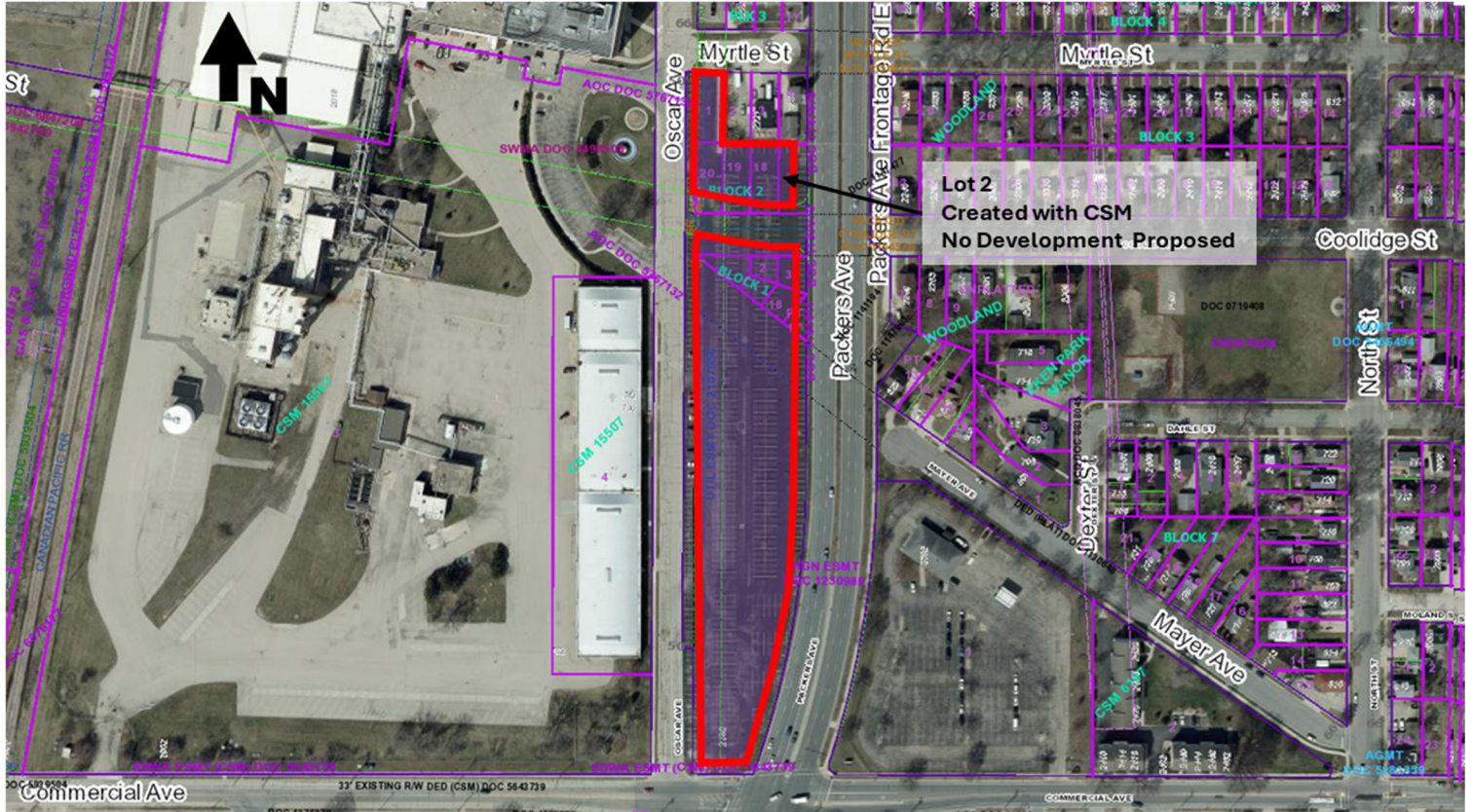


2150 Commercial Avenue
Contract 9700
MUNIS 16014
Developer: Central At The Forge, LP



The developer, Central At The Forge, LP, received the City of Madison's conditional approval for a two-lot Certified Survey Map and is proposing a permitted use multi-family/commercial mixed-use project at 2150 Commercial Avenue. The site is currently the Oscar Mater parking lot and the project as proposed will have 241 total units with approximately 6,000 sf of retail space. Vehicle and bike parking will be provided as well as electric vehicle charging stations. The Site has frontage on Commercial Avenue, Oscar Avenue, Packers Avenue and the future extension of Coolidge Street.

Summary of Improvements:

- Recording of Certified Survey Map.
- Dedicate Right of Way or grant a Public Sidewalk Easement for and be responsible for the construction of a minimum ten (10)-foot wide path, eight (8)-foot terrace, and additional one (1) foot for maintenance, where applicable, along their site's frontage of Commercial Avenue.
- The applicant shall dedicate sixteen (16) feet of right of way along their frontage of Oscar Avenue for a total Right of Way width of 66'. regards to how the construction is completed and what the materials are used for the new utilities.
- The Applicant shall Dedicate a 66-foot wide Right of Way for the extension of Coolidge Street per Officially Mapped Street Resolution RES-22-00478.
- The Applicant shall Dedicate a strip of Right of Way along portions of Oscar Ave, Commercial Ave, and Packers Ave as necessary and required for proper street movements by Engineering and Traffic Engineering. Final areas of dedication are to be approved by Engineering and Traffic.
- Grant a Public Sanitary Sewer and Storm sewer Easement(s) to the City on the face of this Certified Survey Map or Subdivision Plat. Grant easements as necessary to reroute and construct Sanitary and Storm Sewer connections through the site.
- Protect and/or reset the two PLSS Section Corner Monuments marking the South Quarter Corner of Section 31, T8N, R10E and the North Quarter Corner of Section 6, T7N, R10E located in Commercial Avenue as needed and remove the square M marked monument access boxes and replace with circular water valve type access boxes that are located within the project limits. Provide updated PLSS tie sheets and file with the Dane County Surveyor upon completion of work in the Commercial Avenue Right-of-Way limits. This work is required to be performed by/or under the direction of a Wisconsin Professional Land Surveyor. Prior to construction ties/temporary ties shall be set safely offsite to preserve the locations of the PLSS Corners, these ties shall also be filed with the Dane County Surveyor. Note: reasonable access to the PLSS corners shall be maintained throughout the project duration.
- Construct sidewalk and street terrace on Oscar Avenue and Coolidge Street per plan approved by the City Engineer. Replace sections of curb and gutter, and pavement that are damaged by construction activities related to the site. Install curb and gutter on Coolidge Street to provide drainage as needed and as approved by the City Engineer.
- Construct multi-use path and street terrace on Packers Avenue and Commercial Avenue per plan approved by the City Engineer. Replace sections of curb and gutter, and pavement that are damaged by construction activities related to the site.

- Construct public sanitary sewer upgrades in Oscar Avenue, Packers Avenue and Commercial Avenue to provide the required sanitary sewer capacity to serve the private development project. Complete the public sanitary sewer upgrades and restore Oscar Avenue, Packers Avenue and Commercial Avenue as needed per plans approved by the City Engineer.
- Construct public storm sewer upgrades in Oscar Avenue, Packers Avenue and Commercial Avenue to provide the required storm sewer capacity to serve the private development project. Complete the public storm sewer upgrades and restore Oscar Avenue, Packers Avenue and Commercial Avenue as needed per plans approved by the City Engineer.
- Construct public water utility upgrades in Coolidge Street and Packers Avenue to provide the required water capacity to serve the private development project. Complete the public water utility upgrades and restore Coolidge Street and Packers Avenue as needed per plans approved by the City Engineer.
- Provide public street tree plantings per City Forestry approvals.
- Close abandoned driveways with curb and gutter. Construct new private drive entrance aprons per plans approved by the City Engineer and per the Commercial Driveway Permit issued by the City Traffic Engineering Division.
- Construct private sanitary, storm, and water service laterals necessary to serve the private development project per plans approved by the City Engineer.
- Protect existing public streetlights, electrical, and fiber facilities in the project area. Coordinate with City Traffic Engineering and City IT on relocations needed to facilitate construction. Temporary traffic signal at the intersection of Commercial Avenue and Packers Avenue as well as temporary fiber to the signal cabinet will be required. Relocation of fiber along Oscar Avenue will be required. Temporary streetlights will be required.
- Coordinate project access, street closures, and street occupancy with other projects in the area and as approved by City Traffic Engineering.

SITE PLAN NOTES:

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
7. ANY SIDEWALK AND CURB & GUTTER ADJUTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY OF MADISON ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

RIGHT-OF-WAY NOTES:

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY/DEVELOPER AGREEMENT AND THE CITY ISSUED PLANS, CONTRACT NO. 9700, PROJECT NO. 16014.
2. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

CITY FORESTRY NOTES:

1. ALL PROPOSED STREET TREE REMOVALS SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
2. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPEC.SCFM](https://www.cityofmadison.com/business/pw/specs.cfm)
3. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
4. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPEC.SCFM](https://www.cityofmadison.com/business/pw/specs.cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
5. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
6. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
7. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

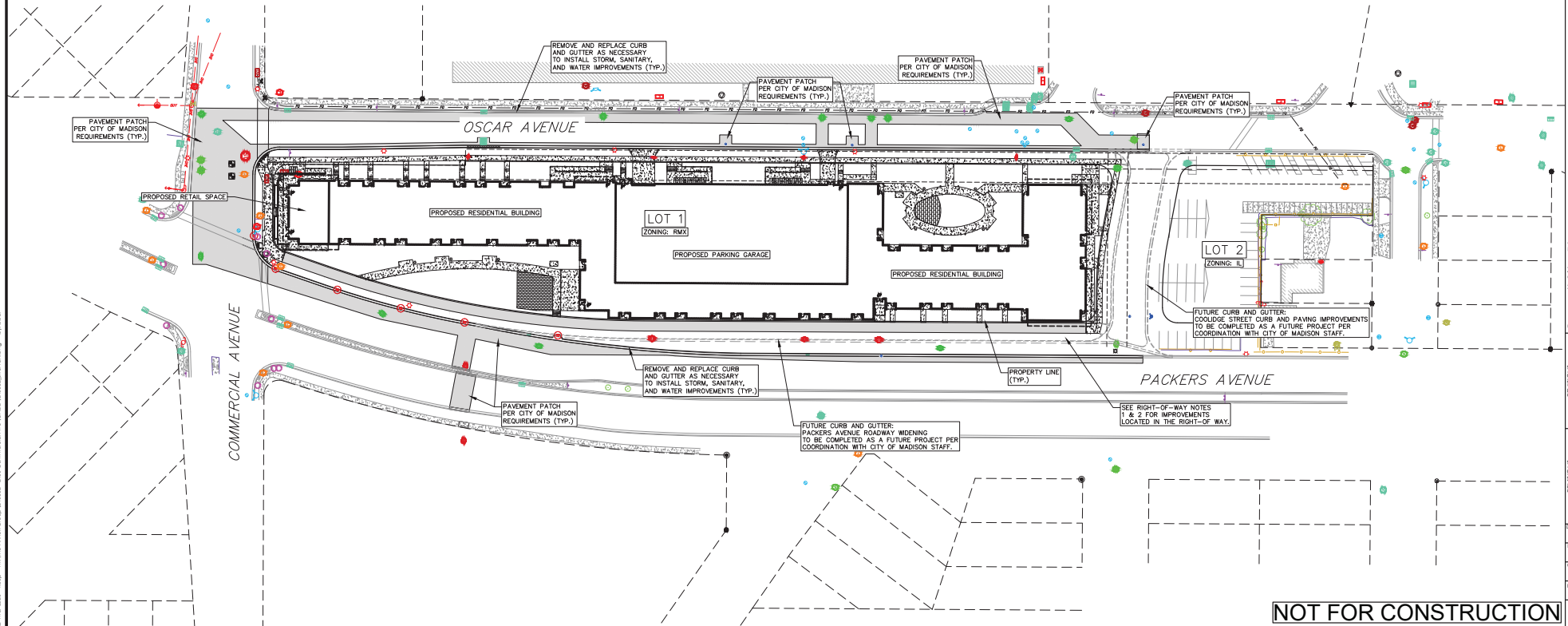


GRAPHIC SCALE, FEET
0 20 40 80

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED BUILDING
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

ABBREVIATIONS	
TO	- TOP OF CURB
PF	- PARKING FLOOR
FL	- FLOW LINE
SW	- TOP OF WALK
WB	- TOP OF WALK
WB	- BOTTOM OF WALK



NOT FOR CONSTRUCTION C300

Overall Site Plan
The Central at the Forge
City of Madison
Dane County, Wisconsin

REVISIONS		DATE	BY	REASON
1	03-27-2028			
2	03-27-2028			
3	03-27-2028			
4	03-27-2028			
5	03-27-2028			
6	03-27-2028			
7	03-27-2028			
8	03-27-2028			
9	03-27-2028			
10	03-27-2028			
11	03-27-2028			
12	03-27-2028			
13	03-27-2028			
14	03-27-2028			
15	03-27-2028			
16	03-27-2028			
17	03-27-2028			
18	03-27-2028			
19	03-27-2028			
20	03-27-2028			
21	03-27-2028			
22	03-27-2028			
23	03-27-2028			
24	03-27-2028			
25	03-27-2028			
26	03-27-2028			
27	03-27-2028			
28	03-27-2028			
29	03-27-2028			
30	03-27-2028			
31	03-27-2028			
32	03-27-2028			
33	03-27-2028			
34	03-27-2028			
35	03-27-2028			
36	03-27-2028			
37	03-27-2028			
38	03-27-2028			
39	03-27-2028			
40	03-27-2028			
41	03-27-2028			
42	03-27-2028			
43	03-27-2028			
44	03-27-2028			
45	03-27-2028			
46	03-27-2028			
47	03-27-2028			
48	03-27-2028			
49	03-27-2028			
50	03-27-2028			
51	03-27-2028			
52	03-27-2028			
53	03-27-2028			
54	03-27-2028			
55	03-27-2028			
56	03-27-2028			
57	03-27-2028			
58	03-27-2028			
59	03-27-2028			
60	03-27-2028			
61	03-27-2028			
62	03-27-2028			
63	03-27-2028			
64	03-27-2028			
65	03-27-2028			
66	03-27-2028			
67	03-27-2028			
68	03-27-2028			
69	03-27-2028			
70	03-27-2028			
71	03-27-2028			
72	03-27-2028			
73	03-27-2028			
74	03-27-2028			
75	03-27-2028			
76	03-27-2028			
77	03-27-2028			
78	03-27-2028			
79	03-27-2028			
80	03-27-2028			
81	03-27-2028			
82	03-27-2028			
83	03-27-2028			
84	03-27-2028			
85	03-27-2028			
86	03-27-2028			
87	03-27-2028			
88	03-27-2028			
89	03-27-2028			
90	03-27-2028			
91	03-27-2028			
92	03-27-2028			
93	03-27-2028			
94	03-27-2028			
95	03-27-2028			
96	03-27-2028			
97	03-27-2028			
98	03-27-2028			
99	03-27-2028			
100	03-27-2028			

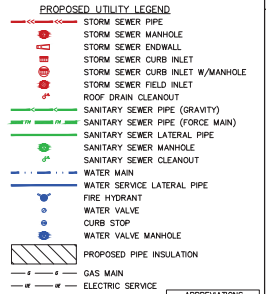
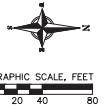
UTILITY NOTES:

- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(3)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(11)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(6)(s).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.

- SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
- INSTALL 1 SHEET OF 4"x8"x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

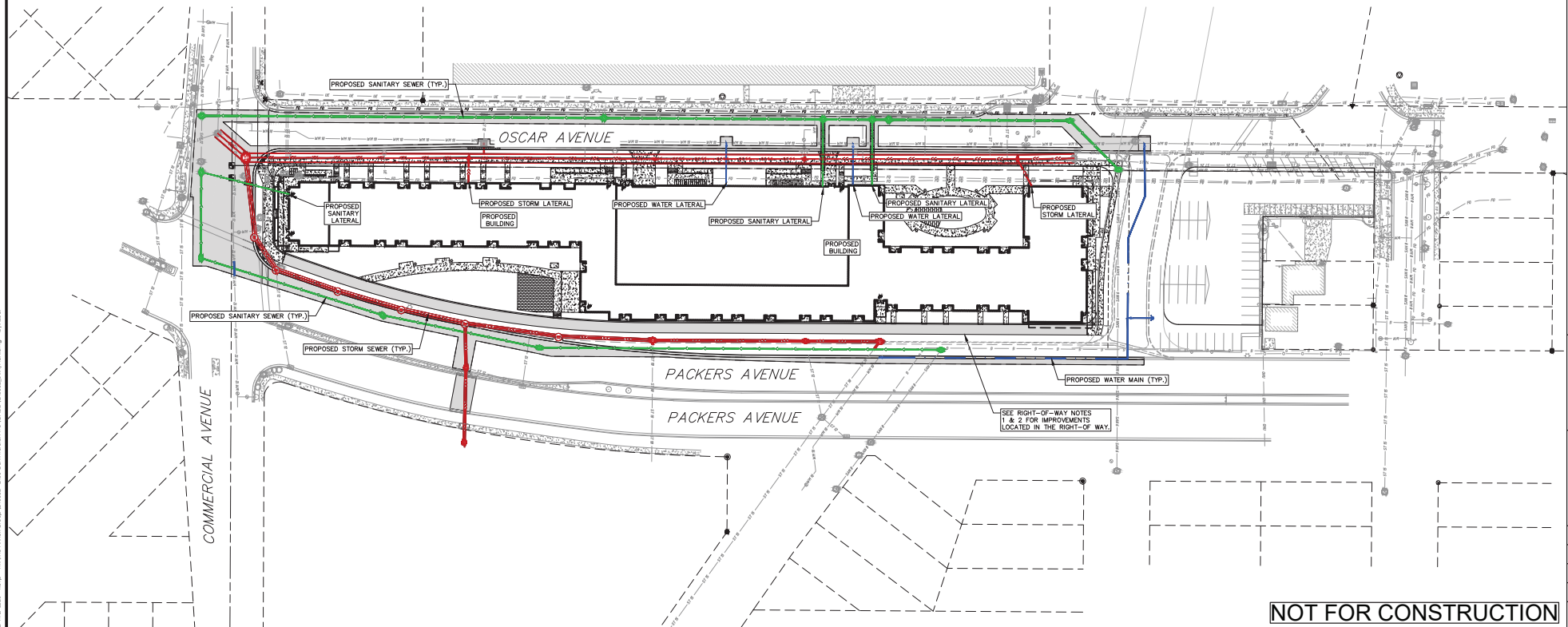
RIGHT-OF-WAY NOTES

- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY/DEVELOPER AGREEMENT AND THE CITY ISSUED PLANS, CONTRACT NO. 9700, PROJECT NO. 16014.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.



ABBREVIATIONS

SM	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE



NOT FOR CONSTRUCTION

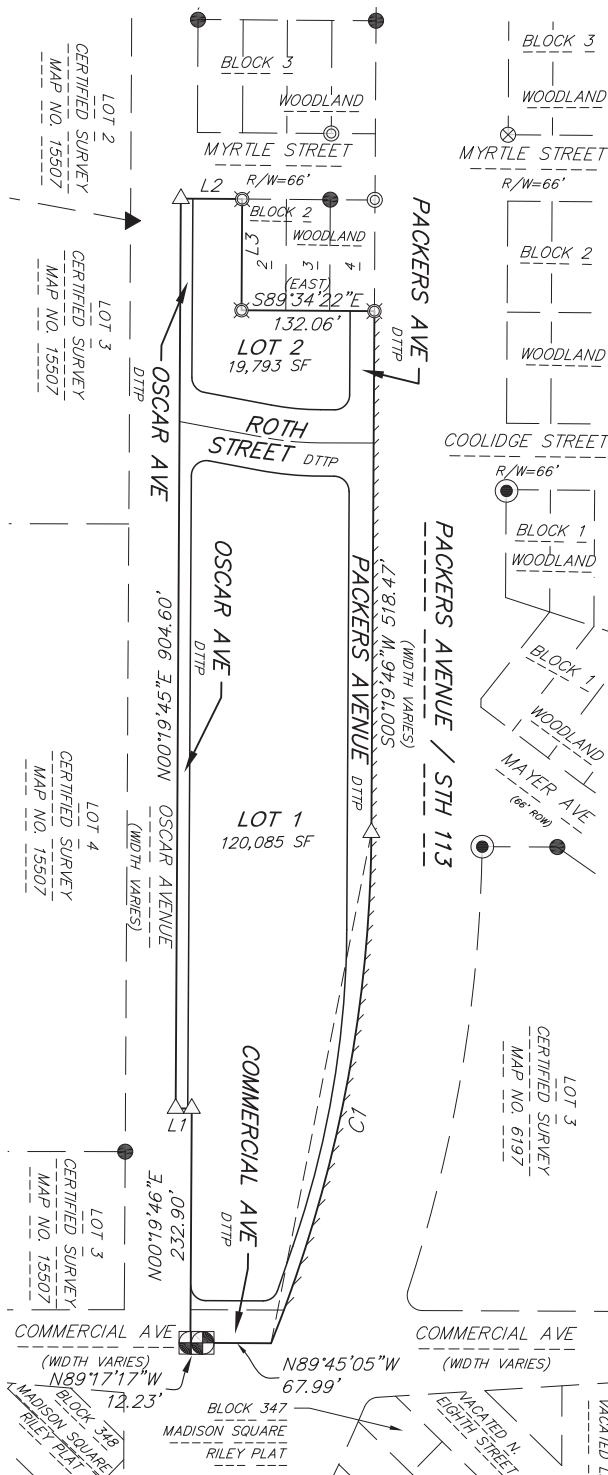
Overall Utility Plan
The Central at the Forge
City of Madison
Dane County, Wisconsin

REVISIONS	DATE	BY	CHK	APP
1	03-27-2026	AK	AK	
2	03-27-2026	AK	AK	
3	03-27-2026	AK	AK	

DESIGNED: AK
CHECKED: AK
PROJECT NO. 24005
C400

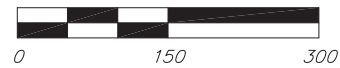
CERTIFIED SURVEY MAP No.

LOTS 1-3, 18-19 AND PART OF LOT 17, BLOCK 1, LOT 1, LOTS 17-20, BLOCK 2, WOODLAND, RECORDED AS DOCUMENT NUMBER 472658, VACATED MAYER AVENUE, RECORDED AS DOCUMENT NUMBER 1191911, VACATED PACKERS AVENUE, RECORDED AS DOCUMENT NUMBER 1191912, AND VACATED COOLIDGE STREET, RECORDED AS DOCUMENT NUMBER 1343896, AND PART OF THE SW1/4 OF THE SE1/4 OF SECTION 31, T8N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN.



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN, NAD83 (2012), THE EAST LINE OF THE SE1/4 OF SECTION 31 MEASURED AS BEARING N00°19'46"E.

GRAPHIC SCALE: 1" = 150'



SURVEY LEGEND

- ⊙ FOUND 1" Ø IRON PIPE
- ▲ FOUND P.K. NAIL
- FOUND 3/4" Ø IRON ROD
- ⊙ FOUND 1 1/4" Ø IRON ROD
- △ SET P.K. NAIL
- ⊗ SET 3/4" Ø IRON ROD
WT = 1.5LB/LF
- () INDICATES RECORDED AS
- DTP DEDICATED TO THE PUBLIC
- NO ACCESS

NOTE: SEE SHEET 4 FOR SECTION TIE DETAIL;
SHEETS 5-6 FOR EASEMENTS.

