



CITY OF MADISON  
ZONING BOARD OF APPEALS  
VARIANCE APPLICATION

\$300 Filing Fee

Type or print legibly using blue or black ink.

Address of Subject Property: 2403 East Springs Drive - Madison, WI

Name of Owner: \_\_\_\_\_

Address of Owner (if different than above): \_\_\_\_\_

Daytime Phone: \_\_\_\_\_ Evening Phone: \_\_\_\_\_

Email Address: \_\_\_\_\_

Name of Applicant (Owner's Representative): Jay Patel

Address of Applicant: 6251 Joliet Rd  
Countryside, IL 60525

Daytime Phone: 860 - 510 - 2540 Evening Phone: \_\_\_\_\_

Email Address: jay.patel@hawkeyehotels.com

Description of Requested Variance:

Applicant is requesting a variance from MGO 20.068 (3)(a), which requires 70% of the building frontage to be 85' within the street right-of-way, or up to 100' with justification. The applicant is requesting to exceed the required maximum setback due to existing site constraints, including significant topographical relief and the elevations of the adjacent properties.

See reverse side for more instructions.

OFFICE USE ONLY

Amount Paid: <u>\$300.00</u>	Hearing Date: <u>9-15-22</u>
Receipt: <u>121727-0002</u>	Published Date: <u>9-8-22</u>
Filing Date: <u>8-18-22</u>	Appeal Number: <u>LNOVAR-2022-00006</u>
Received By: <u>NJK</u>	GQ: _____
Parcel Number: <u>081027114040</u>	Code Section(s): <u>20.068(3)(a)</u>
Zoning District: <u>CC</u>	_____
Alder District: <u>17-HALVERSON</u>	_____

## Standards for Variance

The ZBA will only grant a variance if it finds that your proposal meets the following standards. Please explain how your variance request meets these standards.

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

The existing grade on the property has 10' of relief from the 100' front setback line to the right-of-way.

Furthermore, there is an approx. 20' difference in elevations of the adjacent sites and buildings. Together, these restrict the reasonable placement and elevations of the proposed building.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

The variance is being requested to remain consistent with the adjacent buildings and to avoid significant revisions to the existing grades. The proposed placement of the buildings is appropriate for this site and the topographical limitations.

3. For an area (setbacks, etc.) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

To strictly adhere with the ordinance would require significant changes to the existing grades, modification to the existing shared driveway, and would result in the proposed building being 5-20' lower than the adjacent buildings.

Given the grade at the front of the lot, adherence to the ordinance would not allow for adequate fire access and circulation at the front of the building.

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

The ordinance requires the building to be shifted to the front, relative to the lot shape, which is where a majority of the relief is. The hardship is demonstrated by the existing pattern of development on the existing building on the subject parcel and the adjacent buildings.

5. The proposed variance shall not create substantial detriment to adjacent property.

The proposed variance will allow the proposed building to remain consistent with the setbacks of the adjacent buildings, while also improving upon the current deviation of the code. Furthermore, the variance will allow the elevation of the proposed building to be more consistent with the adjacent buildings, thereby avoiding excessive use of retaining walls and will allow the existing shared driveway to remain.

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

The variance seems to fit with the character pattern of development of the immediate neighborhood, and help to create a consistent corridor along the interstate.



Angie Black  
222 W. Washington Ave., Ste. 705  
Madison, WI 53703-2745  
direct: 608.888.1683  
angie.black@carlsonblack.com

VIA HAND DELIVERY AND E-MAIL

March 21, 2019

Matt Tucker, Zoning Administrator  
Zoning Board of Appeals  
215 Martin Luther King Jr. Blvd. - Room 13  
Madison, WI 53703

Re: Supplemental Submittal for Variance Application for 2301 East Springs Drive  
Legistar File #: 54577  
ZBA Case No.: LNDVAR-2019-00003  
Variance from MGO 28.068(3)(a) – Total variance requested 94'-11" (increase setback from 100' to 194'-11")

Dear Mr. Tucker and ZBA Members:

This letter and the enclosed revised and additional plans and drawings supplement the January 17, 2019 application materials submitted by Applicant, Badger Lodging, LLC<sup>1</sup>. The Applicant appreciates the feedback and guidance received from the Board at its February 21st meeting and from City zoning staff. The enclosed revised submittal reflects significant modifications to the proposed project and site plan to meet the variance standards and incorporate the feedback received from the Board and staff. The enclosures also provide additional and demonstrative information and pictures better demonstrating the physical challenges of the site that must be dealt with in connection with any redevelopment of this site.

Specifically, the Applicant has made the following changes:

1. Reduced the requested variance from 144'-4" to 94'-11", with a total setback of 194'-11" (reduced from 244'-4" in original ZBA submittal).
2. Removed all parking in front of the building, for a total 16 stall reduction (from 228 to 212), which in turn necessitates a reduction of the scale of the project from 243 rooms to 220.
3. Reduced the majority of drive aisles to 24' wide, allowing the street facing building wall to be pushed as close to East Springs Drive as possible, while maintaining required fire and vehicle turning and access radiuses and necessary vehicle cueing.

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<sup>1</sup> Note the original applicant and purchaser of the property, Hawkeye Hotels, is assigning the application to a newly formed (related) entity that will undertake the project.

The enclosed revised submittal incorporates significant revisions in response to Board and staff comments and establishes the Applicant has met the standards required for the variance, including the following variance standards, which the Board and staff expressed concerns were not met with the previous submittal.

*Conditions Unique to the Property.*

The site presents very unique and complicated physical conditions which must be addressed in connection with any redevelopment. Most notably, the site is wedge shaped, narrowing on the East Springs Drive side, and has drastic grade changes from north to south and east to west. The site narrows from approximately 350' wide at the plateau (buildable) portion of the site to approximately 260' wide at the access point along East Springs Drive. The elevation of the site drops from approximately 921' at the plateau to 898' at the access point. In particular, the front (East Springs Drive side) approximately 130' of the site, through which the shared access point with Home Depot is located, drops approximately 14' and presents a steep grade of greater than 9%.

In addition, the single shared access point from East Springs Drive, which provides the only access point to the site, was established by a recorded Joint Driveway Agreement in 1995 and cannot be moved or changed by the Applicant (or current owner of the property). The design of the site has to accommodate use of the existing shared access point while also navigating the challenging grade and working within the shape of the site to provide access to both guests and emergency services.

Finally, pedestrian connectivity to East Springs Drive is essential to the redevelopment of the site. The proposed site design has been carefully tailored to provide ADA compliant pedestrian access for disabled and differently abled guests despite the topographical challenges of the site. Any alternative layout of the site is likely to result in limiting or eliminating such pedestrian access.

*Purpose and Intent of the Setback Requirement*

The intent of the applicable 100' setback is to present buildings closer to the street. In the past, when this area along East Springs Drive was originally developed, it was apparently desirable for buildings to sit further back on the property, with most or all of the parking in front of buildings. All of the buildings along East Springs Drive, including the existing building on this site, are currently laid out in this way and have all or a majority of the parking in front of buildings oriented toward the back of the property. The Applicant has made significant revisions to meet the City's vision of orienting buildings more toward the street while working within the existing topographical and other site and area conditions and constraints, including eliminating all parking in front of the portion of the building fronting nearest to East Springs Drive, which necessarily reduced the overall project and the number of hotel rooms.<sup>2</sup>

*Unnecessary Burden and Hardship Not Created by Applicant*

With grant of the requested setback variance, the property can be redeveloped for use as a dual brand hotel, consistent with the uses allowable under the zoning code for this area. The project will comply with all other zoning requirements upon completion of the UDC review and

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<sup>2</sup> Note the Applicant has reduced the number of rooms to the minimum necessary to have a feasible project.

conditional use permit approval processes. Given the unique and challenging physical and legal constraints of the site, it is unlikely any other redevelopment of the property for uses permissible or desirable under current zoning, and which are consistent with the commercial and retail nature of the East Towne Mall area, can be accomplished without similar or additional zoning variances. The Applicant has made significant revisions in an effort to redevelop an existing site originally platted and developed in the 1990s under a prior zoning code. Any further revisions related to the setback issue will likely render the project infeasible because of the physical site constraints.<sup>3</sup>

Very truly yours,

**CARLSON BLACK O'CALLAGHAN & BATTENBERG LLP**

Angie Black  
Partner

A handwritten signature in cursive script, reading "Angie Black", followed by a horizontal line.

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<sup>3</sup> As discussed at the prior ZBA meeting, the Applicant has further explored several alternatives raised by the Board and discussed those alternatives in more detail with City staff. Those alternatives include rerouting the main access off the access point shared with Home Depot to run along the north side of the site, and also a possible grade change to the site to allow the building to be pushed further toward East Springs Drive to meet the 100' setback requirement. Moving the access drive to the north side of the site (assuming a 6% grade on the driveway) results in: degraded traffic circulation and cueing at the entrance and hindering adequate vehicle and fire access; a large retaining wall at the front of the site, creating a monolithic presence along East Springs Drive contrary to the intent of the setback requirement (frontages which are inviting and accessible, not only to vehicles but also pedestrians); and, further reducing parking stall counts to the point redeveloping of this site would not be physical or financially feasible. Alternatively, changing the grade of the site to the extent required to push the front face of the building to the required 100' setback would not only be cost-prohibitive from a construction standpoint, such a significant grade change would result in a very large retaining wall running east to west along the northwestern property edge (Home Depot facing), creating the perception of a bowl where the site is lower than the adjacent sites; and, would also create additional access and building orientation issues due to the wedge-shape site and required shared access point which, as noted above, cannot be relocated by Applicant.



# HOME 2 SUITE & TRU by HILTON

2403 EAST SPRINGS DR., MADISON, WI 53704



## ENTITLEMENT PACKAGE

AUGUST 22, 2022

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- DR\_A2.1 FLOOR PLAN - LEVEL 1
- DR\_A2.2 FLOOR PLAN - LEVEL 2
- DR\_A2.3 FLOOR PLAN - LEVEL 3-5 (TYP.)
- DR\_A3.1 BUILDING ELEVATIONS
- DR\_A3.2 BUILDING ELEVATIONS
- DR\_A3.3 BUILDING ELEVATIONS (BLACK AND WHITE)
- DR\_A3.4 BUILDING ELEVATIONS (BLACK AND WHITE)
- DR\_A4.1 ROOF PLAN
- DR\_A5.1 MATERIAL BOARD
- DR\_A5.2 PERSPECTIVE VIEWS
- DR\_P1.0 PHOTOMETRIC STUDY

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ARCHITECTURE

1785 VILLAGE CENTER CIRCLE SUITE 100  
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WWW.DESIGN-CELL.COM

8/22/2022

PRELIMINARY DESIGN

**HOME2 SUITES & TRU  
DUAL BRAND BY HILTON**

5-STORY, 219 GUESTROOMS

2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068

COVER SHEET

**DR\_0.1**



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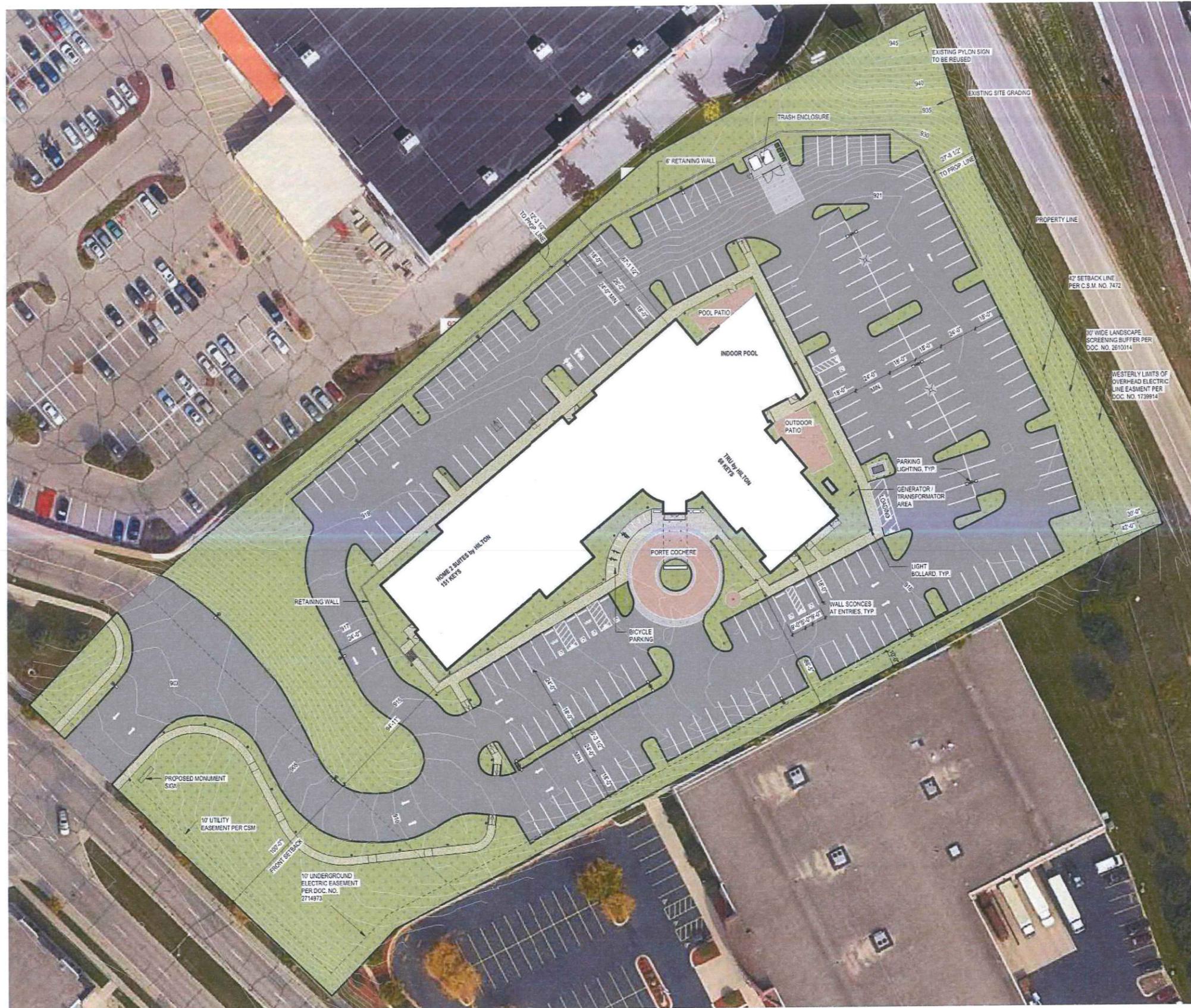
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8/22/2022  
PRELIMINARY DESIGN

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DUAL BRAND BY HILTON**  
5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068  
RENDERINGS

DR\_0.2



**PROJECT SUMMARY**

THIS PROJECT CONSISTS OF SITE DEVELOPMENT AND BUILDING DESIGN FOR 219 KEYS 5-STORY HOME2 SUITES & TRU DUAL BRAND HOTEL by HILTON.

**SITE SUMMARY**

DESCRIPTION	INFORMATION / REQUIREMENT	COMPLIANCE
APN	0810-2711-0340	
ADDRESS	2403 EAST SPRINGS DR., MADISON, WI	
JURISDICTION	CITY OF MADISON, WI	
ZONING CLASSIFICATION	CC	
PLANNED LAND USE	COMMERCIAL	
HOTEL USE ALLOWED	YES	Y
# OF PARKING STALLS REQUIRED	REFER TO CODE FOR DETAIL	Y
SIZE OF PARKING STALLS REQUIRED	9' x 18'	Y
ALLOWABLE BUILDING HEIGHT	85'-0"	Y
ACTUAL BUILDING HEIGHT	66'-3"	
FIRE ACCESS REQUIRED	24'-0" DRIVEWAY	Y
FRONT SETBACK	100'-0"	Y
SIDE SETBACK	6'-0"	Y
REAR SETBACK	29'-0"	Y

**AREA CALCULATIONS**

DESCRIPTION	AREA	PERCENTAGE
BUILDING FOOTPRINT	25,324 SF	12%
HARDSCAPE	10,217 SF	5%
LANDSCAPE	82,480 SF	39%
PARKING LOT AREA	192,010 SF	44%
TOTAL AREA	210,031 SF	100%

**ACTUAL BUILDING AREA (GROSS)**

LEVEL	AREA
LEVEL 1	25,011 SF
LEVEL 2	22,120 SF
LEVEL 3	22,120 SF
LEVEL 4	22,116 SF
LEVEL 5	22,116 SF
TOTAL AREA	113,484 SF

**PARKING REQUIRED**

USE	REQUIREMENT	SPACES REQUIRED
HOTEL	1.00 PER GUESTROOM	219
BIKE	1 PER 10 GUESTROOMS	22
NOTE:	UP TO 25% CAN BE COMPACT	

**PARKING PROVIDED**

TYPE	COUNT
9' X 18' - 90" (ACCESSIBLE)	4
9' X 18' - 90" (ACCESSIBLE/VAN)	2
9' X 18' - 90"	212
9' X 18' - 90" (ACCESSIBLE)	2
9' X 18' - 90" EV	2
9' X 18' - 90" EV	222

**VICINITY MAP**



**1 SITE PLAN**  
1" = 30'-0"



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**HOME2 SUITES & TRU  
DUAL BRAND BY HILTON**  
5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 058  
SITE PLAN / SITE DATA

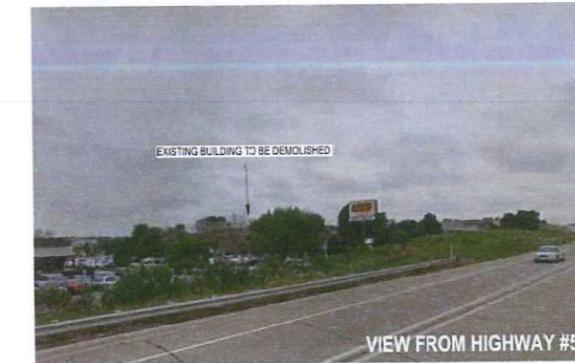
DR\_1.1



VIEW FROM E SPRINGS DR. #6



VIEW FROM HIGHWAY #4



VIEW FROM HIGHWAY #5



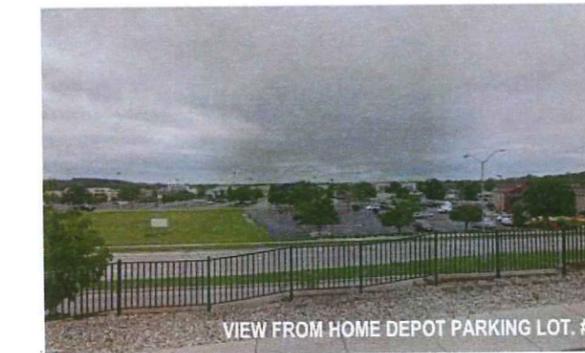
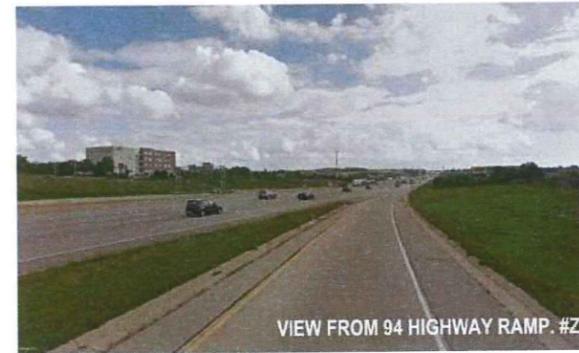
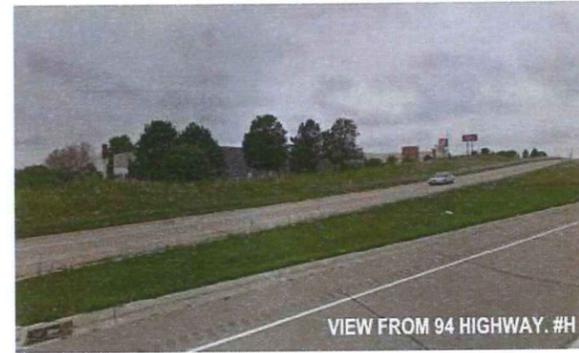
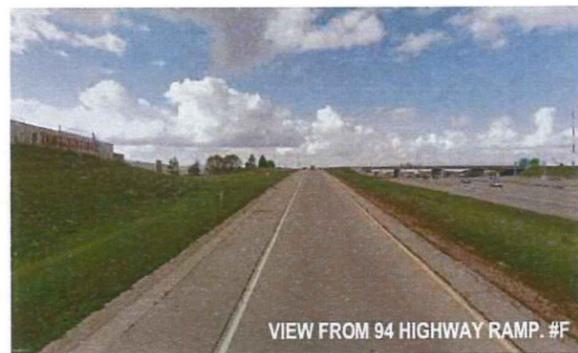
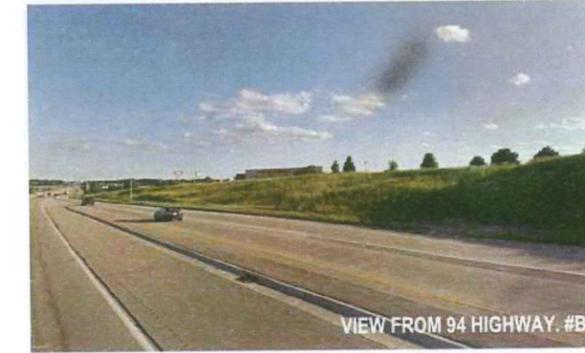
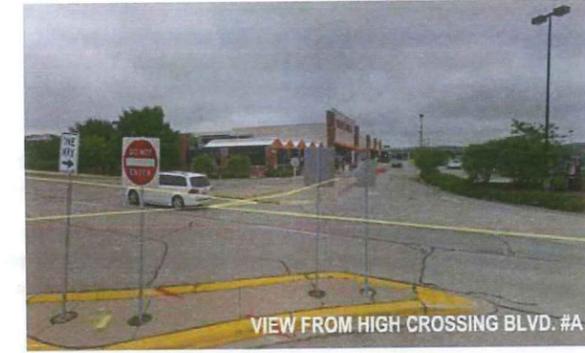
VIEW FROM PROPOSED SITE #1



VIEW FROM PROPOSED SITE #2



VIEW FROM OFF RAMP #3



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**HOME2 SUITES & TRU  
DUAL BRAND BY HILTON**

5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068  
CONTEXTUAL  
SITE  
INFORMATION

**DR\_1.3**



GOOGLE EARTH IMAGES SHOWING PROPOSED NEW HOTEL ON SITE



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DUAL BRAND BY HILTON**

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PROJECT NUMBER: 18 068  
CONTEXTUAL  
SITE  
INFORMATION

**DR\_1.4**



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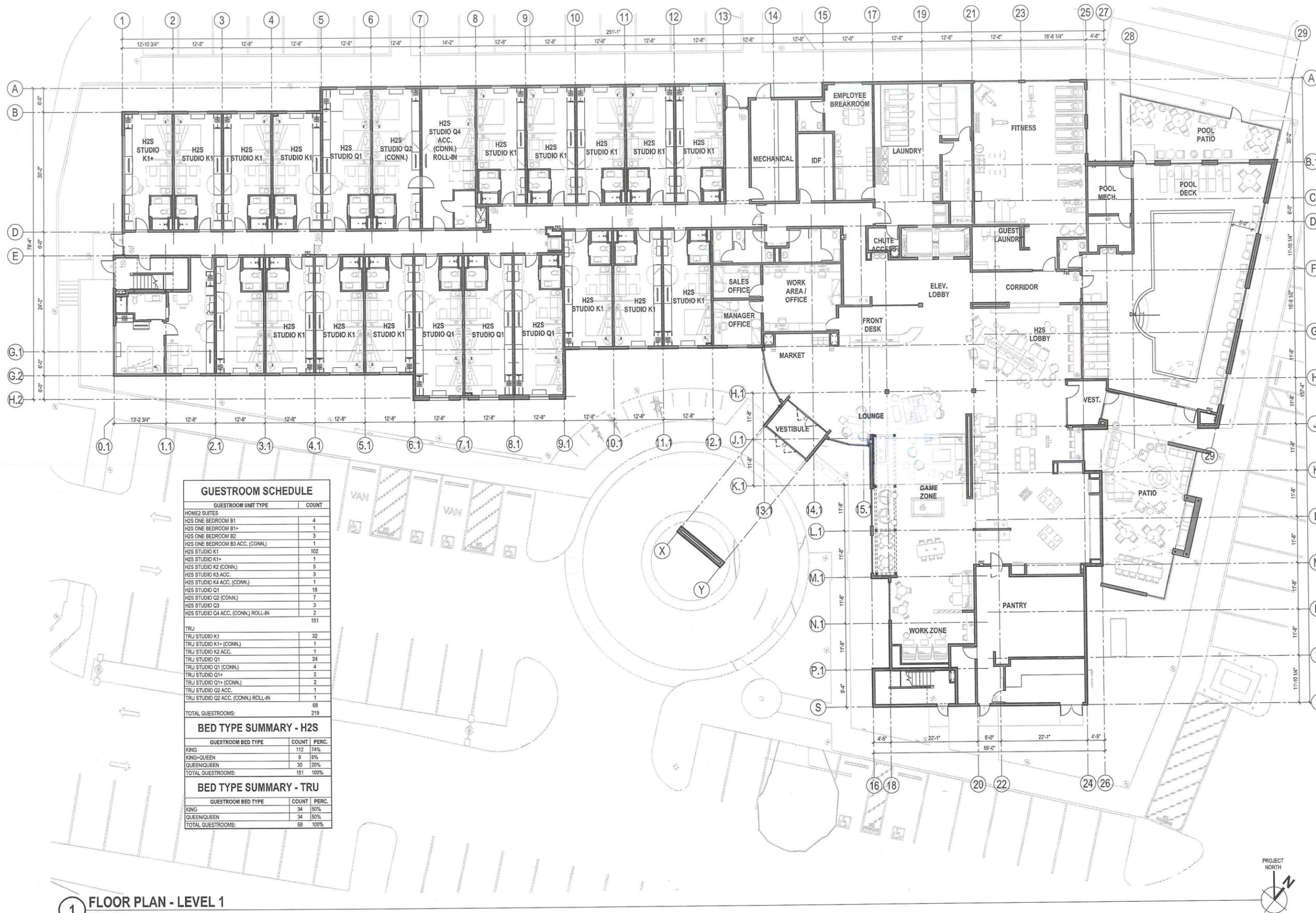
**HOMER SUITES & TRU  
DUAL BRAND BY HILTON**

5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068

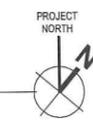
FLOOR PLAN -  
LEVEL 1

DR\_A2.1



GUESTROOM SCHEDULE		
GUESTROOM UNIT TYPE	COUNT	
<b>HOMER SUITES</b>		
H2S ONE BEDROOM B1	4	
H2S ONE BEDROOM B1+	1	
H2S ONE BEDROOM B2	3	
H2S ONE BEDROOM B3 ACC. (CONN.)	1	
H2S STUDIO K1	102	
H2S STUDIO K1+	1	
H2S STUDIO K2 (CONN.)	5	
H2S STUDIO K3 ACC.	3	
H2S STUDIO K4 ACC. (CONN.)	1	
H2S STUDIO Q1	18	
H2S STUDIO Q2 (CONN.)	7	
H2S STUDIO Q3	3	
H2S STUDIO Q4 ACC. (CONN.) ROLL-IN	2	
<b>TOTAL HOMER SUITES:</b>	<b>151</b>	
<b>TRU</b>		
TRU STUDIO K1	32	
TRU STUDIO K1+ (CONN.)	1	
TRU STUDIO K2 ACC.	1	
TRU STUDIO Q1	24	
TRU STUDIO Q1 (CONN.)	4	
TRU STUDIO Q1+	2	
TRU STUDIO Q1+ (CONN.)	2	
TRU STUDIO Q2 ACC.	1	
TRU STUDIO Q2 ACC. (CONN.) ROLL-IN	1	
<b>TOTAL TRU:</b>	<b>68</b>	
<b>TOTAL GUESTROOMS:</b>	<b>219</b>	
<b>BED TYPE SUMMARY - H2S</b>		
GUESTROOM BED TYPE	COUNT	PERC.
KING	112	74%
KING-QUEEN	9	6%
QUEEN/QUEEN	30	20%
<b>TOTAL GUESTROOMS:</b>	<b>151</b>	<b>100%</b>
<b>BED TYPE SUMMARY - TRU</b>		
GUESTROOM BED TYPE	COUNT	PERC.
KING	34	50%
QUEEN/QUEEN	34	50%
<b>TOTAL GUESTROOMS:</b>	<b>68</b>	<b>100%</b>

**1 FLOOR PLAN - LEVEL 1**  
3/32" = 1'-0"





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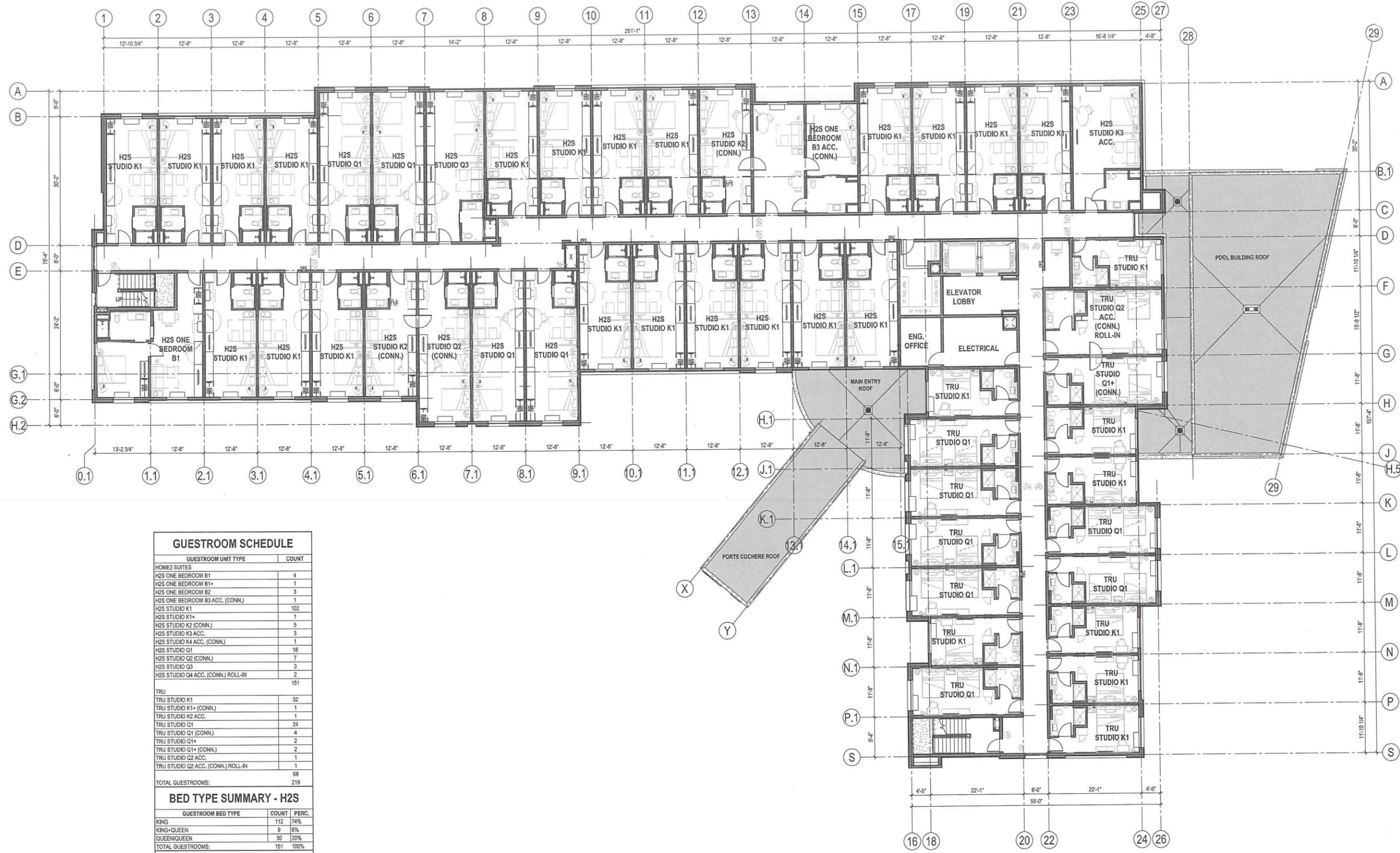
**HOME2 SUITES & TRU  
DUAL BRAND BY HILTON**

5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068

FLOOR PLAN -  
LEVEL 2

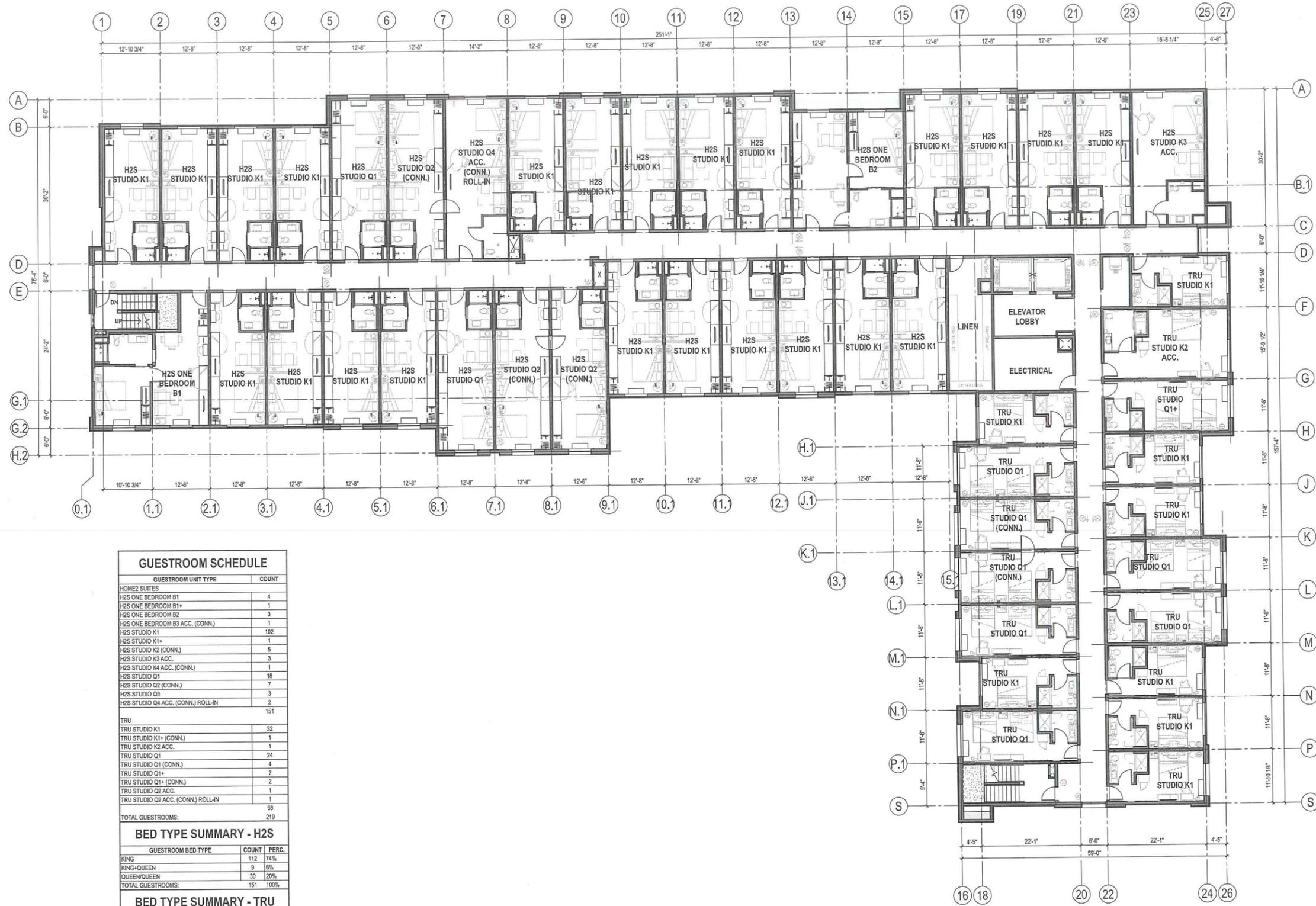
DR\_A2.2



GUESTROOM SCHEDULE		
GUESTROOM UNIT TYPE	COUNT	
<b>HOME2 SUITES</b>		
H2S ONE BEDROOM B1	4	
H2S ONE BEDROOM B1+	1	
H2S ONE BEDROOM B2	3	
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**1 FLOOR PLAN - LEVEL 2**  
3/32" = 1'-0"





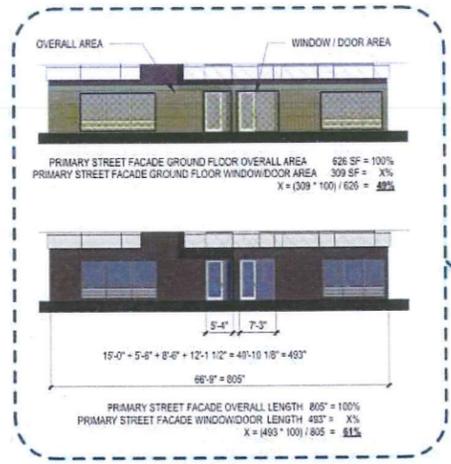
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**1 SOUTH ELEVATION**  
3/32" = 1'-0"

EXTERIOR FINISH LEGEND		
SYMBOL	ID	DESCRIPTION
[Pattern]	PT1	EFS, PAINTED METAL, SHERWIN-WILLIAMS SPATIAL WHITE SW 6259
[Pattern]	PT2	EFS, PAINTED METAL, SHERWIN-WILLIAMS IRON ORE SW 7069
[Pattern]	PT3	EFS, BENJAMIN MOORE, FLOWER POWER (NO SUBSTITUTIONS)
[Pattern]	PT4	EFS, PANTONE PMS #2685C (NO SUBSTITUTIONS)
[Pattern]	PT5	EFS, PANTONE PMS PROCESS YELLOW (NO SUBSTITUTIONS)
[Pattern]	PT6	EFS, PANTONE PMS PROCESS CYAN (NO SUBSTITUTIONS)
[Pattern]	PT7	EFS, PANTONE PMS #2955C (NO SUBSTITUTIONS)
[Pattern]	PT8	EFS, PANTONE PMS #317C (NO SUBSTITUTIONS)
[Pattern]	FC1	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE ARCTIC WHITE (OR SIMILAR)
[Pattern]	FC2	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE BLACK BROWN (OR SIMILAR)
[Pattern]	BD1	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH MISSION GRAY (OR SIMILAR)
[Pattern]	BD2	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH BLACK BROWN (OR SIMILAR)
[Pattern]	BR1	THIN BRICK VENEER GLEN GERY SLATE (S15-1557) EASTLINE THIN BRICK (OR SIMILAR)



**PRIMARY STREET FACADE**  
1/16" = 1'-0"



**2 WEST ELEVATION**  
3/32" = 1'-0"



**3 SITE SECTION EAST-WEST**  
1" = 20'-0"



HawkeyeHotels

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1785 VILLAGE CENTER CIRCLE SUITE 100  
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8/22/2022

PRELIMINARY DESIGN

HOME2 SUITES & TRU  
DUAL BRAND BY HILTON

5-STORY, 219 GUESTROOMS

2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068

BUILDING  
ELEVATIONS

DR\_A3.2



2 NORTH ELEVATION  
3/32" = 1'-0"

EXTERIOR FINISH LEGEND		
SYMBOL	ID	DESCRIPTION
	PT1	EIFS, PAINTED METAL, SHERWIN-WILLIAMS SPATIAL WHITE SW 6259
	PT2	EIFS, PAINTED METAL, SHERWIN-WILLIAMS IRON ORE SW 7069
	PT3	EIFS, BENJAMIN MOORE, FLOWER POWER (NO SUBSTITUTIONS)
	PT4	EIFS, PANTONE PMS #2685C (NO SUBSTITUTIONS)
	PT5	EIFS, PANTONE PMS PROCESS YELLOW (NO SUBSTITUTIONS)
	PT6	EIFS, PANTONE PMS PROCESS CYAN (NO SUBSTITUTIONS)
	PT7	EIFS, PANTONE PMS #2955C (NO SUBSTITUTIONS)
	PT8	EIFS, PANTONE PMS #317C (NO SUBSTITUTIONS)
	FC1	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE ARCTIC WHITE (OR SIMILAR)
	FC2	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE BLACK BROWN (OR SIMILAR)
	BD1	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH MISION GRAY (OR SIMILAR)
	BD2	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH BLACK BROWN (OR SIMILAR)
	BRT	THIN BRICK VENEER GLEN GERY SLATE (S15-1557) EASTLINE THIN BRICK (OR SIMILAR)



1 EAST ELEVATION  
3/32" = 1'-0"



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1785 VILLAGE CENTER CIRCLE SUITE 100  
LAS VEGAS, NV 89134. T. 702.403.1975  
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8/22/2022

PRELIMINARY DESIGN



1 SOUTH ELEVATION  
3/32" = 1'-0"

EXTERIOR FINISH LEGEND		
SYMBOL	ID	DESCRIPTION
	PT1	EIFS, PAINTED METAL, SHERWIN-WILLIAMS SPATIAL WHITE SW 6259
	PT2	EIFS, PAINTED METAL, SHERWIN-WILLIAMS IRON ORE SW 7069
	PT3	EIFS, BENJAMIN MOORE, FLOWER POWER (NO SUBSTITUTIONS)
	PT4	EIFS, PANTONE PMS #2685C (NO SUBSTITUTIONS)
	PT5	EIFS, PANTONE PMS PROCESS YELLOW (NO SUBSTITUTIONS)
	PT6	EIFS, PANTONE PMS PROCESS CYAN (NO SUBSTITUTIONS)
	PT7	EIFS, PANTONE PMS #2955C (NO SUBSTITUTIONS)
	PT8	EIFS, PANTONE PMS #317C (NO SUBSTITUTIONS)
	B01	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH MISSION GRAY (OR SIMILAR)
	B02	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH BLACK BROWN (OR SIMILAR)
	BR1	THIN BRICK VENEER GLEN GERY SLATE (S15-1567) EASTLINE THIN BRICK (OR SIMILAR)
	FC1	FIBER CEMENT PANEL SYSTEM, REVEAL, PANEL SYSTEM BY JAMES HARDIE ARCTIC WHITE (OR SIMILAR)
	FC2	FIBER CEMENT PANEL SYSTEM, REVEAL, PANEL SYSTEM BY JAMES HARDIE BLACK BROWN (OR SIMILAR)



2 WEST ELEVATION  
3/32" = 1'-0"

HOME2 SUITES & TRU  
DUAL BRAND BY HILTON  
5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 068

BUILDING  
ELEVATIONS  
(BLACK AND  
WHITE)

DR\_A3.3



**2 NORTH ELEVATION**  
3/32" = 1'-0"

EXTERIOR FINISH LEGEND		
SYMBOL	ID	DESCRIPTION
	PT1	EIFS, PAINTED METAL, SHERWIN-WILLIAMS SPATIAL WHITE SW 6259
	PT2	EIFS, PAINTED METAL, SHERWIN-WILLIAMS IRON ORE SW 7069
	PT3	EIFS, BENJAMIN MOORE, FLOWER POWER (NO SUBSTITUTIONS)
	PT4	EIFS, PANTONE PMS #2685C (NO SUBSTITUTIONS)
	PT5	EIFS, PANTONE PMS PROCESS YELLOW (NO SUBSTITUTIONS)
	PT6	EIFS, PANTONE PMS PROCESS CYAN (NO SUBSTITUTIONS)
	PT7	EIFS, PANTONE PMS #2955C (NO SUBSTITUTIONS)
	PT8	EIFS, PANTONE PMS #317C (NO SUBSTITUTIONS)
	BD1	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH MISSION GRAY (OR SIMILAR)
	BD2	FIBER CEMENT LAP SIDING HARDIEPLANK - SMOOTH BLACK BROWN (OR SIMILAR)
	BR1	THIN BRICK VENEER GLEN GERY SLATE (S15-1557) EASTLINE THIN BRICK (OR SIMILAR)
	FC1	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE ARCTIC WHITE (OR SIMILAR)
	FC2	FIBER CEMENT PANEL SYSTEM, REVEAL PANEL SYSTEM BY JAMES HARDIE BLACK BROWN (OR SIMILAR)



**1 EAST ELEVATION**  
3/32" = 1'-0"

**HOME2 SUITES & TRU**  
**DUAL BRAND BY HILTON**  
5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 066

BUILDING  
ELEVATIONS  
(BLACK AND  
WHITE)

**DR\_A3.4**



2 PERSPECTIVE VIEW 2



1 PERSPECTIVE VIEW 1

### WST LED Architectural Wall Sconce



**Specifications**

Luminaire  
 Height: 8.12"  
 Width: 12.12"  
 Depth: 10.74"  
 Weight: 25.5 lb

Optional Back Box (P5EW)  
 Height: 5.41"  
 Width: 12.12"  
 Depth: 1.71"

Optional Back Box (B5W)  
 Height: 4"  
 Width: 8.12"  
 Depth: 1.12"

**Capable Luminaire**

This luminaire is an A-rated luminaire, which has been designed and tested to provide consistent color appearance and uniform light distribution.

- All configurations of this luminaire meet the Acuity Brands' specifications for maximum luminaire efficacy.
- This luminaire is part of an A-rated luminaire that is designed to meet the Acuity Brands' specifications for maximum luminaire efficacy.
- This luminaire is part of an A-rated luminaire that is designed to meet the Acuity Brands' specifications for maximum luminaire efficacy.

To learn more about Acuity Brands' A-rated luminaire, visit [www.acuitybrands.com](http://www.acuitybrands.com).

### LITHONIA LIGHTING

#### FEATURES & SPECIFICATIONS

**LDN6**

1" OPEN END MOUNTED LED BALLAST

**Capable Luminaire**

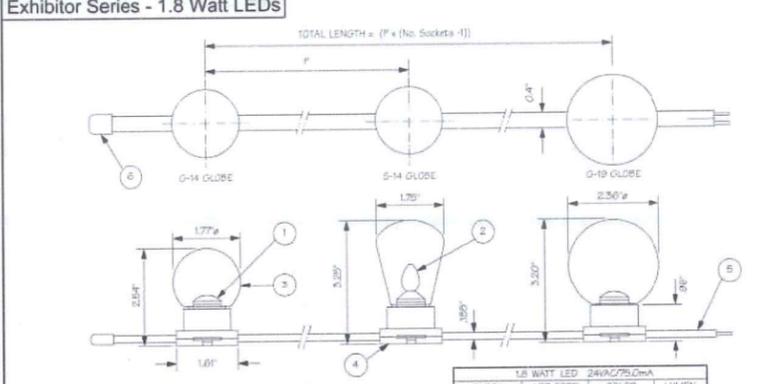
This luminaire is an A-rated luminaire, which has been designed and tested to provide consistent color appearance and uniform light distribution.

- All configurations of this luminaire meet the Acuity Brands' specifications for maximum luminaire efficacy.
- This luminaire is part of an A-rated luminaire that is designed to meet the Acuity Brands' specifications for maximum luminaire efficacy.
- This luminaire is part of an A-rated luminaire that is designed to meet the Acuity Brands' specifications for maximum luminaire efficacy.

To learn more about Acuity Brands' A-rated luminaire, visit [www.acuitybrands.com](http://www.acuitybrands.com).

Socket	Color	Beam Angle	Mounting	Material	Weight	Height	Width	Depth
1" Open End	Black	30°	Surface	Aluminum	1.2 lb	1.12"	1.12"	1.12"
1" Open End	White	30°	Surface	Aluminum	1.2 lb	1.12"	1.12"	1.12"

### Exhibitor Series - 1.8 Watt LEDs



TOTAL LENGTH = (N x No. Sockets - 1) x 1.77" + 1.61"

1.8 WATT LED 240mA/0.075A

CATALOG #	LED CODE	COLOR	LUMEN
EXHIB-1.8-LED CODE (104, 254, 018)	104	254	100
EXHIB-1.8-LED CODE (104, 254, 018)	104	254	100
EXHIB-1.8-LED CODE (104, 254, 018)	104	254	100
EXHIB-1.8-LED CODE (104, 254, 018)	104	254	100

NO.	PART	MATERIAL
1	EXHIB-1.8-LED	SOLID-STATE LED
2	EXHIB-1.8-LED	SOLID-STATE LED
3	GLOBE	POLYCARBONATE
4	SOCKET	PCB
5	#12 AWG WIRE	PVC WITH PLATED COPPER CONDUCTOR
6	END CAP	PVC

### D-Series LED Ballast



**Specifications**

Height: 1.12"  
 Width: 1.12"  
 Depth: 1.12"

**Introduction**

The D-Series LED Ballast is a fully energy-saving, long-life ballast designed to provide the way, which is the most efficient way to light your space. It is designed to meet the Acuity Brands' specifications for maximum luminaire efficacy.

Socket	Color	Beam Angle	Mounting	Material	Weight	Height	Width	Depth
1" Open End	Black	30°	Surface	Aluminum	1.2 lb	1.12"	1.12"	1.12"
1" Open End	White	30°	Surface	Aluminum	1.2 lb	1.12"	1.12"	1.12"

### D-Series Size 0 LED Area Luminaire



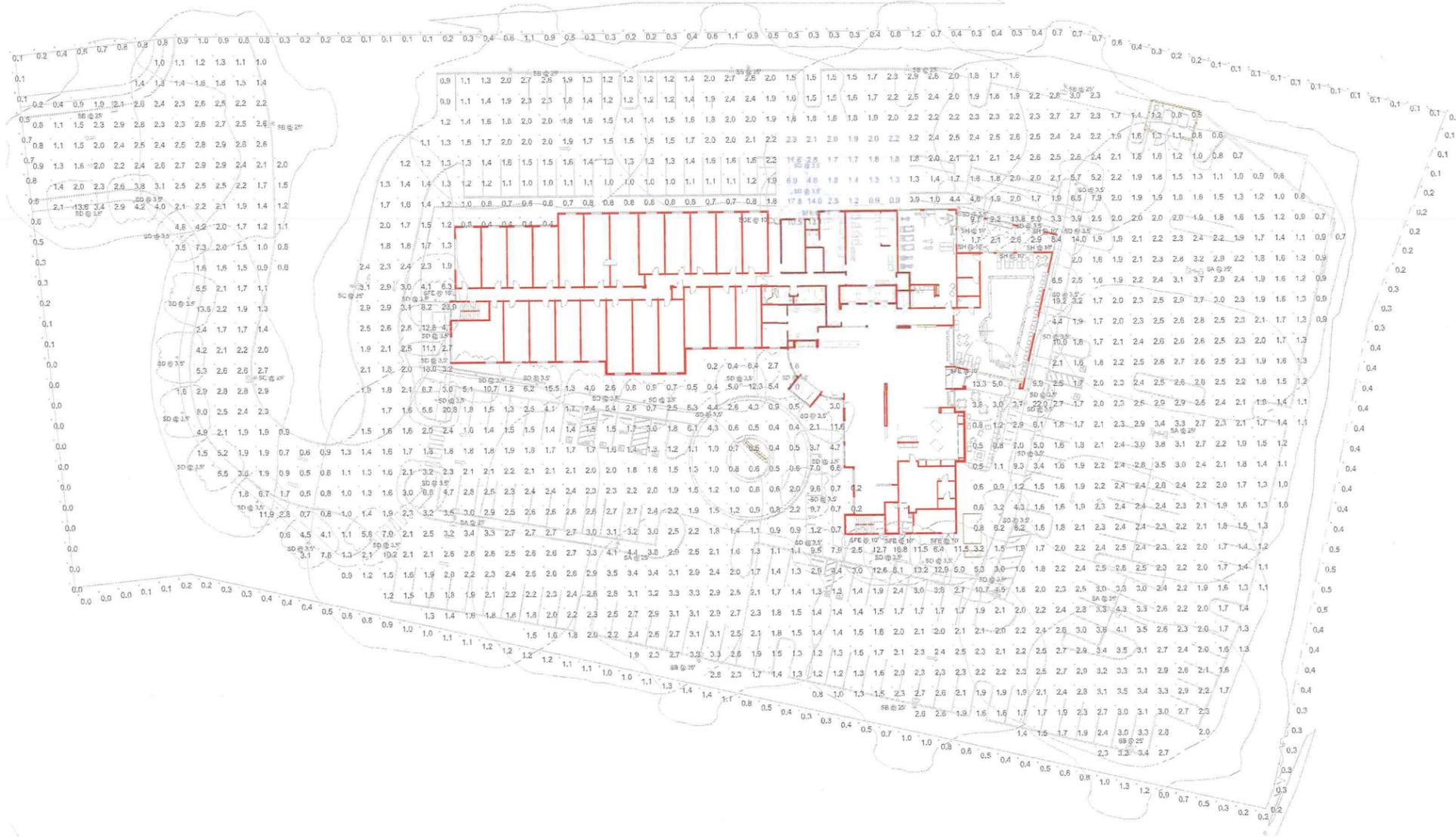
**Specifications**

Height: 4.12"  
 Width: 12.12"  
 Depth: 10.74"  
 Weight: 25.5 lb

**Introduction**

The modern styling of the D-Series is making you rethink making a bold, progressive statement with your lighting. The D-Series has the benefits of the latest in LED technology into a high performance, high-efficiency lighting luminaire. The outstanding performance results in less energy consumption and greater life expectancy and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and extended service life of over 100,000 hours.

Socket	Color	Beam Angle	Mounting	Material	Weight	Height	Width	Depth
1" Open End	Black	30°	Surface	Aluminum	1.2 lb	1.12"	1.12"	1.12"
1" Open End	White	30°	Surface	Aluminum	1.2 lb	1.12"	1.12"	1.12"



### LITHONIA LIGHTING

#### FEATURES & SPECIFICATIONS

**AFFINITY AFF**

Pressure-Resistant Architectural Emergency Light

**Specifications**

Height: 4.12"  
 Width: 12.12"  
 Depth: 10.74"  
 Weight: 25.5 lb

**Introduction**

The AFFINITY AFF is a pressure-resistant architectural emergency light designed for use in high-pressure environments. It is designed to meet the Acuity Brands' specifications for maximum luminaire efficacy.

To learn more about Acuity Brands' A-rated luminaire, visit [www.acuitybrands.com](http://www.acuitybrands.com).



**designcell** ARCHITECTURE

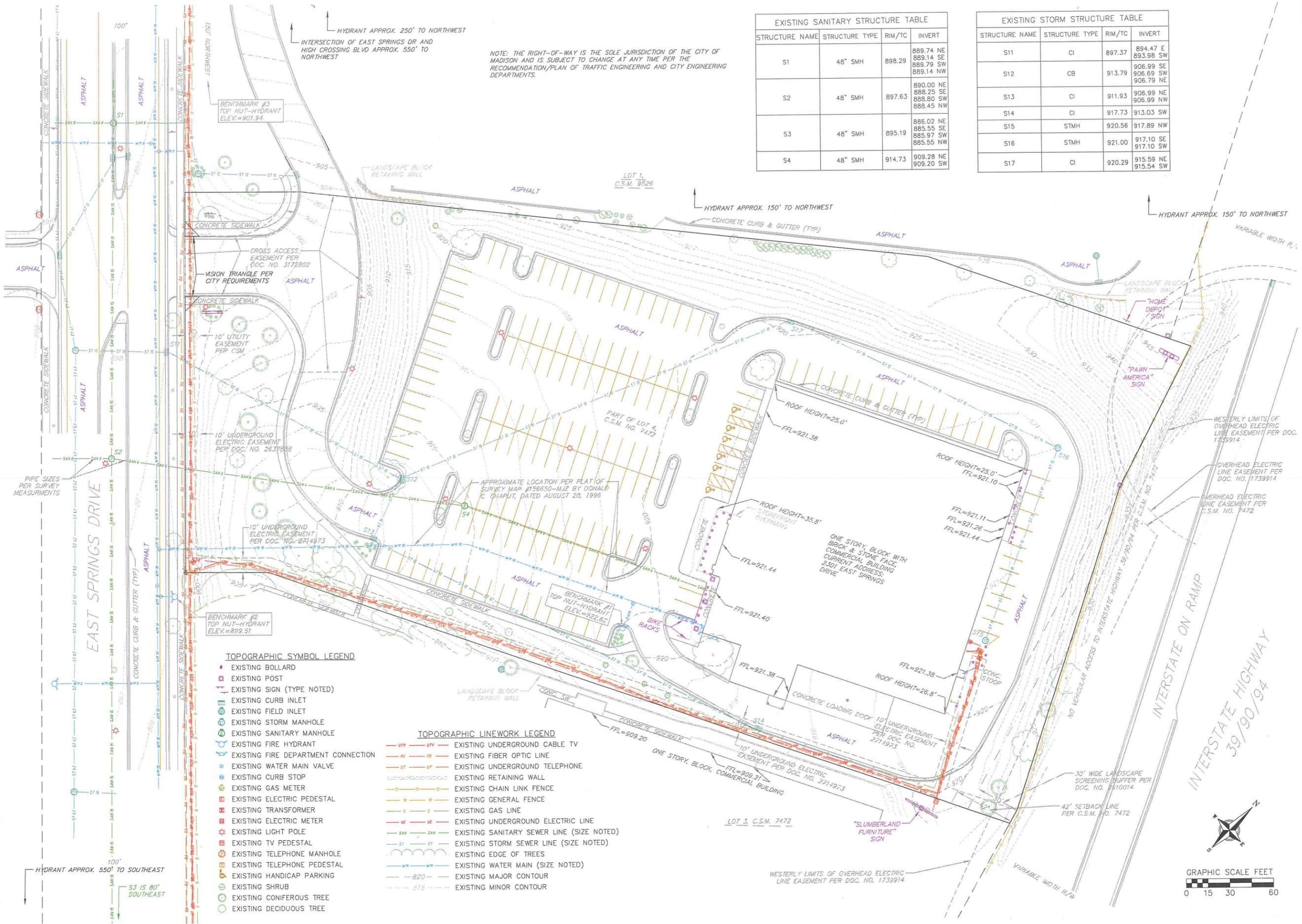
1785 VILLAGE CENTER CIRCLE SUITE 100  
 LAS VEGAS, NV 89134, T. 702 405-1575  
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8/22/2022  
 PRELIMINARY DESIGN

**HOME2 SUITES & TRU**  
**DUAL BRAND BY HILTON**  
 5-STORY, 219 GUESTROOMS  
 2403 EAST SPRINGS DRIVE, MADISON, WI 53704

PROJECT NUMBER: 18 088  
 PHOTOMETRIC STUDY

DR\_P1.0



**EXISTING SANITARY STRUCTURE TABLE**

STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S1	48" SMH	898.29	889.74 NE 889.14 SE 889.79 SW 889.14 NW
S2	48" SMH	897.63	890.00 NE 888.25 SE 888.80 SW 888.45 NW
S3	48" SMH	895.19	886.02 NE 885.55 SE 885.97 SW 885.55 NW
S4	48" SMH	914.73	909.28 NE 909.20 SW

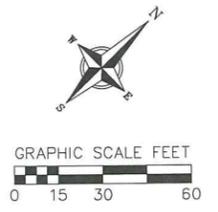
**EXISTING STORM STRUCTURE TABLE**

STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S11	CI	897.37	894.47 E 893.98 SW
S12	CB	913.79	906.99 SE 906.69 SW 906.79 NE
S13	CI	911.93	906.99 NE 906.99 NW
S14	CI	917.73	913.03 SW
S15	STMH	920.56	917.89 NW
S16	STMH	921.00	917.10 SE 917.10 SW
S17	CI	920.29	915.59 NE 915.54 SW

- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
  - EXISTING POST
  - EXISTING SIGN (TYPE NOTED)
  - EXISTING CURB INLET
  - EXISTING FIELD INLET
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING FIRE DEPARTMENT CONNECTION
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP
  - EXISTING GAS METER
  - EXISTING ELECTRIC PEDESTAL
  - EXISTING TRANSFORMER
  - EXISTING ELECTRIC METER
  - EXISTING LIGHT POLE
  - EXISTING TV PEDESTAL
  - EXISTING TELEPHONE MANHOLE
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING HANDICAP PARKING
  - EXISTING SHRUB
  - EXISTING CONIFEROUS TREE
  - EXISTING DECIDUOUS TREE

- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING UNDERGROUND CABLE TV
  - EXISTING FIBER OPTIC LINE
  - EXISTING UNDERGROUND TELEPHONE
  - EXISTING RETAINING WALL
  - EXISTING CHAIN LINK FENCE
  - EXISTING GENERAL FENCE
  - EXISTING GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - EXISTING STORM SEWER LINE (SIZE NOTED)
  - EXISTING EDGE OF TREES
  - EXISTING WATER MAIN (SIZE NOTED)
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR

NOTE: THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



**SITE CONSTRUCTION NOTES:**

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
4. REFER TO ARCHITECTURAL PLANS FOR BIKE RACK DETAIL.

NOTE: THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

**Parking Lot Plan Site Information Block**

Site Address: 2403 East Springs Drive  
 Site acreage (total) = 4.61 acres

Number of bicycle stalls shown: 0 floor mounted internal stalls  
 0 internal vertical stalls  
 22 external stalls

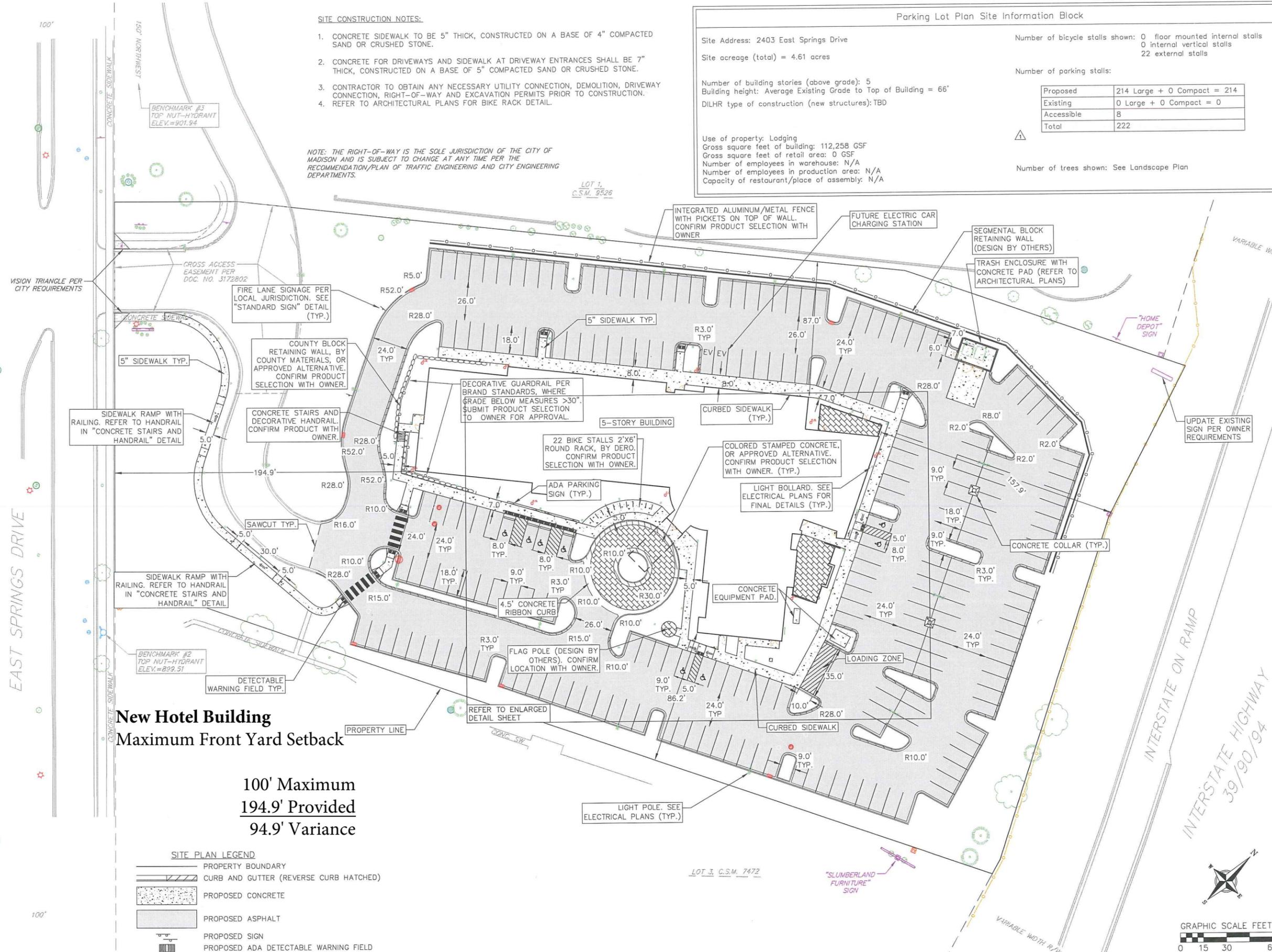
Number of building stories (above grade): 5  
 Building height: Average Existing Grade to Top of Building = 66'  
 DILHR type of construction (new structures): TBD

Number of parking stalls:

Proposed	214 Large + 0 Compact = 214
Existing	0 Large + 0 Compact = 0
Accessible	8
Total	222

Use of property: Lodging  
 Gross square feet of building: 112,258 GSF  
 Gross square feet of retail area: 0 GSF  
 Number of employees in warehouse: N/A  
 Number of employees in production area: N/A  
 Capacity of restaurant/place of assembly: N/A

Number of trees shown: See Landscape Plan

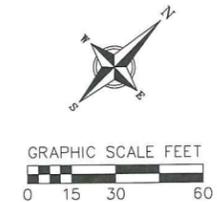


**New Hotel Building  
 Maximum Front Yard Setback**

**100' Maximum  
 194.9' Provided  
 94.9' Variance**

**SITE PLAN LEGEND**

	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED SIGN
	PROPOSED ADA DETECTABLE WARNING FIELD
	PROPOSED HANDICAP PARKING
	PROPOSED LIGHT POLE





5-STORY BUILDING

LIGHT BOLLARD. SEE ELECTRICAL PLANS FOR FINAL DETAILS (TYP.)

22 BIKE STALLS 2'X6' ROUND RACK, BY DERO. CONFIRM PRODUCT SELECTION WITH OWNER.

COLORED STAMPED CONCRETE, OR APPROVED ALTERNATIVE. CONFIRM PRODUCT SELECTION WITH OWNER. (TYP.)

FREE STANDING WALL, FENCING AND PATIO AREA. REFER TO STRUCTURAL & ARCHITECTURAL PLAN. (TYP.)

BEGIN TAPERING CURB HEAD FROM 6" TO 0"

ADA PARKING SIGN (TYP.)

WHEEL STOP (TYP.)

TAPER CURB HEAD FROM 6" TO 0" OVER A MINIMUM OF 6 FEET

TAPER CURB HEAD FROM 6" TO 0" OVER A MINIMUM OF 6 FEET

BEGIN TRANSITION FROM REJECT CURB TO TYPICAL CURB

CONCRETE EQUIPMENT PAD.

FLAG POLE (DESIGN BY OTHERS). CONFIRM LOCATION WITH OWNER.

TAPER CURB HEAD FROM 6" TO 0" OVER A MINIMUM OF 6 FEET

LOADING ZONE

CURBED SIDEWALK

05 Aug 2022 - 11:54a M:\Hawkeye Hotels\180375\_2301 E Springs Dr\CADD\180375 - Base.dwg by: cdm

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8/8/2022  
CITY SUBMITTAL



**HOME2 SUITES & TRU BY HILTON**  
5-STORY, 219 GUESTROOMS

PROJECT NUMBER: 18 068  
SITE PLAN  
DETAIL

**C3.1**

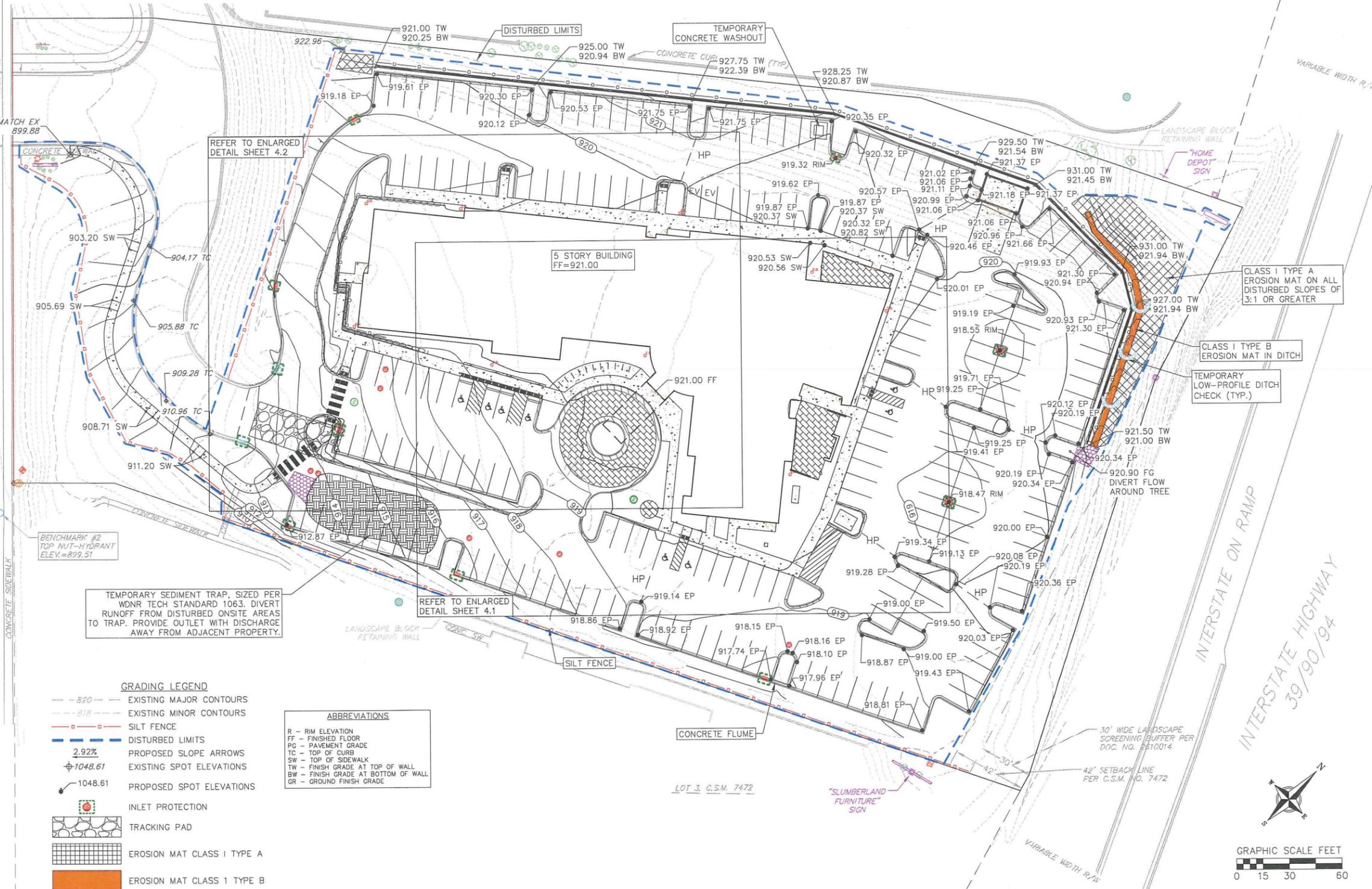
2403 EAST SPRINGS DR., MADISON, WI 53704

**GENERAL NOTES:**

1. INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
2. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
3. UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. ALL UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
6. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
7. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
8. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
9. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
10. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
11. INSTALL WATER MAIN/SERVICES AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS.
12. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
13. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY POLYSTYRENE INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER SERVICE LATERALS.
14. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING.

FINAL GRADES SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.

15. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% MAX UNLESS OTHERWISE NOTED.
16. LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
17. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
18. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
19. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.



EAST SPRINGS DRIVE

INTERSTATE ON RAMP  
INTERSTATE HIGHWAY  
39/90/94

**GRADING LEGEND**

- 820 - EXISTING MAJOR CONTOURS
- 818 - EXISTING MINOR CONTOURS
- - - - SILT FENCE
- - - - DISTURBED LIMITS
- 2.92% PROPOSED SLOPE ARROWS
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- INLET PROTECTION
- TRACKING PAD
- EROSION MAT CLASS I TYPE A
- EROSION MAT CLASS I TYPE B

**ABBREVIATIONS**

- R - RIM ELEVATION
- FF - FINISHED FLOOR
- PG - PAVEMENT GRADE
- TC - TOP OF CURB
- SW - TOP OF SIDEWALK
- TW - FINISH GRADE AT TOP OF WALL
- BW - FINISH GRADE AT BOTTOM OF WALL
- GR - GROUND FINISH GRADE

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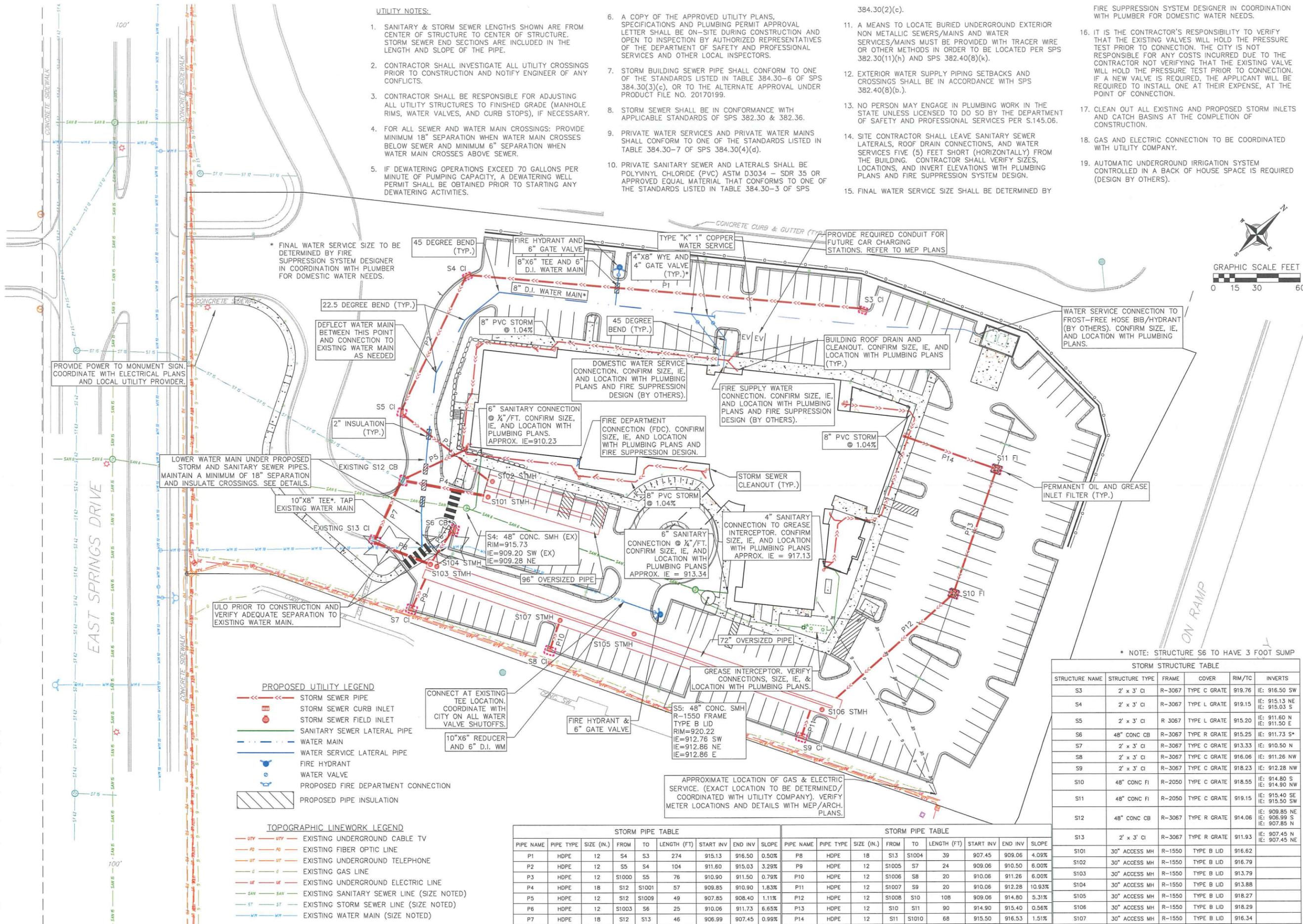
2403 EAST SPRINGS DR., MADISON, WI 53704

PROJECT NUMBER: 18 068  
**GRADING AND EROSION CONTROL PLAN**

**C4.0**





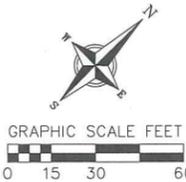


**UTILITY NOTES:**

- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c), OR TO THE ALTERNATE APPROVAL UNDER PRODUCT FILE NO. 20170199.
- STORM SEWER SHALL BE IN CONFORMANCE WITH APPLICABLE STANDARDS OF SPS 382.30 & 382.36.
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).

**384.30(2)(c).**

- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(11)(h) AND SPS 382.40(b)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(b)(b.).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY SEWER LATERALS, ROOF DRAIN CONNECTIONS, AND WATER SERVICES FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. CONTRACTOR SHALL VERIFY SIZES, LOCATIONS, AND INVERT ELEVATIONS WITH PLUMBING PLANS AND FIRE SUPPRESSION SYSTEM DESIGN.
- FINAL WATER SERVICE SIZE SHALL BE DETERMINED BY FIRE SUPPRESSION SYSTEM DESIGNER IN COORDINATION WITH PLUMBER FOR DOMESTIC WATER NEEDS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- GAS AND ELECTRIC CONNECTION TO BE COORDINATED WITH UTILITY COMPANY.
- AUTOMATIC UNDERGROUND IRRIGATION SYSTEM CONTROLLED IN A BACK OF HOUSE SPACE IS REQUIRED (DESIGN BY OTHERS).



\* FINAL WATER SERVICE SIZE TO BE DETERMINED BY FIRE SUPPRESSION SYSTEM DESIGNER IN COORDINATION WITH PLUMBER FOR DOMESTIC WATER NEEDS.

WATER SERVICE CONNECTION TO FROST-FREE HOSE BIB/HYDRANT (BY OTHERS). CONFIRM SIZE, IE, AND LOCATION WITH PLUMBING PLANS.

\* NOTE: STRUCTURE S6 TO HAVE 3 FOOT SUMP

**PROPOSED UTILITY LEGEND**

- S S --- STORM SEWER PIPE
- S S --- STORM SEWER CURB INLET
- S S --- STORM SEWER FIELD INLET
- S S --- SANITARY SEWER LATERAL PIPE
- W W --- WATER MAIN
- W W --- WATER SERVICE LATERAL PIPE
- F F --- FIRE HYDRANT
- V V --- WATER VALVE
- P P --- PROPOSED FIRE DEPARTMENT CONNECTION
- I I --- PROPOSED PIPE INSULATION

**TOPOGRAPHIC LINework LEGEND**

- UTY --- EXISTING UNDERGROUND CABLE TV
- FO --- EXISTING FIBER OPTIC LINE
- UT --- EXISTING UNDERGROUND TELEPHONE
- G --- EXISTING GAS LINE
- UE --- EXISTING UNDERGROUND ELECTRIC LINE
- SAN --- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST --- EXISTING STORM SEWER LINE (SIZE NOTED)
- WM --- EXISTING WATER MAIN (SIZE NOTED)

**STORM PIPE TABLE**

PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P1	HDPE	12	S4	S3	274	915.13	916.50	0.50%
P2	HDPE	12	S5	S4	104	911.60	915.03	3.29%
P3	HDPE	12	S1000	S5	76	910.90	911.50	0.79%
P4	HDPE	18	S12	S1001	57	909.85	910.90	1.83%
P5	HDPE	12	S12	S1009	49	907.85	908.40	1.11%
P6	HDPE	12	S1003	S6	25	910.06	911.73	6.65%
P7	HDPE	18	S12	S13	46	906.99	907.45	0.99%

**STORM PIPE TABLE**

PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P8	HDPE	18	S13	S1004	39	907.45	909.06	4.09%
P9	HDPE	12	S1005	S7	24	909.06	910.50	6.00%
P10	HDPE	12	S1006	S8	20	910.06	911.26	6.00%
P11	HDPE	12	S1007	S9	20	910.06	912.28	10.93%
P12	HDPE	12	S1008	S10	108	909.06	914.80	5.31%
P13	HDPE	12	S10	S11	90	914.90	915.40	0.56%
P14	HDPE	12	S11	S1010	68	915.50	916.53	1.51%

**STORM STRUCTURE TABLE**

STRUCTURE NAME	STRUCTURE TYPE	FRAME	COVER	RIM/TC	INVERTS
S3	2' x 3' CI	R-3067	TYPE C GRATE	919.76	IE: 916.50 SW IE: 915.13 NE IE: 915.03 S
S4	2' x 3' CI	R-3067	TYPE L GRATE	919.15	IE: 911.60 N IE: 911.50 E
S5	2' x 3' CI	R-3067	TYPE L GRATE	915.20	IE: 911.73 S*
S6	48" CONC CB	R-3067	TYPE R GRATE	915.25	IE: 911.60 N IE: 910.50 N
S7	2' x 3' CI	R-3067	TYPE C GRATE	913.33	IE: 911.26 NW IE: 912.28 NW
S8	2' x 3' CI	R-3067	TYPE C GRATE	916.06	IE: 914.80 S IE: 914.90 NW
S9	2' x 3' CI	R-3067	TYPE C GRATE	918.23	IE: 915.40 SE IE: 915.50 SW
S10	48" CONC FI	R-2050	TYPE C GRATE	918.55	IE: 909.85 NE IE: 906.99 S IE: 907.85 N
S11	48" CONC FI	R-2050	TYPE C GRATE	919.15	IE: 907.45 N IE: 907.45 N
S12	48" CONC CB	R-3067	TYPE R GRATE	914.06	IE: 907.45 N IE: 907.45 N
S13	2' x 3' CI	R-3067	TYPE R GRATE	911.93	IE: 913.79
S101	30" ACCESS MH	R-1550	TYPE B LID	916.62	
S102	30" ACCESS MH	R-1550	TYPE B LID	916.79	
S103	30" ACCESS MH	R-1550	TYPE B LID	913.79	
S104	30" ACCESS MH	R-1550	TYPE B LID	913.88	
S105	30" ACCESS MH	R-1550	TYPE B LID	918.27	
S106	30" ACCESS MH	R-1550	TYPE B LID	918.29	
S107	30" ACCESS MH	R-1550	TYPE B LID	916.34	

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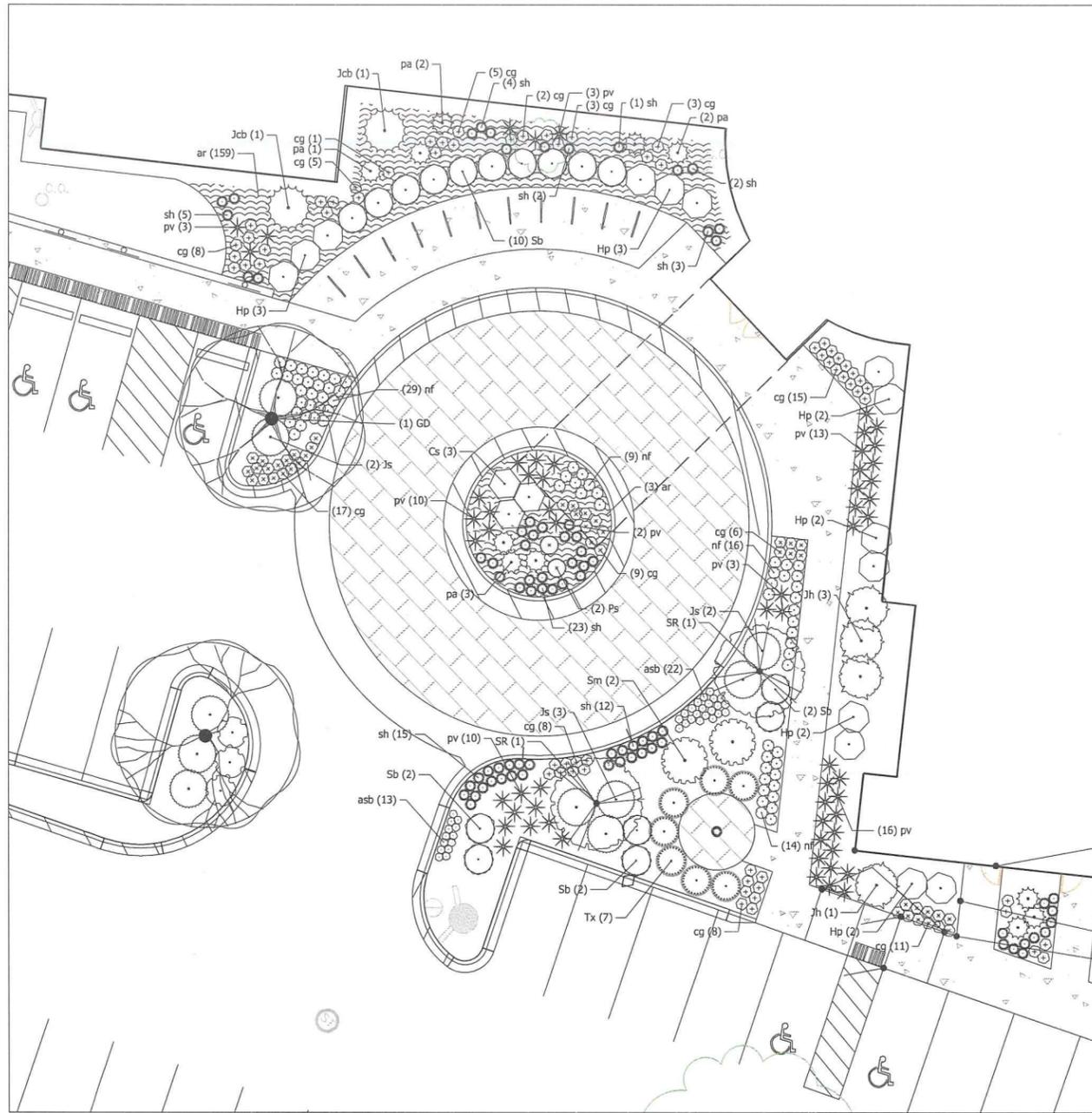
**HOME2 SUITES & TRU BY HILTON**  
5-STORY, 219 GUESTROOMS  
2403 EAST SPRINGS DR., MADISON, WI 53704

PROJECT NUMBER: 18 068  
**UTILITY PLAN**

**C5.0**



HOTEL ENTRANCE/DROPOFF AREA ENLARGEMENT



PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS	
AF	Acer x freemanii 'Jeffersred' / Autumn Blaze Maple	B & B	2.5"	Cal	6	40-50' x 40'	
CO	Celtis occidentalis / Common Hackberry	B & B	2.5"	Cal	7	40-60' x 40-60'	
GB	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B & B	2.5"	Cal	5	45' x 35'	
GTS	Gleditsia triacanthos 'Inermis' 'Skycole' TM / Skyline Thornless Honey Locust	B & B	2.5"	Cal	9	50-60' w x 35-45' w	
GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2.5"	Cal	8	50' h x 35' w	
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS	
Pc	Picea pungens / Colorado Spruce	B & B		6' ht.	9	40-60' x 20-30'	
Pc	Picea pungens 'Sester Dwarf' / Sester Dwarf Blue Spruce	10 gal			2	6-8' x 2-3'	
EXISTING STREET TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS	
Ex AF	Acer x freemanii / Freeman Maple	Existing			1		
Ex GT	Gleditsia triacanthos / Honey Locust	Existing			1		
Ex UX	Ulmus x / Hybrid Elm	Existing			3		
UNDERSTORY TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS	
CF	Carpinus caroliniana 'Firespire' TM / American Hornbeam	B & B	2"	Cal	2	20' x 8-10'	
CC	Crataegus crus-galli 'Inermis' / Thornless Hawthorn	B & B	2"	Cal	5	20-30' h x 25-35' w	
MA	Malus x 'Adams' / Adams Crabapple	B & B	2"	Cal	3		
SR	Syringa reticulata 'Ivory Pillar' / Ivory Pillar Japanese Tree Lilac	B & B	2"	Cal	5	20-25' h x 10-15' w	
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	SIZE	FIELD2	FIELD3	QTY	REMARKS	
Cs	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal	Cont		41	5-6' x 5-6'	
DI	Dieris lonicera / Dwarf Bush Honeysuckle	3 gal			11	3-4' h x 4-5' w	
Hp	Hydrangea paniculata 'Jane' / Little Lime Hydrangea	5 gal	Cont		36	3-5' x 3-5'	
Po	Physocarpus opulifolius / Ninebark	5 gal	Cont		10	8-10' x 8-10'	
Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal			47	2-3' h x 6-8' w	
Sc	Sambucus canadensis / Elderberry	5 gal	Cont		13	5-12' x 5-12'	
Sb	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	3 gal			24	2-3' x 3-4'	
Sm	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	7 gal	Cont		5	4-5' x 5-7'	
Vc	Viburnum carlesii 'Spice Island' / Korean Spice Viburnum	5 gal	Cont		4	4-5' x 5-6'	
Vb	Viburnum prunifolium / Blackhaw Viburnum	7 gal	Cont		6	10-15' x 12-15'	
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	SIZE	FIELD2	FIELD3	QTY	REMARKS	
Jcb	Juniperus chinensis 'Blue Point' / Blue Point Juniper	10 gal	Cont		2	12' x 8'	
Jh	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal	Cont		6	8-10' x 6-8'	
Js	Juniperus sabinia 'Buffalo' / Buffalo Juniper	5 gal	Cont		46	12' x 4-6'	
Tx	Taxus x media 'Everlow' / Yew	5 gal	Cont		19	2-3' x 4-5'	
PERENNIALS	BOTANICAL / COMMON NAME	SIZE	FIELD2	FIELD3	QTY	REMARKS	
asb	Allium x 'Summer Beauty' / Summer Beauty Allium	4" pot	Cont		76		
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	Cont		33	3-5' h x 2' w	
cg	Cortaderia grandiflora 'Early Sunrise' / Early Sunrise Coreopsis	4" pot			111	15" h x 15"	
he	Heuchera x 'Berry Timeless' / Coral Bells	4" pot	Cont		6	8-10" x 20"	
ho	Hosta x 'Big Daddy' / Plantain Lily	1 gal	Cont		22	18-24" x 3-4'	
ms	Matteuccia struthiopteris / Ostrich Fern	1 gal	Cont		15	2-4' x 2-4'	
nf	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	4" pot			68	10" x 18"	
pv	Panicum virgatum 'Heavy Metal' / Blue Switch Grass	1 gal	Cont		60	3-4' h x 2-3' w	
pa	Perovskia atriplicifolia / Russian Sage	1 gal			27	3-4' x 3-4'	
ss	Schizachyrium scoparium / Little Bluestem Grass	1 gal	Cont		76	2-3' x 12-18"	
sh	Sporobolus heterolepis / Prairie Dropseed	4" pot	Cont		173	24" x 18"	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	FIELD2	FIELD3	SPACING	QTY	REMARKS
ar	Ajuga reptans 'Chocolate Chip' / Chocolate Chip Bugleweed	2" X 4" PLUG			18" o.c.	162	

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by LaCrosse Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with 1.5" Mississippi River Rock to 3" depth min. over weed barrier fabric. Edge unenclosed beds with commercial grade aluminum landscape edging, Permaloc CleanLine 3/4" x 4" or equal color black anodized. Provide 24" wide stone maintenance strip along base of foundation where no landscape bed is shown. Edge to match landscape beds.

05 Aug 2022 - 12:08p M:\Howkeye Hotels\180375\_2301 E Springs DR\CADD\180375 - Landscape.dwg by: cftn

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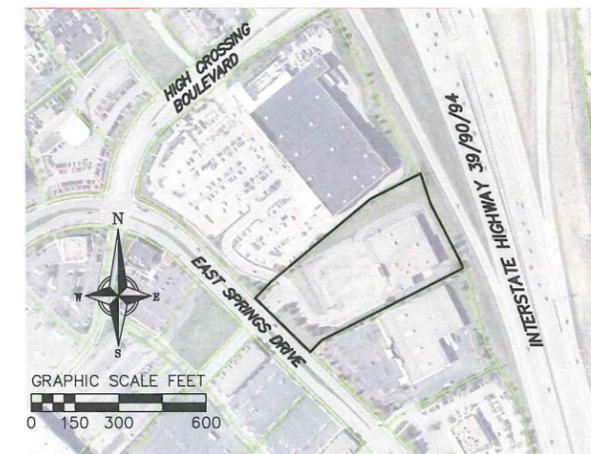
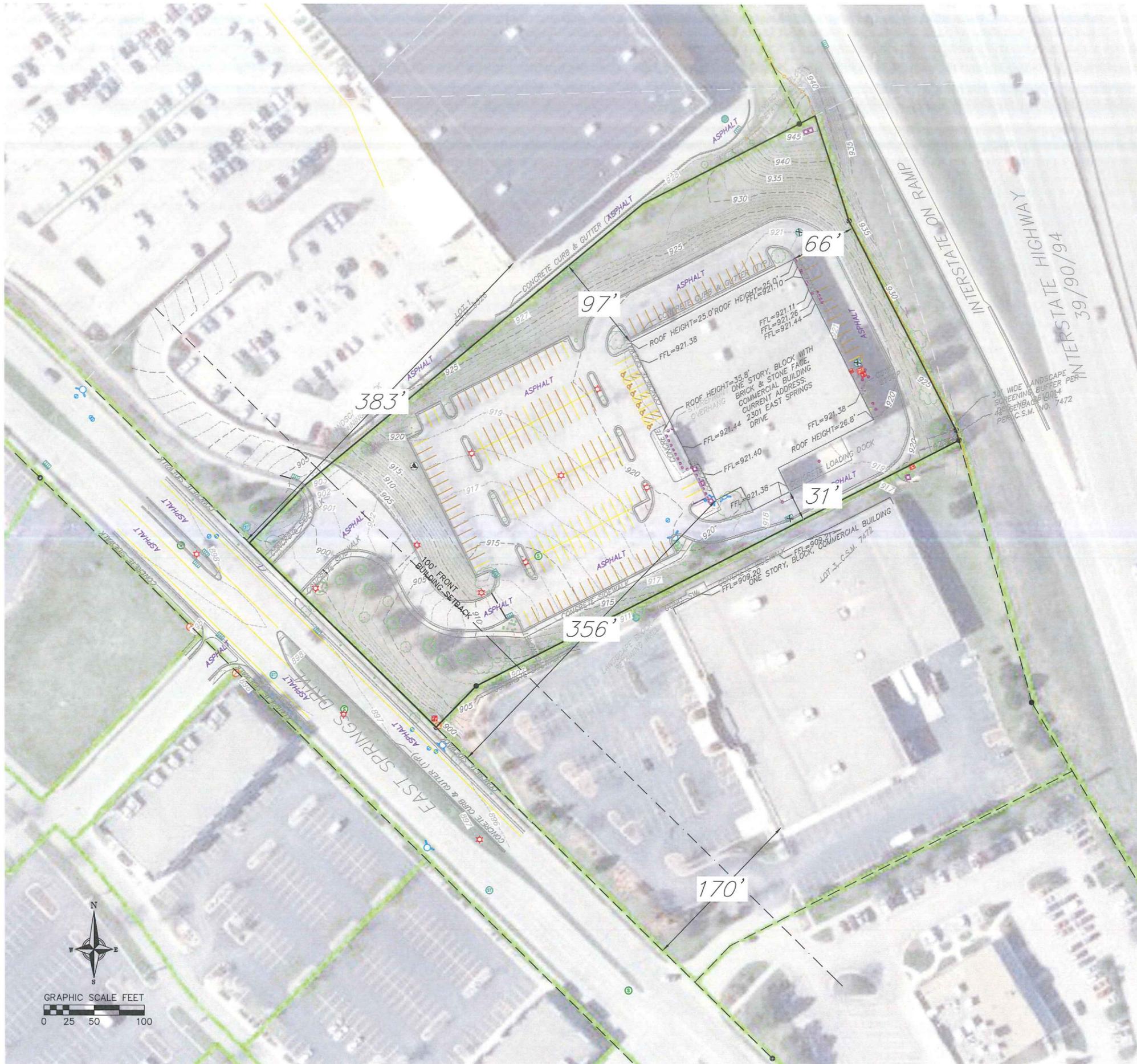
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PROJECT NUMBER: 18-068  
**LANDSCAPE  
DETAIL**

**L1.1**



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**HOME2 SUITES & TRU BY HILTON**  
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PROJECT NUMBER: 18-068  
**SETBACK EXHIBIT**

**EXH 1**