



# URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:  
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: _____	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>10-15-14</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 5517 FEMRITE DR. 16 ALD. DIST.  
Project Title (if any): \_\_\_\_\_

2. This is an application for (Check all that apply to this UDC application):

New Development  Alteration to an Existing or Previously-Approved Development

**A. Project Type:**

- Project in an Urban Design District\* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

**B. Signage:**

- Comprehensive Design Review\* (public hearing-\$300 fee)  Street Graphics Variance\* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

**C. Other:**

Please specify: \_\_\_\_\_

**3. Applicant, Agent & Property Owner Information:**

Applicant Name: ATTN: DAVID H. MEIER Company: 5513 FEMRITE LLC  
 Street Address: 5501 FEMRITE DR. City/State: MADISON, WI Zip: 53718  
 Telephone: (608) 310-4867 Fax: ( ) Email: davidm.budgerbus@gmail.com

Project Contact Person: BRIAN J. BEAULIEU, P.E. Company: EDGE CONSULTING ENGINEERS, INC.  
 Street Address: 624 WATER ST. City/State: PEARL R. DV SAC Zip: 53578  
 Telephone: (608) 644-1449 Fax: ( ) Email: bbeaulieu@edgeconsult.com

Project Owner (if not applicant): —  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_

**4. Applicant Declarations:**

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with A. MARTIN on 8-26-14.  
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant 5513 FEMRITE LLC Relationship to Property CONTRACT PURCHASER

Authorized Signature By: [Signature] Date 8-27-14  
ATTORNEY AND AUTHORIZED AGENT

**CITY OF MADISON LAND USE APPLICATION - LETTER OF INTENT**

**Parking Lot at 5517 Femrite Drive**

Applicant: 5513 Femrite Drive LLC  
David H. Meyer, Registered Agent  
5501 Femrite Dr  
Madison, WI 53718  
davidm.badgerbus@gmail.com

Project Team: Brian J. Beaulieu, P.E.  
Edge Consulting Engineers, Inc.  
624 Water Street  
Prairie du Sac, WI 53578  
608-644-1449 x 309 (office)  
608-628-1377 (mobile)  
www.edgeconsult.com  
bbeaulieu@edgeconsult.com

Daniel A. O'Callaghan  
Michael Best & Friedrich LLP  
One South Pinckney Street, Suite 700  
Madison, WI 53703-4257  
608.283.0117 (direct)  
608.283.2275 (facsimile)  
daocallaghan@michaelbest.com

Existing Conditions: The site is zoned IL (Industrial Limited) and is currently occupied by a nonconforming single-family residence..

Proposed Use: The applicant proposes to demolish the existing nonconforming single-family residence and construct a 28-space parking lot, paved and landscaped per code.

Project Schedule: The project is scheduled to commence construction in October of 2014 and be completed in November of 2014, weather permitting.

Lot Coverage & Usable Open Space Calculations:

Total Pervious Area - 4,495 SF (30.6%)  
Total Impervious Area - 10,175 SF (69.4%)  
Additional Impervious Area - 6,705 SF  
Existing Impervious Area - 3,470 SF  
Total Disturbed Area - 12,500 SF  
Total Property Area - 0.337 Acres - 14,670 SF

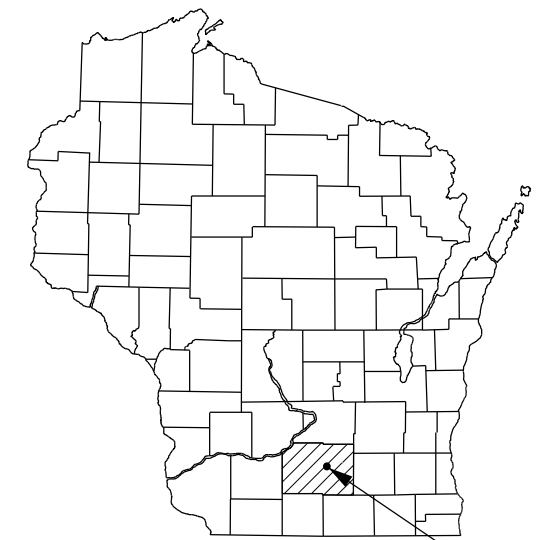
# 5517 FEMRITE DRIVE PARKING LOT BADGER BUS TRANSPORTATION GROUP CITY OF MADISON, DANE COUNTY

## PRELIMINARY DRAWINGS SEPTEMBER 2014

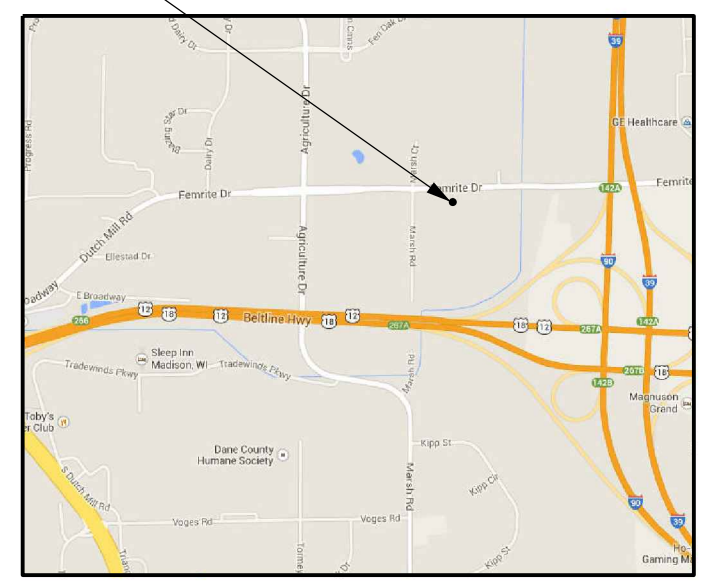
MARK	DATE	DESCRIPTION
1	08/27/2014	APPLICATION REVIEW DRAWINGS
2	09/11/2014	PRELIMINARY REVIEW DRAWINGS
3	09/24/2014	REVISED PRELIM DRAWINGS

<b>ISSUE DATE:</b> 09/11/2014
<b>SET TYPE:</b> PR
<b>GRAPHIC SCALE:</b> 2,000' / In.
<b>DRAWN BY:</b> BJB
<b>CHECKED BY:</b> AJO
<b>PLOT DATE:</b> 9/24/2014
<b>PROJECT NUMBER:</b> 11160
<b>FILE NAME:</b> G001.dgn

**SHEET IDENTIFICATION:**  
**G001**



**SITE LOCATION**



**SITE LOCATION MAP**  
SCALE: NTS

**PROJECT DIRECTORY:**

**ENGINEER:**  
EDGE CONSULTING ENGINEERS, INC.  
624 WATER STREET  
PRAIRIE DU SAC, WI 53578  
CONTACT: BRIAN BEAULIEU  
PHONE: (608) 644-1449

**OWNER:**  
BADGER BUS TRANSPORTATION GROUP  
5501 FEMRITE DRIVE  
MADISON, WI 53718  
CONTACT: DAVID MEIER  
PHONE: (608) 255-1511

**PROJECT INFO:**

**SITE LOCATION:**  
5517 FEMRITE DRIVE  
MADISON, WI 53718

**PLSS LOCATION:**  
SW 1/4 OF THE SW 1/4,  
SEC 23, T7N, R10E,  
CITY OF MADISON,  
DANE COUNTY,  
WISCONSIN

**ZONING:**  
EXISTING - IL (INDUSTRIAL LIMITED)  
PROPOSED - IL (INDUSTRIAL LIMITED)

**PARCEL NO:**  
071023300941

**PROJECT AREAS:**  
TOTAL PROPERTY AREA - 0.337 ACRES - 14,670 SF  
TOTAL DISTURBED AREA - 13,765 SF  
EXISTING IMPERVIOUS AREA - 3,470 SF  
ADDITIONAL IMPERVIOUS AREA - 6,235 SF  
TOTAL IMPERVIOUS AREA - 9,705 SF (66.2%)  
TOTAL PERVIOUS AREA - 4,965 SF (33.8%)

**SHEET INDEX:**

NO.:	PAGE TITLE
G001	COVER SHEET
C101	DEMOLITION PLAN
C102	SITE PLAN
C103	GRADING PLAN
C501	CONSTRUCTION DETAILS
C502	CONSTRUCTION DETAILS
L100	LANDSCAPING PLAN



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

FAX A LOCATE 1-800-338-3860  
TDD(FOR HEARING IMPAIRED) 1-800-542-2289

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE.

**ENGINEER SEAL:**

PRELIMINARY  
NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

SIGNATURE: \_\_\_\_\_

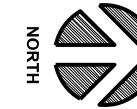
DATE: \_\_\_\_\_

**GENERAL DEMOLITION NOTES**

- IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THEN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING. EXCAVATION SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
- EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCREPANCIES REPORTED TO ENGINEER PRIOR TO STARTING OF WORK.
- ALL UTILITY SERVICES TO EXISTING BUILDINGS SCHEDULED FOR DEMOLITION SHALL BE REMOVED BY UTILITY PROVIDER OR CONTRACTOR WHERE ALLOWED. MAINTAIN ALL OTHER UTILITY SERVICES ADJACENT TO THIS PROJECT IN SERVICE THROUGHOUT PROJECT. RELOCATE EXISTING UTILITY SERVICES WHEN REQUIRED. CONTRACTOR TO COORDINATE CONSTRUCTION SEQUENCING WITH ALL AFFECTED UTILITIES. A LISTING OF KNOWN UTILITY PROVIDERS IS AS FOLLOWS:  
NATURAL GAS (MADISON GAS & ELECTRIC)  
ELECTRIC (MADISON GAS & ELECTRIC AND ATC)  
WATER / SEWER (CITY OF MADISON)  
TELECOMMUNICATIONS (AT&T)  
CABLE TV (CHARTER COMMUNICATIONS)
- REMOVE ALL TREES AND VEGETATION WITHIN DEMO LIMITS AS PART OF THIS PROJECT UNLESS OTHERWISE NOTED. TREES NOTED TO REMAIN SHALL BE PROTECTED THROUGHOUT THE PROJECT.
- STAGING AREAS SHALL BE LOCATED WITHIN THE PROPERTY, OR ON ADJACENT PROPERTY OWNED BY BADGER BUS WITH PRIOR KNOWLEDGE OF OWNER.
- BASEMENT FOUNDATIONS AND FLOORS SHALL BE REMOVED COMPLETELY.
- CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE, TO PROTECT THE PUBLIC AND ALLOW CONTINUED ACCESS TO NEIGHBORING BUILDINGS OUTSIDE OF THE PROJECT LIMITS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH NR447 FOR DUST CONTROL. DEMOLITION TO BE COMPLETED KEEPING BUILDING MATERIALS WET ALLOWING NO VISIBLE EMISSIONS.
- CONTRACTOR SHALL REMOVE, CONTAIN AND PROPERLY DISPOSE OF ALL HVAC SYSTEMS AND REFRIGERANTS FROM EXISTING A/C UNITS AND OTHER COOLING SYSTEMS.
- CONTRACTOR TO NOTIFY THE MADISON WATER UTILITY TO REMOVE WATER METERS PRIOR TO DEMOLITION. ALL REMOVED WATER SERVICES SHALL BE ABANDONED IN ACCORDANCE WITH CITY OF MADISON WATER UTILITY REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS TO PERMANLY PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVE THE BUILDING(S) BEING DEMOLISHED AT THE MAIN. FOR EACH LATERAL TO BE PERMANENTLY PLUGGED THE CONTRACTOR SHALL PAY FOR THE APPROPRIATE DEPOSITS AND FEES IN ACCORDANCE WITH CITY REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE A REUSE/RECYCLING PLAN, TO BE REVIEWED AND APPROVED BY THE CITY'S RECYCLING COORDINATOR, MR. GEORGE DRECKMANN, PRIOR TO DEMOLITION.
- CONTRACTOR SHALL SUBMIT DOCUMENTATION DEMONSTRATING COMPLIANCE WITH THE APPROVED REUSE AND RECYCLING PLAN WITHIN 30 DAYS OF COMPLETION OF DEMOLITION.
- CONTRACTOR SHALL NOTIFY THE OWNER IF ANY WELLS ARE ENCOUNTERED DURING DEMOLITION.
- ALL BENCHMARKS AND CONTROL POINTS SHALL BE PROTECTED AND THE CONTRACTOR SHALL BE REQUIRED TO PAY FOR REPLACEMENT OF ANY THAT ARE DISTURBED DURING CONSTRUCTION.

**LEAD AND ASBESTOS NOTE:**

THE PRESENCE OF LEAD PAINT AND ASBESTOS HAS NOT BEEN DETERMINED. CONTRACTOR SHALL VERIFY THAT ALL HAZARDOUS MATERIALS ARE PROPERLY REMOVED FROM THE BUILDINGS PRIOR TO DEMOLITION. CONTRACTOR SHALL PROVIDE HAZARDOUS WASTE TESTING, REMOVAL, HAULING, AND DISPOSAL DETAILS PRIOR TO THE WORK TAKING PLACE.



**Edge Consulting Engineers, Inc.**  
624 Water Street  
Prairie du Sac, WI 53578  
608.644.1449 voice  
608.644.1549 fax  
www.edgeconsult.com

**5517 FEMRITE DRIVE PARKING LOT**  
BADGER BUS TRANSPORTATION GROUP  
CITY OF MADISON, DANE COUNTY

**DEMOLITION PLAN**

**REVISIONS:**

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ISSUE DATE:  
09/11/2014

SET TYPE:  
PR

GRAPHIC SCALE:  
20,000' / 1" = 20'

DRAWN BY:  
BJB

CHECKED BY:  
AJO

PLOT DATE:  
9/24/2014

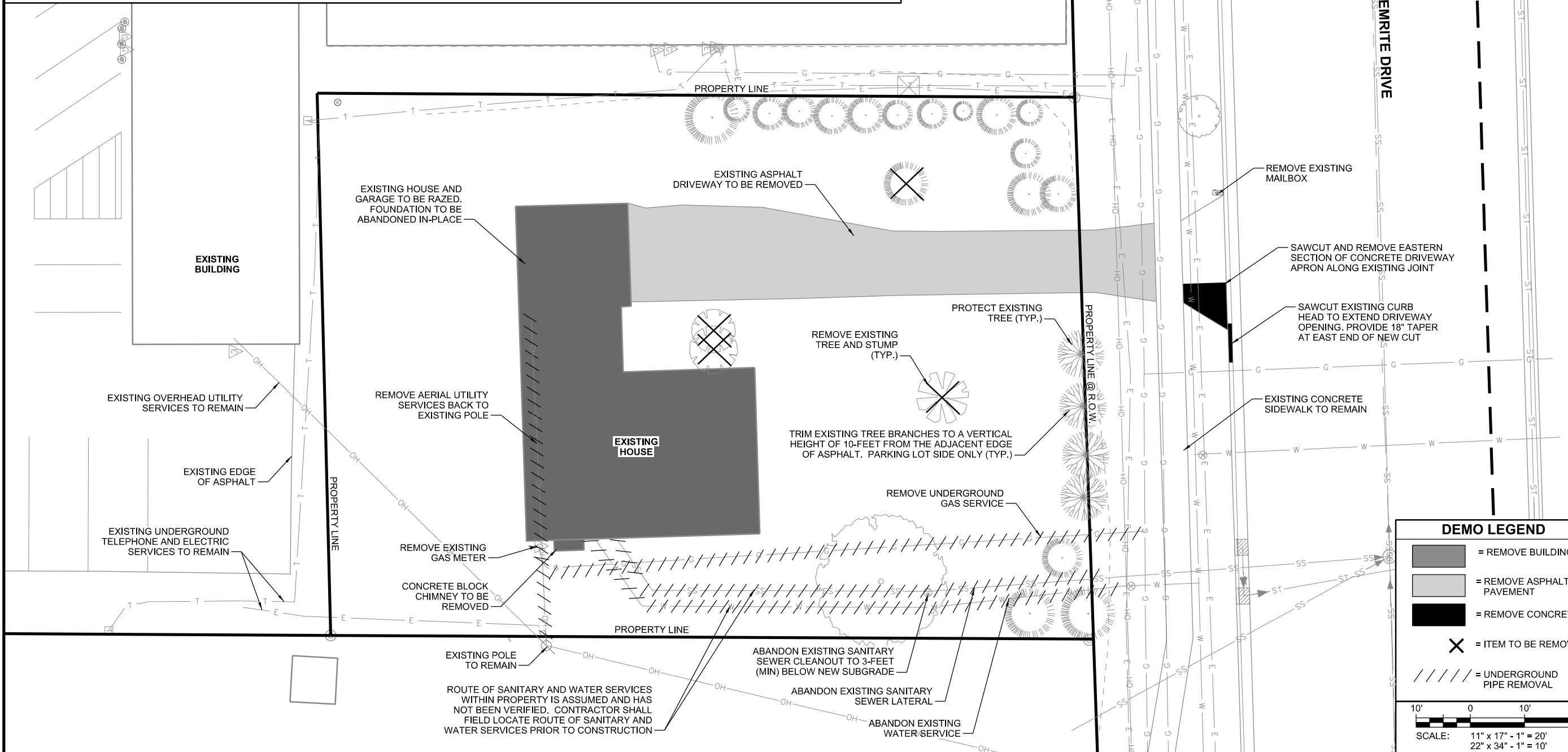
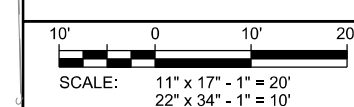
PROJECT NUMBER:  
11160

FILE NAME:  
C101.dgn

SHEET IDENTIFICATION:  
**C101**

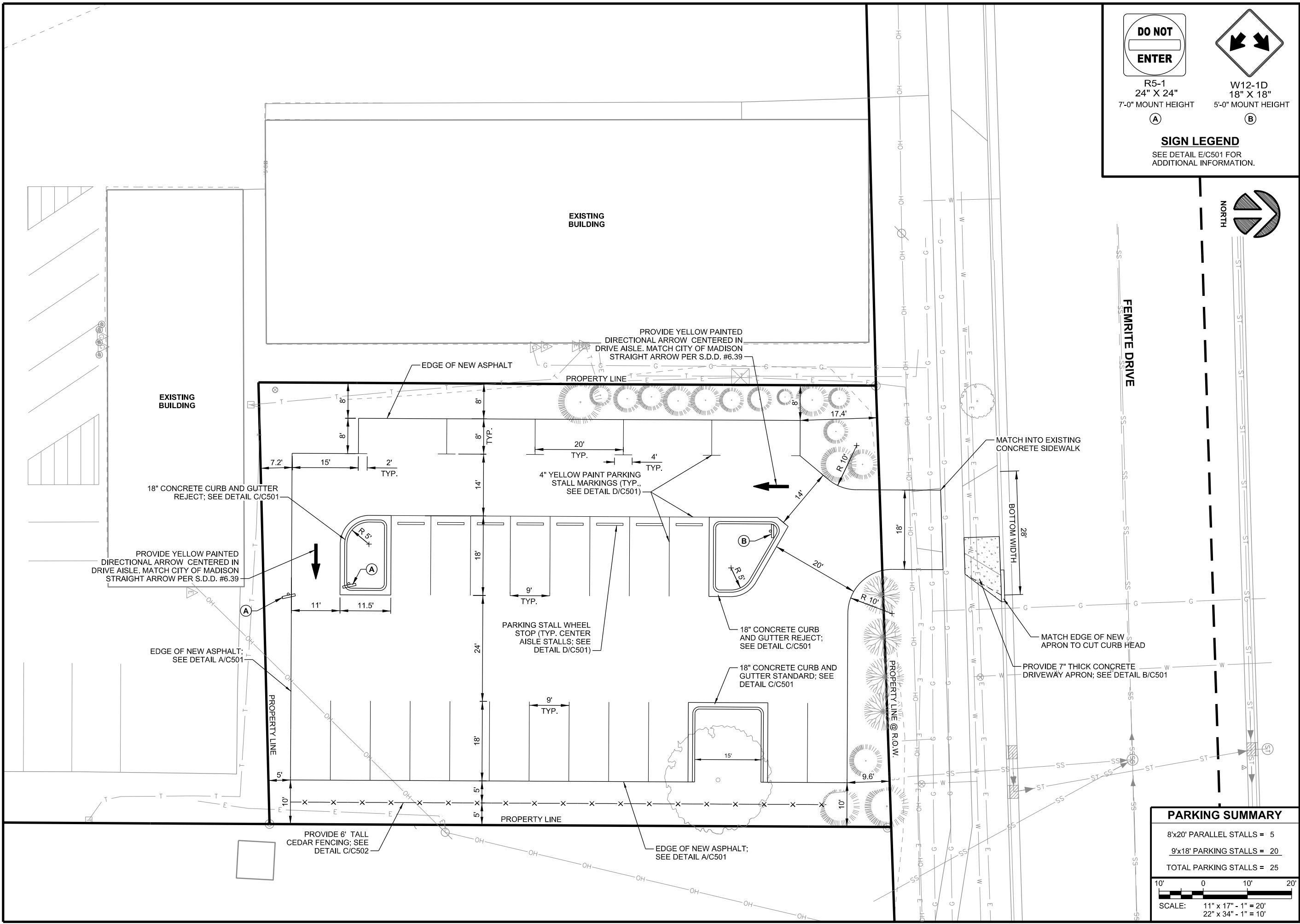
**DEMO LEGEND**

- = REMOVE BUILDING
- = REMOVE ASPHALT PAVEMENT
- = REMOVE CONCRETE
- = ITEM TO BE REMOVED
- = UNDERGROUND PIPE REMOVAL

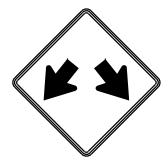


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R:\1100\1160\CAD\Plan\C102.dgn



R5-1  
24" X 24"  
7'-0" MOUNT HEIGHT  
A



W12-1D  
18" X 18"  
5'-0" MOUNT HEIGHT  
B

**SIGN LEGEND**

SEE DETAIL E/C501 FOR ADDITIONAL INFORMATION.



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**5517 FEMRITE DRIVE PARKING LOT**  
BADGER BUS TRANSPORTATION GROUP  
CITY OF MADISON, DANE COUNTY

**SITE PLAN**

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**SET TYPE:** PR

**GRAPHIC SCALE:** 20,000' / 1" = 20'

**DRAWN BY:** BJB

**CHECKED BY:** AJO

**PLOT DATE:** 9/24/2014

**PROJECT NUMBER:** 11160

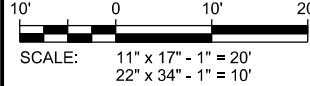
**FILE NAME:** C102.dgn

**PARKING SUMMARY**

8'x20' PARALLEL STALLS = 5

9'x18' PARKING STALLS = 20

TOTAL PARKING STALLS = 25



**SHEET IDENTIFICATION:**  
**C102**

**EROSION CONTROL GENERAL NOTES**

1. ALL CONTRACTORS SHALL COMPLY WITH APPROVED PERMIT REQUIREMENTS FROM THE CITY OF MADISON.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.
3. THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES ON A WEEKLY BASIS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT 0.5 INCHES OR GREATER WHICH RESULTS IN RUNOFF.
4. THE EROSION CONTROL ITEMS SHOWN ARE THE MINIMUM REQUIRED. ACTUAL LOCATIONS AND TYPE SHALL BE ADJUSTED IN THE FIELD BY CONTRACTOR WHILE MAINTAINING PERMIT COMPLIANCE.
5. WDOT TYPE D INLET PROTECTION SHALL BE INSTALLED AT ALL ON-SITE INLETS AND IMMEDIATE DOWN STREAM STORM INLETS WITHIN ADJACENT PUBLIC ROADWAYS. DEVICES TO BE INSTALLED IMMEDIATELY AFTER INLET INSTALLATION, MAINTAINED BY THE CONTRACTOR AND KEPT IN PLACE UNTIL FINAL SITE PAVING AND/OR STABILIZATION.
6. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT. SEDIMENT TO BE REMOVED FROM BEHIND SILT FENCE WHEN DEPOSITS REACH HALF HEIGHT OF BARRIERS TYP. FABRIC TO BE INSTALLED 4 INCHES (MIN) BELOW GRADE. ALL FINISH GRADED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINISH GRADING IS COMPLETE ON ANY AREA.
7. WDOT CLASS 1 TYPE B EROSION MAT SHALL BE PLACED ON ALL TURF SLOPES GREATER THAN 10:1 (H:V) AND DITCH BOTTOMS.
8. SEEDED GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND EROSION MAT. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.
9. SOIL STOCKPILES EXISTING FOR MORE THAN 7 DAYS SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER APPROVED MEANS.

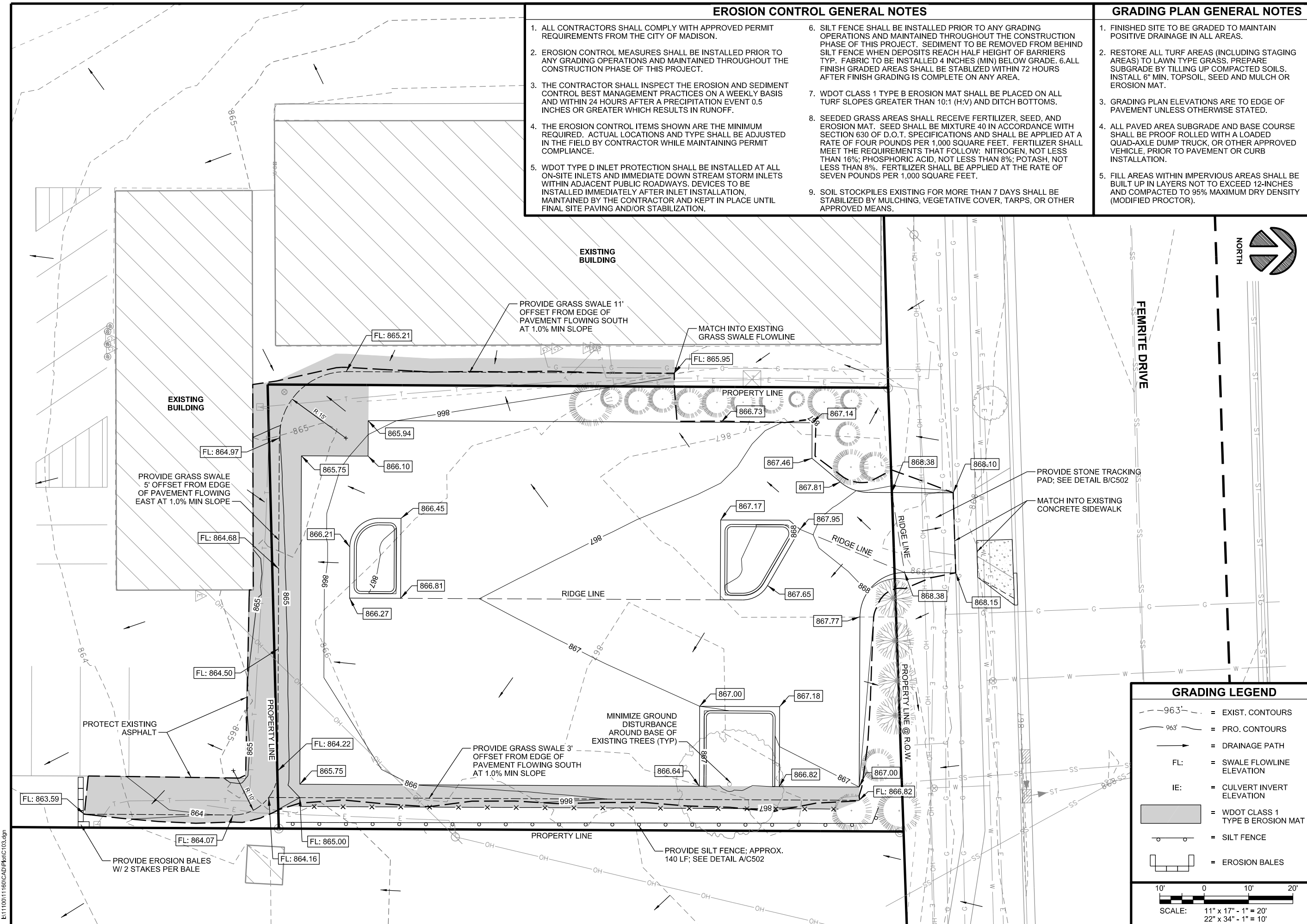
**GRADING PLAN GENERAL NOTES**

1. FINISHED SITE TO BE GRADED TO MAINTAIN POSITIVE DRAINAGE IN ALL AREAS.
2. RESTORE ALL TURF AREAS (INCLUDING STAGING AREAS) TO LAWN TYPE GRASS. PREPARE SUBGRADE BY TILLING UP COMPACTED SOILS. INSTALL 6" MIN. TOPSOIL, SEED AND MULCH OR EROSION MAT.
3. GRADING PLAN ELEVATIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE STATED.
4. ALL PAVED AREA SUBGRADE AND BASE COURSE SHALL BE PROOF ROLLED WITH A LOADED QUAD-AXLE DUMP TRUCK, OR OTHER APPROVED VEHICLE, PRIOR TO PAVEMENT OR CURB INSTALLATION.
5. FILL AREAS WITHIN IMPERVIOUS AREAS SHALL BE BUILT UP IN LAYERS NOT TO EXCEED 12-INCHES AND COMPACTED TO 95% MAXIMUM DRY DENSITY (MODIFIED PROCTOR).

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**5517 FEMRITE DRIVE PARKING LOT**  
**BADGER BUS TRANSPORTATION GROUP**  
**CITY OF MADISON, DANE COUNTY**

**GRADING PLAN**



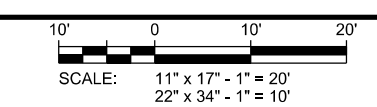
**REVISIONS:**

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**ISSUE DATE:** 09/11/2014  
**SET TYPE:** PR  
**GRAPHIC SCALE:** 20,000' / 1" = 20'  
**DRAWN BY:** BJB  
**CHECKED BY:** AJO  
**PLOT DATE:** 9/24/2014  
**PROJECT NUMBER:** 11160  
**FILE NAME:** C103.dgn

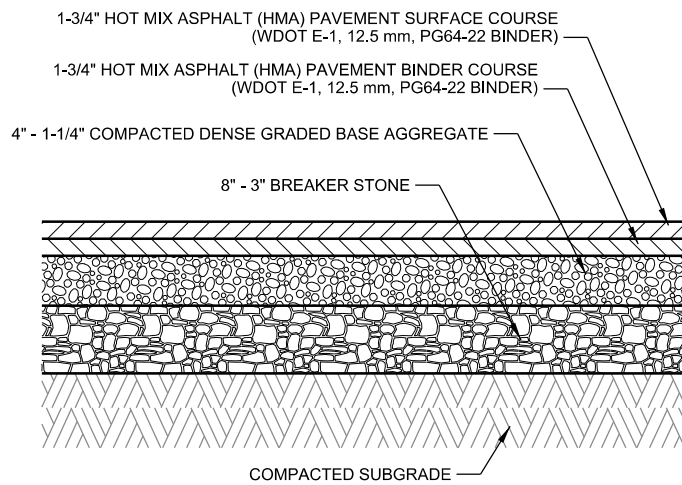
**GRADING LEGEND**

- - - 96.3' = EXIST. CONTOURS
- 96.3' = PRO. CONTOURS
- = DRAINAGE PATH
- FL: = SWALE FLOWLINE ELEVATION
- IE: = CULVERT INVERT ELEVATION
- [Hatched Box] = WDOT CLASS 1 TYPE B EROSION MAT
- = SILT FENCE
- [Rectangular Box] = EROSION BALES



**SHEET IDENTIFICATION:**  
**C103**

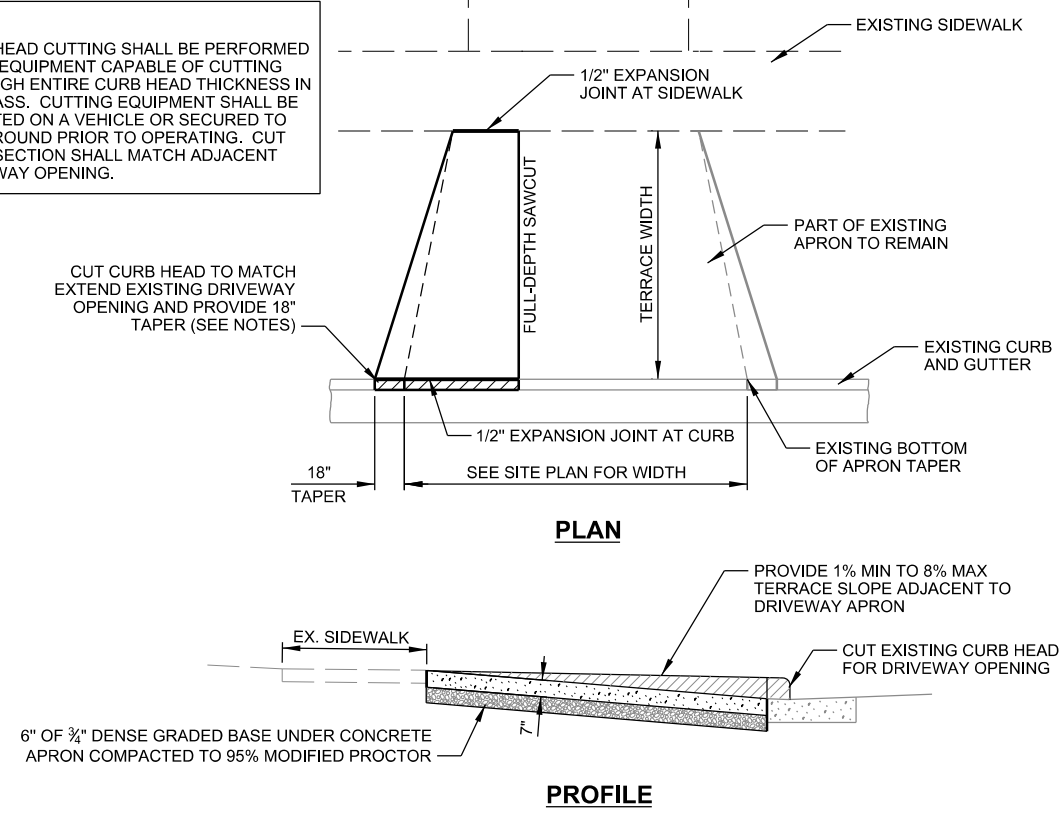
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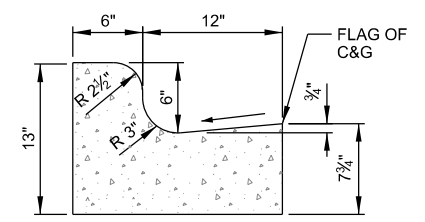
NOTES:  
1. APPLY TACK COAT BETWEEN LAYERS

**A ASPHALT PAVEMENT SECTION**  
SCALE: NTS

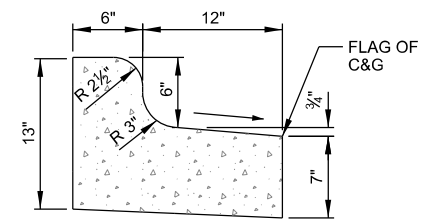
NOTES:  
1. CURB HEAD CUTTING SHALL BE PERFORMED USING EQUIPMENT CAPABLE OF CUTTING THROUGH ENTIRE CURB HEAD THICKNESS IN ONE PASS. CUTTING EQUIPMENT SHALL BE MOUNTED ON A VEHICLE OR SECURED TO THE GROUND PRIOR TO OPERATING. CUT CURB SECTION SHALL MATCH ADJACENT DRIVEWAY OPENING.



**B CONCRETE DRIVEWAY APRON DETAIL**  
SCALE: NTS



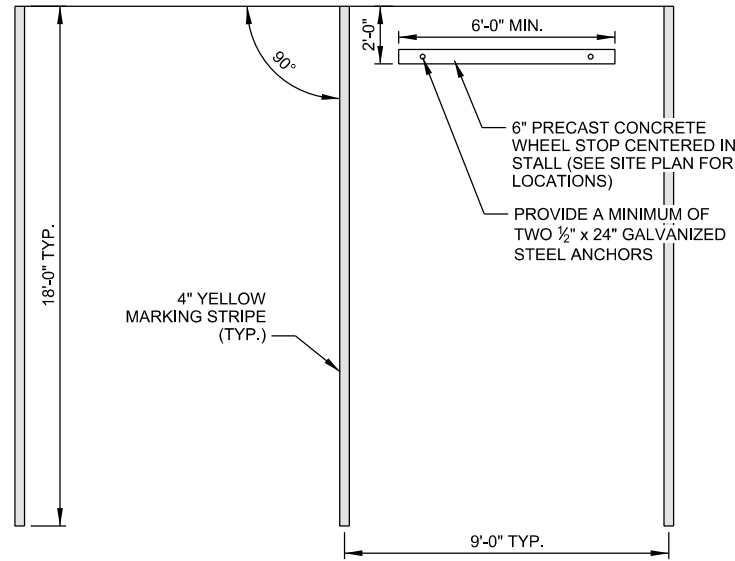
**STANDARD 18" CONCRETE CURB & GUTTER**



**REJECT 18" CONCRETE CURB & GUTTER**

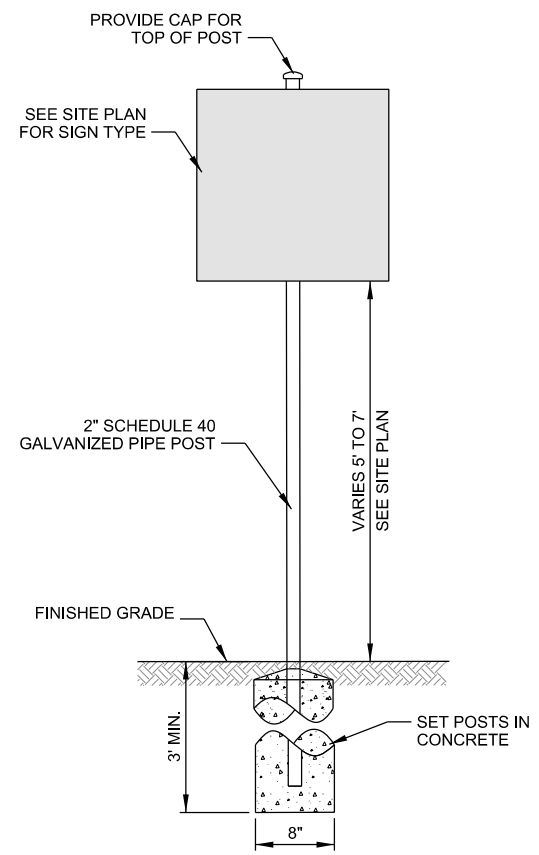
NOTES:  
1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.  
2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF 200' OF LESS, AND AT ANGLE POINTS, OR AS DIRECTLY BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.  
3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON 6" OF THOROUGHLY COMPACTED CRUSHED STONE.  
4. HAND TOOL ALL JOINTS.  
5. MEDIUM BROOM FINISH.  
6. SEE FINE SITE PLAN FOR LOCATION OF STANDARD VS. REJECT CURB

**C CONCRETE CURB & GUTTER DETAILS**  
SCALE: NTS



NOTES:  
1. PAINT TO BE TRAFFIC GRADE HIGH VISIBILITY (LATEX) PAINT.  
2. MARKINGS SHALL BE THICK ENOUGH TO NOT ALLOW PAVEMENT TO SHOW THROUGH PAINT SURFACE.  
3. TWO COATS MIN. REQUIRED.

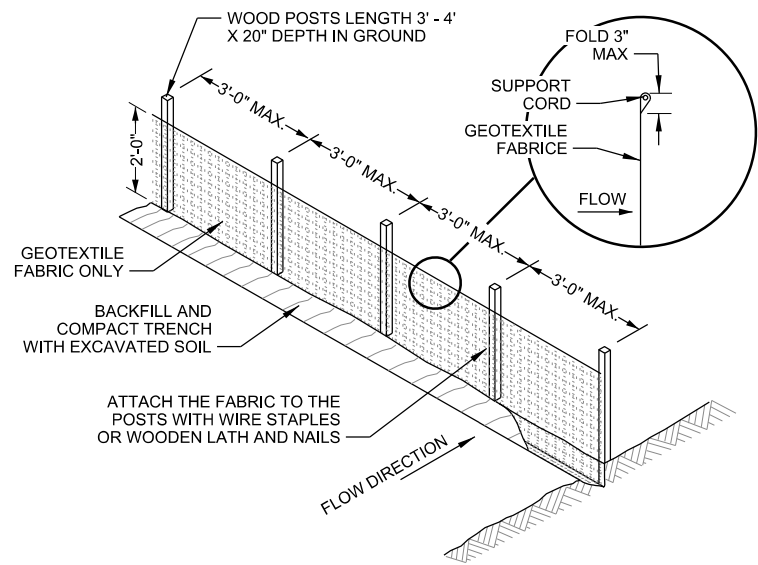
**D TYPICAL PARKING STALL DETAIL**  
SCALE: NTS



**E SIGN AND POST DETAIL**  
SCALE: NTS

REVISIONS:		DESCRIPTION:
MARK:	DATE:	DESCRIPTION:
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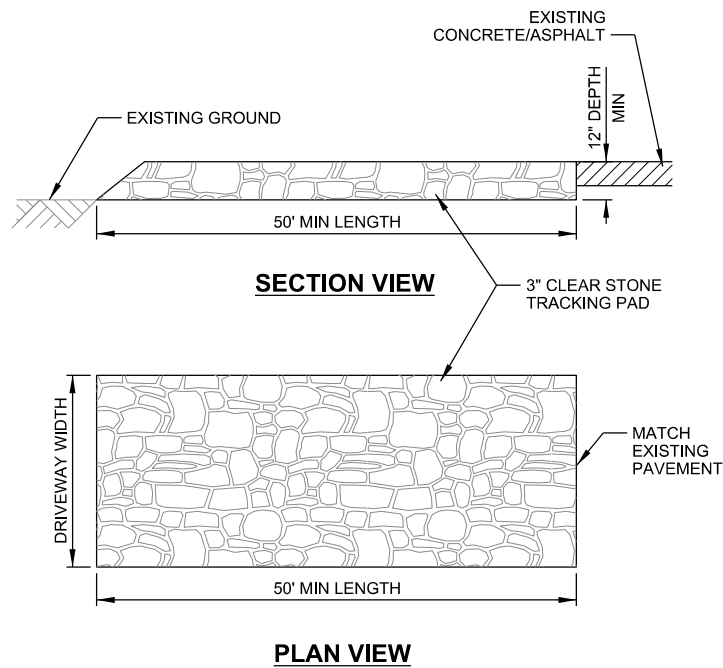
ISSUE DATE:	09/11/2014
SET TYPE:	PR
GRAPHIC SCALE:	2,000' / In.
DRAWN BY:	BJB
CHECKED BY:	AJO
PLOT DATE:	9/24/2014
PROJECT NUMBER:	11160
FILE NAME:	C501.dgn



**NOTES**

1. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
2. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF HICKORY OR OAK.
3. 8'-0" POST SPACING ALLOWED IF WOVEN GEOTEXTILE FABRIC IS USED.
4. ADDITIONAL POST DEPTH OR TIE BACKS MAYBE REQUIRED IN UNSTABLE SOILS.

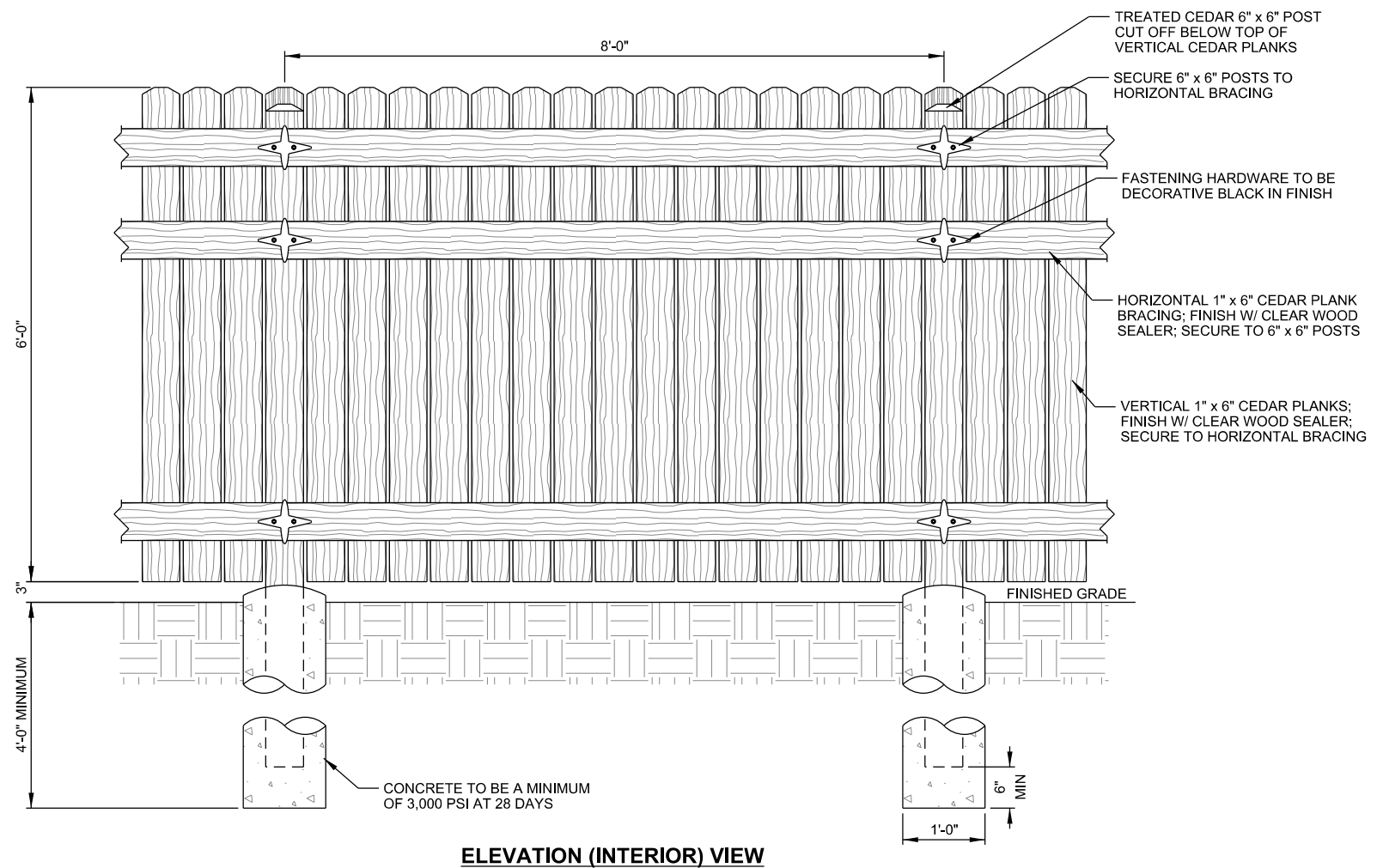
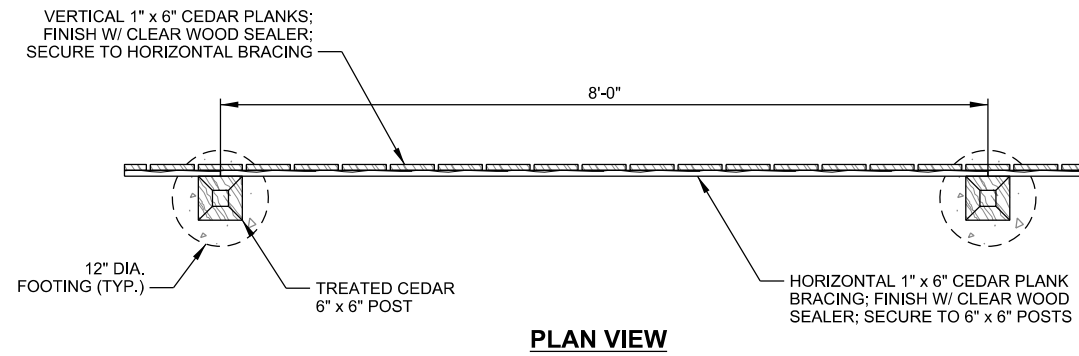
**A SILT FENCE DETAIL**  
SCALE: NTS



**NOTES**

1. TRACKING PAD WILL BE UNDERLAIN WITH A GEOTEXTILE FABRIC IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057

**B STONE TRACKING PAD**  
SCALE: NTS



**C CEDAR PRIVACY FENCE DETAIL**  
SCALE: NTS

MARK	DATE	DESCRIPTION
1	08/27/2014	APPROXIMATION REVIEW DRAWINGS
2	09/11/2014	PRELIMINARY REVIEW DRAWINGS
3	09/24/2014	REVISED PRELIM DRAWINGS

ISSUE DATE:	09/11/2014
SET TYPE:	PR
GRAPHIC SCALE:	2,000' / In.
DRAWN BY:	BJB
CHECKED BY:	AJO
PLOT DATE:	9/24/2014
PROJECT NUMBER:	11160
FILE NAME:	C502.dgn



**5517 FEMRITE DRIVE PARKING LOT**

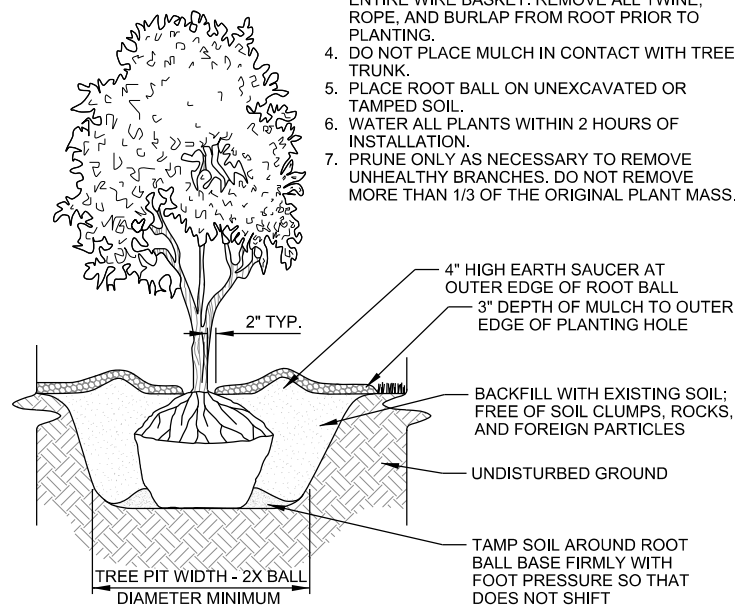
BADGER BUS TRANSPORTATION GROUP

**Proposed Plant List**

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
GS	2	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	50-60'	30-35'	2.5" BB	35	70
JS	6	Juniperus horizontalis 'Wisconsin'	Wisconsin Juniper	8"	5'	3 gal.	4	24
AC	33	Asarum canadense	Canada Wild Ginger	6-12"	18"	1 gal.	0	0
							<b>Total Points</b>	<b>94</b>

**NOTES:**

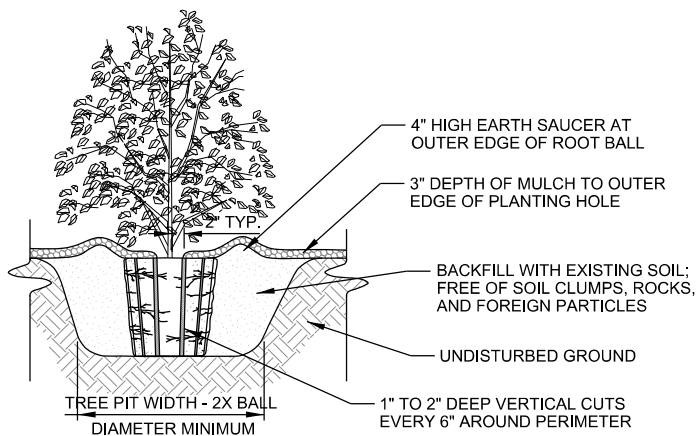
1. PLANT EACH TREE SUCH THAT THE BASE OF THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE ENTIRE WIRE BASKET. REMOVE ALL TWINE, ROPE, AND BURLAP FROM ROOT PRIOR TO PLANTING.
4. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



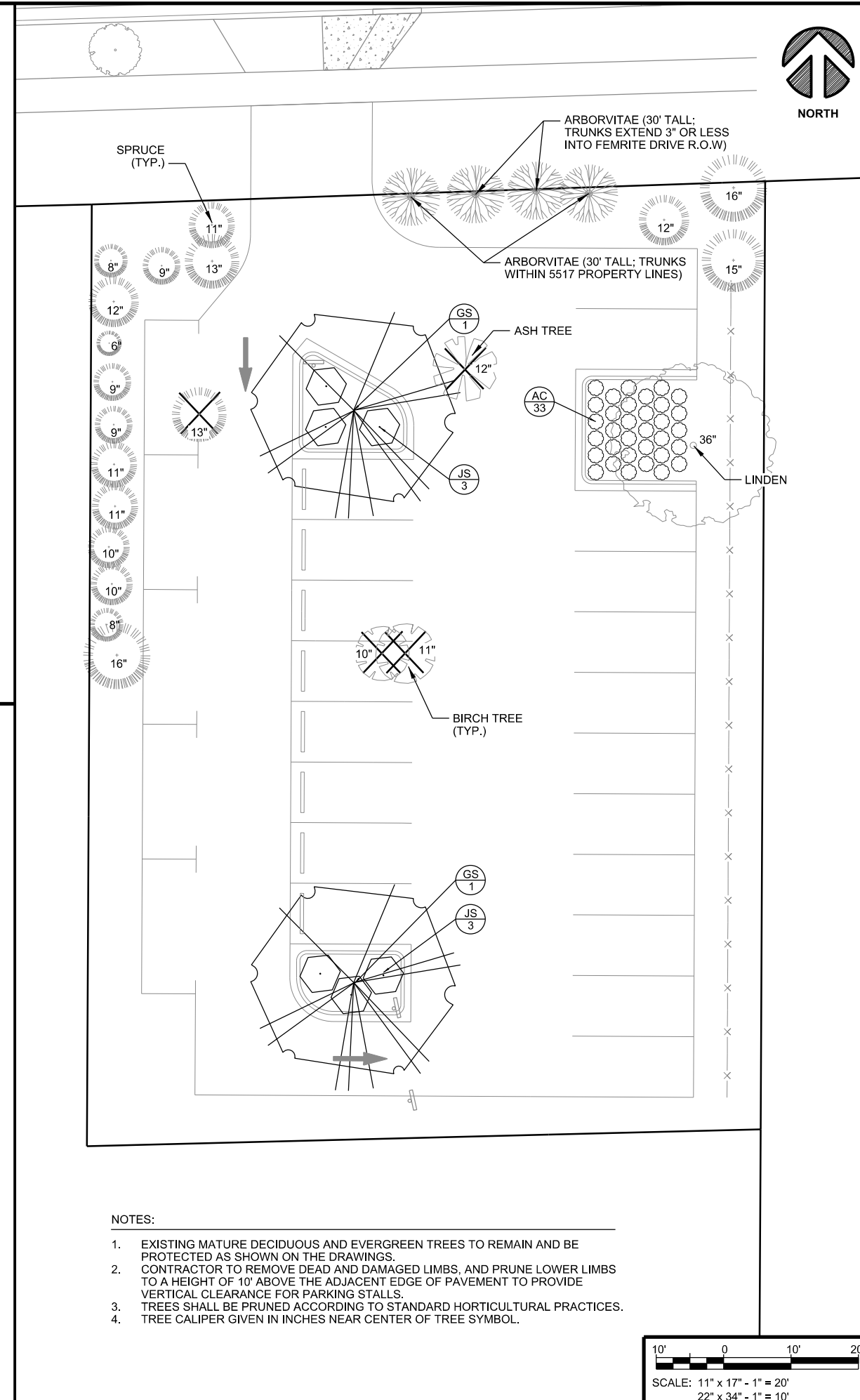
**A BALL & BURLAP TREE PLANTING DETAIL**  
SCALE: NTS

**NOTES:**

1. FOR 3 TO 10 GALLON CONTAINERS: MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING.
2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.

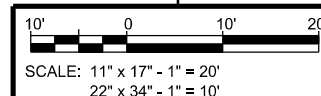


**B LARGE CONTAINER PLANTING DETAIL**  
SCALE: NTS



**NOTES:**

1. EXISTING MATURE DECIDUOUS AND EVERGREEN TREES TO REMAIN AND BE PROTECTED AS SHOWN ON THE DRAWINGS.
2. CONTRACTOR TO REMOVE DEAD AND DAMAGED LIMBS, AND PRUNE LOWER LIMBS TO A HEIGHT OF 10' ABOVE THE ADJACENT EDGE OF PAVEMENT TO PROVIDE VERTICAL CLEARANCE FOR PARKING STALLS.
3. TREES SHALL BE PRUNED ACCORDING TO STANDARD HORTICULTURAL PRACTICES.
4. TREE CALIPER GIVEN IN INCHES NEAR CENTER OF TREE SYMBOL.



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**5517 FEMRITE DRIVE PARKING LOT**  
BADGER BUS TRANSPORTATION GROUP  
CITY OF MADISON, DANE COUNTY

**LANDSCAPE PLAN**

**REVISIONS:**

MARK	DATE	DESCRIPTION
1	08/27/2014	APPLICATION REVIEW DRAWINGS
2	09/11/2014	PRELIMINARY REVIEW DRAWINGS
3	09/24/2014	REVISED PRELIM DRAWINGS

**ISSUE DATE:** 09/11/2014

**SET TYPE:** PR

**GRAPHIC SCALE:** 20,000' / 1in.

**DRAWN BY:** BJB

**CHECKED BY:** AJO

**PLOT DATE:** 9/24/2014

**PROJECT NUMBER:** 11160

**FILE NAME:** L100.dgn

**SHEET IDENTIFICATION:**  
**L100**