



Madison Landmarks Commission APPLICATION

City of Madison Planning Division
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

1. LOCATION

Project Address: 312 WISCONSIN AVE (aka. 315 N. CARROLL) Aldermanic District: 4

2. PROJECT

Date Submitted: 9/15/2014

Project Title / Description: STEENSLAND HOUSE RELOCATION

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- New Construction in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other (specify): _____

3. APPLICANT

Applicant's Name: PASTOR SCOT SORENSON Company: BETHEL LUTHERAN CHURCH
 Address: 312 WISCONSIN AVE. City/State: MADISON, WI Zip: _____
 Telephone: 608 257-3577 E-mail: _____

Property Owner (if not applicant): _____
 Address: _____ City/State: _____ Zip: _____

Property Owner's Signature: *St. Sorenson* Date: 9-9-2014

GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
 - Site plan showing all property lines and structures
 - Building elevations, plans and other drawings as needed to illustrate the project
 - Photos of existing house/building
 - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

Questions? Please contact the
 Historic Preservation Planner:
 Amy Scanlon
 Phone: 608.266.6552
 Email: ascanlon@cityofmadison.com

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

ARO EBERLE ARCHITECTS

116 King Street, Suite 202
608 204-7464

Madison, WI 53703
Aroeberle.com

PROJECT DESCRIPTION

September 15, 2014

Amy Scanlon
Historic Preservation Planner
215 Martin Luther King, Jr. Blvd
Madison, WI 53703

Dear Amy,

Bethel Lutheran Church, located at 312 Wisconsin Avenue, intends to relocate a historic house currently located on Church property in a parking lot adjacent to the existing church. Bethel Lutheran Church is requesting certificates of appropriateness for the technical demolition (for the house move) and exterior restoration work. Bethel Lutheran has worked extensively with the Mansion Hill neighborhood to address neighborhood concerns, and agreement on the siting of the house on the same block has been met with broad support.

The Steensland House is a Queen Anne style house, is a Madison Landmark, and is on the National Register of Historic Places. The Steensland House is proposed to be moved from its current location facing Carroll Street to a new location on the same block facing Gorham Street directly adjacent to the church sanctuary. The relocation of the house is a technical demolition under the zoning code, although the house above the foundation is to be kept and restored using the high standards of the Secretary of the Department of the Interior for historic buildings. The relocation of the house preserves a contributing structure to the historic Mansion Hill district and maintains it within the boundary of the district. It also allows planning to move forward on a long-term future expansion of Bethel Lutheran. The proposed use will be 3 apartments and is a permitted use under the zoning code.

The site plan is proposed to be updated per the attached plans. The current use of the site is primarily for surface parking and is proposed to continue to be surface parking. The primary curb cut on Gorham Street for vehicle traffic is relocated 10 feet further west from the current location in order to accommodate the house footprint and separations from adjacent structures. Another existing curb cut will also be closed.

The scope of work is as follows:

1. EXTERIOR SCOPE OF WORK

- a. All work to meet SHPO and The Standards of the Secretary of Interior for historic buildings
- b. Porch and Foundations
 - i. Deconstruct front porch from the main building, remove deficient structural and trim elements from porch roof and porch floor framing and finish boards. Restore front porch

- wood columns, and restore trim found to be in fair or better condition. Replace column bases with new wood base. Store items for reconstruction of the porch.
- ii. Remove and store main porch limestone guard rail caps
 - iii. Retain limestone above block foundation around entire perimeter
 - iv. All other foundation masonry below the stone base to be demolished and replaced with new chiseled veneer block of similar color to the existing sandstone foundation, with full corner block appearance and flat/squared corner detail.
 - v. Remove rear fire escape (maintain two exits for each floor to grade)
 - vi. Side porch addition to remain, evaluate with moving contractor whether it should be deconstructed prior to move. Replace deficient wood guard railing, floor boards and trim.
 - vii. New foundation exterior block to replicate general appearance of the original, with chiseled stone appearance and flat/square corner detail. Material will be a veneer with full corner block appearance. Existing white paint/coating will NOT be placed on the new foundation.
- c. Brick and stone masonry above foundation
- i. Selective tuck pointing only with matching mortar and tooling
- d. Doors and windows
- i. Repair casement windows, replace rotten or deficient sills, jambs, and headers, other trim and decorative trim (detailed survey needed). Scrape paint and refinish.
 - ii. Evaluate single pane glass, re-glaze as needed, scrape and paint wood sashes and trim
 - iii. Repair front double doors, strip paint, refinish wood and trim. Evaluate hardware for restoration, place doorbells on outside, one for each unit. Closer and locks at front and rear doors.
- e. Wood siding and fascia
- i. Scrape and paint all wood siding, repair cracked boards or replace if found deficient
 - ii. Repair or replace wood fascia as needed, strip and refinish
- f. Painting
- i. Following scraping and/or stripping of paint, an oil based primer will be used on bare wood and then painted with two coats of exterior grade paint
- g. Roof
- i. No work is anticipated based on a recent replacement of the roofing. Some ice and water shield repair work may be needed to prevent recurrence of recent damage from ice dams. Possible replacement or addition of insulation in the roof is recommended to inhibit ice damming.
- h. Exterior lighting
- i. Removal of existing wall pack lighting, conduit, and original service piping. Repair of existing light fixtures at entryways. Porch lighting at front entry and rear are the only exterior lights proposed, with fixtures representative of the period of significance selected. Note: the church building has existing exterior lighting to illuminate the façade at night.

Project Team:

Bethel Lutheran Church
Pastor Scot Sorenson
Randy Alexander, Project Manager

Aro Eberle Architects
Matthew Aro
Douglas Pahl

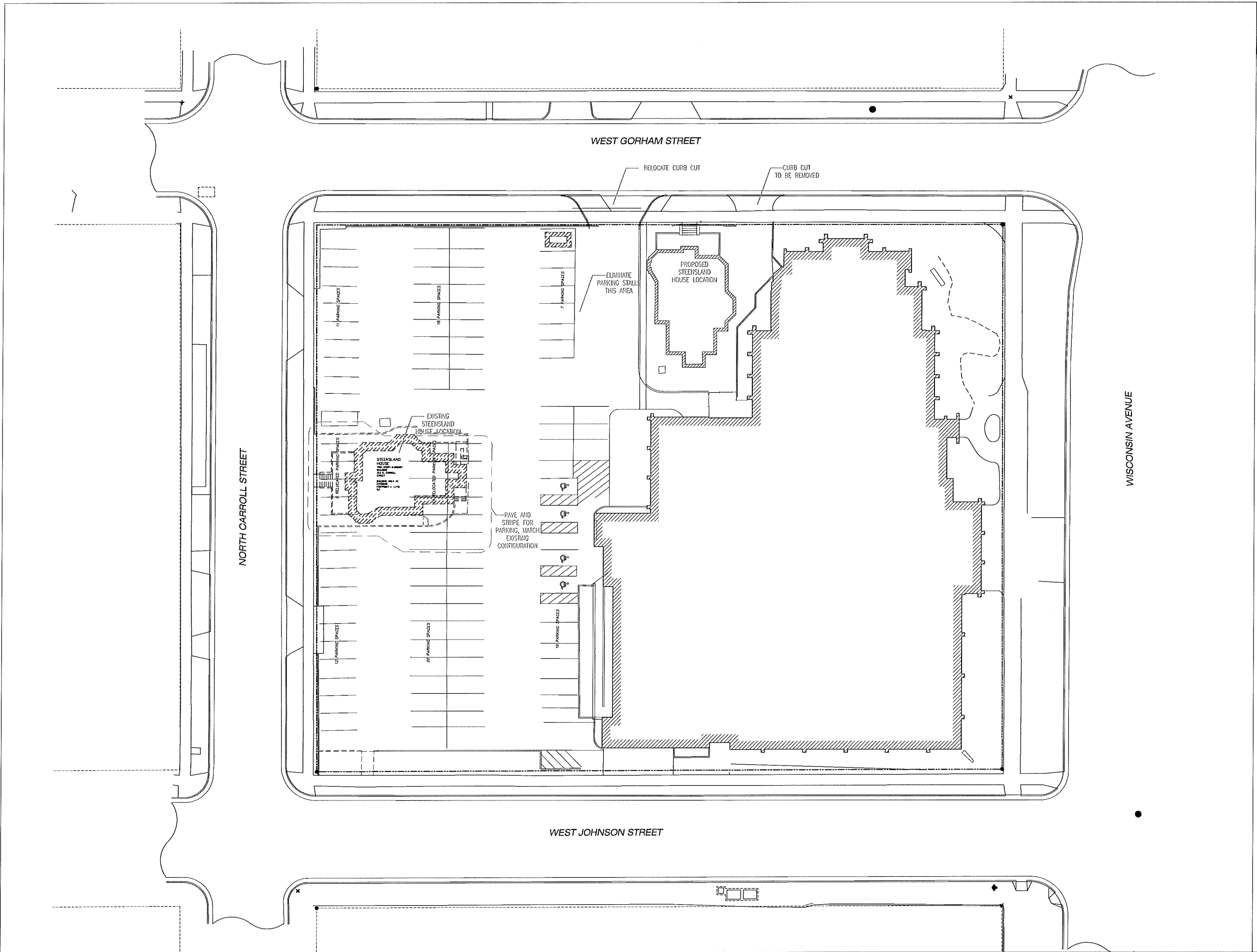
Project schedule:

	Submit	Mtg/Hearing	Construction
Mansion Hill Neighborhood Meeting	N/A	9/3/2014	
Outline House Relocation With Stakes	9/5/2014		
Plan Commission	9/10/2014	11/10/2014	
Landmarks	9/15/2014	10/6/2014	
Urban Design	9/10/2014	11/5/2014	
Mansion Hill Neighborhood Meeting		9/25/2014	
Parking Construction Plan	10/31/2014	N/A	
Construction Documents Complete	11/15/2014	N/A	
Foundation Start	N/A	N/A	11/15/2014
House Relocation	N/A	N/A	12/1/2014
House Rehab Complete	N/A	N/A	6/30/2015

Sincerely,



Aro Eberle Architects, Inc.
Matthew Aro



No.	Description	Date
1	ADDENDUM 01	XX/XX/XX

Bethel Lutheran
 Steensland House
 Relocation
 312 Wisconsin Avenue
 Madison, Wisconsin

Site/Layout Plan

NOT FOR CONSTRUCTION
 Project number: BTH-14-01
 Date: 9/10/2014

A000



4 VIEW FROM SOUTHEAST
A100



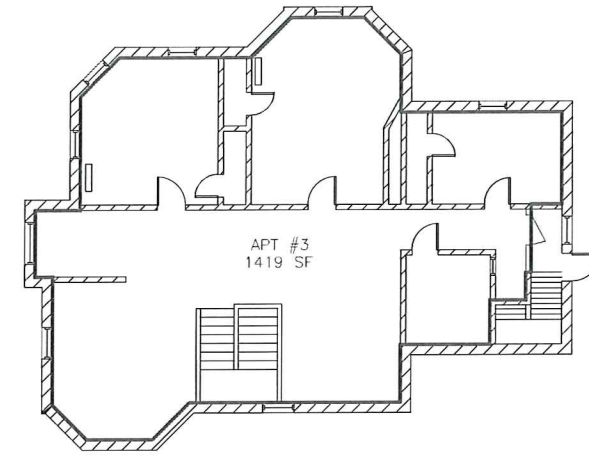
4 CARROLL STREET ELEVATION
A100



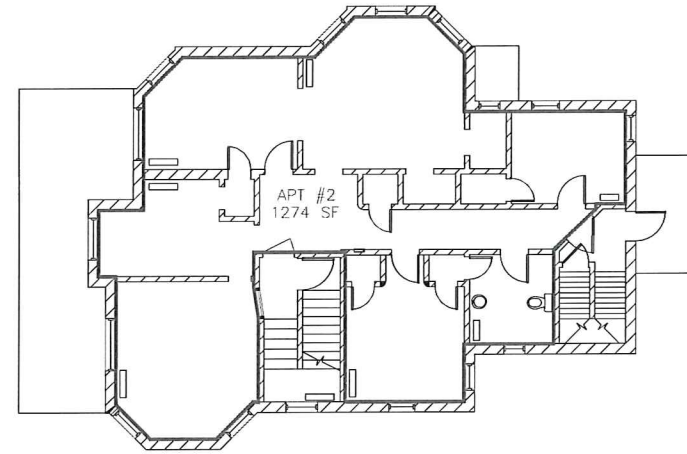
4 VIEW FROM NORTH
A100



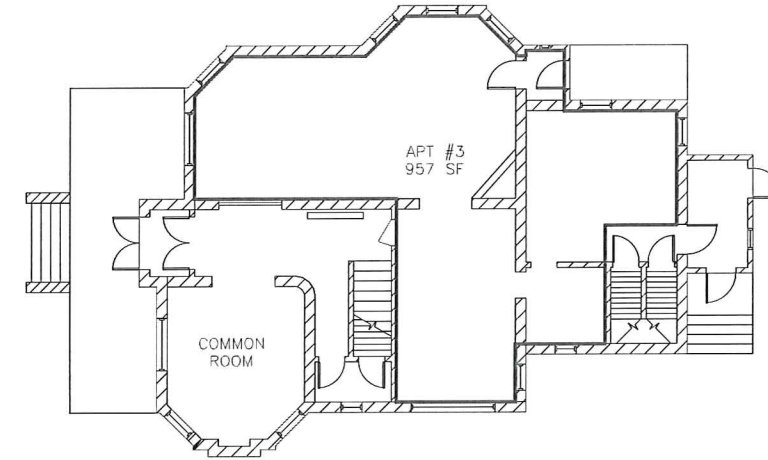
4 VIEW FROM WEST
A100



3 THIRD FLOOR PLAN
A100 SCALE : 1/8" = 1'-0"



2 SECOND FLOOR PLAN
A100 SCALE : 1/8" = 1'-0"



1 FIRST FLOOR PLAN
A100 SCALE : 1/8" = 1'-0"

CORHAM STREET

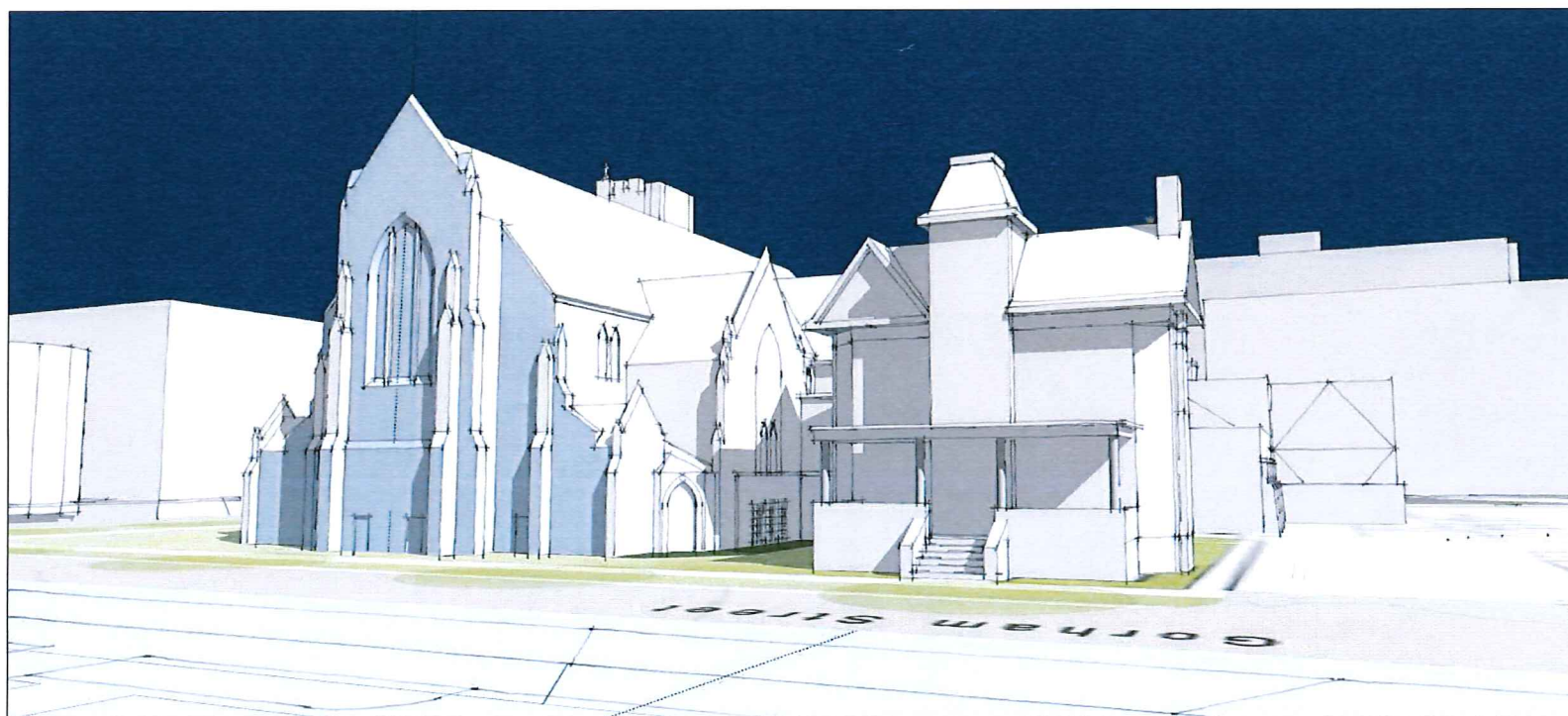
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1	ADDENDUM 01	XXXXXX

Bethel Lutheran
Steensland House
Relocation
312 Wisconsin Avenue
Madison, Wisconsin

Floor Plans
Photos

NOT FOR CONSTRUCTION
Project number BTH-14-01
Date 9/10/2014

A101



No.	Description	Date
1	ADDENDUM 01	XXXXXX

Bethel Lutheran

**Steensland House
Relocation**

312 Wisconsin Avenue
Madison, Wisconsin

Renderings
in Context

NOT FOR CONSTRUCTION

Project number BTH-14-01
Date 9/10/2014

A102

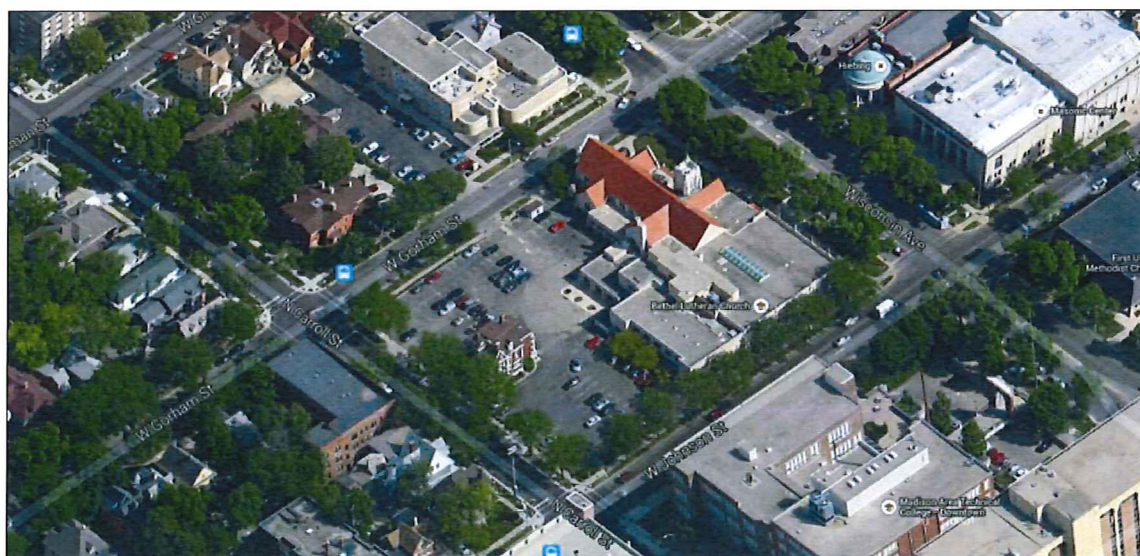
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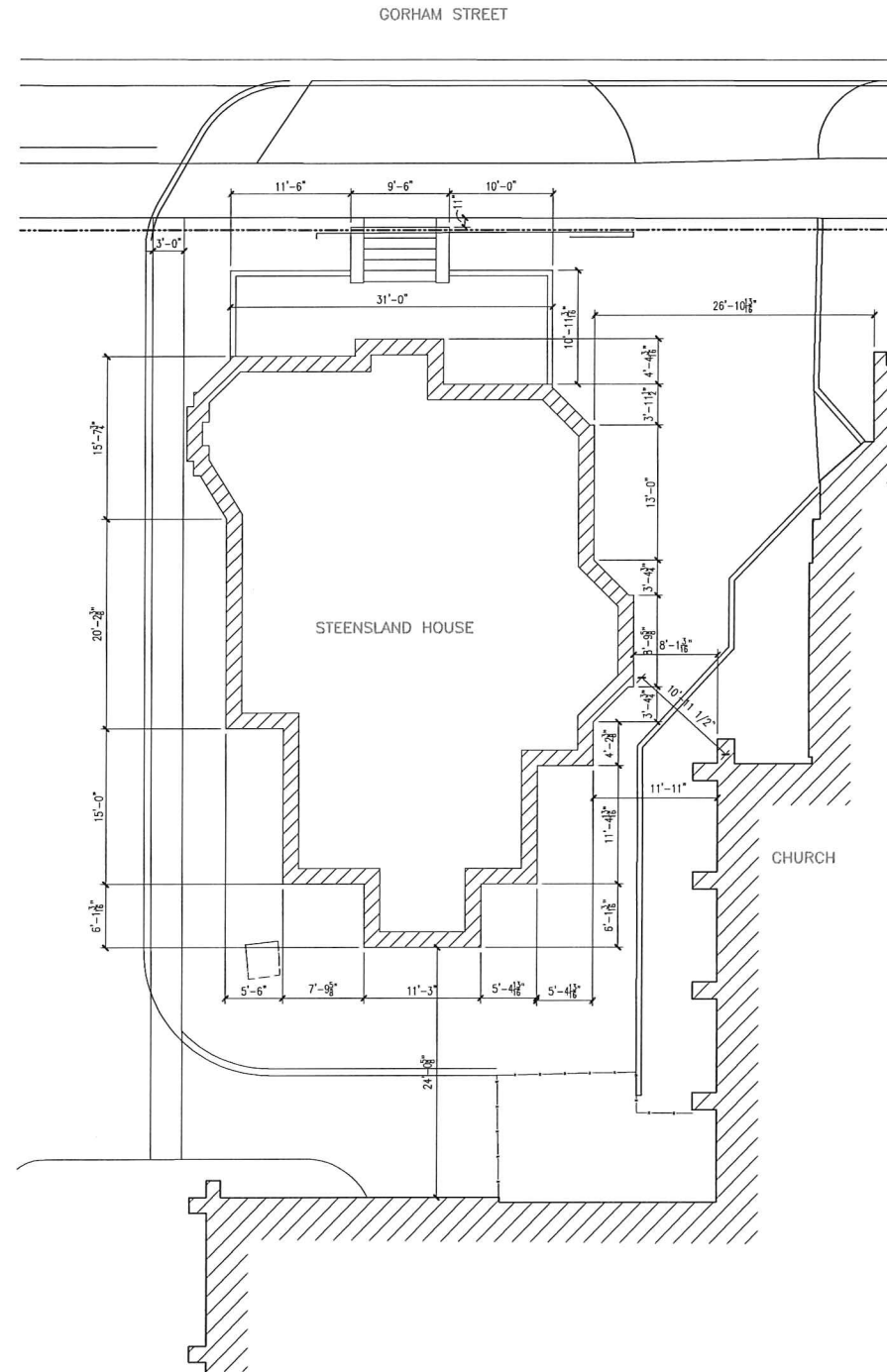
4 VIEW TO INTENDED SITE
A100



3 VIEW TO INTENDED SITE
A100



2 AERIAL VIEW FROM SOUTH
A100



1 BUILDING LOCATION PLAN
SCALE : 1/8" = 1'-0"

No.	Description	Date
1	ADDENDUM 01	XX/XX/XX

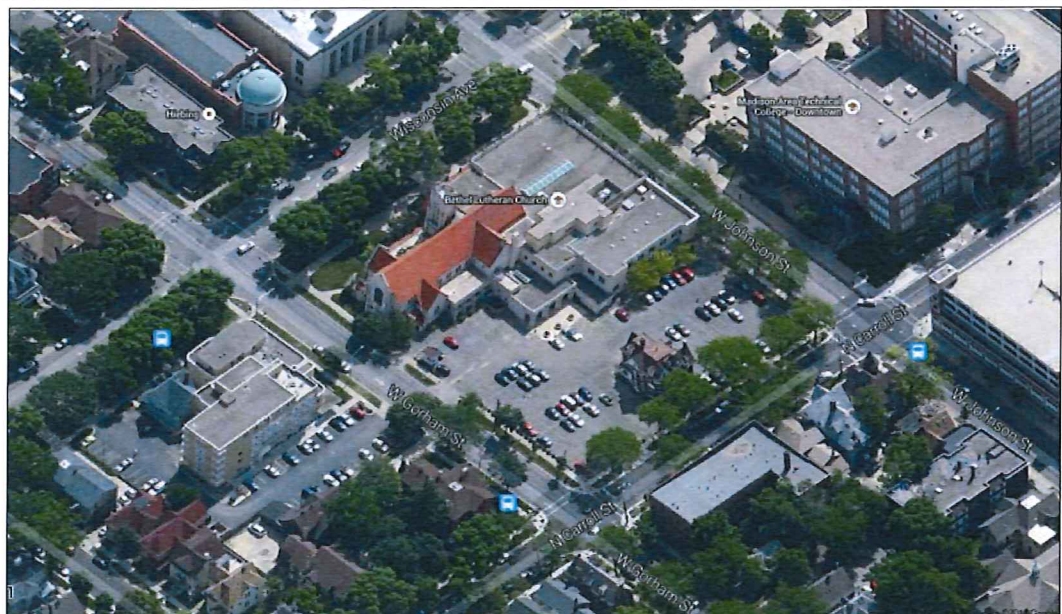
Bethel Lutheran
Steensland House
Relocation
312 Wisconsin Avenue
Madison, Wisconsin

Location Plan/Context
Photos

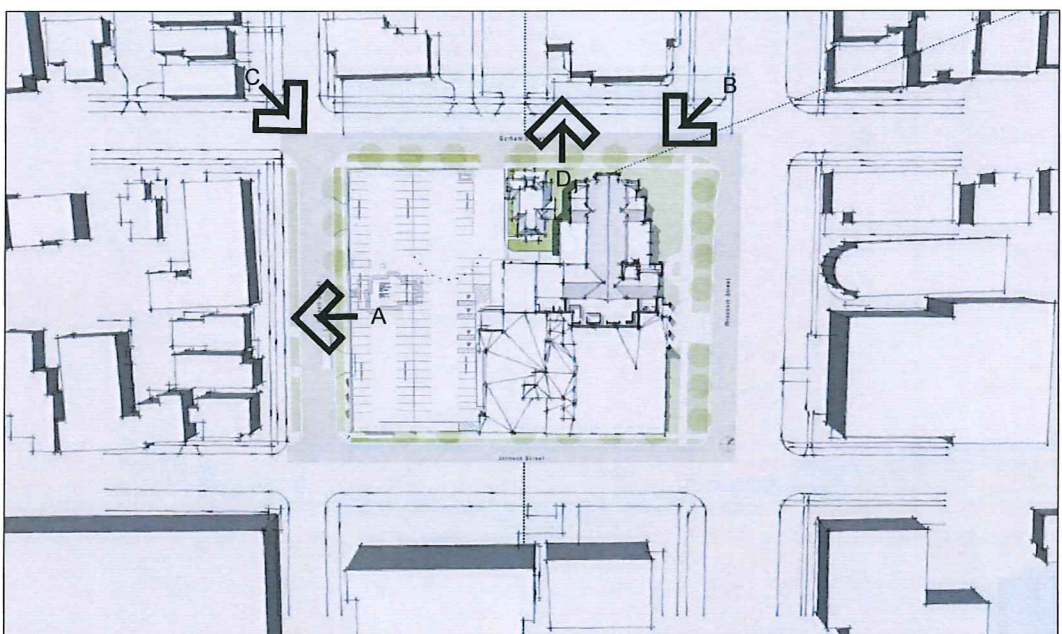
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Project number BTH-14-01
Date 9/10/2014

A102

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C. WEST AERIAL VIEW



A. CARROLL STREET WEST



A. CARROLL STREET WEST



B. BETHEL LUTHERAN CHURCH- SANCTUARY AND BELL TOWER



D. GORHAM STREET OPPOSITE PROPOSED LOCATION

No.	Description	Date
1	ADDENDUM 01	XX/XX/XX

Bethel Lutheran

Steensland House Relocation

312 Wisconsin Avenue
Madison, Wisconsin

Context Photos

NOT FOR CONSTRUCTION

Project number	BTH-14-01
Date	9/10/2014

A105

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EXTERIOR SCOPE OF WORK- GENERAL DESCRIPTION

PORCH AND FOUNDATIONS

- A. Deconstruct front porch from the main building, remove deficient structural and trim elements from porch roof and porch floor framing and finish boards. Restore front porch wood columns, and restore trim found to be in fair or better condition. Replace column bases with new wood base. Store items for reconstruction of the porch.
- B. Remove and store main porch step limestone guard rail caps
- C. Retain limestone above block foundation around entire perimeter
- D. All other foundation masonry below the stone base to be demolished
- E. Remove rear fire escape (maintain two exits for each floor to grade)
- F. Side porch addition to remain, evaluate with moving contractor whether it should be deconstructed prior to move. Replace deficient wood guard railing, floor boards and trim.
- G. New foundation exterior material to replicate general appearance of the original, with chiseled stone appearance and flat/square corner detail. Material will be a veneer with full corner block appearance.

BRICK MASONRY

- H. Selective tuck pointing only

DOORS AND WINDOWS

- I. Repair casement windows, replace rotten or deficient sills, jambs, and headers, other trim and decorative trim (detailed survey needed). Scrape paint and refinish.
- J. Evaluate single pane glass, re-glaze as needed, scrape and paint wood sashes and trim
- K. Repair front double doors, strip paint, refinish wood and trim. Evaluate hardware for restoration, place doorbells on outside, one for each unit. Closer and locks at front and rear doors.

WOOD SIDING AND FASCIA

- L. Scrape and paint all wood siding, repair cracked boards or replace if found deficient
- M. Repair or replace wood fascia as needed, scrape and paint

PAINTING

- N. Following scraping and/or stripping of paint, an oil based primer will be used on bare wood and then painted with two coats of exterior grade paint

ROOF

- O. No work is anticipated based on a recent replacement of the roofing. Some ice and water shield repair work may be needed or evaluating recent damage from ice dams. Evaluation of insulation in the roof is recommended.

EXTERIOR LIGHTING

- P. Removal of existing wall pack lighting, conduit, and original service piping. Repair of existing light fixtures at entryways. Porch lighting at front entry and rear are the only exterior lights proposed, with fixtures representative of the period of significance selected. Note: the church building has existing exterior lighting to illuminate the façade at night.



5 RIGHT FAÇADE (FROM STREET)



4 LEFT FAÇADE (FROM STREET)



3 STREET AND LEFT FAÇADE (FROM STREET)



L

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J

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J

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D

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A

B

D

A

B

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B

STREET FAÇADE

2

D

B

F

E

REAR FAÇADE

1

No.	Description	Date
1	ADDENDUM 01	XX/XX/XX

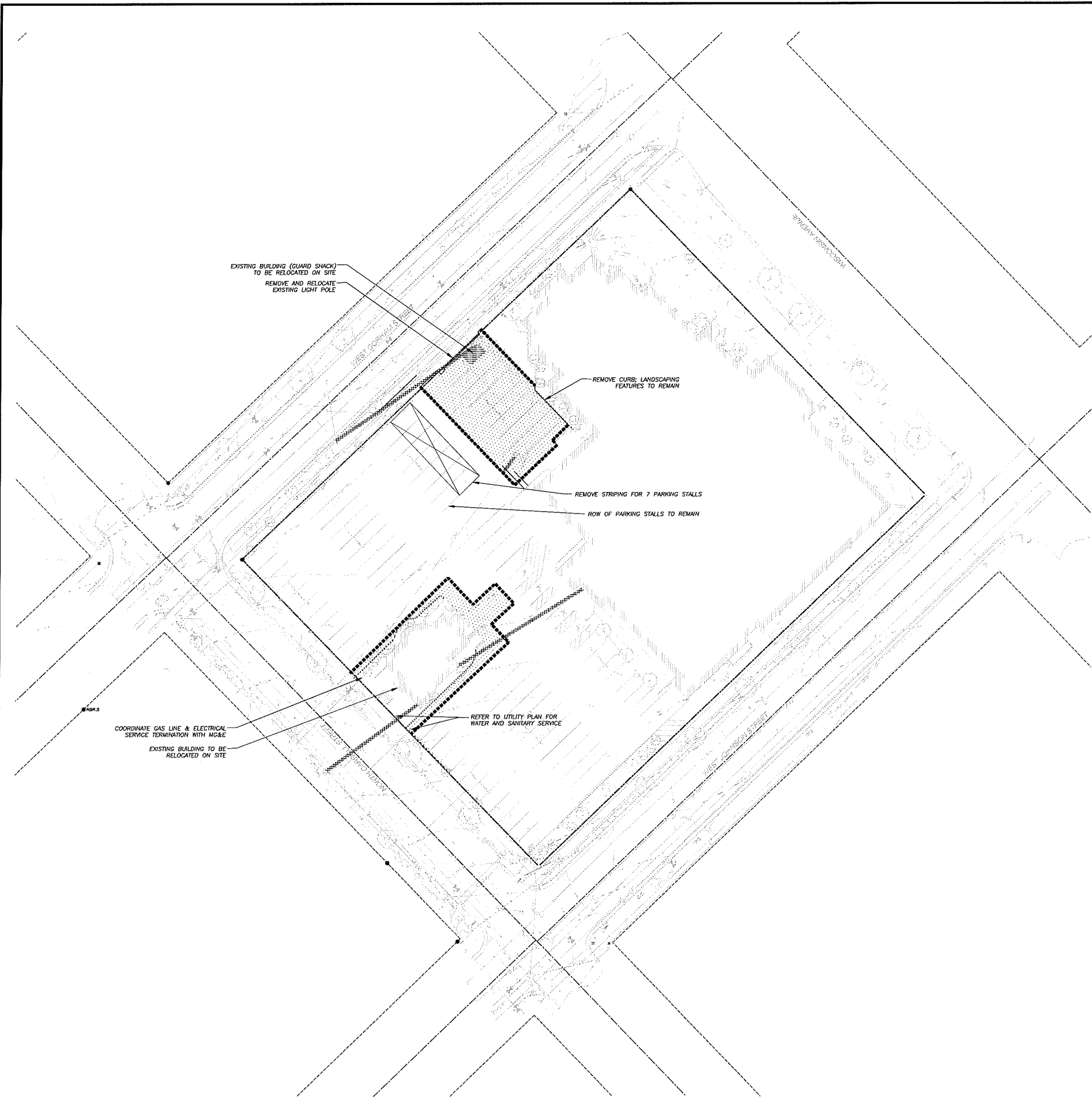
Bethel Lutheran
Steensland House Relocation
 312 Wisconsin Avenue
 Madison, Wisconsin

Exterior Renovation Scope of Work

NOT FOR CONSTRUCTION
 Project number BTH-14-01
 Date 9/10/2014

A200

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LEGEND (PROPOSED)

---	PROPERTY LINE
----	SAWCUT LINE
	PAVEMENT REMOVAL, SURFACE AND BASE
///	CURB REMOVAL, SURFACE AND BASE
----	BUILDING DEMOLITION/RELOCATION
----	REMOVE/RELOCATE EXISTING UTILITY

- GENERAL NOTES**
- REFER TO THE TOPOGRAPHIC AND UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

- DEMOLITION NOTES**
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
 - ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
 - PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENCRUSH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TREES WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE CUT RADIIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
 - ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION. THE POLES AND LUMINAIRES SHALL BE TURNED OVER TO THE OWNER UNLESS OTHERWISE DIRECTED.
 - BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. NO PORTIONS OF THE BUILDING SHALL NOT BE BURIED ON SITE. ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
 - ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
 - CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
 - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
 - GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR'S, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
 - WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
 - SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
 - CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION. ALL INCLUDED WATER AND SEWER SERVICES SHALL BE FIELD VERIFIED FOR LOCATION, SIZE, AND INVERT PRIOR TO CONSTRUCTION. THESE SHOULD BE REMOVED IF LOCATED WITHIN THE BUILDING FOOTPRINT AND REMOVED OR ABANDONED IF LOCATED OUTSIDE OF THE BUILDING FOOTPRINT. THE CONTRACTOR SHALL SHUT THE CORPORATION VALVE AT THE MAIN AS PART OF THE ABANDONMENT/RECONNECTION.

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:

BETHEL LUTHERN CHURCH

PROJECT:

PHASE 1 - STEENSLAND HOUSE RELOCATION

PROJECT LOCATION:

CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 12-5105E

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	AJW	09-08-14
DRAWN:	AJW	09-05-14
APPROVED:	HPJ	09-08-14

PLAN MODIFICATIONS:	DATE:
LAND USE APPLICATION SUBMITTAL	09-10-14

DIGGERS HOTLINE

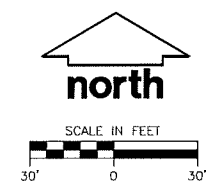
Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1161
 Hearing Impaired TDD (800) 542-2289
www.DiggerHotline.com

SHEET TITLE:

DEMOLITION PLAN

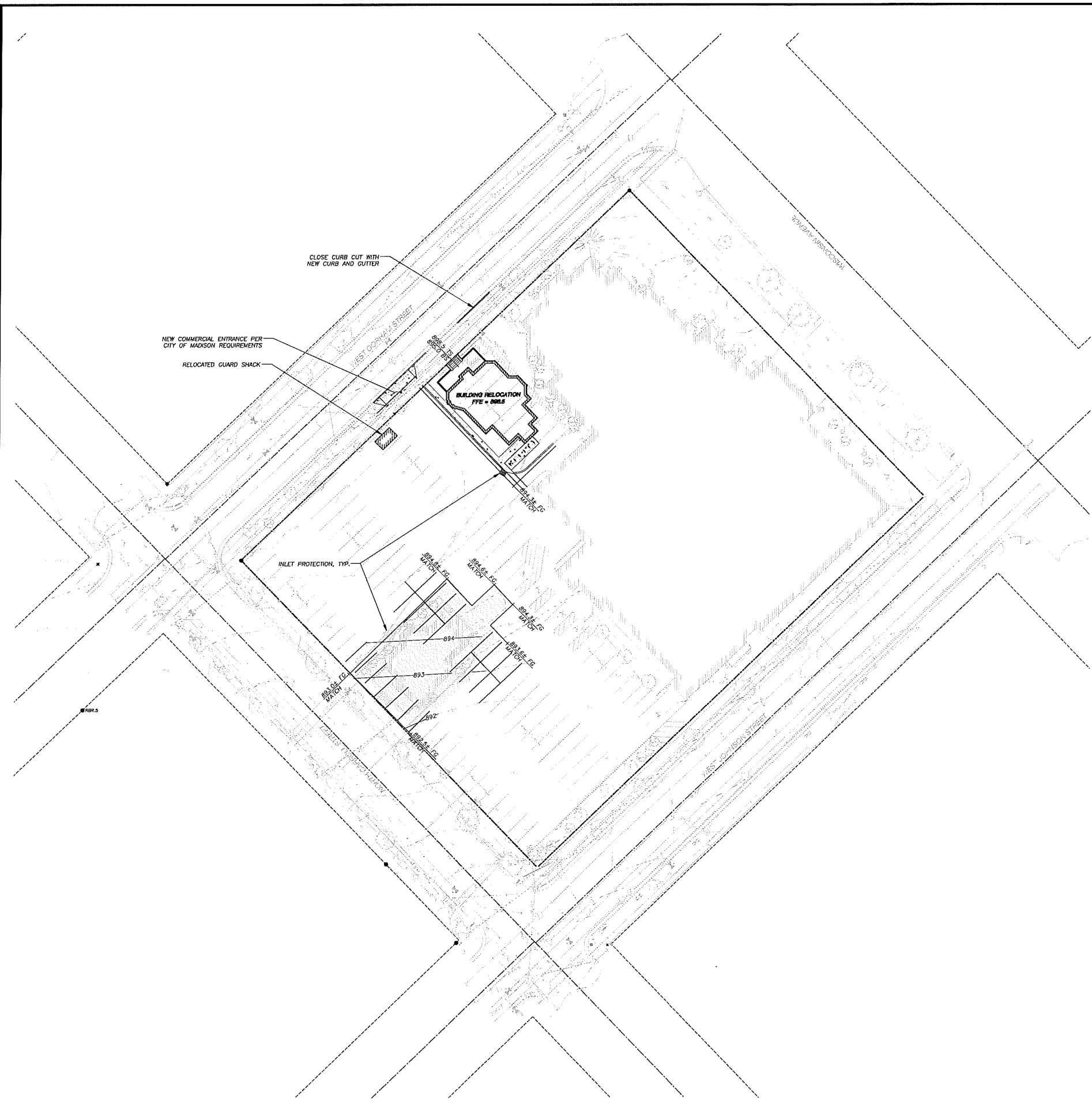
SHEET NUMBER:

C100



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LEGEND (PROPOSED)

- PROPERTY LINE
- BUILDING LINE
- EDGE OF PAVEMENT
- 893
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- SPOT ELEVATION
- BS - BOTTOM OF STAIRS
- EP - EDGE OF PAVEMENT
- FG - FINAL GRADE
- TS - TOP OF STAIRS

GENERAL NOTES

1. REFER TO THE TOPOGRAPHIC AND UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wisconsin.gov/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. ONLINE REPORTING OF INSPECTIONS AND MAINTENANCE IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO WISDOT FDM FOR RESPECTIVE DETAILS.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (20%) SHALL BE STABILIZED WITH A CLASS II, TYPE B EROSION MATING AND DRAINAGE SHALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATING OR APPLICATION OF A WOOD APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
15. IT IS ACCEPTABLE TO SUBSTITUTE INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS PER WDNR TECHNICAL STANDARD 1051 FOR SILT FENCING.
16. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
17. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

GRADING AND SEEDING NOTES

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. CONTRACTOR SHALL STABILIZE ANY EXPOSED SOIL SURFACES ON THE SITE WITH MULCH PRIOR TO WINTER.
3. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
5. CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PREVIOUS SURFACES PRIOR TO SEEDING AND MULCHING. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.

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SERVICES PROVIDED TO:
BETHEL LUTHERN CHURCH

PROJECT:
PHASE 1 - STEENSLAND HOUSE RELOCATION

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 12-5105E

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	AJW	09-08-14
DRAWN:	AJW	09-08-14
APPROVED:	HPJ	09-08-14
PLAN MODIFICATIONS:		DATE:
LAND USE APPLICATION SUBMITTAL		09-10-14

DIGGERS HOTLINE

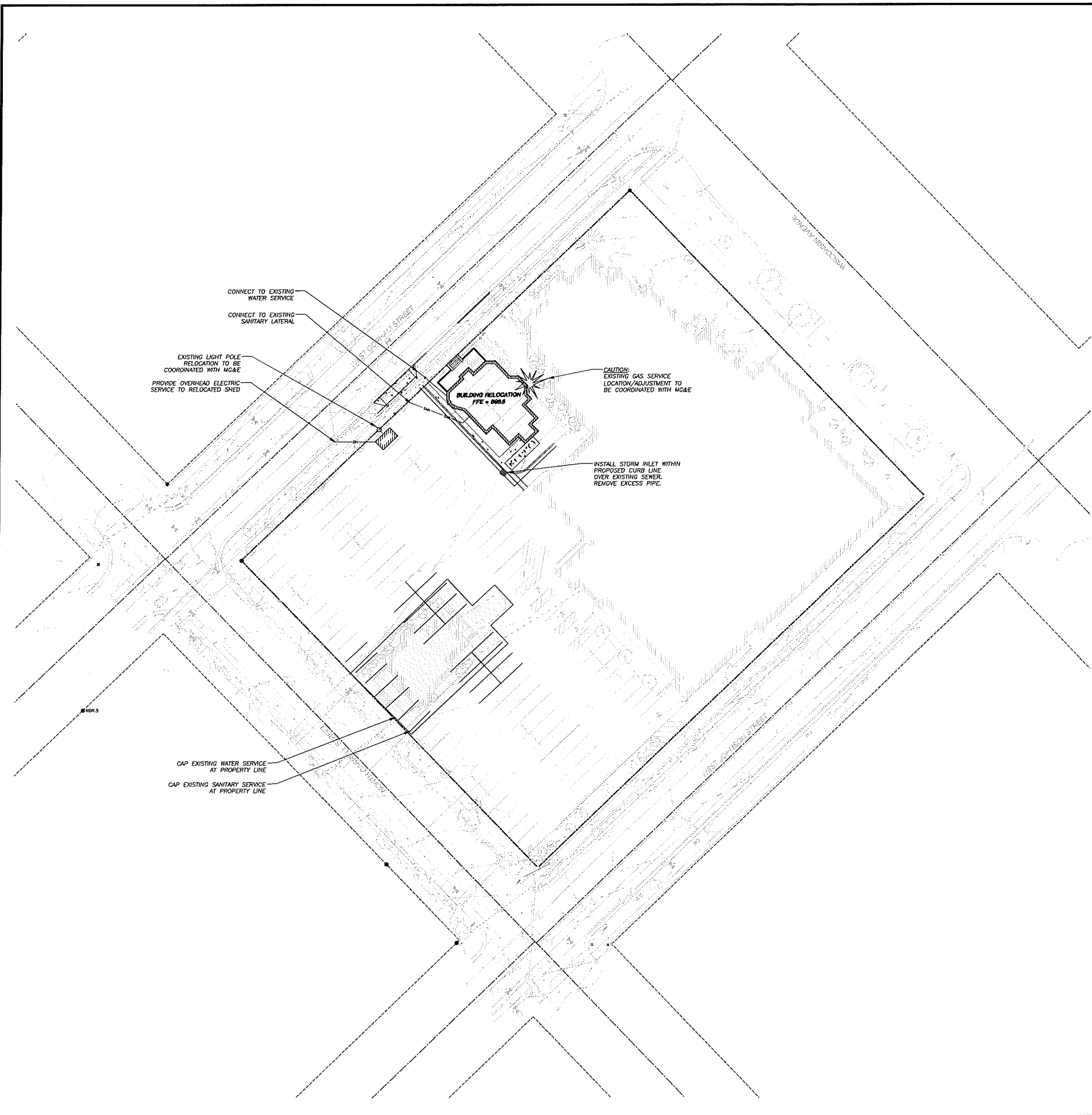
Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggerHotline.com

SHEET TITLE:
GRADING & EROSION CONTROL PLAN

SHEET NUMBER:
C200

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LEGEND (PROPOSED)

- PROPERTY LINE
- ===== PROPOSED BUILDING
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- S SANITARY SEWER
- W WATER MAIN
- E OVERHEAD ELECTRIC

GENERAL NOTES

1. REFER TO THE TOPOGRAPHIC AND UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
5. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
6. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WDSPS, AND WDNR.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
12. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON PROJECT NUMBER 5362326. PUBLIC IMPROVEMENTS ONLY SHOWN ON THIS PLAN FOR GRAPHIC PURPOSES. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH CITY OF MADISON INSPECTION A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES OR DOING ANY OTHER WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
13. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
14. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
15. ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
16. COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF MADISON.
17. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

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SERVICES PROVIDED TO:
BETHEL LUTHERN CHURCH

PROJECT:
PHASE 1 - STEENSLAND HOUSE RELOCATION

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 12-5105E

SEAL/SIGNATURE:

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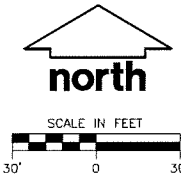
DESIGN: AJW 09-08-14
 DRAWN: AJW 09-05-14
 APPROVED: HPJ 09-08-14

PLAN MODIFICATIONS: DATE:
 LAND USE APPLICATION SUBMITTAL 09-10-14

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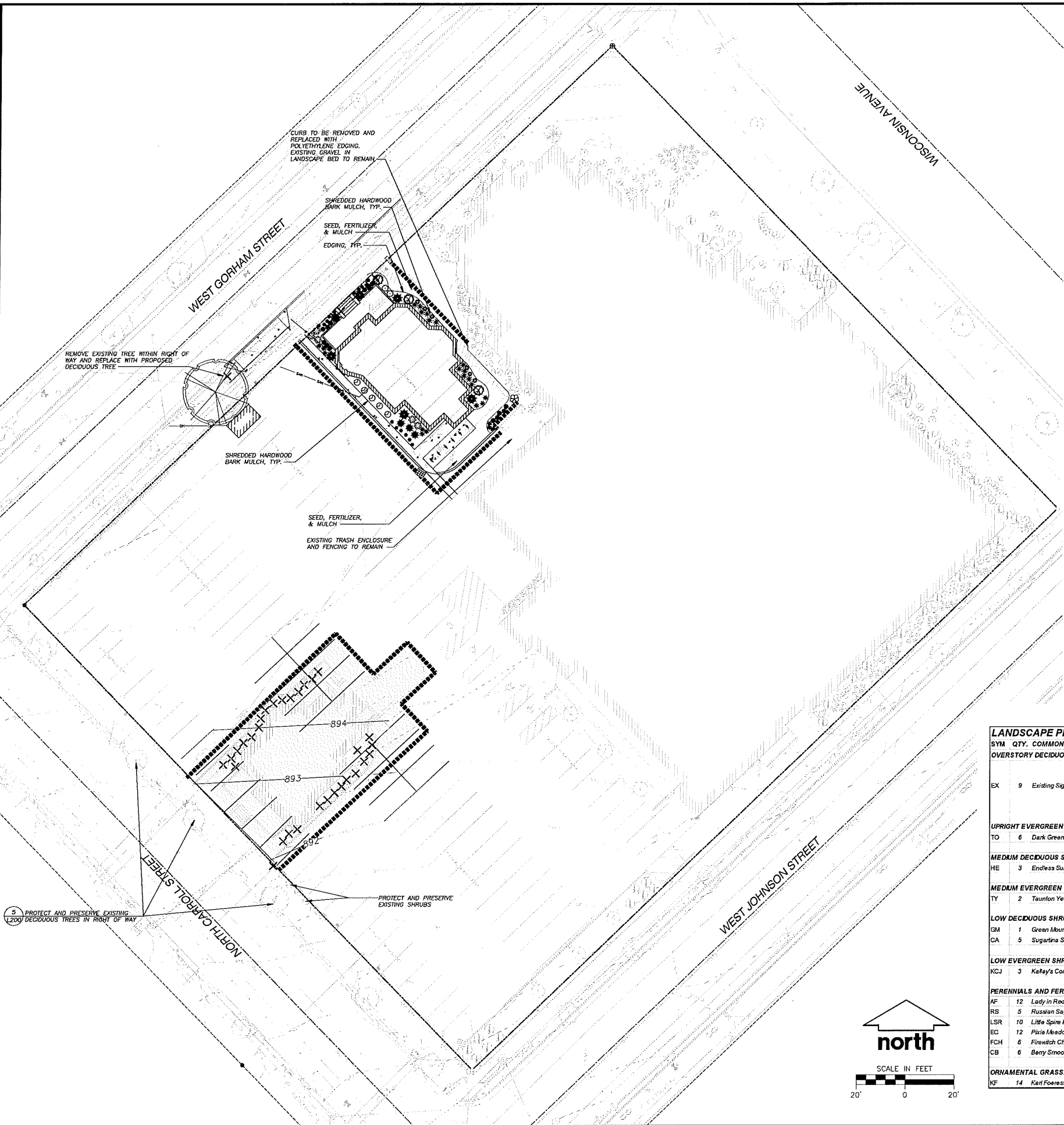
SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C300



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LEGEND (PROPOSED)

---	PROPERTY LINE
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	POLYETHYLENE EDGING
---	SANITARY SEWER
---	WATER UTILITY
---	RIGHT-OF-WAY
---	PROPOSED BUILDING OUTLINE
X	TREE/SHRUB TO BE REMOVED
○	EXISTING SIGNIFICANT TREE SPECIMEN
○	EXISTING TALL EVERGREEN TREE
○	EXISTING ORNAMENTAL TREE
○	EXISTING DECIDUOUS SHRUB
○	EXISTING EVERGREEN SHRUB
○	EXISTING ORNAMENTAL GRASS/PERENNIAL

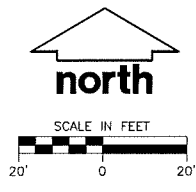
- GENERAL NOTES:**
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 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
 - REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.

LEGEND (PROPOSED)

●	UPRIGHT EVERGREEN SHRUBS
●	Dark Green Arborvitae
●	MEDIUM DECIDUOUS SHRUBS
●	Endless Summer Hydrangea
●	MEDIUM EVERGREEN SHRUBS
●	Taunton Yew

●	LOW DECIDUOUS SHRUBS
●	Green Mound Alpine Currant
●	Sugarina Summersweet
●	LOW EVERGREEN SHRUBS
●	Katlay's Compact Pfitzer Juniper
●	PERENNIALS AND FERNS
●	Lady in Red Fern
●	Russian Sage
●	Little Spire Russian Sage
●	Pixie Meadowbrite Coneflower
●	Firewitch Cheddar Pink
●	Berry Smoothie Coral Bell
●	ORNAMENTAL GRASSES
●	Karl Foerster Feather Reed Grass

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
OVERSTORY DECIDUOUS TREES							
EX	9	Existing Significant Specimen Trees	VARIES	51" TOTAL DBH		14	51X14=714 (30% OF 647=194.1) 194 POINTS ALLOWED FOR EXISTING TREE TOTAL
UPRIGHT EVERGREEN SHRUBS							
TO	6	Dark Green Arborvitae	THUJA occidentalis 'Smaragd'	3-4" Mn. Ht.	B&B	10	60
MEDIUM DECIDUOUS SHRUBS							
HE	3	Endless Summer Hydrangea	HYDRANGEA macrophylla 'Endless Summer'	12-24" Mn Ht.	# 3 Cont.	3	9
MEDIUM EVERGREEN SHRUBS							
TY	2	Taunton Yew	TAXUS media 'Tauntonii'	12-24" Mn Ht.	# 3 Cont.	4	8
LOW DECIDUOUS SHRUBS							
GM	1	Green Mound Alpine Currant	RIBES alpinum 'Green Mound'	12-24" Mn Ht.	# 3 Cont.	3	3
CA	5	Sugarina Summersweet	CLETHRA alnifolia 'Cristalina'	12-24" Mn Ht.	# 3 Cont.	3	15
LOW EVERGREEN SHRUBS							
KCJ	3	Katlay's Compact Pfitzer Juniper	JUNIPERUS chinensis 'Katlay's Compact'	15" Mn. Ht.	# 2 Cont.	4	12
PERENNIALS AND FERNS							
AF	12	Lady in Red Fern	ATHYRIUM filix-femina 'Lady in Red'	8-18" Mn. Ht.	# 1 Cont.	2	24
RS	5	Russian Sage	PEROVSKIA atriplicifolia	8-18" Mn. Ht.	# 1 Cont.	2	10
LSR	10	Little Spire Russian Sage	PEROVSKIA atriplicifolia 'Little Spire'	8-18" Mn. Ht.	# 1 Cont.	2	20
EC	12	Pixie Meadowbrite Coneflower	ECHINACEA 'CBG Cone 2'	8-18" Mn. Ht.	# 1 Cont.	2	24
FCH	6	Firewitch Cheddar Pink	DIANTHUS gratianopolitanus 'Firewitch'	3" Ht.	3" Cont.	2	12
CB	6	Berry Smoothie Coral Bell	HEUCHERA x 'Berry Smoothie'	8-18" Mn. Ht.	# 1 Cont.	2	12
ORNAMENTAL GRASSES							
KF	14	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	8-18" Mn. Ht.	# 1 Cont.	2	28



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SERVICES PROVIDED TO:
BETHEL LUTHERN CHURCH

PROJECT:
PHASE 1 - STEENSLAND HOUSE RELOCATION

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 12-5105E

SEAL/SIGNATURE:

DESIGN:	KJY	09-08-14
DRAWN:	KJY	09-05-14
APPROVED:	MAS	09-05-14
PLAN MODIFICATIONS:	DATE:	
LAND USE APPLICATION		09-10-14

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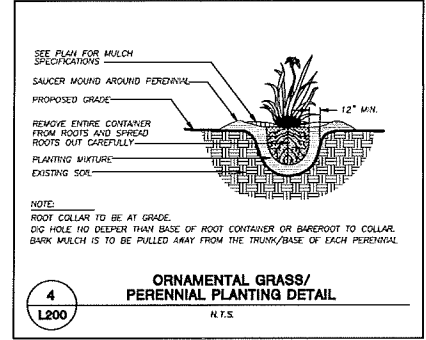
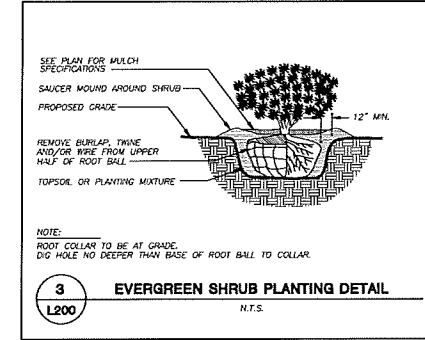
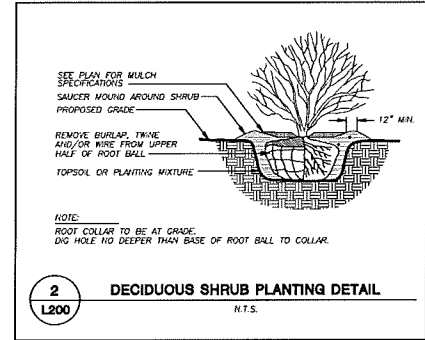
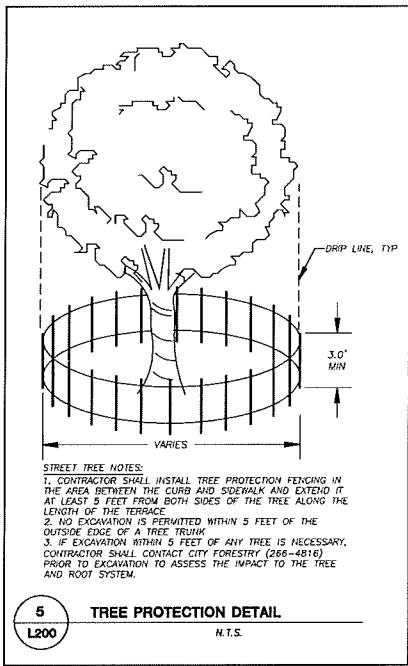
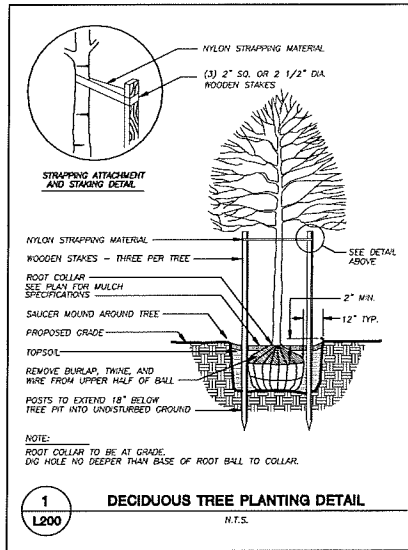
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SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L100

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LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR GALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CHANGING CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DIG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL:** PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
1. PLANTING AREAS = 24"
2. TREE PITS = SEE DETAILS
PLANTING SOIL TO BE A MINIMUM 30" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS FOR SOIL TEST.
- MATERIALS - ALL PLANTINGS SURROUNDING STEENSLAND HOUSE SHALL RECEIVE FINELY SHREDED, NEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. OWNERS REPRESENTATIVE TO APPROVE AGGREGATE STONE SPECIFICATION PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.**
- MATERIALS - WEED BARRIER FABRIC:** ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUELEN.
- MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- SEED:** ALL DISTURBED LAWN AREAS SHALL BE SEED WITH EARTH CARPETS' MADISON PARKS' OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZER AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP:** DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE (CONTRACTOR):** THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE (OWNER):** THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



**CITY OF MADISON
LANDSCAPE WORKSHEET**
Section 28.142 Madison General Ordinance

Project Location / Address: 312 WISCONSIN AVE, MADISON, WI 53703
Name of Project: BETHEL LUTHERAN CHURCH
Owner / Contact: BETHEL LUTHERAN CHURCH
Contact Phone: (608) 848-5060 Contact Email: KEVIN.YESKA@JSDINC.COM

** Landscape plan for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability
The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten (10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten (10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution
Required landscaped area shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and zoning district:

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.
Total square footage of developed area: 38,790
Total landscape points required: 647
- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.
Total square footage of developed area: _____
Five (5) acres = 212,000 square feet
First five (5) developed acres = 3,600 points
Remainder of developed area: _____
Total landscape points required: _____
- For the Industrial - I limited (I1) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.
Total square footage of developed area: _____
Total landscape points required: _____

10/2013 1

Tabulation of Points and Credits
Use the table to indicate the quantity and points for all existing and proposed landscape elements

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2" inch caliper measured diameter at breast height (dbb)	35				
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35	2	70		
Ornamental tree	1 1/2" inch caliper	15	8	120		
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			6	60
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	93	279	9	21
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4	51	204	5	20
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-18"	2	91	182	65	130
Ornamental/decorative fencing or wall	n/a	4 per 10 linear ft.		10		
Existing significant specimen tree	Minimum size: 2 1/2" inch caliper dbh * Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per inch dbh. Maximum points per tree: 200	9 TREES AT 51" TOTAL DBH	51*14=714 (30% OF 647=194.1) 194 POINTS ALLOWED FOR EXISTING TREE TOTAL		
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 3% of total required points.	5 points per "seat"				
Sub Totals				1059		231

Total Number of Points Provided: 1290

* As determined by ANSI A31.1 - American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

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SERVICES PROVIDED TO:
BETHEL LUTHERAN CHURCH

PROJECT:
PHASE 1 - STEENSLAND HOUSE RELOCATION

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 12-5105E

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: KJT	09-08-14
DRAWN: KJT	09-05-14
APPROVED: MAS	09-08-14
PLAN MODIFICATIONS:	DATE:
LAND USE APPLICATION:	09-10-14

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SHEET TITLE:
LANDSCAPE DETAILS, NOTES, AND SPECIFICATIONS

SHEET NUMBER:
L200