

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 222 N. Charter Street

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested January 24, 2018

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex
- Signage**
 Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
- Other**
 Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Randy Bruce Company Knothe & Bruce Architects, LLC

Street address 7601 University Avenue, Suite 201 City/State/Zip Middleton, WI 53562

Telephone 608-836-3690 Email rbruce@knothebruce.com

Project contact person same as applicant Company _____

Street address _____ City/State/Zip _____

Telephone _____ Email _____

Property owner (if not applicant) Stoppel Revocable Trust

Street address 1202 Regent Street City/State/Zip Madison, WI 53715

Telephone 608-251-8777 Email jim@madisonproperty.com

5. Required Submittal Materials

- Application Form
- Letter of Intent
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans (Refer to checklist provided below for plan details)
- Filing fee
- Electronic Submittal*



Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

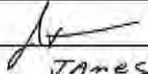
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Chris Wells, Kevin Firchow on 9/13/2017.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Randy Bruce Relationship to property Architect
 Authorized signature of Property Owner  Date 12-01-2016
JAMES STIPPLE - MANAGING PARTNER

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information what should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

December 6, 2017

Ms. Heather Stouder
Department of Planning & Development
City of Madison
146 S. Hamilton Street
PO Box 2985
Madison, Wisconsin 53701



Re: Letter of Intent
222 N. Charter St.
KBA Project # 1304

Ms. Heather Stouder:

The following is submitted together with the plans for Plan Commission and staff review.

Organizational structure:

Owner:	Stoppel Revocable Trust 1202 Regent St. Madison, WI 53715 608-268-4912 Contact: Jim Stoppel jim@madisonproperty.com	Landscape Design:	Olson Toon Landscaping 4387 Schwartz Rd. Middleton, WI 53562 (608) 827-9401 Contact: Rich Carlson rich@olsontoon.com
Engineer:	Vierbicher Associates, Inc. 999 Fourier Drive, Suite 201 Madison, WI 53717 (608) 826-0532 Contact: Joe Doyle jdoyle@vierbicher.com	Architect:	Knothe & Bruce Architects, LLC 7601 University Avenue, Ste 201 Middleton, WI 53562 608-836-3690 Contact: Randy Bruce rbruce@knothebruce.com

Introduction:

The subject property is located at 222 N. Charter St. This proposal requests a rezoning from TR-U2 zoning to Planned Development zoning to allow the development of a student housing building consistent with the Regent Street - South Campus Neighborhood Plan. The building will bring additional high-quality housing for the UW students to the edge of the UW campus and further reduce the impacts of student housing on the Vilas and Capitol neighborhoods.

An analysis of the neighborhood plan and the rationale for Planned Development zoning is included as an attachment to this letter of intent.

Project Description:

The proposed project is a 12-story student housing building located on Charter Street between W. Johnson St. and W. Dayton St. The location is ideally located to serve the UW students and allows students to walk to most of their destinations.

The small site is efficiently utilized. To lighten the buildings footprint, the first floor is smaller than the upper levels and an arcade surrounds most of the west, south and east elevations. At the northeast corner of the building the arcade provides for the main pedestrians entry. At the southern face of the building the arcade forms a covered porch for the residents use taking advantage of the southern exposure and open space that the rail corridor provides. Based on feedback from the Urban Design commission, the current design brings the all-glass wall of the common room to the Charter Street face of the building and interrupting the arcade along Charter Street.

The building has a clearly defined three and four-story base defined by the smooth cast stone masonry with expansive windows. The mid-levels use an exterior of brick, architectural composite metal panels and the break from the building base is further defined along Charter Street with a one-foot offset. The top of the building is also clearly defined and covered in the architectural metal panel. The building steps back at the 12th floor to provide a common room for study and social gatherings that opens onto a generous rooftop terrace. In addition to the open space provided at the rooftop terrace and ground floor level arcade, usable balconies are provided for most apartments.

Bicycle parking is predominately located in the basement with access obtained either from the elevator or a bike ramp along the south stairway. Guest bike and moped parking is also provided under the arcade on the front and rear of the building as is a short-term loading zone on the southeast corner.

Site Development Data:

Densities:

Total Lot Area	5,812 S.F. / .1334 Acres
Dwelling Units	43 units
Bedrooms	96 bedrooms
Density	322 units/acre
	719 bedrooms/acre
Lot Coverage	5,206 S.F. (89.5%)
Usable Open Space	2,772 S.F.

Building Height	12 stories
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Dwelling Unit Mix:

One Bedroom	11
Two Bedroom	21
Three Bedroom	1
<u>Four Bedroom</u>	<u>10</u>
Total Dwelling Units	43

Bicycle & Moped Parking:


Bike Surface	4 stalls
Bike Surface Guest	4 stalls
Moped Surface	20 stalls
Bike Underground Garage – Wall Hung	42 stalls
<u>Bike Underground Garage STD. 2'x6'</u>	<u>40 stalls</u>
Total	110 stall

Project Schedule:

It is anticipated to begin construction in Summer 2018 with completion scheduled for summer 2019.

Thank you for your time reviewing our proposal.

Sincerely,



J. Randy Bruce, AIA
Managing Member

**Analysis of the Regent Street/South Campus Plan
relating to a proposed development at 222 N. Charter St.**

December 6, 2017

**Prepared by WhiteFish Partners and Knothe & Bruce
Architects for Madison Property Management**

The property located on 222 N. Charter is a five bedroom house built in 1901. It is situated on a 5,800 square foot lot and is owned by Madison Property Management (MPM).



The property is currently zoned TR-U2. The current zoning, and especially the setback requirements, would limit redevelopment of that site to a three to four story building with either 6 three-bedroom units or 9 two-bedroom units; consequently, this limitation makes new construction on this site inconsistent with the goals of the neighborhood plan. In order for a project to move forward with a density that meets the goal of providing high-density housing adjacent to the UW

campus, we believe a planned development zoning is necessary.

Working with Knothe & Bruce Architects, we have studied the 2007 Regent Street/South Campus plan and met with city staff, Vierbicher Consultants (who developed the plan), and Alder Wood to discuss options for the redevelopment of the site.

A fundamental strategy of the plan is the development of high density apartments north of Regent St. to provide more walkable residential choices closer to campus buildings for students. The report indicates “increasing the density of student housing north of Regent St. should serve to attract students currently living south of Regent St. which could open up the area south of Regent St. for more owner-occupancy”. It also notes that “the planning area, which is one of the most convenient off-campus locations, is currently capturing less than 10% of the 35,000 students who seek off-campus housing each year.” Our location is within two blocks of more than 25 different campus buildings including Union South, the Institutes for Discovery, Chemistry, the Education complex, part of the Medical School, Engineering and Computer Science. The plan also points out that, “the South Campus’ main problems were incompatible land uses, underutilized land, and blighted conditions produced by dilapidated buildings....” Our project situated between Dayton and Johnson Streets responds to those issues. It is also why the plan establishes a 12 story maximum height for our zone north of Dayton Street.



The project design incorporates the concepts of the setback and step back requirements for Charter St. in the neighborhood plan: The Charter St. profile is located on Charter St. at Spring St. That zone has an 8 story maximum height with a 10' setback and a 10' step back on the 4th floor. The Dayton St. profile has a 12 story maximum and a 10' setback with no required step back.

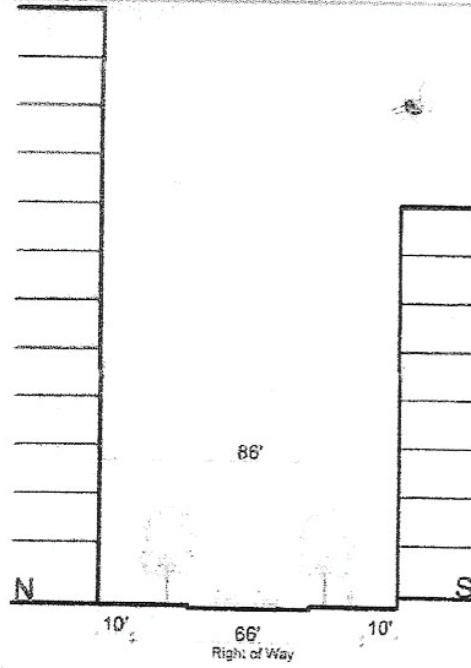
This project incorporates the 12 story maximum height described in the plan for this zone. It also creates a covered arcade on most of the west, south and Charter Street facades. The neighborhood plan guidelines include the 10-foot set backs for the entire building to provide for a better pedestrian

experience. Our design reflects that same outcome on the first floor and then resumes the larger footprint above the ground floor. The Charter Street frontage includes a 9-foot terrace, an 8-foot sidewalk, a 3-foot setback and a 10-foot covered arcade pulling the majority of the building back 30 feet from the curb. The rail corridor arcade also creates space between the building and any eventual uses within the right of way.

These covered arcades are activated as covered building entries, plaza space for outdoor seating on the south side and as moped and bike parking on the east side. The ground floor arcade has extra height to accentuate the space created, 14 feet on the south end above the covered porch area adjacent to the rail corridor and 10 ½ feet on the north corner. The interior space will be open for a lobby and fitness area with clear views. We believe this design reflects the intent of the plan to create a high quality pedestrian experience both on Charter Street and along the rail corridor.

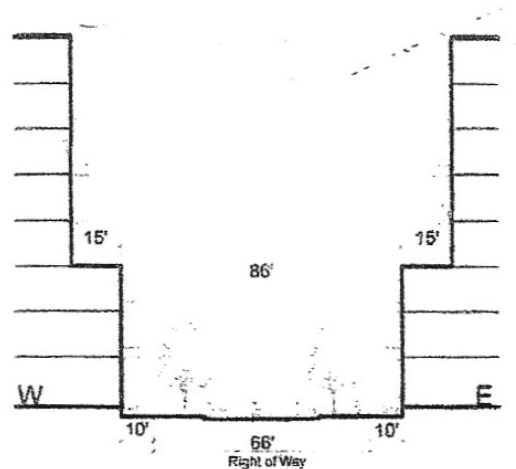
We have incorporated comments from the plan commission and Urban Design Commission into our proposed plan. Based on the UDC comments we have reduced the extent of the arcade along Charter Street. Attached is an alternative first floor plan that keeps the arcade along the entire Charter Street façade if the City staff and commissions prefer the full arcade.

Urban Design



12: Dayton Street

Maximum Stories:	North side: 12 South side: 8
Maximum Building Height:	North side: 172 feet South side: 116 feet
Minimum Stories:	3
Building Stepback:	None required
Building Setback:	10 feet



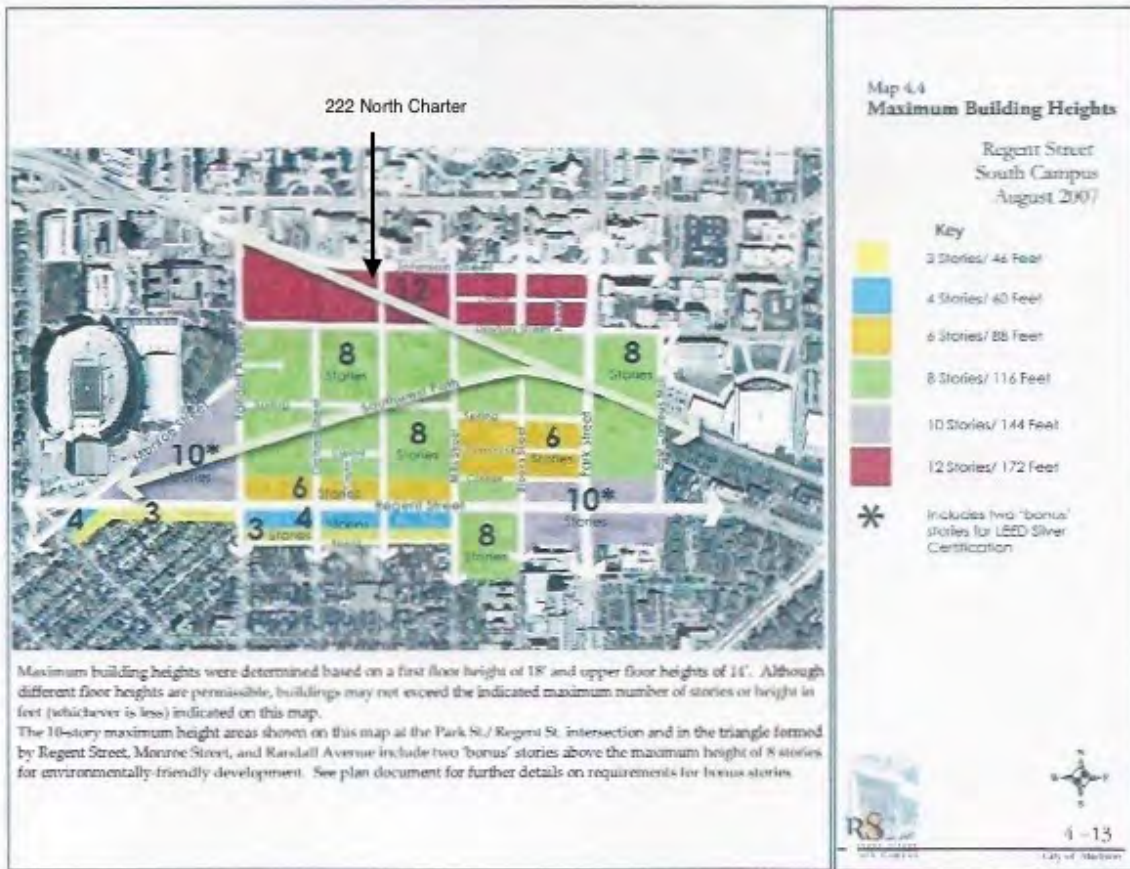
4: Charter Street

Maximum Stories:	8
Maximum Building Height:	116 feet
Minimum Stories:	3
Building Stepback:	15 feet, above the 3rd floor
s) Building Setback:	10 feet

The neighborhood plan also identifies Dayton St. as the northern perceived edge between the campus and the mixed use area to the south. This is also why the area north of Dayton St., including 222 N. Charter St. is given a higher, 12 story height maximum.



■ Perceived edges in the planning area.



We believe that using Planned Development zoning is justified by meeting 28.098 (b) promotion of integrated land uses allowing for a mixture of residential, commercial and public facilities along corridors and in transitional areas, with enhanced pedestrian, bicycle and transit connections and (f): facilitation of high quality development that is consistent with the goals, objectives, policies and recommendations of the Comprehensive Plan and adopted neighborhood plans.

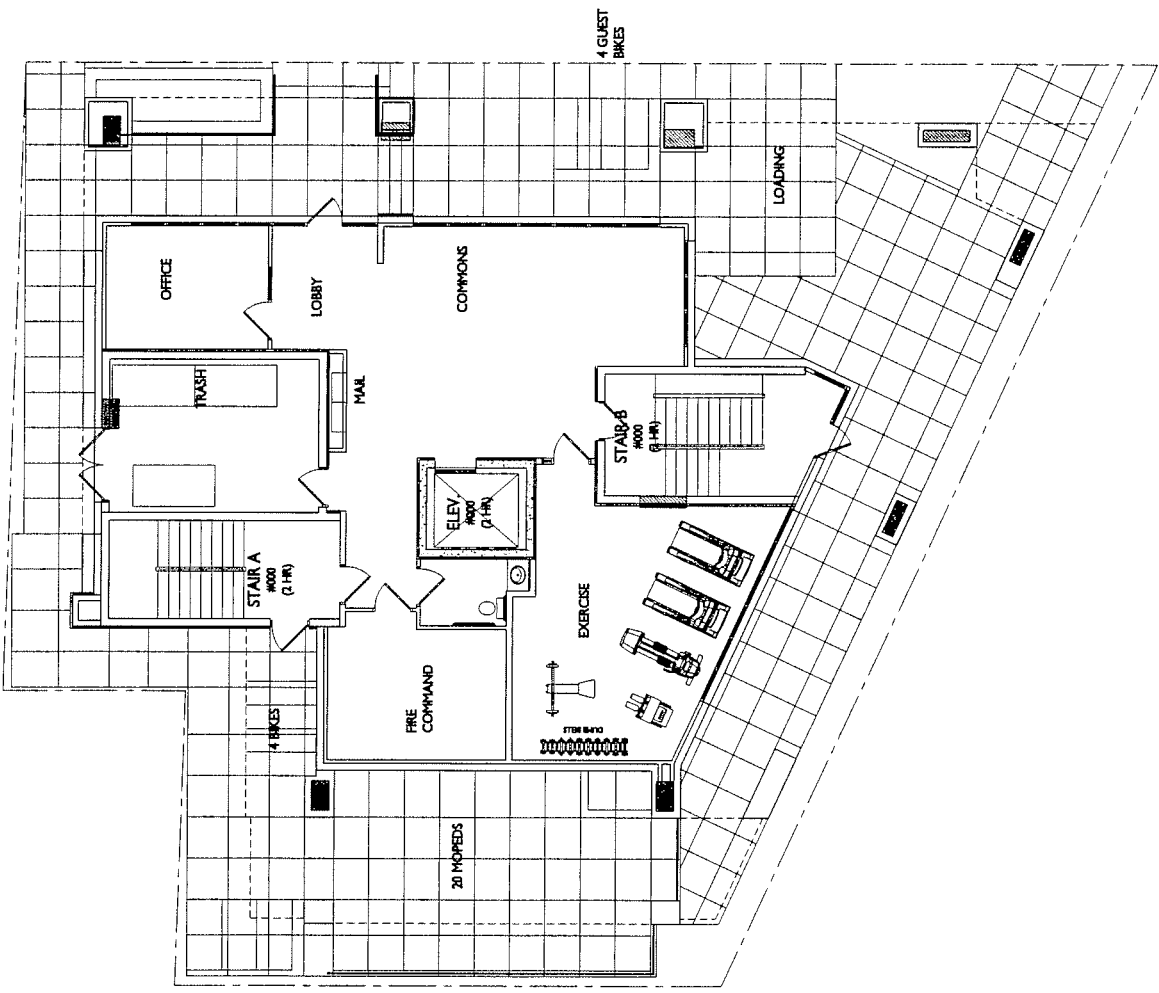
The base zoning would not allow for a replacement of the converted house built in 1901 and now a five bedroom rental property; furthermore, it meets the standard for approval of a

zoning map amendment cited in 28.098 (2) (a) 2. redevelopment of an existing area or use of an infill site that could not be reasonably developed under base zoning requirements. It significantly adds to the city tax base and, as student housing, does not create new traffic and parking demands. The extra height is compatible with the existing character of the surrounding area with the taller UW buildings of Chemistry, Computer Science, Space Science, Geology, and the Charter St. Heating Plant all within one block of the site. Private high rise student apartments also are nearby on Johnson Street.

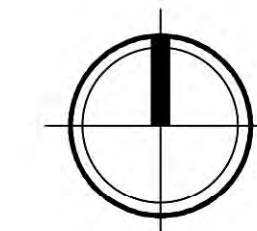
The 2017 City Housing Strategies report supports additional high density student housing in this district.

The report recommends that the city “provide options for all students who want to live near campus to have access to well maintained housing at a variety of price points”. It also “allow(s) for the development of student focused rental housing at greater density to increase affordability and the number of units in prime locations close to campus”. The analysis also specifically states, “the combination of limited parking and low rates of student car ownership increase the importance of proximity to allow for walking, biking or transit for their commute.” The proposed project is similar in density to the Faust project approved by the city at 311 – 313 N. Frances St. that had a density of 343 du/ac and 764 br/ac. We propose a 12 story, 130 foot tall building with 43 units and 96 bedrooms.

This site and planned project is ideally located to meet the objectives in this year’s report.



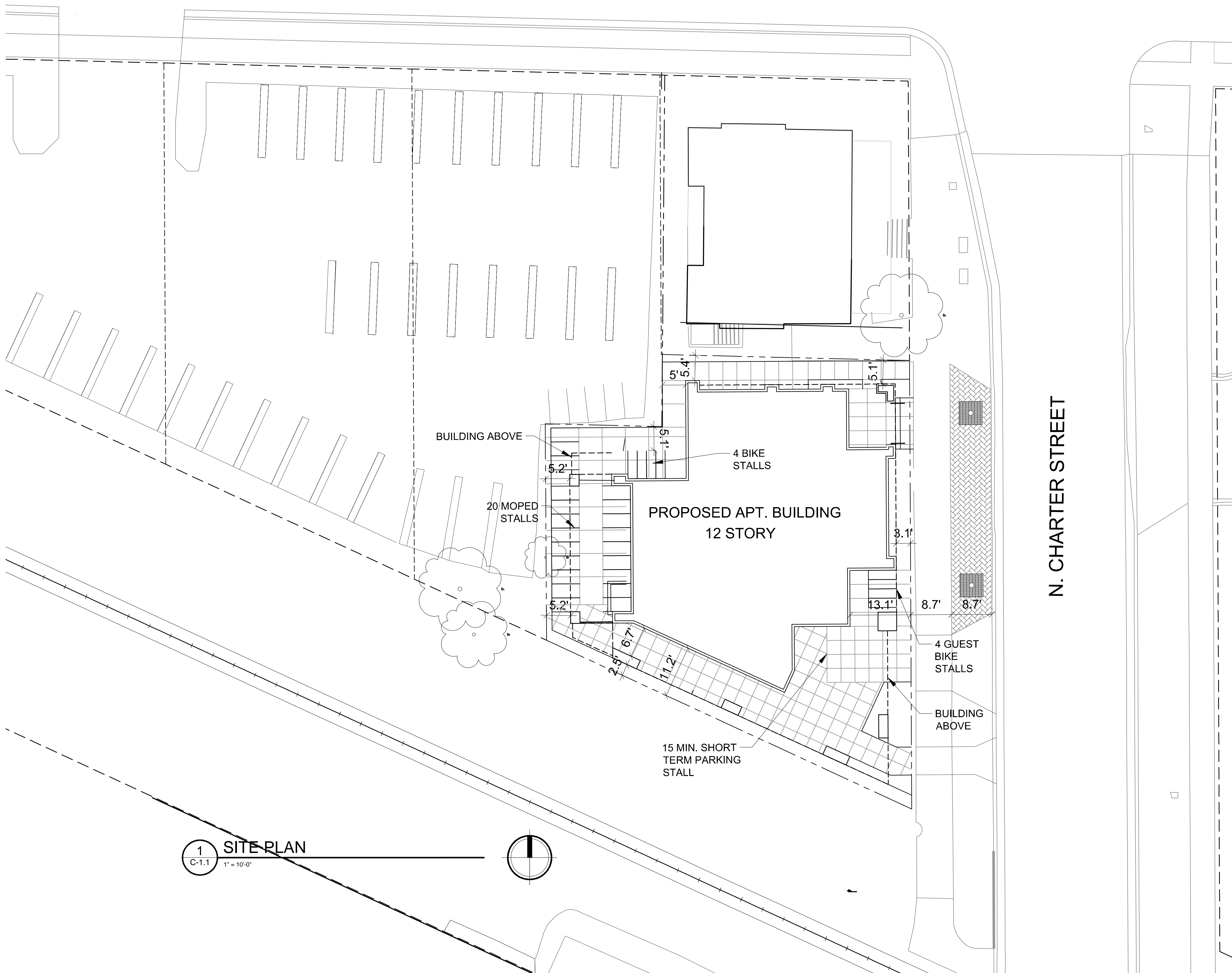
1 | ALT. FIRST FLOOR PLAN
 A-1.1 3/16"=1'-0"



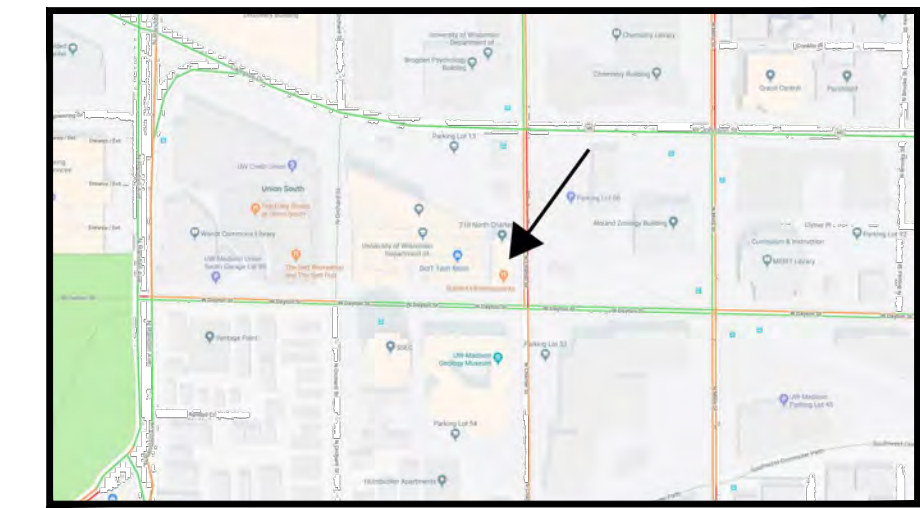
Aerial Site Plan
N. Charter Street



W. JOHNSON STREET



1 SITE PLAN
C-1.1 1" = 10'-0"



SITE LOCATOR MAP

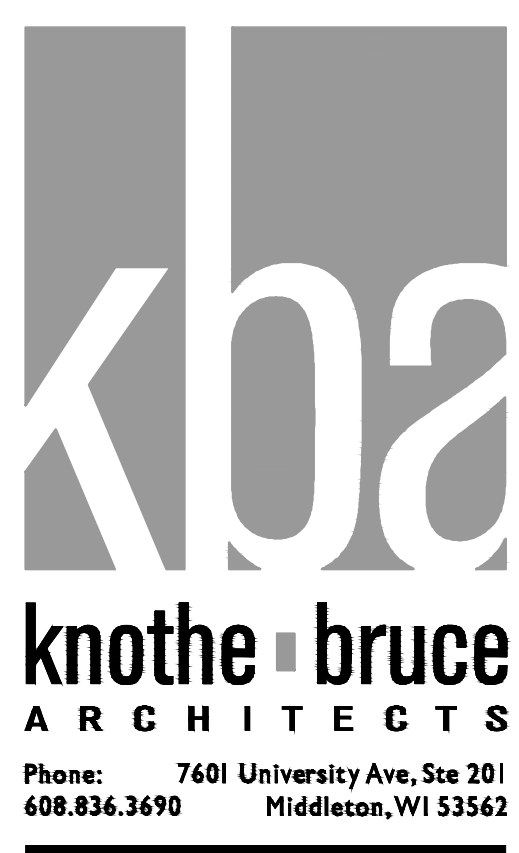
SHEET INDEX

SITE	
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C-1.3	USABLE OPEN SPACE
C-1.4	LOT COVERAGE
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C-3.0	DEMOLITION PLAN
C-4.0	GRADING & EROSION CONTROL PLAN
C-5.0	UTILITY PLAN
C-6.0	CONSTRUCTION DETAILS
C-7.0	CONSTRUCTION DETAILS
L-1.0	PLANTING PLAN
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BUILDING #1	
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A-1.2	SECOND & THIRD FLOOR PLAN
A-1.3	FOURTH - ELEVENTH FLOOR PLAN
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SITE DEVELOPMENT DATA:

DENSITIES:	
TOTAL LOT AREA	5,812 S.F. / .1334 ACRES
DWELLING UNITS	43 UNITS
BEDROOMS	96 BEDROOMS
DENSITY	322 UNITS/ACRE
	715 BEDROOMS/ACRE
LOT COVERAGE	5,206 S.F. (89.5%)
USABLE OPEN SPACE	2,772 S.F.
BUILDING HEIGHT	12 STORIES
DWELLING UNIT MIX:	
ONE BEDROOM	11
TWO BEDROOM	21
THREE BEDROOM	1
FOUR BEDROOM	10
TOTAL DWELLING UNITS	43
BICYCLE & MOPED PARKING:	
BIKE SURFACE	4 STALLS
BIKE SURFACE GUEST	4 STALLS
MOPED SURFACE	20 STALLS
BIKE UNDERGROUND GARAGE-WALL HUNG	42 STALLS
BIKE UNDERGROUND GARAGE STD. 22x6	40 STALLS
TOTAL	110 STALLS

- GENERAL NOTES:**
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 - ALL DAMAGE TO THE PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 - THE CONTRACTOR SHALL REPLACE ALL CURB AND GUTTER ADJACENT TO THIS DEVELOPMENT AS DEEMED NECESSARY BY THE CITY ENGINEER.
 - THE MAXIMUM RUNNING SLOPE OF ALL WALKS SHALL BE 1:20. THE MAXIMUM SLOPE OF RAMPS SHALL BE 1:12. THE MAXIMUM CROSS SLOPE AT ALL WALKS & RAMPS SHALL BE 1:50.
 - RAMPS WITH A RISE OVER 6 INCHES SHALL HAVE HANDRAILS ON BOTH SIDES.
 - ALL STAIRWAYS WITH MORE THAN ONE RISER SHALL HAVE HANDRAILS ON BOTH SIDES.



ISSUED
Issued Land Use Submittal - Dec. 6, 2017

PROJECT TITLE
222 N. Charter Street

SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1

PROJECT NO.
© Knothe & Bruce Architects, LLC

W. JOHNSON STREET



knothe • bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued Land Use Submittal - Dec. 6, 2017

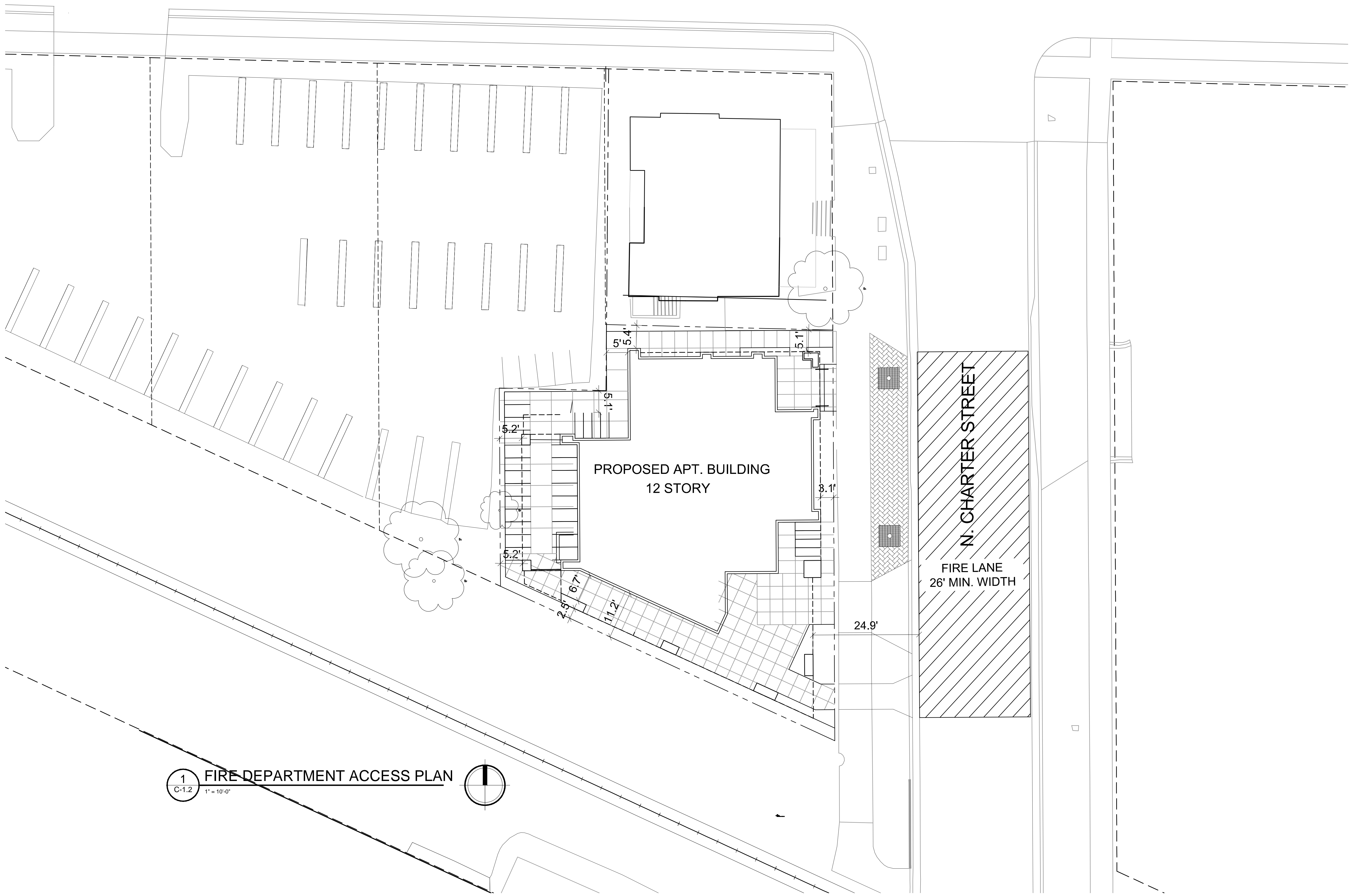
PROJECT TITLE
222 N. Charter Street

SHEET TITLE
Fire Department Access Plan

SHEET NUMBER

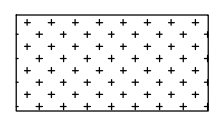
C-1.2

PROJECT NO.
© Knothe & Bruce Architects, LLC



1 FIRE DEPARTMENT ACCESS PLAN
C-1.2 1" = 10'-0"

W. JOHNSON STREET

	LOT COVERAGE
TOTAL LOT AREA	= 5,812 SF
LOT COVERAGE	= 5,206 SF (89.5%)



knothe • bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued Land Use Submittal - Dec. 6, 2017

PROJECT TITLE
222 N. Charter Street

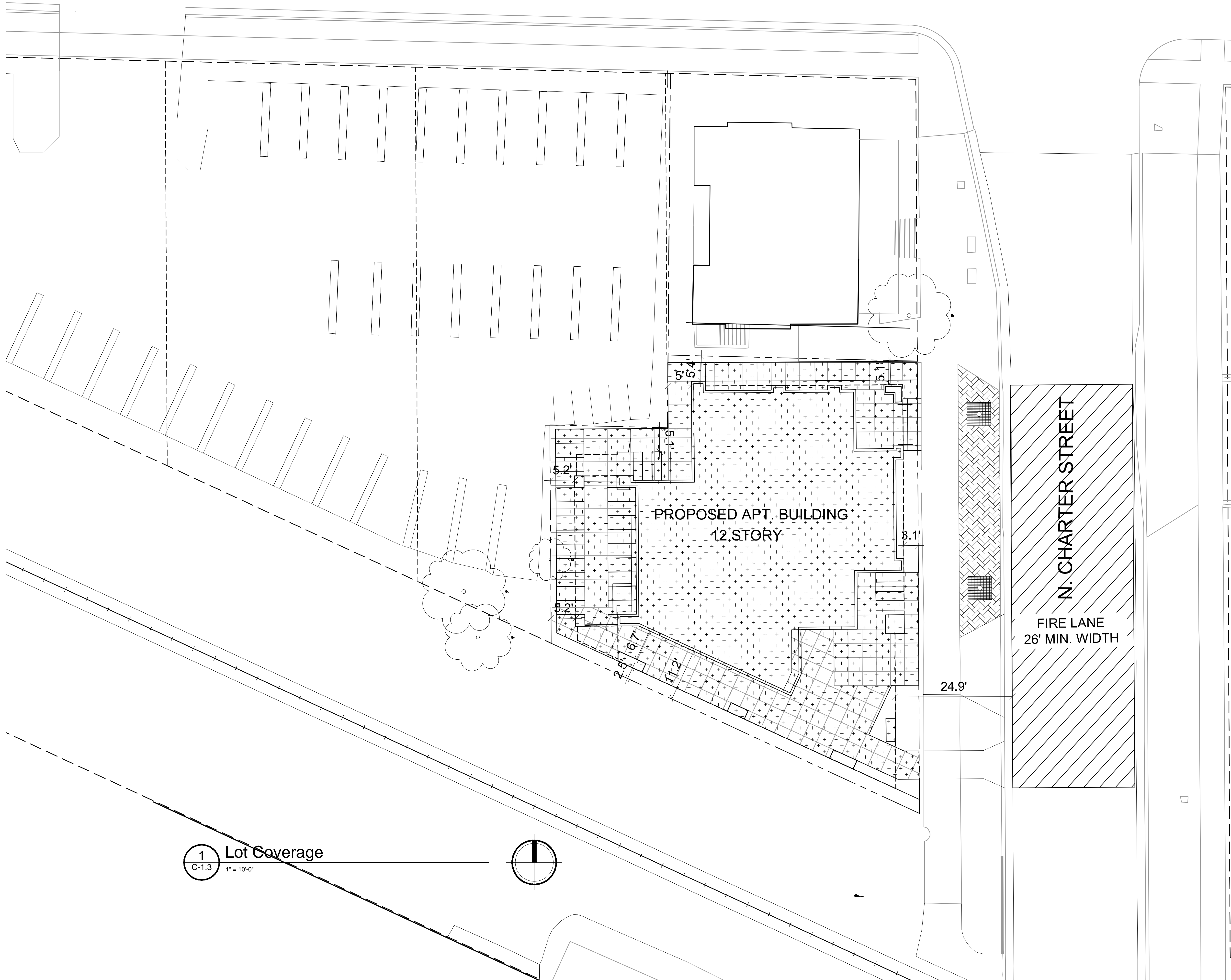
SHEET TITLE
Lot Coverage

SHEET NUMBER

C-1.3

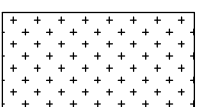
PROJECT NO.

© Knothe & Bruce Architects, LLC



1 Lot Coverage
C-1.3 1" = 10'-0"

W. JOHNSON STREET

 **USABLE OPEN SPACE**
DECKS & BALCONIES, ROOF TERRACE = 2,772 SF



knothe • bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued Land Use Submittal - Dec. 6, 2017

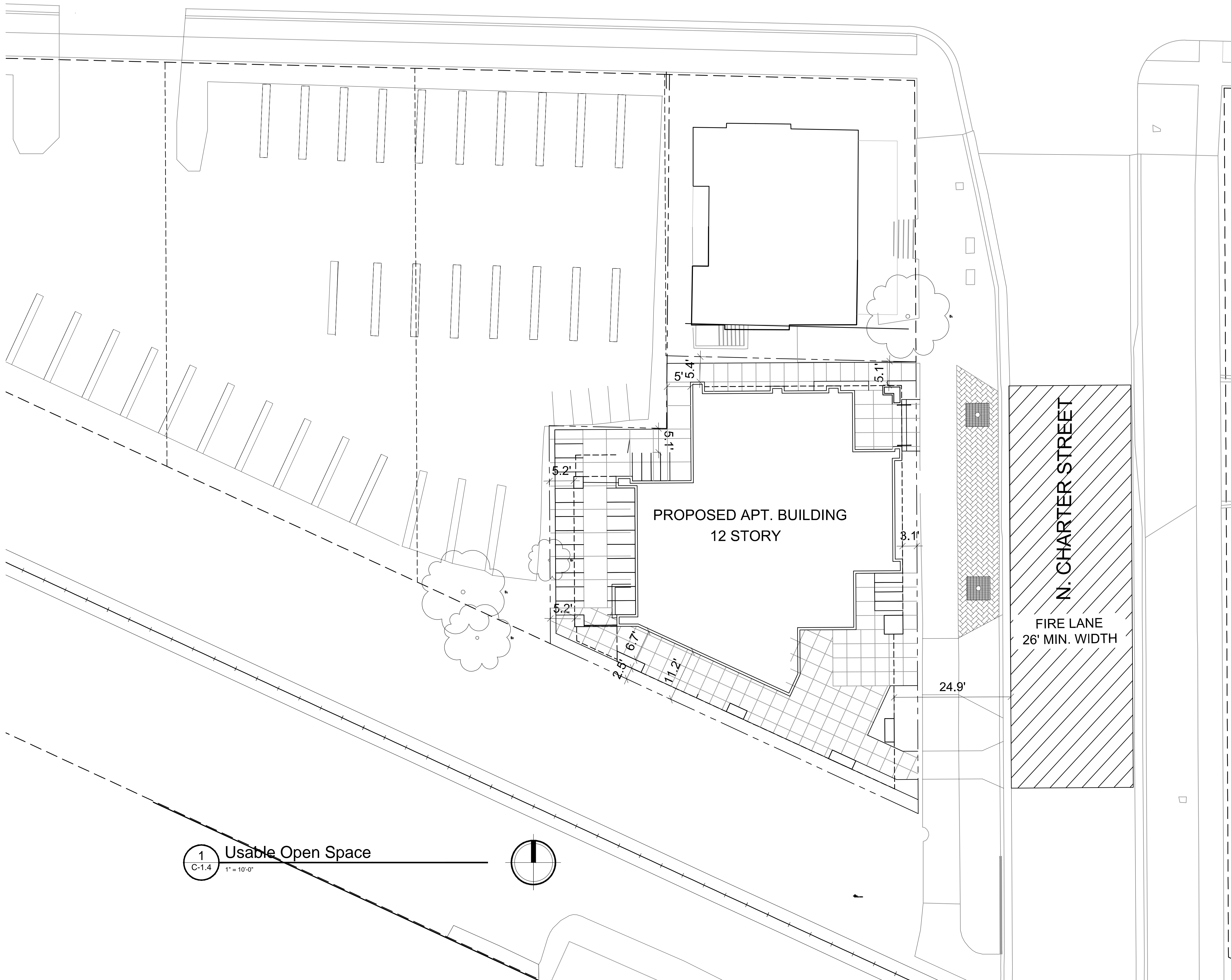
PROJECT TITLE
222 N. Charter Street

SHEET TITLE
Usable Open Space

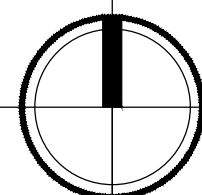
SHEET NUMBER

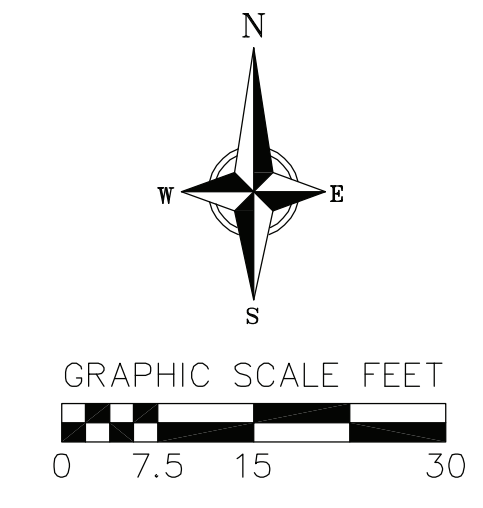
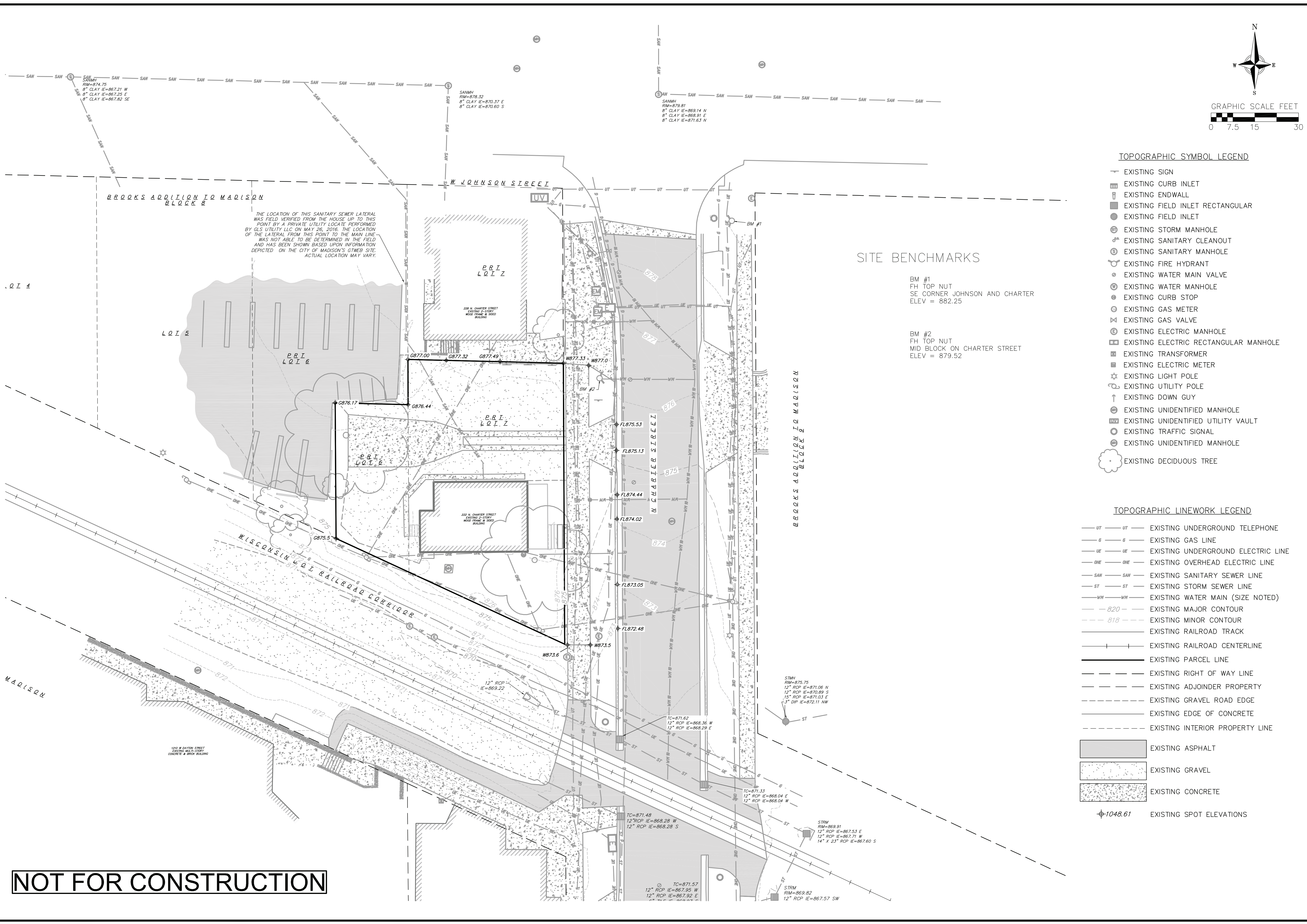
C-1.4

PROJECT NO.
© Knothe & Bruce Architects, LLC



1 Usable Open Space
C-1.4 1" = 10'-0"





- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING SIGN
 - EXISTING CURB INLET
 - EXISTING ENDWALL
 - EXISTING FIELD INLET RECTANGULAR
 - EXISTING FIELD INLET
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY CLEANOUT
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER MAIN VALVE
 - EXISTING WATER MANHOLE
 - EXISTING CURB STOP
 - EXISTING GAS METER
 - EXISTING GAS VALVE
 - EXISTING ELECTRIC MANHOLE
 - EXISTING ELECTRIC RECTANGULAR MANHOLE
 - EXISTING TRANSFORMER
 - EXISTING ELECTRIC METER
 - EXISTING LIGHT POLE
 - EXISTING UTILITY POLE
 - EXISTING DOWN GUY
 - EXISTING UNIDENTIFIED MANHOLE
 - EXISTING UNIDENTIFIED UTILITY VAULT
 - EXISTING TRAFFIC SIGNAL
 - EXISTING UNIDENTIFIED MANHOLE
 - EXISTING DECIDUOUS TREE

SITE BENCHMARKS

BM #1
FH TOP NUT
SE CORNER JOHNSON AND CHARTER
ELEV = 882.25

BM #2
FH TOP NUT
MID BLOCK ON CHARTER STREET
ELEV = 879.52

- TOPOGRAPHIC LINEWORK LEGEND**
- UT — UT — EXISTING UNDERGROUND TELEPHONE
 - G — G — EXISTING GAS LINE
 - UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
 - OHE — OHE — EXISTING OVERHEAD ELECTRIC LINE
 - SAN — SAN — EXISTING SANITARY SEWER LINE
 - ST — ST — EXISTING STORM SEWER LINE
 - WH — WH — EXISTING WATER MAIN (SIZE NOTED)
 - 820 — — EXISTING MAJOR CONTOUR
 - 818 — — EXISTING MINOR CONTOUR
 - — — EXISTING RAILROAD TRACK
 - — — EXISTING RAILROAD CENTERLINE
 - — — EXISTING PARCEL LINE
 - — — EXISTING RIGHT OF WAY LINE
 - — — EXISTING ADJOINER PROPERTY
 - — — EXISTING GRAVEL ROAD EDGE
 - — — EXISTING EDGE OF CONCRETE
 - — — EXISTING INTERIOR PROPERTY LINE
- EXISTING ASPHALT
- EXISTING GRAVEL
- EXISTING CONCRETE
- EXISTING SPOT ELEVATIONS

NOT FOR CONSTRUCTION

Existing Conditions Plan
222 N Charter Street
City of Madison
Dane County, WI

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 12-06-2017

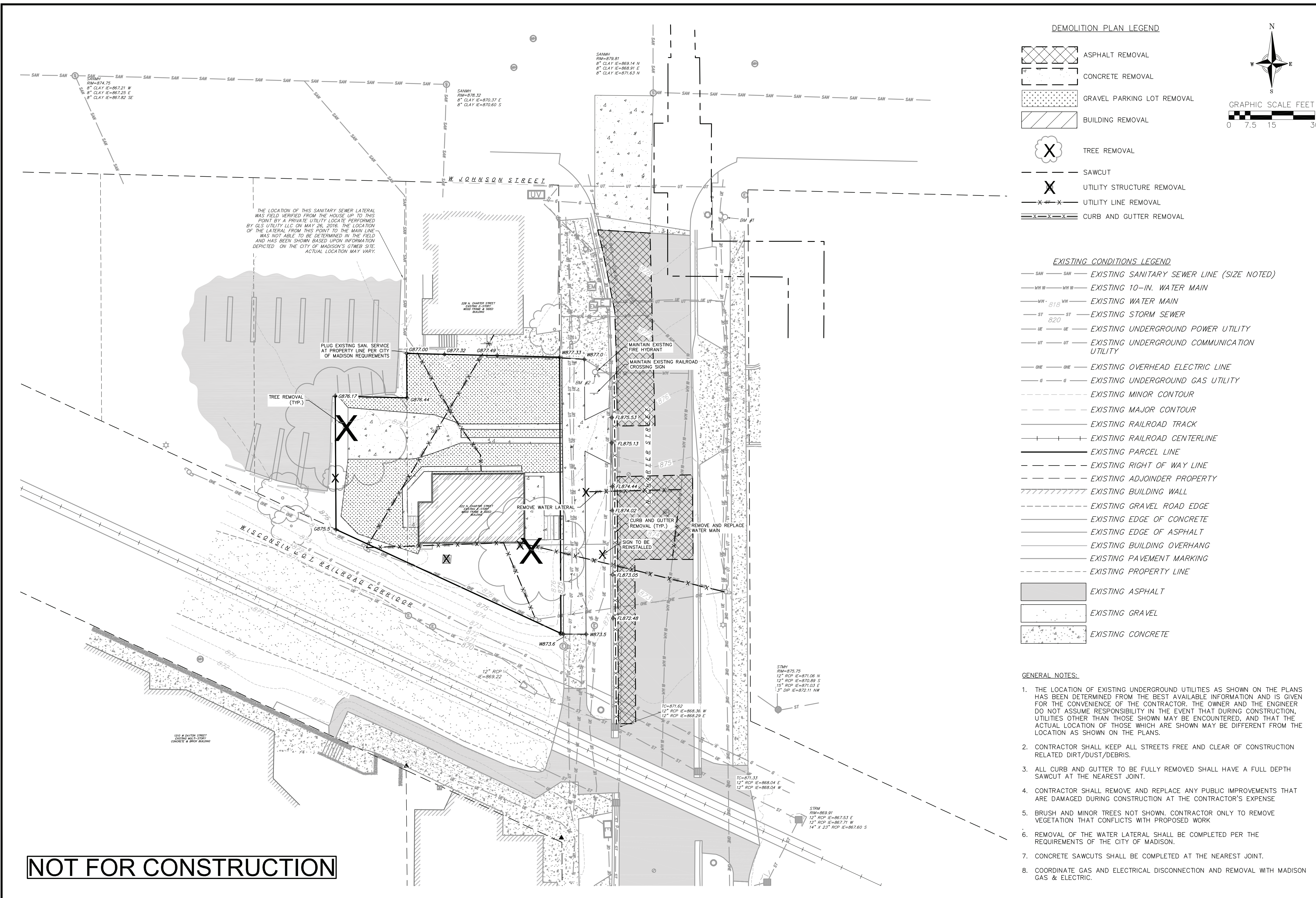
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PROJECT NO. 160164

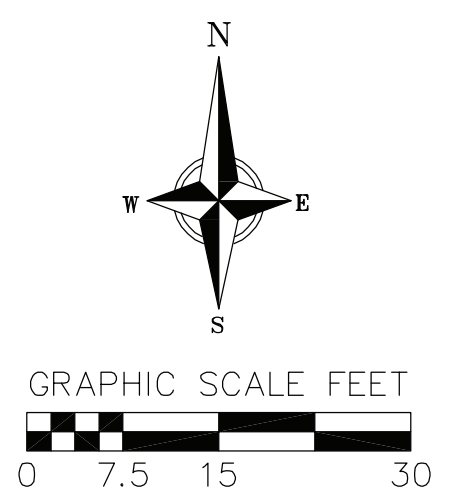
SHEET 2 OF 7

DWG. NO. C-2.0



DEMOLITION PLAN LEGEND

- ASPHALT REMOVAL
- CONCRETE REMOVAL
- GRAVEL PARKING LOT REMOVAL
- BUILDING REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL
- CURB AND GUTTER REMOVAL



EXISTING CONDITIONS LEGEND

- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING 10-IN. WATER MAIN
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- EXISTING UNDERGROUND POWER UTILITY
- EXISTING UNDERGROUND COMMUNICATION UTILITY
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UNDERGROUND GAS UTILITY
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING RAILROAD TRACK
- EXISTING RAILROAD CENTERLINE
- EXISTING PARCEL LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING ADJOINER PROPERTY
- EXISTING BUILDING WALL
- EXISTING GRAVEL ROAD EDGE
- EXISTING EDGE OF CONCRETE
- EXISTING EDGE OF ASPHALT
- EXISTING BUILDING OVERHANG
- EXISTING PAVEMENT MARKING
- EXISTING PROPERTY LINE
- EXISTING ASPHALT
- EXISTING GRAVEL
- EXISTING CONCRETE

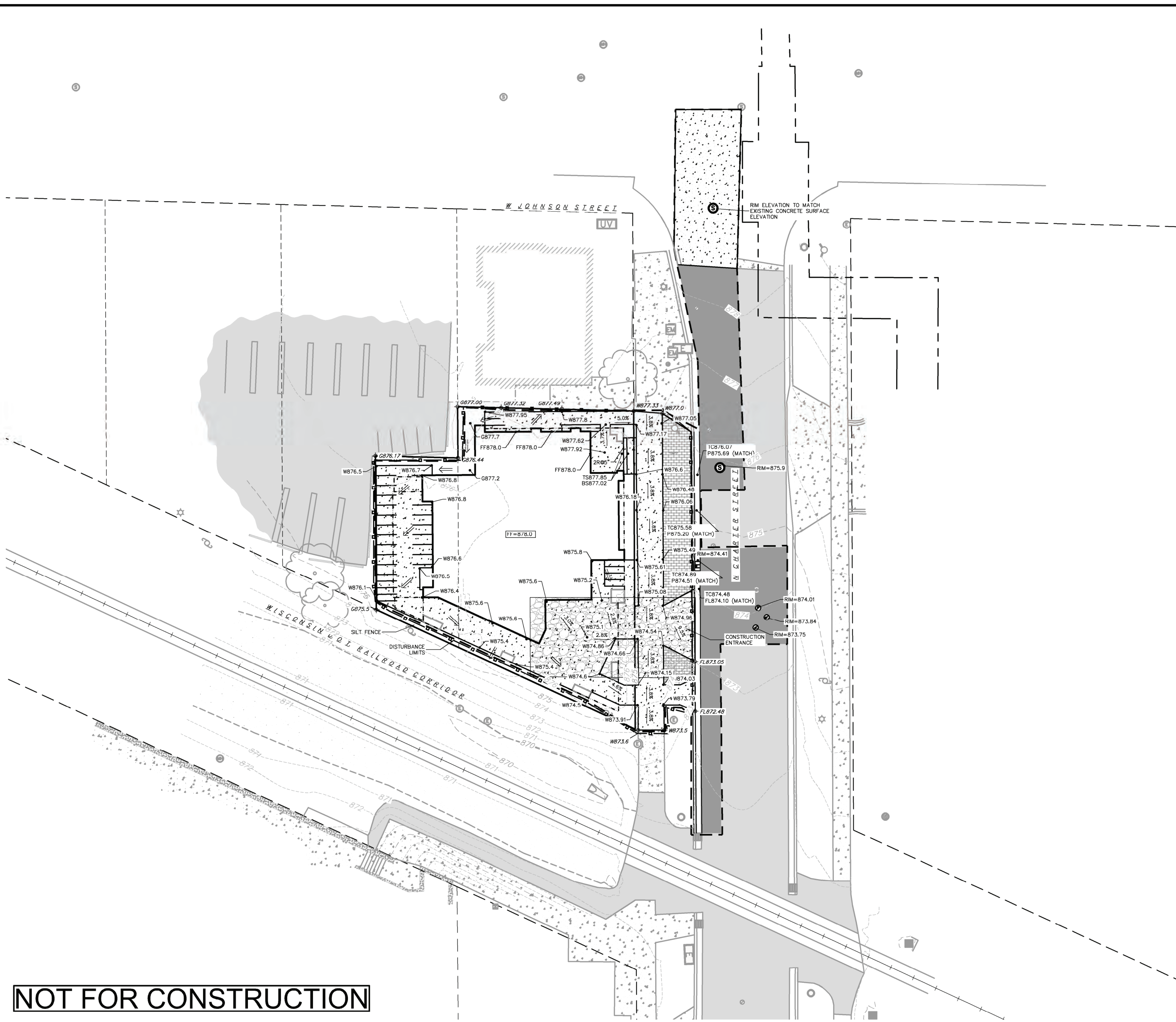
GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. ALL CURB AND GUTTER TO BE FULLY REMOVED SHALL HAVE A FULL DEPTH SAWCUT AT THE NEAREST JOINT.
4. CONTRACTOR SHALL REMOVE AND REPLACE ANY PUBLIC IMPROVEMENTS THAT ARE DAMAGED DURING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
5. BRUSH AND MINOR TREES NOT SHOWN. CONTRACTOR ONLY TO REMOVE VEGETATION THAT CONFLICTS WITH PROPOSED WORK.
6. REMOVAL OF THE WATER LATERAL SHALL BE COMPLETED PER THE REQUIREMENTS OF THE CITY OF MADISON.
7. CONCRETE SAWCUTS SHALL BE COMPLETED AT THE NEAREST JOINT.
8. COORDINATE GAS AND ELECTRICAL DISCONNECTION AND REMOVAL WITH MADISON GAS & ELECTRIC.

NOT FOR CONSTRUCTION

REVISIONS	NO.	DATE	REMARKS

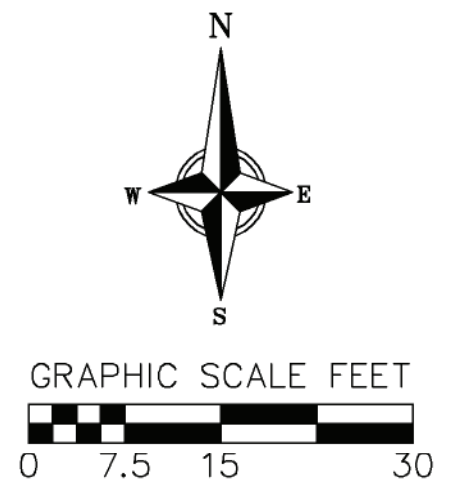
SCALE	AS SHOWN
DATE	12-06-2017
DRAFTER	JMAH
CHECKED	KJEN
PROJECT NO.	160164
SHEET	3 OF 7
DWG. NO.	C-3.0



NOT FOR CONSTRUCTION

ABBREVIATIONS

- FF - FINISHED FLOOR
- W - CONCRETE WALKWAY
- IP - PAVEMENT
- G - GROUND
- TS - TOP OF STEP
- BS - BOTTOM OF STEP
- R - RISER
- TC - TOP OF CURB
- FL - FLOW LINE



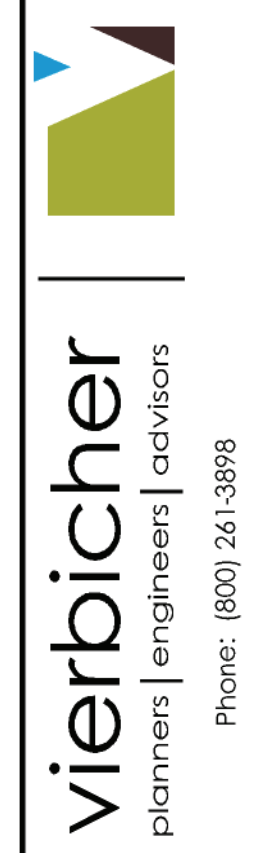
SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED CONCRETE PAVERS
- PROPOSED RETAINING WALL
- PROPOSED PAVEMENT MARKING
- PROPOSED EDGE OF ASPHALT
- PROPOSED EDGE OF CONCRETE
- PROPOSED BUILDING FOOTPRINT
- CURB AND GUTTER (ACCEPTING CURB)
- PROPOSED ADA ROUTE

GRADING AND EROSION CONTROL LEGEND

- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE
- PROPOSED SLOPE ARROWS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- DRAINAGE DIRECTION
- TRACKING PAD

- GRADING PLAN/SITE CONSTRUCTION NOTES:**
- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
 - CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
 - CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
 - CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
 - ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - ADA WALKWAYS MUST NOT EXCEED 5% SLOPE IN LONGITUDINAL DIRECTION WITHOUT A RAILING AND 8.3% WITH A RAILING. THE CROSS SECTION SLOPE OF AN ADA WALKWAY MUST NOT EXCEED 1.5% SLOPE.
 - TYPICAL SIDEWALK CROSS SECTION IS 1.5% SLOPE. THIS APPLIES TO ALL WALKWAYS IN THIS PLAN UNLESS OTHERWISE NOTED.
 - PAVEMENT PATCHES SHALL BE COMPLETED PER THE CITY OF MADISON SPECIFICATIONS.



Grading and Erosion Control Plan
 222 N Charter Street
 City of Madison
 Dane County, WI

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN
 DATE 12-06-2017
 DRAFTER JMAH
 CHECKED KJEN
 PROJECT NO. 160164
 SHEET 4 OF 7
 DWG. NO. C-4.0

05 Dec 2017 - 9:57 a M:\Madison Property Mgmt\160164_222 N Charter Street\CADD\160164_Title_Details.dwg by:jmch

EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- INSTALL MINIMUM 6'-7' WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD
- STRIP TOPSOIL
- ROUGH GRADE LOT
- CONSTRUCT UNDERGROUND UTILITIES
- CONSTRUCT BUILDING AND SURFACE LOT IMPROVEMENTS
- RESTORE TERRACES
- REMOVE SILT FENCE

SEEDING RATES:

TEMPORARY:

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED

AFTER SEPTEMBER 15.

PERMANENT:

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

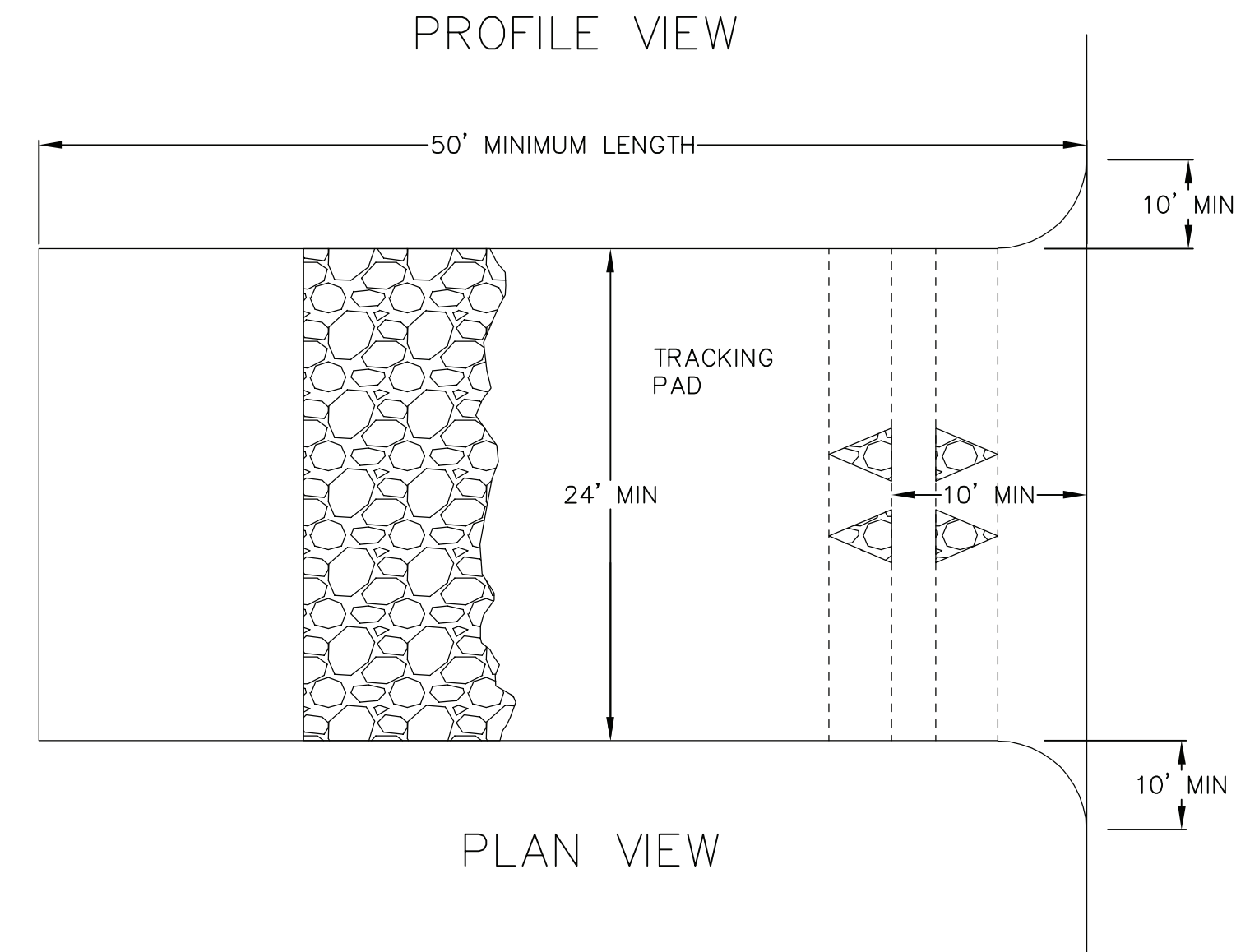
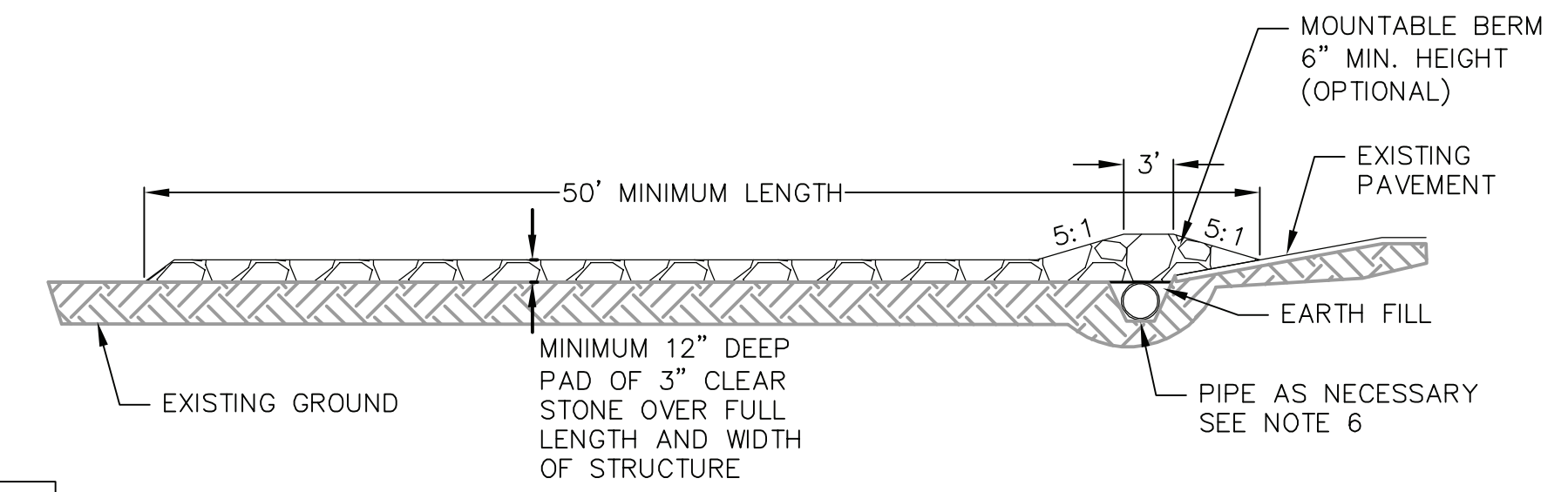
TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD
6 NOT TO SCALE

NOT FOR CONSTRUCTION

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 12-06-2017

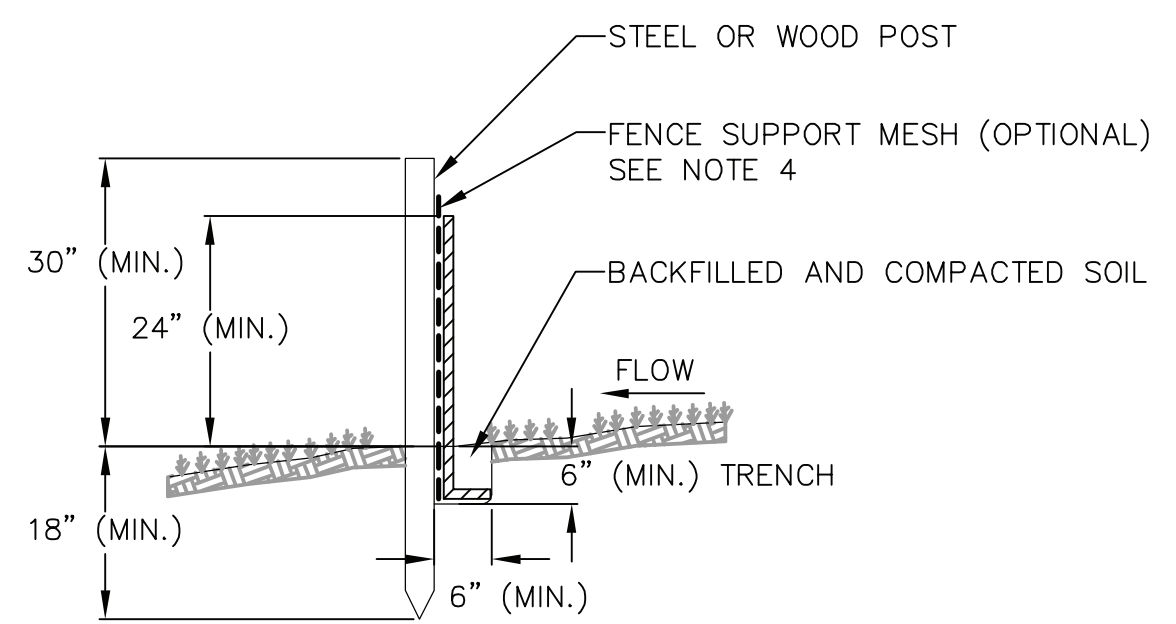
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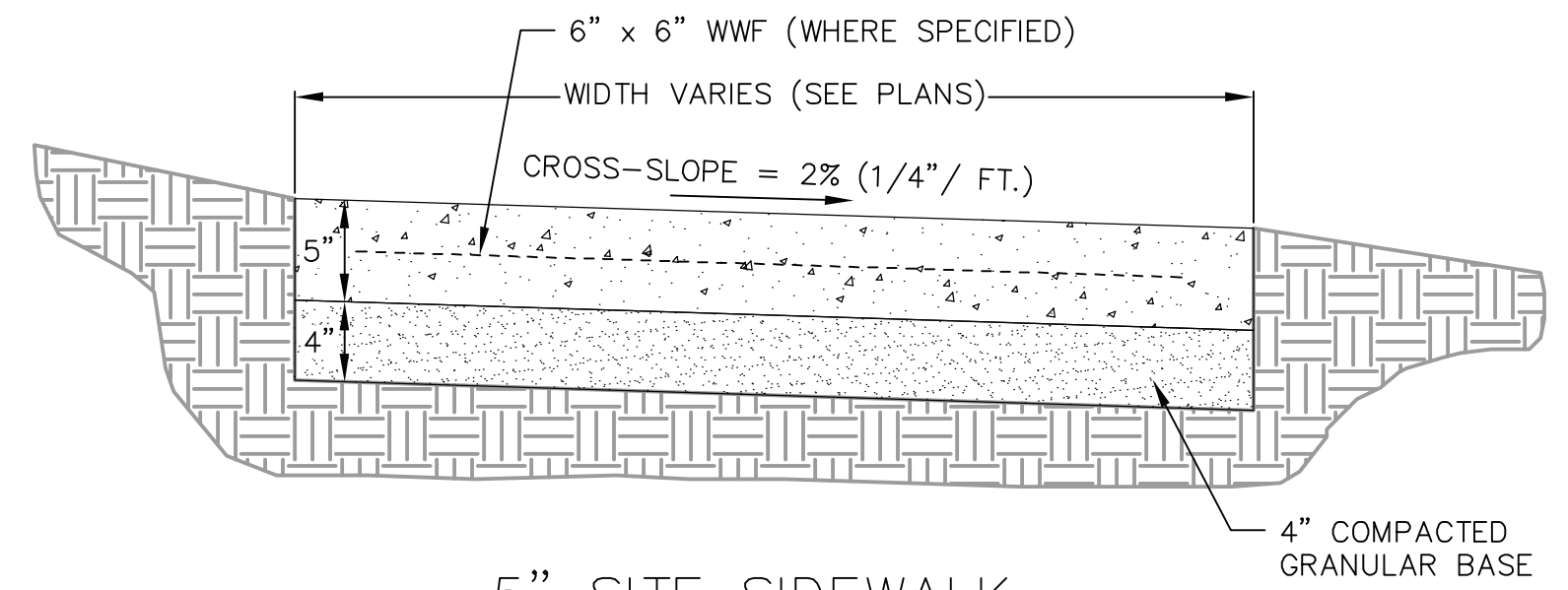
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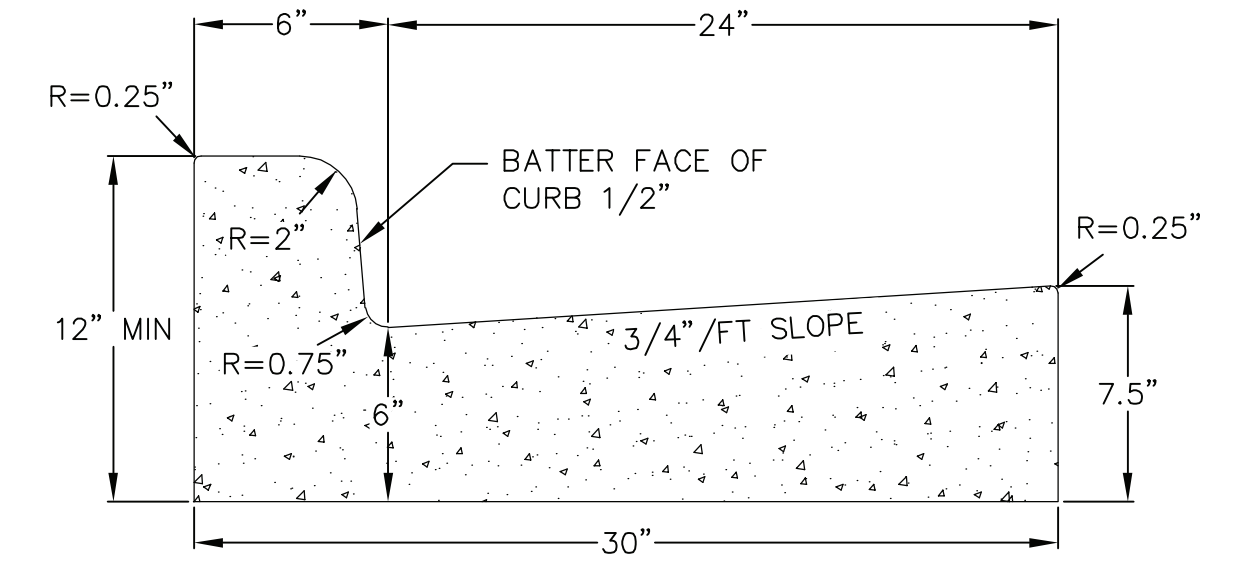


- NOTES:**
1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
 2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
 3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
 4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

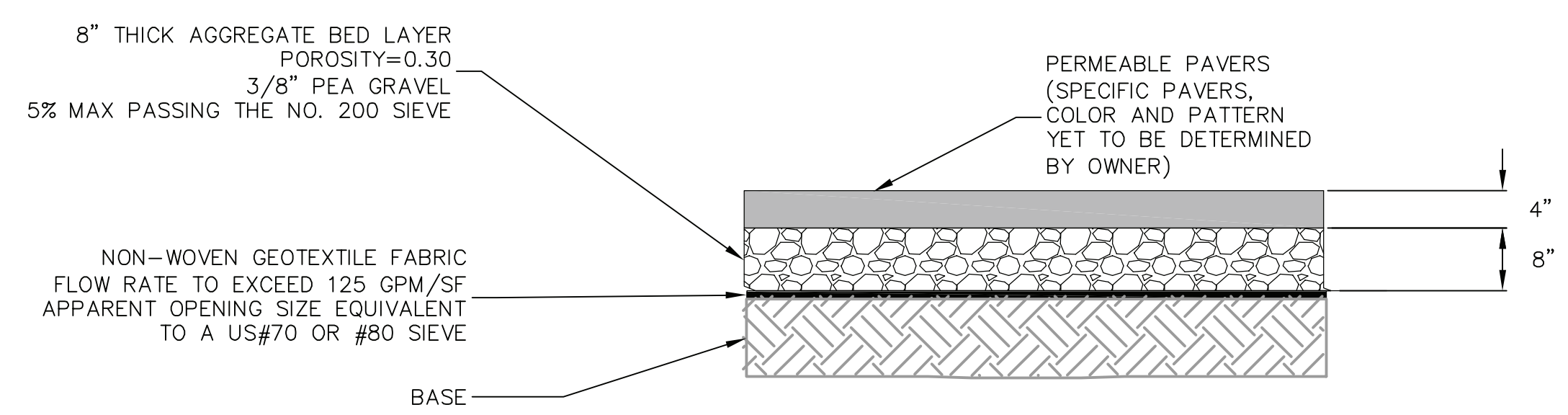
1
7 SILT FENCE
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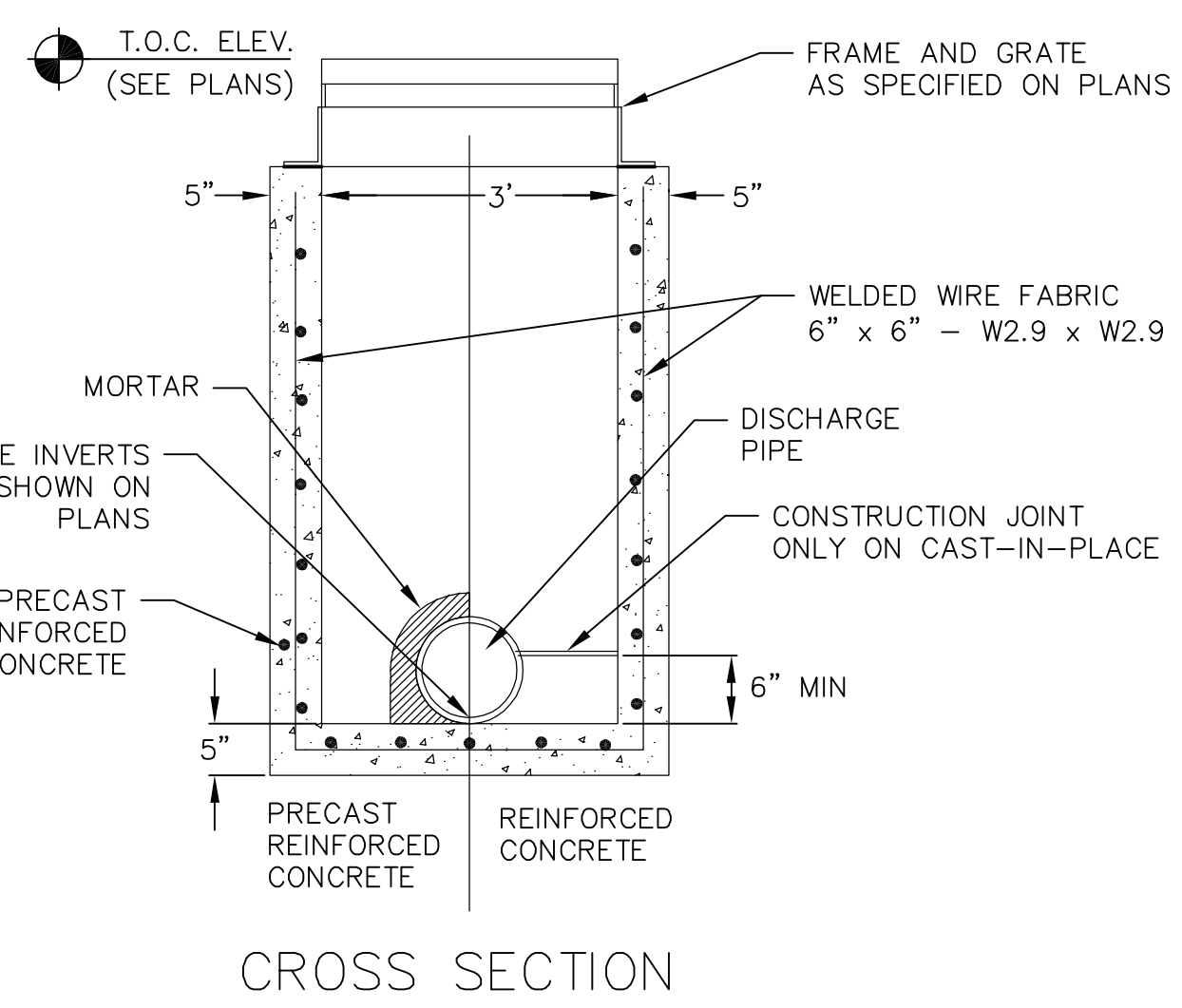
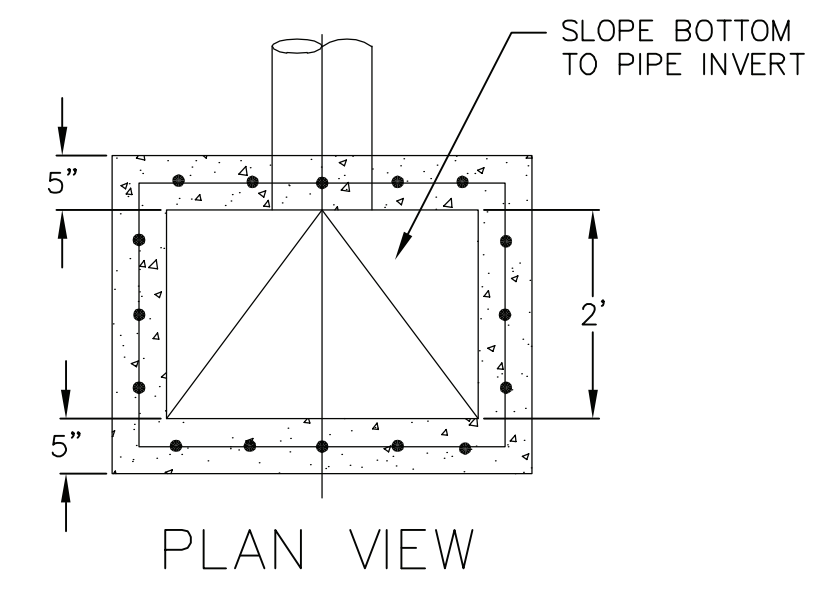
2
7 5" SIDEWALK
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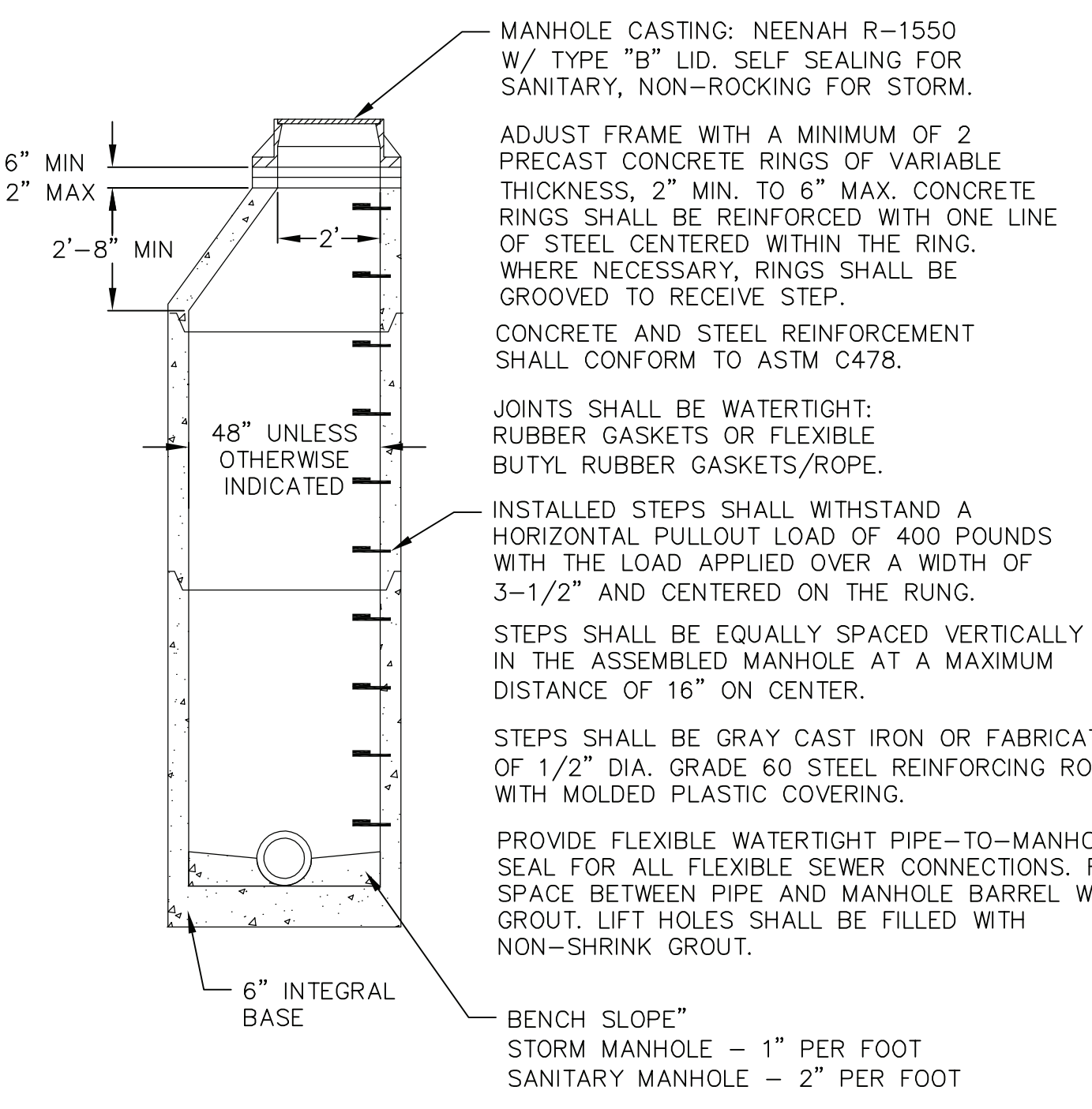
3
7 30" CURB AND GUTTER
NOT TO SCALE



4
7 PAVER SURFACE
NOT TO SCALE



6
7 CURB INLET - TYPE 3, 2' x 3' BASIN
NOT TO SCALE



5
7 PRECAST CONCRETE MANHOLE
NOT TO SCALE

<p>TYPE I CONCRETE PAVEMENT</p>	<p>TYPE I UTILITY TRENCH PATCH THE PAVEMENT SHALL BE REMOVED IN TWO STAGES. THE INITIAL PAVEMENT REMOVAL SHALL BE LIMITED TO THE AREA OF THE PROPOSED TRENCH. FULL-DEPTH SAWCUTTING WILL NOT BE REQUIRED FOR THIS PHASE OF THE PAVEMENT REMOVAL. AFTER THE TRENCH HAS BEEN BACKFILLED AND COMPACTED, AND AFTER THE BASE HAS BEEN RESTORED IN THE AREA OF THE TRENCH, AND AFTER SAWCUTTING THE NEW JOINTS THE FULL DEPTH OF THE EXISTING PAVEMENT INCIDENTALLY REMAINING PAVEMENT TO BE REMOVED SHALL BE REMOVED WITHOUT DISTURBING THE EXISTING BASE.</p> <p>THE SIZE OF THE PATCH SHALL BE DETERMINED BY THE TOP WIDTH OF THE TRENCH, THE LOCATION AND SKEW OF THE EXISTING TRANSVERSE JOINTS, THE CONDITION OF THE EXISTING PAVEMENT, AND THE CONDITION OF THE BASE. NEW TRANSVERSE JOINTS SHALL BE PARALLEL TO THE EXISTING TRANSVERSE JOINTS AND SHALL BE A MINIMUM OF ONE (1) FOOT FROM THE TRENCH. THE DISTANCE BETWEEN NEW AND EXISTING TRANSVERSE JOINTS SHALL BE A MINIMUM OF EIGHT (8) FEET, MEASURED PERPENDICULAR TO THE JOINTS. THE PATCH SHALL BE A MINIMUM OF EIGHT (8) FEET IN LENGTH, AND SHALL HAVE THE SAME WIDTH AS THE PAVEMENT LANE.</p> <p>THE PATCH SHALL BE NINE (9) INCHES IN THICKNESS OF HIGH EARLY STRENGTH CONCRETE, DOWELED AND TIED WITH EPOXY COATED BARS, AND REINFORCED, ALL IN ACCORDANCE WITH THE TYPICAL SECTION.</p> <p>THE TRANSVERSE EDGES OF THE FINISHED PATCH SHALL BE FLUSH WITH THE EDGES OF THE EXISTING CONCRETE PAVEMENT. THE LONGITUDINAL SURFACE SHALL FORM A STRAIGHT LINE FROM EDGE TO EDGE WITHIN A TOLERANCE OF 1/4 INCH.</p>
<p>TYPE II CONCRETE WITH ASPHALTIC OVERLAY</p>	<p>TYPE II UTILITY TRENCH PATCH THE PATCH SHALL BE 7" HIGH EARLY STRENGTH CONCRETE BASE WITH THE SAME REINFORCEMENT AS THE EXISTING CONCRETE BASE, OVERLAIN WITH ASPHALT UPPER LAYER, WHERE SPECIFIED, OR DIRECTED BY THE ENGINEER. THE BASE SHALL BE CONSTRUCTED OF ASPHALTIC BASE COURSE MATERIAL, SHALL BE THE SAME THICKNESS AS THE EXISTING BASE, AND SHALL BE LAID IN TWO OR MORE COMPACTED LIFTS OF NOT MORE THAN 3" IN THICKNESS EACH.</p> <p>THE PAVEMENT ALONG THE PATCH SHALL BE SAWCUT, FULL DEPTH, AND INCIDENTALLY TO THE TRENCH PATCH. THE EDGES OF THE PATCH SHALL BE VERTICAL, FREE OF LOOSE STONES OR CONCRETE PIECES, AND SHALL BE THOROUGHLY WETTED JUST PRIOR TO POURING THE NEW CONCRETE BASE.</p> <p>THE TOP OF THE NEW CONCRETE OR ASPHALT BASE SHALL BE FLUSH WITH THE TOP OF THE EXISTING CONCRETE BASE.</p> <p>PRIOR TO PLACING THE ASPHALT UPPER LAYER, THE EDGES OF THE PATCH AND THE SURFACE OF THE NEW CONCRETE BASE SHALL BE THOROUGHLY TACKED WITH LIQUID ASPHALT.</p> <p>THE ASPHALT UPPER LAYER SHALL BE OF THE SAME THICKNESS AS THE EXISTING ASPHALT OVERLAY WITH A MINIMUM THICKNESS OF 1" AND A MAXIMUM THICKNESS OF 5/4 UNLESS OTHERWISE SPECIFIED AND SHALL BE LAID IN ONE OR MORE COURSES AS DIRECTED BY THE ENGINEER. THE ASPHALTIC UPPER LAYER SHALL BE MACHINE LAID WHERE DIRECTED BY THE ENGINEER. WHERE THE ASPHALTIC UPPER LAYER IS MACHINE LAID, AND IS NOT MORE THAN 3" IN THICKNESS, THE ASPHALTIC SURFACE MAY BE LAID IN ONE LIFT.</p>
<p>TYPE III ASPHALTIC STREET</p>	<p>TYPE III UTILITY TRENCH PATCH THE PATCH SHALL BE CRUSHED STONE BASE COURSE, GRADATION NO. 2 OVERLAIN WITH ASPHALT UPPER LAYER EQUAL IN THICKNESS TO THE EXISTING ASPHALTIC PAVEMENT WITH A MINIMUM THICKNESS OF 3" AND A MAXIMUM THICKNESS OF 5/4 UNLESS OTHERWISE SPECIFIED AND LAID IN ONE OR MORE COURSES AS DIRECTED BY THE ENGINEER.</p> <p>THE PAVEMENT ALONG THE PATCH SHALL BE SAWCUT, FULL DEPTH, AND INCIDENTALLY TO THE TRENCH PATCH. THE EDGES OF THE EXISTING ASPHALTIC PAVEMENT SHALL BE FREE OF LOOSE STONES OR PAVEMENT MATERIAL.</p> <p>THE CRUSHED STONE BASE COURSE SHALL BE INSTALLED IN TWO LIFTS. THE LOWER LIFT SHALL BE THOROUGHLY MECHANICALLY COMPACTED PRIOR TO PLACING THE UPPER LIFT.</p> <p>THE ASPHALT UPPER LAYER SHALL BE LAID IN TWO LIFTS. THE ASPHALT UPPER LAYER SHALL BE MACHINE LAID WHERE DIRECTED BY THE ENGINEER. WHERE THE ASPHALTIC UPPER LAYER IS MACHINE LAID AND IS NOT MORE THAN 3" IN THICKNESS, THE ASPHALT SURFACE COURSE MAY BE IN ONE LIFT.</p> <p>PRIOR TO PLACING THE ASPHALT UPPER LAYER, THE EDGES OF THE PATCH AND THE SURFACE OF THE CRUSHED STONE BASE SHALL BE TACKED AND PRIMED WITH LIQUID ASPHALT.</p>
<p>TYPE IV NEW CRUSHED STONE PAVEMENT</p>	<p>TYPE IV UTILITY TRENCH PATCH THE PATCH SHALL BE 9" CRUSHED STONE BASE COURSE, GRADATION NO. 2. FULL DEPTH SAWCUTTING OF ADJACENT PAVEMENT (IF ANY) SHALL BE CONSIDERED INCIDENTALLY TO THE TRENCH PATCH.</p> <p>THE CRUSHED STONE BASE COURSE SHALL BE INSTALLED IN THREE LIFTS. EACH LIFT SHALL BE THOROUGHLY MECHANICALLY COMPACTED PRIOR TO PLACING SUCCEEDING LIFTS.</p>

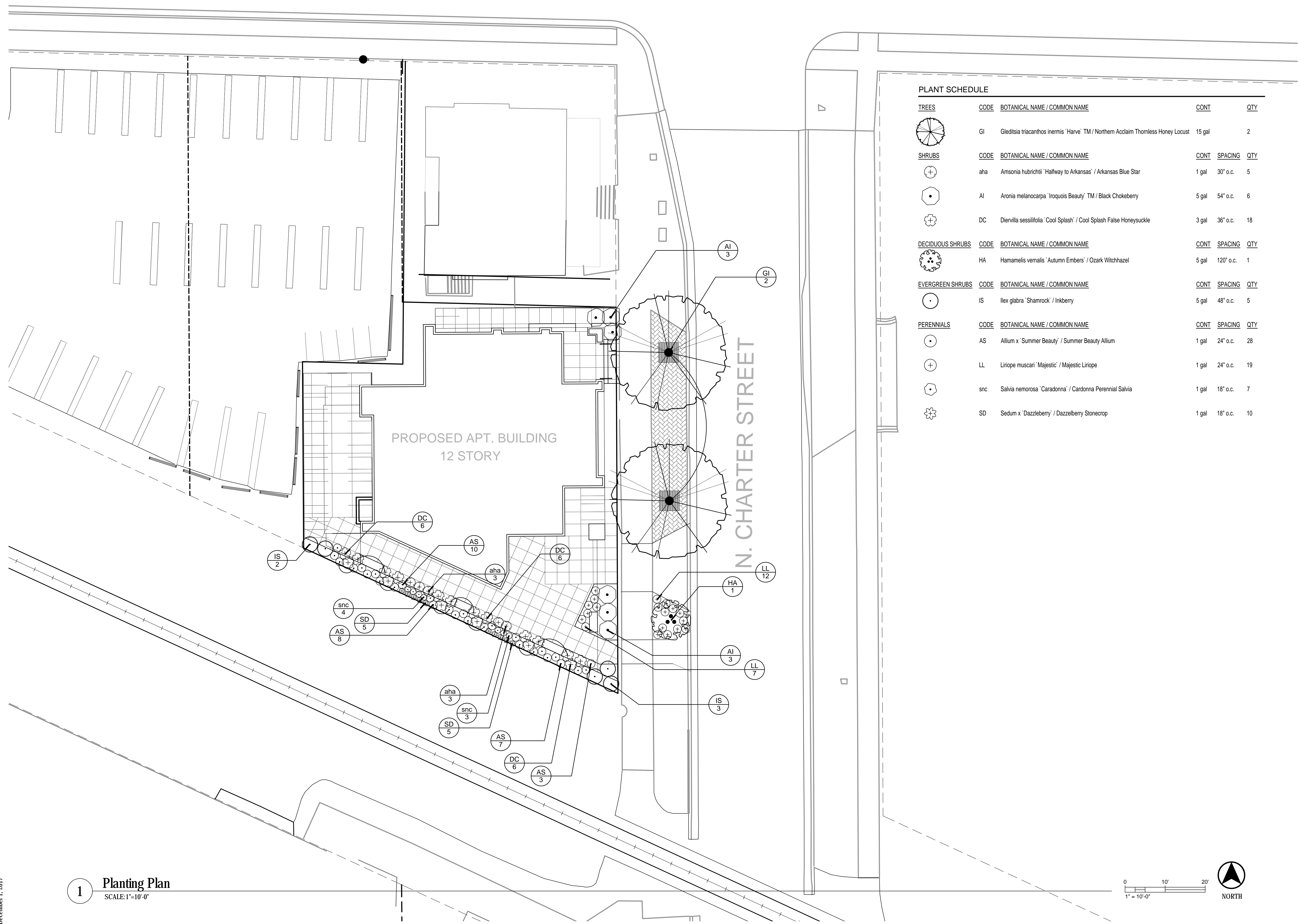
NOT FOR CONSTRUCTION

REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 12-06-2017
DRAWER: JMAH
CHECKED: KJEN
PROJECT NO.: 160164
SHEET: 7 OF 7
DWG. NO.: C-6.1

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	GI	Gleditsia triacanthos inermis 'Harve' TM / Northern Acclaim Thornless Honey Locust	15 gal	2	
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	aha	Amsonia hubrichtii 'Halfway to Arkansas' / Arkansas Blue Star	1 gal	30" o.c.	5
	AI	Aronia melanocarpa 'Iroquois Beauty' TM / Black Chokeberry	5 gal	54" o.c.	6
	DC	Diervilla sessilifolia 'Cool Splash' / Cool Splash False Honeysuckle	3 gal	36" o.c.	18
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	HA	Hamamelis vernalis 'Autumn Embers' / Ozark Witchhazel	5 gal	120" o.c.	1
EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	IS	Ilex glabra 'Shamrock' / Inkberry	5 gal	48" o.c.	5
PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	AS	Allium x 'Summer Beauty' / Summer Beauty Allium	1 gal	24" o.c.	28
	LL	Liriope muscari 'Majestic' / Majestic Liriope	1 gal	24" o.c.	19
	snc	Salvia nemorosa 'Caradonna' / Caradonna Perennial Salvia	1 gal	18" o.c.	7
	SD	Sedum x 'Dazzleberry' / Dazzleberry Stonecrop	1 gal	18" o.c.	10





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ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Land Use Submittal - December 6, 2017

PROJECT TITLE
222 N. Charter
Street

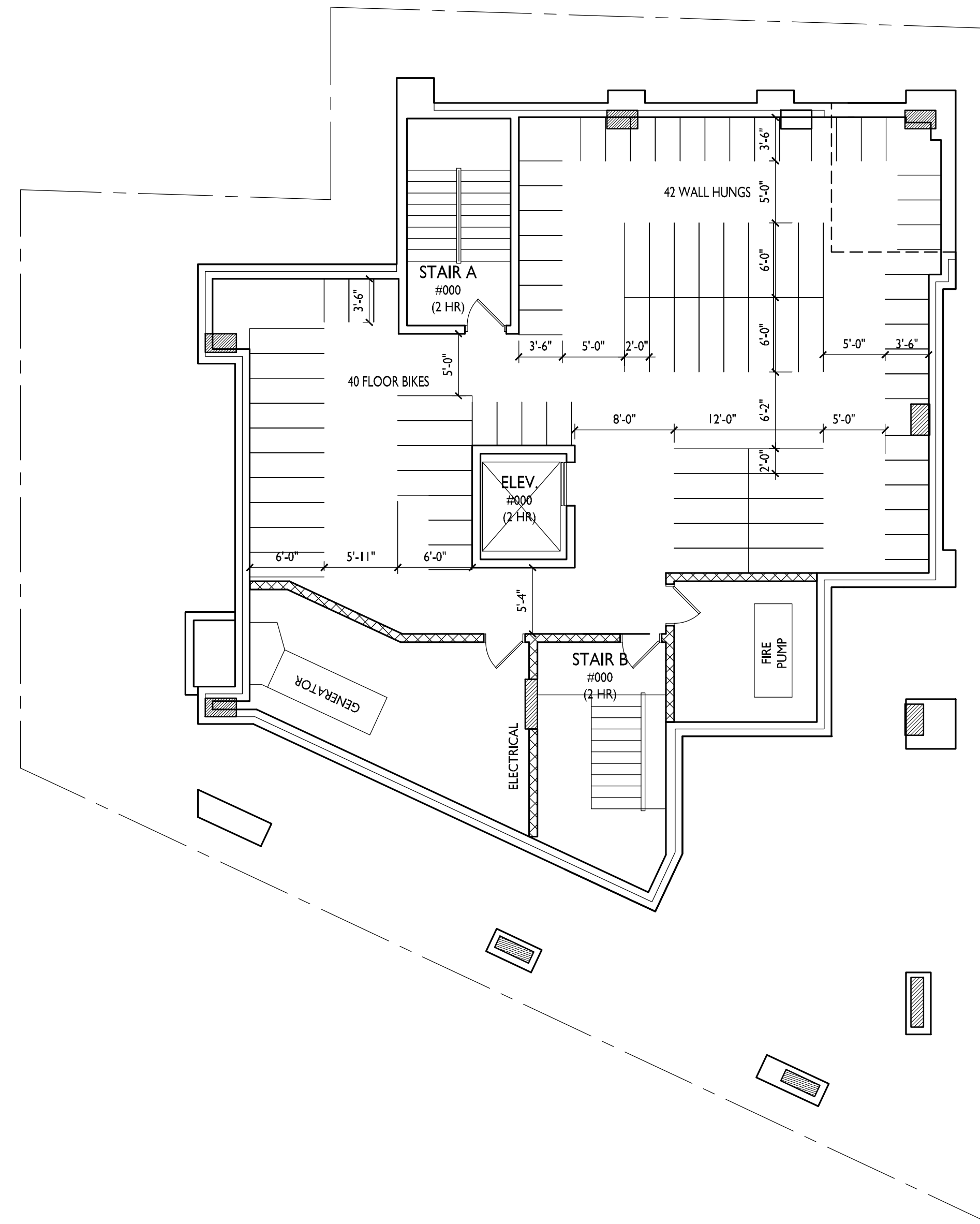
SHEET TITLE
Basement Plan

SHEET NUMBER

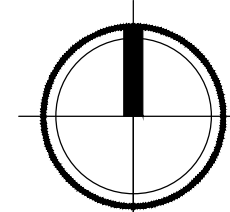
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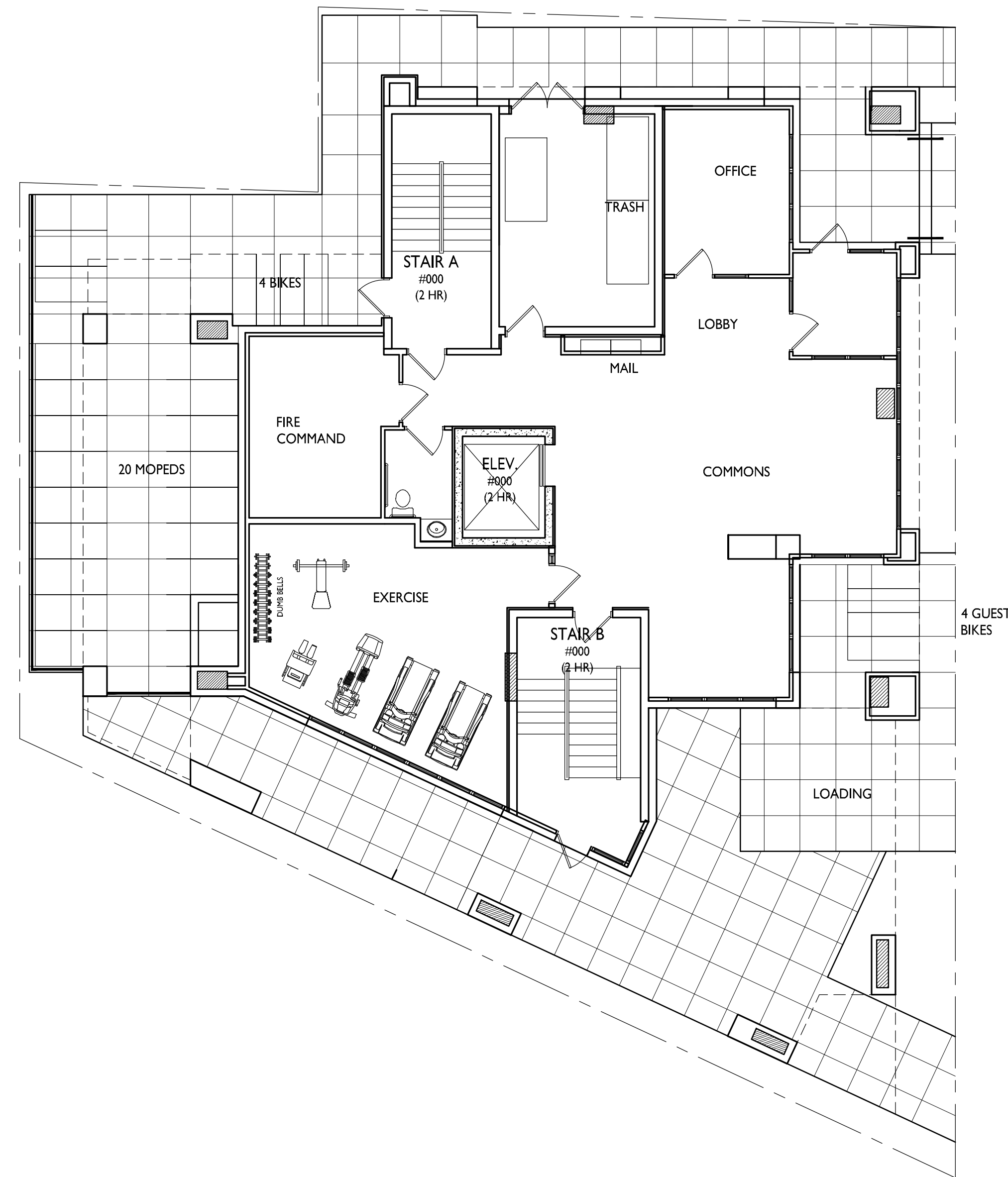
BASEMENT PLAN
A-1.0 1/8"=1'-0"





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PROJECT TITLE
222 N. Charter
Street

SHEET TITLE
First Floor Plan

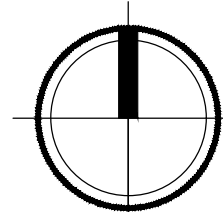
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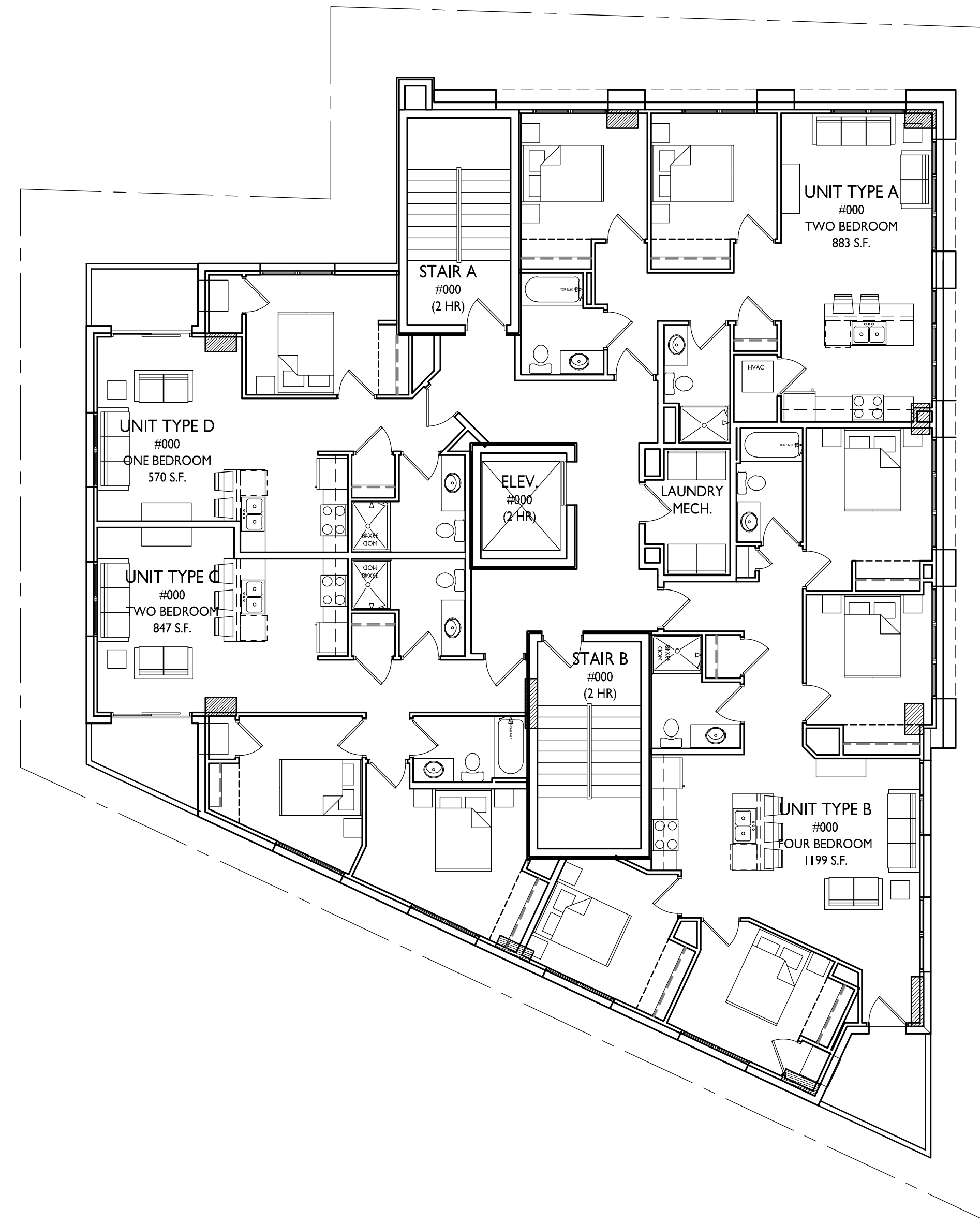
FIRST FLOOR PLAN
A-1.1 1/8"=1'-0"





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PROJECT TITLE
222 N. Charter
Street

SHEET TITLE
Second & Third
Floor Plan

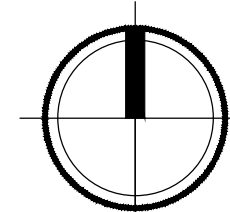
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A-1.2

PROJECT NO.

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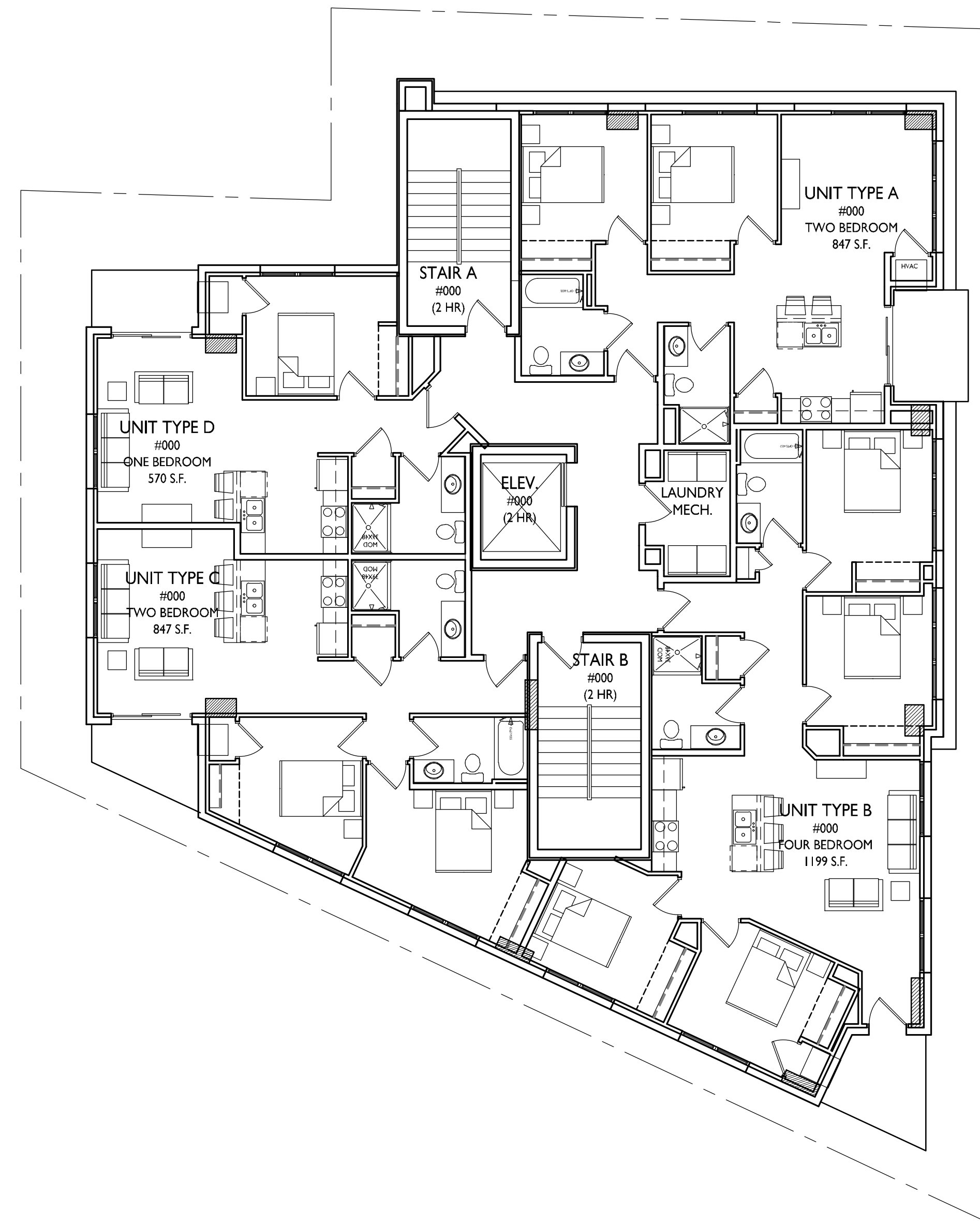
1 SECOND & THIRD FLOOR PLAN
A-1.2 1/8"=1'-0"





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Land Use Submittal - December 6, 2017

PROJECT TITLE
**222 N. Charter
Street**

SHEET TITLE
**Fourth-Eleventh
Floor Plan**

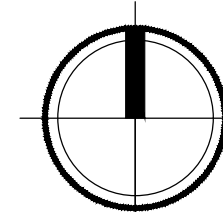
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A-1.3

PROJECT NO.

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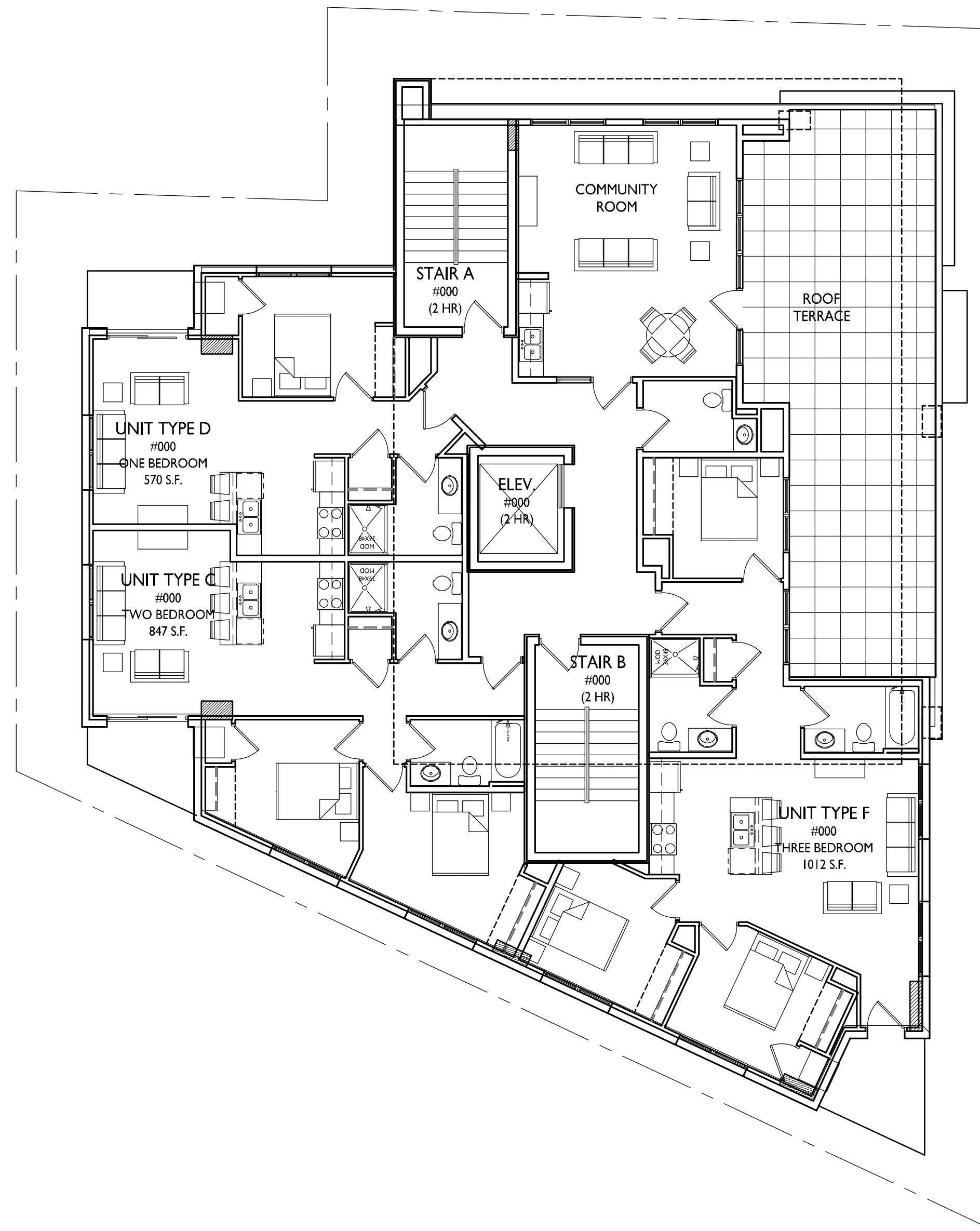
1
A-1.3 1/8"=1'-0"





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Land Use Submittal - December 6, 2017

PROJECT TITLE
**222 N. Charter
Street**

SHEET TITLE
Twelfth Floor Plan

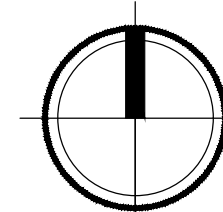
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A-1.4

PROJECT NO.

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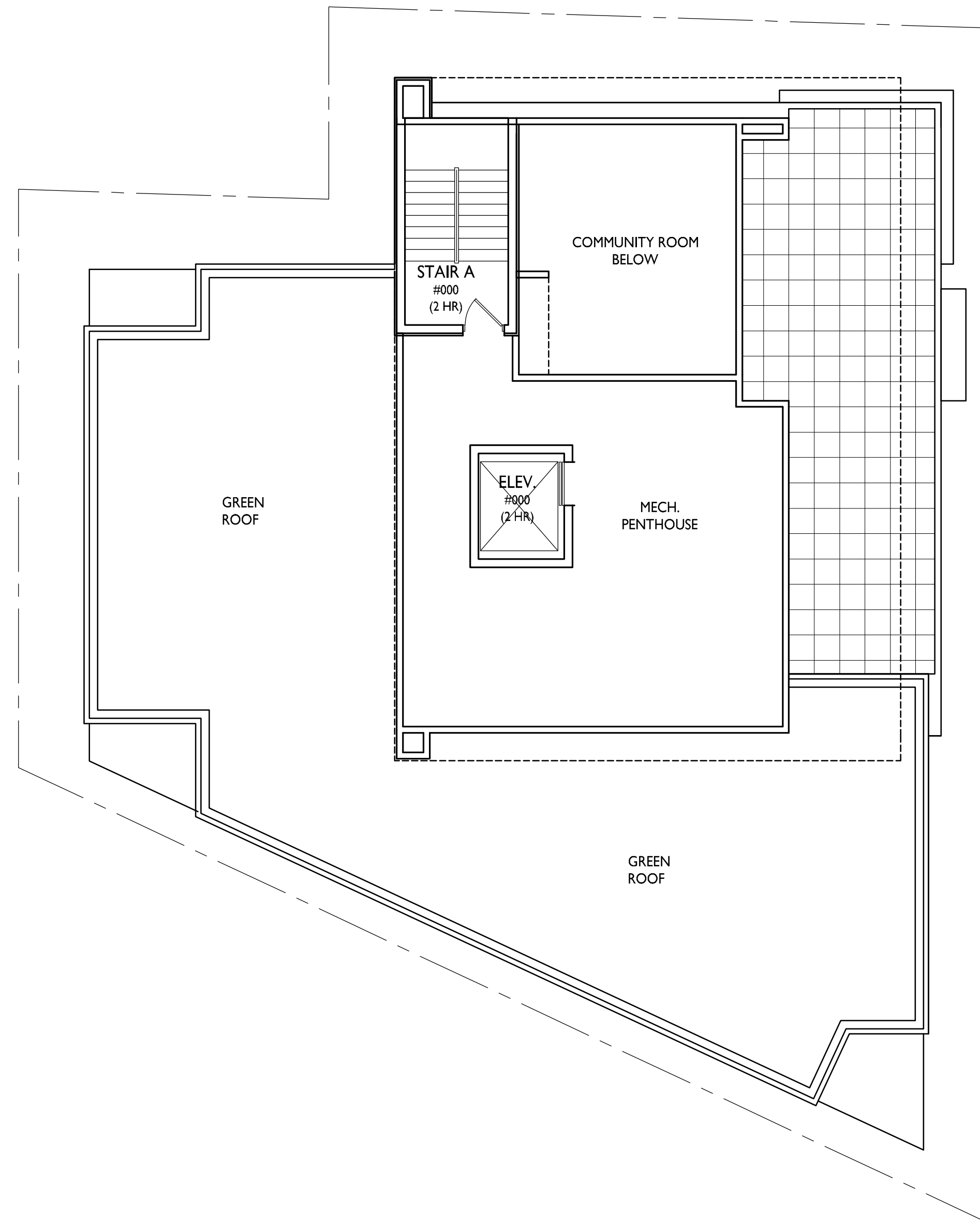
TWELFTH FLOOR PLAN
A-1.4 1/8"=1'-0"





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PROJECT TITLE
222 N. Charter
Street

SHEET TITLE
Roof Plan

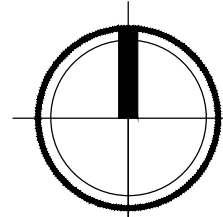
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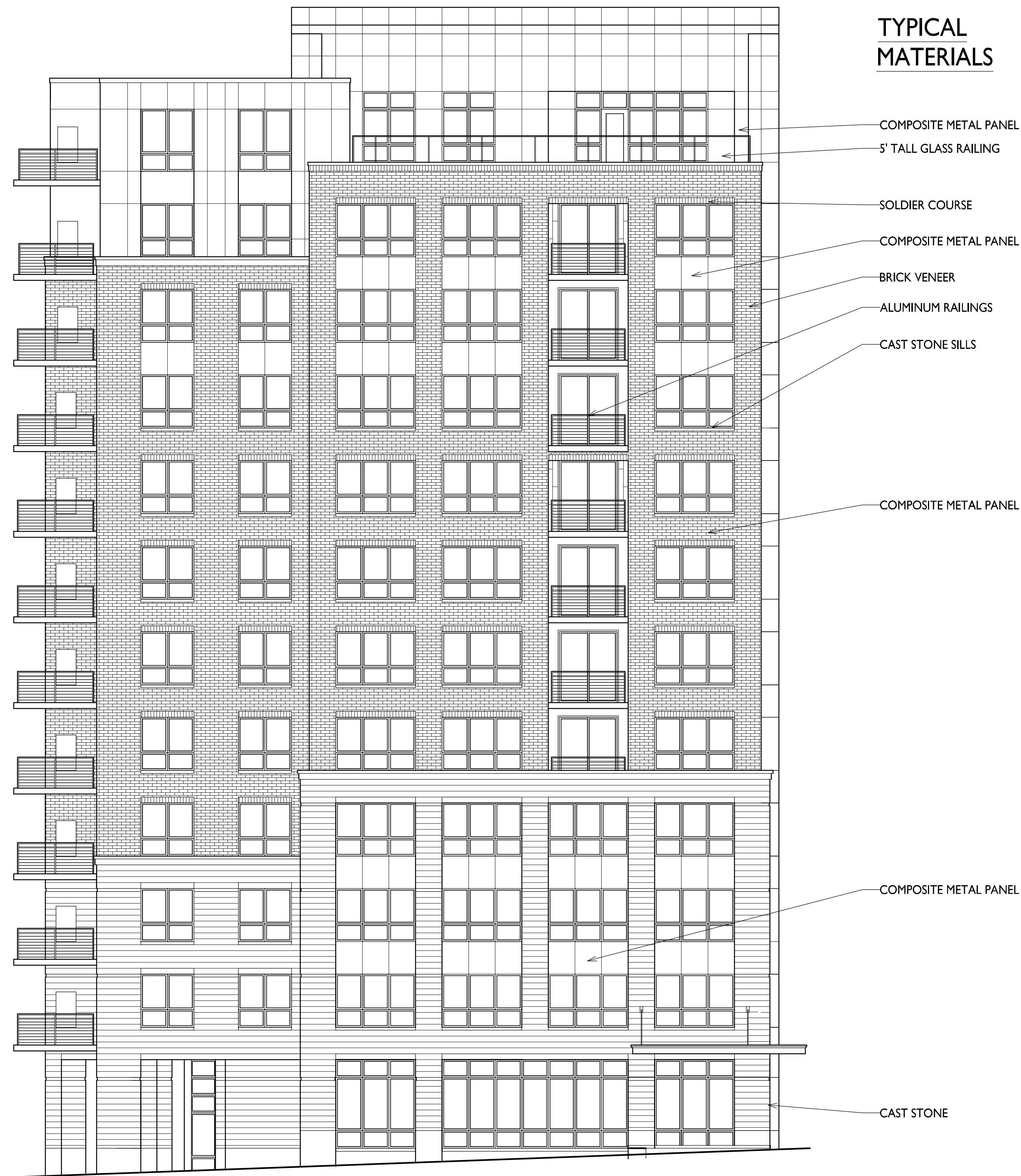
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PROJECT NO.

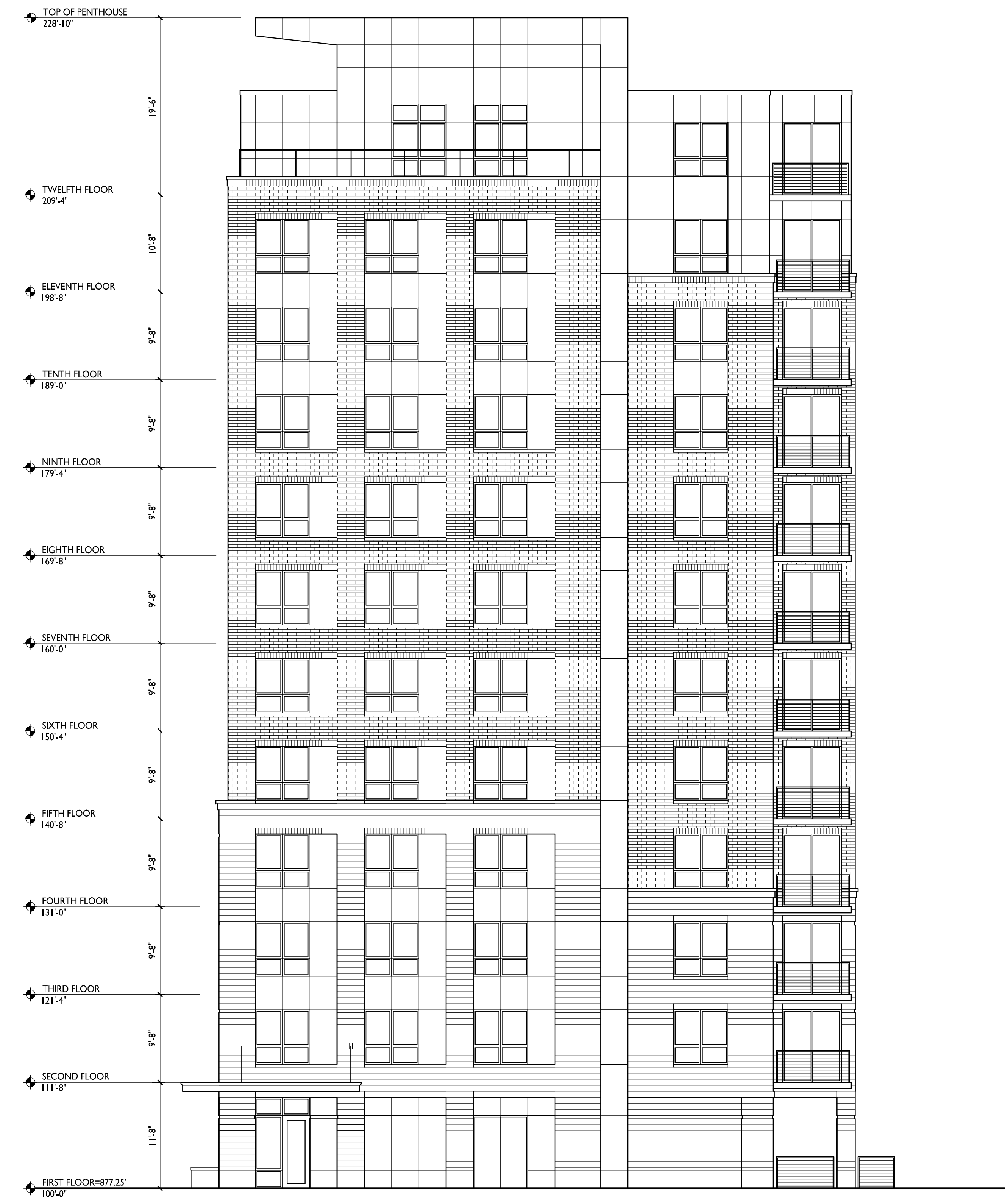
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1 ROOF PLAN
A-1.5 1/8"=1'-0"





1 ELEVATION ALONG N. CHARTER STREET
 A-2.1 1/8"=1'-0"



2 NORTH ELEVATION
 A-2.1 1/8"=1'-0"

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Land Use Submittal - December 6, 2017

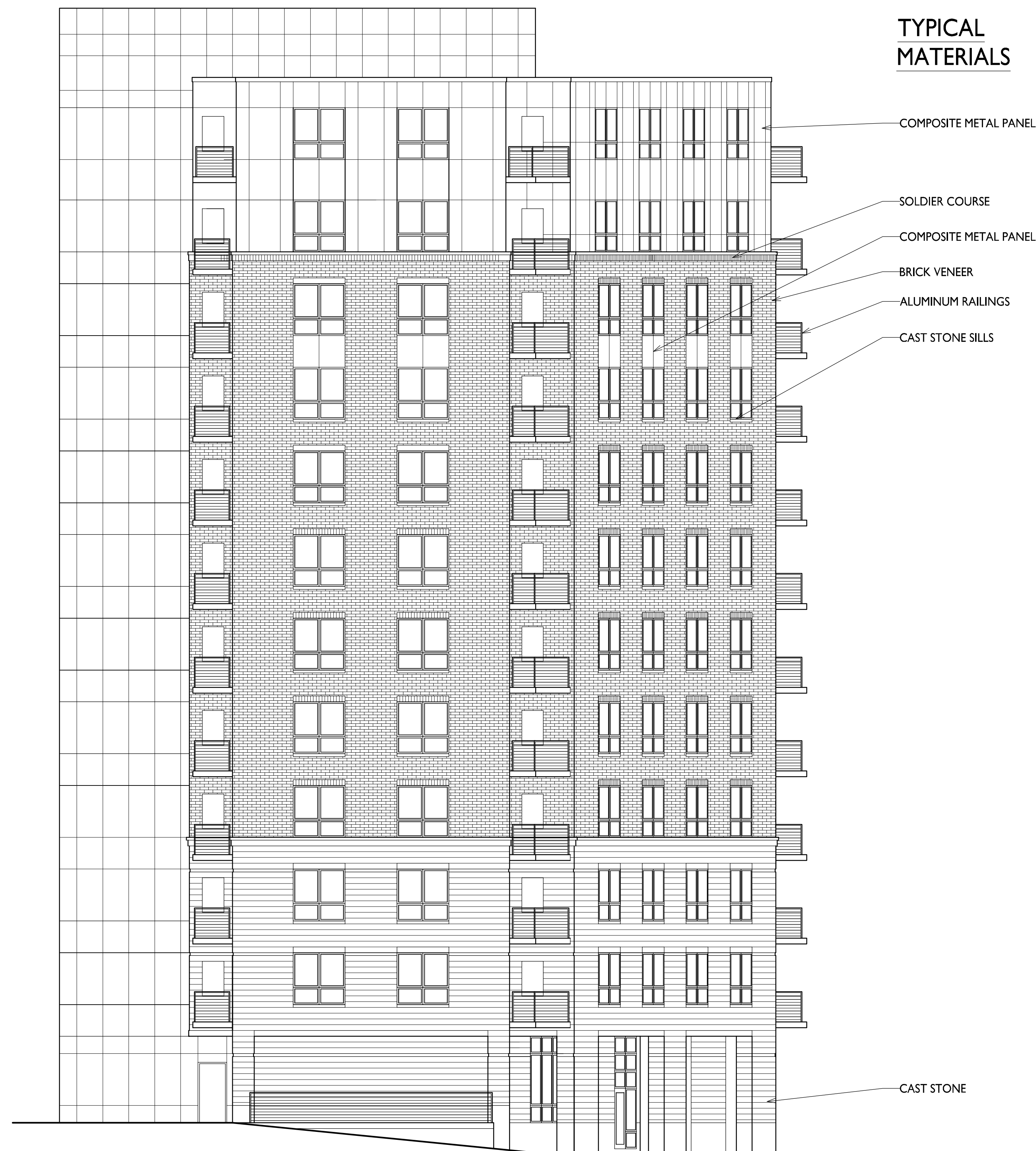
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222 N. Charter
Street

SHEET TITLE
Elevations

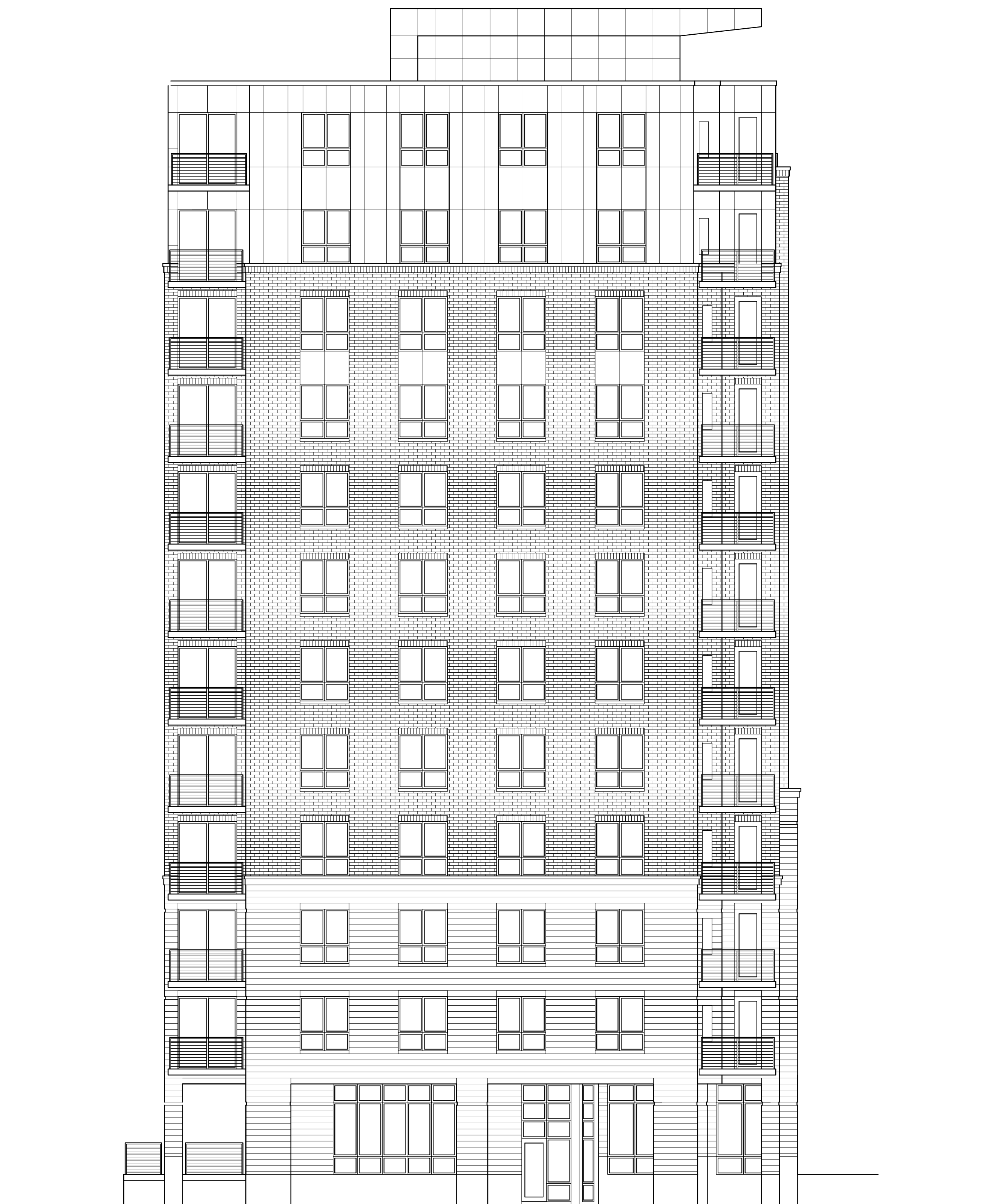
SHEET NUMBER

A-2.2

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1 WEST ELEVATION
A-2.2 1/8"=1'-0"



2 SOUTH ELEVATION
A-2.2 1/8"=1'-0"



A-2.3
222 N. Charter Street
Madison, WI
December 6, 2017





222 N Charter

A-2.4

222 N. Charter Street
Madison, WI
December 6, 2017





A-2.5

222 N. Charter Street

Madison, WI

December 6, 2017

