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**CMFG**  
**NEW 5810 BUILDING**

**5810 MINERAL POINT ROAD**  
**MADISON, WI**



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**LAND USE APPLICATION**

**11/20/2019**

**PROJECT NUMBER: 18451-200**

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# ABBREVIATIONS

<b>A</b>	air condition	<b>C</b>	con	concrete	<b>F</b>	finish	<b>I</b>	interior	<b>P</b>	plaster	<b>T</b>	tree
AC	Architect	CM	construction manager	F	finish	INT	interior	PL	plaster	TR	tree	
AE	Architect-Engineer	CM	construction manager	F	finish	INT	interior	PL	plaster	TR	tree	
AD	advertisement	CO	contract	INT	interior	PL	plaster	TR	tree			
ADL	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
ADN	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
ADP	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
ADQ	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
ADR	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
ADT	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
ADU	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
ADV	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
ADW	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
ADY	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
ADZ	addendum	CO	contract	INT	interior	PL	plaster	TR	tree			
AG	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGC	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGD	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGE	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGF	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGG	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGH	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGI	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGJ	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGK	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGL	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGM	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGN	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGO	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGP	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGQ	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGR	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGS	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGT	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGU	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGV	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGW	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGX	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGY	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AGZ	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AG	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			
AG	agreement	CO	contract	INT	interior	PL	plaster	TR	tree			

# SYMBOL LEGEND

<b>CALLOUTS</b>	<b>TAGS</b>	<b>GRAPHICS</b>
<p><b>VIEW NUMBER</b> 19</p> <p><b>VIEW NAME</b> TITILE</p> <p><b>VIEW SCALE</b> 1/2" = 1'-0"</p>	<p>WALL</p> <p>DOOR</p> <p>KEYNOTE</p> <p>FURNITURE</p> <p>EQUIPMENT</p> <p>WINDOW</p> <p>CASEWORK</p> <p>FLOOR</p> <p>BASE</p> <p>WALL</p> <p>REMARKS</p> <p>TYPE</p> <p>HEIGHT</p> <p>NAME</p> <p>ROOM</p>	<p><b>NORTH ARROW</b></p> <p><b>DIMENSION REFERENCES</b></p> <p><b>CONSTRUCTION PHASES</b></p> <p><b>GRID AND GRID IDENTIFICATION</b></p>

# PROJECT TEAM

**ARCHITECTURAL**  
**EPPSTEIN UHEN ARCHITECTS, INC.**

333 East Chicago Street  
Milwaukee, WI 53202  
Phone: (414) 271-5350  
www.eua.com

**PROJECT CONTACT:** Peter Kucha, Project Manager  
**DIRECT PHONE:** (414) 291-8190  
**EMAIL ADDRESS:** peterk@eua.com

**CIVIL**  
**RUEKERT & MIELKE**

4001 Nakooza Trail, Suite 200  
Madison, WI 53714  
PHONE: (608) 819-2600  
www.ruekertmielke.com

**PROJECT CONTACT:** Andrew Burt, Project Manager  
**DIRECT PHONE:** (262) 542-5733  
**EMAIL ADDRESS:** aburt@ruekert-mielke.com

**LANDSCAPE**  
**KEN SAIKI DESIGN**

1110 South Park Street  
Madison, WI 53715  
PHONE: (608) 251-3600  
www.ksd-la.com

**PROJECT CONTACT:** Ken Saki, Project Manager  
**DIRECT PHONE:** (608) 405-8148  
**EMAIL ADDRESS:** ksaki@ksd-la.com

**PHOTOMETRICS**  
**AFFILIATED ENGINEERS, INC.**

5802 Research Park Boulevard  
Madison, WI 53719  
PHONE: (608) 238-2616  
www.aeieng.com

**PROJECT CONTACT:** Scott Easton, Project Manager  
**DIRECT PHONE:** (608) 236-1266  
**EMAIL ADDRESS:** seaston@aeieng.com

# SHEET INDEX

<b>GENERAL</b>	<b>CIVIL</b>
G01 COVER G02 INDEX G03 FIRE ACCESS PLAN	C01 OVERALL EXISTING DMFG CAMPUS PLAN C02 EXISTING CONDITIONS C03 DEMOLITION PLAN C04 PROPOSED SITE PLAN C05 PROPOSED GRADING PLAN C06 PROPOSED OVERALL SANITARY AND WATER PLAN C07 PROPOSED OVERALL STORM WATER PLAN
<b>LANDSCAPE</b>	<b>ARCHITECTURAL</b>
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	<b>ELECTRICAL</b>
	E01 ELECTRICAL - SITE LIGHTING CALCULATIONS E02 ELECTRICAL - LUMINAIRE SCHEDULE AND OUT SHEETS



**MILWAUKEE** 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5350

**MADISON** 333 West Johnson Street, Suite 200  
Madison, Wisconsin 53703  
608.442.5200

**DES MOINES** 859 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.274.5500

**DENVER** 1609 Highland Street, Suite 300  
Denver, Colorado 80202  
303.556.4300

# PROJECT INFORMATION

**CMFG**  
**NEW 5810 BUILDING**

**5810 MINERAL POINT ROAD  
MADISON, WI**

# ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/02/09	LAND USE APPLICATION

# KEY PLAN

# SHEET INFORMATION

**PROGRESS DOCUMENTS**  
**NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional work. These are not final construction documents and shall not be used for final building or construction-related operations.

**PROJECT MANAGER** PK  
**PROJECT NUMBER** 18451-200

**INDEX**  
**G000**

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# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
Phone: 608-258-4420 • Fax: 608-257-1339 • Email: fire@cityofmadison.com

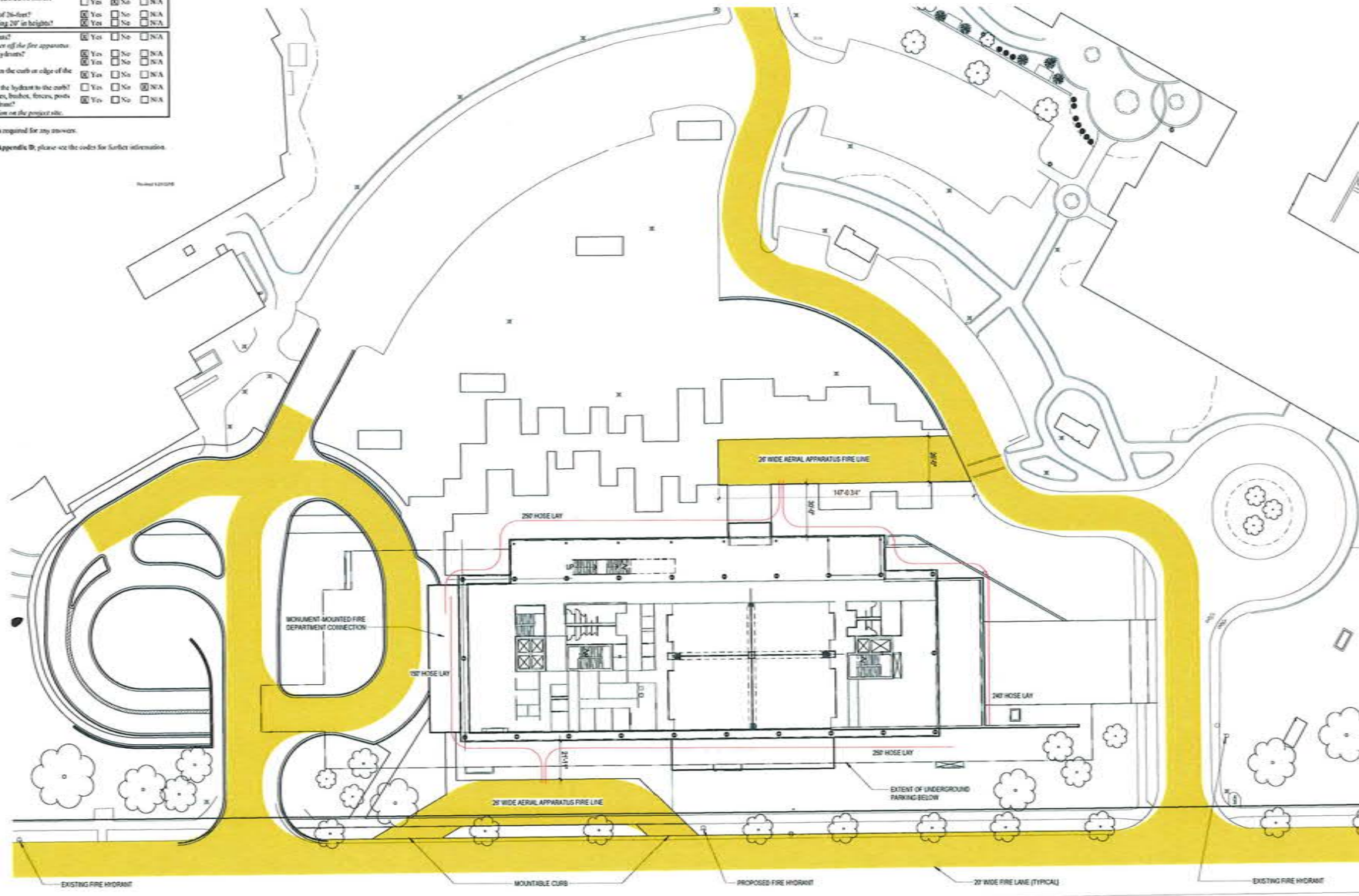
Project Address: 5810 Mineral Point Road

Contact Name & Phone #: Jon Rebella, (608) 442-3958

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150 feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250 feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20 feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13'-6" (13'-0" for the minimum inside turning radius of the fire lane at least 24 feet)? c) Is the minimum inside turning radius of the fire lane at least 24 feet? d) Is the grade of the fire lane not more than a slope of 3%? e) Is the fire lane paved as fire lane? (Provide detail of paving.) f) Is a self-align curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +65,000 lbs.)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20 feet fire opening? b) Is an approved means of emergency operation installed, key switch, pushlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150 feet? If yes, does the area for turning around fire apparatus comply with IFC D105?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 1306? If yes, see IFC 1306.6 for further requirements.	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building greater than 30 feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Show in minute canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 20 feet? f) Is the space between the aerial lane and the building free of trees extending 20' in height?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 250 feet of at least 12 hydrants? a) Is the fire lane at least 20' wide fire at least 20 feet on each side of the hydrant? b) Is there at least 60" clearance between hydrant and the building? c) Are the hydrants within 5 feet or more than 30 feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot blocks a minimum of 30 feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to power poles, wires, bushes, fences, posts located or grade changes exceeding 1 1/2 feet, within 5 feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to construction on the project site.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

Attach in additional sheet if further explanation is required for any answers.  
This worksheet is based on MGD 14.580 and IFC 2015 Edition Chapter 5 and Appendix B; please see the codes for further information.



**A2** FIRE APPARATUS ACCESS PLAN  
1" = 30'



milwaukee 300 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5300

madison 208 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.443.5200

des moines 609 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.274.5000

denver 1000 W. Hampden Street, Suite 300  
Denver, Colorado 80202  
303.595.4500

PROJECT INFORMATION

**CMFG**  
**NEW 5810 BUILDING**

D 5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/09/2019	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

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PROJECT MANAGER PK  
PROJECT NUMBER 18451-200

FIRE ACCESS PLAN  
**G100**  
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milwaukee 300 East Chicago Street  
 Milwaukee, Wisconsin 53202  
 414.271.5200  
 madison 300 West Johnson Street, Suite 200  
 Madison, Wisconsin 53703  
 608.463.5200  
 des moines 600 Walnut Street, Suite 400  
 Des Moines, Iowa 50309  
 515.274.5040  
 denver 1600 Wynkoop Street, Suite 300  
 Denver, Colorado 80202  
 303.591.4500

**PROJECT INFORMATION**  
 CMFG  
 NEW 5810 BUILDING

5810 MINERAL  
 POINT ROAD  
 MADISON, WI

**ISSUANCE AND REVISIONS**

DATE	DESCRIPTION
11/02/19	LAND USE APPLICATION

**KEY PLAN**

**SHEET INFORMATION**

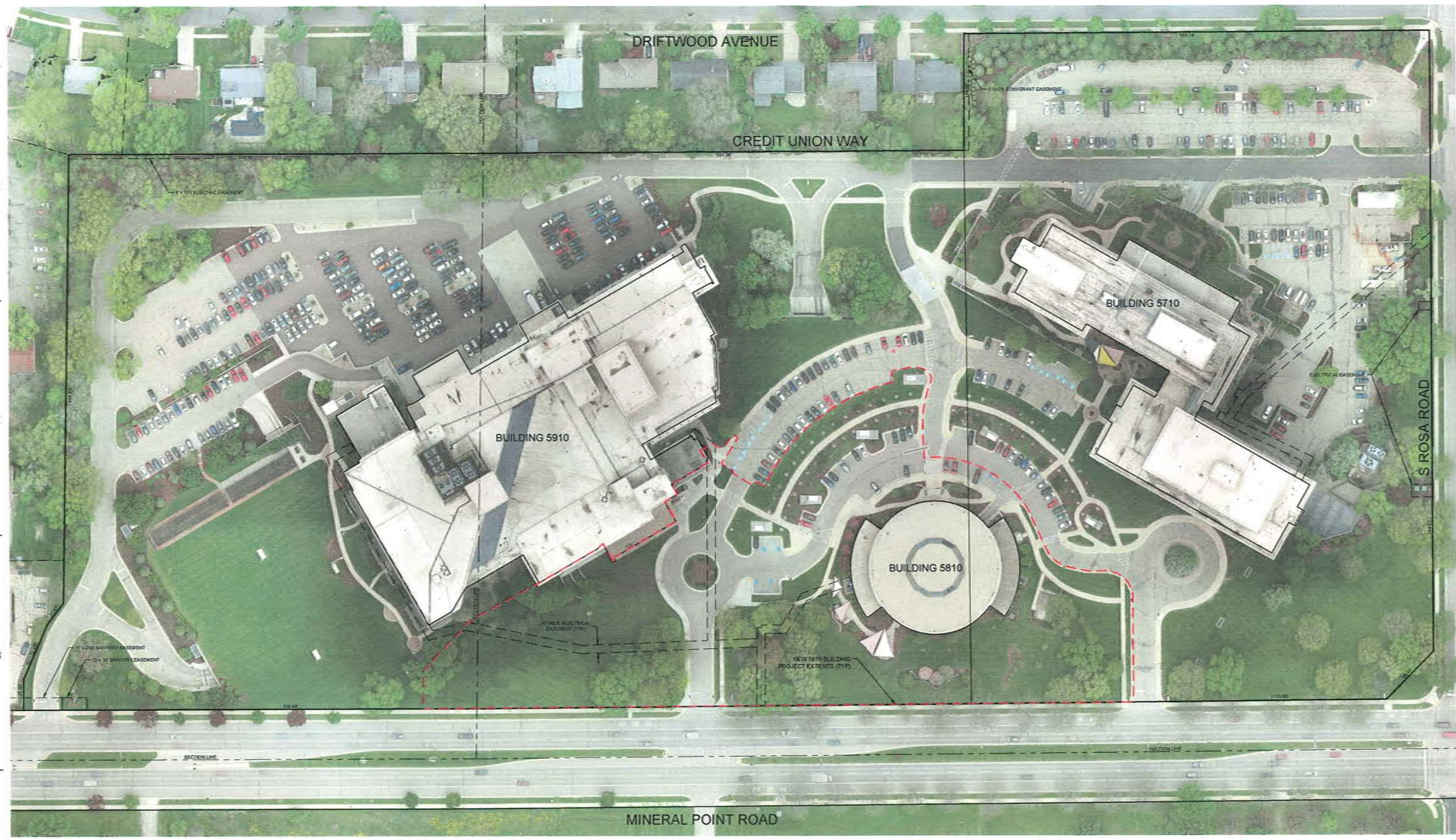
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PROJECT MANAGER PM  
 PROJECT NUMBER 18451-200

**OVERALL EXISTING  
 CMFG CAMPUS PLAN**

**C101**

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E  
D  
C  
B  
A

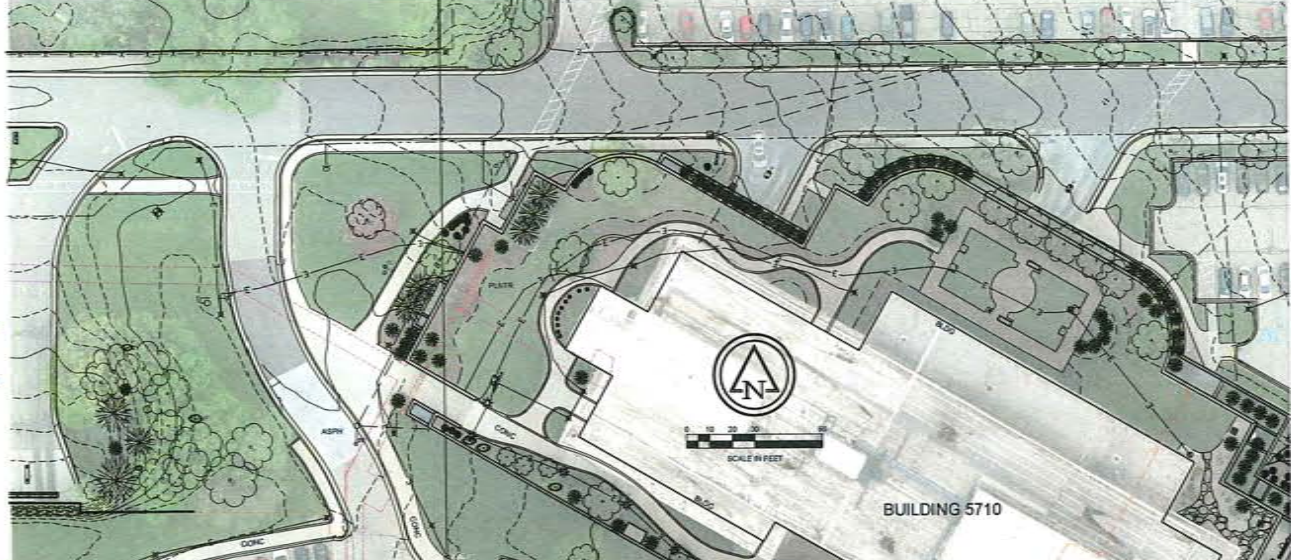
1 2 3 4 5 6 7

1 2 3 4 5 6 7

1 2 3 4 5 6 7

LEGEND - CIVIL ENGINEERING DRAWINGS

- GENERIC MANHOLE
- GENERIC VENT
- SEWER MANHOLE
- CLEAN OUT
- SEPTIC SYSTEM
- SEPTIC TANK COVER
- SEPTIC VENT
- WELL MONITORING WELL
- WATER VALVE
- HYDRANT
- WATER VALVE MANHOLE
- WATER CURB STOP
- WELL
- SPRINKLER HEAD
- STORM CATCH BASIN
- STORM INLET
- GAS MANHOLE
- GAS VALVE
- GAS METER
- GAS VENT
- GAS VENT TEST
- GAS CURB STOP
- WELL
- ELECTRIC BOX
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE BOX
- TELEPHONE MANHOLE
- CABLE BOX
- UTILITY POLE
- GUY WIRE
- LIGHT POLE
- YARD LIGHT
- TRAFFIC SIGNAL
- FULL BOX
- 1" SAN SEWER
- 4" SAN SEWER
- 8" SAN SEWER
- 12" SAN SEWER
- 18" SAN SEWER
- 24" SAN SEWER
- 30" SAN SEWER
- 36" SAN SEWER
- 42" SAN SEWER
- 48" SAN SEWER
- 54" SAN SEWER
- 60" SAN SEWER
- 66" SAN SEWER
- 72" SAN SEWER
- 78" SAN SEWER
- 84" SAN SEWER
- 90" SAN SEWER
- 96" SAN SEWER
- 102" SAN SEWER
- 108" SAN SEWER
- 114" SAN SEWER
- 120" SAN SEWER
- 126" SAN SEWER
- 132" SAN SEWER
- 138" SAN SEWER
- 144" SAN SEWER
- 150" SAN SEWER
- 156" SAN SEWER
- 162" SAN SEWER
- 168" SAN SEWER
- 174" SAN SEWER
- 180" SAN SEWER



**milwaukee** 322 East Chicago Street  
Waukesha, Wisconsin 53190  
414.271.5338

**madison** 320 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.442.2592

**des moines** 659 Grand Street, Suite 400  
Des Moines, Iowa 50315  
515.274.1540

**denver** 1339 High Street, Suite 300  
Denver, Colorado 80202  
303.551.4300

PROJECT INFORMATION

CMFG  
NEW 5810 BUILDING

5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/20/18	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

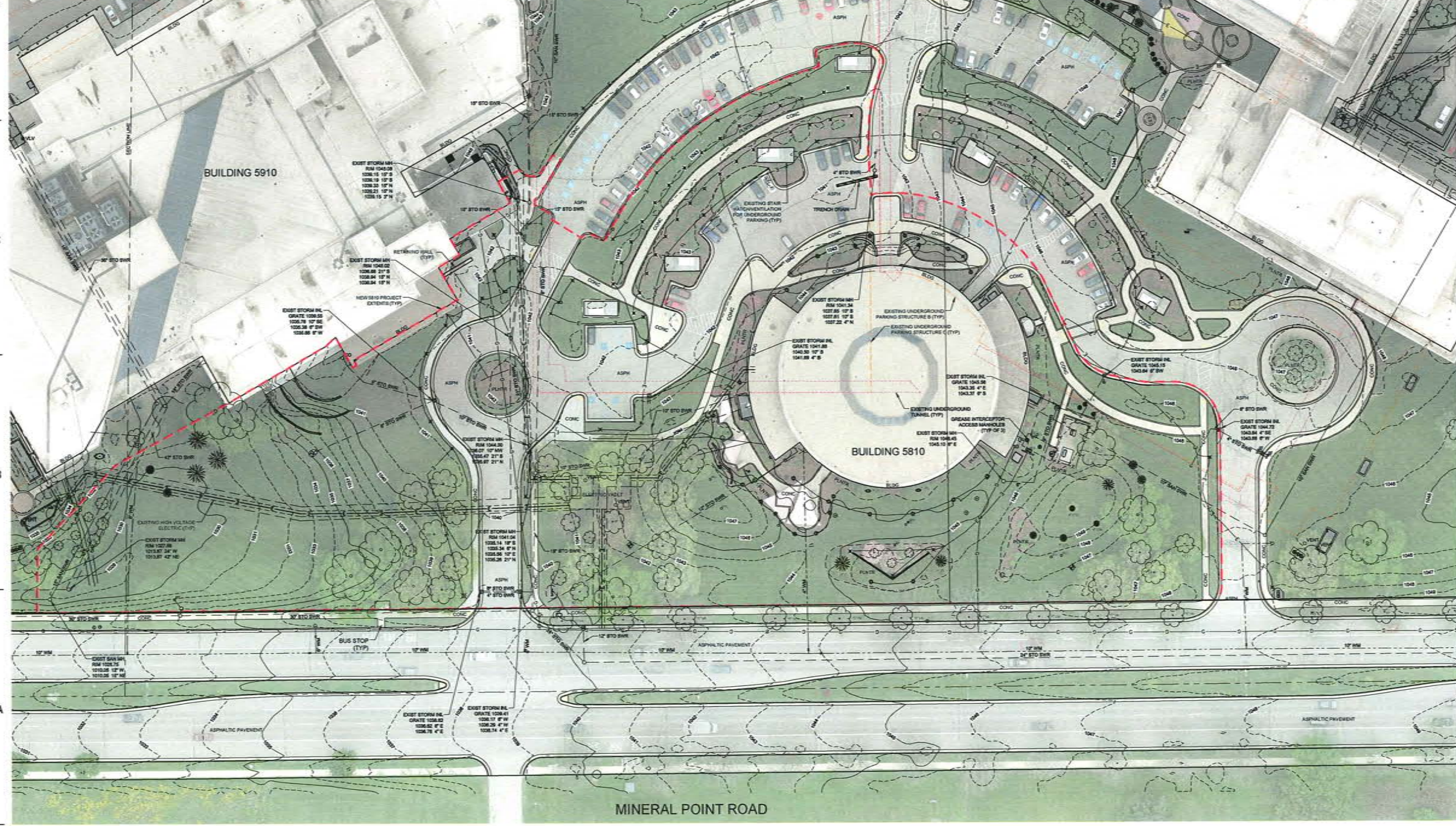
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PROJECT MANAGER PM  
PROJECT NUMBER 18451-200

EXISTING  
CONDITIONS

# C102

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1 2 3 4 5 6 7



milwaukee 322 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5500

madison 300 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.462.5239

denver 609 Walnut Street, Suite 400  
Denver, Iowa 52009  
515.724.1500

denver 1600 Waring Street, Suite 300  
Denver, Colorado 80202  
303.556.4900

PROJECT INFORMATION  
**CMFG  
 NEW 5810 BUILDING**

5810 MINERAL  
 POINT ROAD  
 MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/20/2018	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

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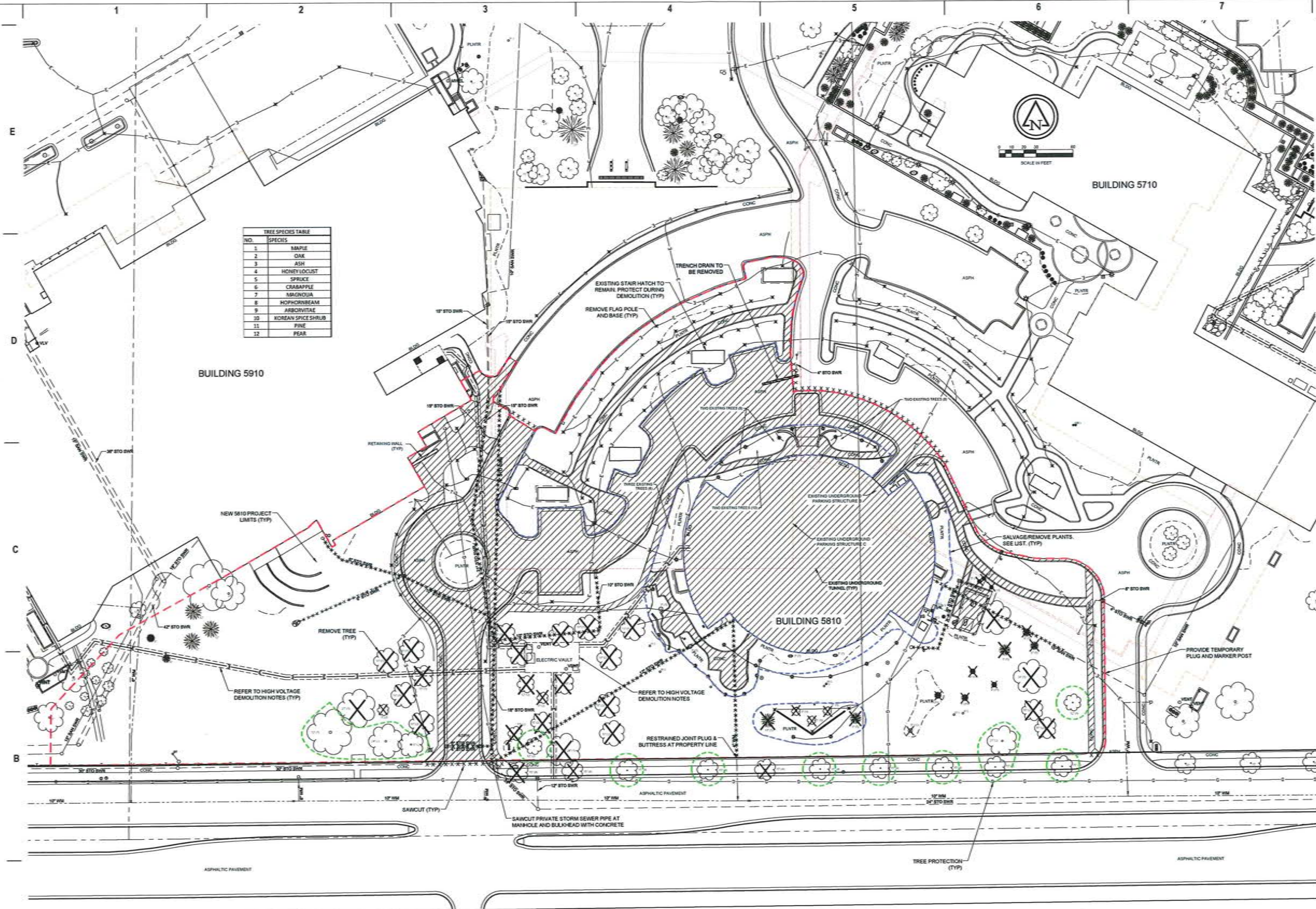
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PROJECT MANAGER PM  
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**DEMOLITION  
 PLAN**

**C103**

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TREE SPECIES TABLE

NO.	SPECIES
1	MAPLE
2	OSK
3	ASH
4	HONEYLOCUST
5	SPRUCE
6	CRABAPPLE
7	MAGNOLIA
8	HOPHORNBEAM
9	ARBORVITAE
10	KOREAN SPRUCE SHRUB
11	PIKE
12	PEAR

LEGEND

	PAVEMENT/BUILDING REMOVALS		EXISTING TREE SIZE AND TREE SPECIES
	TREE PROTECTION		
	SALVAGE/REMOVE PLANTS (SEE LANDSCAPE DEMOLITION NOTES)		

GENERAL NOTES:  
 1. ALL BUILT STRUCTURES, FEATURES, AND FACILITIES LOCATED WITHIN DEMOLITION LIMITS SHOWN ARE TO BE DEMOLISHED UNLESS OTHERWISE NOTED.  
 2. EXISTING UNDERGROUND PARKING STRUCTURES AND ASSOCIATED FEATURES SUCH AS STAIR HATCHES, AREAWAYS, AND TUNNELS SHALL REMAIN AND SHOULD BE PROTECTED AS NECESSARY DURING DEMOLITION.

BUILDING 5810 DEMOLITION NOTES:  
 1. EXISTING BUILDING 5810 STRUCTURE TO BE COMPLETELY DEMOLISHED.

SITE UTILITY DEMOLITION NOTES:  
 1. SITE UTILITIES SCHEDULED FOR DEMOLITION SHALL BE DISCONNECTED AT DEMOLITION LIMITS AND PROPERLY CAPPED OR TERMINATED.  
 2. DISCONNECTION OF PUBLIC UTILITY OR SERVICE SHALL BE COORDINATED WITH AND IN ACCORDANCE WITH CORRESPONDING UTILITY REQUIREMENTS.  
 3. SITE UTILITIES, INCLUDING STRUCTURES, WITHIN DEMOLITION LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.  
 4. GREASE INTERCEPTOR SHALL HAVE LIQUID AND SLUDGE REMOVED, TANK CLEANED BEFORE COMPLETE REMOVAL.

LANDSCAPE DEMOLITION NOTES:  
 1. ALL LANDSCAPE FEATURES, INCLUDING BUT NOT LIMITED TO, SHRUBS, TREES, PLANTINGS, IRRIGATION, MULCH, EDGING, AND LIGHTING SHALL BE DEMOLISHED UNLESS OTHERWISE NOTED.  
 2. EXISTING TREES TO REMAIN SHALL BE PROTECTED PRIOR TO START OF DEMOLITION.  
 3. OWNER HAS IDENTIFIED EXISTING PLANTS TO BE SALVAGED/RELOCATED. OBTAIN LIST AND COORDINATE WITH OWNER.

HIGH VOLTAGE DEMOLITION NOTES:  
 1. EXISTING HIGH VOLTAGE DUCTS AND ELECTRIC VAULT TO BE REMOVED BY MADISON GAS & ELECTRIC (MGE) PRIOR TO THE START OF DEMOLITION. MGE WILL PROVIDE REPLACEMENT HIGH VOLTAGE SERVICES.

MINERAL POINT ROAD



milwaukee 330 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5300

madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.462.3300

des moines 699 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.274.5800

denver 1800 Waring Street, Suite 300  
Denver, Colorado 80202  
303.595.4300

PROJECT INFORMATION

CMFG  
NEW 5810 BUILDING

D 5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

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1/20/2019	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
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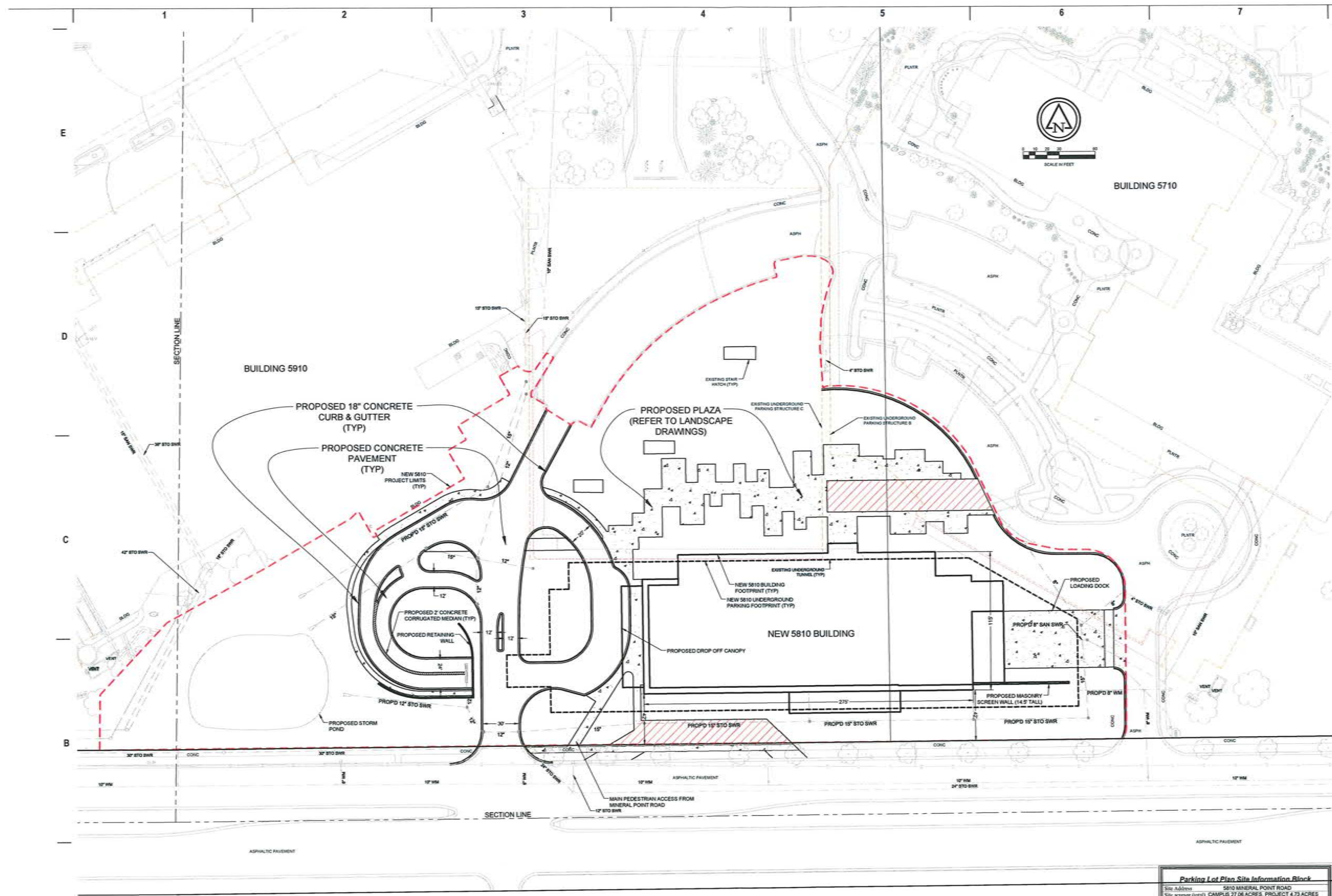
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PROJECT MANAGER PM  
PROJECT NUMBER 18451-200

PROPOSED SITE  
PLAN

**C104**

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LEGEND:

	PROPOSED CONCRETE SIDEWALK
	PROPOSED FIRE ACCESS LANE

MINERAL POINT ROAD

LAND USE SUMMARY TABLE	
PROJECT AREA	4.73 ACRES
USABLE OPEN SPACE	0.28 ACRES
LANDSCAPE AREA	2.09 ACRES
PAVEMENT AREA	0.77 ACRES
BUILDING SQUARE FOOTAGE	233,600.00 SQ. FT.

Parking Lot Plan Site Information Block	
Site Address	5810 MINERAL POINT ROAD
Site acreage (total)	CAMPUS 27.06 ACRES, PROJECT 4.73 ACRES
Number of building stories (above grade)	5 STORIES
Building Height	80 FEET
DILHR type of construction (new structures or additions)	IB
Total square footage of building	233,600 SQ. FT.
List of property	CONF. CENTER & CAFETERIA FOR CMFG CAMPUS
Gross square feet of office	2,000 SQ. FT.
Gross square feet of retail area	0.00 SQ. FT.
Number of employees in warehouse	0 EMPLOYEES
Number of employees in production area	0 EMPLOYEES
Capacity of restaurant/office of assembly	CONFING 300 ALTERNATIVE 500 OTHER 400
Number of bicycle stalls shown	56 BICYCLE STALLS
Number of parking stalls shown	
Small car	177 STALLS
Large car	
Accessibility	
Total	177 STALLS
Number of trees shown	42 TREES



milwaukee 330 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5200

madison 300 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.442.3200

des moines 606 Walnut Street, Suite 405  
Des Moines, Iowa 50309  
515.274.3840

denver 1838 W. Wynkoop Street, Suite 300  
Denver, Colorado 80202  
303.555.4300

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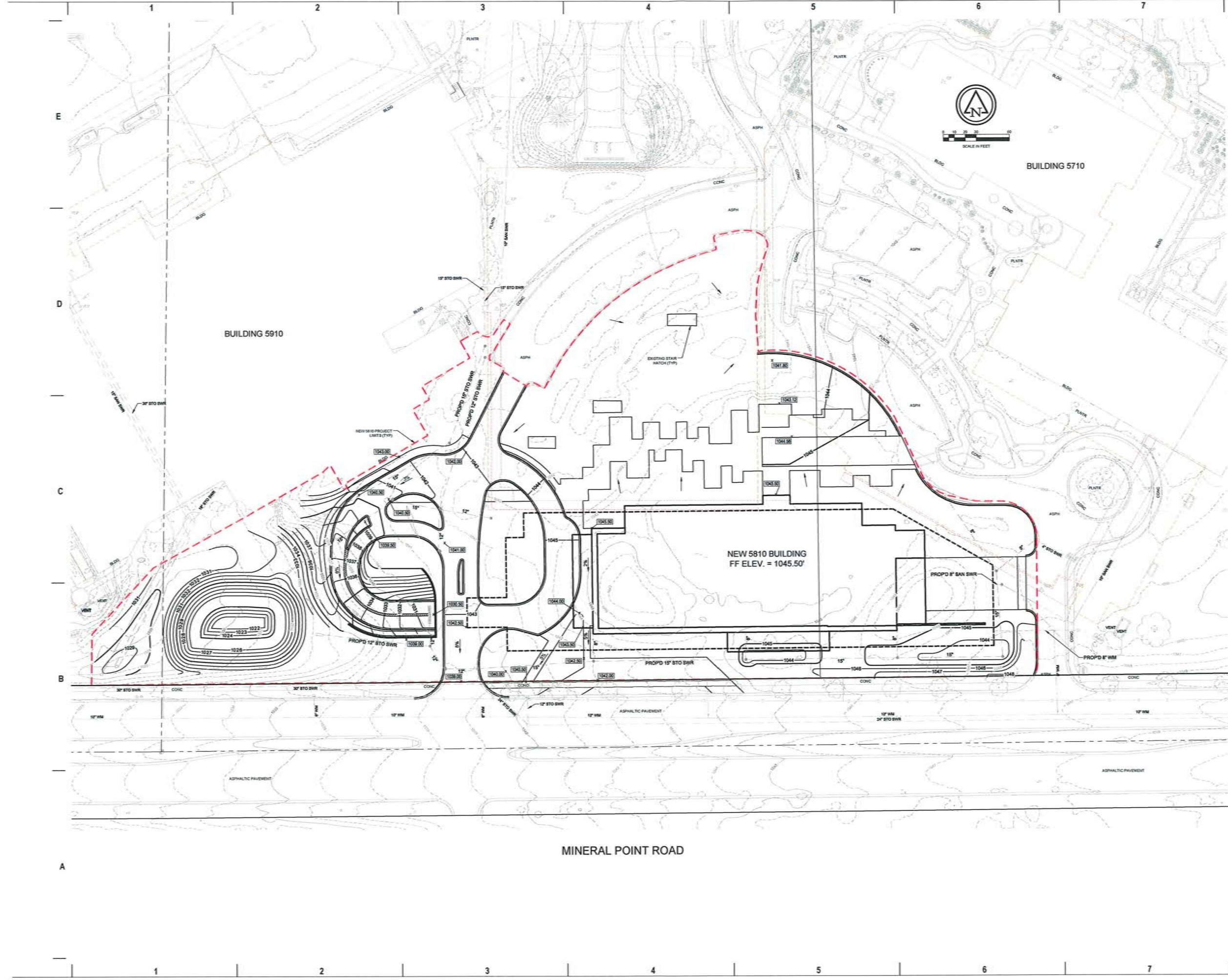
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PROJECT MANAGER PM  
PROJECT NUMBER 18451-200

PROPOSED  
GRADING PLAN

**C200**

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MINERAL POINT ROAD

BUILDING 5710

BUILDING 5910

NEW 5810 BUILDING  
FF ELEV. = 1045.50'

PROPO 8" SAN SWR

PROPO 8" WM

PROPO 12" STO SWR

PROPO 15" STO SWR

PROPO 12" STO SWR

PROPO 15" STO SWR

E  
D  
C  
B  
A

1 2 3 4 5 6 7

1 2 3 4 5 6 7





milwaukee 300 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5300

madison 300 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.442.1200

des moines 600 Walnut Street, Suite 405  
Des Moines, Iowa 50309  
515.274.5040

denver 1009 Hyland Street, Suite 300  
Denver, Colorado 80202  
303.555.4500

PROJECT INFORMATION

CMFG  
NEW 5810 BUILDING

5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/09/16	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
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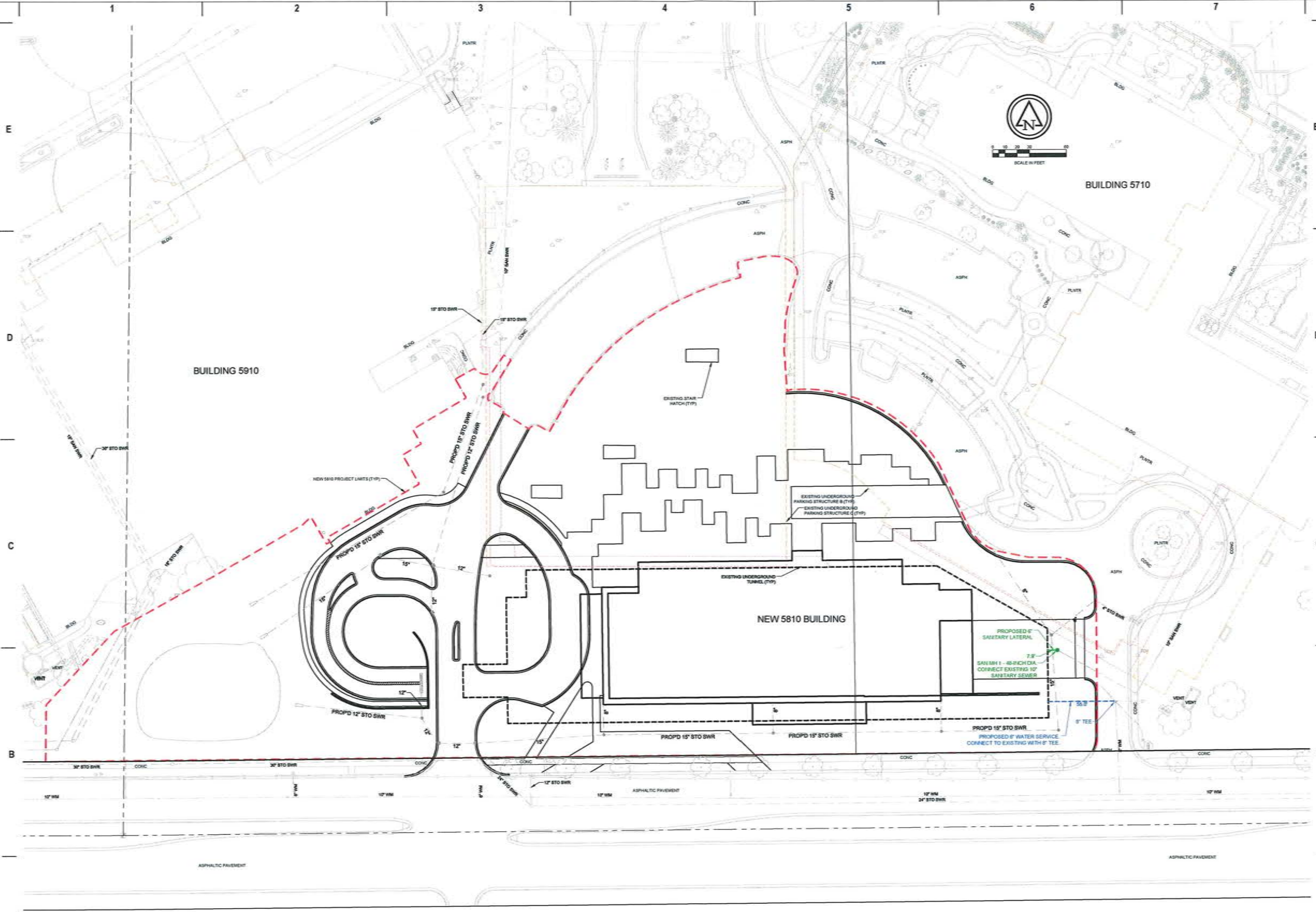
PROJECT MANAGER PM

PROJECT NUMBER 18451-200

PROPOSED OVERALL  
SANITARY AND  
WATER PLAN

**C300**

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MINERAL POINT ROAD

BUILDING 5710

BUILDING 5910

NEW 5810 BUILDING

EXISTING UNDERGROUND  
PARKING STRUCTURE B (TYP)

EXISTING UNDERGROUND  
PARKING STRUCTURE C (TYP)

EXISTING UNDERGROUND  
TUNNEL (TYP)

PROPOSED 8" SANITARY LATERAL

7.5" SANITARY L - 40' EACH DIA -  
CONNECT EXISTING 10" SANITARY SEWER

PROPOSED 8" WATER SERVICE  
CONNECT TO EXISTING 8" TEE

PROPOSED 15" STO SWR

PROPOSED 12" STO SWR

PROPOSED 15" STO SWR

PROPOSED 15" STO SWR

PROPOSED 15" STO SWR

PROPOSED 15" STO SWR

PROPOSED 15" STO SWR

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PROPOSED 15" STO SWR



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denver 1800 W. Hampden Street, Suite 300  
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PROJECT INFORMATION

CMFG  
NEW 5810 BUILDING

5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/02/19	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

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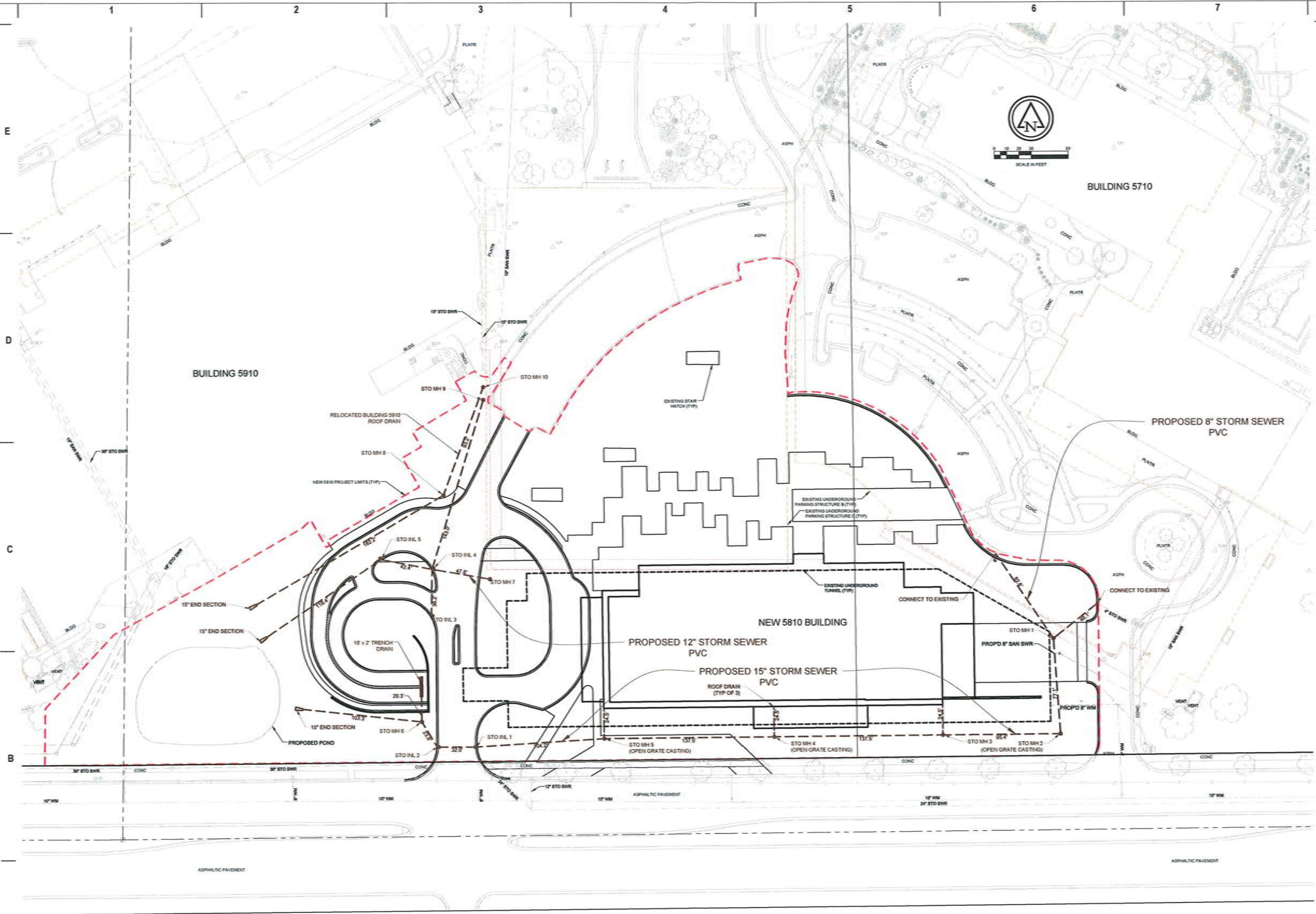
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PROJECT NUMBER 18451-200

PROPOSED OVERALL  
STORM WATER PLAN

**C400**

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MINERAL POINT ROAD

A

A

**PLANTING LEGEND**

-  PROPOSED CANOPY TREE
-  PROPOSED FRONTAGE TREE
-  LAWN
-  NATIVE SEED MIX
-  SHRUBS AND PERENNIALS



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**PROJECT INFORMATION**

CMFG  
NEW 5810 BUILDING  
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MADISON, WI

**ISSUANCE AND REVISIONS**

DATE	DESCRIPTION
11/20/2019	LAND USE APPLICATION

**KEY PLAN**

**SHEET INFORMATION**

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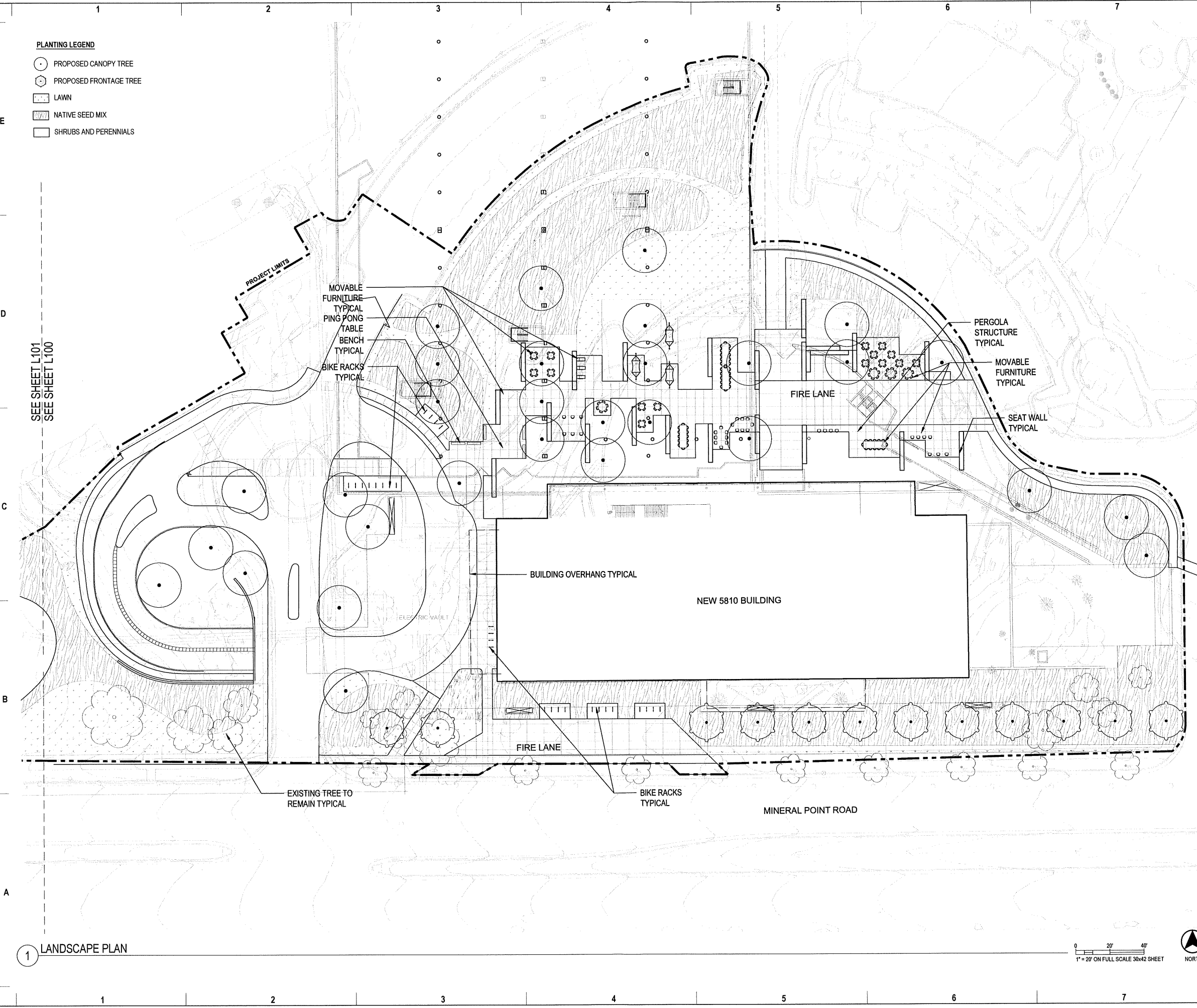
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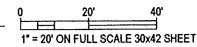
**LANDSCAPE PLAN**

**L100**






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1 LANDSCAPE PLAN



**PLANTING LEGEND**

-  PROPOSED CANOPY TREE
-  PROPOSED FRONTAGE TREE
-  LAWN
-  NATIVE SEED MIX
-  SHRUBS AND PERENNIALS

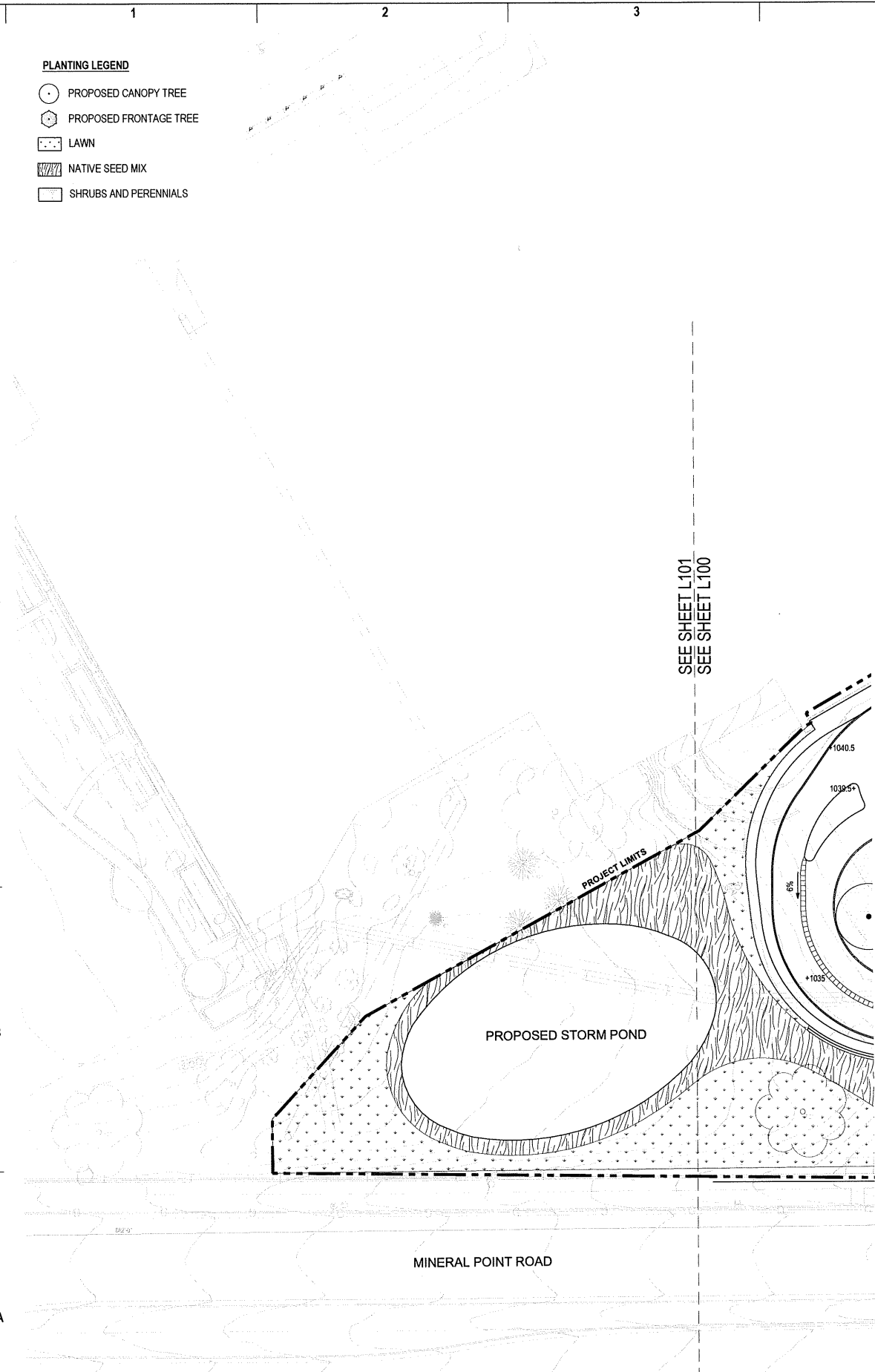
E

D

C

B

A



SEE SHEET L101  
SEE SHEET L100

**City of Madison, WI Landscape Worksheet**

20-Nov-19

CUNA Mutual Group - Zoning - TE - Traditional Employment District

Developed Lots	SF	5 Landscape Points For Every 300 SF of Developed Area	LANDSCAPE POINTS REQUIRED
Total NEW Developed Area	168,525	163575 x 5 / 300	2809
<b>Landscape Points Required</b>			<b>2809</b>

Development Frontage - Mineral Point Road	LF	*Overstory Trees Required	Shrubs Required
Total LF of Street Frontage			
Between Bldg./Parking & street	373	12	62

1 Overstory Deciduous Tree\* & 5 Shrubs for each 30 lineal feet of Lot Frontage.  
[\*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree].

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree **	35	12	0	420
Ex. Significant Specimen Tree	0	0	0	0
Tall Evergreen Tree	35	0	0	0
Ornamental Tree	15	0	0	0
Upright Evergreen Shrub	10	10	0	100
Shrub, Deciduous	3	26	0	78
Shrub, Evergreen	4	26	0	104
Ornamental Grass/Perennial	2	100	0	200
<b>Development Frontage Total</b>				<b>902</b>

**General Site, Foundation, Screening**

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	30	0	1050
Tall Evergreen Tree	35	0	0	0
Ornamental Tree	15	0	0	0
Upright Evergreen Shrub	10	0	0	0
Shrub, Deciduous	3	10	0	30
Shrub, Evergreen	4	10	0	40
Ornamental Grass/Perennial	2	400	0	800
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	0	0
<b>Foundation Plantings Total</b>				<b>1920</b>

<b>TOTAL LANDSCAPE POINTS PROVIDED</b>	<b>2822</b>
<b>TOTAL LANDSCAPE POINTS REQUIRED</b>	<b>2727</b>

**NOTE:** \* In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.

\*\*Fire lane precludes trees 30 feet on center at frontage condition.



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**PROJECT INFORMATION**

CMFG  
NEW 5810 BUILDING  
5810 MINERAL  
POINT ROAD  
MADISON, WI

**ISSUANCE AND REVISIONS**

DATE	DESCRIPTION
11/20/2019	LAND USE APPLICATION

**KEY PLAN**

**SHEET INFORMATION**

**PROGRESS DOCUMENTS NOT FOR CONSTRUCTION**

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PROJECT MANAGER PK  
PROJECT NUMBER 18451-200

**LANDSCAPE PLAN**

**L101**

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1 LANDSCAPE PLAN

0 20' 40'  
1" = 20' ON FULL SCALE 30x42 SHEET





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PROJECT INFORMATION

**CMFG  
NEW 5810 BUILDING**

D 5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/26/19	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
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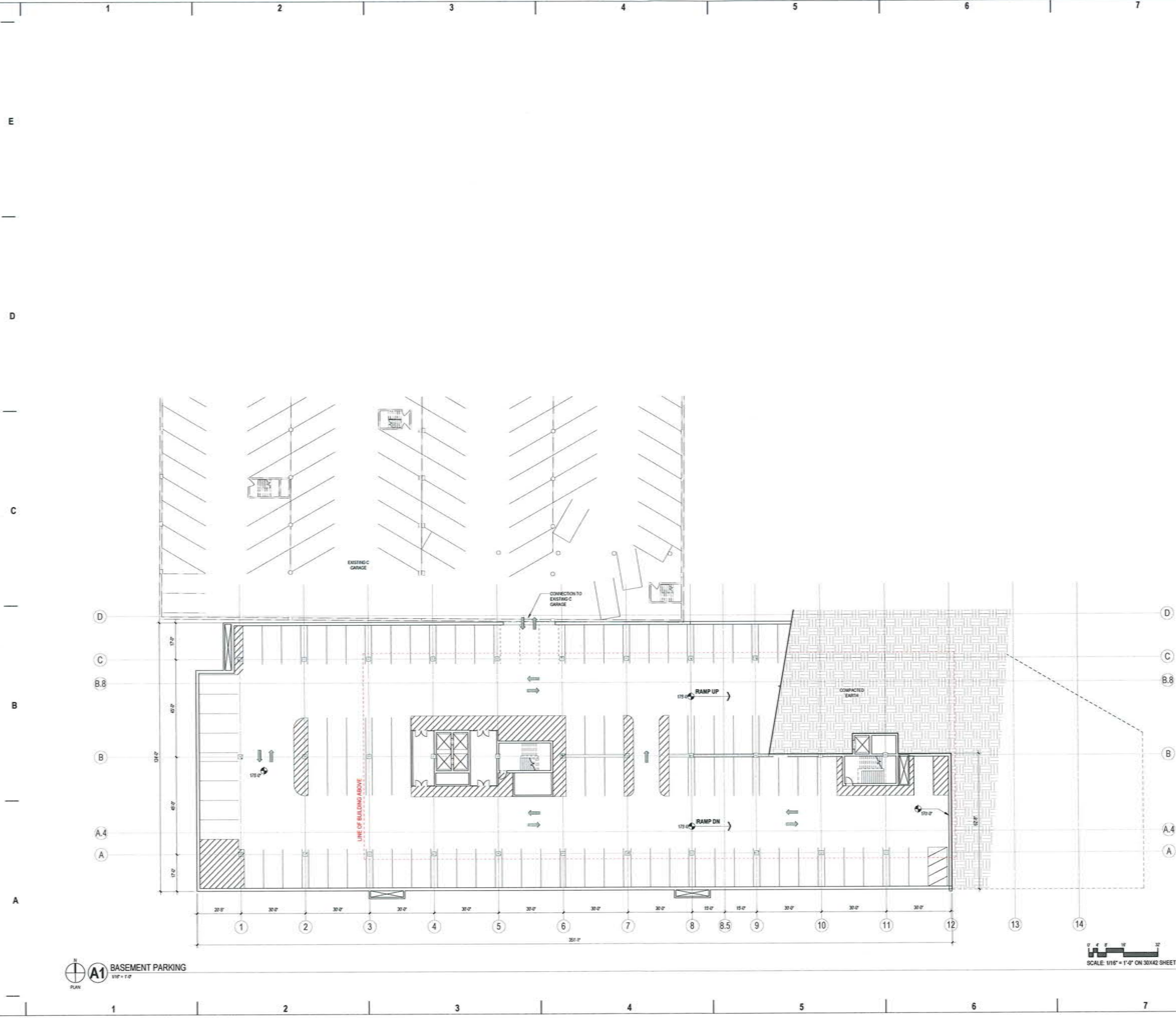
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PROJECT MANAGER PK  
PROJECT NUMBER 18451-200

**BASEMENT  
PARKING LEVEL**

**A100B**

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**A1** BASEMENT PARKING  
100 - 100  
PLAN

SCALE: 1/16" = 1'-0" ON 30X42 SHEET



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PROJECT INFORMATION

**CMFG  
NEW 5810 BUILDING**

D 5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
1/26/2019	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
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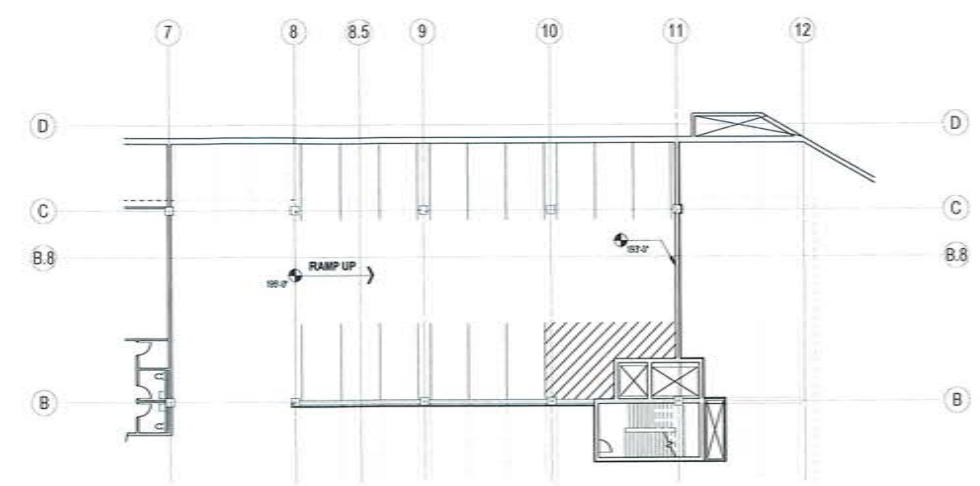
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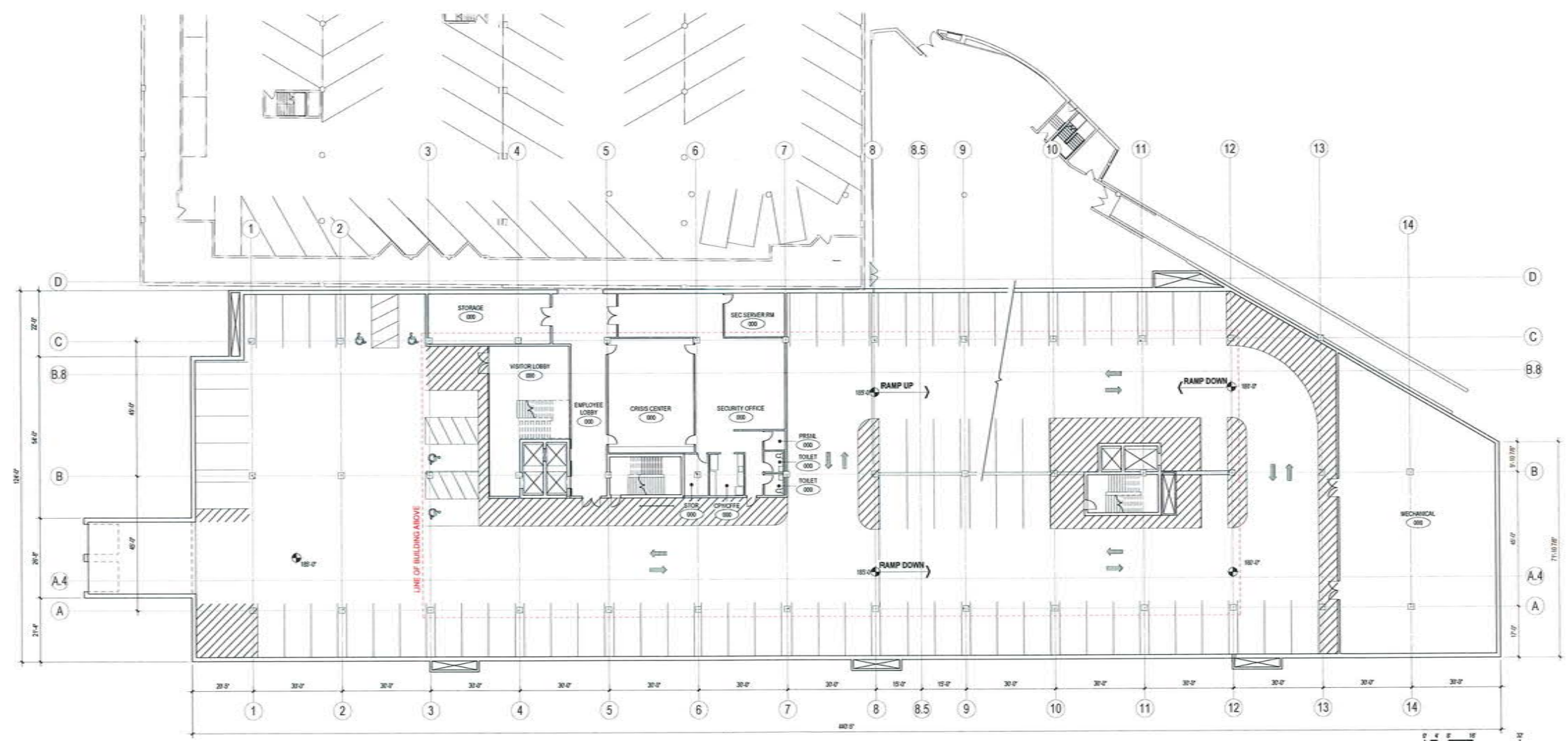
GROUND PARKING  
LEVEL

**A100G**

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**D1** GROUND FLR PARKING - UP RAMP  
1/8" = 1'-0"  
PLAN



**A1** GROUND FLR PARKING  
1/8" = 1'-0"  
PLAN

SCALE: 1/16" = 1'-0" ON 30X42 SHEET



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PROJECT INFORMATION

CMFG  
NEW 5810 BUILDING

D 5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/20/19	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
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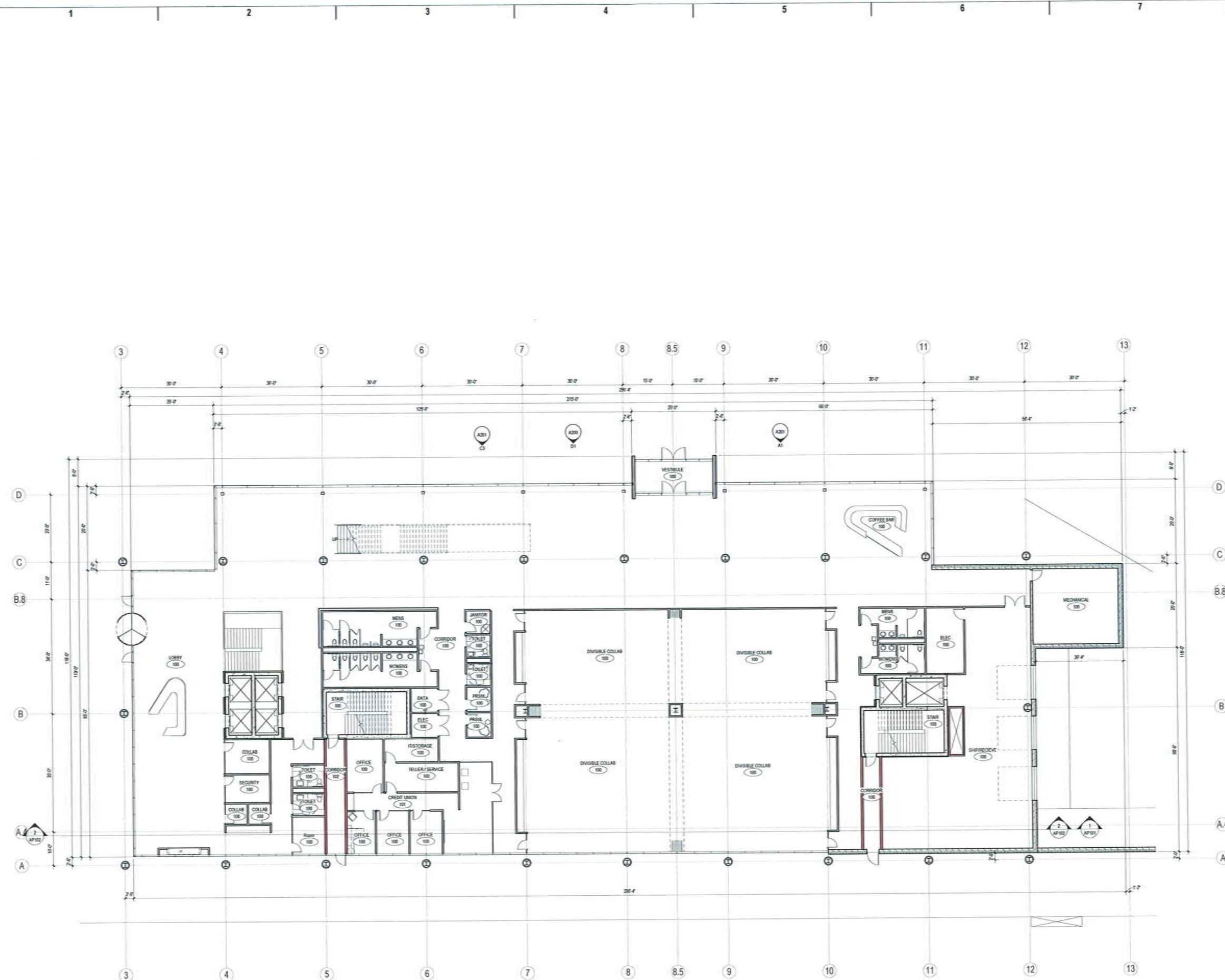
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PROJECT MANAGER PK  
PROJECT NUMBER 18451-200

1ST FLR PLAN

**A101**

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**A1** 1ST FLR PLAN  
332' x 170'

SCALE: 3/32" = 1'-0" ON 30x42 SHEET



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PROJECT INFORMATION  
**CMFG**  
**NEW 5810 BUILDING**

D 5810 MINERAL  
 POINT ROAD  
 MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/26/19	LAND USE APPLICATION

KEY PLAN

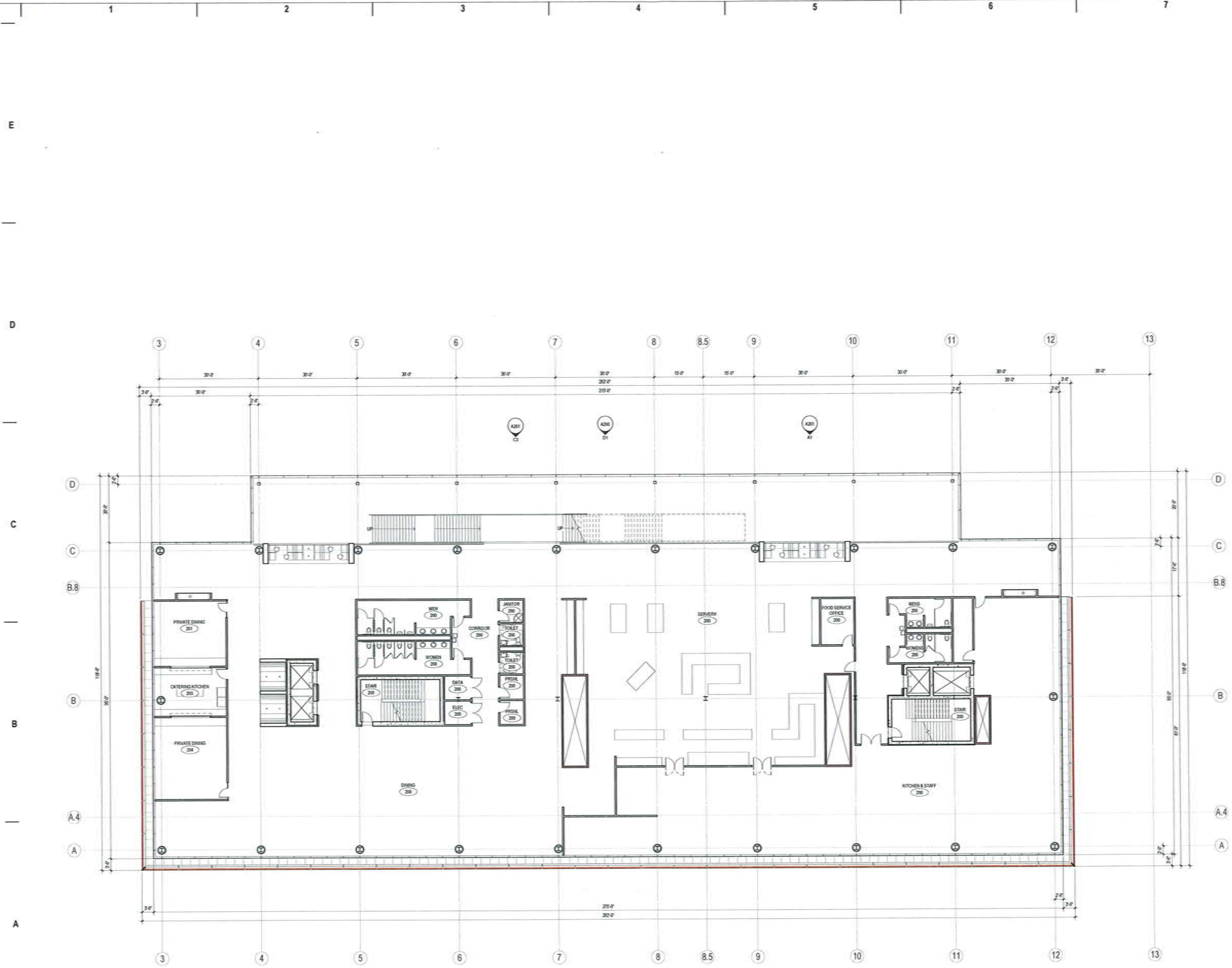
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 PROJECT NUMBER 19451-200

2ND FLR PLAN  
**A102**  
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**A1** 2ND FLR PLAN  
 302' x 112'

SCALE: 3/32" = 1'-0" ON 30x42 SHEET





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PROJECT INFORMATION  
**CMFG  
 NEW 5810 BUILDING**

D 5810 MINERAL  
 POINT ROAD  
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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/26/19	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

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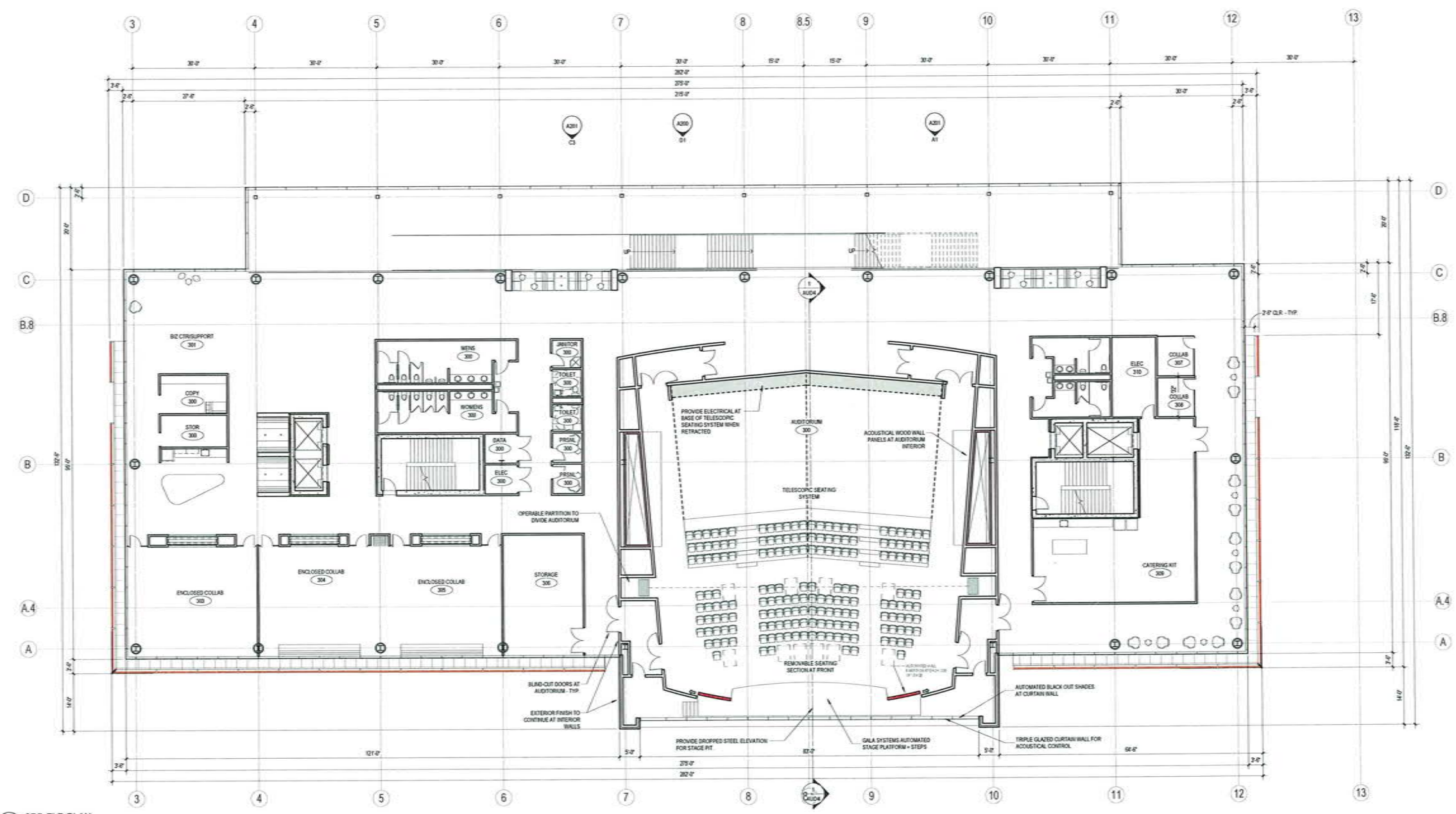
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PROJECT MANAGER PK  
 PROJECT NUMBER 18451-200

3RD FLR PLAN  
**A103**

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E  
D  
C  
B  
A



PLAN  
**A1** 3RD FLR PLAN  
 3/02" = 1'-0"

SCALE: 3/32" = 1'-0" ON 30X42 SHEET



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PROJECT INFORMATION

**CMFG  
NEW 5810 BUILDING**

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ISSUANCE AND REVISIONS

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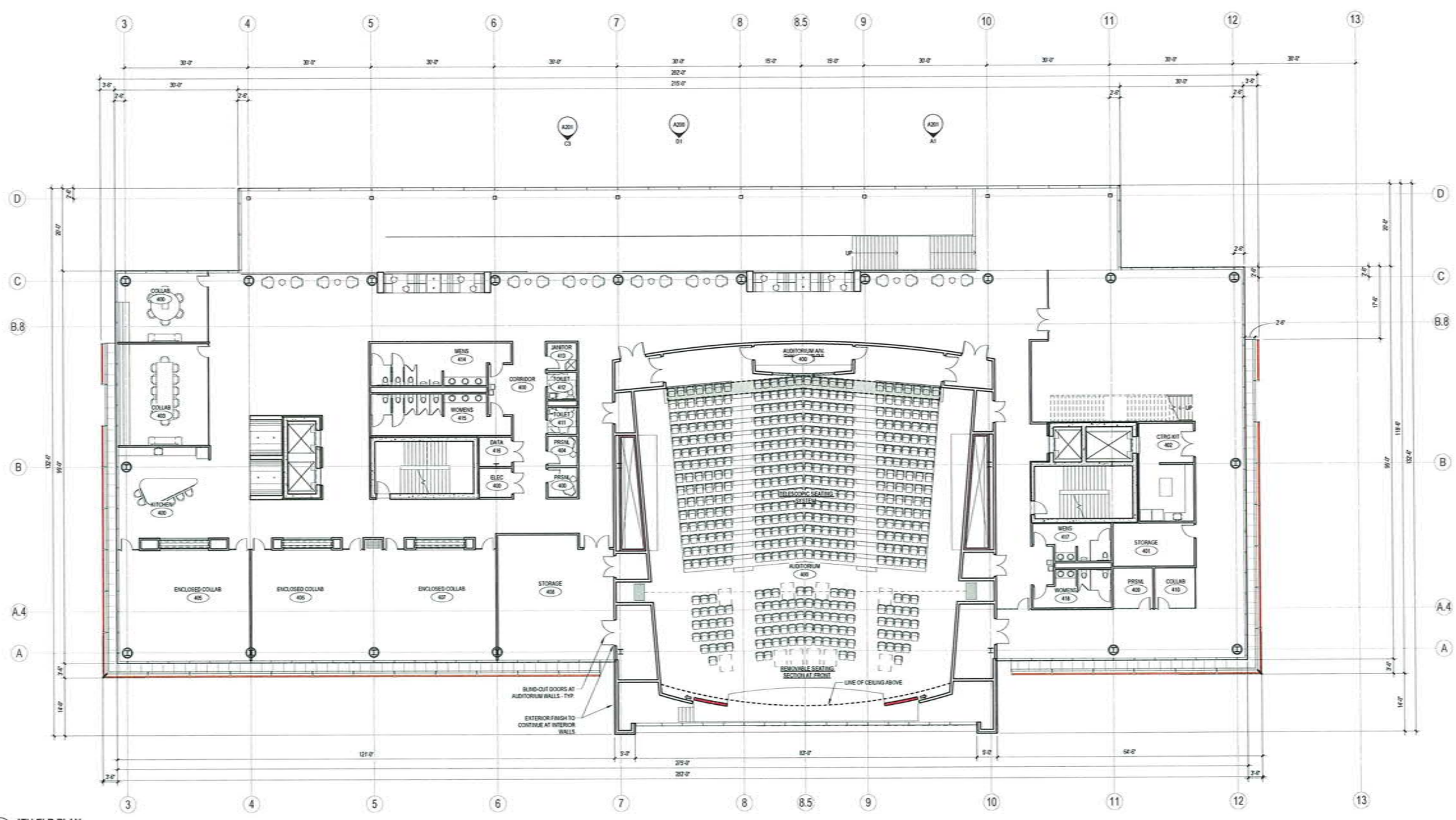
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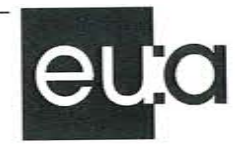
4TH FLR PLAN  
**A104**  
© Eggen Urban Architects, Inc.

E  
D  
C  
B  
A



**A1** 4TH FLR PLAN  
3/2" = 1'-0"

SCALE: 3/32" = 1'-0" ON 30x42 SHEET



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PROJECT INFORMATION

**CMFG**  
**NEW 5810 BUILDING**

**D 5810 MINERAL  
POINT ROAD  
MADISON, WI**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/20/19	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

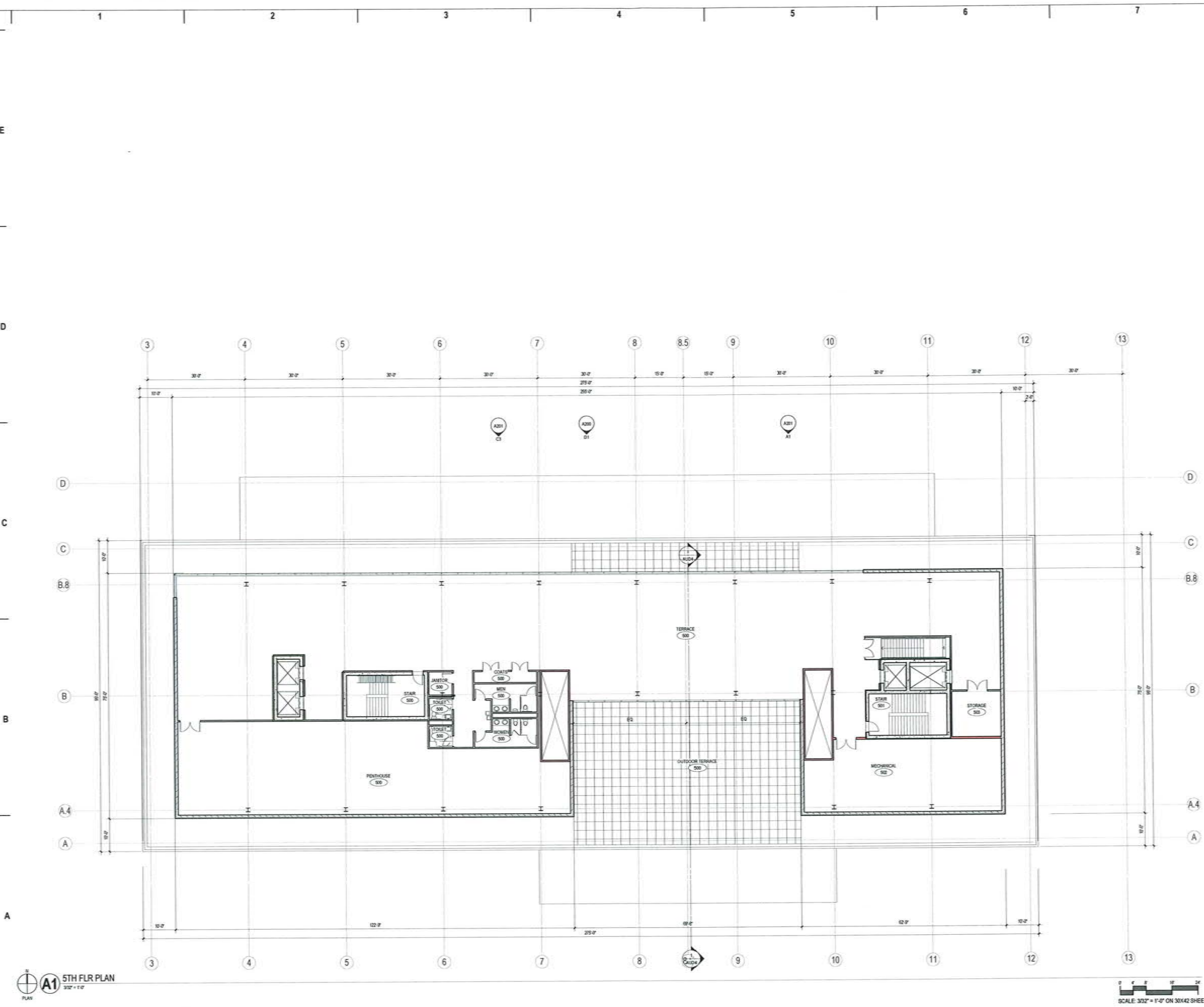
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PROJECT MANAGER PK  
PROJECT NUMBER 19451-200

**5TH FLR PLAN**  
**A105**

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**A1** 5TH FLR PLAN  
3/2" = 1'-0"

SCALE: 3/32" = 1'-0" ON 30X42 SHEET



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PROJECT INFORMATION

**CMFG**  
**NEW 5810 BUILDING**

**D 5810 MINERAL  
POINT ROAD  
MADISON, WI**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/29/19	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

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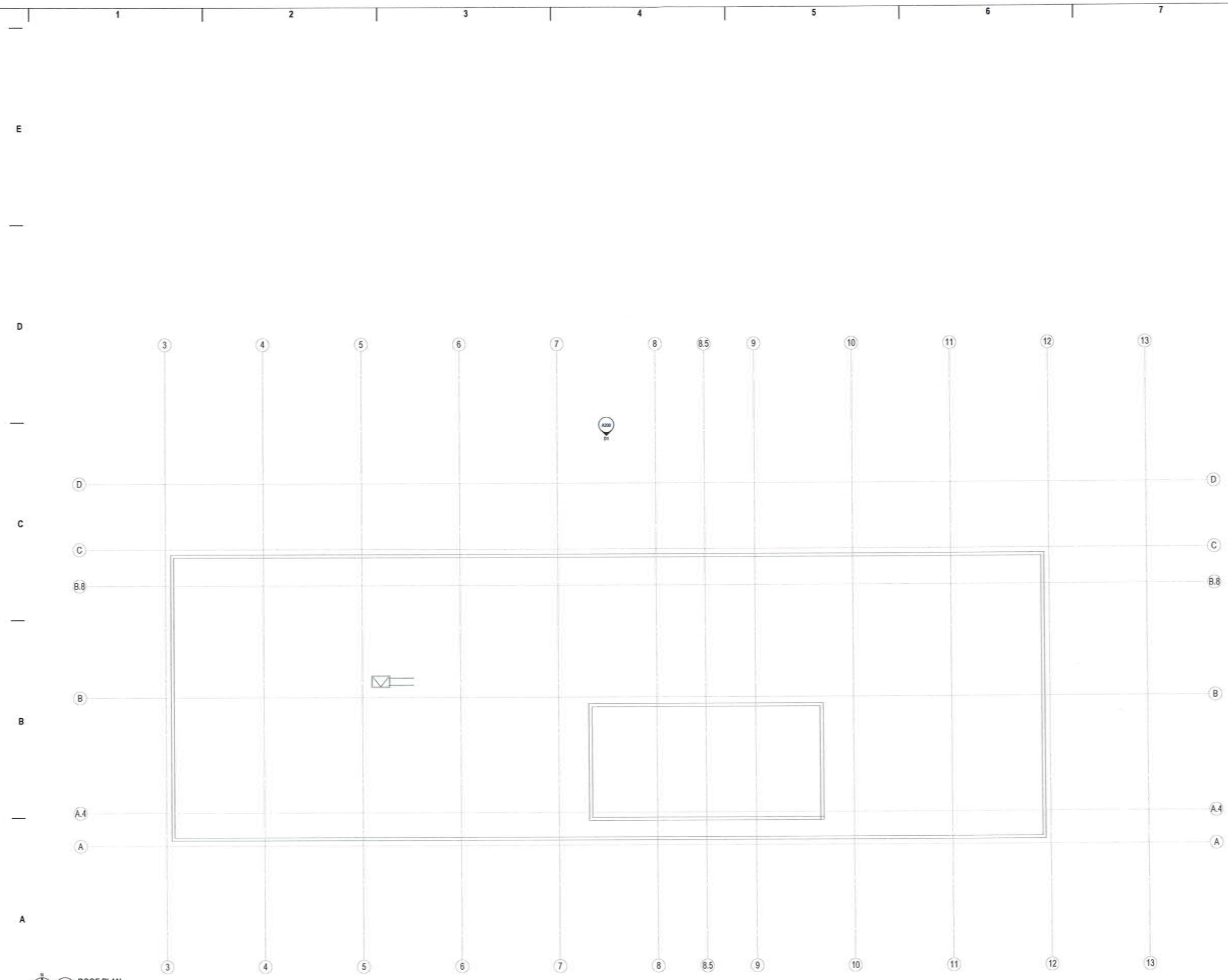
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PROJECT NUMBER 18451-200

ROOF PLAN

**A106**

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ROOF PLAN  
3/32" = 1'-0"

SCALE: 3/32" = 1'-0" ON 30X42 SHEET



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PROJECT INFORMATION

**CMFG  
 NEW 5810 BUILDING**

D 5810 MINERAL  
 POINT ROAD  
 MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/26/15	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

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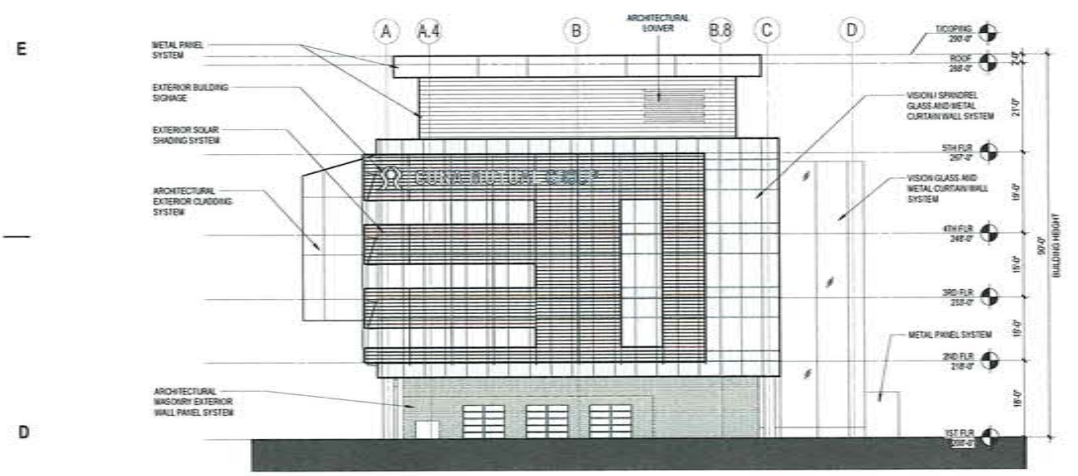
PROJECT MANAGER PK

A PROJECT NUMBER 18451-200

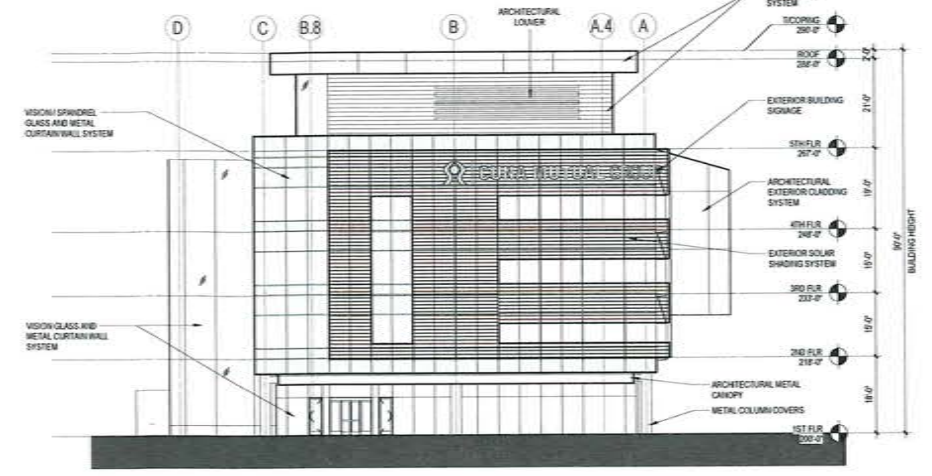
**EXTERIOR  
 ELEVATIONS -  
 OVERALL**

**A200**

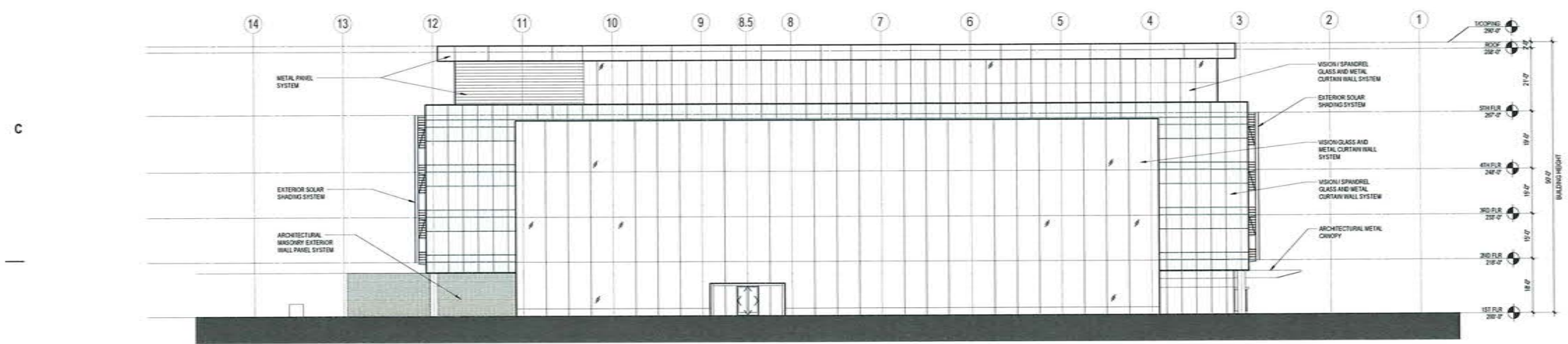
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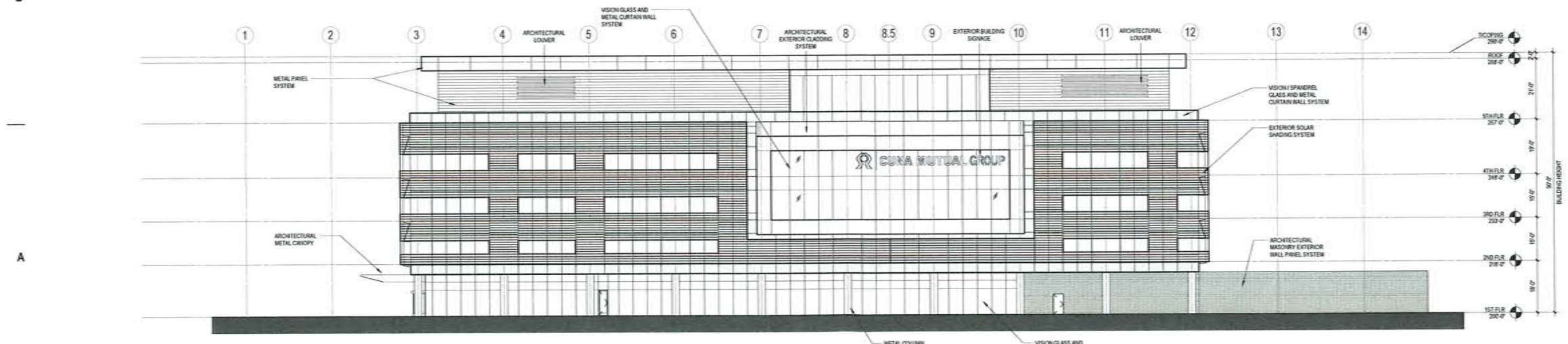
**B1 EAST ELEVATION - OVERALL**  
 1/8" = 1'-0"



**B5 WEST ELEVATION - OVERALL**  
 1/8" = 1'-0"



**D1 NORTH ELEVATION - OVERALL**  
 1/8" = 1'-0"



**A1 SOUTH ELEVATION - OVERALL**  
 1/8" = 1'-0"



**AERIAL VIEW FROM SOUTHEAST, OVER MINERAL POINT ROAD**



**SOUTHEAST VIEW FROM MINERAL POINT ROAD**



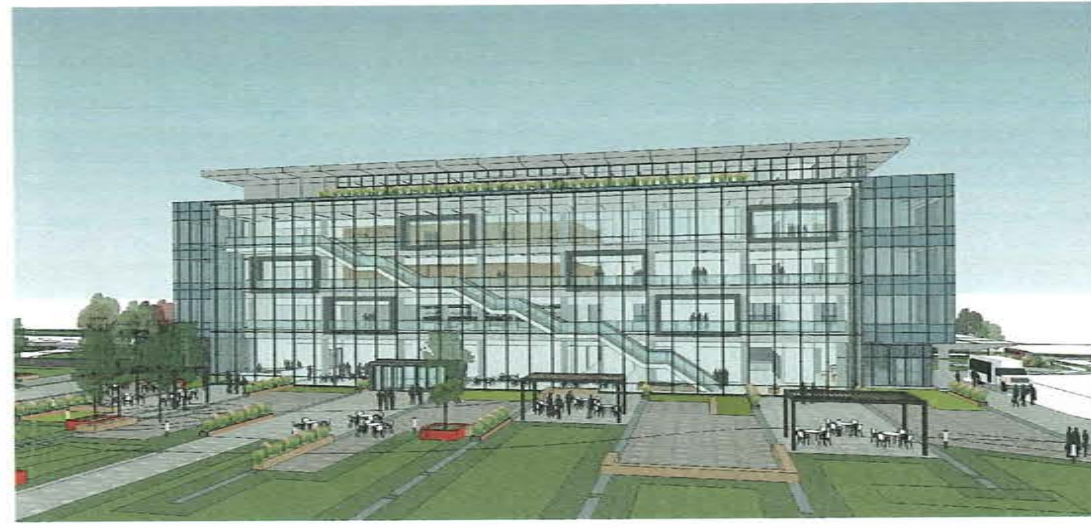
**AERIAL VIEW FROM SOUTHWEST, OVER MINERAL POINT ROAD**



**SOUTHWEST VIEW FROM MINERAL POINT ROAD AT BUILDING ENTRY**



**VIEW OF NEW 5810 ENTRY FROM 5910 BUILDING**



**VIEW OF ATRIUM FROM CENTER OF SITE**



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 Des Moines, Iowa 50309  
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 denver 1889 High-Low Street, Suite 300  
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**PROJECT INFORMATION**  
 CMFG  
 NEW 5810 BUILDING

**D 5810 MINERAL  
 POINT ROAD  
 MADISON, WI**

**ISSUANCE AND REVISIONS**

DATE	DESCRIPTION
11/05/19	LAND USE APPLICATION

**C**

**KEY PLAN**

**B**

**SHEET INFORMATION**  
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**A** PROJECT MANAGER PK  
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**3D VIEWS**

**A900**

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EXISTING VIEW FROM MINERAL POINT ROAD, SOUTH ELEVATION



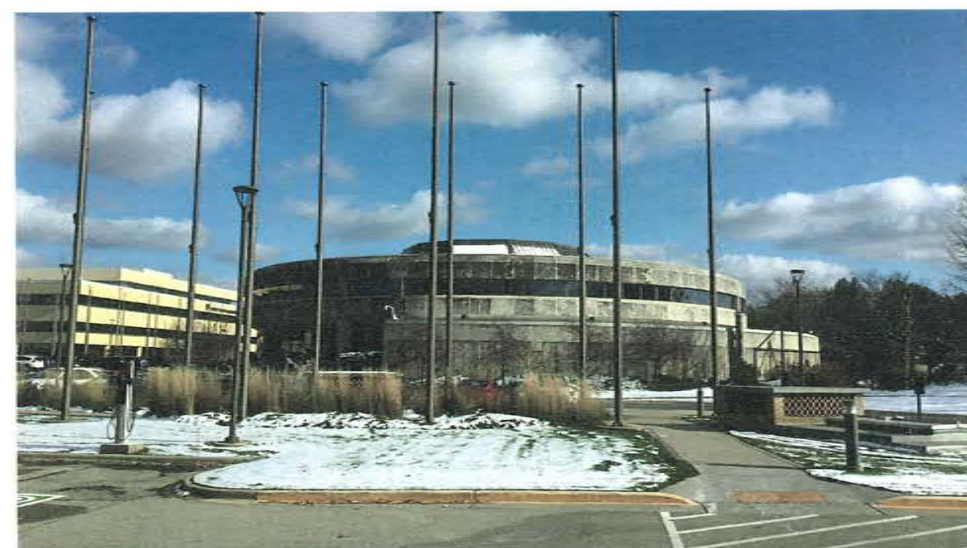
EXISTING VIEW FROM MINERAL POINT ROAD, SOUTH ELEVATION



EXISTING VIEW FROM DRIVEWAY OFF MINERAL POINT ROAD, EAST ELEVATION



EXISTING VIEW FROM PARKING LOT, NORTH ELEVATION



EXISTING VIEW FROM PARKING LOT, WEST ELEVATION



EXISTING VIEW FROM PARKING LOT, SOUTHWEST ELEVATION



milwaukee 333 East Chicago Street  
Waukesha, Wisconsin 53002  
414.271.5750

madison 300 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.442.5350

des moines 608 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.274.5040

denver 1639 Hightop Street, Suite 300  
Denver, Colorado 80202  
303.995.4500

PROJECT INFORMATION

CMFG  
NEW 5810 BUILDING

D 5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/20/19	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

These documents reflect progress and shall not be used for construction. They are not to be used for construction. They are not to be used for construction. They are not to be used for construction.

PROJECT MANAGER PK  
PROJECT NUMBER 19451-200

EXISTING 5810  
EXTERIOR PHOTOS

**A901**



EXISTING CONFERENCE ROOM SPACE



EXISTING SECOND FLOOR ATRIUM SPACE



EXISTING CORRIDOR VIEW



EXISTING RECEPTION DESK AND LOBBY VIEW



EXISTING EMPLOYEE CREDIT UNION



EXISTING CORRIDOR VIEW



milwaukee 330 East Chicago Street  
Waukesha, Wisconsin 53002  
414.271.5200  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53702  
408.442.5300  
des moines 499 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.284.5400  
denver 1099 W. Hampden Street, Suite 300  
Denver, Colorado 80202  
303.595.4300

PROJECT INFORMATION  
**CMFG  
 NEW 5810 BUILDING**

D 5810 MINERAL  
 POINT ROAD  
 MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
11/25/2015	LAID USE APPLICATION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
 NOT FOR CONSTRUCTION**  
 These documents reflect progress and intent and may  
 be subject to change, including additional work. These  
 are not final construction documents and shall not be  
 used for final building or construction-related purposes.

PROJECT MANAGER PK  
 PROJECT NUMBER 19451-200

EXISTING 5810  
 INTERIOR PHOTOS

**A902**





milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
414.271.5350

madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608.442.5350

des moines 699 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515.281.8640

denver 1800 W. Hampden Street, Suite 300  
Denver, Colorado 80202  
303.596.4500

PROJECT INFORMATION

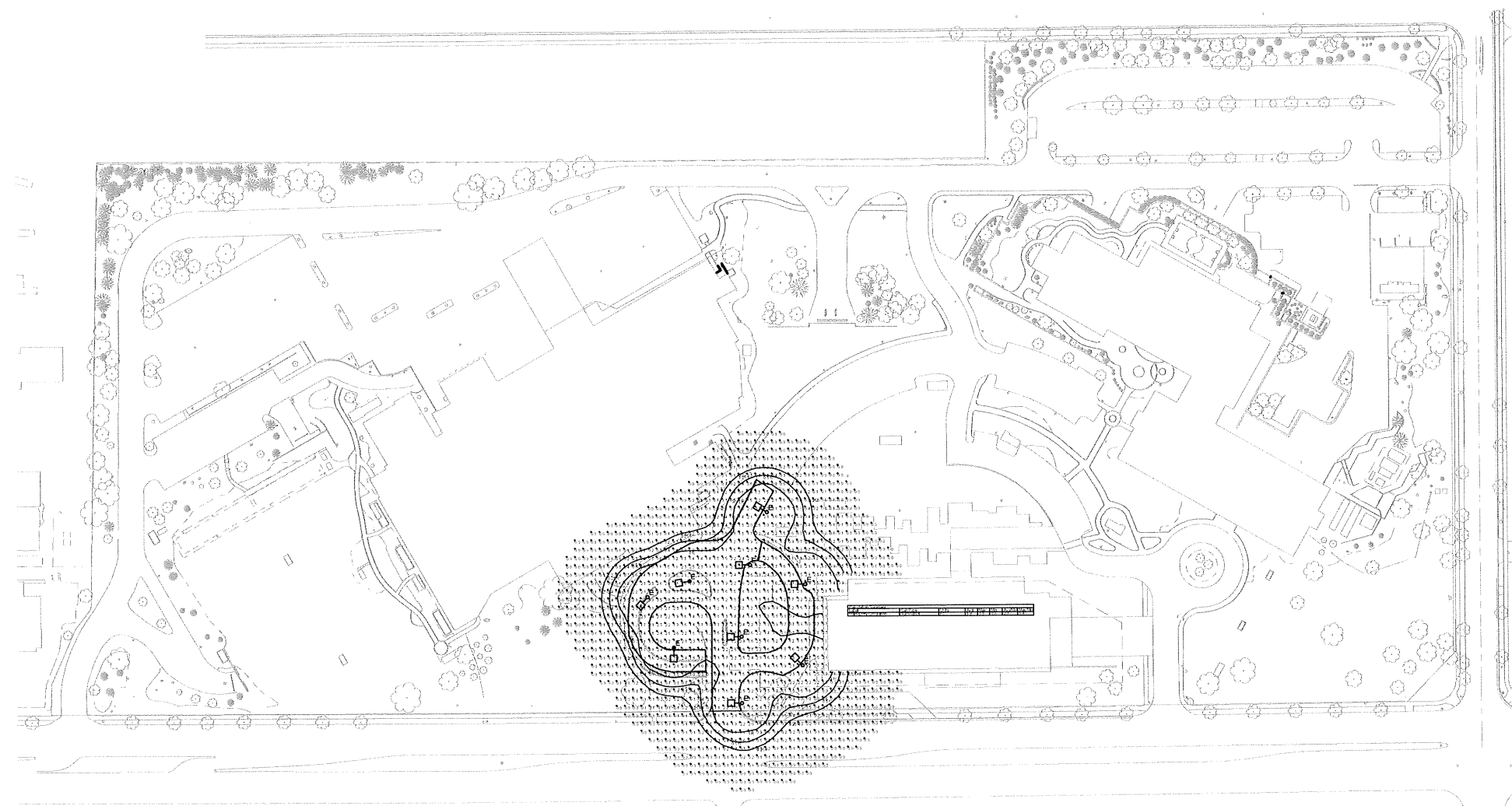
CMFG  
NEW 5810 BUILDING

D 5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
1/19/2019	LAND USE APPLICATION

KEY PLAN



NOTE: EXISTING EXTERIOR LIGHT FIXTURES LOCATED OUTSIDE OF THE PHOTOMETRIC ZONE SHOWN HERE TO REMAIN.

1 SITE PLAN  
SCALE: 1/8" = 1'-0"

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

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PROJECT MANAGER SE  
PROJECT NUMBER 19754-00

ELECTRICAL -  
SITE LIGHTING  
CALCULATIONS

**E010**



milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
414 371 5339

madison 305 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
608 442 5333

des moines 698 Walnut Street, Suite 400  
Des Moines, Iowa 50309  
515 274 5340

davenport 1009 Working Street, Suite 300  
Des Moines, Iowa 50319  
319 595 4399

PROJECT INFORMATION

**CMFG  
NEW 5810 BUILDING**

D 5810 MINERAL  
POINT ROAD  
MADISON, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
1/25/2019	LAND USE APPLICATION

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

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PROJECT MANAGER SE

PROJECT NUMBER 19754-01

**ELECTRICAL -  
LUMINAIRE SCHEDULE  
AND CUT SHEETS**

**E011**

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**Cree Edge™ Series  
LED Area Luminaires - Round**

**Product Description**  
The Cree Edge™ Series is a slim, low-profile design. Its rugged cast aluminum housing minimizes heat and maximizes performance and life. Cree Edge™ Series is an integral, weatherproofed LED luminaire designed for long performance and long life. Applications include parking lots, campuses, sports lighting and general outdoor lighting applications.

**Performance Summary**  
Precision Non-Fluorinated Product Technology  
Meets ENA 22.5 A, 47.5 and 95 watt per foot  
CFL, 4.25W/ft, 5.75W/ft, 7.25W/ft, 8.75W/ft  
Cree Edge™ Series is available in 10' and 15' pole heights. Cree Edge™ Series is available in 10' and 15' pole heights.

**Accessories**  
Photometric  
Photometric  
Photometric

**Ordering Information**  
Cree Edge™ Series is available in 10' and 15' pole heights. Cree Edge™ Series is available in 10' and 15' pole heights.

**LED Count by Pole Height**

LED Count by Pole Height	Weight
10	25.2 lbs (11.4 kg)
15	37.5 lbs (17.0 kg)
20	49.8 lbs (22.6 kg)
25	62.1 lbs (28.2 kg)

**CREE**

**Cree Edge™ LED Area Luminaires - Round**

**Product Specifications**

**CONSTRUCTION & MATERIALS**

- Cast aluminum housing with black powder coat finish
- Luminaire is designed for use in wet and damp locations
- LED light source is protected by a clear, polycarbonate lens
- LED light source is protected by a clear, polycarbonate lens
- LED light source is protected by a clear, polycarbonate lens

**Electrical Data**

LED Count by Pole Height	Total Current (A)	Total Current (A)	Total Current (A)	Total Current (A)	Total Current (A)	Total Current (A)
10	1.00	1.00	1.00	1.00	1.00	1.00
15	1.50	1.50	1.50	1.50	1.50	1.50
20	2.00	2.00	2.00	2.00	2.00	2.00
25	2.50	2.50	2.50	2.50	2.50	2.50

**CREE**

**Cree Edge™ LED Area Luminaires - Round**

**Photometry**  
All LED luminaires are photometrically tested per ANSI C80A-08. The photometric data is available on the Cree Edge™ Series website.

**Type V Medium Distribution**

LED Count by Pole Height	Weight
10	25.2 lbs (11.4 kg)
15	37.5 lbs (17.0 kg)
20	49.8 lbs (22.6 kg)
25	62.1 lbs (28.2 kg)

**CREE**

**Cree Edge™ LED Area Luminaires - Round**

**Luminaire Data**

LED Count by Pole Height	Weight
10	25.2 lbs (11.4 kg)
15	37.5 lbs (17.0 kg)
20	49.8 lbs (22.6 kg)
25	62.1 lbs (28.2 kg)

**CREE**

1 LUMINAIRE TYPE E  
SCALE: NOT TO SCALE

**LIGHTING FIXTURE SCHEDULE**

TYPE	MANUFACTURER	CATALOG NUMBER	LAMPS NO. & TYPE	BALLAST/ POWER SUPPLY	MOUNTING	MOUNTING HEIGHT	VOLTAGE	REMARKS	LLF	COLOR	CUT-OFF	CONTROL	HOURS OF OPERATION	Total Watts
E	CREE	ARE-EDR-6M-R5-10-UL-LL-350-DM	12,000 LUMENS NOMINAL	0-10V DIMMING DRIVER	POST TOP	18'	UNV	ONE 110V POLE MOUNTED LUMINAIRE WITH TYPE V DISTRIBUTION. FINISH TO BE DETERMINED BY ARCHITECT. MOUNTED ON 18' TALL 5" HIGH ROUND STEEL POLE. POLE MOUNTED OCCUPANCY SENSOR TO DIM LIGHTS WHEN AREA IS UNOCCUPIED. *IN AREAS WITH RAISED POLE BASE POLE HEIGHT SHALL BE REDUCED SO THAT OVERALL HEIGHT INCLUDING BASE DOES NOT EXCEED 20'.	1.00	BZ	TYPE V BUG-RATING B1-UG-G2	RELAY CTRL PHOTOCELL ON/OFF	DUSK TO DAWN	110

2 LUMINAIRE SCHEDULE  
SCALE: NOT TO SCALE