



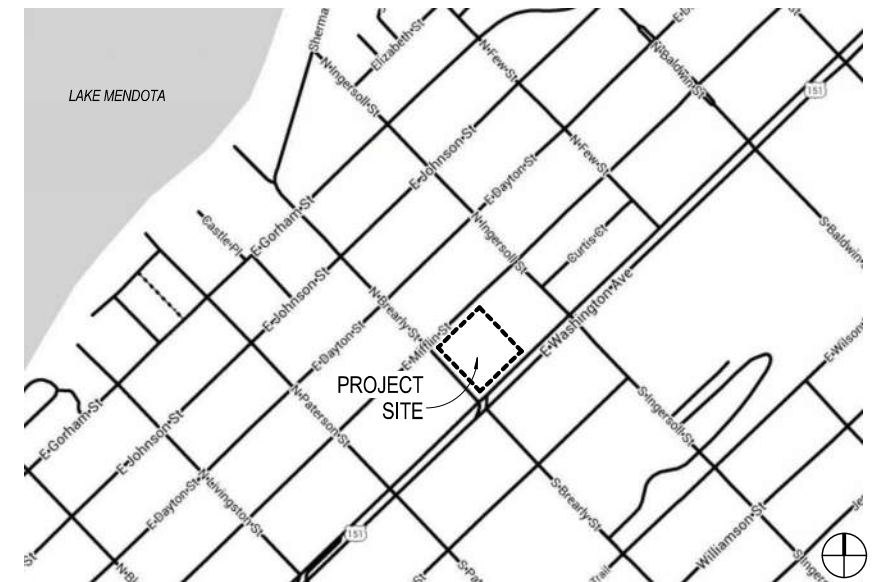
THE 15 SHEETS THAT ARE BOXED OUT IN RED HAVE BEEN ALTERED FROM THE ORIGINAL LAND USE APPLICATION AND ARE FOR UDC REVIEW ONLY.

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- G02 SITE LOCATION
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- L-3 LEVEL 11 ROOF TERRACE LANDSCAPE PLAN
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- A01 EXISTING SITE PHOTOS
- A02 BUILDING SETBACKS
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- A07 LEVELS 04 - 10 FLOOR PLAN
- A08 LEVEL 11 FLOOR PLAN
- A09 UNIT FLOOR PLANS
- A10 UNIT FLOOR PLANS
- A11 UNIT FLOOR PLANS
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- A13 UNIT FLOOR PLANS
- A14 BUILDING ELEVATIONS
- A15 BUILDING ELEVATIONS
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- E02 LEVEL 01 PHOTOMETRIC PLAN AREA B
- E03 LEVEL 01 PHOTOMETRIC PLAN AREA C
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# STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON  
MADISON, WI 53703



**PROJECT STATISTICS**

LOCAL ZONING: TE - TRADITIONAL EMPLOYMENT DISTRICT

	Office		Maker Space	Retail	Car X	Total Retail	Market Rate Apartments		Affordable Apartments		Parking		
	GSF	NSF	NSF	NSF	NSF	GSF	GSF	# OF UNITS	GSF	# OF UNITS	GSF	# Stalls	# Bicycle
LEVEL 01								0			42,805	103	134
LEVEL 02	26,442	23,385											
LEVEL 03	30,009	27,242											
LEVEL 04							19,238	20					
LEVEL 05							19,238	20					
LEVEL 06							19,238	20					
LEVEL 07							19,238	20					
LEVEL 08							19,238	20					
LEVEL 09							19,092	20					
LEVEL 10							19,092	20					
LEVEL 11							5,790	0					
									INCLUDES TOWNHOMES				
LEVEL N-01									14,796	14			
LEVEL N-02									13,376	6			
LEVEL N-03									14,683	15			
LEVEL N-04									26,907	30			
LEVEL P-02											44,468	133	61
LEVEL P-03											45,245	126	38
<b>TOTALS</b>	<b>56,451</b>	<b>50,627</b>	<b>5,876</b>	<b>10,529</b>	<b>3,878</b>	<b>22,898</b>	<b>143,125</b>	<b>140</b>	<b>69,762</b>	<b>65</b>	<b>132,518</b>	<b>362</b>	<b>233</b>

PARKING REQUIREMENT	1 / 400 SF	1 / 400 SF	1 / 400 SF	1 / 400 SF			APTS 1 PER UNIT	TOWNHOMES 1.5 PER UNIT	APTS 1 PER UNIT				
MINIMUM REQUIRED AUTO PARKING	127	15	26	10			140	14	56				
10% REDUCTION	-13	-2	-3	-1			N/A	N/A	N/A				
REDUCTION DUE TO EXCESS BICYCLE PARKING	-7	0	0	0			0	0	0				
REDUCED MINIMUM REQUIRED AUTO PARKING	107	13	24	9			140	14	56		TOTAL REQ.	362	

BICYCLE PARKING REQUIREMENT	1 / 2000 SF	1 / 2000 SF	1 / 2000 SF	1 / 2000 SF			1 PER UNIT	1 PER UNIT	1 PER UNIT				
GUEST BICYCLE PARKING REQUIREMENT	N/A	N/A	N/A	N/A			1 / 10 UNITS	1 / 10 UNITS	1 / 10 UNITS				
TOTAL REQUIRED BICYCLE PARKING	25	3	5	2			154	10	62		TOTAL REQ'D:	261	
% OF REQUIRED PARKING AS LONG-TERM	10%	10%	10%	10%			90%	90%	90%				
LONG-TERM (INDOOR) REQUIRED...	2.5	0.3	0.5	0.2			138.6	8.9	55.4		TOTAL INDOOR REQ'D:	206	
SHORT TERM (OUTDOOR) REQUIRED PARKING	22.8	2.6	4.7	1.7			15.4	1.0	6.2		TOTAL OUTDOOR REQ'D:	54	
											TOTAL OUTDOOR PROV.:	76	

SITE AREA	108,730	TOTAL PROJECT GSF	424,755	TOTAL AFFORDABLE UNITS	65
SITE ACREAGE	2.50			TOTAL MARKET RATE UNITS	140

This site is in Urban Design District 8, and its design incorporates the principles defined for this district. This site is currently zoned TE Traditional Employment. This project is seeking a Conditional Use under this zoning designation and is creating a project that complies with the current zoning

**Lot Coverage and Useable Open Space Calculations**

Traditional Employment District has an 85% lot coverage maximum  
 Size of Lot: 108,730 sf  
 Building Footprint: 83,460 sf  
 Pervious area at grade: 10,870 sf  
 Planted area at plaza level: 10,950 sf  
 Planted area at rooftop level: 675 sf  
 Lot Coverage Max allowed: 92,420 sf  
 Lot Coverage provided: 86,235 sf



epstein uhen : architects

## LAND USE APPLICATION UDC REVIEW

12/2/2015

PROJECT NUMBER: 14339-01



**eppstein uhen : architects**

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
telephone 608.442.5350

PROJECT INFORMATION

**STONE HOUSE  
MIXED USE EAST  
WASHINGTON**

1000 E.  
WASHINGTON  
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION
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SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 10/21/2015

SITE LOCATION

**G02**





appstein uhen : architects

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 10/21/2015

PRELIMINARY LIFE  
SAFETY PLAN

**G03**

**FIRE RESISTIVE LEGEND**

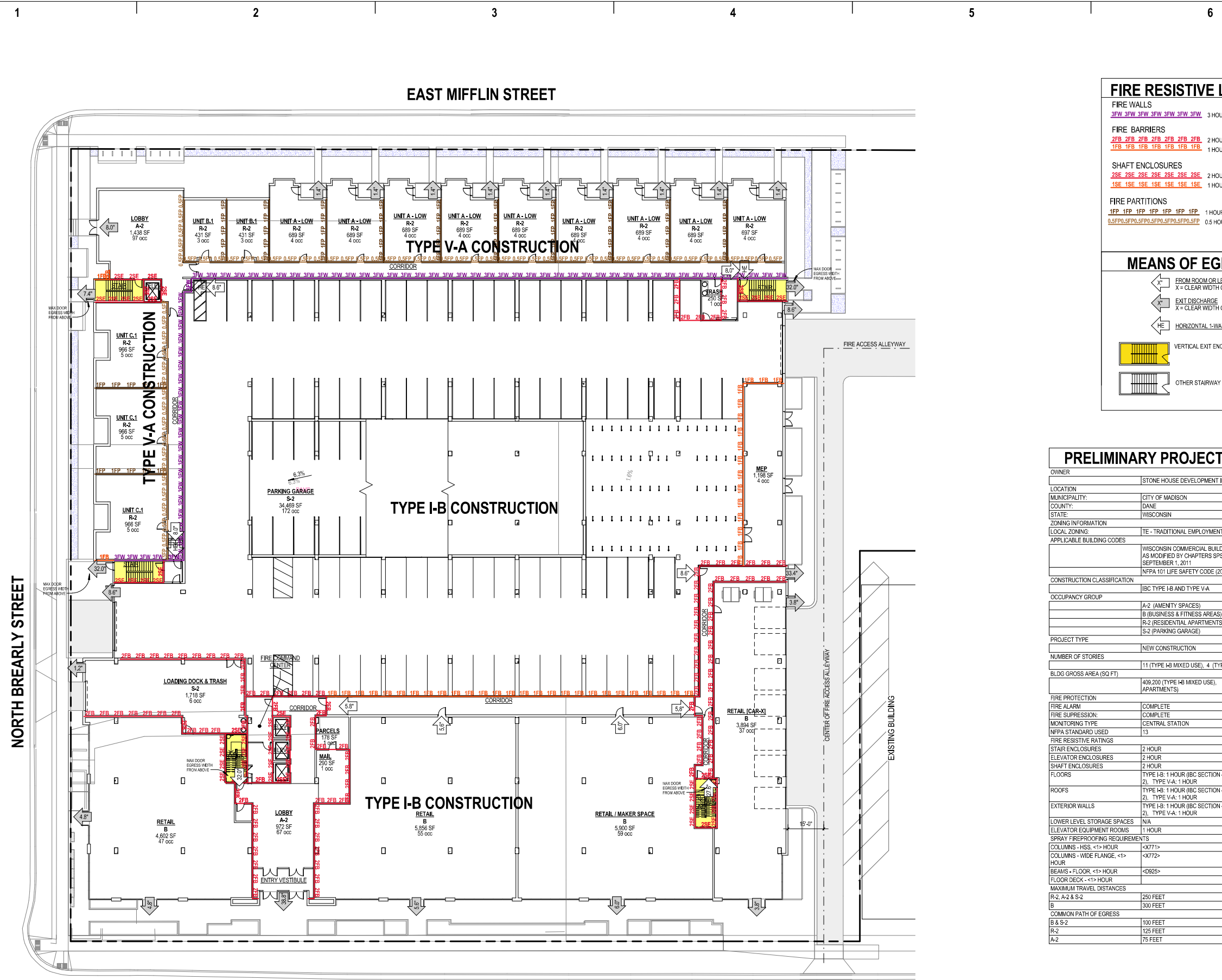
- FIRE WALLS**  
3FW 3FW 3FW 3FW 3FW 3FW 3 HOUR FIRE WALL
- FIRE BARRIERS**  
2FB 2FB 2FB 2FB 2FB 2FB 2 HOUR FIRE BARRIER  
1FB 1FB 1FB 1FB 1FB 1FB 1 HOUR FIRE BARRIER
- SHAFT ENCLOSURES**  
2SE 2SE 2SE 2SE 2SE 2SE 2 HOUR SHAFT ENCLOSURE  
1SE 1SE 1SE 1SE 1SE 1SE 1 HOUR SHAFT ENCLOSURE
- FIRE PARTITIONS**  
1FP 1FP 1FP 1FP 1FP 1FP 1 HOUR FIRE PARTITION  
0.5FP0.5FP0.5FP0.5FP0.5FP0.5FP 0.5 HOUR FIRE PARTITION

**MEANS OF EGRESS**

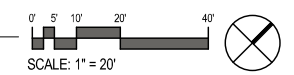
- FROM ROOM OR LEVEL  
X = CLEAR WIDTH OF OPENING IN INCHES
- EXIT DISCHARGE  
X = CLEAR WIDTH OF OPENING IN INCHES
- HORIZONTAL 1-WAY
- VERTICAL EXIT ENCLOSURE
- OTHER STAIRWAY

**PRELIMINARY PROJECT DATA**

OWNER	STONE HOUSE DEVELOPMENT INC.
LOCATION	CITY OF MADISON
MUNICIPALITY:	DANE
COUNTY:	WISCONSIN
STATE:	TE - TRADITIONAL EMPLOYMENT DISTRICT
ZONING INFORMATION	TE - TRADITIONAL EMPLOYMENT DISTRICT
APPLICABLE BUILDING CODES	WISCONSIN COMMERCIAL BUILDING CODE 2009 IBC AS MODIFIED BY CHAPTERS SPS 361-366 SEPTEMBER 1, 2011 NFPA 101 LIFE SAFETY CODE (2000)
CONSTRUCTION CLASSIFICATION	IBC TYPE I-B AND TYPE V-A
OCCUPANCY GROUP	A-2 (AMENITY SPACES) B (BUSINESS & FITNESS AREAS) R-2 (RESIDENTIAL APARTMENTS) S-2 (PARKING GARAGE)
PROJECT TYPE	NEW CONSTRUCTION
NUMBER OF STORIES	11 (TYPE I-B MIXED USE), 4 (TYPE V-A APARTMENTS)
BLDG GROSS AREA (SQ FT)	409,200 (TYPE I-B MIXED USE), 58,000 (TYPE V-A APARTMENTS)
FIRE PROTECTION	COMPLETE
FIRE ALARM	COMPLETE
FIRE SUPPRESSION:	CENTRAL STATION
MONITORING TYPE	13
NFPA STANDARD USED	
FIRE RESISTIVE RATINGS	
STAIR ENCLOSURES	2 HOUR
ELEVATOR ENCLOSURES	2 HOUR
SHAFT ENCLOSURES	2 HOUR
FLOORS	TYPE I-B: 1 HOUR (IBC SECTION 403.2.1.1, EXCEPTION 2) TYPE V-A: 1 HOUR
ROOFS	TYPE I-B: 1 HOUR (IBC SECTION 403.2.1.1, EXCEPTION 2) TYPE V-A: 1 HOUR
EXTERIOR WALLS	TYPE I-B: 1 HOUR (IBC SECTION 403.2.1.1, EXCEPTION 2) TYPE V-A: 1 HOUR
LOWER LEVEL STORAGE SPACES	N/A
ELEVATOR EQUIPMENT ROOMS	1 HOUR
SPRAY FIREPROOFING REQUIREMENTS	
COLUMNS - HSS, <1> HOUR	<X771>
COLUMNS - WIDE FLANGE, <1> HOUR	<X772>
BEAMS - FLOOR, <1> HOUR	<D825>
FLOOR DECK, <1> HOUR	
MAXIMUM TRAVEL DISTANCES	
R-2, A-2 & S-2	250 FEET
B	300 FEET
COMMON PATH OF EGRESS	
B & S-2	100 FEET
R-2	125 FEET
A-2	75 FEET



1 FIRST FLOOR  
1" = 20'-0"





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PROJECT INFORMATION

**STONE HOUSE  
MIXED USE EAST  
WASHINGTON**

1000 E.  
WASHINGTON  
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION

SHEET INFORMATION

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 10/21/2015

PRELIMINARY LIFE  
SAFETY PLAN

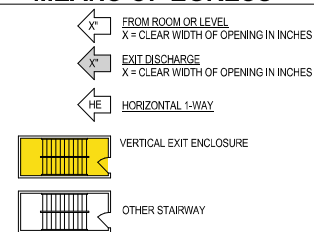
**G04**

© Eppstein Uhen Architects, Inc.

### FIRE RESISTIVE LEGEND

<b>FIRE WALLS</b>	<b>3FW 3FW 3FW 3FW 3FW 3FW</b>	3 HOUR FIRE WALL
<b>FIRE BARRIERS</b>	<b>2FB 2FB 2FB 2FB 2FB 2FB</b>	2 HOUR FIRE BARRIER
	<b>1FB 1FB 1FB 1FB 1FB 1FB</b>	1 HOUR FIRE BARRIER
<b>SHAFT ENCLOSURES</b>	<b>2SE 2SE 2SE 2SE 2SE 2SE</b>	2 HOUR SHAFT ENCLOSURE
	<b>1SE 1SE 1SE 1SE 1SE 1SE</b>	1 HOUR SHAFT ENCLOSURE
<b>FIRE PARTITIONS</b>	<b>1FP 1FP 1FP 1FP 1FP 1FP</b>	1 HOUR FIRE PARTITION
	<b>0.5FP0.5FP0.5FP0.5FP0.5FP0.5FP</b>	0.5 HOUR FIRE PARTITION

### MEANS OF EGRESS

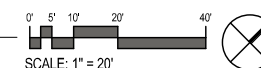


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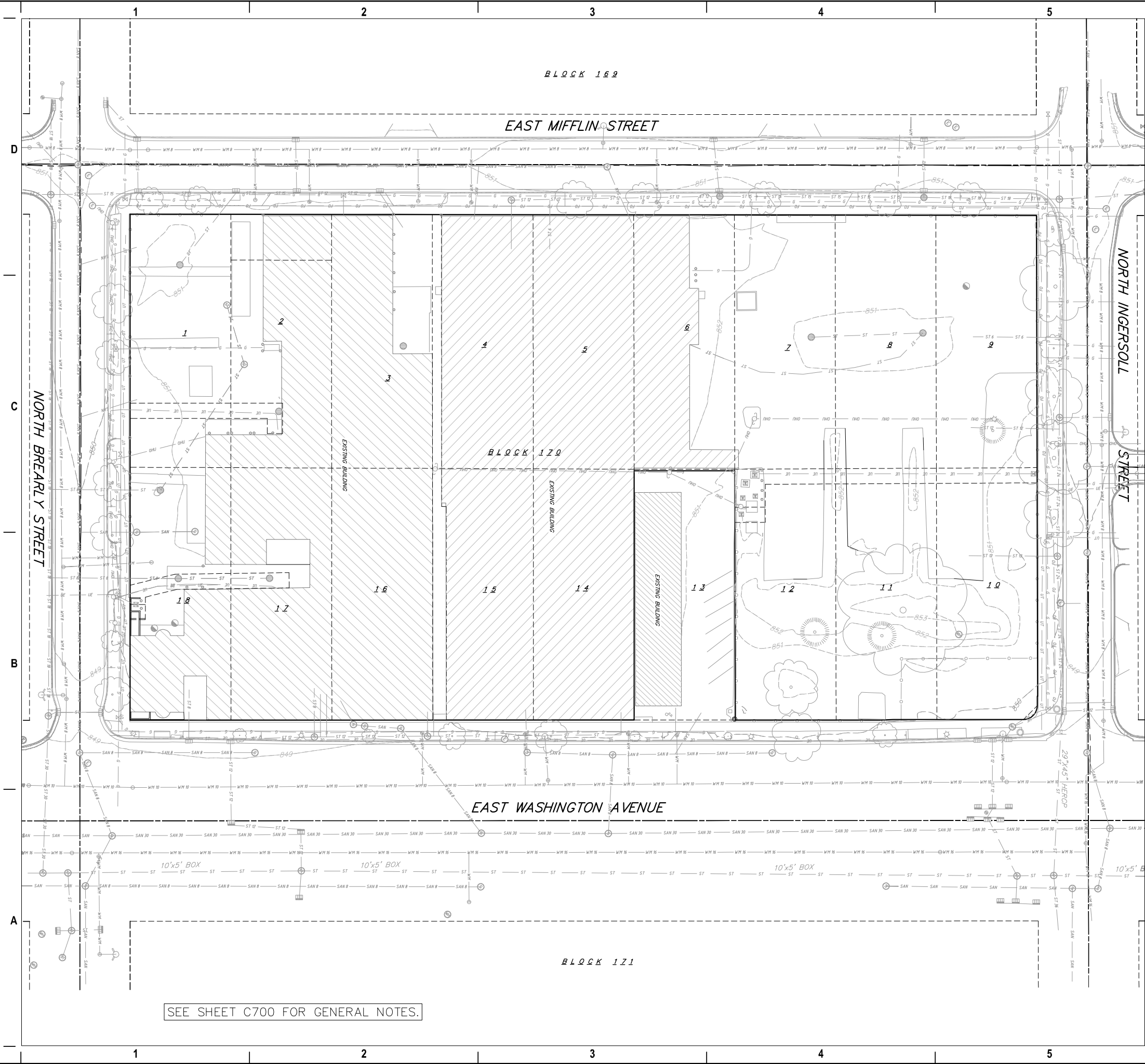
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STATE:	WISCONSIN
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LOCAL ZONING:	TE - TRADITIONAL EMPLOYMENT DISTRICT
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FIRE SUPPRESSION:	COMPLETE
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R-2, A-2 & S-2	280 FEET
B	300 FEET
COMMON PATH OF EGRESS	
B & S-2	100 FEET
R-2	125 FEET
A-2	75 FEET



**3** THIRD FLOOR & FOURTH FLOOR NORTH  
1" = 20'-0"



SCALE: 1" = 20'



SEE SHEET C700 FOR GENERAL NOTES.



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PROJECT INFORMATION

STONE HOUSE  
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 WASHINGTON

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ISSUANCE AND REVISIONS

LAND USE APPLICATION

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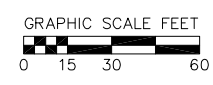
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PROJECT MANAGER	JP
PROJECT NUMBER	14339-01
DATE	10/21/2015

EXISTING CONDITIONS

C100



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- ⊕ EXISTING FLAG POLE
- Ⓜ EXISTING MAILBOX
- ⊕ EXISTING MONITORING WELL
- ⊕ EXISTING BORING
- ⊕ EXISTING POST
- ⊕ EXISTING SIGN (TYPE NOTED)
- ⊕ EXISTING CURB INLET
- ⊕ EXISTING ENDWALL
- ⊕ EXISTING FIELD INLET
- ⊕ EXISTING ROOF DRAIN CLEANOUT
- ⊕ EXISTING STORM MANHOLE
- ⊕ EXISTING SANITARY CLEANOUT
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EXISTING SEPTIC VENT
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING STANDPIPE
- ⊕ EXISTING WATER MAIN VALVE
- ⊕ EXISTING CURB STOP
- ⊕ EXISTING WELL
- ⊕ EXISTING WATER MANHOLE
- ⊕ EXISTING GAS VALVE
- ⊕ EXISTING AIR CONDITIONING PEDESTAL
- ⊕ EXISTING DOWN GUY
- ⊕ EXISTING ELECTRIC MANHOLE
- ⊕ EXISTING ELECTRIC PEDESTAL
- ⊕ EXISTING TRANSFORMER
- ⊕ EXISTING GUY POLE
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING GENERIC LIGHT
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING TV PEDESTAL
- ⊕ EXISTING TELEPHONE MANHOLE
- ⊕ EXISTING TELEPHONE PEDESTAL
- ⊕ EXISTING UNIDENTIFIED MANHOLE
- ⊕ EXISTING TRAFFIC SIGNAL
- ⊕ EXISTING SHRUB
- ⊕ EXISTING CONIFEROUS TREE
- ⊕ EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- UTV — EXISTING UNDERGROUND CABLE TV
- OHTV — EXISTING OVERHEAD CABLE TV
- FO — EXISTING FIBER OPTIC LINE
- OHT — EXISTING OVERHEAD TELEPHONE LINE
- UT — EXISTING UNDERGROUND TELEPHONE
- CLF — EXISTING CHAIN LINK FENCE
- G — EXISTING GAS LINE
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- GUY — EXISTING GUY LINE
- OHE — EXISTING OVERHEAD ELECTRIC LINE
- OGU — EXISTING OVERHEAD GENERAL UTILITIES
- FM — EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — EXISTING WATER MAIN (SIZE NOTED)
- B20 — EXISTING MAJOR CONTOUR
- B18 — EXISTING MINOR CONTOUR

PROJECT INFORMATION

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WASHINGTON**

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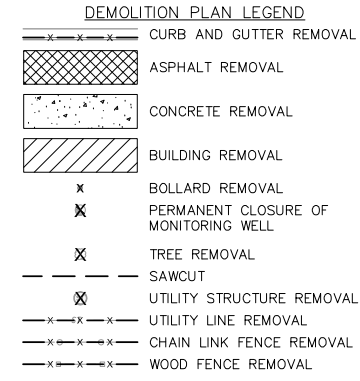
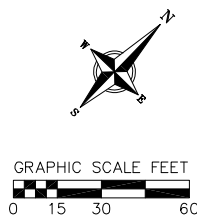
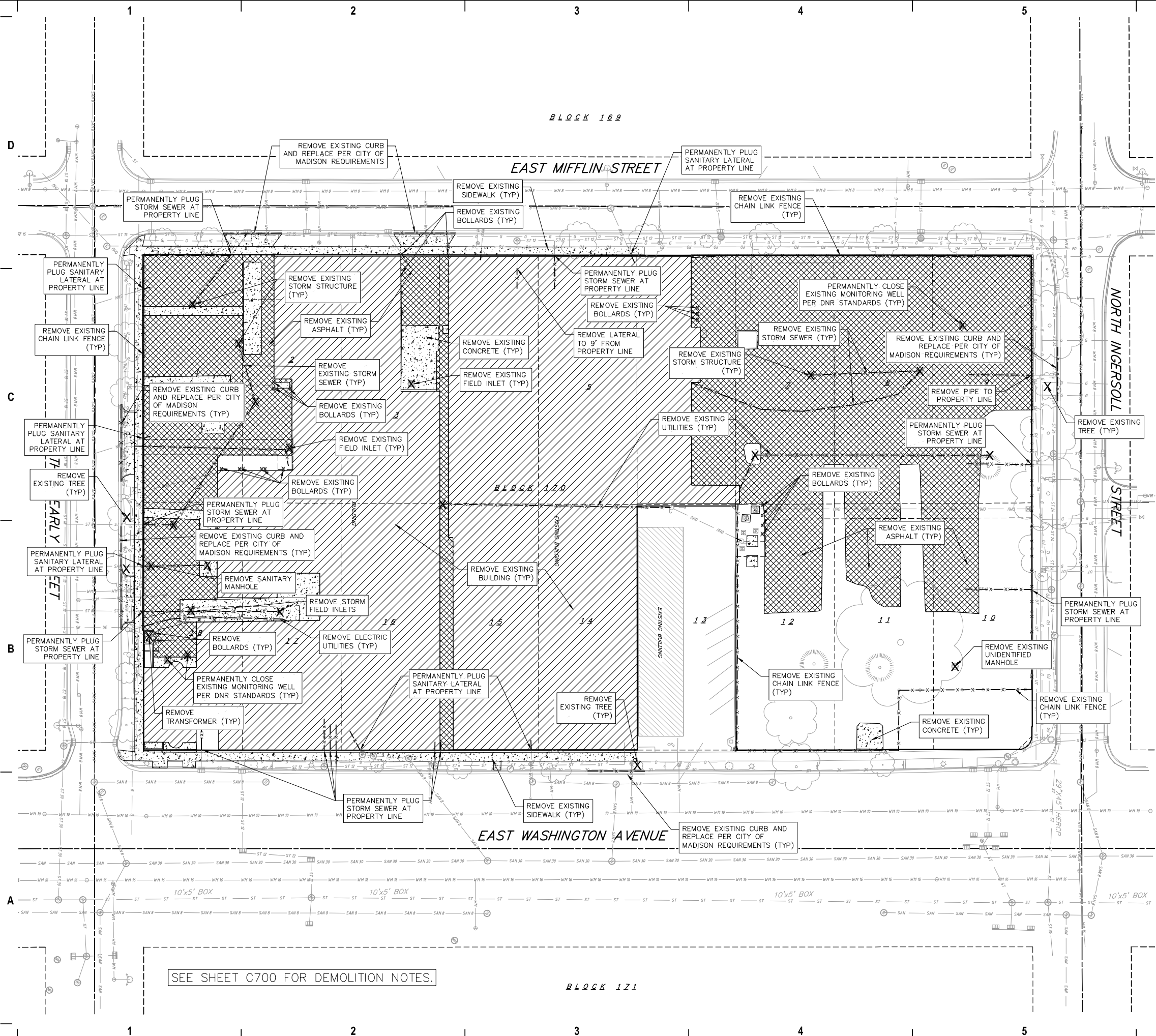
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PROJECT NUMBER 14339-01

DATE 10/21/2015

DEMOLITION PLAN

**C200**



SEE SHEET C700 FOR DEMOLITION NOTES.

BLOCK 171

**PROJECT INFORMATION**

**STONE HOUSE  
MIXED USE EAST  
WASHINGTON**

1000 E.  
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MADISON, WI 53703

**ISSUANCE AND REVISIONS**

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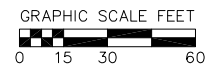
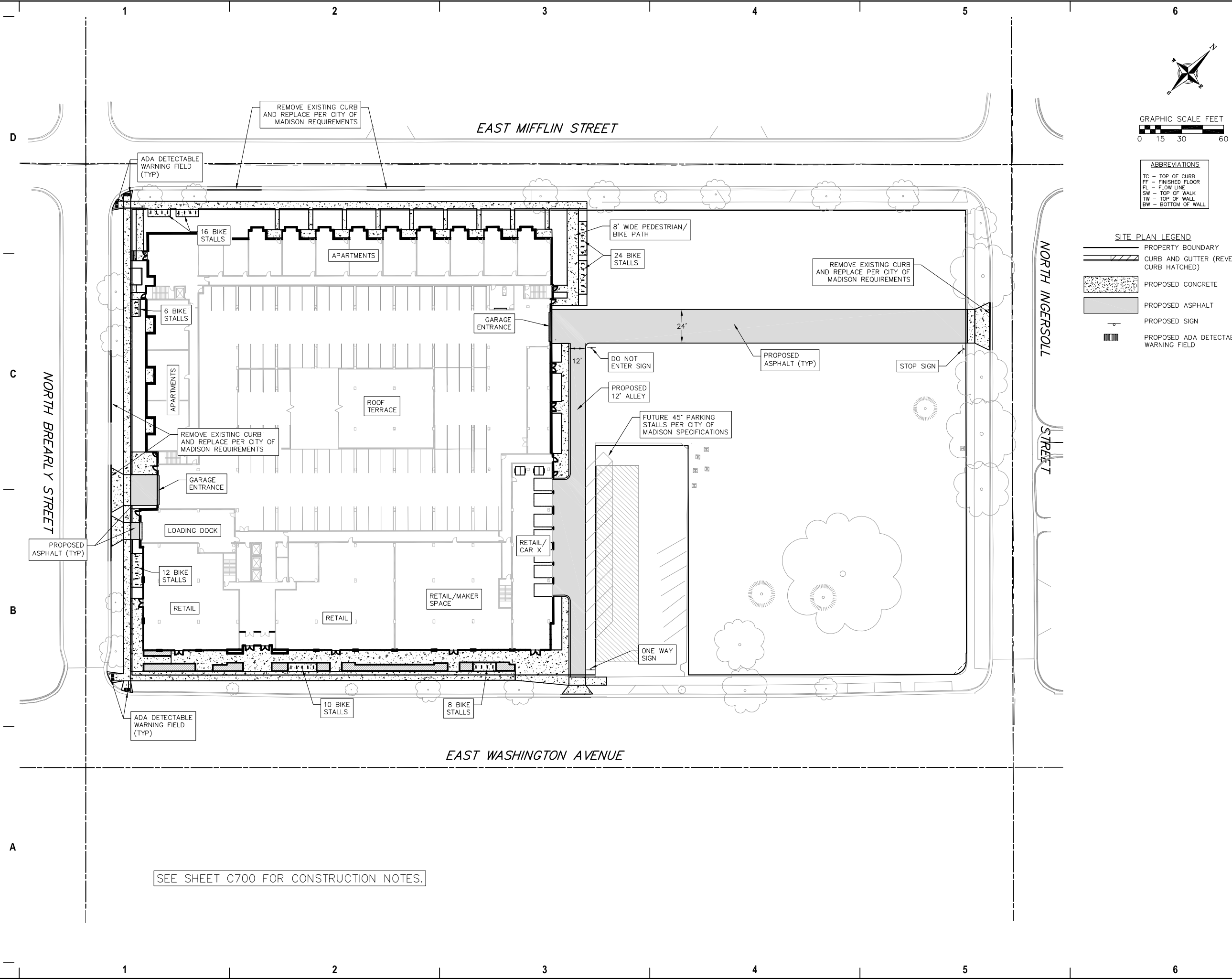
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**SITE PLAN**

**C300**



**ABBREVIATIONS**

TC	- TOP OF CURB
FF	- FINISHED FLOOR
FL	- FLOW LINE
SW	- TOP OF WALK
TW	- TOP OF WALL
BW	- BOTTOM OF WALL

**SITE PLAN LEGEND**

	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED SIGN
	PROPOSED ADA DETECTABLE WARNING FIELD

SEE SHEET C700 FOR CONSTRUCTION NOTES.

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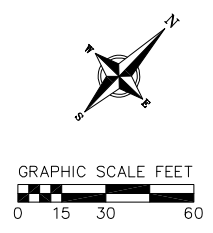
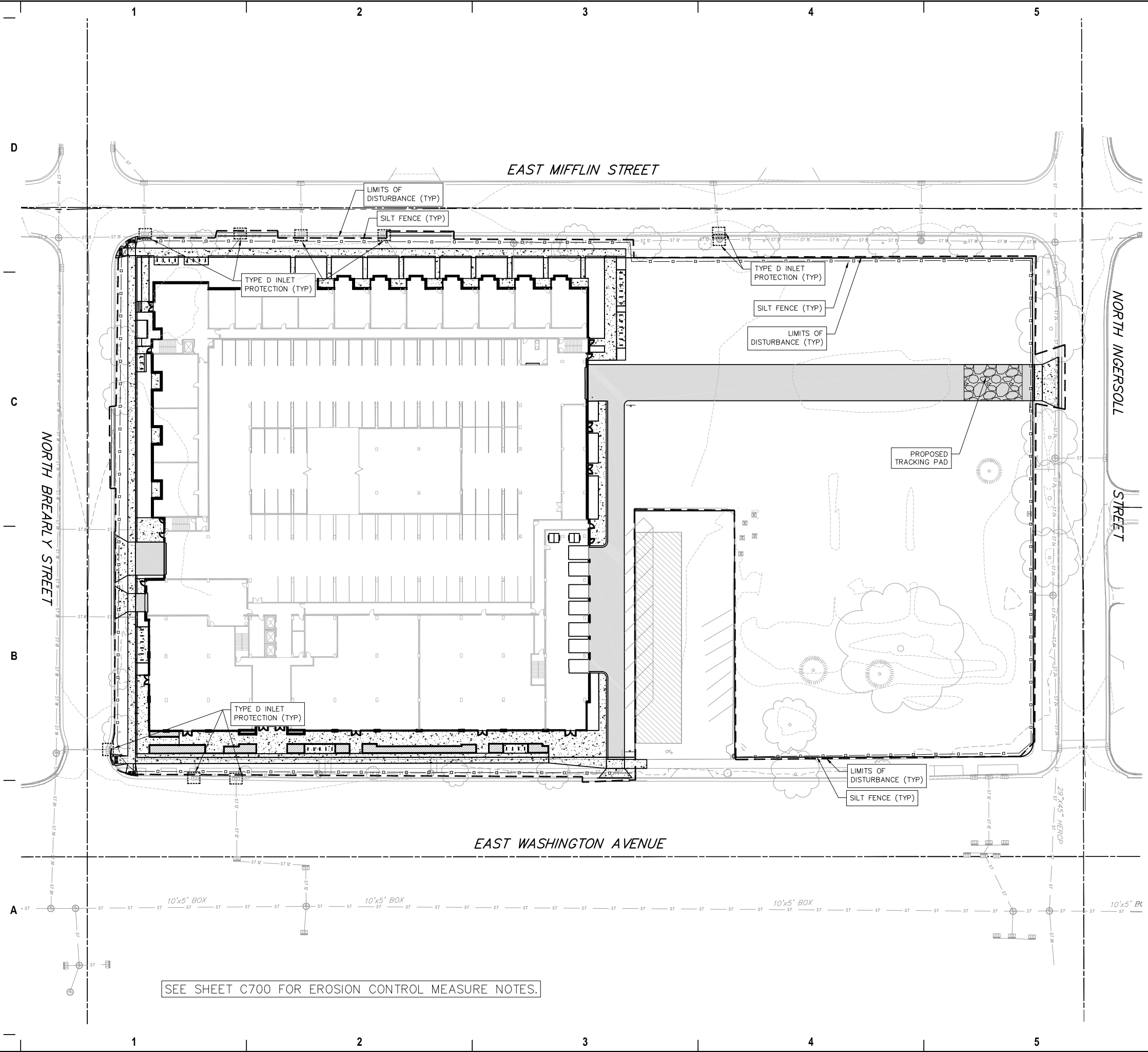
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**EROSION CONTROL  
 PLAN**

**C400**



**ABBREVIATIONS**

TC	- TOP OF CURB
FF	- FINISHED FLOOR
FL	- FLOW LINE
SW	- TOP OF WALK
TW	- TOP OF WALL
BW	- BOTTOM OF WALL

**SITE PLAN LEGEND**

	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED SIGN
	PROPOSED ADA DETECTABLE WARNING FIELD

**EROSION CONTROL LEGEND**

	SILT FENCE
	DISTURBED LIMITS
	INLET PROTECTION
	TRACKING PAD

SEE SHEET C700 FOR EROSION CONTROL MEASURE NOTES.



#	DATE	DESCRIPTION

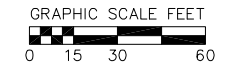
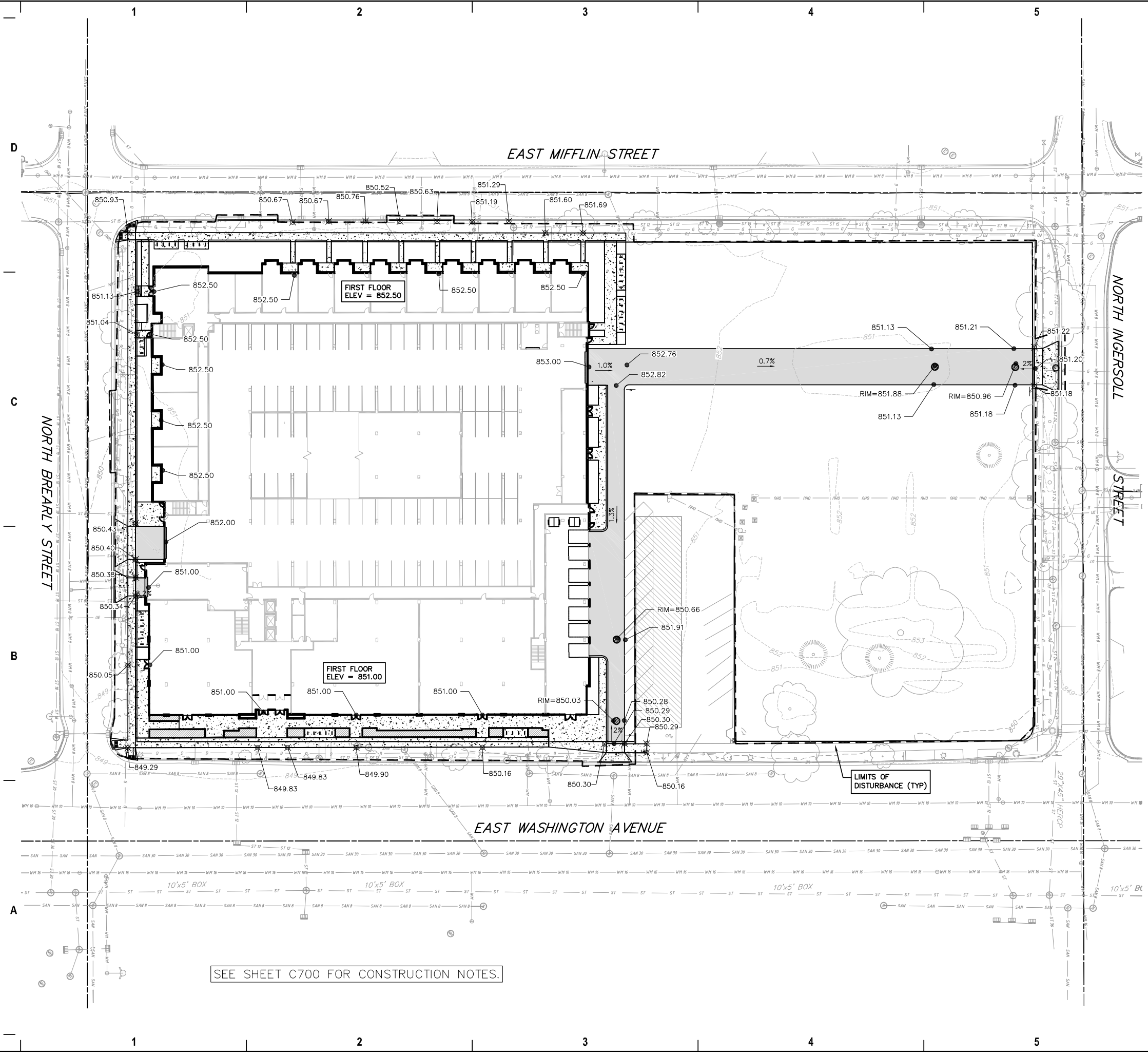
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PROJECT MANAGER JP

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**ABBREVIATIONS**

TC	TOP OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL

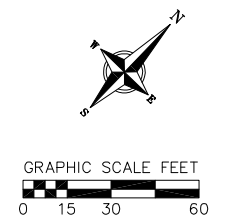
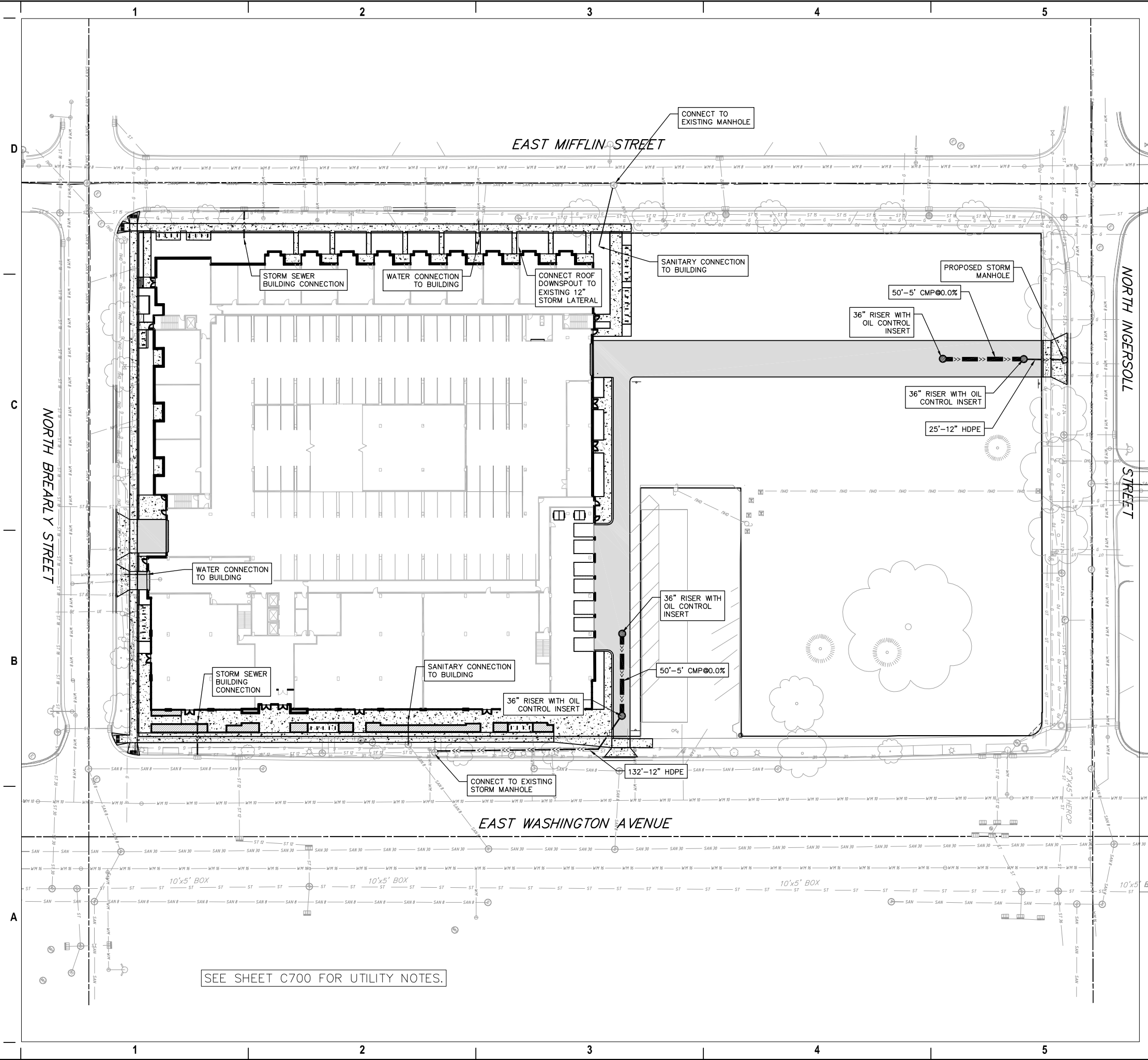
**SITE PLAN LEGEND**

	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED SIGN
	PROPOSED ADA DETECTABLE WARNING FIELD
	PROPOSED HANDICAP PARKING

**GRADING LEGEND**

	- 820 -	EXISTING MAJOR CONTOURS
	- 818 -	EXISTING MINOR CONTOURS
	- - -	DISTURBED LIMITS
	2.9%	PROPOSED SLOPE ARROWS
	1048.61	EXISTING SPOT ELEVATIONS
	1048.61	PROPOSED SPOT ELEVATIONS

SEE SHEET C700 FOR CONSTRUCTION NOTES.



- PROPOSED UTILITY LEGEND**
- > STORM SEWER PIPE
  - > STORM SEWER MANHOLE
  - > STORM SEWER ENDWALL
  - > STORM SEWER CURB INLET
  - > STORM SEWER CURB INLET W/MANHOLE
  - > STORM SEWER FIELD INLET
  - > ROOF DRAIN CLEANOUT
  - > SANITARY SEWER PIPE (GRAVITY)
  - > SANITARY SEWER LATERAL PIPE
  - > SANITARY SEWER MANHOLE
  - > SANITARY SEWER CLEANOUT
  - > WATER MAIN
  - > WATER SERVICE LATERAL PIPE
  - > FIRE HYDRANT
  - > WATER VALVE
  - > CURB STOP
  - > PROPOSED PIPE INSULATION

- ABBREVIATIONS**
- STMH - STORM MANHOLE
  - FI - FIELD INLET
  - CI - CURB INLET
  - CB - CATCH BASIN
  - EW - ENDWALL
  - SMH - SANITARY MANHOLE



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**PROJECT INFORMATION**

**STONE HOUSE  
 MIXED USE EAST  
 WASHINGTON**

1000 E.  
 WASHINGTON  
 MADISON, WI 53703

**ISSUANCE AND REVISIONS**

**LAND USE APPLICATION**

#	DATE	DESCRIPTION

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**UTILITY PLAN**

**C600**

SEE SHEET C700 FOR UTILITY NOTES.

GENERAL NOTES:

- 1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
- 2. STORM AND SANITARY LATERALS WERE HAND DRAWN BASED ON CITY OF MADISON GIS DATA FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS.
- 3. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- 4. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
- 5. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
- 6. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.
- 7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- 7. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER **TBD**).

SITE CONSTRUCTION NOTES:

- 1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-XX FOR DETAILS.
- 2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- 3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
- 4. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- 5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- 6. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER **TBD**).
- 7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

DEMOLITION PLAN NOTES:

- 1. DEMOLITION ACTIVITIES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DEMOLITION PERMIT, INCLUDING BUT NOT LIMITED TO, THE REUSE AND RECYCLING PLAN.
- 2. PRIOR TO TREE REMOVAL, CONTRACTOR SHALL OBTAIN A CITY OF MADISON TREE REMOVAL PERMIT.
- 3. EXISTING STREET TREES SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. IF THE SIDEWALK IS REMOVED, TREE PROTECTION FENCING SHALL BE EXTENDED OUT INTO THE SIDEWALK AREA NEAR THE TREES TO PROTECT THE ROOTS THAT EXIST UNDER THE WALK. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (268-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. PRIOR TO CONSTRUCTION ACTIVITIES, TREE PRUNING AND A PRE-CONSTRUCTION MEETING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION -[HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF](http://www.cityofmadison.com/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF).
- 4. THE SANITARY SEWER LATERALS WILL BE PLUGGED BY THE CONTRACTOR AT THE PROPERTY LINE, AND WILL ALSO BE PLUGGED BY CITY ENGINEERING AT THE SANITARY SEWER MAIN.
- 5. THE CONTRACTOR SHALL NOTIFY CITY ENGINEERING CONSTRUCTION INSPECTOR 266-4514 AT LEAST 24 HOURS IN ADVANCE AND SHALL ALLOW ENTRY ON THE PROPERTY TO INSPECT THE SEWER PLUG.
- 6. THE CONTRACTOR SHALL BACKFILL THE EXCAVATION WITH SUPERVISION OF THE CITY ENGINEER TO ENSURE NO DAMAGE IS DONE TO THE LATERAL PLUG BY THE BACKFILL OPERATION.

EROSION CONTROL MEASURE NOTES:

- 1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- 2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- 3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING LAND DISTURBING CONSTRUCTION ACTIVITIES.
- 4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- 5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS

REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

- 6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- 7. **STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- 8. **SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
- 9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- 10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- 11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- 12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
- 13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- 14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- 15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- 16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- 17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
- 18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- 19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- 20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
- 21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- 22. IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.
- 23. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER **TBD**).

CONSTRUCTION SEQUENCE:

- 1. INSTALL SILT FENCE AND TRACKING PAD.
- 2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
- 3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT (AS NECESSARY).
- 4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
- 5. ROUGH GRADE FOR BUILDING PADS AND WALKS.
- 6. CONSTRUCT UNDERGROUND UTILITIES.
- 7. INSTALL INLET PROTECTION ON NEW INLETS.
- 8. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
- 9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
- 10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

TEMPORARY:

- 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

- 1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

UTILITY NOTES:

- 1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
- 2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
- 3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
- 4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
- 5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
- 6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
- 7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- 8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- 10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- 11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- 12. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- 13. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
- 14. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- 15. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER **TBD**).
- 16. ALL DAMAGE TO THE PAVEMENT ON SOUTH PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
- 18. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.



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PROJECT INFORMATION

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION
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CONSTRUCTION NOTES

C700



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PROJECT INFORMATION

STONE HOUSE  
MIXED USE EAST  
WASHINGTON

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ISSUANCE AND REVISIONS

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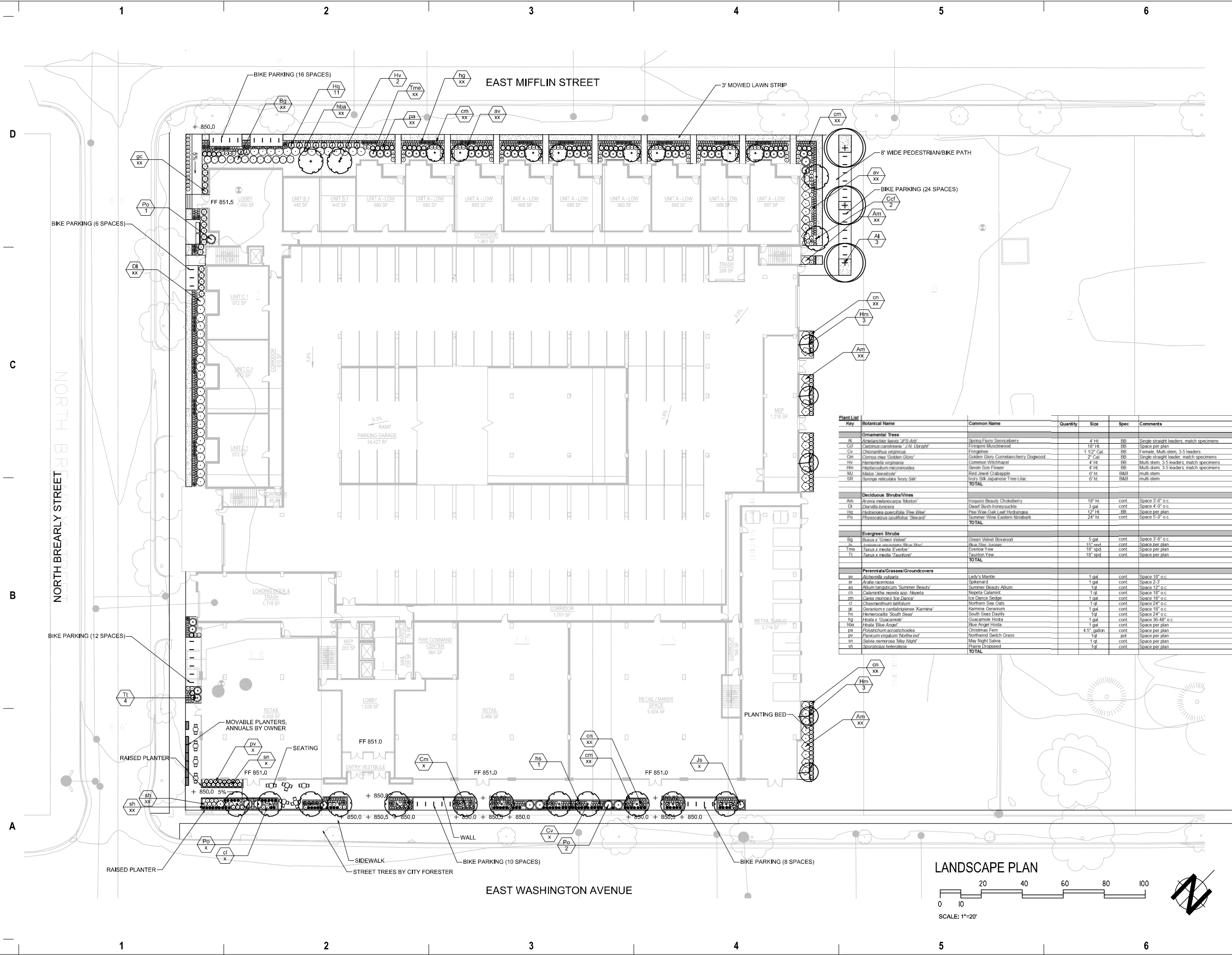
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LANDSCAPE PLAN

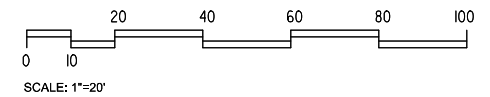
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Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
<b>Ornamental Trees</b>						
Av	<i>Amelanchier alnifolia</i> 'ES-Jub'	Spirea Flurry Snowberry	4	4' Ht	BB	Single straight leaders, match specimens
CcF	<i>Cornus canadensis</i> 'N. Upright'	Fringed Spicebush	18	18" Ht	BB	Space per plan
Cv	<i>Chionodoxa argentea</i>	Fringed	1	1 1/2' Cal	BB	Female, Multi-stem, 3-5 leaders
Cm	<i>Cornus mas</i> 'Golden Glory'	Golden Glory Corneliancherry Dogwood	2	2' Cal	BB	Single straight leader, match specimens
Hv	<i>Hemerocallis virgata</i>	Common Daylily	4	4' Ht	BB	Multi-stem, 3-5 leaders, match specimens
Hm	<i>Hedycodium micranthoides</i>	Seven Sun Flower	4	4' Ht	BB	Multi-stem, 3-5 leaders, match specimens
MJ	<i>Morus alba</i>	Red Jewel Crabapple	6	6' Ht	B&B	multi-stem
SR	<i>Syringa reticulata</i> 'Honey Silk'	Honey Silk Japanese Tree Lilac	6	6' Ht	B&B	multi-stem
<b>TOTAL</b>						
<b>Deciduous Shrubs/Vines</b>						
Am	<i>Artemisia melanocarpa</i> 'Mormon'	Trogon Beauty Chokeberry	18	18" Ht	cont.	Space 3'-6" o.c.
Di	<i>Diervilla lonicera</i>	Dwarf Bush honeysuckle	3	3 gal	cont.	Space 4'-0" o.c.
Hs	<i>Hesperaloe parviflora</i> 'Pine Wire'	Pine Wire Oak Leaf Hydrangea	12	12" Ht	BB	Space per plan
Po	<i>Physocarpus opulifolius</i> 'Serratif'	Summer Wine Eastern Honeysuckle	24	24" Ht	cont.	Space 5'-0" o.c.
<b>TOTAL</b>						
<b>Evergreen Shrubs</b>						
Rg	<i>Rosa x Green Velvet</i>	Green Velvet Rosewood	5	5 gal	cont.	Space 3'-6" o.c.
Is	<i>Ilex cuneata</i> 'Blue Star'	Blue Star Holly	15	15" spd	cont.	Space per plan
Tm	<i>Taxus x media</i> 'Everest'	Everlow Yew	18	18" spd	cont.	Space per plan
Tl	<i>Taxus x media</i> 'Touhou'	Touhou Yew	18	18" spd	cont.	Space per plan
<b>TOTAL</b>						
<b>Perennials/Grasses/Groundcovers</b>						
av	<i>Achillea millefolium</i>	Lady's Mantle	1	1 gal	cont.	Space 18" o.c.
ar	<i>Aralia racemosa</i>	Spikenard	1	1 gal	cont.	Space 2'-3"
as	<i>Asplenium platyneuron</i> 'Summer Beauty'	Summer Beauty Alum	1	1 qt.	cont.	Space 12" o.c.
cn	<i>Calliandra pedunculata</i> 'Nipela'	Nepeta Galamit	1	1 qt.	cont.	Space 18" o.c.
cm	<i>Carex monochaeta</i> 'Ice Dance'	Ice Dance Sedge	1	1 gal	cont.	Space 18" o.c.
cl	<i>Chamaenerion liliiflorum</i>	Northern Sea Oats	1	1 qt.	cont.	Space 24" o.c.
gc	<i>Gesnerium x carolinense</i> 'Karmna'	Karmna Geranium	1	1 gal	cont.	Space 18" o.c.
hs	<i>Hemerocallis</i> 'South Seas'	South Seas Daylily	1	1 qt.	cont.	Space 24" o.c.
hg	<i>Hosta x 'Guacamole'</i>	Guacamole Hosta	1	1 gal	cont.	Space 36-48" o.c.
hba	<i>Hosta 'Blue Angel'</i>	Blue Angel Hosta	1	1 gal	cont.	Space per plan
pa	<i>Polystichum acrostichoides</i>	Christmas Fern	4.5	4.5' gallon	cont.	Space per plan
pv	<i>Panicum virgatum</i> 'North Star'	Northwind Switch Grass	1	1 qt.	cont.	Space per plan
sn	<i>Silene nemorosa</i> 'May Night'	May Night Silene	1	1 qt.	cont.	Space per plan
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1	1 qt.	cont.	Space per plan
<b>TOTAL</b>						

LANDSCAPE PLAN



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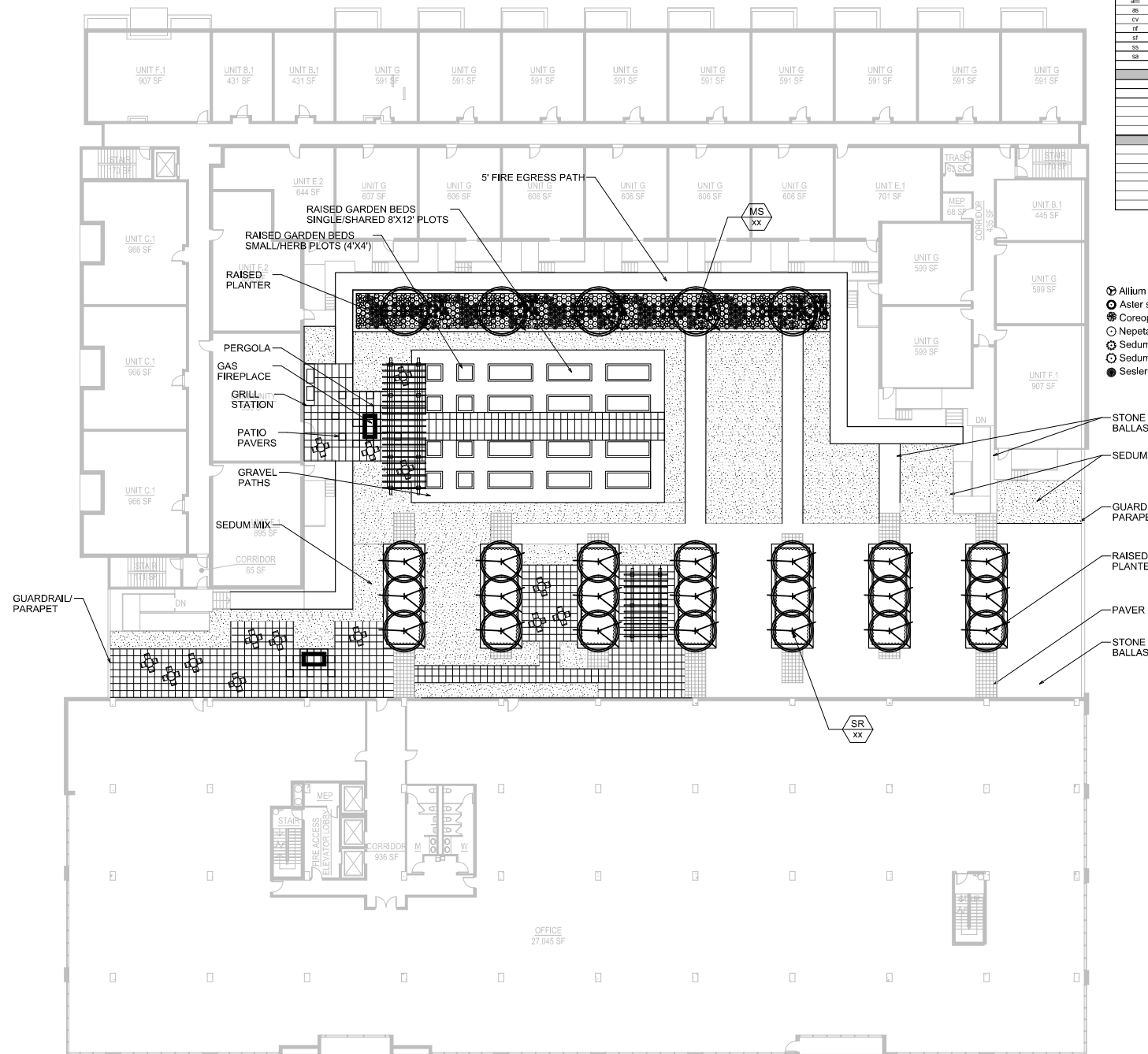
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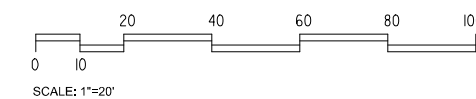


Key	Botanical Name	Common Name	Quantity	Size	Size	Comments
<b>Shrubs</b>						
MS	<i>Melic sargentii</i> 'Tina'	Tina Sargent Crabapple		5' H B&B	12"-16" ht.	Multi-stemmed
RE	<i>Rhus typhina</i> 'Baileys'	Tiger Eyes Sumac		5' H B&B	12"-16" ht.	Specimen
<b>Perennials and vines</b>						
am	<i>Allium</i> 'Summer Beauty'	Summer Beauty Ornamental Onion		4 1/4" pot	12"-16" ht.	space 18" on center
as	<i>Aster sericeus</i>	Silky Aster		4 1/4" pot		space 18" on center
cv	<i>Coreopsis verticillata</i> 'Tweety'	Tweety Threadleaf Tickseed		4 1/4" pot		space 18" on center
rf	<i>Nepeta x faassenii</i> 'Walker's Low'	Walker's Low Catmint		4 1/4" pot		space 18" on center
sf	<i>Sedum floriferum</i> 'Weihenstephaner Gold'	Weihenstephaner Gold Sedum		4 1/4" pot		space 18" on center
ss	<i>Sedum spectabile</i> 'Brilliant'	Staircase Sedum		4 1/4" pot		space 18" on center
sa	<i>Sesleria autumnalis</i>	Autumn Moor Grass		4 1/4" pot	10" spd. 4'-5" ht.	space 18" on center
<b>Extensive Green Roof - mix 1</b>						
	<i>Sedum acre</i> 'Aureum'			pre-grown green roof modules	12"-16" ht.	Shade Fanfare Mix
	<i>Sedum hybridum</i> 'Immergruenchen'				1 1/2"-15" spd. 1'-2" ht.	
	<i>Sedum rupestris</i> 'Angelina'					
	<i>Sedum spaldingianum</i> 'Elatum'				8" spd. 4'-5" ht.	
	<i>Sedum spuriatum</i> 'Royal Pink'					
<b>Extensive Green Roof - mix 2</b>						
	<i>Sedum acre</i> 'Aureum'			pre-grown green roof modules		Modern Mix
	<i>Sedum album</i> 'Coral Carpet'					
	<i>Sedum elaeagnifolium</i>					
	<i>Sedum floriferum</i> 'Weihenstephaner Gold'					
	<i>Sedum serotinum</i> 'Elatum'					
	<i>Sedum spuriatum</i> 'Dragon's Blood'					

- ⊙ Allium 'Summer Beauty'
- ⊙ Aster sericeus
- ⊙ Coreopsis verticillata 'Tweety'
- ⊙ Nepeta x faassenii 'Walker's Low'
- ⊙ Sedum floriferum 'Weihenstephaner Gold'
- ⊙ Sedum spectabile 'Brilliant'
- Sesleria autumnalis

- STONE BALLAST
- SEDUM
- GUARDRAIL/ PARAPET
- RAISED PLANTER
- PAVER EDGE
- STONE BALLAST

3RD FLOOR ROOF  
TERRACE LANDSCAPE  
PLAN



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LEVEL 03 ROOF  
TERRACE  
LANDSCAPE PLAN

L-2



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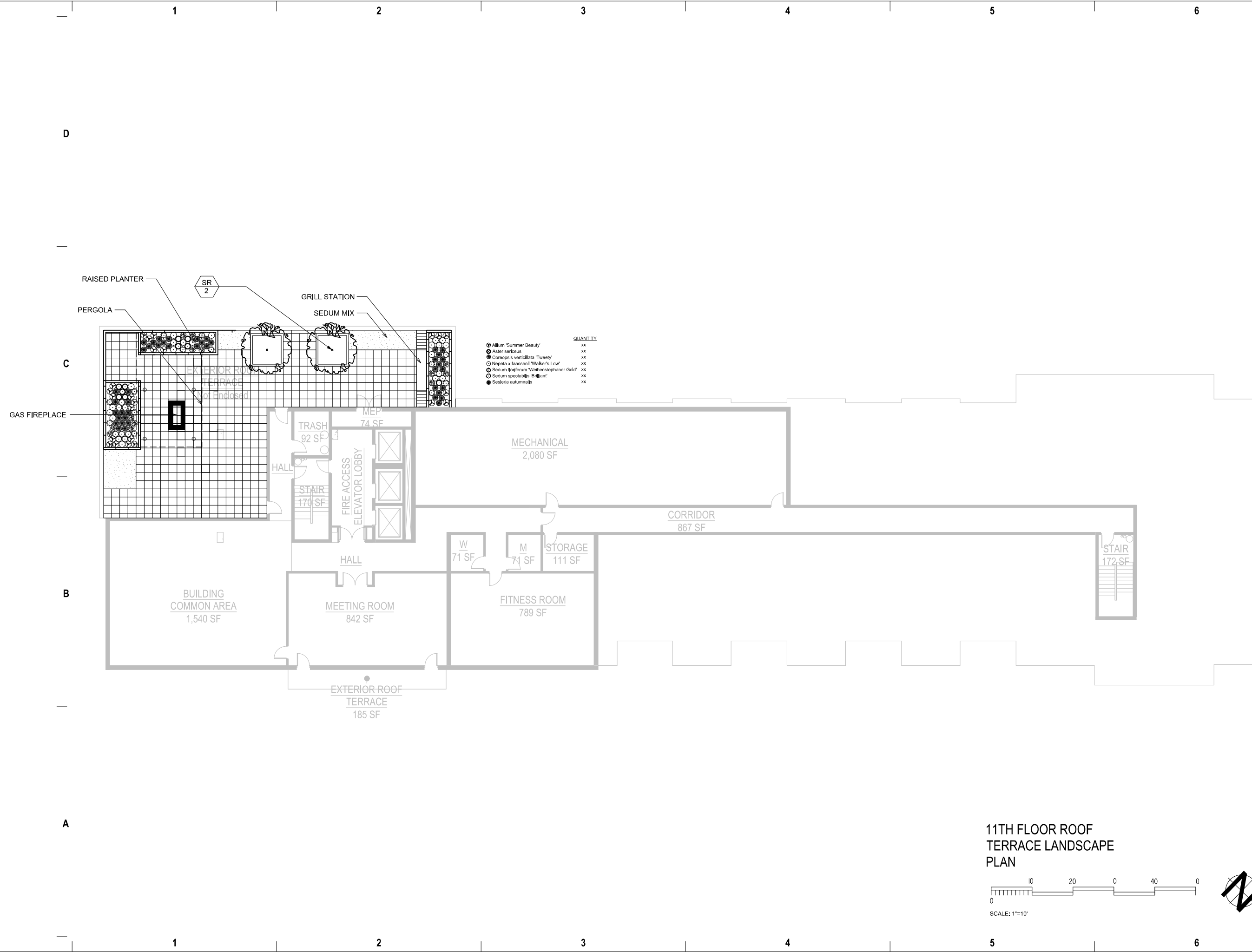
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PROJECT NUMBER 14339-01

DATE 10/21/2015

LEVEL 11 ROOF  
TERRACE  
LANDSCAPE PLAN

L-3



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A

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1 2 3 4 5 6



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PROJECT NUMBER 14339-01

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EXISTING SITE

**A00**

D



VIEW FROM EAST WASHINGTON AND LIVINGSTON LOOKING EAST

C



VIEW FROM EAST WASHINGTON LOOKING EAST



VIEW FROM EAST WASHINGTON AND INGERSOLL LOOKING WEST

B



VIEW FROM MIFFLIN AND INGERSOLL LOOKING SOUTH

A



VIEW FROM MIFFLIN LOOKING SOUTH



VIEW FROM MIFFLIN AND BREADY LOOKING EAST

A



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EXISTING SITE

**A01**

D



VIEW FROM EAST WASHINGTON OF EXISTING MADISON DAIRY



VIEW FROM EAST WASHINGTON LOOKING NORTHEAST

C



VIEW FROM EAST WASHINGTON OF EXISTING MADISON DAIRY

B



VIEW FROM MIFFLIN AND INGERSOLL LOOKING WEST



VIEW FROM MIFFLIN LOOKING NORTHEAST

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VIEW FROM INSIDE BREESE STEVENS FIELD LOOKING WEST

B

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UDC REVIEW

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PROJECT NUMBER 14339-01

DATE 12/2/2015

BUILDING SETBACKS

**A02**

1 2 3 4 5 6

D

CONSTELLATION 12 STORIES

GALAXIE 14 STORIES

BREESE STEVENS FIELD

PROPOSED DEVELOPMENT 10 STORIES

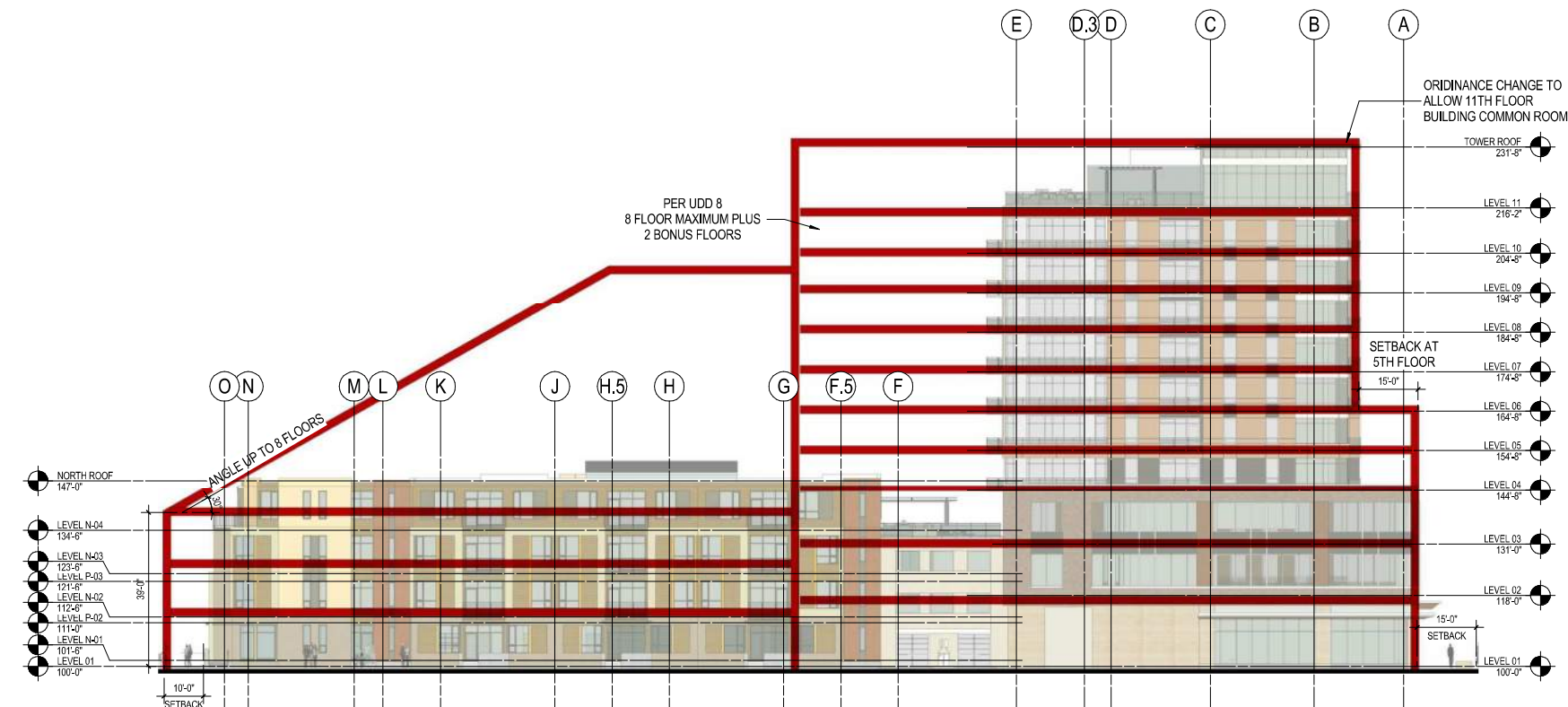


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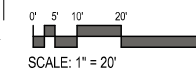
DENSITY PROFILE

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A



**1** WEST ELEVATION - SETBACKS  
1" = 20'-0"



1 2 3 4 5 6



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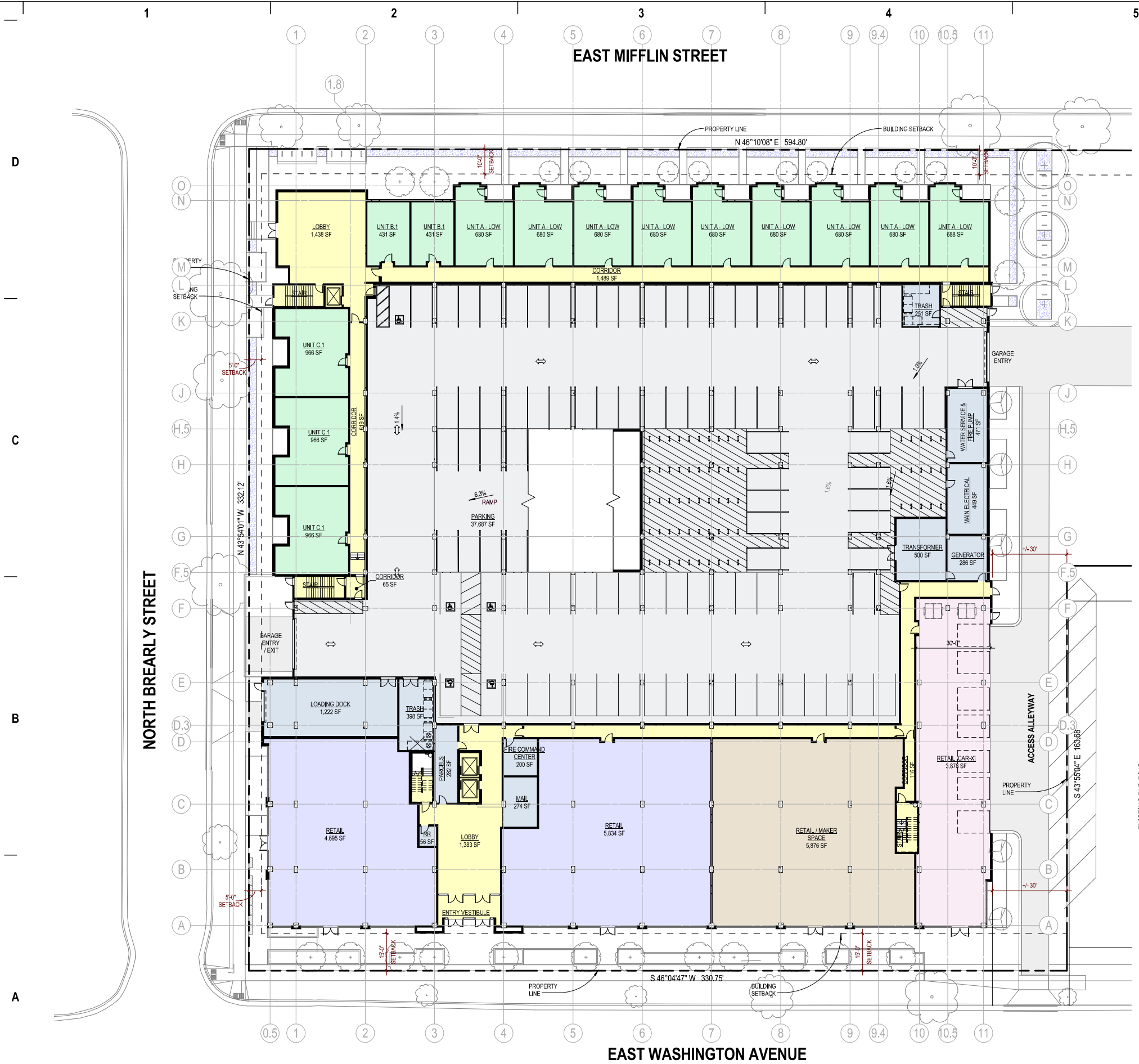
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DATE 12/2/2015

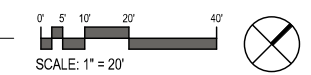
**LEVEL 01 & LEVEL  
N-01 FLOOR PLAN**

**A03**

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**1** LEVEL 01 / LEVEL N-01 FLOOR PLAN  
1" = 20'-0"





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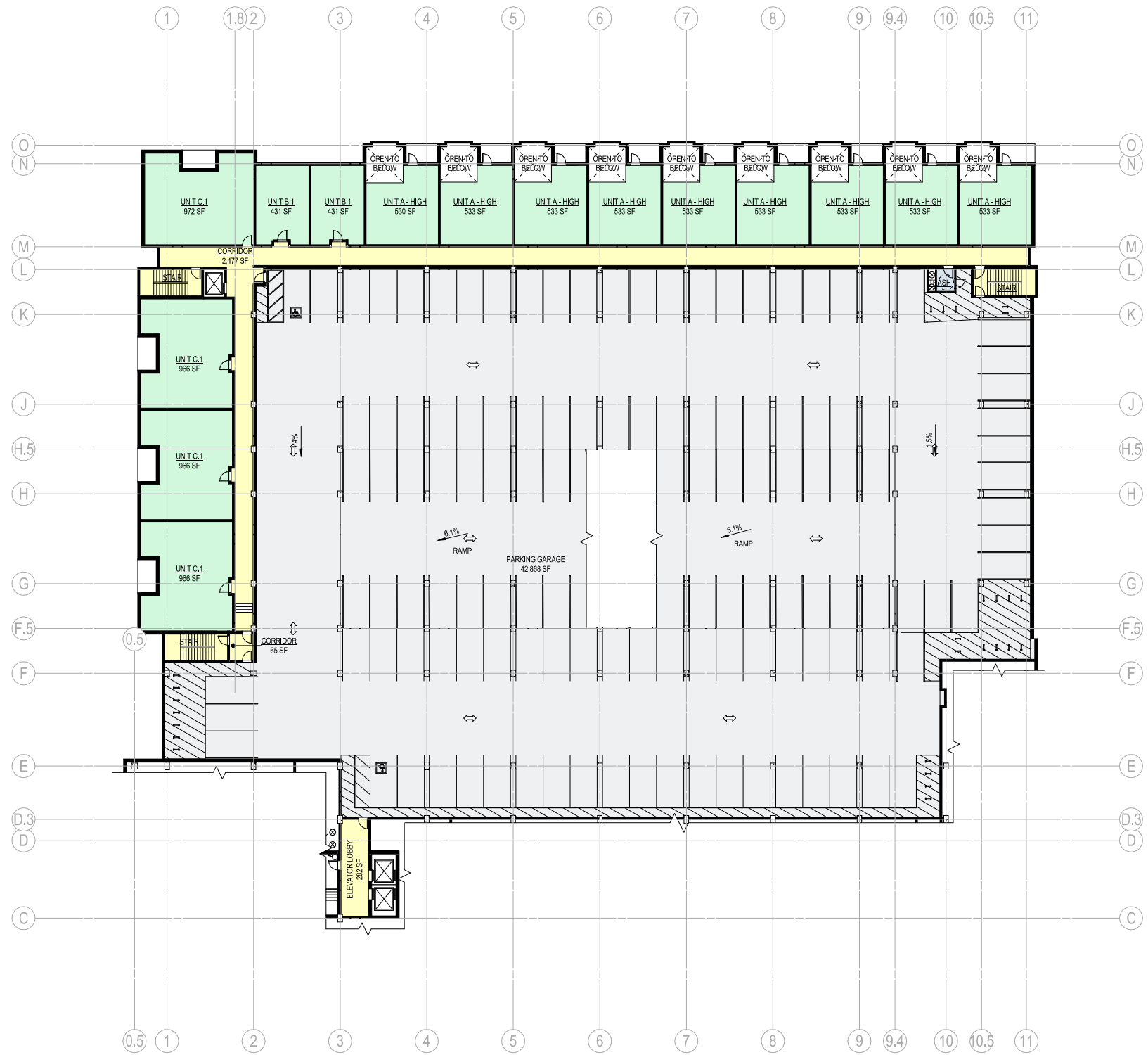
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DATE 12/2/2015

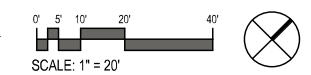
**LEVEL N-02 & LEVEL  
P-02 FLOOR PLAN**

**A04**

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**1** LEVEL N-02 & LEVEL P-02 FLOOR PLAN  
1" = 20'-0"



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1 2 3 4 5 6



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PROJECT NUMBER 14339-01

DATE 12/2/2015

**LEVEL 02, LEVEL  
N-03, & LEVEL P-03  
FLOOR PLAN**

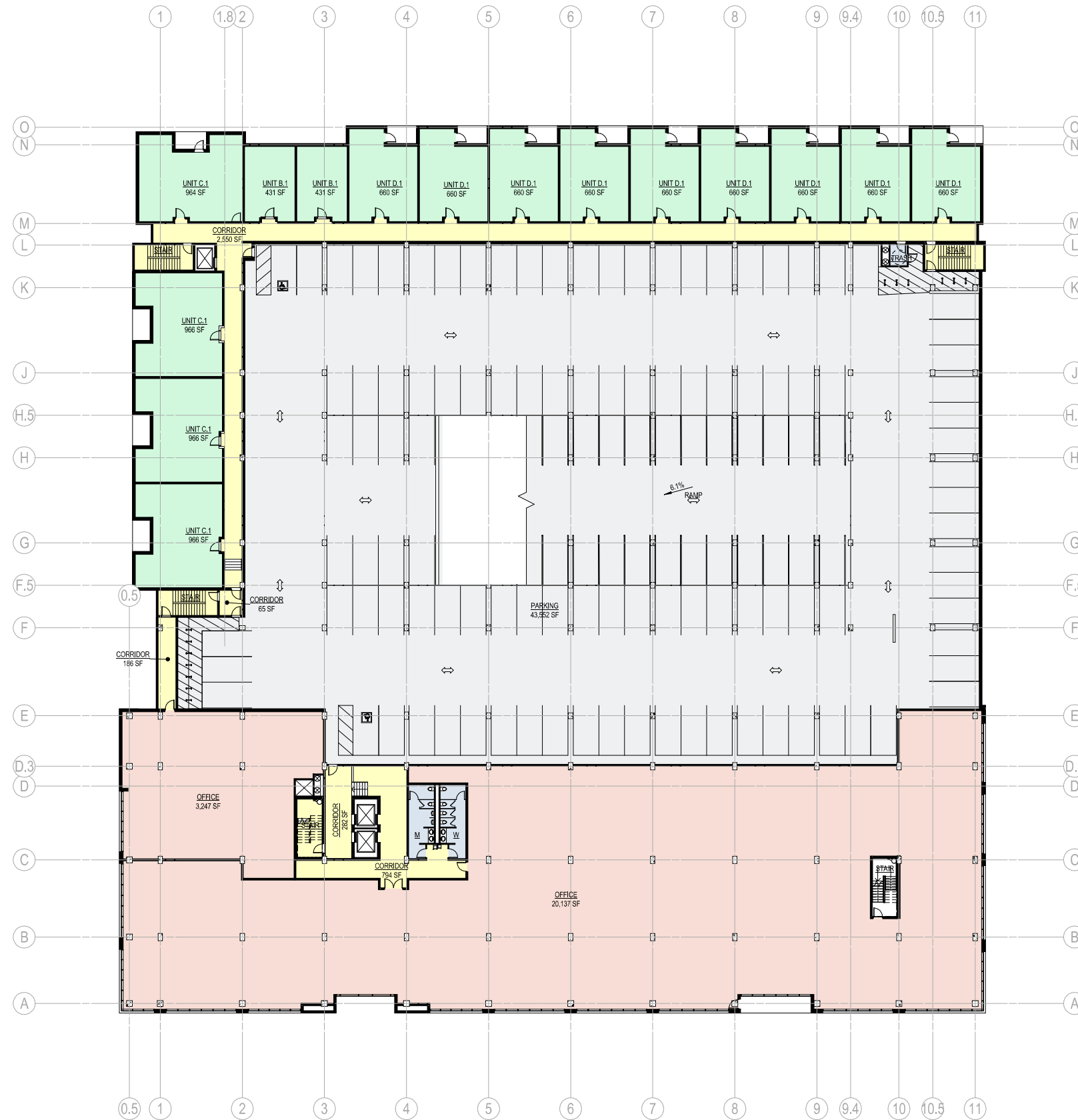
**A05**

D

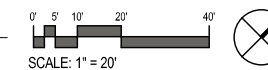
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**1** LEVEL 02, LEVEL N-03, & LEVEL P-03 FLOOR PLAN  
1" = 20'-0"



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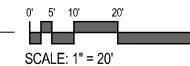
DATE 12/2/2015

**LEVEL 03 & LEVEL  
N-04 FLOOR PLAN**

**A06**



**1** LEVEL 03 & LEVEL N-04 FLOOR PLAN  
1" = 20'-0"



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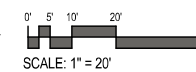
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**LEVEL 04 FLOOR  
PLAN**

**A07**



**1** LEVELS 04 - 10 FLOOR PLAN (TYPICAL)  
1" = 20'-0"





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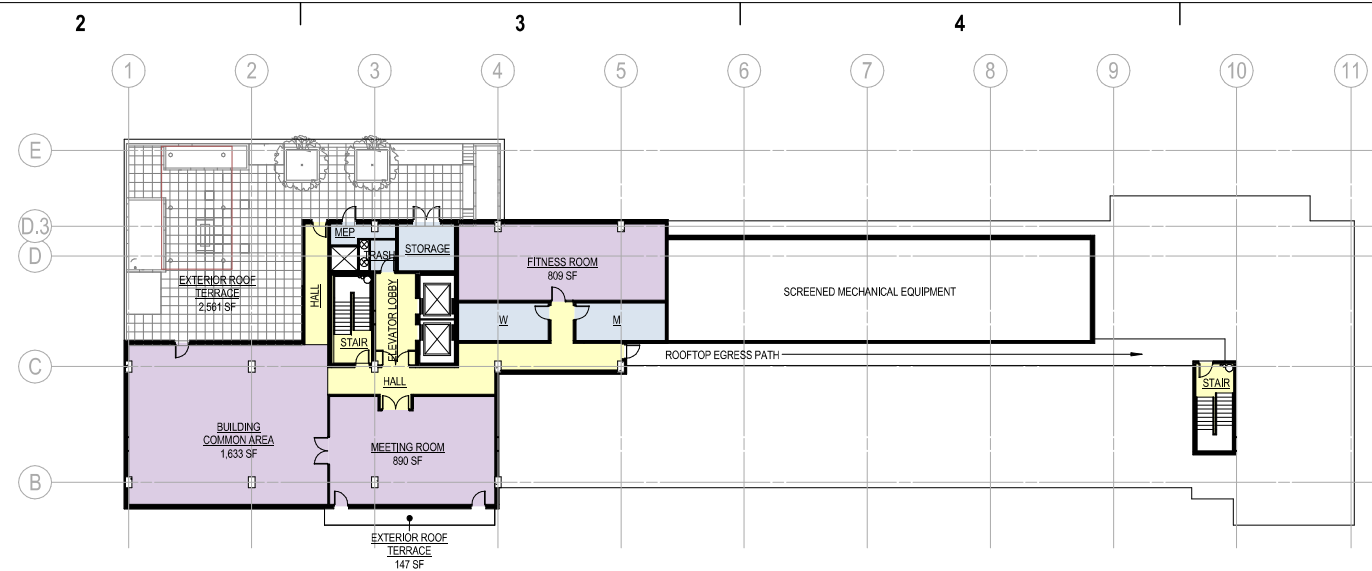
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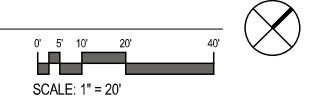
DATE 12/2/2015

**LEVELS 05-11  
FLOOR PLANS**

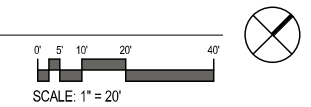
**A08**



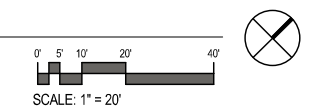
**3** LEVEL 11 FLOOR PLAN  
1" = 20'-0"



**2** LEVELS 09-10  
1" = 20'-0"



**1** LEVELS 05-08  
1" = 20'-0"





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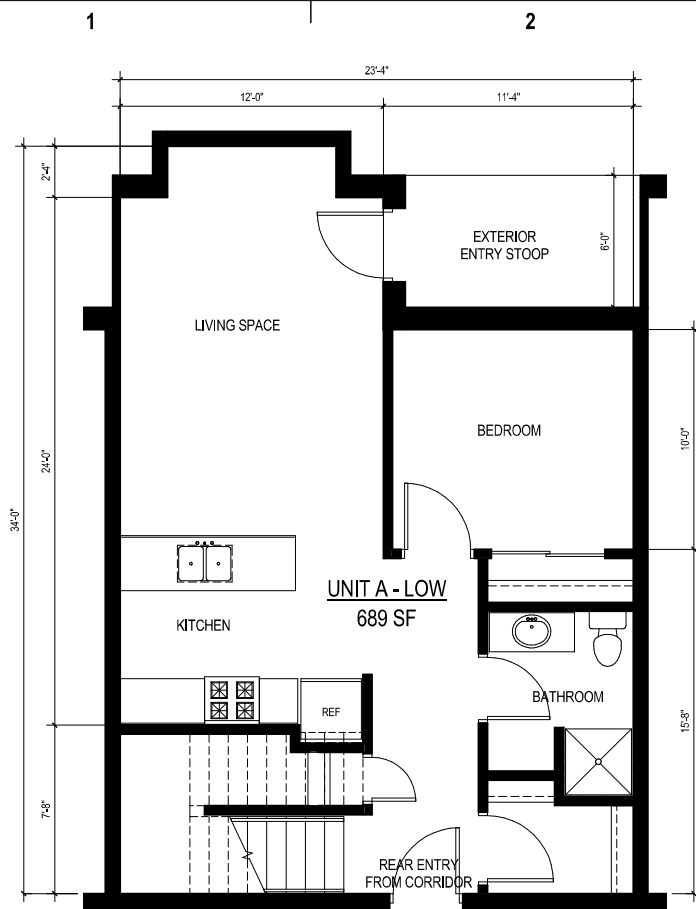
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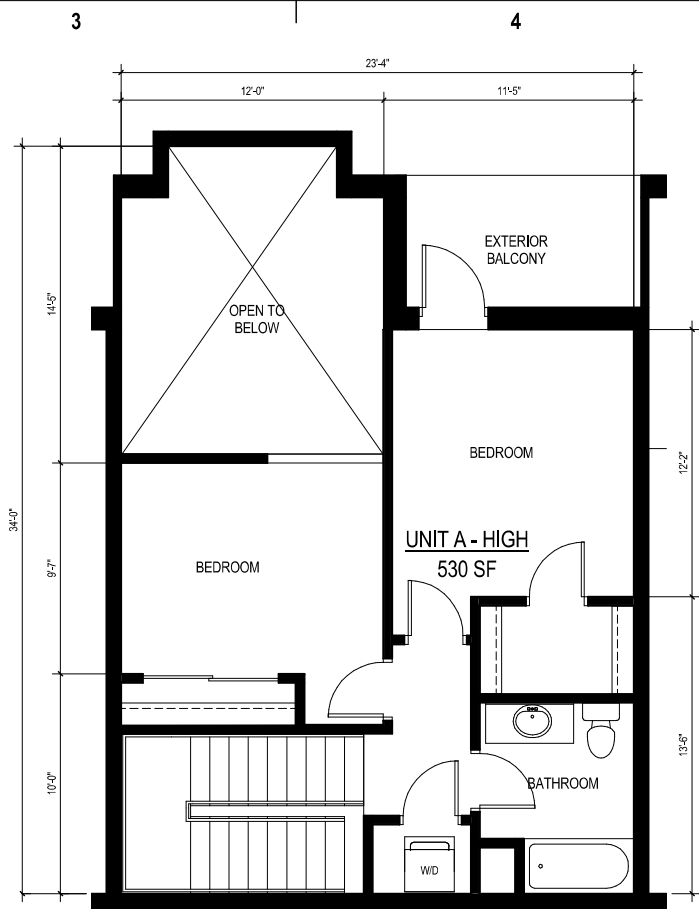
A

UNIT FLOOR PLANS

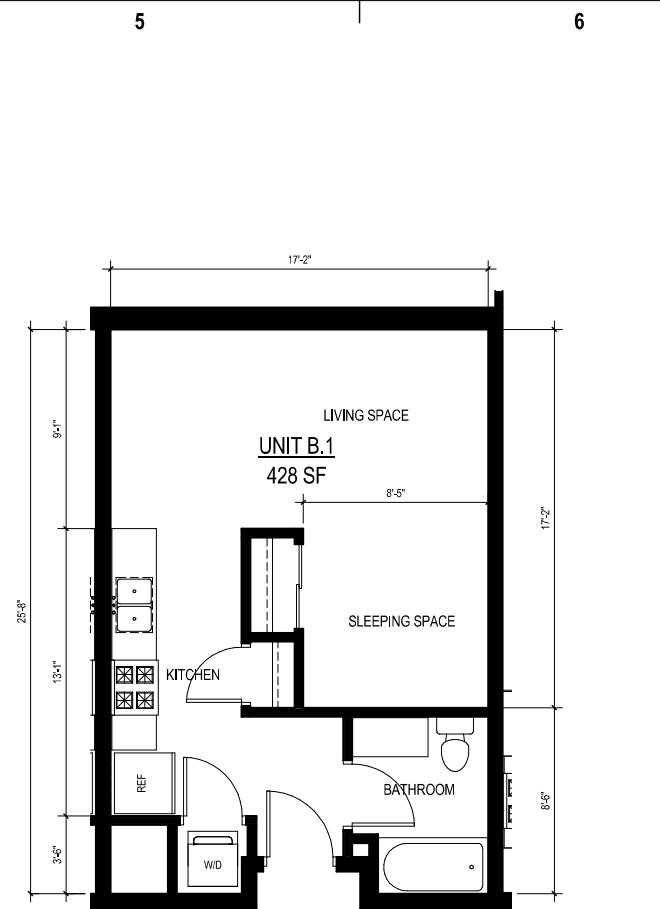
**A09**



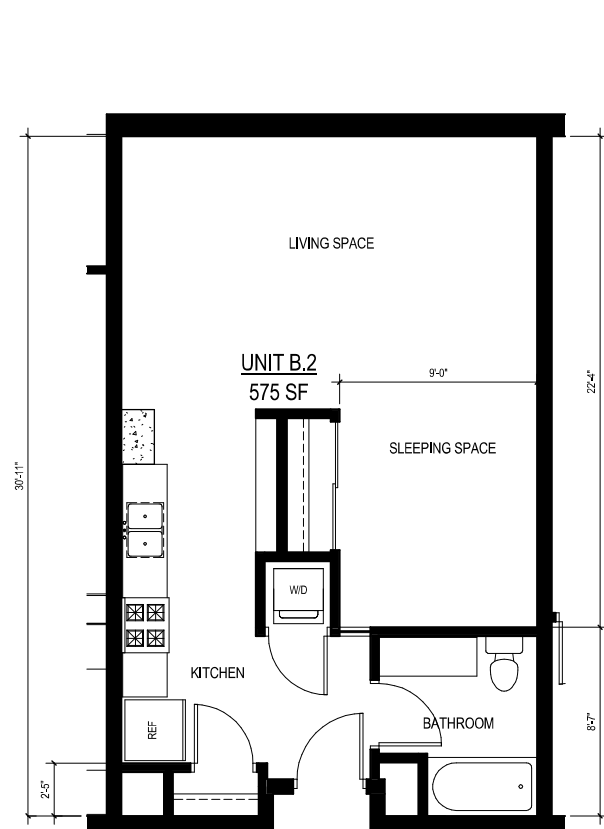
**1** UNIT A - LOWER LEVEL (AFFORDABLE TOWNHOME)  
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



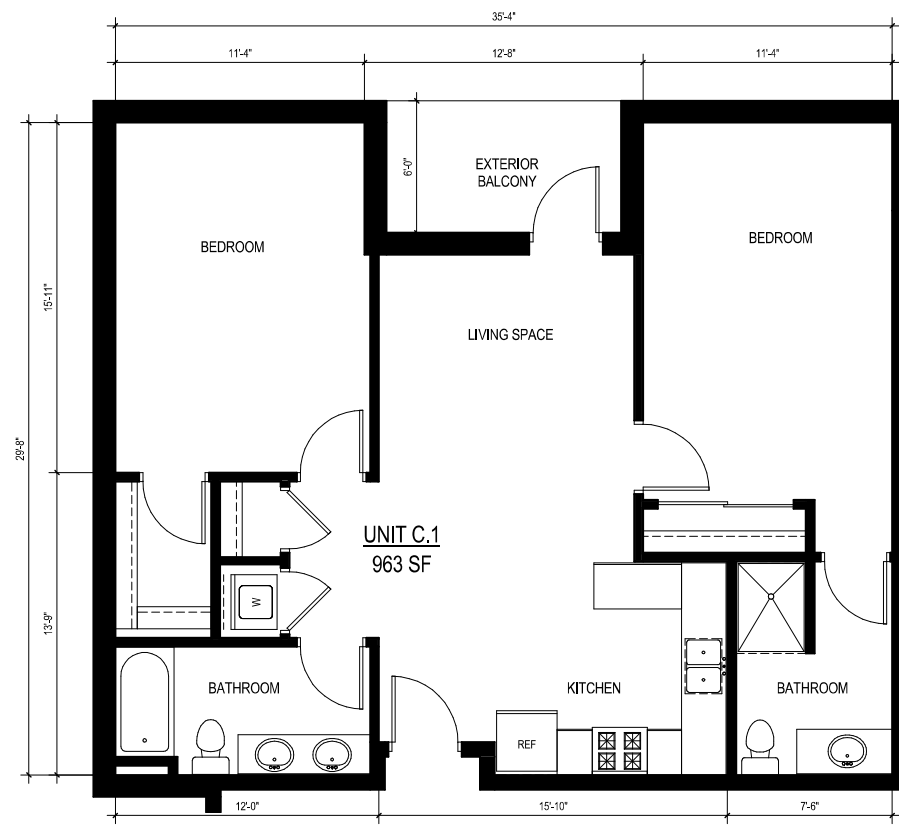
**2** UNIT A - HIGHER LEVEL (AFFORDABLE TOWNHOME)  
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



**3** UNIT B.1 (AFFORDABLE APARTMENT)  
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



**4** UNIT B.2 (MARKET-RATE APARTMENT)  
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



**5** UNIT C.1 (AFFORDABLE APARTMENT)  
1/4" = 1'-0" SCALE: 1/4" = 1'-0"

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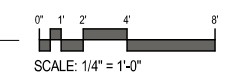
DATE 10/21/2015

UNIT FLOOR PLANS

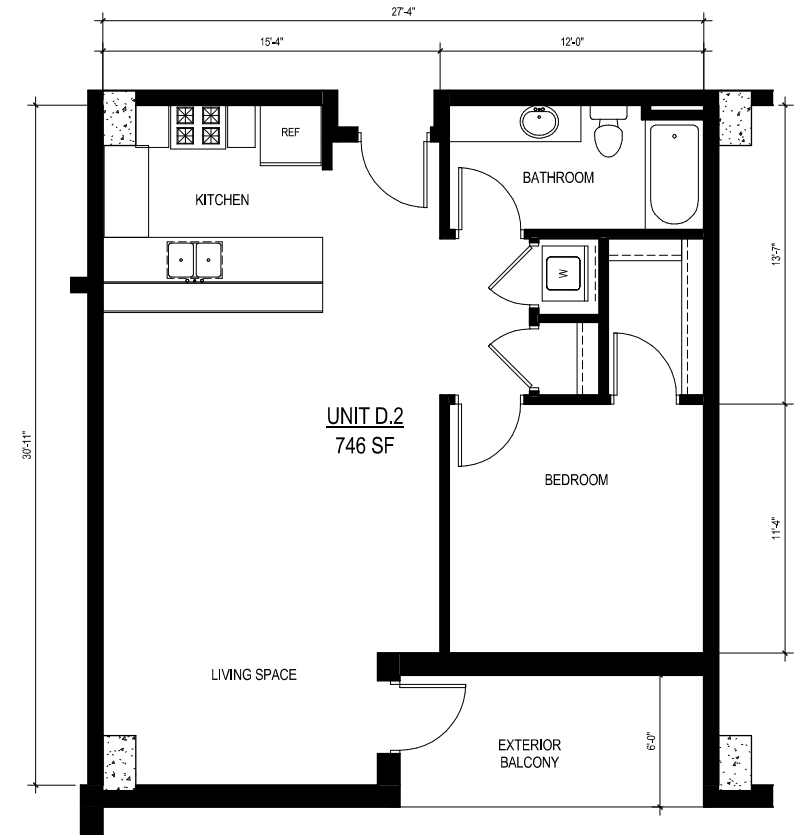
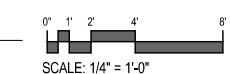
**A10**



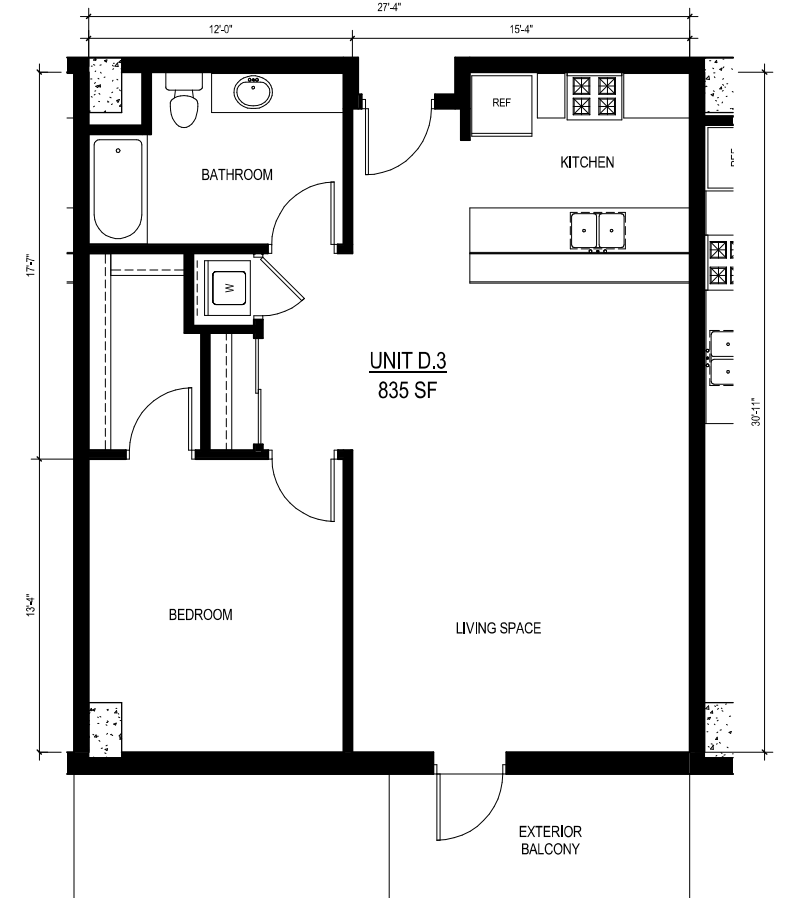
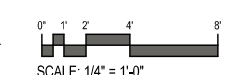
**1** UNIT C.2 (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



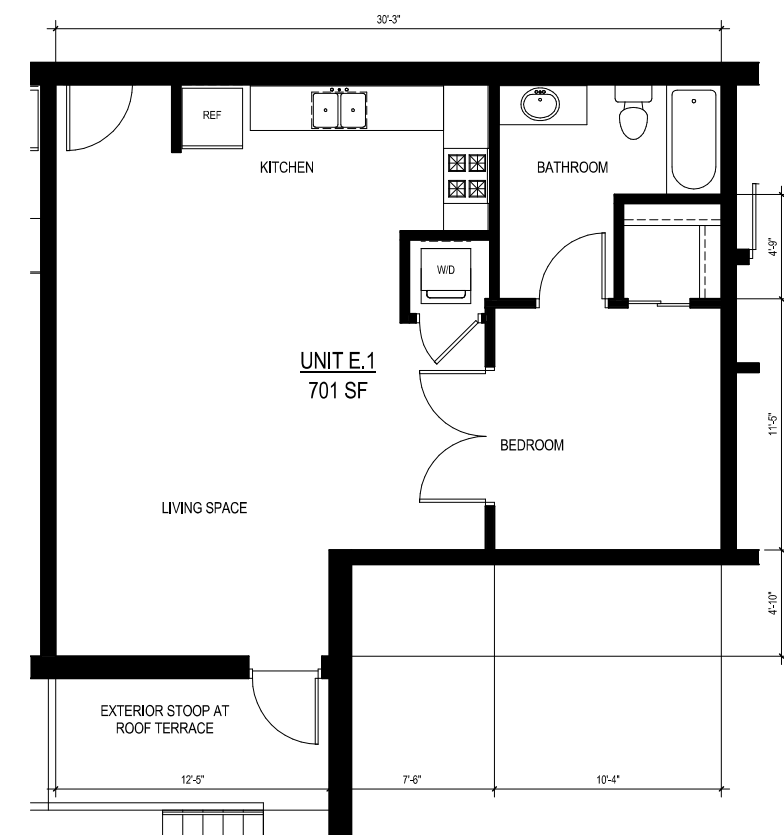
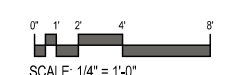
**2** UNIT D.1 (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



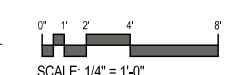
**3** UNIT D.2 (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



**4** UNIT D.3 (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



**5** UNIT E.1 (AFFORDABLE APARTMENT)  
1/4" = 1'-0"





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PROJECT INFORMATION

STONE HOUSE  
MIXED USE EAST  
WASHINGTON

1000 E.  
WASHINGTON  
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION

SHEET INFORMATION

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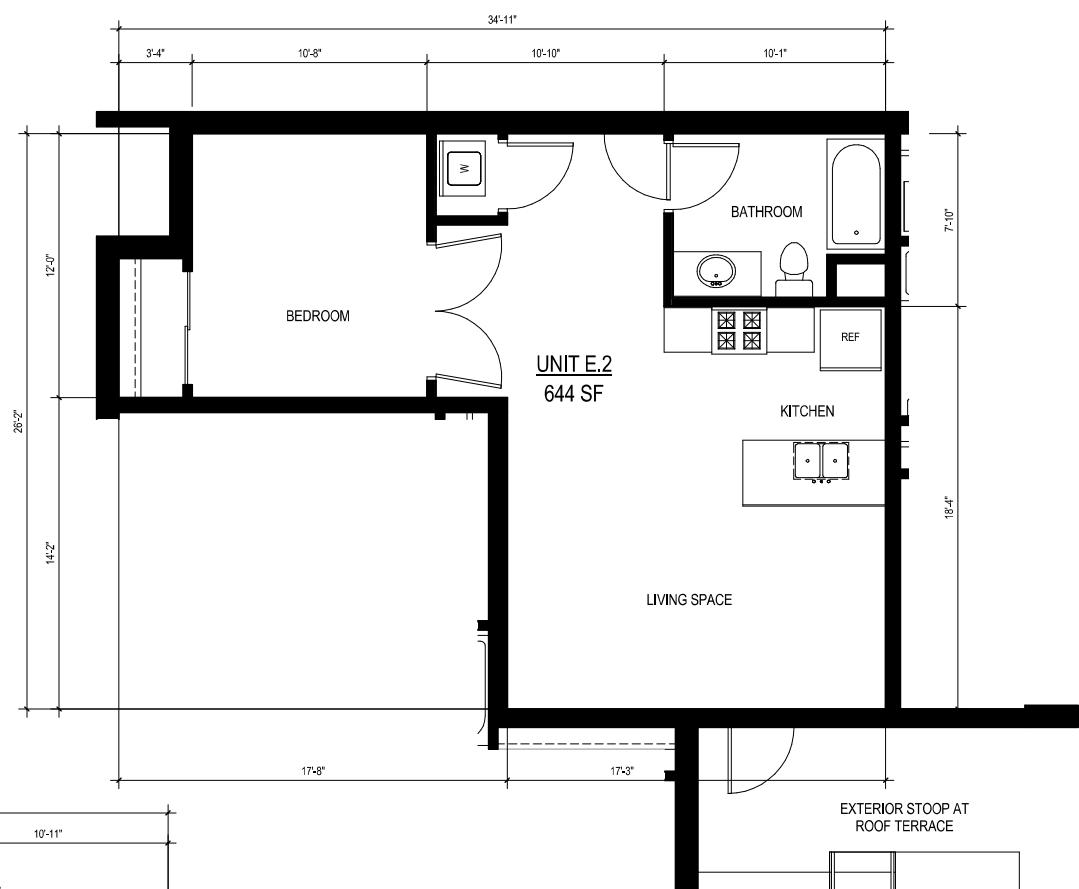
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

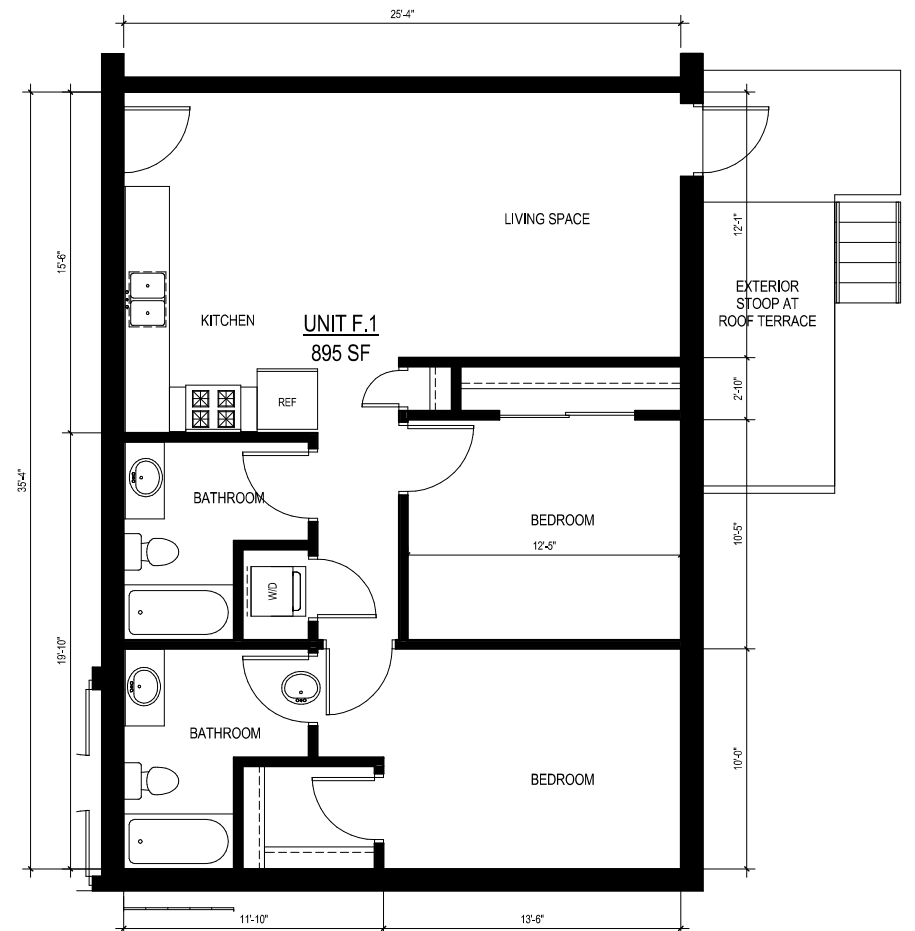
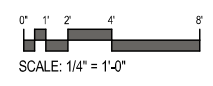
DATE 10/21/2015

UNIT FLOOR PLANS

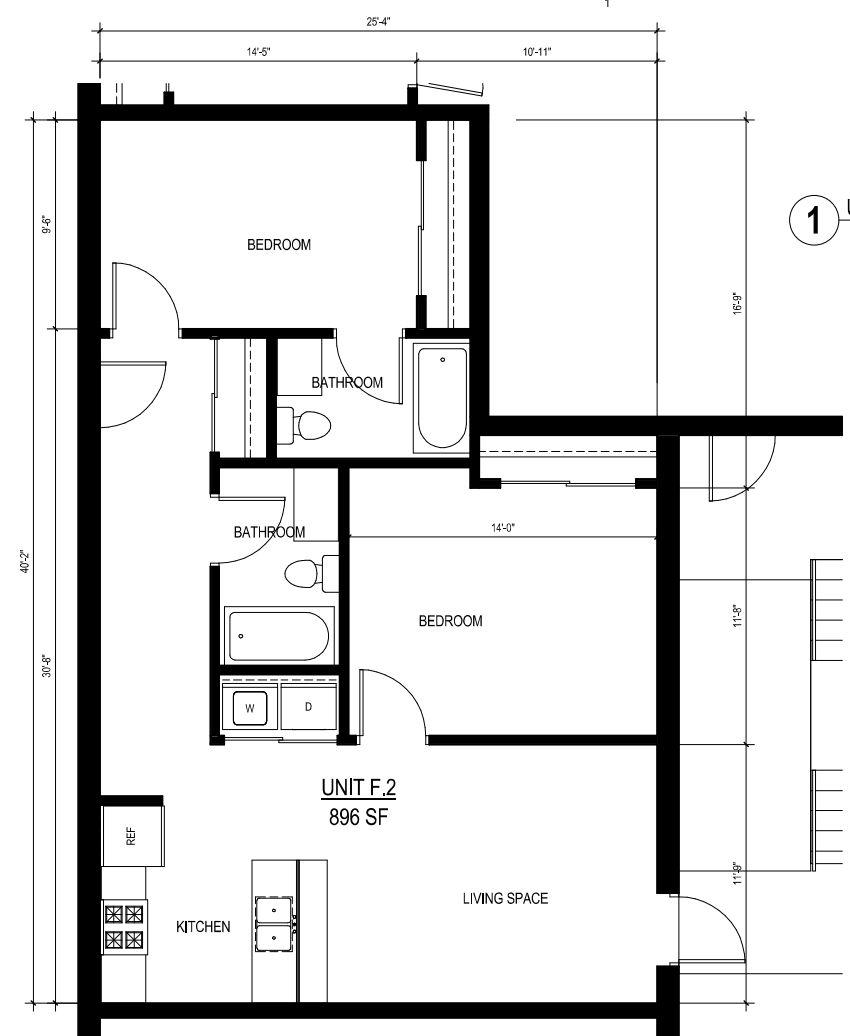
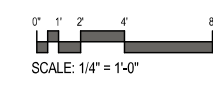
A11



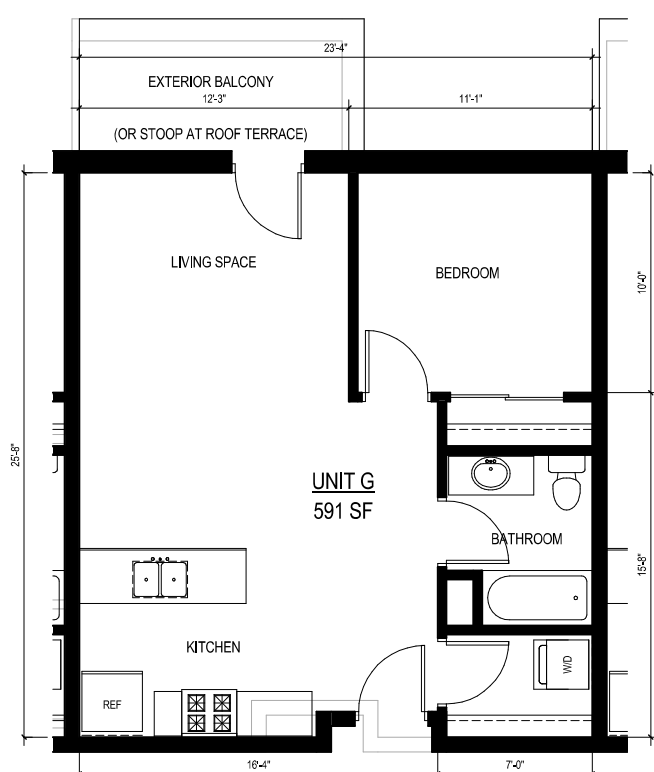
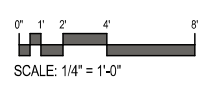
1 UNIT E.2 (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



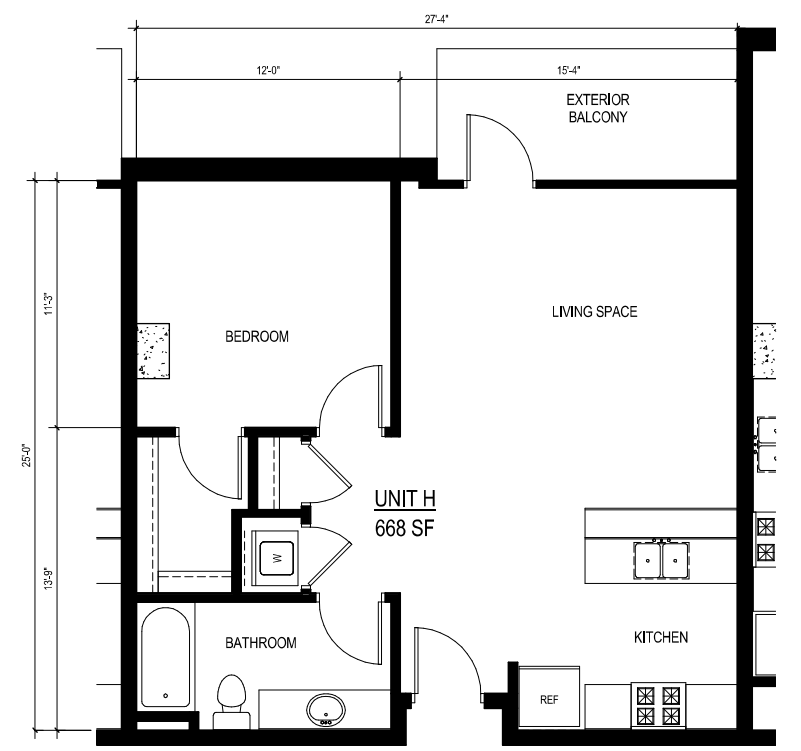
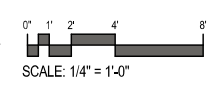
2 UNIT F.1 (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



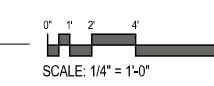
3 UNIT F.2 (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



4 UNIT G (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



5 UNIT H (MARKET-RATE APARTMENT)  
1/4" = 1'-0"





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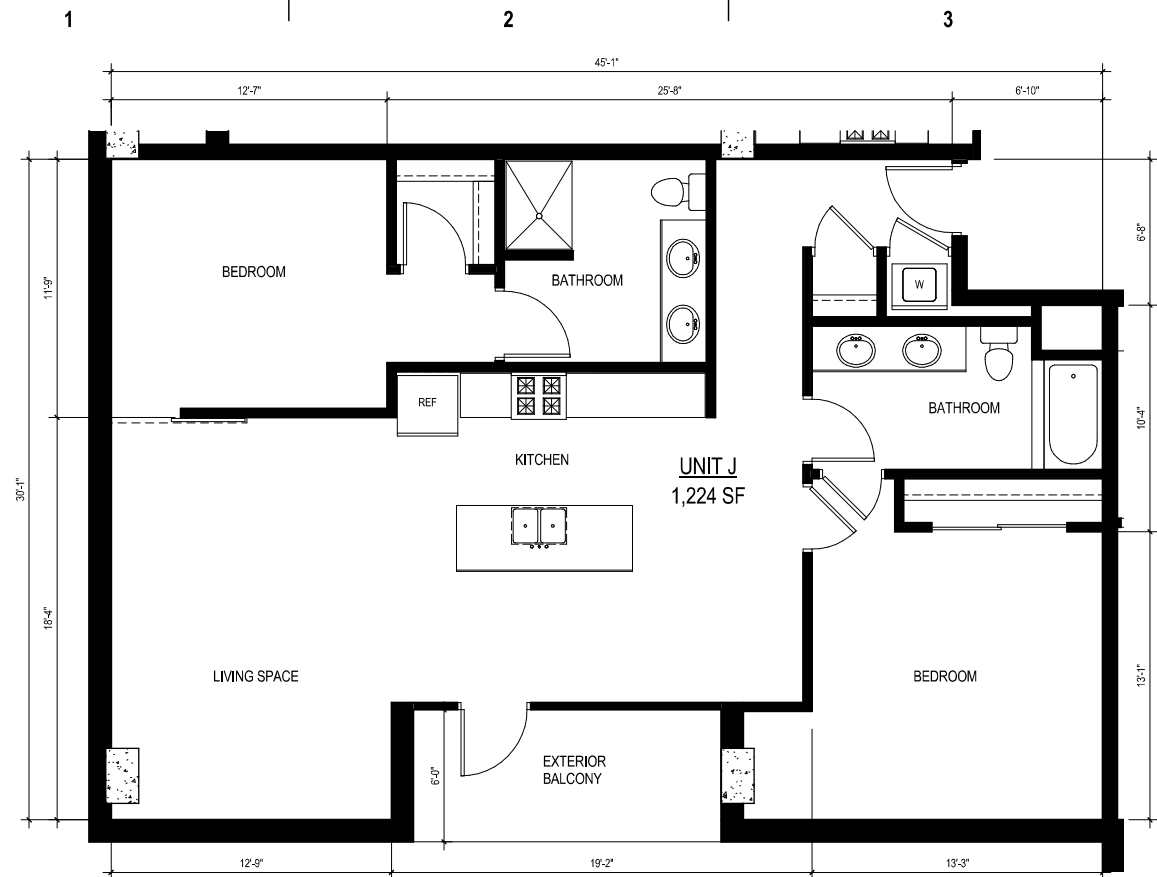
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

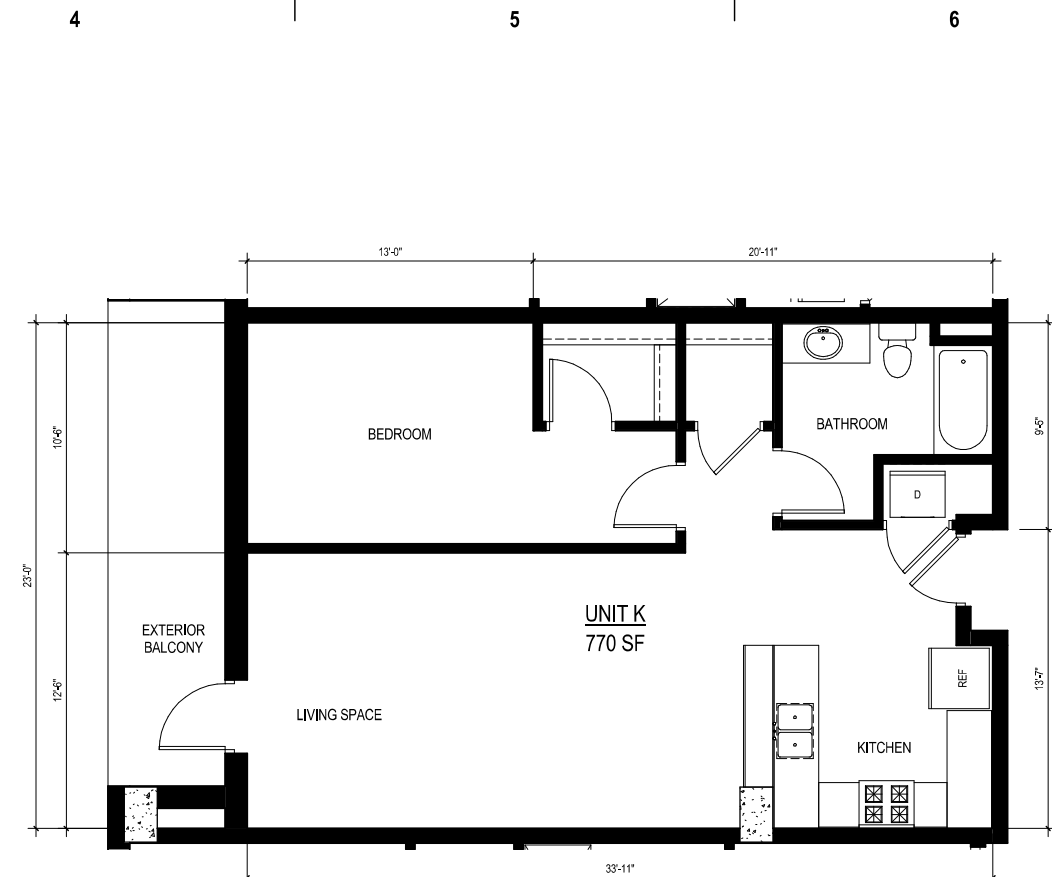
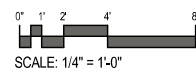
DATE 10/21/2015

UNIT FLOOR PLANS

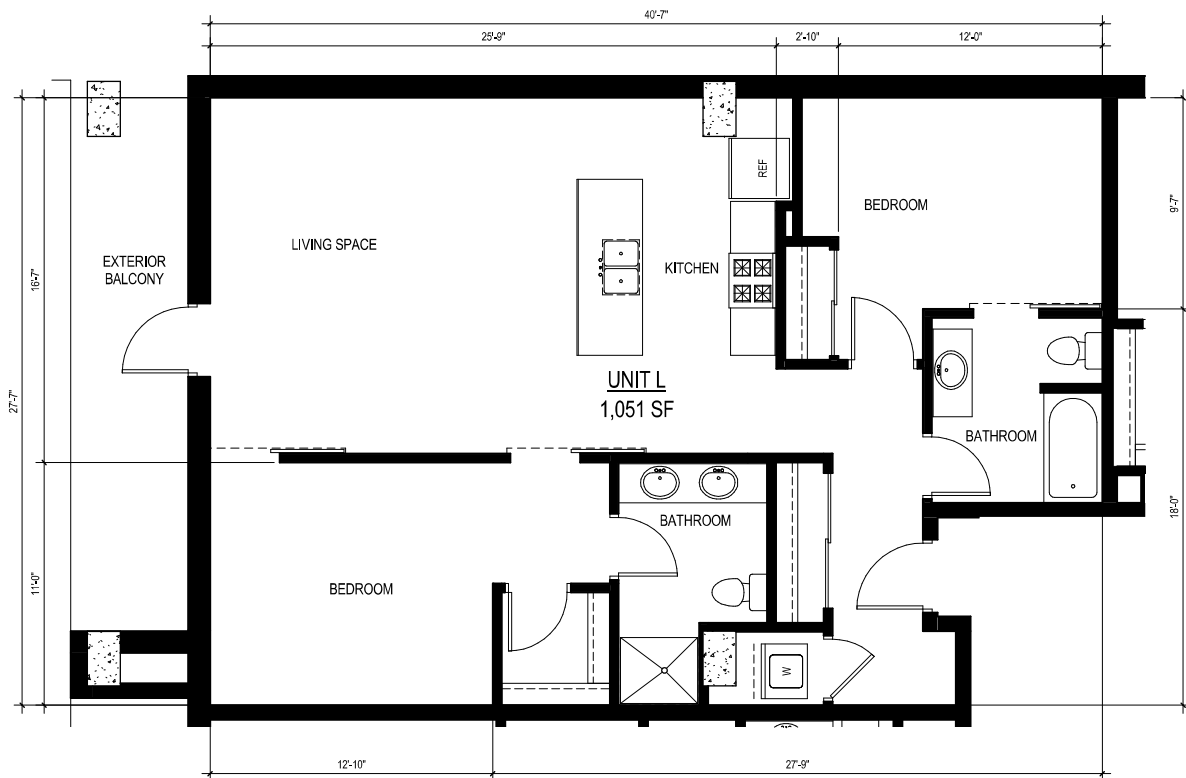
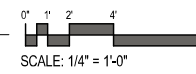
**A12**



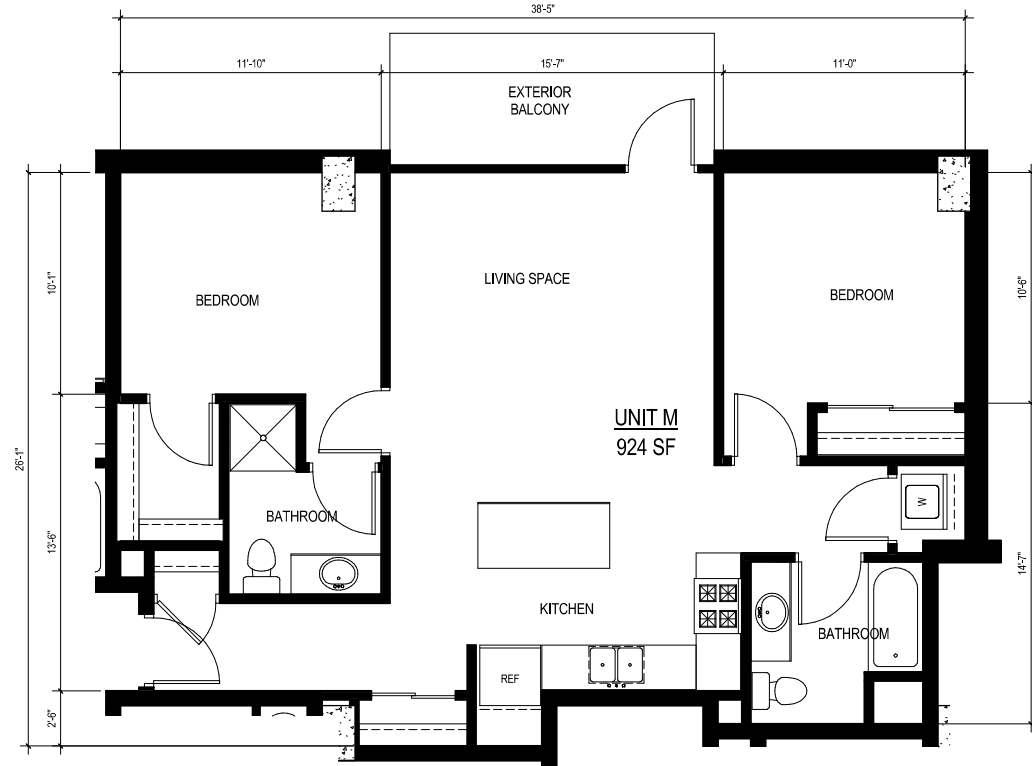
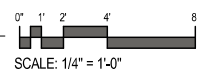
**1** UNIT J (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



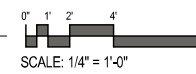
**2** UNIT K (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



**3** UNIT L (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



**4** UNIT M (MARKET-RATE APARTMENT)  
1/4" = 1'-0"





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PROJECT MANAGER JP

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UNIT FLOOR PLANS

**A13**

1 2 3 4 5 6

D

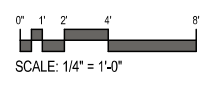
C

B

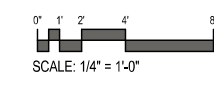
A



**1** UNIT N (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



**2** UNIT P (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



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### KEYNOTES PER SHEET

0341-05	EXPOSED CONCRETE
0443-02	BRICK COLOR 1 UTILITY
0443-04	MANUFACTURED STONE SMOOTH
0443-07	BRICK COLOR 1 MODULAR
0724-01	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 1
0724-07	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 2
0742-08	METAL PANEL - COLOR 1
0742-09	METAL PANEL - COLOR 2
0742-10	METAL PANEL - COLOR 3
0742-15	CORRUGATED METAL PANEL
0742-16	METAL PANEL - COLOR 5
0742-17	METAL PANEL - COLOR 6
0742-18	METAL PANEL - COLOR 7
0742-19	PAINTED BREAK METAL
0746-03	CEMENT BOARD SIDING
0746-04	SHINGLED CEMENT BOARD SIDING
0843-01	ALUMINUM-FRAMED STOREFRONT
0880-02	VINYL WINDOW
0880-03	GLASS RAILING



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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

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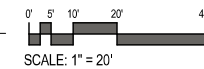
**BUILDING  
ELEVATIONS**

# A14

D

C

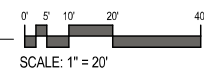
**1 NORTH ELEVATION-AFFORDABLE**  
1" = 20'-0"



B

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**2 NORTH ELEVATION**  
1" = 20'-0"



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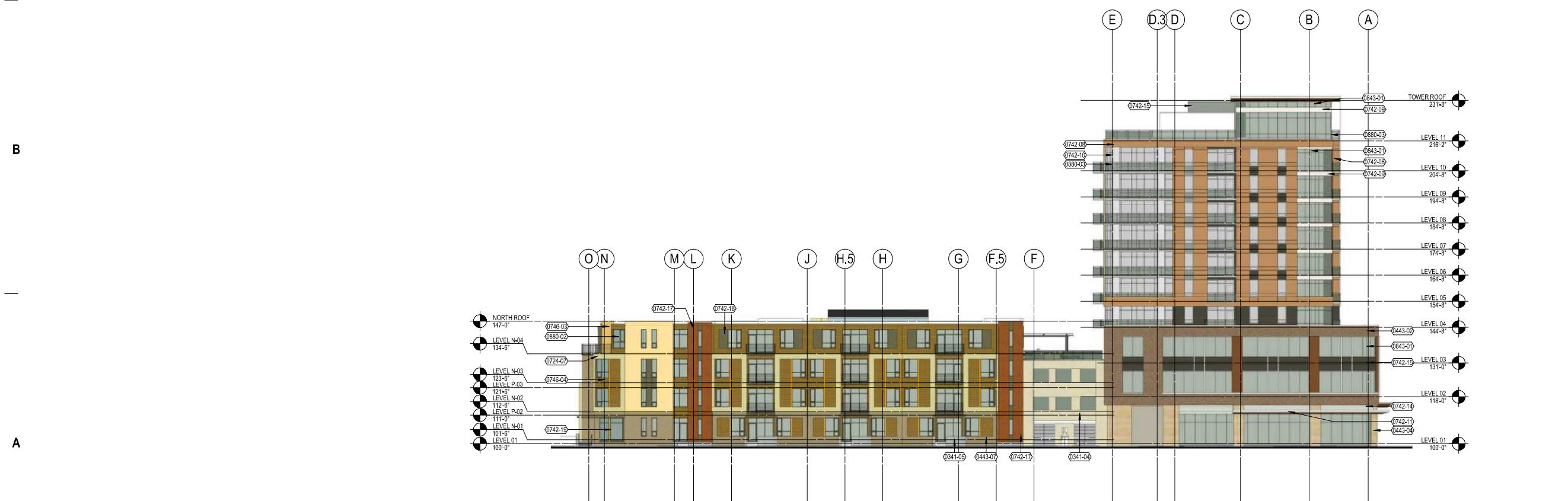
**BUILDING  
ELEVATIONS**

**A15**

KEYNOTES PER SHEET	
0341-04	PRECAST CONCRETE WALL PANEL
0341-05	EXPOSED CONCRETE
0443-02	BRICK COLOR 1 UTILITY
0443-04	MANUFACTURED STONE SMOOTH
0443-05	MANUFACTURED STONE ROUGH CUT
0443-06	NATURAL STONE BASE
0443-07	BRICK COLOR 1 MODULAR
0724-01	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 1
0724-07	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 2
0742-08	METAL PANEL - COLOR 1
0742-09	METAL PANEL - COLOR 2
0742-10	METAL PANEL - COLOR 3
0742-11	METAL PANEL - COLOR 4
0742-14	ARCHITECTURAL LOUVER
0742-15	CORRUGATED METAL PANEL
0742-16	METAL PANEL - COLOR 5
0742-17	METAL PANEL - COLOR 6
0742-18	METAL PANEL - COLOR 7
0742-19	PAINTED BREAK METAL
0746-03	CEMENT BOARD SIDING
0746-04	SHINGLED CEMENT BOARD SIDING
0843-01	ALUMINUM-FRAMED STOREFRONT
0844-01	ALUMINUM-FRAMED CURTAIN WALL
0880-01	SPANDREL GLASS
0880-02	VINYL WINDOW
0880-03	GLASS RAILING



**1 SOUTH ELEVATION**  
1" = 20'-0"



**2 WEST ELEVATION**  
1" = 20'-0"

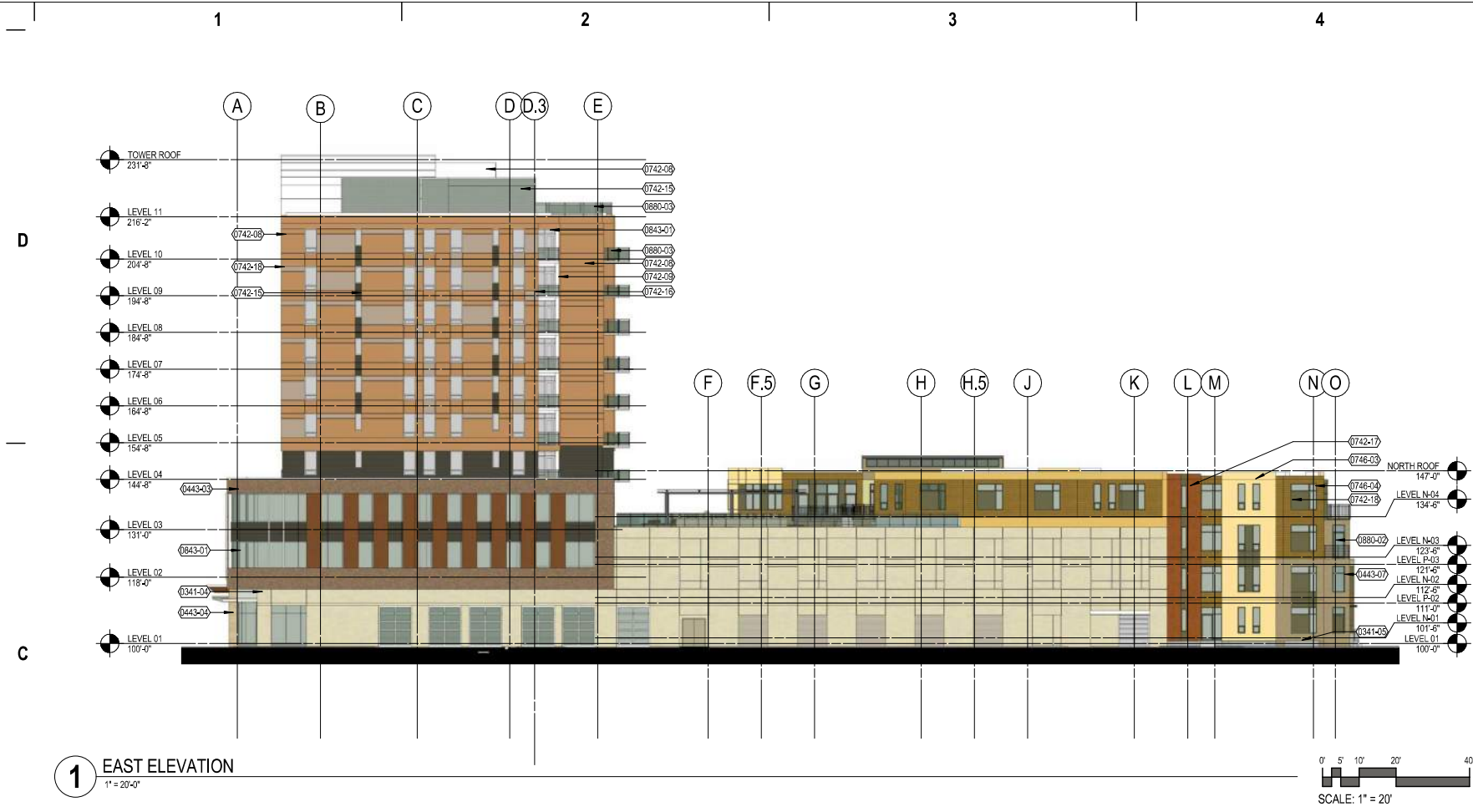
SCALE: 1" = 20'



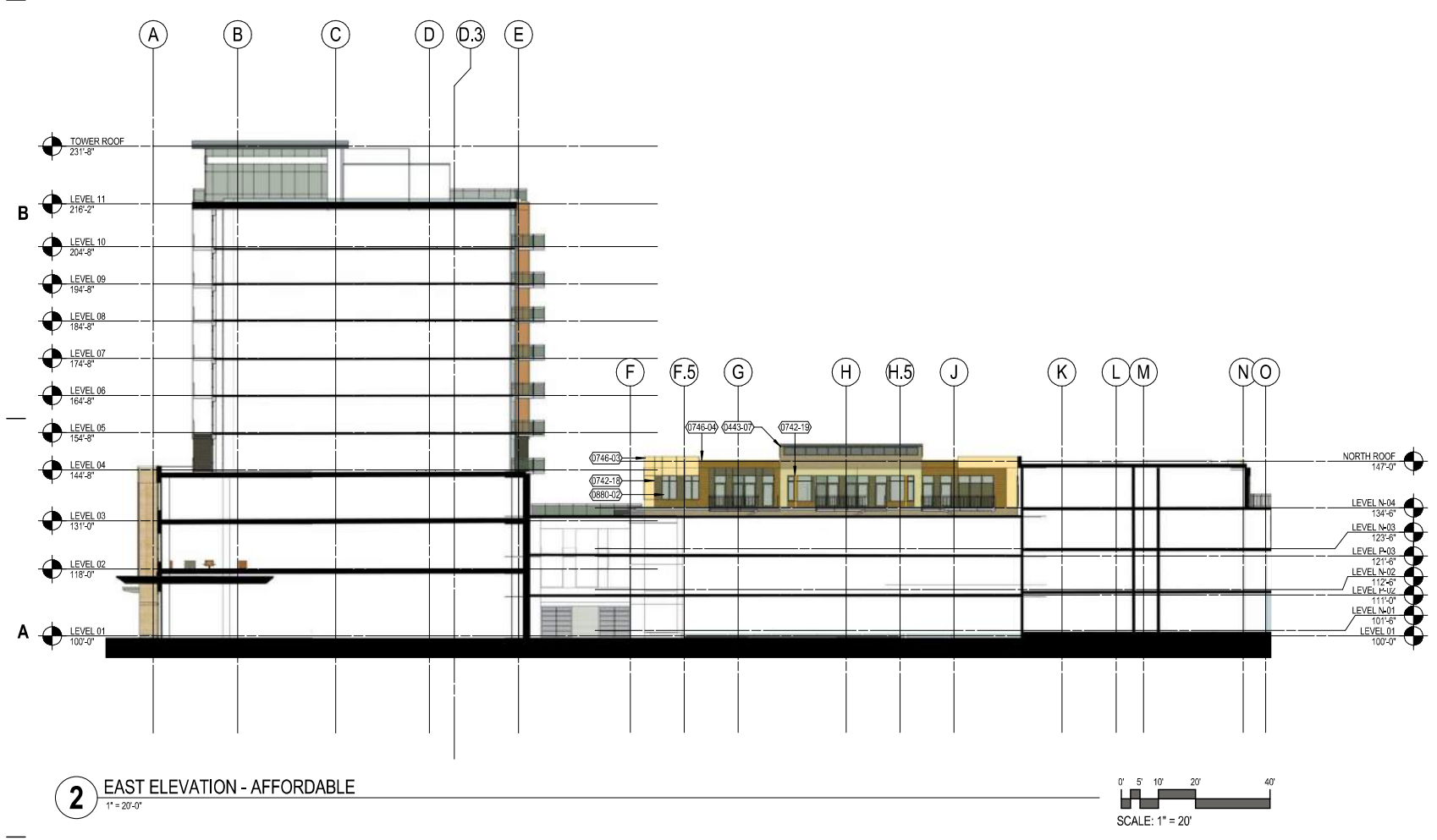
**eppstein uhen : architects**

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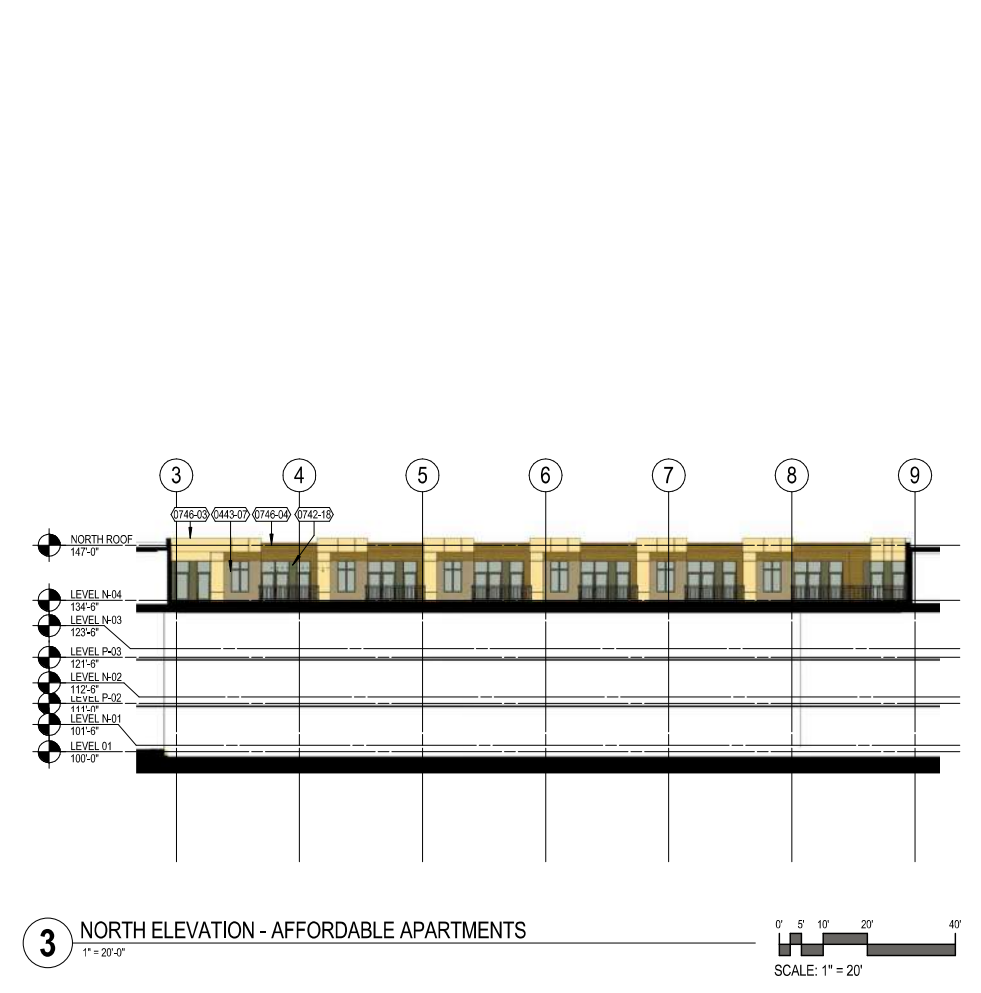
KEYNOTES PER SHEET	
0341-04	PRECAST CONCRETE WALL PANEL
0341-06	EXPOSED CONCRETE
0443-03	BRICK COLOR 2 UTILITY
0443-04	MANUFACTURED STONE SMOOTH
0443-07	BRICK COLOR 1 MODULAR
0742-08	METAL PANEL - COLOR 1
0742-09	METAL PANEL - COLOR 2
0742-15	CORRUGATED METAL PANEL
0742-16	METAL PANEL - COLOR 5
0742-17	METAL PANEL - COLOR 6
0742-18	METAL PANEL - COLOR 7
0742-19	PAINTED BREAK METAL
0746-03	CEMENT BOARD SIDING
0746-04	SHINGLED CEMENT BOARD SIDING
0843-01	ALUMINUM-FRAMED STOREFRONT
0880-02	VINYL WINDOW
0880-03	GLASS RAILING



**1 EAST ELEVATION**  
1" = 20'-0"



**2 EAST ELEVATION - AFFORDABLE**  
1" = 20'-0"



**3 NORTH ELEVATION - AFFORDABLE APARTMENTS**  
1" = 20'-0"

PROJECT INFORMATION

**STONE HOUSE  
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WASHINGTON**

1000 E.  
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MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION  
UDC REVIEW

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PROJECT MANAGER	JP
PROJECT NUMBER	14339-01
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**BUILDING  
ELEVATIONS**

**A16**

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VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY

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STREET VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY

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PERSPECTIVES

**A17**



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VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY



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STREET VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY

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PERSPECTIVES

**A18**

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ROOFTOP VIEW OF THE ELEVENTH FLOOR TERRACE

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VIEW OF THE AFFORDABLE HOUSING FROM THE CORNER OF MIFFLIN AND BREARLY

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PERSPECTIVES

**A19**

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STREET VIEW FROM THE CORNER OF MIFFLIN AND BREARLY



B

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STREET VIEW OF THE AFFORDABLE HOUSING FROM MIFFLIN

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PERSPECTIVES

**A20**



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DATE 10/21/2015

SUN STUDY

A21

MARCH 20

JUNE 21

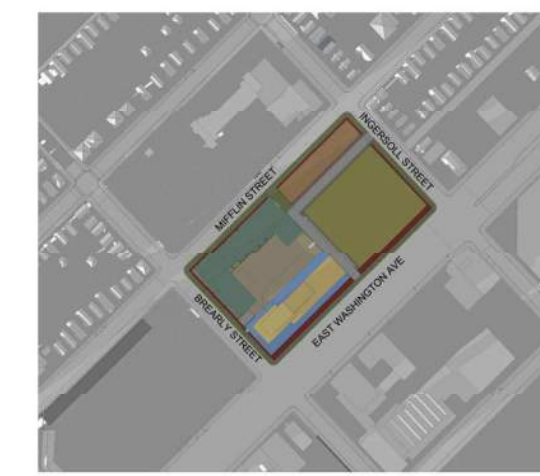
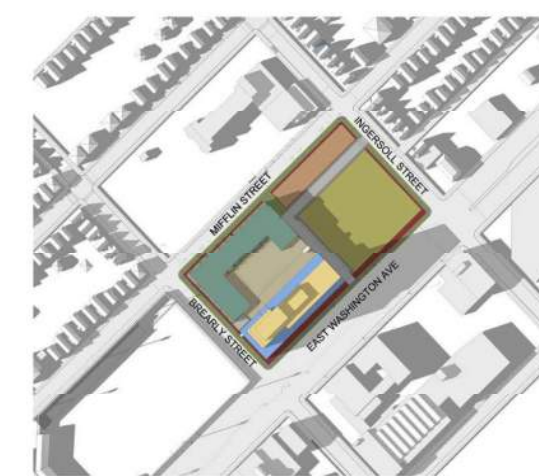
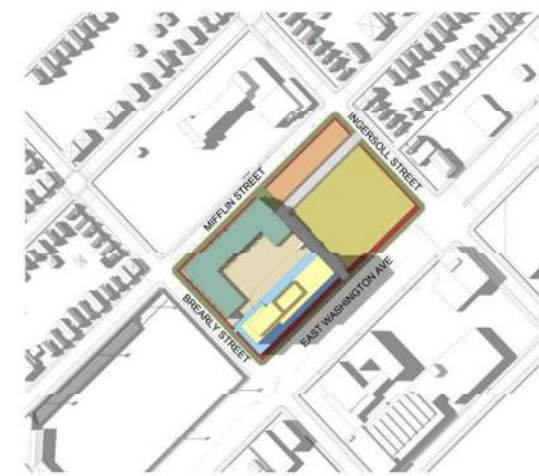
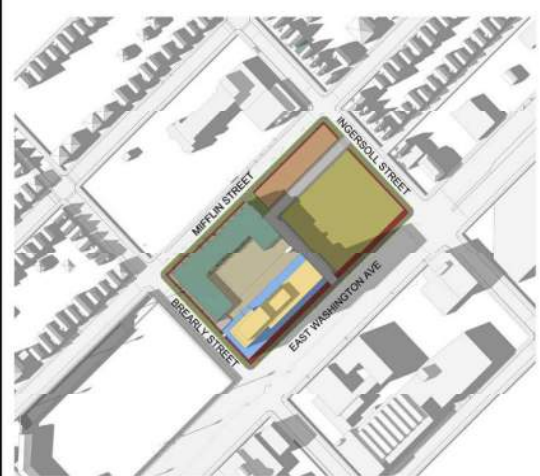
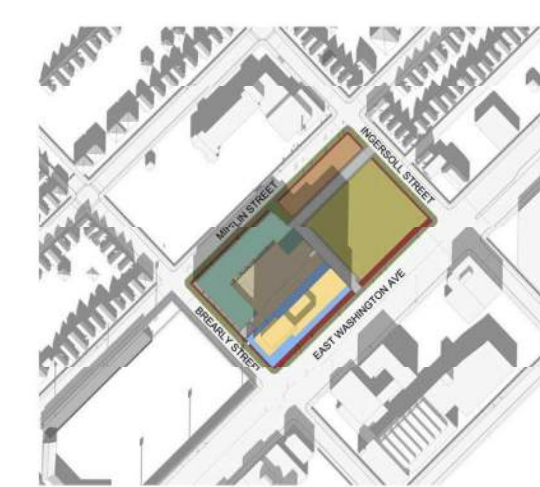
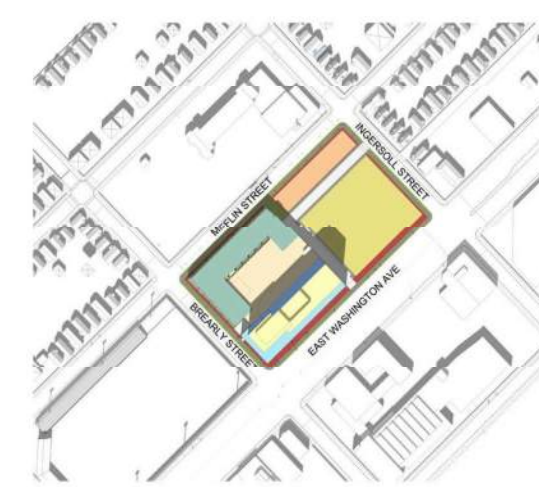
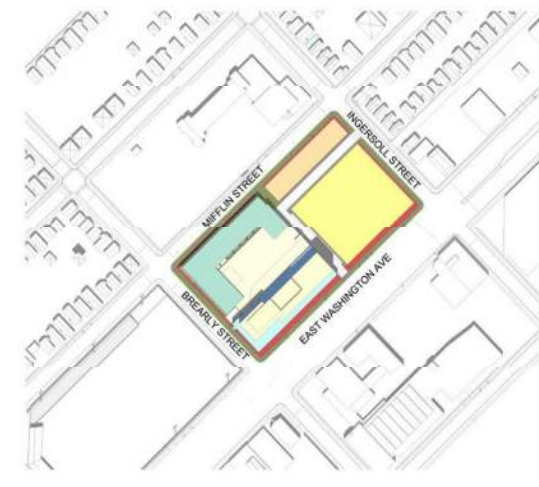
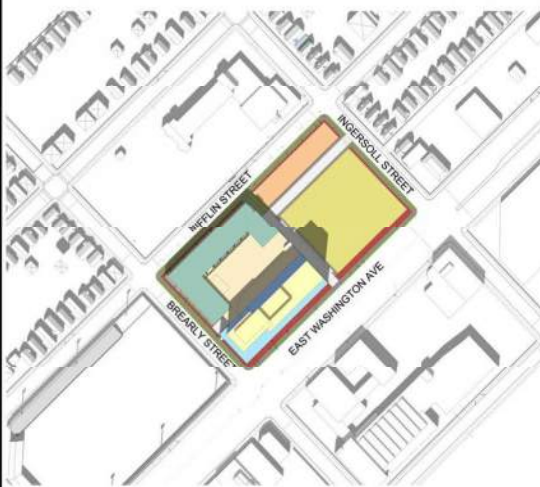
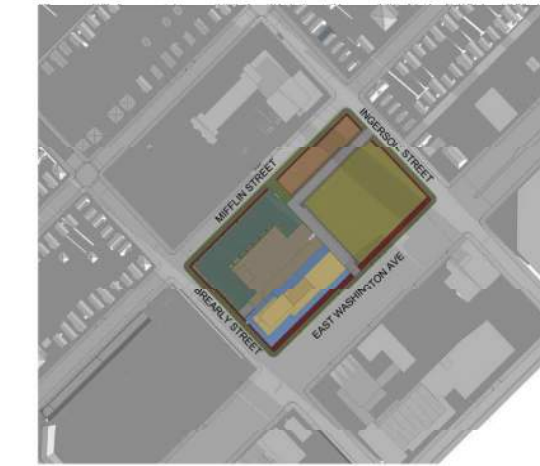
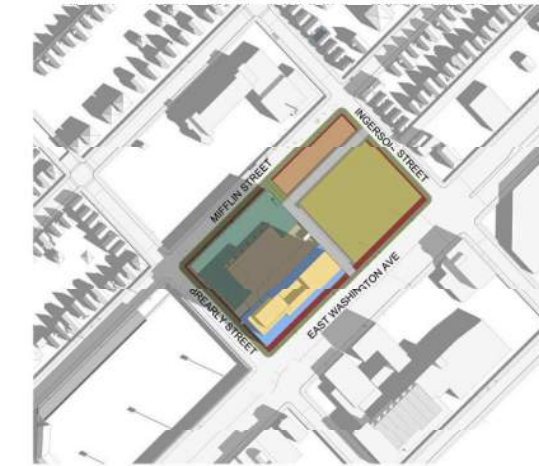
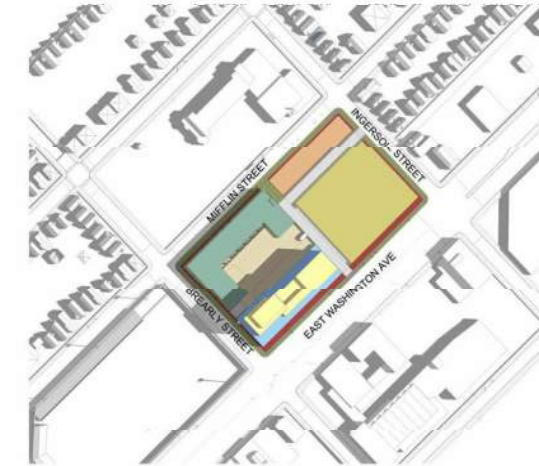
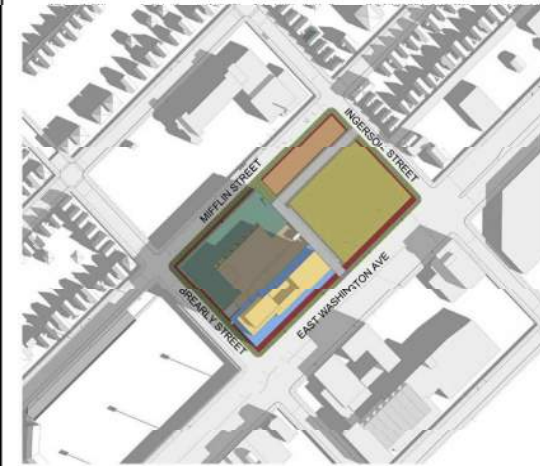
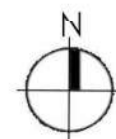
SEPTEMBER 22

DECEMBER 22

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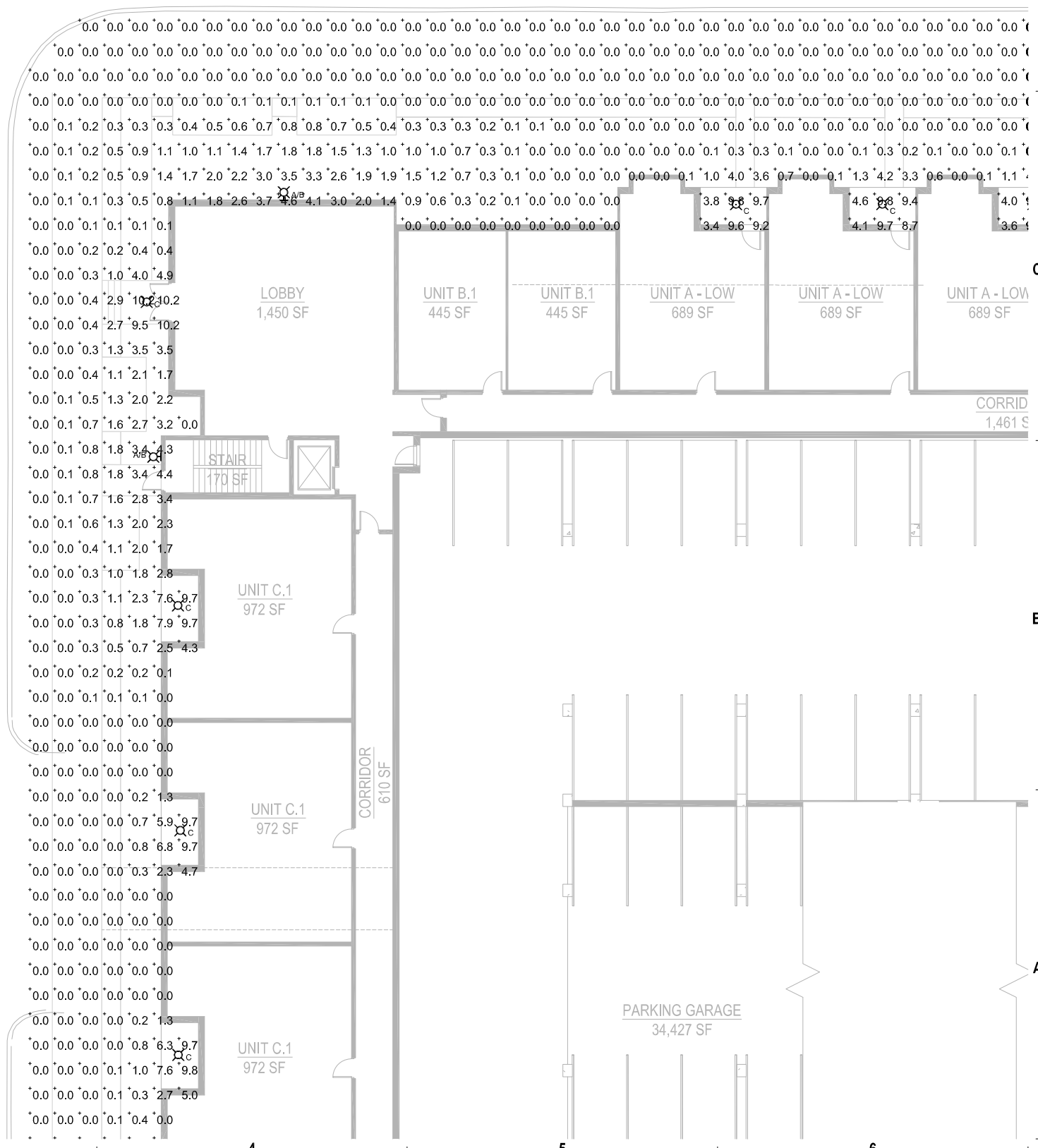
milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
telephone 608.442.5350

CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3lc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2lc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3lc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B ☒	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C ☒	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
D ☒	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E ☒	LUMIERE	303-P1-LED-B1-4000-T5X-18	723

1  
E01 SCALE: 1/8"=1'-0"

LEVEL 01  
PHOTOMETRIC PLAN - AREA A



PROJECT INFORMATION

STONE HOUSE  
MIXED USE EAST  
WASHINGTON

1000 E.  
WASHINGTON  
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION

#	DATE	DESCRIPTION
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SHEET INFORMATION

**PROGRESS DOCUMENTS  
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PROJECT MANAGER	JDR
PROJECT NUMBER	14339-01
DATE	10/21/2015

LEVEL 01  
PHOTOMETRIC PLAN -  
AREA A

E01

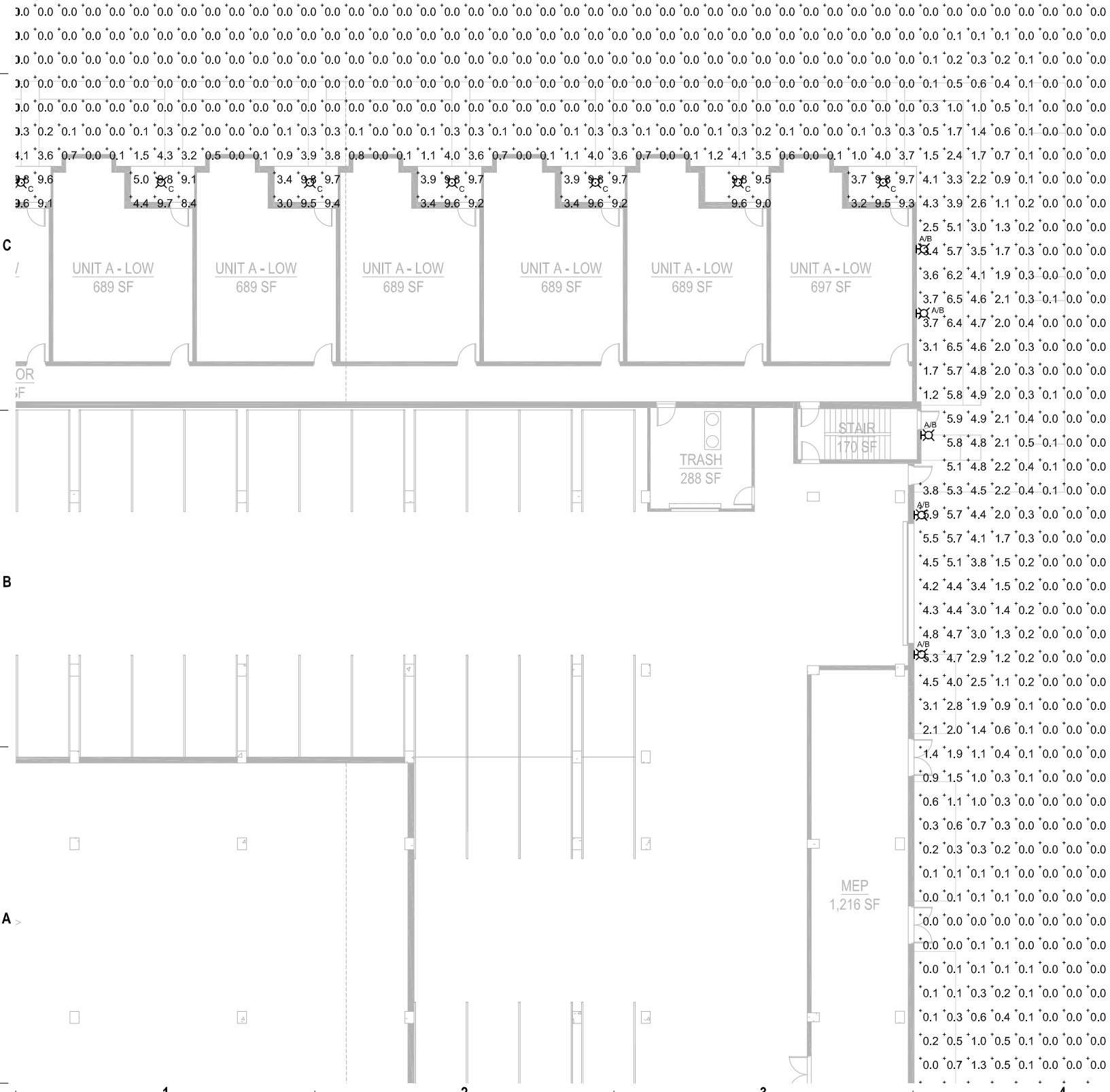


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CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B ☒	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C ☒	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
D ☒	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E ☒	LUMIERE	303-P1-LED-B1-4000-T5X-18	723



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E02  
LEVEL 01  
PHOTOMETRIC PLAN - AREA B  
SCALE: 1"=10'-0"

PROJECT INFORMATION

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ISSUANCE AND REVISIONS

LAND USE APPLICATION

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PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

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LEVEL 01  
PHOTOMETRIC PLAN -  
AREA B

**E02**



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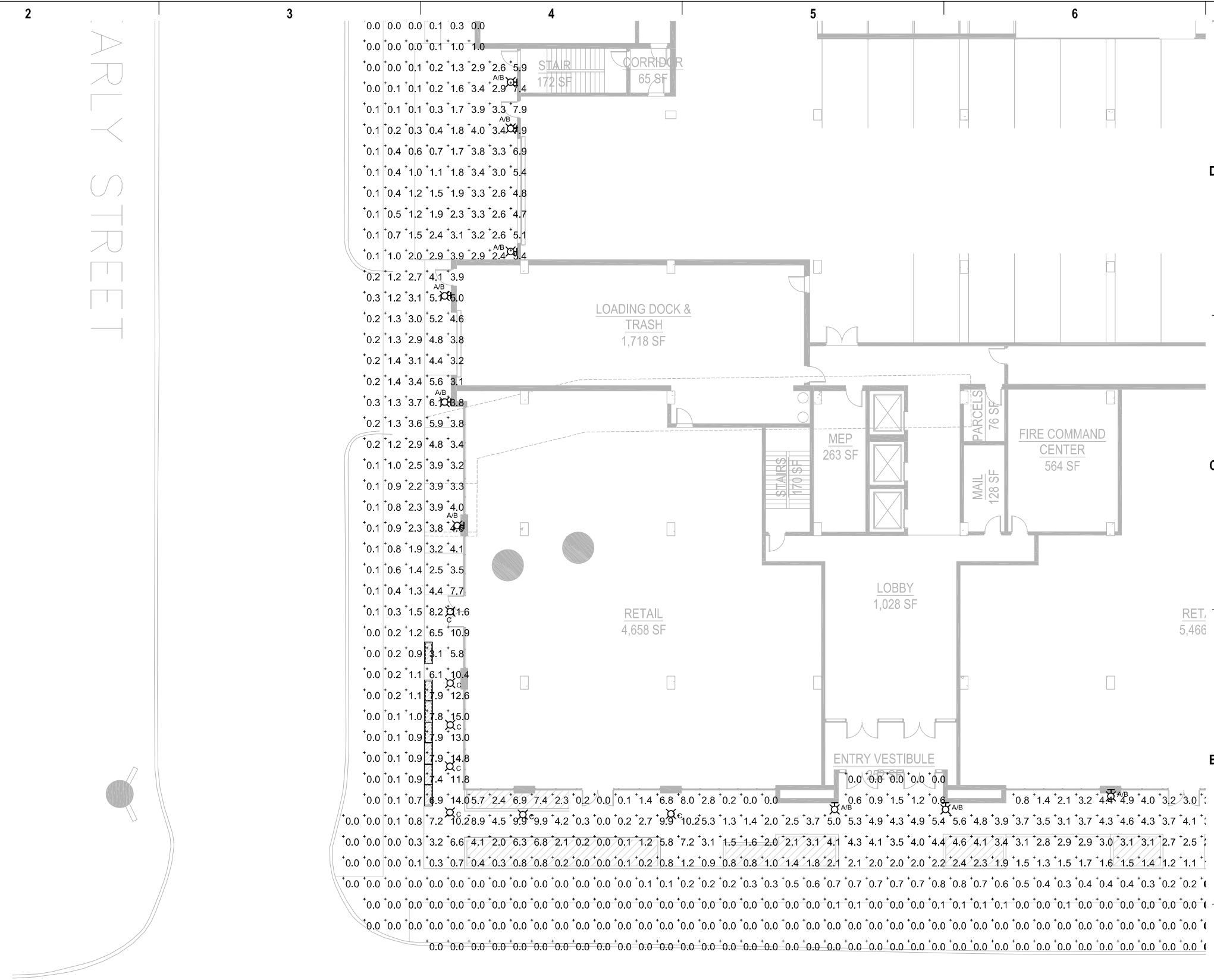
PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

DATE 10/21/2015

LEVEL 01  
PHOTOMETRIC PLAN -  
AREA C

**E03**



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E03  
LEVEL 01  
PHOTOMETRIC PLAN - AREA C  
SCALE: 1/8"=1'-0"

CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B ☒	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C ☒	GOTHAM	EVO 40-10-GAR-MD-LD	1,059
D ☒	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E ☒	LUMIERE	303-P1-LED-B1-4000-T5X-18	723

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telephone 608.442.5350

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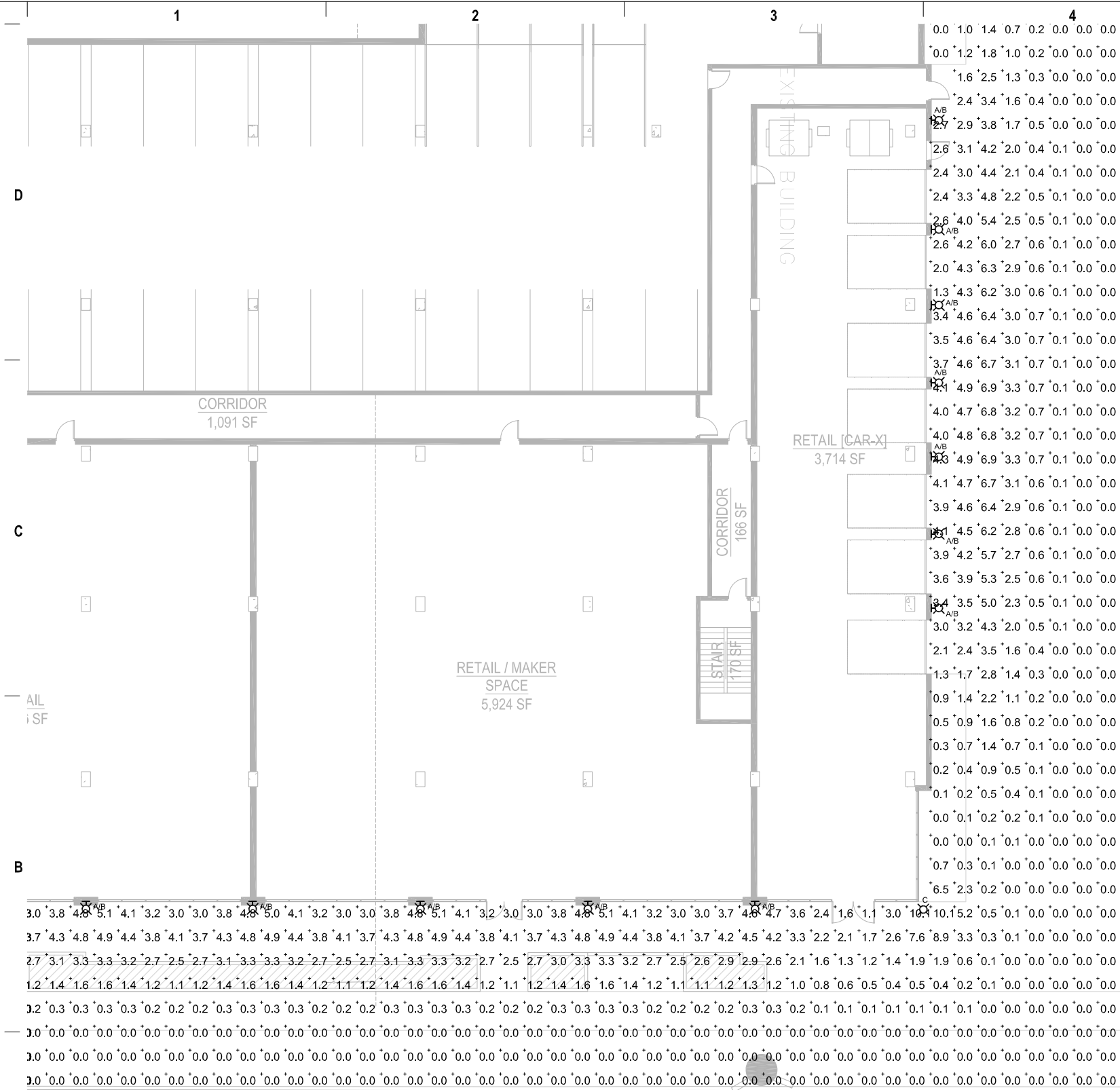
PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

DATE 10/21/2015

LEVEL 01  
PHOTOMETRIC PLAN -  
AREA D

**E04**



LEVEL 01  
PHOTOMETRIC PLAN - AREA D  
SCALE: 1"=10'-0"

CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C	GOTHAM	EVO 40-10-GAR-MD-LD	1,059
D	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E	LUMIERE	303-P1-LED-B1-4000-T5X-18	723





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madison 309 West Johnson Street, Suite 202  
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LAND USE APPLICATION

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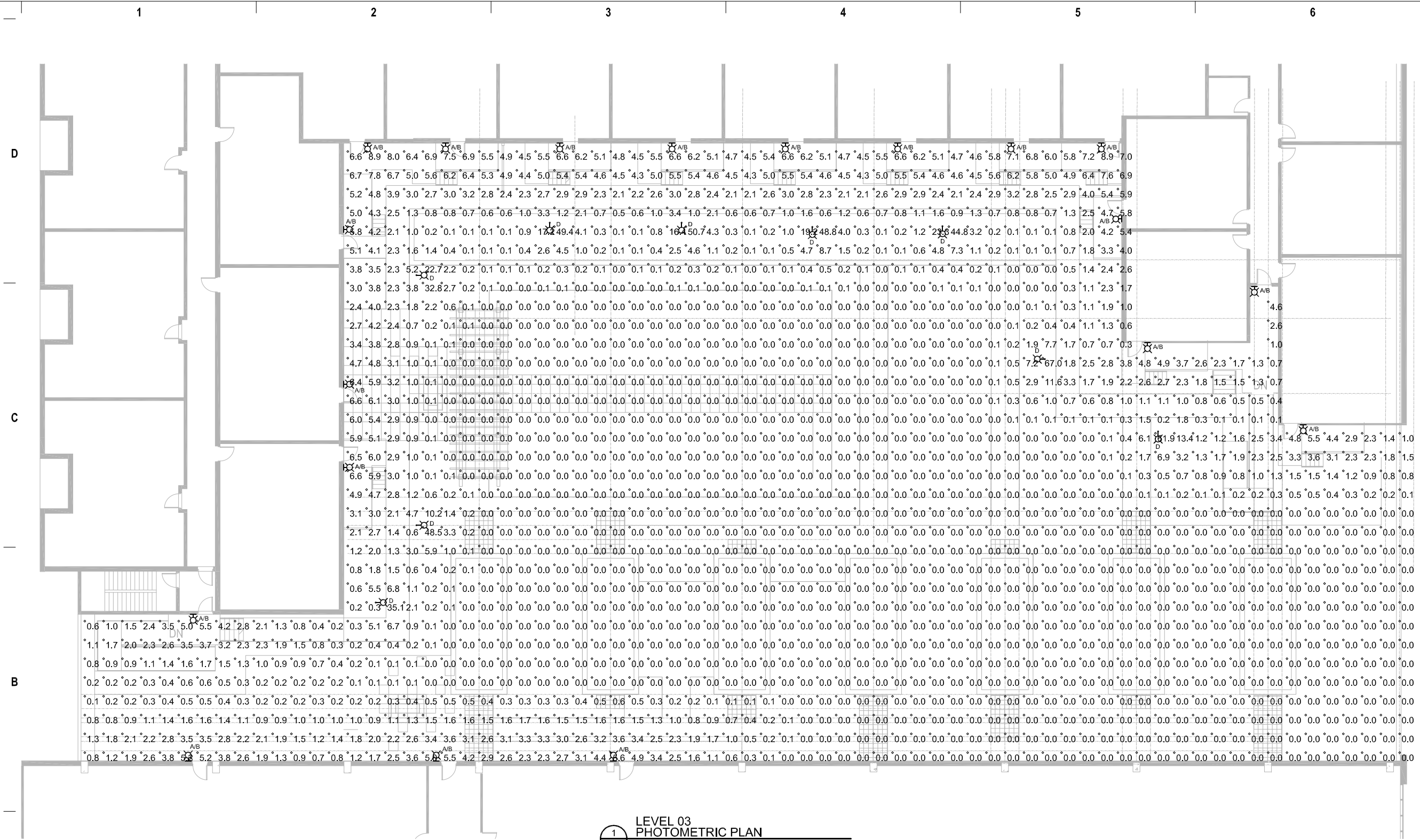
PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

DATE 10/21/2015


LEVEL 03  
PHOTOMETRIC PLAN

**E05**



CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B ☒	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C ☒	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
D ☒	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E ☒	LUMIERE	303-P1-LED-B1-4000-T5X-18	723



**CSXW LED LED Wall Luminaire**

**Introduction**  
The CSXW Series luminaire offers traditional square forms with softened edges for a versatile look that complements many applications. The CSXW LED combines the latest in LED technology with the familiar aesthetic of the CSXW Series for stylish, high-performance illumination that lasts. It is ideal for replacing 100-400W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

**Specifications**  
Height: 7-1/2" (191mm)  
Width: 4-1/2" (114mm)  
Depth: 4-5/8" (117mm)  
Weight (max): 30 lbs (13.6kg)

**Ordering Information**  
EXAMPLE: CSXW\_LED\_30C\_700\_40K\_T3M\_MVOLT\_D0B2D


Code	Label	Units	Color Temp	Color	Beam Angle	Mounting	Notes	Stock Status
CSXW_LED	30C	30	2700K	40K	100°	T3M	Standard	In Stock

**Mounting Details**  
Includes diagrams for wall and ceiling mounting with dimensions.

**Accessories**  
Includes tables for optional accessories like dimmers and sensors.

**Notes**  
1. CSXW LED is not for use in wet or damp locations.  
2. CSXW LED is not for use in hazardous locations.  
3. CSXW LED is not for use in Class II, III, or IV locations.  
4. CSXW LED is not for use in Class I, II, or III locations.  
5. CSXW LED is not for use in Class I, II, or III locations.  
6. CSXW LED is not for use in Class I, II, or III locations.  
7. CSXW LED is not for use in Class I, II, or III locations.

**LITHONIA LIGHTING**  
One Lithonia Way • Dayton, Georgia 30512 • Phone 800.275.5041 • Fax 770.916.8277 • [www.lithonia.com](http://www.lithonia.com)



**6" Evo<sup>®</sup> Downlight**

**Introduction**  
The 6" Evo Downlight is a solid-state lighting fixture that provides a clean, modern look. It is ideal for replacing 100-400W metal halide in recessed applications with typical energy savings of 80% and expected service life of over 100,000 hours.

**Specifications**  
Height: 6" (152mm)  
Diameter: 6" (152mm)  
Depth: 4-1/2" (114mm)  
Weight (max): 30 lbs (13.6kg)

**Ordering Information**  
EXAMPLE: 6" EVO\_D0B2D\_30C\_700\_40K\_T3M\_MVOLT\_D0B2D

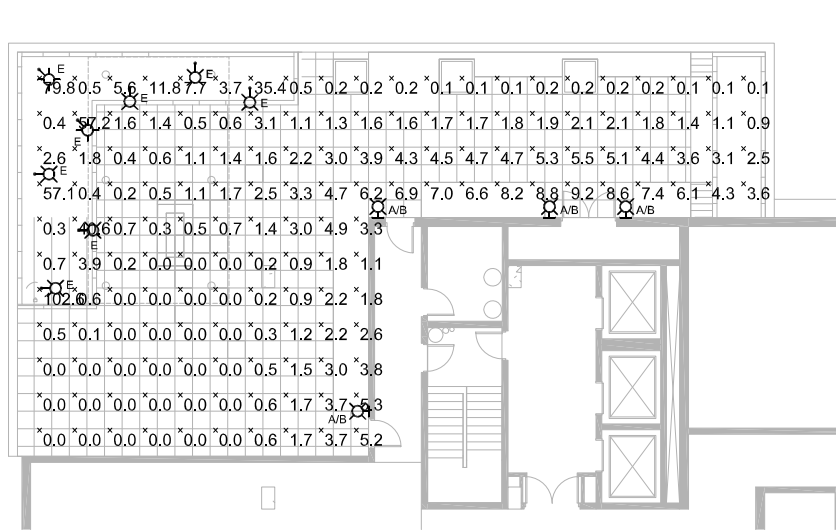
Code	Label	Units	Color Temp	Color	Beam Angle	Mounting	Notes	Stock Status
6" EVO	D0B2D	30	2700K	40K	100°	T3M	Standard	In Stock

**Mounting Details**  
Includes diagrams for recessed ceiling mounting with dimensions.

**Accessories**  
Includes tables for optional accessories like dimmers and sensors.

**Notes**  
1. 6" Evo is not for use in wet or damp locations.  
2. 6" Evo is not for use in hazardous locations.  
3. 6" Evo is not for use in Class II, III, or IV locations.  
4. 6" Evo is not for use in Class I, II, or III locations.  
5. 6" Evo is not for use in Class I, II, or III locations.  
6. 6" Evo is not for use in Class I, II, or III locations.  
7. 6" Evo is not for use in Class I, II, or III locations.

**gotham**  
1000 West Washington St., Chicago, IL 60607 • Phone 773.226.1111 • [www.gothamlighting.com](http://www.gothamlighting.com)



**eua**

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Telephone 608.442.5350

**PROJECT INFORMATION**

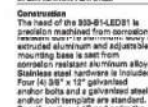
**STONE HOUSE  
MIXED USE EAST  
WASHINGTON**

1000 E.  
WASHINGTON  
MADISON, WI 53703

**ISSUANCE AND REVISIONS**

**LAND USE APPLICATION**

#	DATE	DESCRIPTION



**LUMIERE**

**303-B1-LEDB1 EON LED**

**DESCRIPTION**  
The Lumiere 303-B1-LEDB1 is a compact, low profile, dimmable, LED luminaire that provides directional lighting. It is ideal for replacing 100-400W metal halide in recessed applications with typical energy savings of 80% and expected service life of over 100,000 hours.

**Specifications**  
Height: 3-1/2" (89mm)  
Diameter: 3-1/2" (89mm)  
Depth: 3-1/2" (89mm)  
Weight (max): 30 lbs (13.6kg)

**Ordering Information**  
EXAMPLE: 303-B1-LEDB1\_30C\_700\_40K\_T3M\_MVOLT\_D0B2D


Code	Label	Units	Color Temp	Color	Beam Angle	Mounting	Notes	Stock Status
303-B1-LEDB1	30C	30	2700K	40K	100°	T3M	Standard	In Stock

**Mounting Details**  
Includes diagrams for recessed ceiling mounting with dimensions.

**Accessories**  
Includes tables for optional accessories like dimmers and sensors.

**Notes**  
1. Lumiere is not for use in wet or damp locations.  
2. Lumiere is not for use in hazardous locations.  
3. Lumiere is not for use in Class II, III, or IV locations.  
4. Lumiere is not for use in Class I, II, or III locations.  
5. Lumiere is not for use in Class I, II, or III locations.  
6. Lumiere is not for use in Class I, II, or III locations.  
7. Lumiere is not for use in Class I, II, or III locations.

**F.A.C.N.**  
Newly & Best 1000



**LUMIERE**

**303-P1-LEDB1 EON LED**

**DESCRIPTION**  
The Lumiere 303-P1-LEDB1 is a compact, low profile, dimmable, LED luminaire that provides directional lighting. It is ideal for replacing 100-400W metal halide in recessed applications with typical energy savings of 80% and expected service life of over 100,000 hours.

**Specifications**  
Height: 3-1/2" (89mm)  
Diameter: 3-1/2" (89mm)  
Depth: 3-1/2" (89mm)  
Weight (max): 30 lbs (13.6kg)

**Ordering Information**  
EXAMPLE: 303-P1-LEDB1\_30C\_700\_40K\_T3M\_MVOLT\_D0B2D

Code	Label	Units	Color Temp	Color	Beam Angle	Mounting	Notes	Stock Status
303-P1-LEDB1	30C	30	2700K	40K	100°	T3M	Standard	In Stock

**Mounting Details**  
Includes diagrams for recessed ceiling mounting with dimensions.

**Accessories**  
Includes tables for optional accessories like dimmers and sensors.

**Notes**  
1. Lumiere is not for use in wet or damp locations.  
2. Lumiere is not for use in hazardous locations.  
3. Lumiere is not for use in Class II, III, or IV locations.  
4. Lumiere is not for use in Class I, II, or III locations.  
5. Lumiere is not for use in Class I, II, or III locations.  
6. Lumiere is not for use in Class I, II, or III locations.  
7. Lumiere is not for use in Class I, II, or III locations.

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**CALCULATION SUMMARY**

LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3c	15.0c	0.0c	N/A	N/A
LEVEL 03	1.2c	67.0c	0.0c	N/A	N/A
LEVEL 11	4.3c	102.6c	0.0c	N/A	N/A

**LUMINAIRE SCHEDULE**

TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C	GOthAM	EVO 40-10-GAR-MD-LD	1,059
D	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E	LUMIERE	303-P1-LEDB1-4000-T5X-18	723

**SHEET INFORMATION**

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**PROJECT MANAGER** JDR

**PROJECT NUMBER** 14339-01

**DATE** 10/21/2015

**LEVEL 11  
PHOTOMETRIC PLAN**

**E06**

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