



Madison Landmarks Commission APPLICATION

1. LOCATION

Project Address: 210 Princeton Ave Aldermanic District: 5

2. PROJECT

Date Submitted: 8/31/2015

Project Title / Description: Construct new screen porch

This is an application for: *(check all that apply)*

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District *(specify):*
 - Mansion Hill Third Lake Ridge First Settlement
 - University Heights Marquette Bungalows
- New Construction in a Local Historic District *(specify):*
 - Mansion Hill Third Lake Ridge First Settlement
 - University Heights Marquette Bungalows
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other *(specify):* _____

3. APPLICANT

Applicant's Name: Eric Donovan Company: TDS Custom Construction
 Address: 1431 Northern Ct City/State: Madison, WI Zip: 53703
 Telephone: 608-251-1814 ext 25 E-mail: ericd@tdscustomconstruction.com
 Property Owner *(if not applicant):* Lee and Cyrena Pondrom
 Address: 210 Princeton Ave City/State: Madison, WI Zip: 53726

Property Owner's Signature: _____ Date: _____

GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: *(Note the filing deadline is 4:30 PM on the filing day)*

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
 - Site plan showing all property lines and structures
 - Building elevations, plans and other drawings as needed to illustrate the project
 - Photos of existing house/building
 - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

Questions? Please contact the Historic Preservation Planner:
 Amy Scanlon
 Phone: 608.266.6552
 Email: ascanlon@cityofmadison.com

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

8/31/2015

Madison Landmarks Commission,

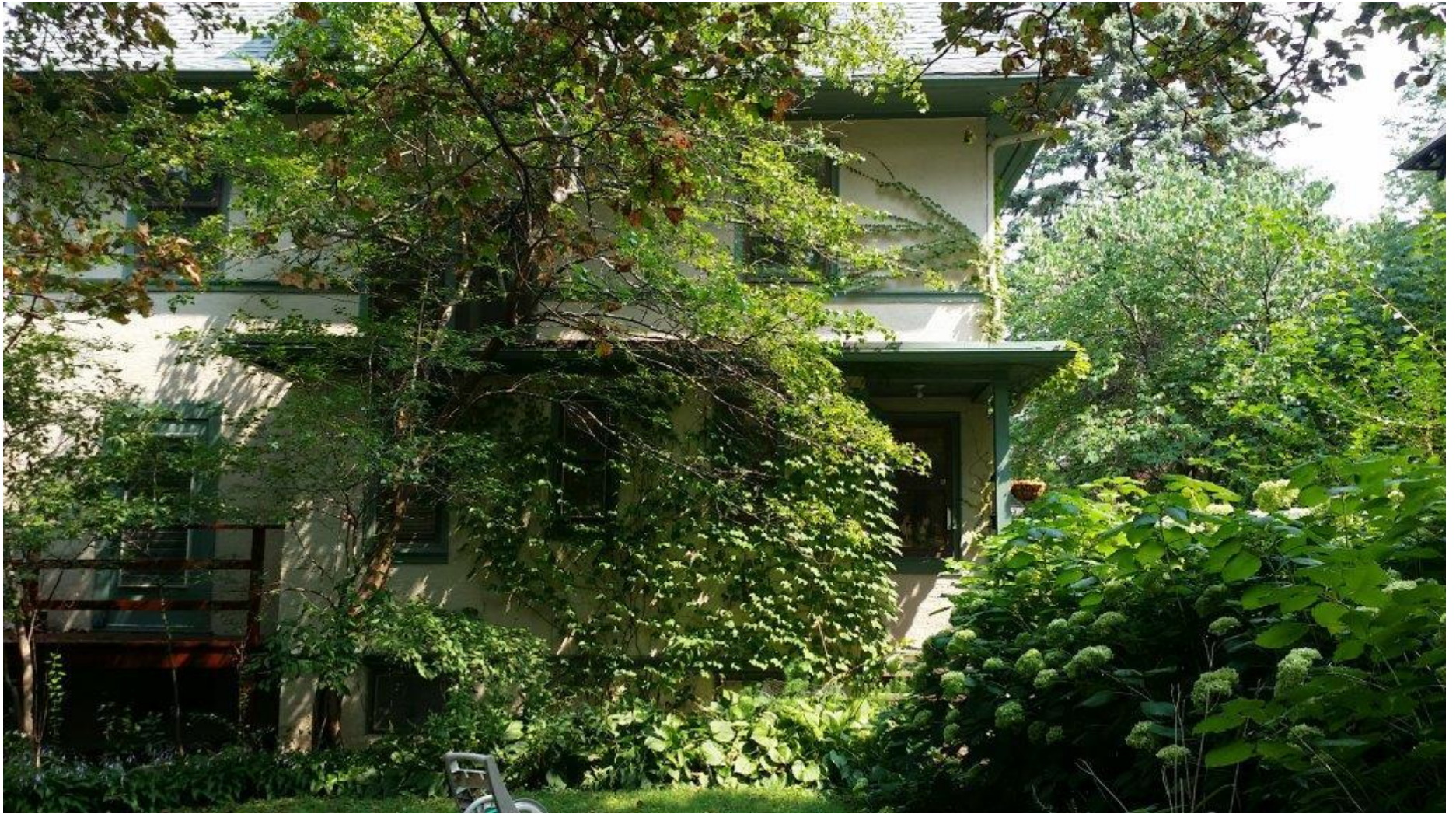
We are applying for a Certificate of Appropriateness to construct a screen porch and small infill addition for Lee and Cyrena Pondrom residing at 210 Princeton Ave. The screen porch will be an addition to the rear of the house and will connect to the kitchen as part of a kitchen interior remodel. A small addition to the kitchen will also be constructed over the existing full basement foundation of what is now a small covered porch. The porch and addition will add greatly to the function and enjoyment of the kitchen and outdoor space.

The existing house now has an approximately 17'-6" x 4'-6" single story rear extension with a flat roof. The roof has been a source for water infiltration into the house. The screen porch addition provides an opportunity to provide a pitched roof and better detail the connection to the house. There are existing original windows at the interior stair landing that will be maintained with a new rubber membrane shallow pitch saddle in the new 3/12 pitch roof. New painted wood trim and traditional stucco will be installed to match the existing as close as feasible.

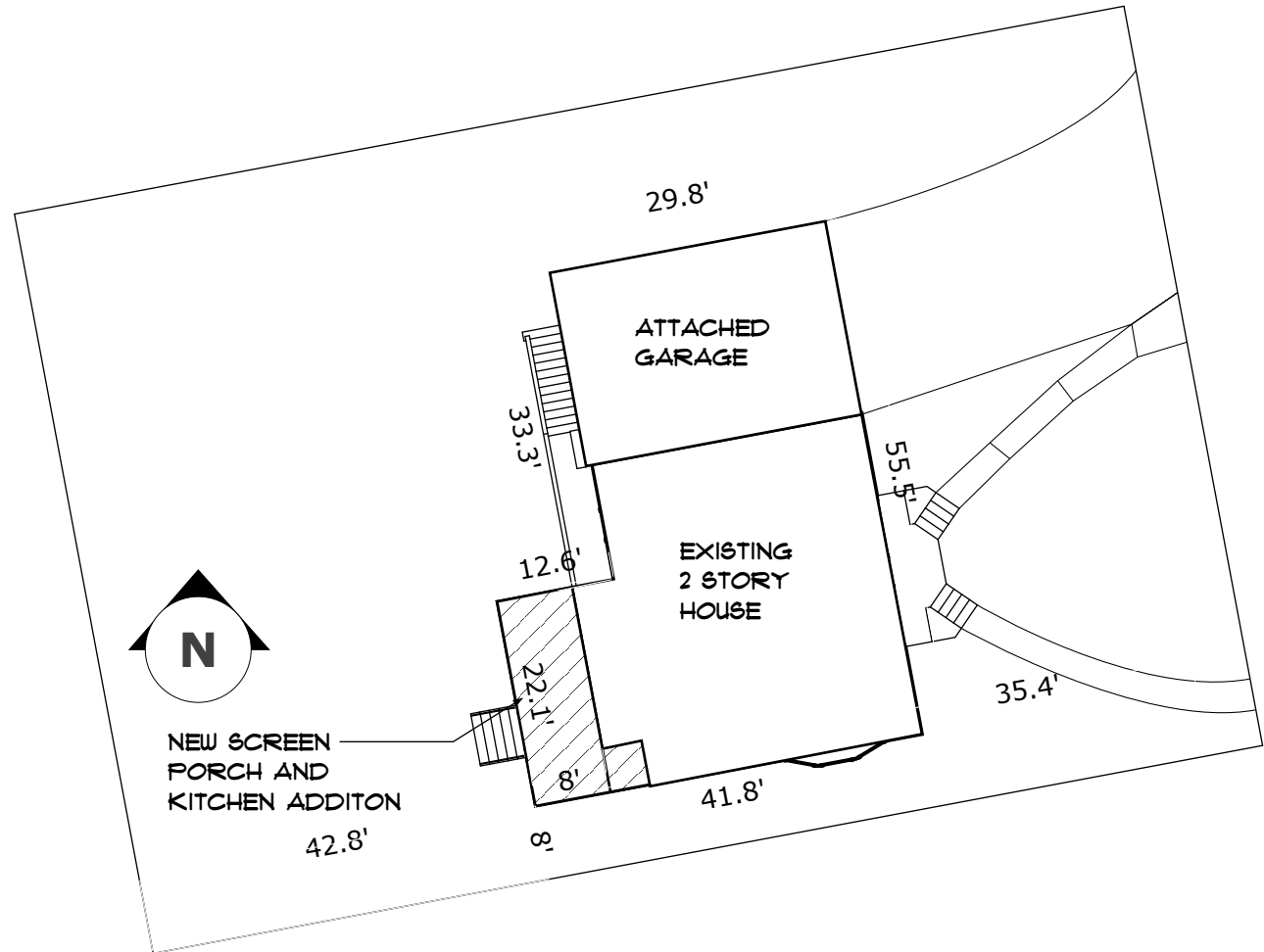
Thank you,
Eric Donovan
TDS Custom Construction





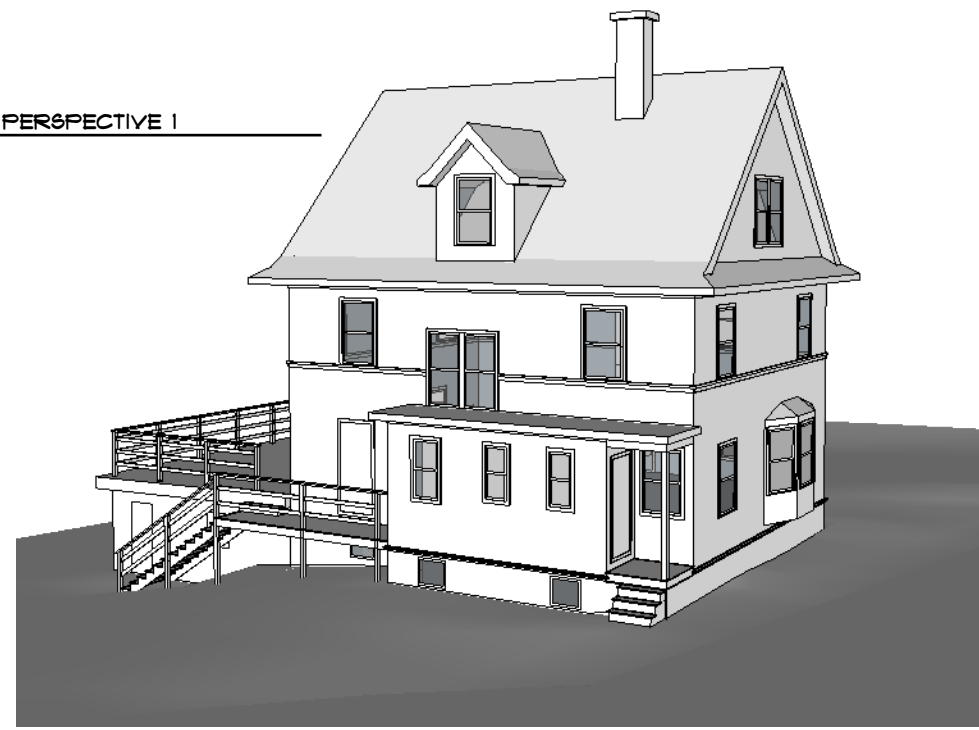




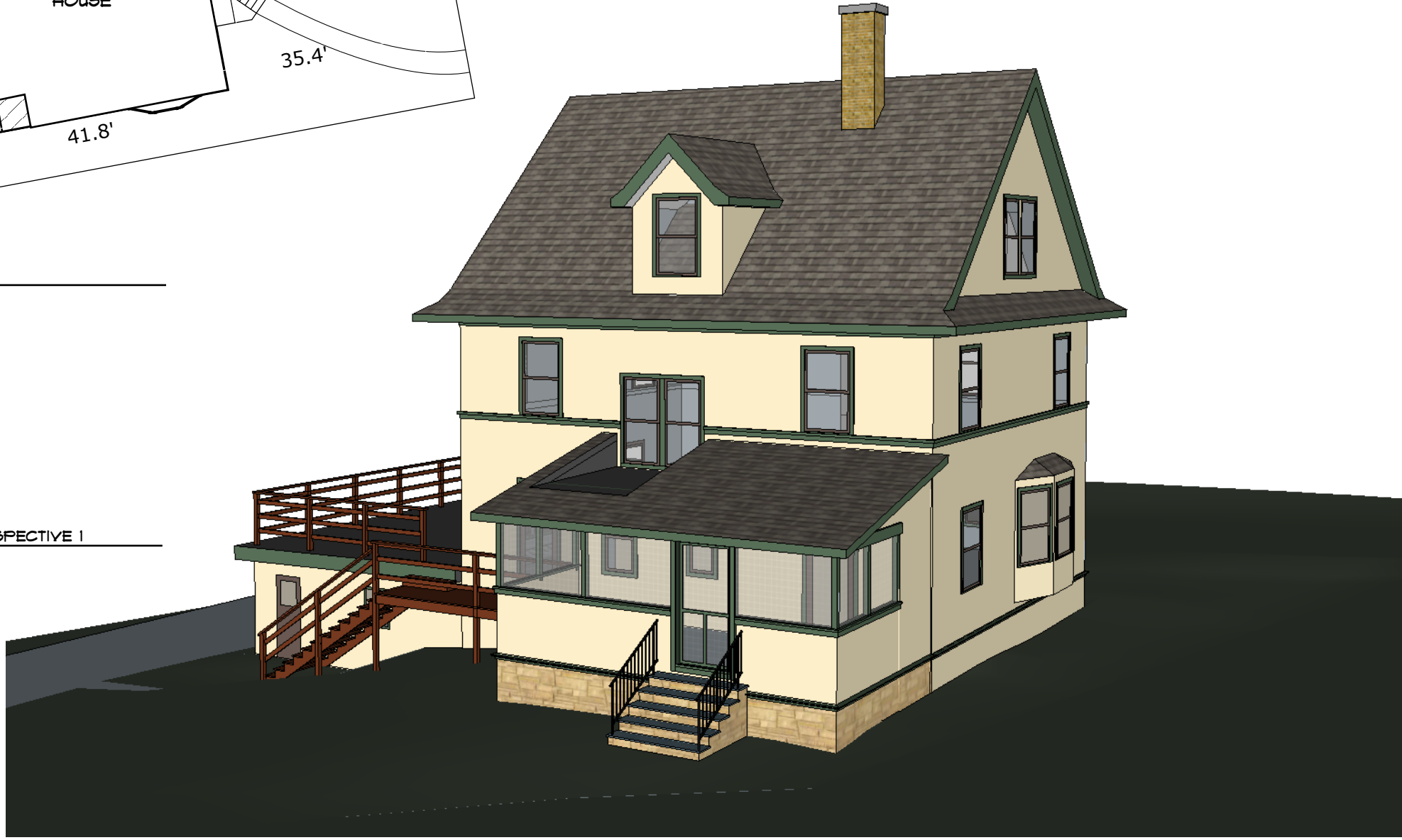


A
01 SITE PLAN
SCALE 1" = 20'

B
01 EXISTING PERSPECTIVE 1



C
01 PROPOSED PERSPECTIVE 1



1431 NORTHERN CT
MADISON, WI 53703
(608) 251-1814

PONDROM KITCHEN AND PORCH
LEE AND CYRENA PONDROM
210 PRINCETON AVE
MADISON, WI 53726

JOB NO: 2515

SITE PLAN AND PERSPECTIVES

SCALE: AS NOTED

DATE: 8/17/2015

SHEET NO.

01

PREPARED BY **BOUNGA** OF 03

1431 NORTHERN CT
MADISON, WI 53703
(608) 251-1814

PONDROM KITCHEN AND PORCH
LEE AND CYRENA PONDROM
210 PRINCETON AVE
MADISON, WI 53726

JOB NO: 2515

PERSPECTIVES

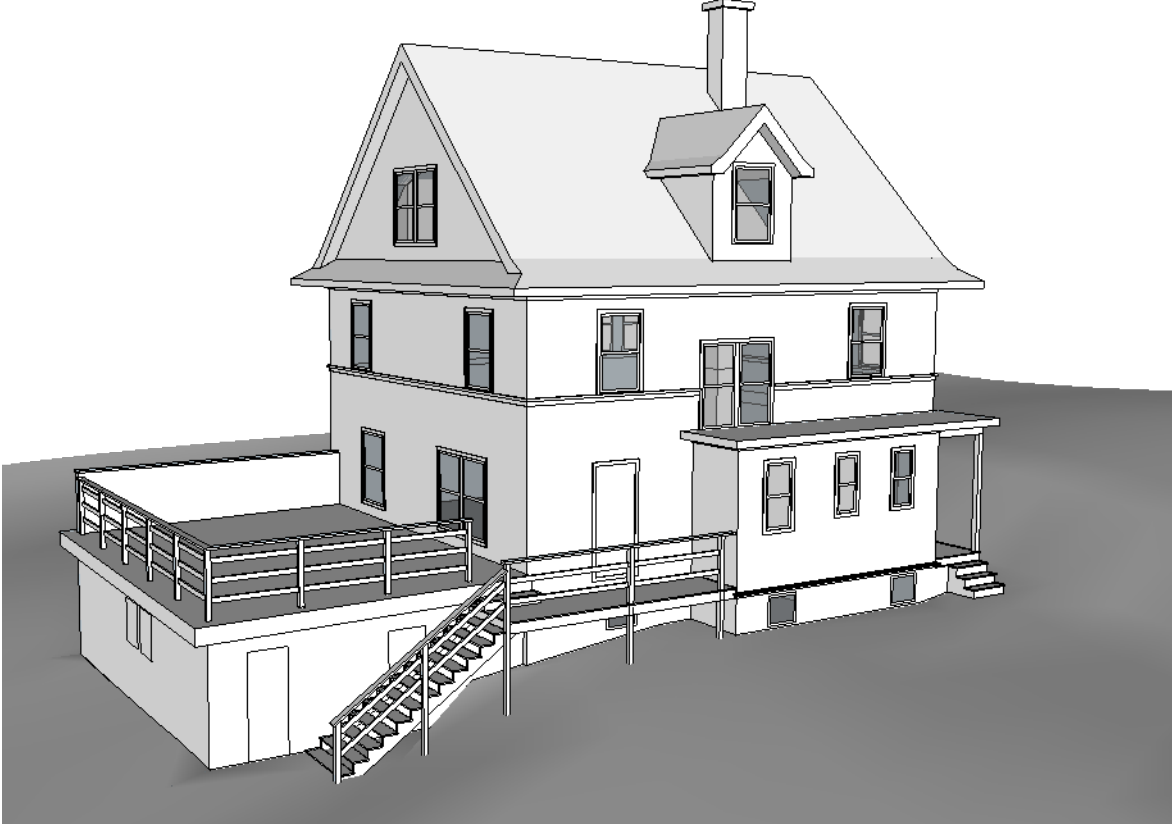
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DATE: 8/17/2015

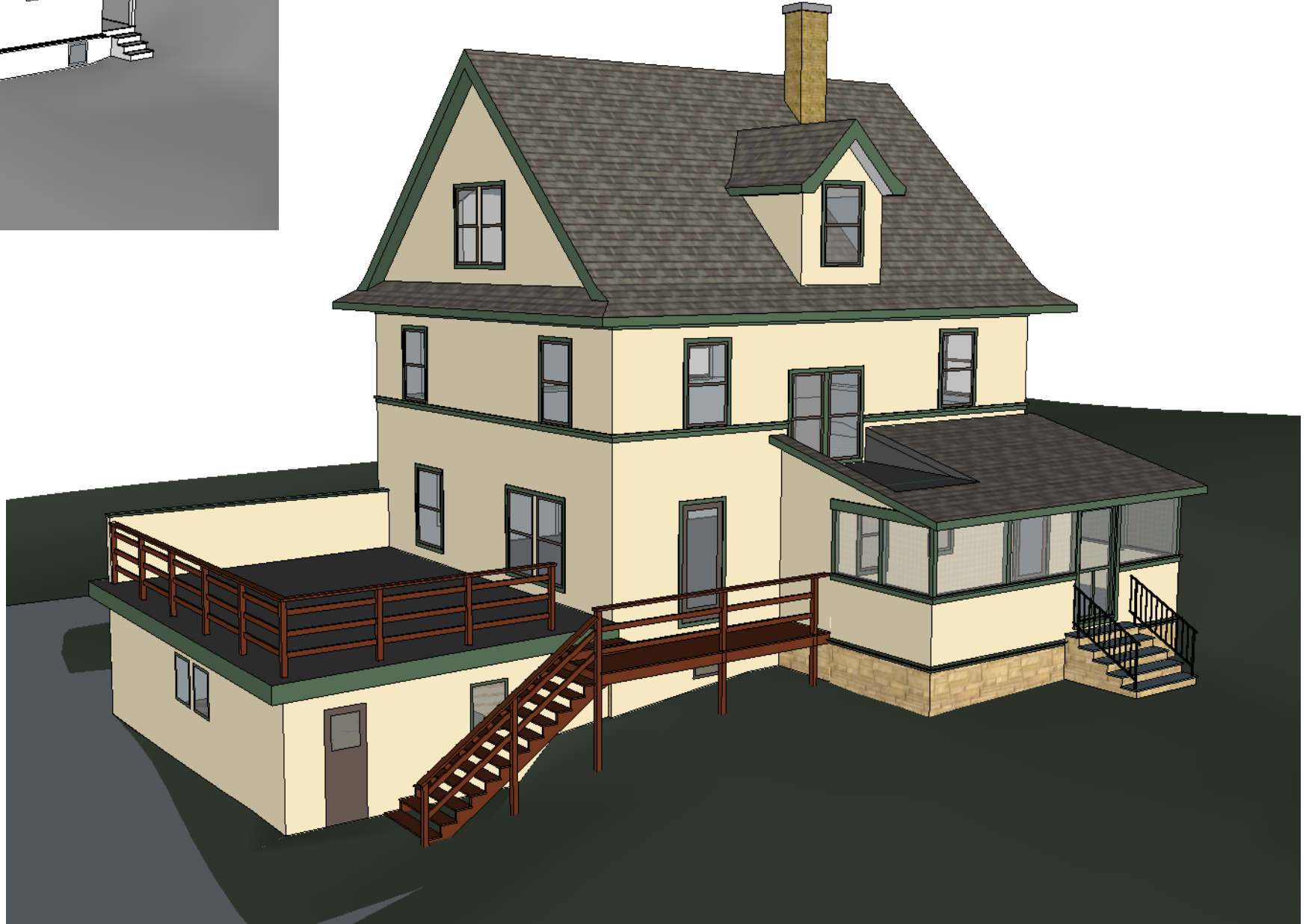
SHEET NO.

02

PREPARED BY **BOUNGA** OF 03



A
02 EXISTING PERSPECTIVE 2



B
02 PROPOSED PERSPECTIVE 2

1431 NORTHERN CT
MADISON, WI 53703
(608) 251-1814

**PONDROM KITCHEN
AND PORCH**
LEE AND CYRENA PONDROM
210 PRINCETON AVE
MADISON, WI 53726

JOB NO: 2515

FLOOR PLAN AND
ELEVATIONS

SCALE: AS NOTED

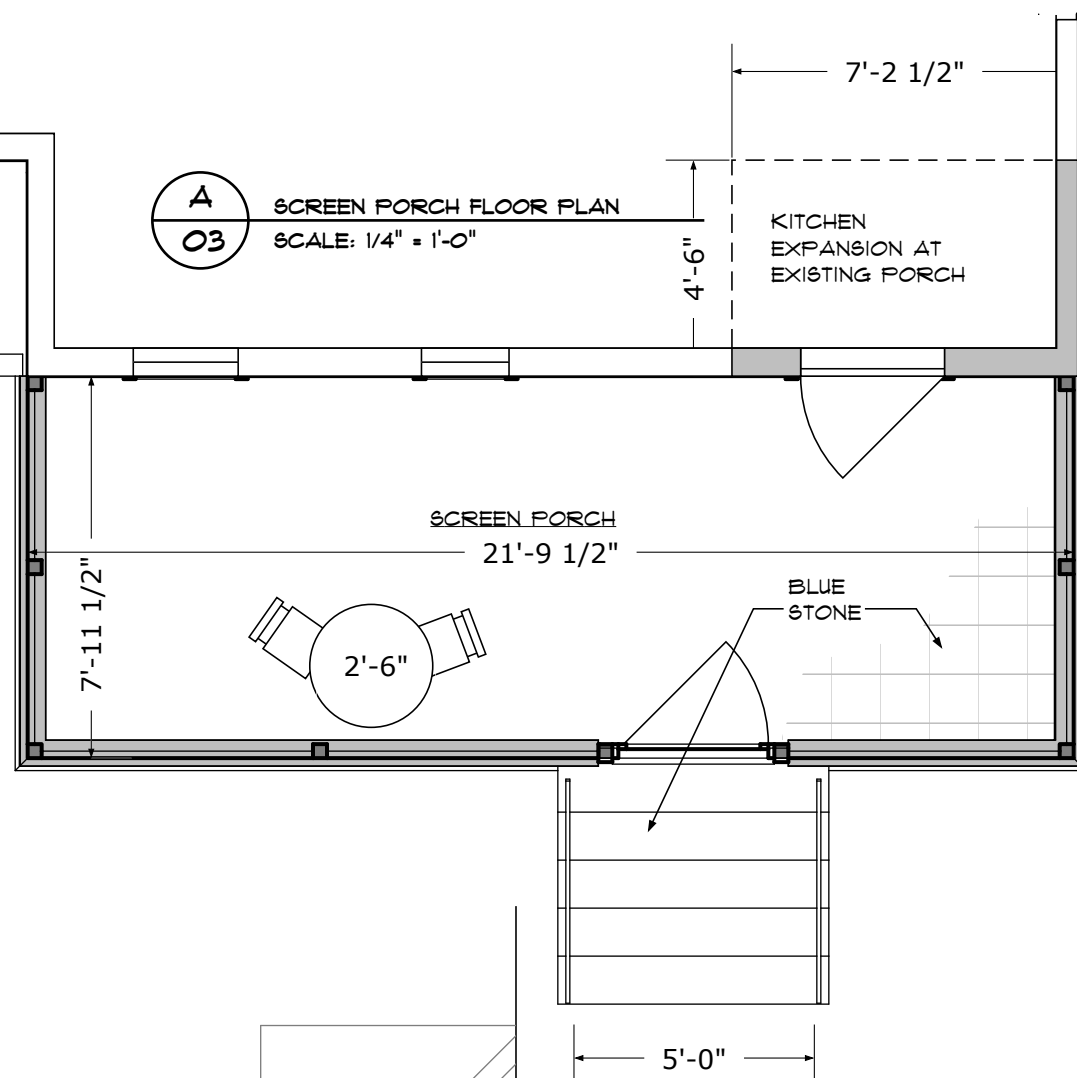
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SHEET NO.

03

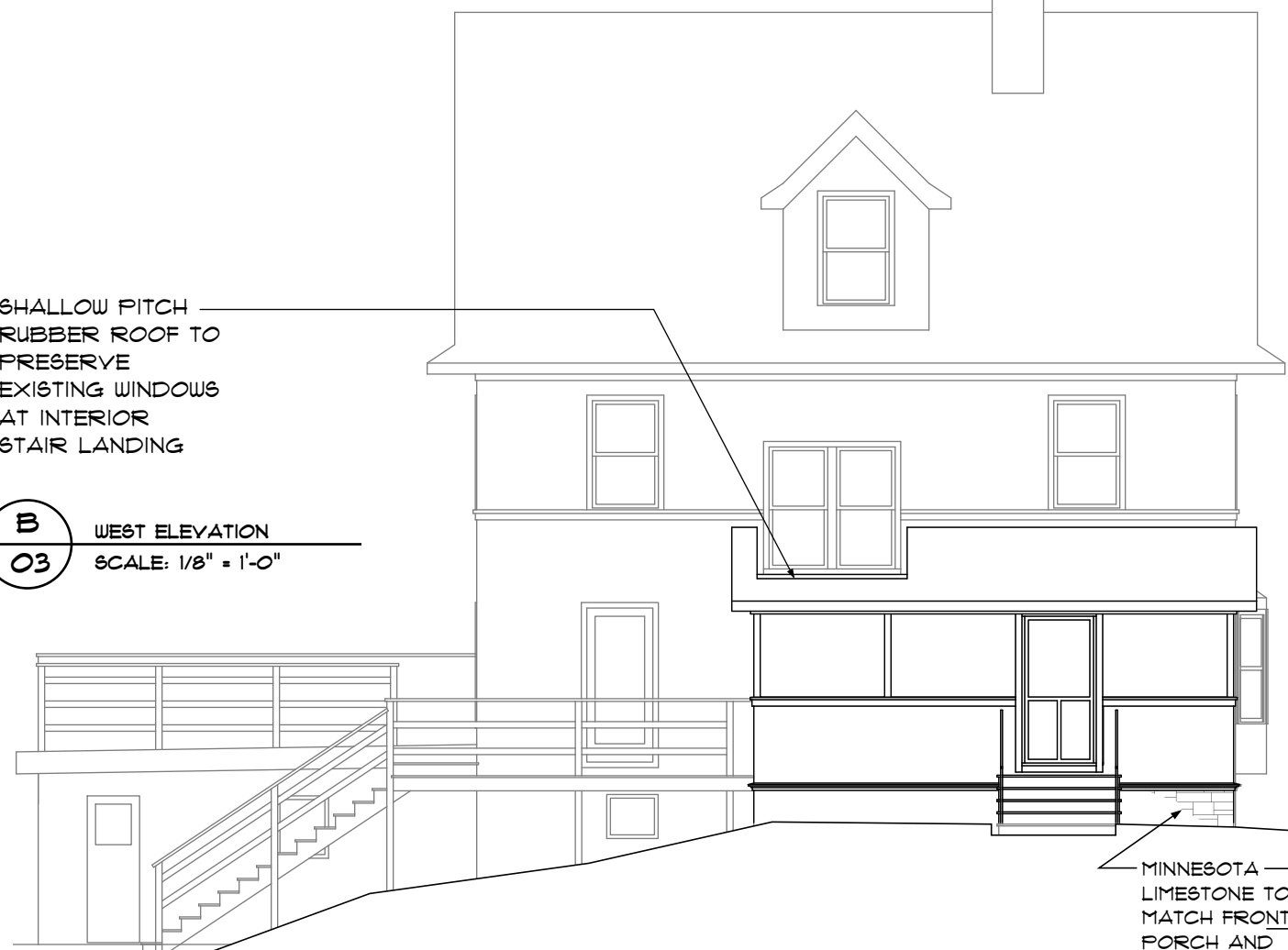
PREPARED BY
DUNOUD OF 03

A
03 SCREEN PORCH FLOOR PLAN
SCALE: 1/4" = 1'-0"



SHALLOW PITCH
RUBBER ROOF TO
PRESERVE
EXISTING WINDOWS
AT INTERIOR
STAIR LANDING

B
03 WEST ELEVATION
SCALE: 1/8" = 1'-0"



ASPHALT
SHINGLES AND
TRIM DETAILS TO
MATCH EXISTING



MINNESOTA
LIMESTONE TO
MATCH FRONT
PORCH AND
FOUNDATION

PROVIDE OFFSET TO
PRESERVE MAIN HOUSE
CORNER

TRADITIONAL STUCCO
FINISH AND TEXTURE TO
MATCH EXISTING

C
03 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

