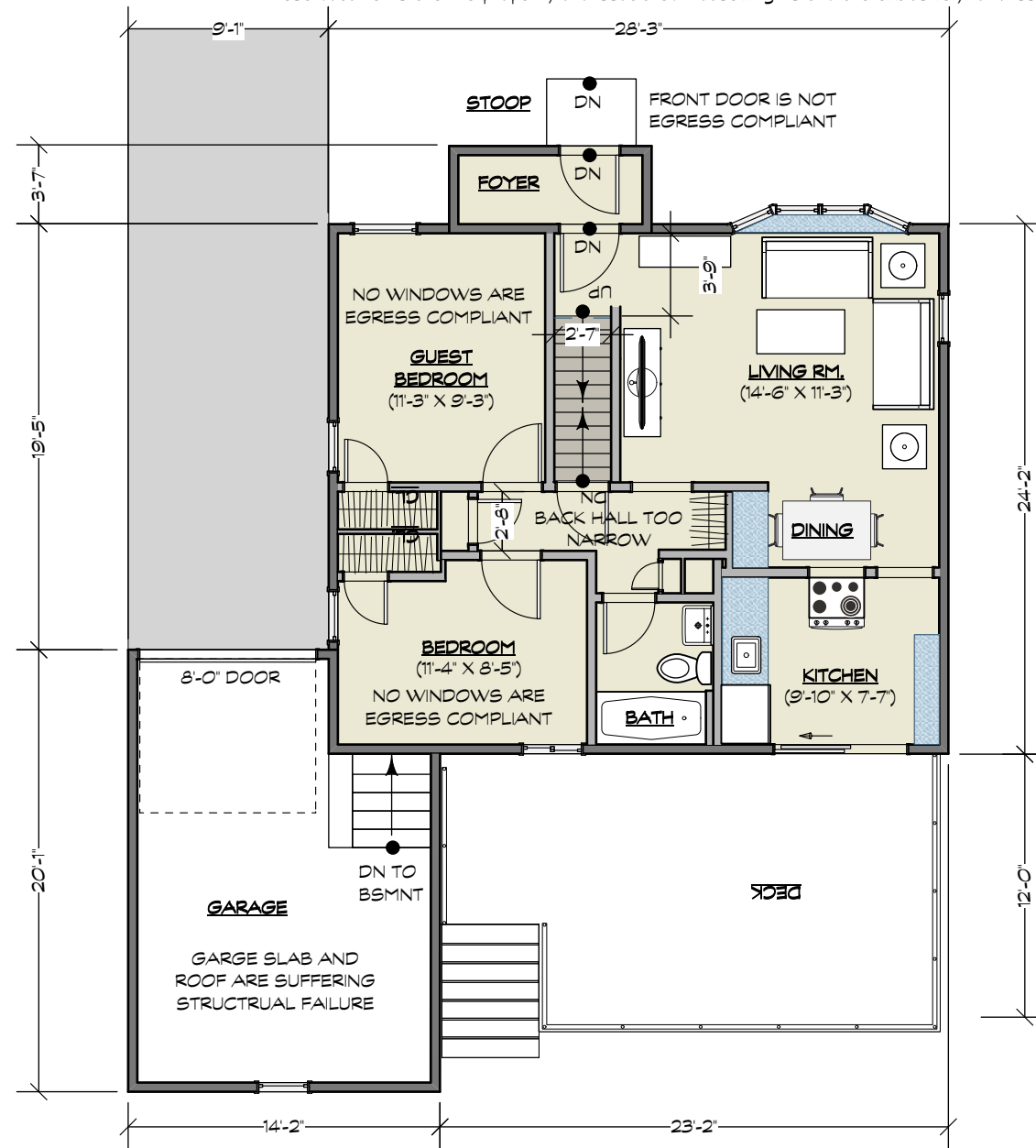
living & dining room (7'-6" clg)
back hallway only 2'-7" wide.



upstairs bedrooms with low ceiling heights and tight clearances (lacking ductwork and light switches)

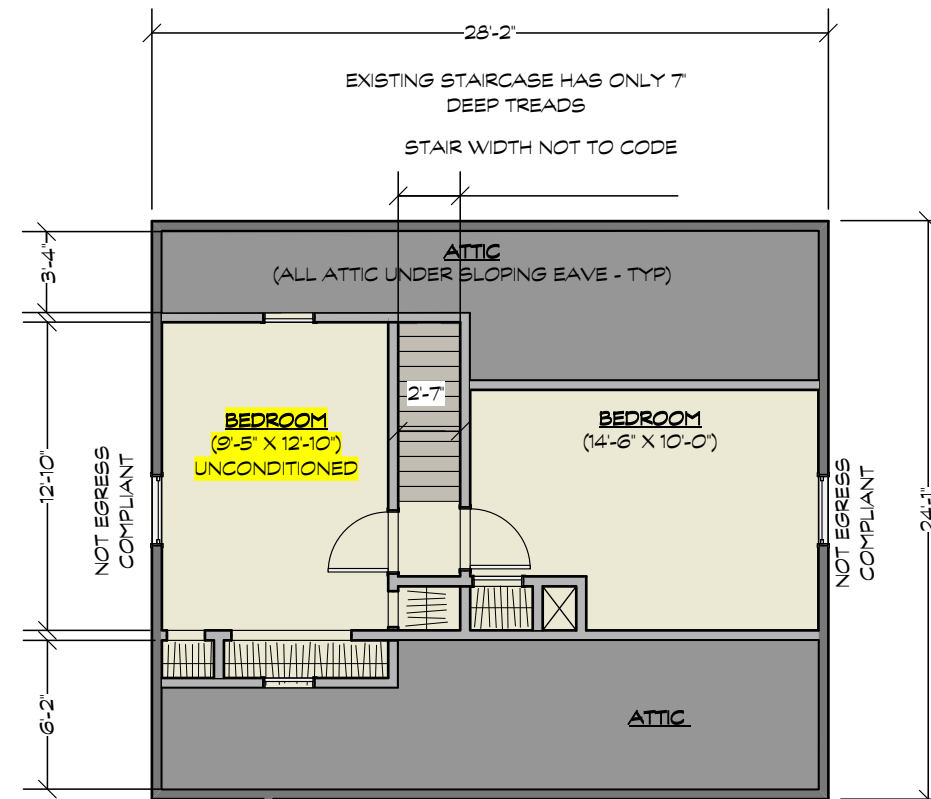
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•Not intended for construction



5 REMOVE EXISTING 1ST FLR
Scale: 1/8" = 1'-0"

0 10 FT



6 REMOVE EXISTING 2ND FLR
Scale: 1/8" = 1'-0"

• Site verify all dimensions. Report discrepancies to AH Design.

• Plan views assume walls have first layer of sheathing on each side (see typical sections) unless otherwise noted.

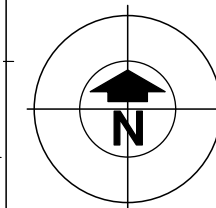
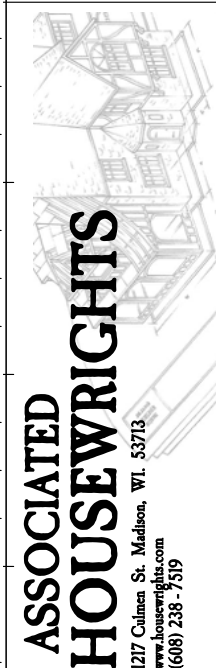
• Larger scaled drawings supersede smaller scale drawings.

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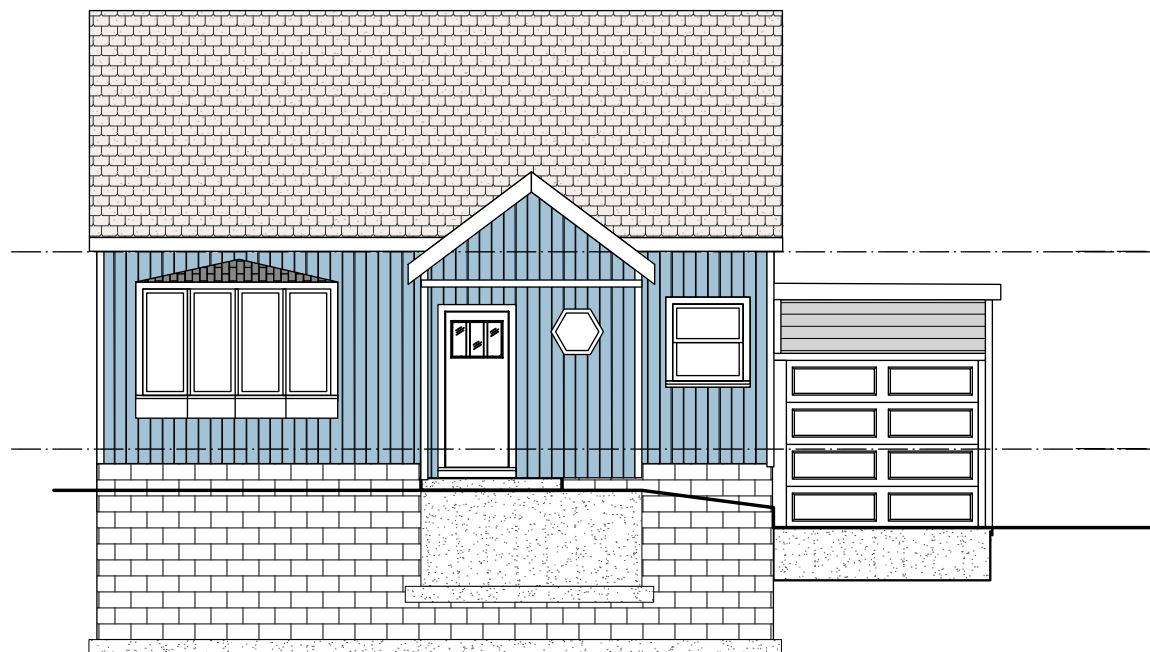


Sheet Contents:
UPPER PLANS

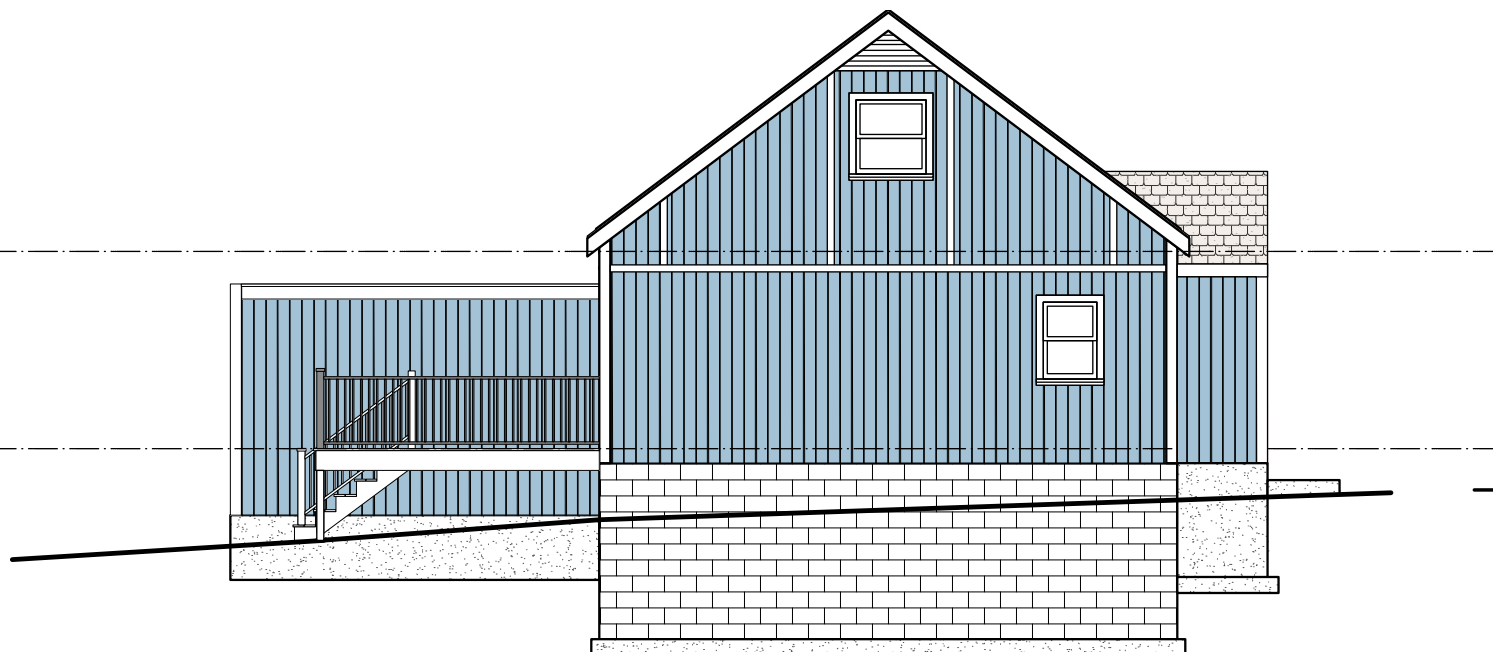
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1/8" = 1'-0"

Sheet No.
A5

EXISTING EXTERIOR ELEVATIONS



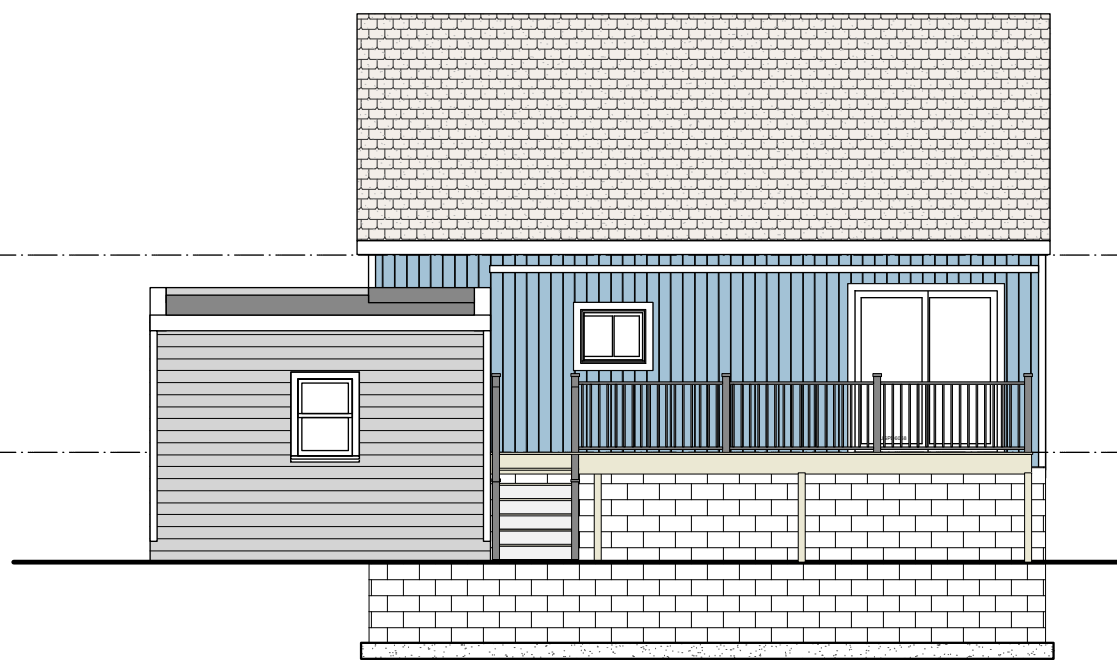
7 FRONT YARD NORTH
 Scale: 1/8" = 1'-0"
 0 10 FT



8 SIDE YARD EAST
 Scale: 1/8" = 1'-0"



9 SIDE YARD WEST
 Scale: 1/8" = 1'-0"



10 REAR YARD SOUTH
 Scale: 1/8" = 1'-0"

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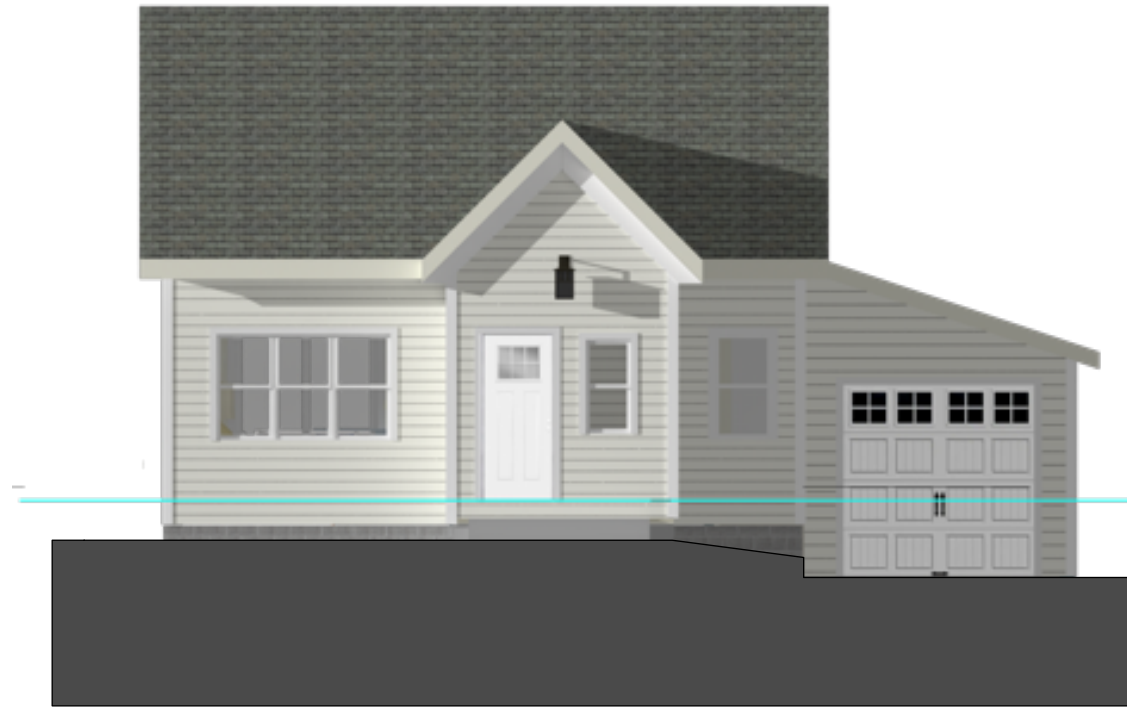
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Sheet Contents:
 ELEVATIONS

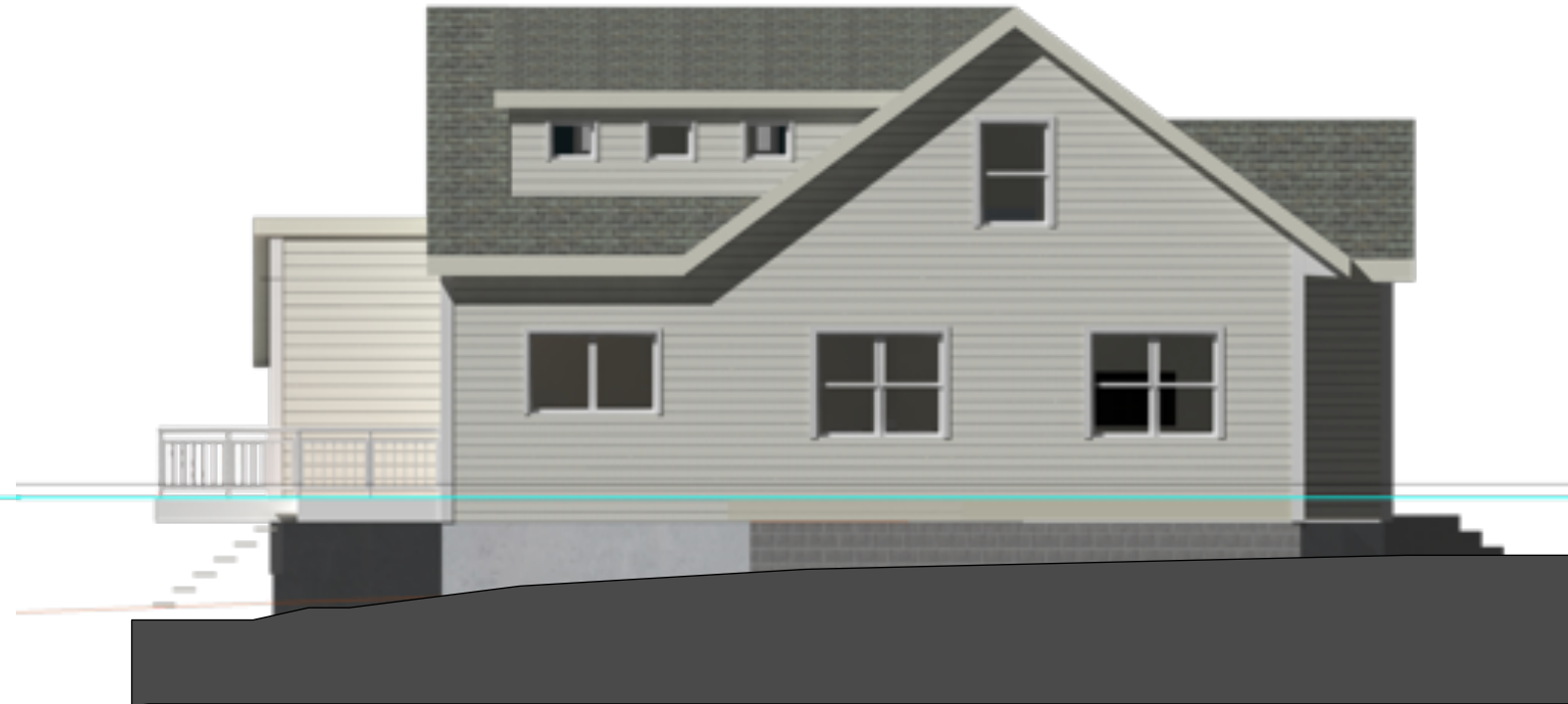
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Sheet No.
 A6

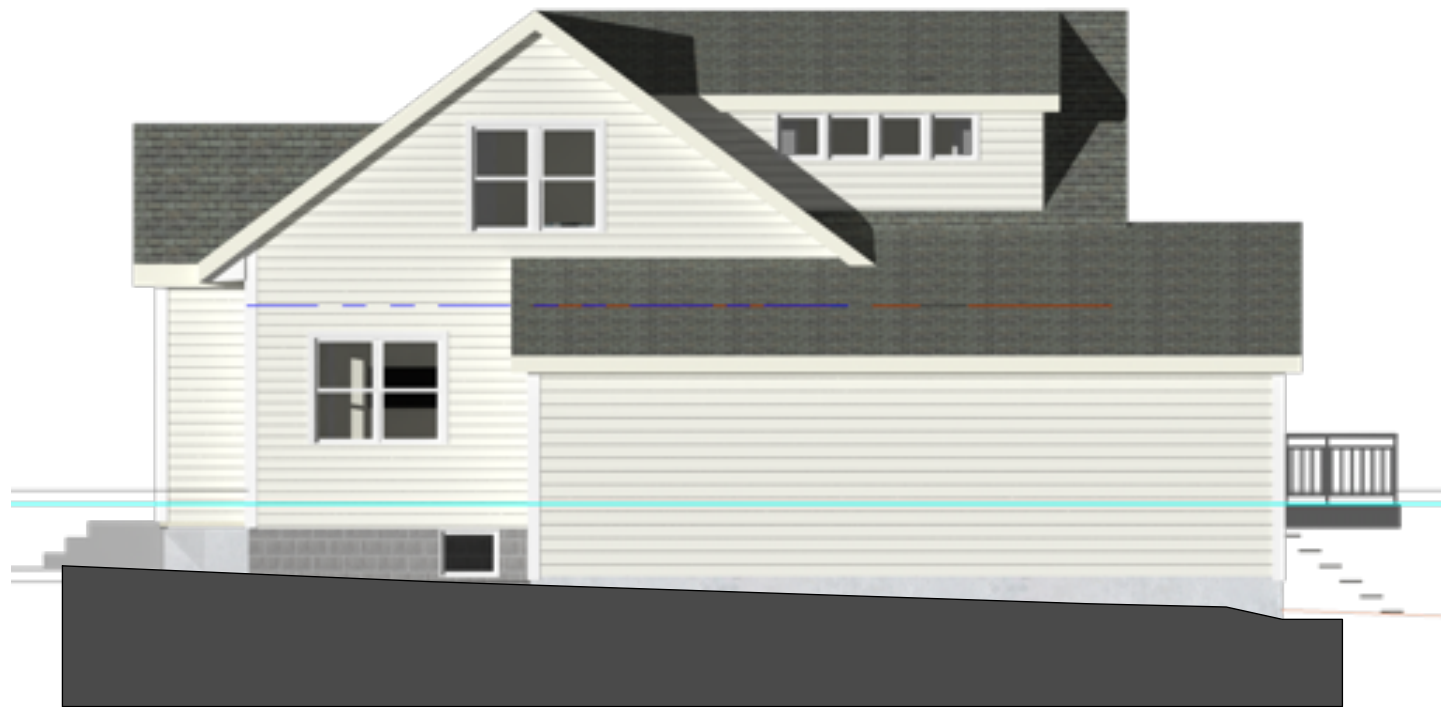
PROPOSED NEW EXTERIOR ELEVATIONS



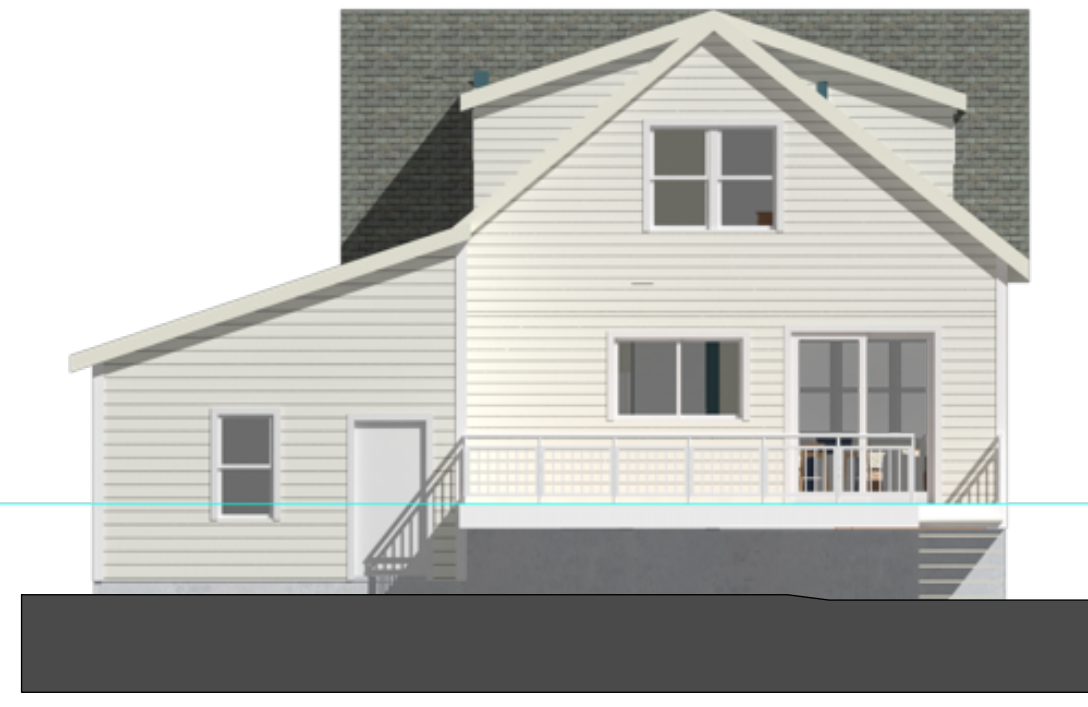
11 **PROPOSED FRONT**
Scale: 1/8" = 1'-0"
0 10 FT



12 **PROPOSED EAST SIDE**
Scale: 1/8" = 1'-0"



13 **PROPOSED WEST SIDE**
Scale: 1/8" = 1'-0"



14 **PROPOSED REAR**
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Sheet Contents:
ELEVATIONS

Scale:
1/8" = 1'-0"

Sheet No.
A7