

APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL

AGENDA ITEM # \_\_\_\_\_  
Project # \_\_\_\_\_  
Legistar # 33105

DATE SUBMITTED: 2-12-14  
UDC MEETING DATE: 2-19-14

Action Requested  
 Informational Presentation  
 Initial Approval and/or Recommendation  
 Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 432 S. Gammon Road

ALDERMANIC DISTRICT: 9-Alder Skidmore

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:

Chick-fil-A, Inc.

5200 Buffington Road

Atlanta, GA 30349

CONTACT PERSON: Jon Grzywa

Address: Woolpert, Inc 1815 S. Meyers Road, Suite 120  
Oakbrook Terrace, IL 60181

Phone: 630.693.6314

Fax: \_\_\_\_\_

E-mail address: jon.grzywa@woolpert.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

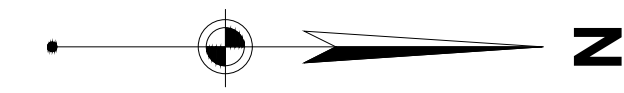
- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



### SITE PLAN LEGEND

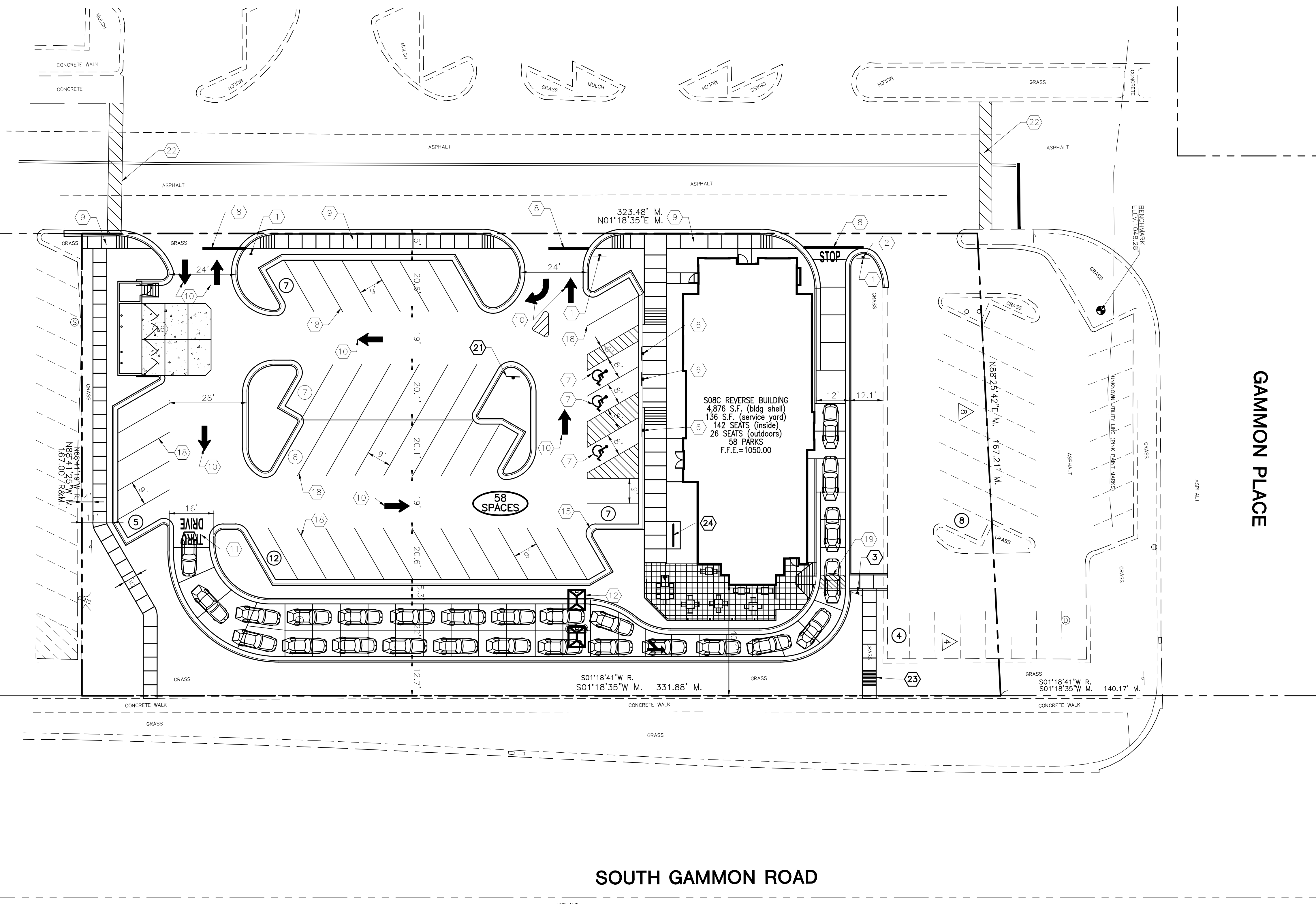
- PROPOSED CURB AND GUTTER
- ACCESSIBLE RAMP
- DETECTABLE WARNING

### SITE KEY NOTES

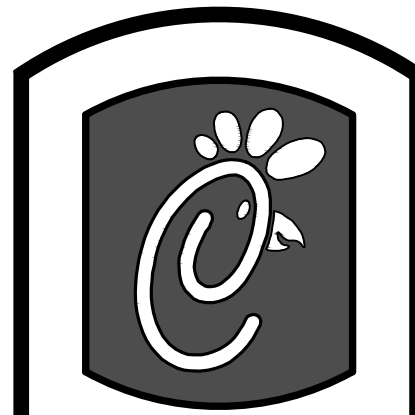
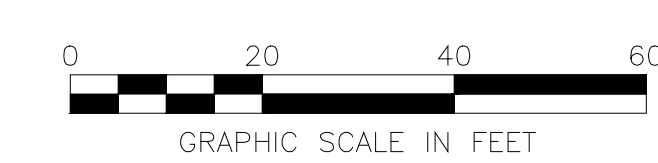
- NO. DESCRIPTION
- ① "STOP" SIGN
  - ② "DO NOT ENTER" SIGN
  - ③ "PEDESTRIAN CROSSING" SIGN
  - ④ "LEFT TURN ONLY" SIGN
  - ⑤ "YIELD" SIGN
  - ⑥ ACCESSIBLE PARKING SIGN
  - ⑦ PAINTED ACCESSIBLE PARKING SYMBOL
  - ⑧ STOP BAR
  - ⑨ CONCRETE SIDEWALK
  - ⑩ DIRECTIONAL ARROW
  - ⑪ DRIVE-THRU GRAPHICS
  - ⑫ MENU BOARD & CANOPY ORDERING STATION
  - ⑬ THREE-SIDED PYLON SIGN (30' HEIGHT)
  - ⑭ DIRECTIONAL SIGN
  - ⑮ ALUMINUM HANDRAIL, DARK BRONZE
  - ⑯ REFUSE ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
  - ⑰ 4" STRIPE, TRAFFIC YELLOW PAINT
  - ⑱ 4" STRIPE, TRAFFIC WHITE PAINT
  - ⑲ PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC WHITE PAINT
  - ⑳ PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC YELLOW PAINT
  - ㉑ "DO NOT ENTER" SIGN
  - ㉒ EXISTING STRIPING TO REMAIN
  - ㉓ PROPOSED STAIRS
  - ㉔ PROPOSED BIKE RACK

### SITE DATA

SITE AREA:	±1.26 ACRES (54,722 S.F.)
CURRENT ZONING:	CC
EXISTING BUILDING AREA:	PROPOSED BUILDING AREA:
3,797 S.F. (6.9%)	5,012 S.F. (9.2%)
	FLOOR AREA RATIO =0.092
EXISTING PAVEMENT AREA:	PROPOSED PAVEMENT AREA:
30,524 S.F. (55.8%)	37,083 S.F. (67.8%)
EXISTING LANDSCAPE AREA:	PROPOSED LANDSCAPE AREA:
20,401 S.F. (37.3%)	12,627 S.F. (23.0%)
PARKING DATA:	
ON-SITE PARKING:	
55 REGULAR SPACES PROVIDED	
3 ACCESSIBLE SPACES PROVIDED	
58 PARKING SPACES PROVIDED	
REQUIRED PARKING:	
PARKING SPACES REQUIRED: 1/100 SF GROSS FLOOR AREA	
GROSS FLOOR AREA = 5,012 SF	
50 PARKING SPACES REQUIRED	



3,797 S.F. (6.9%)



**Chick-fil-A**

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By

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1815 South Meyers Road  
Suite 120  
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630.424.9080  
FAX: 630.495.3731



STORE #3352  
MADISON  
S08C

432 S. GAMMON ROAD  
MADISON, WISCONSIN

SHEET TITLE  
**SITE PLAN**

DWG EDITION 07.1  
REVISION 1

Job No. : 073820  
Store : 3352  
Date : 12/20/13  
Drawn By : DLH  
Checked By: EJU

Sheet

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February 10, 2014

Mr. Kevin Firchow, AICP  
Planner, Planning Division  
City of Madison Department of Planning &  
Community and Economic Development  
Madison Municipal Building Suite LL-100  
215 Martin Luther King, Jr. Blvd  
PO Box 2985  
Madison, WI 53701-2985

Dear Mr. Firchow:

The purpose of this letter is to serve as the Letter of Intent for a proposed restaurant development located at 432 S. Gammon Road in Madison.

**Project Team**

Applicant:  
Chick-fil-A, Inc.  
5200 Buffington Road  
Atlanta, GA 30349  
Contact: Jason D. Hill

Architect:  
Chipman Design Architecture, Inc.  
2700 South River Road, Suite 400  
Des Plaines, IL 60018  
Contact: Steve Ajster

Civil Engineer:  
Woolpert, Inc.  
1815 South Meyers Road, Suite 120  
Oakbrook Terrace, IL 60181  
Contact: Jon Grzywa

**Existing Site Conditions**

The site is an outlot along the east side of the West Towne Mall shopping center. The site area is approximately 1.26 acres. There is an existing bank with a drive-thru and a parking lot on the site.

**Project Schedule**

The project is anticipated to begin construction in July of 2014 with a projected opening date in December of 2014

**Proposed Uses**

The project will consist of the construction of a single story restaurant with a drive-thru.

**Hours of Operation**

6:30 AM-10:00 PM, Monday through Saturday. Closed every Sunday.

**Building Square Footage**

The proposed building size is 5,012 SF.

**Number of Dwelling Units**

There will not be any dwelling units constructed as part of this project.

**Auto and Bike Parking Stalls**

58 Auto parking stalls and 8 bicycle parking spaces are proposed. 50 auto parking and 8 bicycle parking stalls are required.

**Lot Coverage & Usable Open Space Calculations**

The proposed building will cover 5,012 square feet, or 9.2% of the site. The proposed parking will cover approximately 37,083 square feet, or 67.8% of the site. The proposed landscape area will cover approximately 12,267 square feet, or 23.0% of the site.

**Value of Land**

The value of the land is estimated to be \$390,000

**Estimated Project Cost**

The estimated construction cost is \$1,400,000

**Number of Construction & Full-Time Jobs Created**

40 full time and approximately 100 construction jobs will be created as part of this project.

**Public Subsidy Requested**

None.

Sincerely,

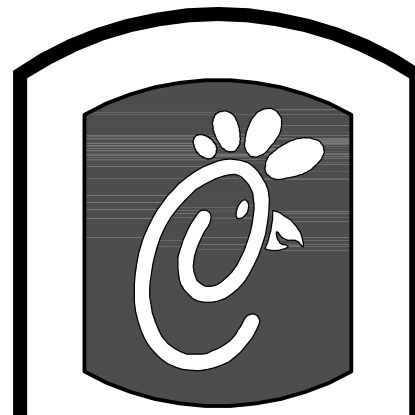
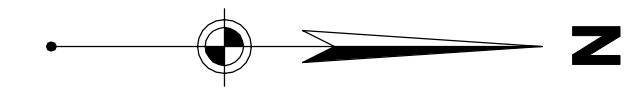
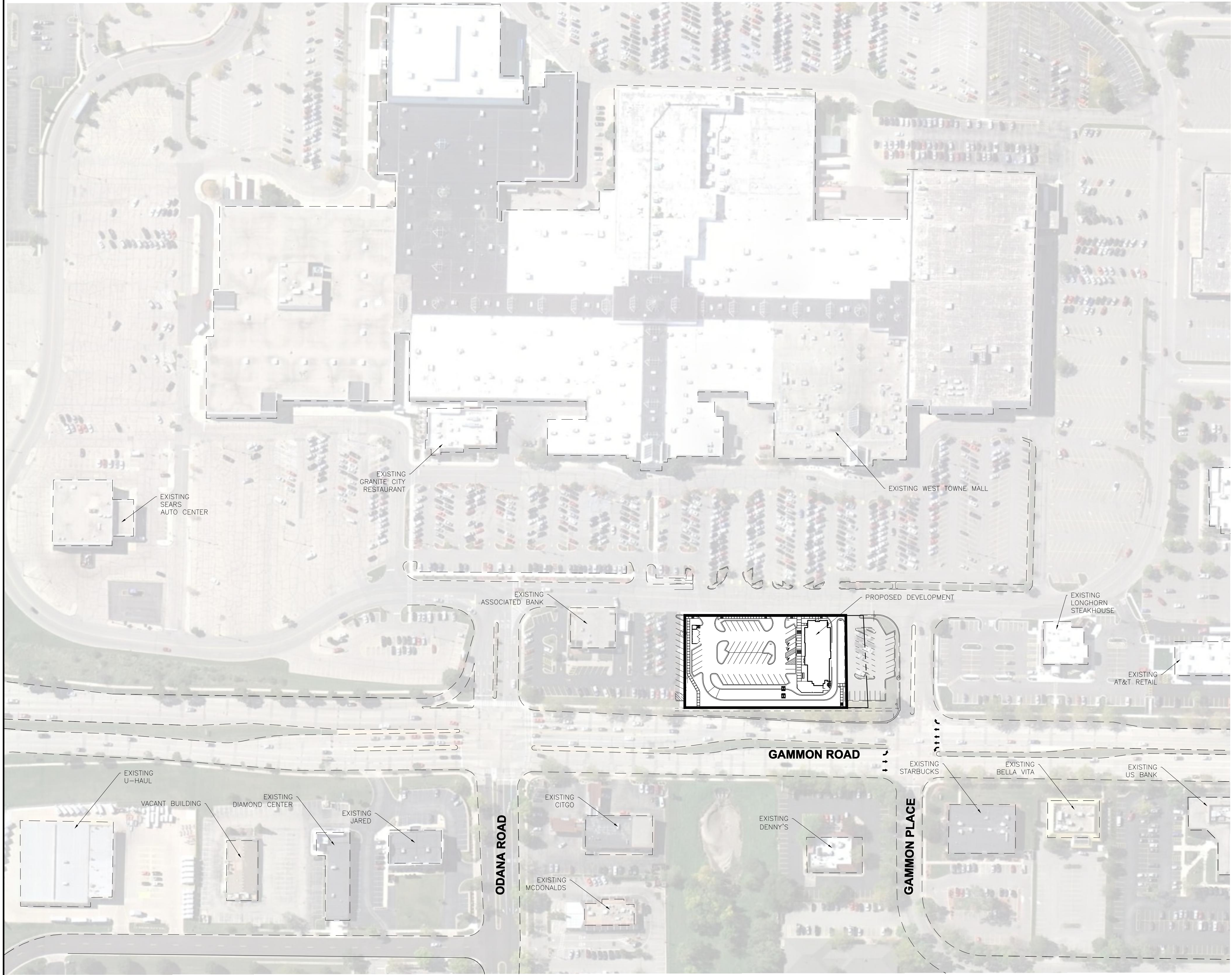
Woolpert, Inc.



Jon Grzywa, PE



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**Chick-fil-A**

5200 Buffington Rd.  
 Atlanta Georgia,  
 30349-2998

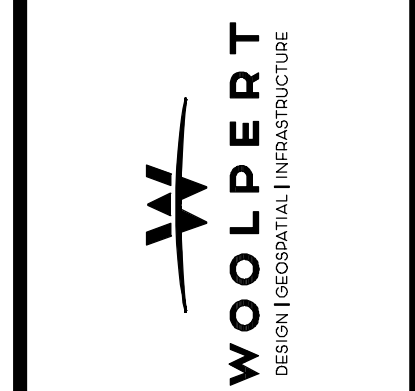
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STORE #3352  
 MADISON  
 S08C

432 S. GAMMON ROAD  
 MADISON, WISCONSIN

SHEET TITLE  
**OVERALL  
 SITE PLAN**

DWG EDITION 07.1  
 REVISION 1

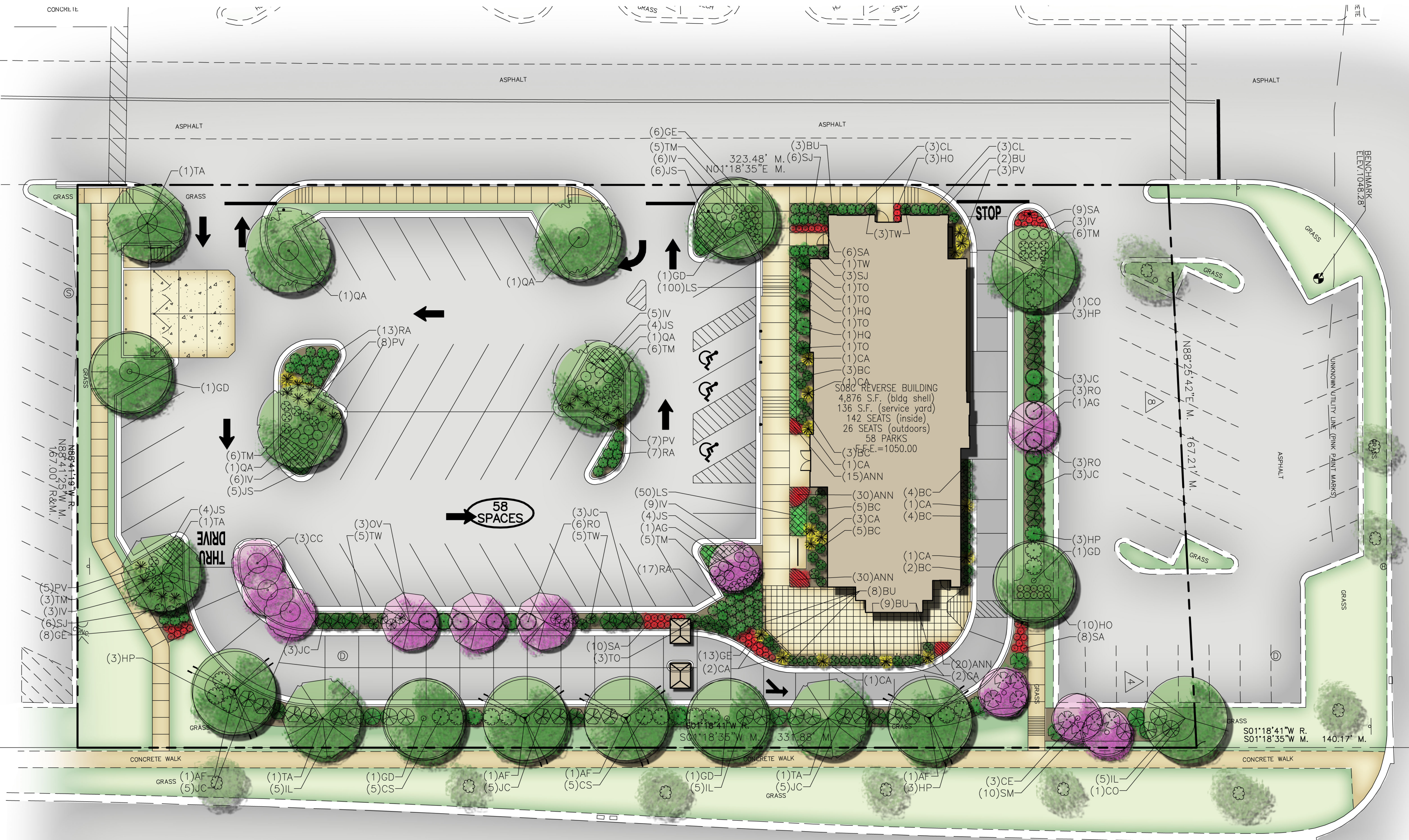
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**LANDSCAPE NOTES**

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1, CURRENT EDITION.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE MADISON LANDSCAPE ORDINANCE.
- ALL PLANTED AREAS AND LANDSCAPE ISLANDS SHALL RECEIVE A 3" LAYER OF SHREDDED HARDWOOD BARK MULCH.
- THE SIZES OF PLANT MATERIAL SHOWN IN THE PLANT CHART ARE THE MINIMUM REQUIRED AT THE TIME OF PLANTING. CONTRACTOR TO PROVIDE INFORMATION AT TIME OF BIDDING IF ALTERNATE MATERIALS ARE SUGGESTED.
- ALL LANDSCAPE MATERIAL INSTALLED SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL RECEIVE EIGHT INCHES OF TOPSOIL, SOD, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED, (5,400 SF).

**LANDSCAPE CODE SUMMARY**

**DEVELOPMENT FRONTAGE 28.142(5)**  
 REQUIREMENT: 1 OVERSTORY TREE AND 5 SHRUBS PER 30 LF  
 REQUIRED (331.9 LF): 11.06 TREES & 55.3 SHRUBS  
 PROVIDED: 9 SHADE TREES  
 3 ORNAMENTAL TREES  
 35 EVERGREEN SHRUBS  
 21 DECIDUOUS SHRUBS

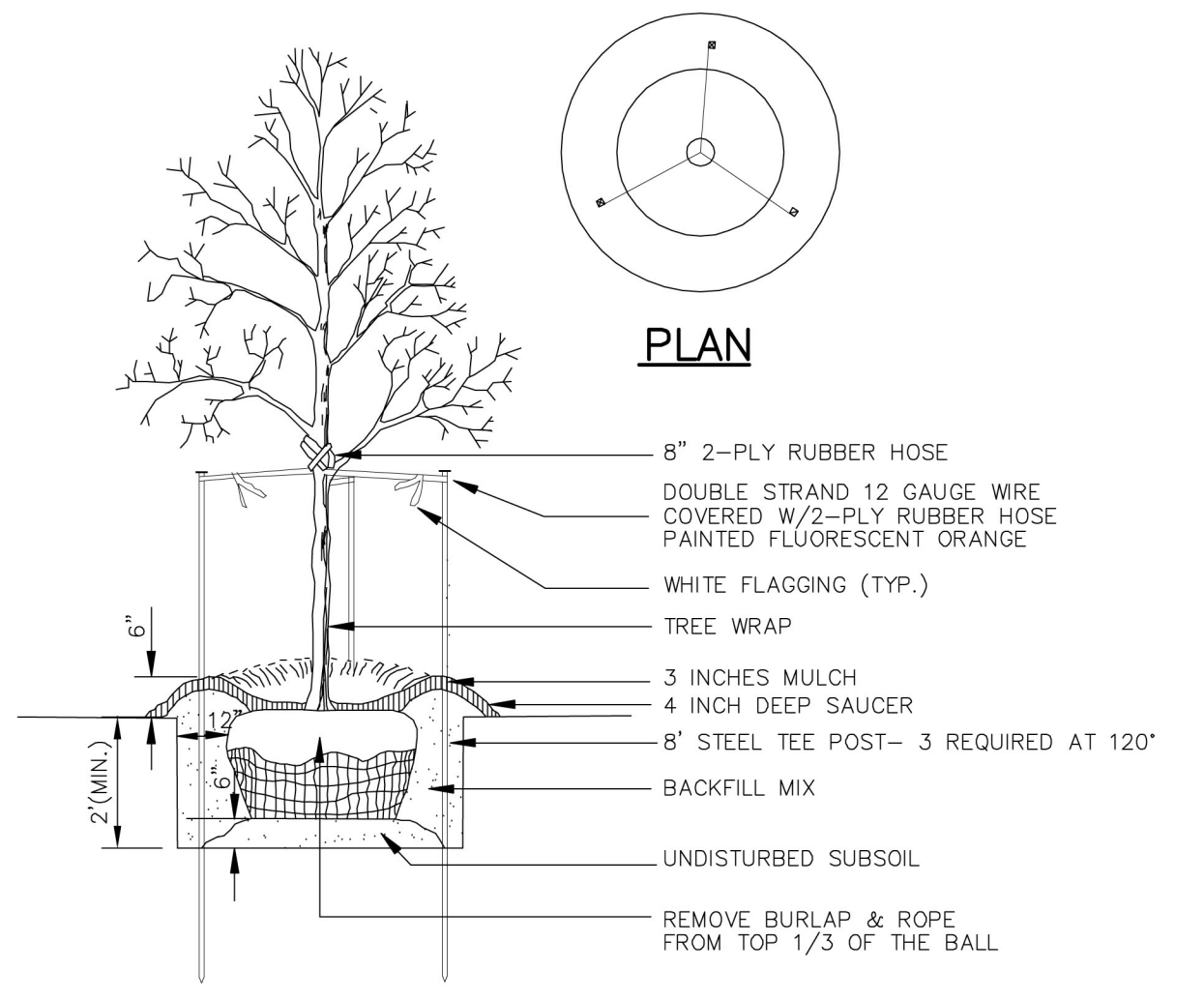
**INTERIOR PARKING LOT 28.142(6)**  
 REQUIREMENT: 1 OVERSTORY TREE PER 160 SF OF LANDSCAPE AREA  
 REQUIRED: 2071 SF OF REQUIRED LANDSCAPE AREA  
 12.95 OVERSTORY TREES  
 PROVIDED: 1 EXISTING SHADE TREE  
 8 SHADE TREES  
 8 ORNAMENTAL TREES  
 41 EVERGREEN SHRUBS  
 60 DECIDUOUS TREES  
 20 ORNAMENTAL GRASSES

**FOUNDATION PLANTINGS 28.142(7)**  
 PROVIDED: 54 EVERGREEN SHRUBS  
 19 DECIDUOUS SHRUBS  
 16 ORNAMENTAL GRASSES  
 230 GROUNDCOVER/ANNUALS  
 9 PERENNIALS

**LANDSCAPE POINT CALCULATION**  
 REQUIREMENT: TOTAL DEVELOPED AREA SF DIVIDED BY 300 TIMES 5  
 REQUIRED: 54,722/300 = 182  
 182 X 5 = 910 LANDSCAPE POINTS REQUIRED  
 PROVIDED: 1,489 LANDSCAPE POINTS

TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
<b>SHADE TREE</b>						
AF	4	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
CO	2	<i>Celtis occidentalis</i>	Common Hackberry	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
GD	5	<i>Gymnocladus dioica</i> 'Espresso'	Fruitless KY Coffee tree	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
QA	4	<i>Quercus alba</i>	White Oak	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
TA	4	<i>Tilia americana</i> 'Boulevard'	Boulevard American Linden	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
<b>ORNAMENTAL / EVERGREEN TREE</b>						
AG	3	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	1.5" cal. 8'ht. 4'wd	Full, well shaped, single-stem
CE	3	<i>Cercis canadensis</i>	Eastern Redbud	B&B	1.5" cal. 8'ht. 4'wd	Full, well shaped, single-stem
CC	3	<i>Crataegus crus-galli</i> var. <i>inermis</i>	Thornless Cockspur Hawthorn	B&B	1.5" cal. 8'ht. 4'wd	Full, well shaped, single-stem
OV	3	<i>Ostrya virginiana</i>	Ironwood	B&B	1.5" cal. 8'ht. 4'wd	Full, well shaped, single-stem
<b>EVERGREEN SHRUB</b>						
BC	24	<i>Buxus x 'Chicagoland Green'</i>	Chicagoland Green Boxwood	#3 cont.	18"ht. 18"wd	Full, vigorous
BUC	22	<i>Buxus x 'Green Mountain'</i>	Green Mountain Boxwood	#3 cont.	18"ht. 18"wd	Full, vigorous
JC	27	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	#3 cont.	24"ht. 24"wd	Full, vigorous
TM	31	<i>Taxus x media</i> 'Densiformis'	Dense Yew	#3 cont.	18"ht. 18"wd	Full, vigorous
TO	6	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Arborvitae	#3 cont.	36"ht. 18"wd	Full, vigorous
TW	13	<i>Thuja occidentalis</i> 'Woodwardii'	Woodward Arborvitae	#3 cont.	18"ht. 18"wd	Full, vigorous
<b>DECIDUOUS SHRUB</b>						
CL	6	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet	#3 cont.	18"ht. 18"wd	Full, vigorous
CS	10	<i>Cornus sericea</i> var. 'Bergeson'	Bergeson Dogwood	#3 cont.	24"ht. 24"wd	Full, vigorous
HQ	12	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea	#3 cont.	24"ht. 24"wd	Full, vigorous
HP	2	<i>Hydrangea quercifolia</i> 'Snow Queen'	Oakleaf Hydrangea	#3 cont.	24"ht. 24"wd	Full, vigorous
IL	15	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	#3 cont.	24"ht. 24"wd	Full, vigorous, 1 M to 3 F
IV	31	<i>Itea virginica</i> 'Little Henry'	Little Henry Sweetspire	#3 cont.	18"ht. 18"wd	Full, vigorous
RA	37	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	#3 cont.	12"ht. 18"wd	Full, vigorous
RO	12	<i>Rosa</i> 'Carefree Sunshine'	Carefree Sunshine Rose	#3 cont.	24"ht. 24"wd	Full, vigorous
SJ	15	<i>Spiraea japonica</i> 'Magic Carpet'	Magic Carpet Spirea	#3 cont.	12"ht. 18"wd	Full, vigorous
SM	10	<i>Syringa meyeri</i> 'Palibin'	Meyer Lilac	#3 cont.	24"ht. 24"wd	Full, vigorous
<b>ORNAMENTAL GRASS</b>						
CA	13	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	#3 cont.		Full, vigorous
PV	23	<i>Panicum virgatum</i> 'Heavy Metal'	Heavy Metal Switchgrass	#3 cont.		Full, vigorous
<b>GROUNDCOVER</b>						
JS	21	<i>Juniperus chinensis</i> sargentii 'Viridis'	Green Sargent Juniper	#3 cont.	4' on center	
LS	150	<i>Liriope spicata</i>	Creeping Lilyturf	quart	12" on center	
<b>PERENNIAL / ANNUAL COLOR</b>						
GE	27	<i>Geranium 'Rozanne'</i>	Hardy Geranium	#1 cont.		
HO	13	<i>Hosta 'Guacamole'</i>	Guacamole Hosta	#1 cont.		
SA	33	<i>Sedum 'Autumn Joy'</i>	Autumn Joy Stonecrop	#1 cont.		
ANN	95	Annual Color (varies)		4" pot	12" on center	

**SOUTH GAMMON ROAD**

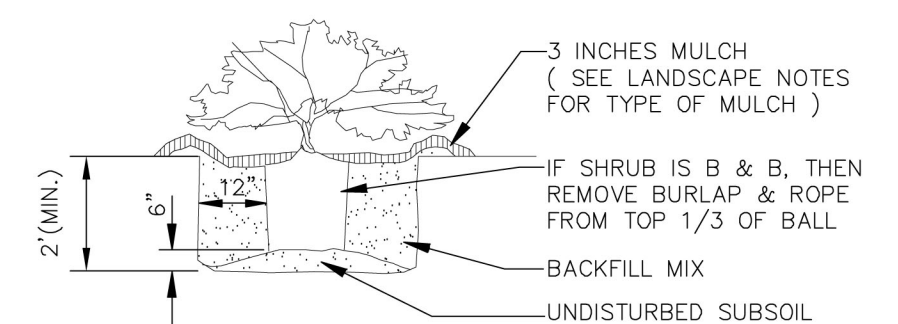


NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

**TREE PLANTING**  
N.T.S.

**PERMANENT SOD BLEND**

90% FINE LEAF FESCUE (FESTUCA ARUNDINACEA) REBEL, REBEL II, WRANGLER, BONANZA, MOJAVE OR EQUAL  
 10% KENTUCKY BLUEGRASS (POA PRATENSIS) MIDNIGHT, RUOBY II, MIDIRON VARIETIES OR EQUAL  
 98% PURITY AND 85% GERMINATION  
 95% WEED FREE



**SHRUB PLANTING**  
N.T.S.



Chick-fil-a  
 5200 Buffington Rd.  
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 30349-2998

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STORE #3352  
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432 S. GAMMON ROAD  
 MADISON, WISCONSIN

SHEET TITLE  
 LANDSCAPE  
 PLAN

DWG EDITION 07.1  
 REVISION -

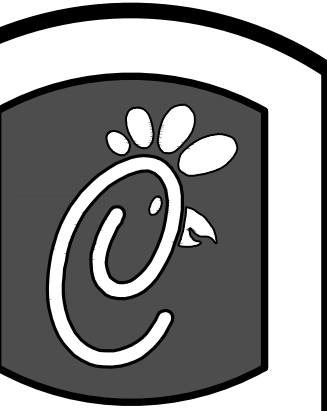
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432 S. GAMMON ROAD  
MADISON, WISCONSIN

SHEET TITLE  
**GRADING PLAN**

DWG EDITION 07.1  
REVISION -

Job No. : 073820

Store : 3352

Date : 2/04/14

Drawn By : JAC

Checked By: JLG

Sheet

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### GRADING LEGEND

---	EXISTING BOUNDARY
---	PROPOSED BOUNDARY
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	PROPOSED 1' CONTOUR
---	PROPOSED 5' CONTOUR
---	PROPOSED STORM SEWER
---	PROPOSED UNDERDRAIN
---	PROPOSED RETAINING WALL
---	SPILLING CURB & GUTTER
---	CATCHING CURB & GUTTER
---	DIRECTION OF FLOW
---	OVERLAND FLOW ROUTE
---	ELEVATION AT TOP OF CURB
---	ELEVATION AT TOP OF PAVEMENT
---	ELEVATION AT TOP OF SLAB
---	ELEVATION AT TOP OF WALK
---	ELEVATION AT STRUCTURE RIM
---	EXISTING ELEVATION
---	PROPOSED CATCH BASIN
---	PROPOSED CURB INLET
---	PROPOSED STORM MANHOLE
---	PROPOSED FLARED END SECTION

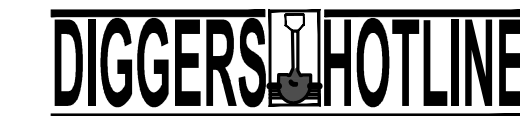
### GRADING NOTES

1. CONTOURS SHOWN ARE FOR REFERENCE ONLY.
2. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT OR GREEN AREAS.
3. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH A MINIMUM EXISTING CONDITIONS.
4. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
5. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, SIZES, AND MATERIAL OF ALL EXISTING UTILITIES WHICH ARE TO BE TAPPED OR EXTENDED ON SITE. ANY DEVIATIONS FROM PLAN INFORMATION SHALL BE PROVIDED TO THE ENGINEER IN WRITING WITHIN 24 HOURS AND PRIOR TO THE START OF CONSTRUCTION ON THAT SYSTEM(S). SHOULD THE CONTRACTOR START WORK WITHOUT NOTIFICATION TO THE ENGINEER OF ANY DISCREPANCIES, HE WILL ASSUME ALL RESPONSIBILITY OF THE WORK NECESSARY TO COMPLETE THE PROJECT.
6. ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON RECORD PLANS BY THE CONTRACTOR.
7. FOR ALL CURB ISLANDS, CENTER OF ISLANDS SHALL BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
8. ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF INDIANAPOLIS.
9. ALL STORM SEWER SHALL BE CLASS IV REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 UNLESS INDICATED OTHERWISE. TRENCH SHALL BE BACKFILLED WITH COMPACTED CA-6.
10. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
11. PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAY, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS IS THE RESPONSIBILITY OF THE CONTRACTOR. AREAS SHALL BE RESTORED TO PRECONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE OWNER.
12. CONTRACTOR TO ADJUST ALL EXISTING UTILITY STRUCTURES TO PROPOSED GRADE.
13. INVERTS AT BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELIZED.
14. PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
15. ALL DISTURBED AREAS ON-SITE SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL DISTURBED AREAS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE RESTORED WITH SOD.
16. CONTRACTOR TO ENSURE THAT ACCESSIBLE PARKING SPACES AND ACCESS AISLES ARE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS IN ACCORDANCE WITH ADAAG 4.6.3.

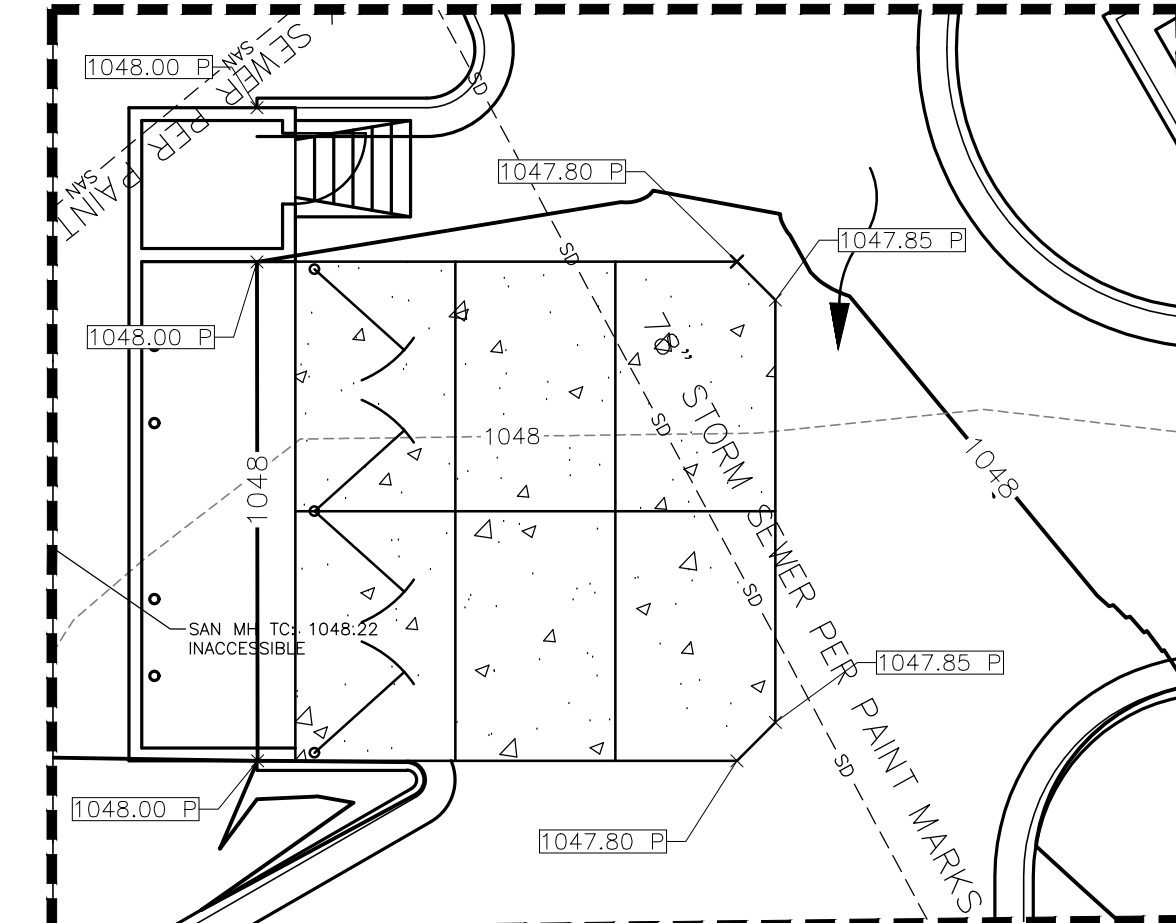
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THE BASIS OF ELEVATIONS HEREON IS NAVD 88.  
IRON ROD SET - SEE DRAWING FOR LOCATION.

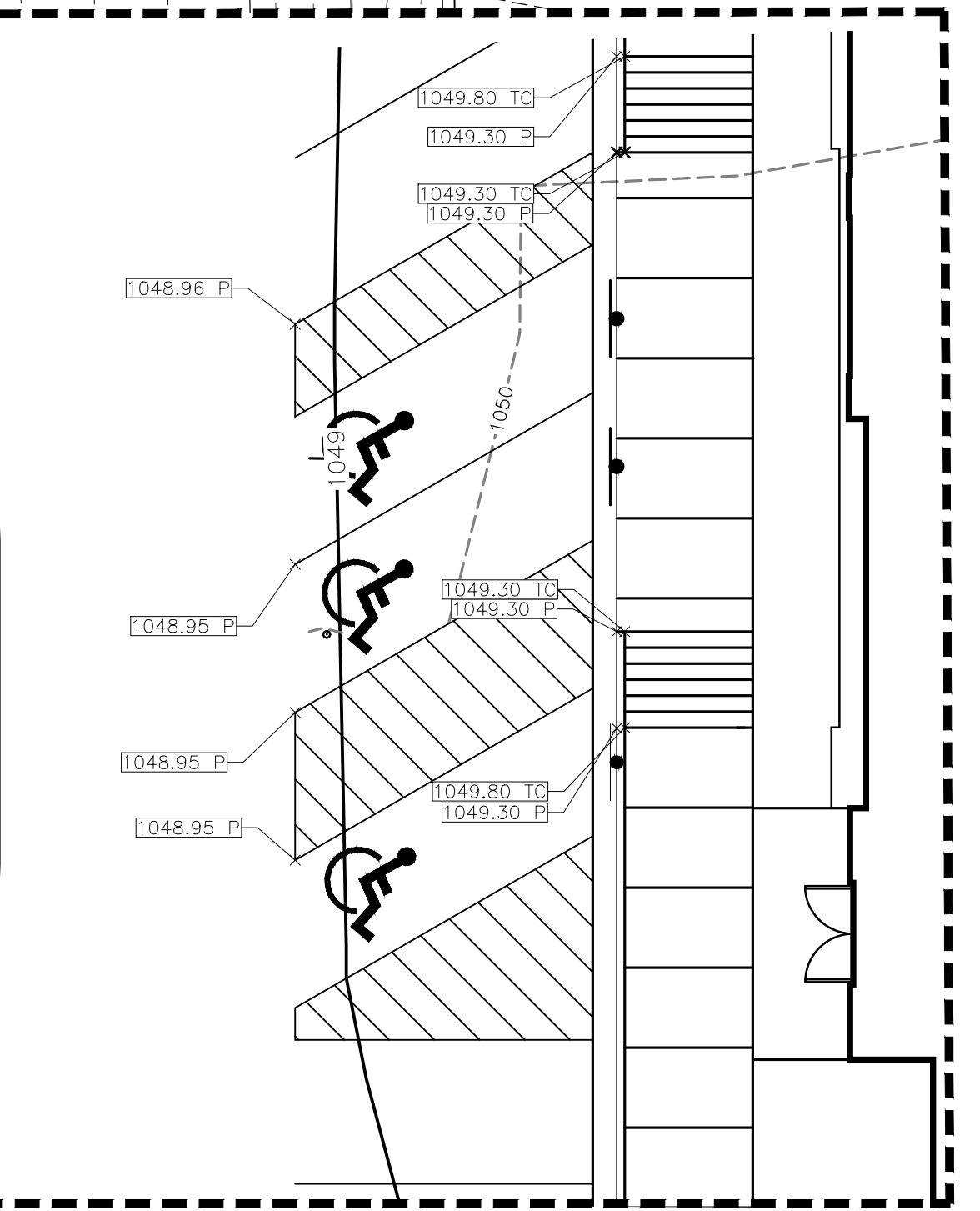
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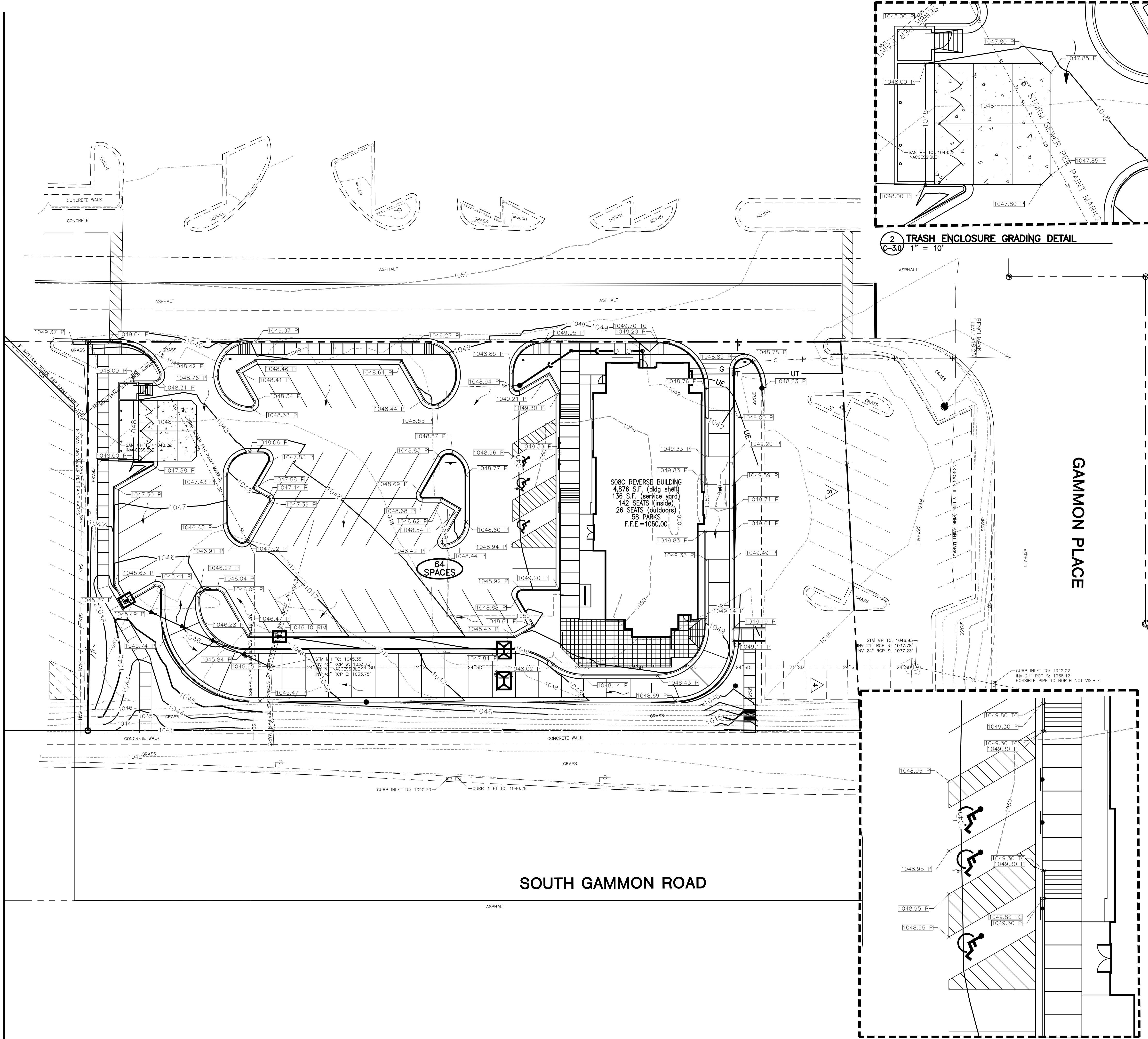
Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com



2 TRASH ENCLOSURE GRADING DETAIL  
C-3.0 1" = 10'



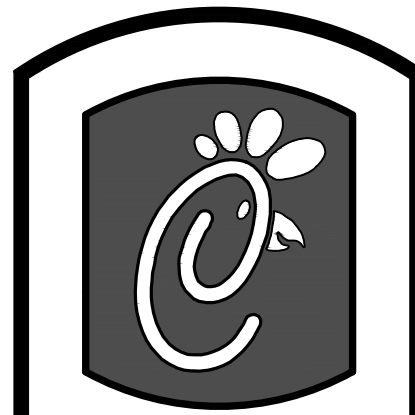
1 ADA GRADING DETAIL  
C-3.0 1" = 10'



SOUTH GAMMON ROAD

GAMMON PLACE

Layout Tab Name: C-3.0, Images: buildable area CFA.jpg, MAPS.jpg, Xrefs: 01-3352-P.dwg, 01-3352-X.dwg, 01-3352-TBLK.dwg  
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5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By

△

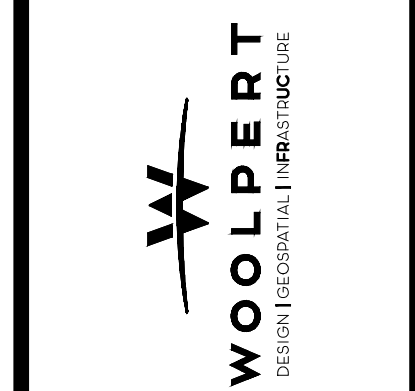
Mark Date By

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Mark Date By

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1815 South Meyers Road  
Suite 120  
Oakbrook Terrace, IL 60181  
630.424.9080  
FAX: 630.495.3731



STORE #3352  
MADISON  
S08C

432 S. GAMMON ROAD  
MADISON, WISCONSIN

SHEET TITLE  
**UTILITY  
PLAN**

DWG EDITION 07.1  
REVISION

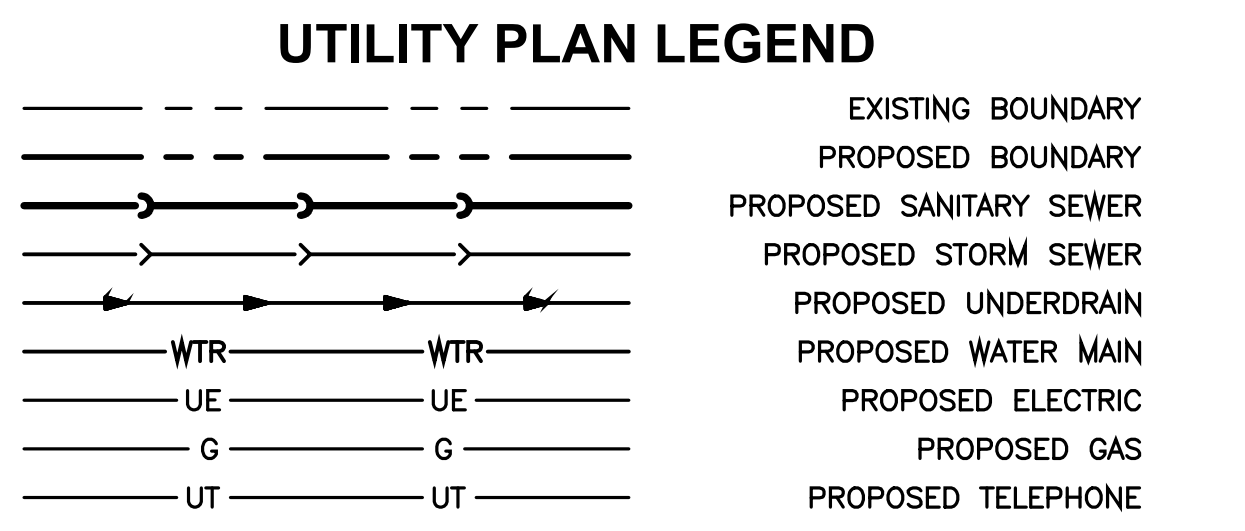
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Store : 3352  
Date : 2/04/14  
Drawn By : JAC  
Checked By : JLG

Sheet

C-4.0

SANITARY STRUCTURE TABLE			
STRUCTURE ID	DESCRIPTION	RIM	INVERT
1.0	External Drop Manhole	1049.47	6" EX = 1040.65 (S) 6" = 1044.43 (NW)
1.1	Clean Out	1049.39	6" = 1044.70 (N) 6" = 1044.70 (SE)
1.2	Clean Out	1049.26	6" = 1044.92 (E) 6" = 1044.92 (S)

CONTRACTOR TO FIELD  
VERIFY EXISTING INVERT



- PROPOSED CATCH BASIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED FLARED END SECTION
- PROPOSED CLEAN OUT
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE
- PROPOSED VALVE VAULT
- PROPOSED ELECTRICAL MANHOLE
- PROPOSED TELEPHONE MANHOLE
- PROPOSED LIGHT POLE
- ① INDICATES DETAIL LOCATION  
(DETAIL NUMBER/DETAIL SHEET)
- ② PROPOSED SANITARY STRUCTURE CALLOUT
- ③ PROPOSED STORM STRUCTURE CALLOUT
- ④ PROPOSED UTILITY LAYOUT CALLOUT
- ⑤ PROPOSED UTILITY CROSSING CALLOUT

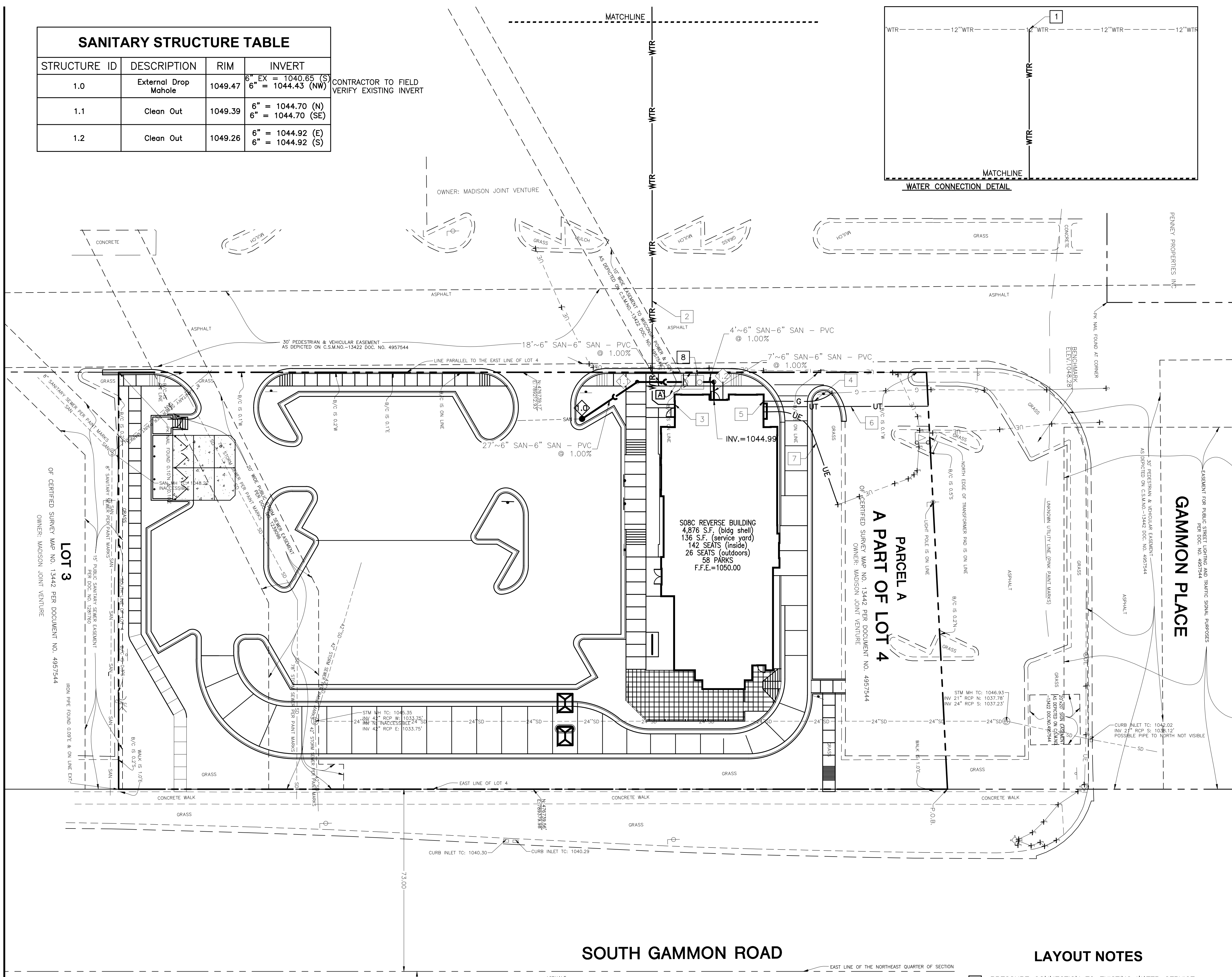
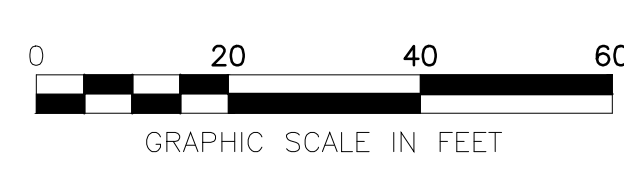
### UTILITY NOTES

- MADISON GAS AND ELECTRIC WILL INSTALL THE GAS METER. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE GAS COMPANY AND MARKING THE LOCATION OF THE METER. METER MAY NOT BE CLOSER THAN 3 FEET FROM ANY ELECTRICAL POWER SOURCE.
- CONTRACTOR TO FURNISH AND INSTALL (1)-4" SCHEDULE 40 PVC CONDUIT AND PULL ROPE FOR TELEPHONE SERVICE FROM PROPERTY LINE TO THE BUILDING. CONTRACTOR TO FURNISH 4'x4'x3" SERVICE BOARD PRIOR TO AT&T COMING TO SITE FOR INSTALLATION. CONTRACTOR TO FURNISH #6 GROUND.
- PRIMARY ELECTRICAL SERVICE TO BE PROVIDED BY ALLIANT ENERGY AND LIGHT COMPANY FROM RIGHT-OF-WAY TO TRANSFORMER PAD.
- CONTRACTOR TO FURNISH AND INSTALL (2)-4" SCHEDULE 40 PVC CONDUITS AND BURY IN A 36" DEEP TRENCH SUCH THAT TOP OF CONDUIT IS MINIMUM OF 30" BELOW FINISHED GRADE.
- ALL SANITARY SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF MADISON UTILITIES DEPARTMENT.
- ALL SANITARY SEWER SHALL BE CONSTRUCTED OF PVC SDR-35, CONFORMING TO ASTM D-3034, UNLESS INDICATED OTHERWISE.
- ALL WATER MAIN CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF MADISON UTILITY DEPARTMENT. ALL WATER MAIN SHALL BE CONSTRUCTED OF PRESSURE CLASS 350 DUCTILE IRON PIPE.
- ALL FITTINGS, BENDS, HYDRANTS, AND ALL JOINTS SHALL BE PROPERLY BRACED BY MEANS OF RESTRAINED JOINT ASSEMBLIES AS FOLLOWS:
  - ALL MECHANICAL JOINT FITTINGS, BENDS AND HYDRANTS SHALL BE PROPERLY ANCHORED BY MEANS OF EBAA SERIES 1100 "MEGALUG" MECHANICAL JOINT RESTRAINTS.
  - ALL PUSH-ON JOINTS SHALL BE PROPERLY ANCHORED BY MEANS OF EBAA SERIES 1700 "MEGALUG" RESTRAINT HARNESSSES OR APPROVED EQUAL.
- CONTRACTOR TO COORDINATE SHUTDOWN OF ALL WATER MAINS WITH THE CITY OF MADISON UTILITY DEPARTMENT. CITY SHALL BE GIVEN 5 WORKING DAYS NOTICE.
- CONTRACTOR SHALL ADJUST EXISTING STRUCTURES TO MEET FINAL GRADE.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- INVERTS AT BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELIZED.
- PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
- ALL PROPOSED PIPE CONNECTIONS TO EXISTING OR PROPOSED MANHOLES SHALL CONFORM TO ASTM-C923.
- WHERE PROPOSED SEWER CROSSES ABOVE A WATERMAIN, PROPOSED SEWER SHALL BE CONSTRUCTED OF WATERMAIN QUALITY PIPE FOR A MINIMUM OF 10' ON EITHER SIDE OF CROSSING.

### LAYOUT NOTES

- PRESSURE CONNECTION TO EXISTING WATER SERVICE WITH VALVE AND VALVE VAULT
- 6" D.I. COMBINED FIRE PROTECTION/DOMESTIC WATER SERVICE CONNECT TO BUILDING WATER SERVICE (COORDINATE WITH PLUMBING PLANS)
- COORDINATE GAS METER INSTALLATION WITH GAS COMPANY
- UNDERGROUND PRIMARY TELEPHONE SERVICE (SEE NOTE 2)
- UNDERGROUND SECONDARY ELECTRIC SERVICE (SEE NOTE 3)
- GREASE INTERCEPTOR (1,000 GALLON)

**DIGGERS HOTLINE**  
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**UTILITY CROSSINGS**

▲ BOTTOM OF PROPOSED 6" SAN = 1044.6  
TOP OF PROPOSED 6" WTR = 1043.5

**BENCHMARK:**  
THE BASIS OF ELEVATIONS HEREON IS NAVD 88.  
IRON ROD SET - SEE DRAWING FOR LOCATION.  
ELEVATION = 1048.28'

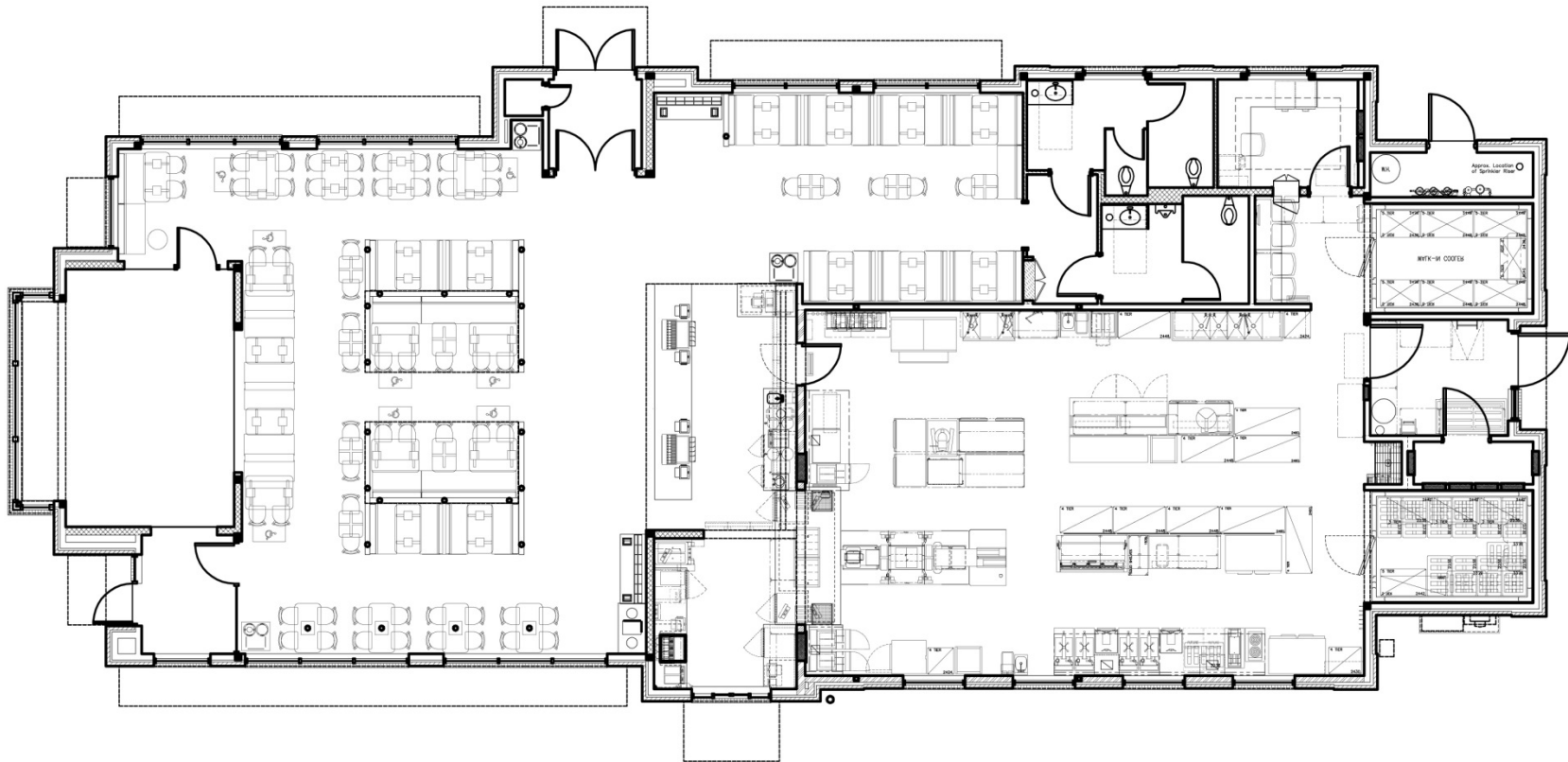
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 OF CERTIFIED SURVEY MAP NO. 13442 PER DOCUMENT NO. 4957544  
 OWNER: MADISON JOINT VENTURE



S08 V8 Building C - Reverse | Floor plan

Heated Area: 4876 sf

Seat Count: 134



West Towne FSU, Madison, WI – Store # 03352



S08 V8 Building C - Reverse | Exterior Elevations



West Towne FSU, Madison, WI – Store # 03352





S08 V8 Building C - Reverse | Exterior Elevations



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