

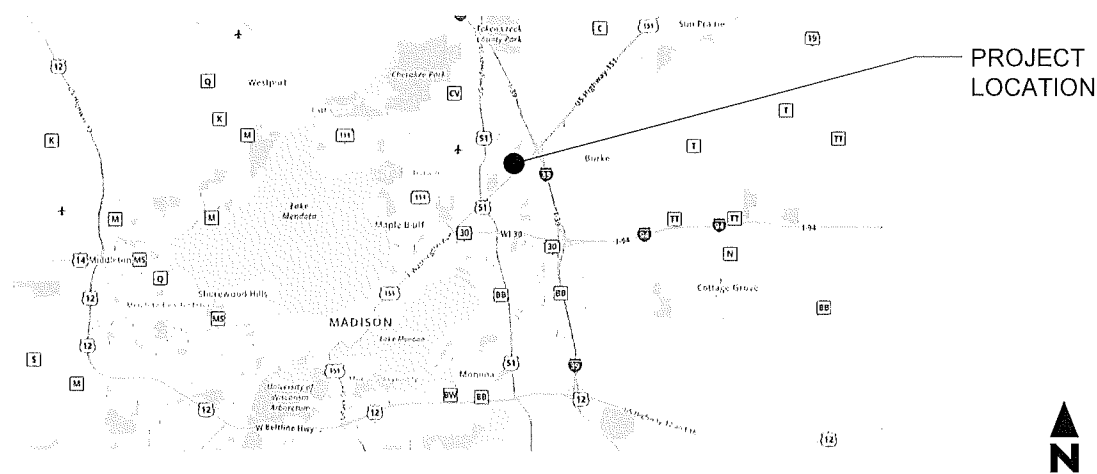
Batteries + Bulbs

INTERIOR BUILDOUT
MADISON EAST
4706 E. WASHINGTON AVE
MADISON, WI 53704

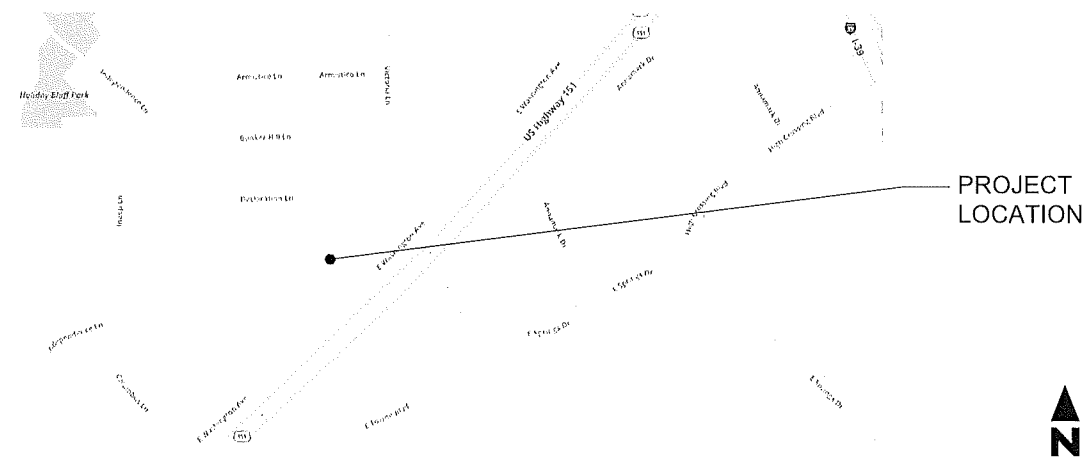
BUILDING CODES

BUILDING	2015 INTERNATIONAL BUILDING CODE (IBC) W/ WISCONSIN AMENDMENTS
MECHANICAL	2015 INTERNATIONAL MECHANICAL CODE (IMC) W/ WISCONSIN AMENDMENTS
ELECTRICAL	2017 NATIONAL ELECTRICAL CODE (NEC)
PLUMBING	STATE OF WISCONSIN PLUMBING CODE
FIRE PREVENTION	2015 INTERNATIONAL FIRE CODE (IFC) W/ WISCONSIN AMENDMENTS
ENERGY	2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) W/ WISCONSIN AMENDMENTS
FUEL GAS	2015 INTERNATIONAL FUEL GAS CODE (IFGC)
ACCESSIBILITY	2015 IBC & 2003 ANSI A117.1

VICINITY MAP



AREA MAP



SCOPE OF WORK

INTERIOR BUILD-OUT FOR A RETAIL IN EXISTING RETAIL SPACE. WORK INCLUDES CARPENTRY, ELECTRICAL, PLUMBING, AND HVAC DISCIPLINES.

CODE MATRIX

SCOPE OF WORK: INTERIOR RENOVATION FOR NEW RETAIL
CONSTRUCTION TYPE: V-B (SECTION 601) - EXISTING
OCCUPANCY CLASSIFICATION: M (SECTION 309)
ALLOWABLE HEIGHT: EXISTING
ACTUAL HEIGHT: 1 STORY (EXISTING)

ALLOWABLE AREA: EXISTING
ACTUAL TENANT AREA: 2,372 S.F. USABLE
2,531 S.F. LEASABLE

SEPARATION - USES: DEMISING: M (RETAIL)
EXISTING 2 HR SEPARATION

BUILDING ELEMENT FIRE RESISTANCE RATING REQUIREMENT (TABLE 601)
REQUIRED PROVIDED

STRUCTURAL FRAME: 0 HR EXISTING
BEARING WALLS, EXTERIOR: 2 HR EXISTING
BEARING WALLS, INTERIOR: 0 HR N/A
NON-BEARING WALLS, EXT.: N/A EXISTING
NON-BEARING WALLS, INT.: 0 HR 0 HR
FLOOR CONSTRUCTION: 0 HR EXISTING
ROOF CONSTRUCTION: 0 HR EXISTING

INTERIOR FINISHES: ALL INTERIOR FINISHES/MATERIALS SHALL COMPLY WITH CHAPTER 8 OF THE 2015 IBC

NOTES: PROJECT MUST FULLY COMPLY & MEET ALL ACCESSIBILITY REQUIREMENTS OF THE TEXAS ACCESSIBILITY STANDARDS

EGRESS CALCULATIONS

OCCUPANCY LOAD CALCULATIONS: (TABLE 1004.1.1)

DESCRIPTION	AREA	AREA PER OCCUPANT	TOTAL OCCUPANTS
MERCANTILE			
RETAIL:	977 SF (GROSS)	60 SF (GROSS)	16
BUSINESS			
OFFICE/REPAIR:	698 SF (GROSS)	100 SF (GROSS)	7
S-1 STORAGE			
GARAGE:	454 SF (GROSS)	300 SF (GROSS)	2
TOTAL OCCUPANT LOAD			25

EXIT ACCESS TRAVEL DISTANCE: MAX. ALLOWED 75'-0" (M) 100'-0" (B & S) MAX. DISTANCE PROVIDED 59'-2" 97'-4"

(TABLE 1006.3.2(2) & 1017.2) WITHOUT SPRINKLER SYSTEM

EGRESS DOOR WIDTH	MINIMUM REQUIRED	PROVIDED
36"	36"	72"

EGRESS AISLE WIDTH (1005.1): 36" (1020.2) 36"

MINIMUM NUMBER OF EXITS (TABLE 1006.3.2(2))	REQUIRED	PROVIDED
1	1	1 PUBLIC & 1 PRIVATE MAX DISTANCE LISTED TO PUBLIC EXIT

PLUMBING SYSTEMS

MINIMUM NUMBER OF PLUMBING FACILITIES:	REQUIRED	USE: MERCANTILE M PROVIDED
WATER CLOSETS:	1 PER 500	1
URINALS:	N/A	-
LAVATORIES:	1 PER 750	1
SERVICE SINK:	1	1

INDEX OF DRAWINGS

GENERAL

- T1-01 TITLE SHEET
- G1-01 PROJECT INFO, SYMBOLS & CODE ANALYSIS
- G1-02 GENERAL NOTES & ABBREVIATIONS
- G1-03 GENERAL NOTE AND REQUIREMENTS
- G1-04 SPECIFICATIONS
- G1-05 SPECIFICATIONS
- G1-06 ACCESSIBILITY DETAILS

ARCHITECTURAL

- A1-01 PENETRATION PLAN
- A1-02 FLOOR PLAN
- A1-03 REFLECTED CEILING PLAN
- A2-01 INTERIOR ELEVATIONS
- A2-02 INTERIOR ELEVATIONS
- A2-03 INTERIOR ELEVATIONS
- A2-04 INTERIOR ELEVATIONS
- A3-01 SCHEDULES, COUNTER DETAILS
- A3-02 PARTITION SCHEDULE

MECHANICAL

- M1-01 MECHANICAL PLAN
- M1-02 MECHANICAL DETAILS AND SPECIFICATIONS

ELECTRICAL

- E1-01 LIGHTING PLAN
- E1-02 POWER PLAN
- E1-03 ELECTRICAL SPECIFICATIONS
- E2-01 ELECTRICAL COMCHECK

PLUMBING

- P1-01 PLUMBING PLAN
- P1-02 PLUMBING DETAILS

CONTACTS

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Project

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Architect of Record

Consultant

No.	Issue	Date
2	ZONING REVIEW	11-1-2019
1	CLIENT REVIEW	7-31-2019
	PERMIT SET	6-7-2019

Seal

ZONING REVIEW

Store Number 19-107

Approved

Title

TITLE SHEET

Sheet

T1-01

SYMBOLS LEGEND

ELEVATION TARGETS

3 A3-01
7 A5-01
ELEVATION DESIGNATION
SHEET REFERENCE NUMBER
EXTERIOR ELEVATION INTERIOR ELEVATION

WALL SECTION TARGETS

2 A6-01
SECTION DESIGNATION
SHEET REFERENCE NUMBER

DETAIL SECTION TARGETS

3A A6-11
SECTION DESIGNATION
SHEET REFERENCE NUMBER

AREA DETAIL REFERENCE

1 A5-10
DETAIL DESIGNATION
SHEET REFERENCE NUMBER

DETAIL TARGETS

3 A6-03
DETAIL DESIGNATION
SHEET REFERENCE NUMBER

BUILDING SECTION TARGETS

2 A3-01
DETAIL DESIGNATION
SHEET REFERENCE NUMBER

03 WINDOW NUMBER (SEE WINDOW SCHEDULE)
01 KEY NOTE
2 REVISION TAG
WINDOW DESIGNATION KEY NOTE REVISION TAG

ROOM FINISH TARGET

VCT-1 FLOOR FIN DESIG.
WD-2 FLOOR TRANSITION
PT-1 WALL FINISH DESIG.
VB-1 WALL FINISH DESIGNATION
BASE DESIGNATION

MATCHING LINE

MATCH LINE
SEE SHEET A2-12
SHEET REFERENCE NUMBER

ELEVATION MARKS

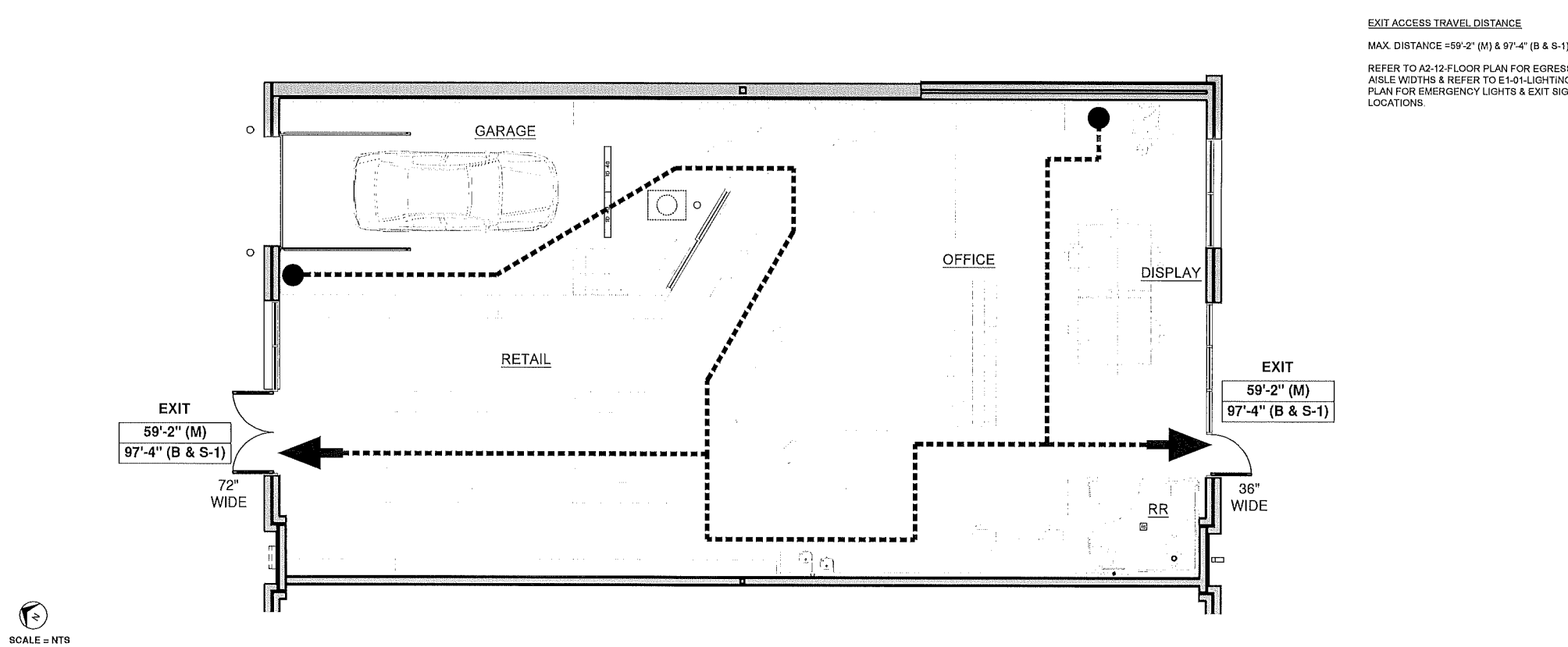
T/ SLAB EL +0'-0"
VERTICAL HEIGHT (ELEVATION, SECTION)

MISCELLANEOUS TARGETS

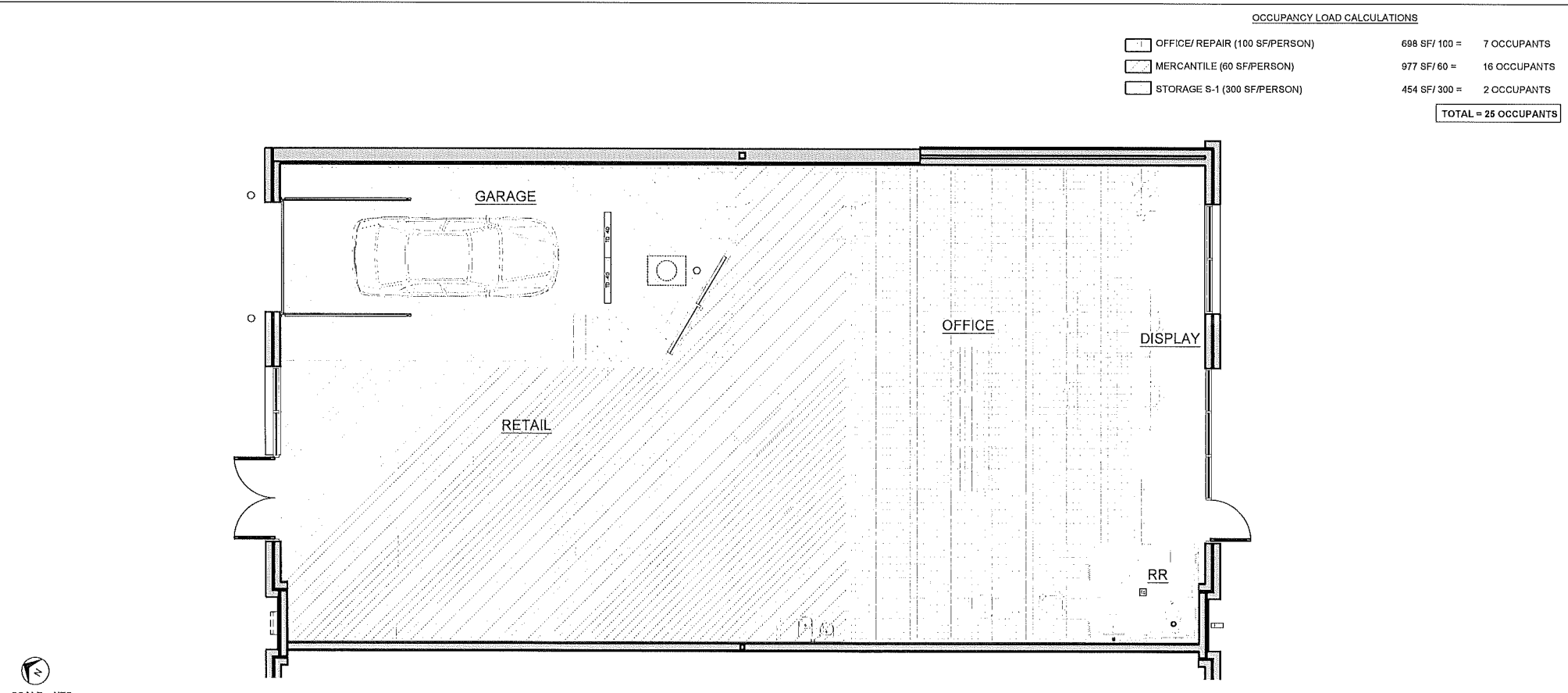
ROOM NAME DOOR (ROOM) NUMBER
ROOM 000 ROOM NUMBER DOOR SUFFIX - AS REQ'D (SEE DOOR SCHEDULE)
ROOM DESIGNATION DOOR DESIGNATION

XOX PARTITION TYPE
EQUX EQUIPMENT DESIGNATION
12 CUSTOM PRODUCT DESIGNATION

ACCESS / EGRESS PLAN



OCCUPANCY LOAD PLAN



Batteries + Bulbs

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ZONING REVIEW

Store Number 19-107

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**PROJECT
INFO & CODE
ANALYSIS**

Sheet

G1-01

ABBREVIATIONS			
AB	anchor bolt	GA	gauge
ABV	above	GALV	galvanized
ACCOUS	acoustical	GEN	general
AD	area drain	GL	glass
ADH	adhesive	GND	ground
ADJ	adjustable	GNK	gooseneck
AFF	above finish floor	GPL	gypsum plaster
AGG	aggregate	GR	grade
AL	aluminum	GT	grease trap
ALUM	aluminum	GWB	gypsum wallboard
ALT	alternate	GYP	gypsum
ANDZ	andized		
ANN	annunciator	HB	hose bibb
AP	access panel	HC	hollow core
APPROX	approximate	HDWD	hardwood
APT	apartment	HDWR	hardware
ARCH	architectural	HM	hollow metal
AUTO	automatic	HO	hold open
AVE	avenue	HORIZ	horizontal
AWG	American wire gauge	HP	hour
AT	Acoustical Tile	HR	height
		HTG	heating
B/	bottom of	HW	hot water
BB	baseboard	HYD	hydrant
BD	board		
BITUM	bituminous		
BLDG	building	IAW	in accordance with
BLKG	blocking	ID	inside diameter
BM	beam	IN	inches
B.M.	bench mark	INCL	incandescent
BR	bedroom	INCL	include(d)(ing)
BRG	bearing	INSUL	insulation
BSMT	basement	INTR	interior
BTB	back to back	INV EL	Invert elevation
BUR	built up roofing		
CEM	cement	JC	Janitor's Closet
CJ	construction joint	JT	Joint
CL	center line		
CLG	ceiling	KD	knockdown
CLO	closet	KO	knockout
CM	centimeter	KIT	kitchen
CMU	concrete masonry unit	KS	knee space
CO	cleanout		
COL	column	LAM	laminat(e)s
CONC	concrete	LAV	lavatory
CONF	conference	LB(S)	pound(s)
CONSTR	construction	LG	length
CONT	continuous	LL	landlord
CONTR	contractor	LKR	locker
COORD	coordinate	LP	low point
CORR	corridor	LT	light
CRT	cathode ray tube	LWT	lightweight
CTJ	control joint		
CTR	center		
CTSK	countersunk		
CCTV	closed circuit television	M	meter
CU	cubic	MAINT	maintenance
CW	cold water	MAS	masonry
CPT	carpet	MATL	material
DAR	davit anchor	MAX.	maximum
DBL	double	MCB	metal corner bead
DEG	degree	M.E.	match existing
DEMO	demolish	MECH	mechanical
DEPT	department	MEMB	membrane
DET	detail	MTL	metal
DIA	diameter	MEZZ	mezzanine
DIAG	diagonal	MFR	manufacturer
DIFF	diffuser	MH	manhole
DIM	dimension	MIN	minimum
DISP	dispenser	MISC	miscellaneous
DIV	division	ML	metal lath
DN	down	MLP	metal lath & plaster
DO	ditto	MM	millimeter
DPPG	damp-proofing	MO	masonry opening
DR	door	MOV	movable
DS	downspout	MS	machine screw
DW	distilled water	MTD	mounted
DWG	drawing	MTG	mounting
DWT	dumbwaiter	MUL	mullion
E	East	N	North
EA	each	NC	nurse call
EL	elevation	N.I.C.	not in contract
ELAS	elastomeric	NO.	number
ELECTR	electrical	NOM	nominal
ELEV	elevator	NTS	not to scale
EMER	emergency		
ENCL	enclosure	OA	overall
ED	electric outlet	OC	on center
EPNL	electrical panel	OD	outside diameter
EXIST	existing	OFF	office
EXT	exterior	OH	overhead
		OPNG	opening
F/	face of	OPP	opposite
FA	fire alarm	OPS	five guys operations
FBR	face brick		
FC	foot control		
FCO	floor clean out	PA	public address
FD	floor drain	PC	portland cement
FDN	foundation	PHS	Phillips head screw
FE	fire extinguisher	PL	plate
FEC	fire extinguisher cabinet	P-LAM	plastic laminate
FFL	finish floor	PLAS	plaster
FGO	Five Guys Operations	PLBG	plumbing
FH	fire hydrant	PLUMB	plumbing
FHMS	flat head machine screw	PLWD	plywood
FHR	fire hose rack	PMF	premolded filler
FHWS	flat head wood screw	PNL	panel
FIN	finish	POL	polished
FLR	floor	PR	pair
FLUOR	fluorescent	PREP	prepare
FRTW	fire resistive treated wood	PROP.	property
FRPRF	fireproof	PT	paint
FT	foot (feet)	PTN	partition
FTF	face to face	PTS	pneumatic tube station
FTG	footing	QT	quarry tile
FTR	fin tube radiation		
FURN	furnish		
FURR	furring		
FUT	future		

GENERAL REQUIREMENTS	
LANDLORD'S INSTRUCTIONS	PROVIDE DRAWINGS AND SPECIFICATIONS FOR CITY APPROVAL.
PURPOSE:	2. THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF THE LANDLORD'S, OR ANOTHER LICENSED FIRE ALARM CONTRACTOR TO DESIGN AND INSTALL NEW SYSTEM WITH ALL REQUIRED DEVICES.
THE FOLLOWING IS A LIST OF SOME OF THE LANDLORD'S INSTRUCTIONS TO GENERAL CONTRACTORS AND HISHER SUBCONTRACTORS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN LANDLORD'S COMPLETE REQUIREMENTS AND MAKE SURE THAT THE LANDLORD'S POLICIES ARE MET.	
ROOF PENETRATIONS:	SIGNAGE
INSTRUCT ALL SUB CONTRACTORS THAT ANYTHING THAT NEEDS TO BE ATTACHED ABOVE THE CEILING SHOULD BE ATTACHED TO THE ROOF STRUCTURE, NOT THE DECKING. ALL ROOF PENETRATIONS SHALL BE DONE BY LANDLORDS ROOFING CONTRACTOR TO MAINTAIN WARRANTY.	OWNER'S SIGNAGE CONTRACTOR SHALL PREPARE SIGNAGE SHOP DRAWINGS AND SUBMIT TO BUILDING DEPT. & LANDLORD FOR APPROVAL. ALL SIGNAGE IS UNDER SEPARATE PERMIT.
STRUCTURAL ELEMENTS:	BID NOTES
DO NOT MAKE ANY CUTS TO ANY OF THE BUILDING ELEMENTS WITHOUT VERIFYING WHETHER OR NOT IT IS A STRUCTURAL ELEMENT. THIS INCLUDES ROOF BEAMS, ROOF DECK, MASONRY WALLS AND THE CONCRETE SLAB.	1. BID FORMS TO BE PROVIDED BY CLIENT TO G.C.
IF YOU HAVE ANY QUESTIONS REGARDING THE ABOVE INFORMATION, PLEASE CONTACT THE LANDLORD. LANDLORD CONTACT INFORMATION IS FOUND ON CONSTRUCTION WORK LETTER.	2. ALL ITEMS NOTED AS (N.I.C.) TO BE BID SEPARATELY FROM THE BASE BID.
A/C STARTUP:	3. G.C. RESPONSIBLE FOR COORD. WITH ALL UTILITY CO. INCLUDING BUT NOT LIMITED TO: ELECTRICAL, WATER, WASTE, STORM, PHONEDATA TO PROVIDE SERVICES AS CALLED FOR ON THE DRAWING. LOAD LETTERS & SERVICE APPLICATIONS TO BE COMPLETED & SUBMITTED BY G.C.
CONTACT THE LANDLORD FOR ANY REQUIREMENTS ON THE START-UP OF LANDLORD PROVIDED ROOFTOP UNITS.	4. IF SPRINKLER SYSTEM IS REQ'D, G.C. TO PROVIDE SPRINKLER SYSTEM DESIGN & PERMIT. SEE FIRE DEPT. NOTES
FIRE SYSTEM MONITORING: (IF REQUIRED)	5. IF FIRE ALARM SYSTEM IS REQ'D, G.C. TO PROVIDE FIRE SYSTEM DESIGN & PERMIT. SEE FIRE DEPT. NOTES
VERIFY IF THE LANDLORD IS MONITORING THE FLOW AND TAMPER SWITCHES FOR THE SHELL BUILDING. IF THE SYSTEM IS OPERATIONAL, YOU MUST CONTACT THE LANDLORD PRIOR TO TAKING DOWN THE SYSTEM.	SPRINKLER NOTES
ANY FINES CHARGED BY THE FIRE DEPARTMENT FOR FALSE ALARMS WILL BE CHARGED BACK TO THE TENANT'S GENERAL CONTRACTOR.	1. EXISTING SPRINKLER SYSTEM TO REMAIN IF PRESENT.
ARCHITECT'S INSTRUCTIONS	2. SPRINKLER CONTRACTOR TO ADJUST AND/OR ADD HEADS AS REQ'D FOR NEW LAYOUT.
SUBMITTALS:	3. S.C. TO PROVIDE DRAWINGS AND CALCS FOR CITY APPROVAL.
IF ALTERNATE EQUIPMENT IS PROPOSED DUE TO LEAD TIME, THE ARCHITECT OR ENGINEER MAY REQUEST PAYMENT FROM G.C. FOR REVIEW OF THE SUBMITTAL. GENERAL CONTRACTOR MUST VERIFY LONG LEAD ITEMS AT START OF PROJECT TO AVOID DELAYS & ALTERNATES.	
AS BUILTS:	
THE GENERAL CONTRACTOR SHALL RED LINE ALL FIELD CHANGES ON A SET OF PRINTS TO REMAIN ON SITE THROUGHOUT THE CONSTRUCTION OF THE PROJECT. IT IS THE GC'S RESPONSIBILITY TO RECORD ALL FIELD CHANGES AND SUBMIT THE 'AS BUILTS' TO BATTERIES + BULBS AT TURNOVER.	
SPECIAL INSPECTIONS (IF REQUIRED)	
1. SPECIAL INSPECTIONS SHALL BE REQUIRED FOR THE FOLLOWING: CONCRETE, BOLT IN CONCRETE, REINFORCING STEEL, WELDING, SPECIAL GRADING, EXCAVATION & FILLING, & EIFS SYSTEMS. SPECIAL INSPECTIONS OF SPECIFIC ITEMS ARE TO BE PROVIDED ONLY IF REQUIRED BY LOCAL CODE OR CITY INSPECTORS. SPECIAL INSPECTIONS ARE IN ADDITION TO ALL STANDARD BUILDING INSPECTIONS REQUIRED & ARE NOT A SUBSTITUTE FOR INSPECTION BY A CITY INSPECTOR. ALL WORK REQUIRING SPECIAL INSPECTION WHICH IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE CITY INSPECTOR IS SUBJECT TO REMOVAL AT THE CONTRACTORS EXPENSE.	
2. CONTINUOUS INSPECTION IS REQUIRED DURING THE PERFORMANCE OF THE WORK UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS.	
3. SPECIAL INSPECTORS MUST BE CERTIFIED BY CITY OF MADISON TO PERFORM THE TYPES OF INSPECTIONS REQUIRED.	
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE SPECIAL INSPECTOR OR INSPECTION AGENCY AT LEAST ONE WORKING DAY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION.	
5. LICENSED FABRICATOR REQUIRED FOR STEEL SHAPES.	
6. WELDING TO BE DONE BY WELDERS CERTIFIED BY CITY OF MADISON (STRUCTURAL STEEL, REINFORCING STEEL & LIGHT GAUGE STEEL.)	
GENERAL INSTRUCTIONS	
G.C. COMPLIANCE	
OWNER'S GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO TENANT'S ARCHITECT. TENANT'S GENERAL CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SET FORTH BY THE LANDLORD. GC TO VERIFY THE EXACT LOCATION OF ALL EXISTING LANDLORD FEATURES I.E. METAL BRACE FRAME, STOREFRONT OPENINGS, CORRIDOR ACCESS DOOR, DEMISING WALLS, UTILITY P.O.C., ETC.	
FIRE SPRINKLERS (IF REQUIRED)	
1. IF AN AUTOMATIC FIRE SPRINKLER SYSTEM EXISTS WITHIN THE SPACE, THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF THE LANDLORD'S, OR ANOTHER LICENSED FIRE SPRINKLER CONTRACTOR TO DESIGN AND INSTALL THE NEW SYSTEM TO CONFORM WITH THE NEW ROOM AND CEILING HEIGHTS AS SHOWN IN THESE DRAWINGS. THE SPRINKLER CONTRACTOR SHALL DESIGN AND PREPARE SHOP DRAWINGS FOR THE PROPOSED SYSTEM MODIFICATIONS & SUBMIT THESE DRAWINGS TO THE BLDG/FIRE DEPT. & THE ARCHITECT TO GAIN APPROVALS PRIOR TO COMMENCING ANY WORK. PUBLIC AREA HEADS TO BE CONCEALED TYPE WITH BLACK COVERS AT DARK CEILINGS, WHITE AT LIGHT CEILINGS & CHROME IN TOILETS. HEADS IN NON-PUBLIC AREAS ARE TO BE SEMI-RECESSED. INSTALLATION IS TO INCLUDE ALL SITE WORK.	
2. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE-EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND WET AND DRY STANDPIPES, HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE-EXTINGUISHING SYSTEMS; BASEMENT PIPE INLETS; AND OTHER FIRE PROTECTION SYSTEMS AND APPURTENANCES THERETO SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	
3. FIRE EXTINGUISHING SYSTEM SHALL BE IN ACCORDANCE WITH CFC SECTION 903.	
FIRE ALARM (IF REQUIRED)	
1. EXISTING FIRE PANEL TO REMAIN IF PRESENT. FIRE CONTRACTOR TO TIE INTO BUILDING SYSTEM OR PROVIDE NEW SYSTEM AS REQ'D BY CITY OF MADISON, F.C. TO	

Batteries + Bulbs

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MADISON, WI 53704

Project

DXU

ARCHITECTS

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Architect of Record

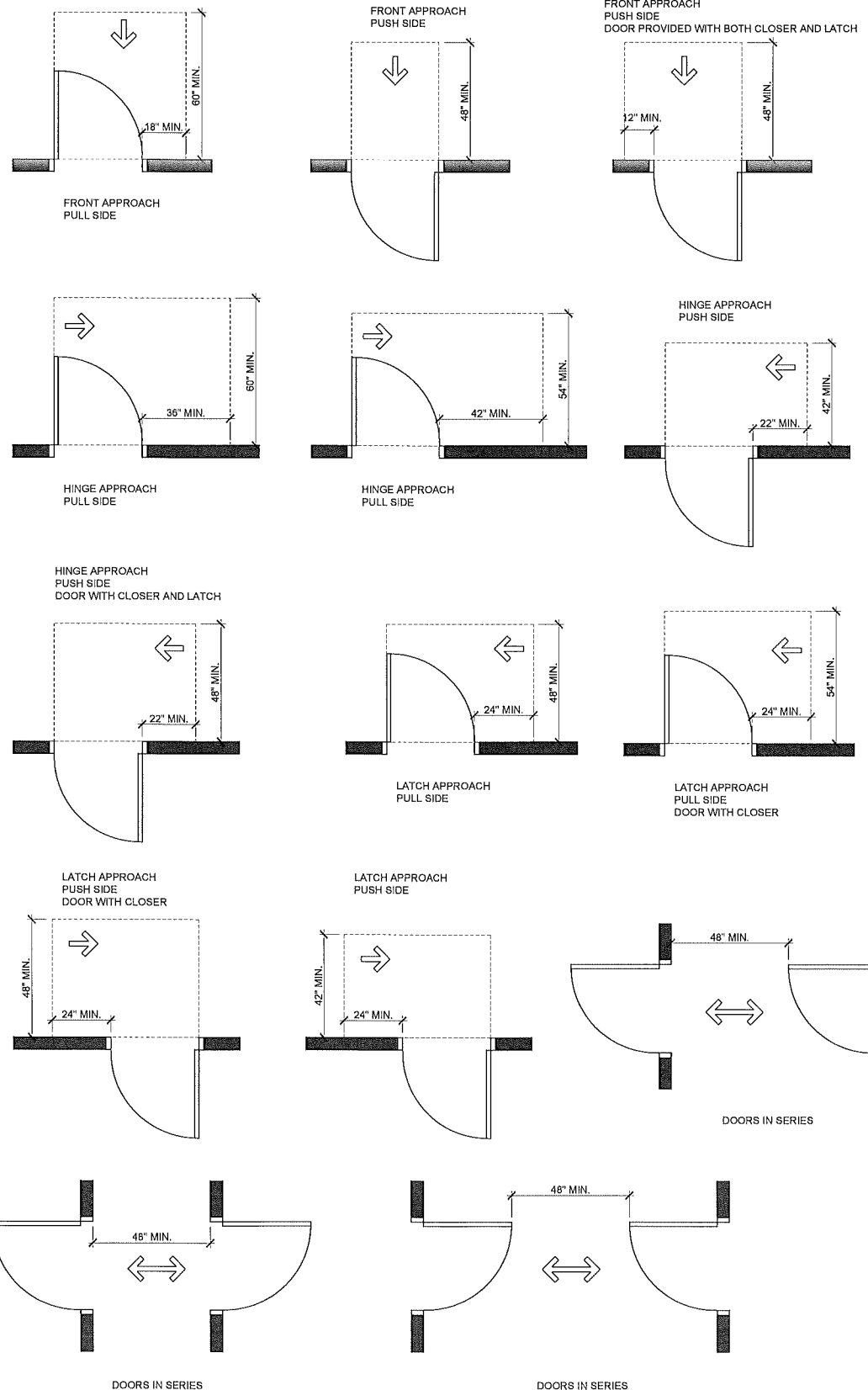
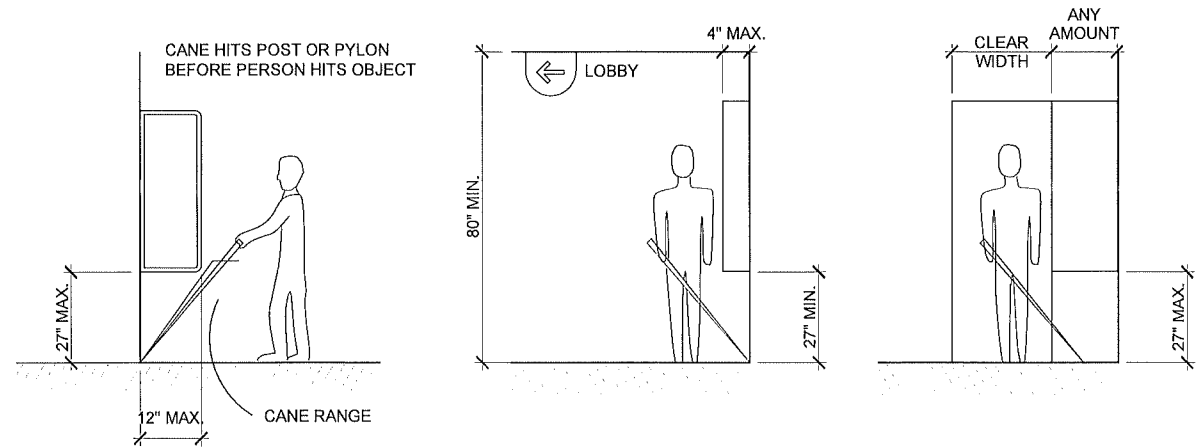
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Title	

GENERAL NOTES & ABBREVIATIONS

Sheet

G1-02



4 PROTRUDING OBJECTS
N.T.S.

PROTRUDING OBJECT

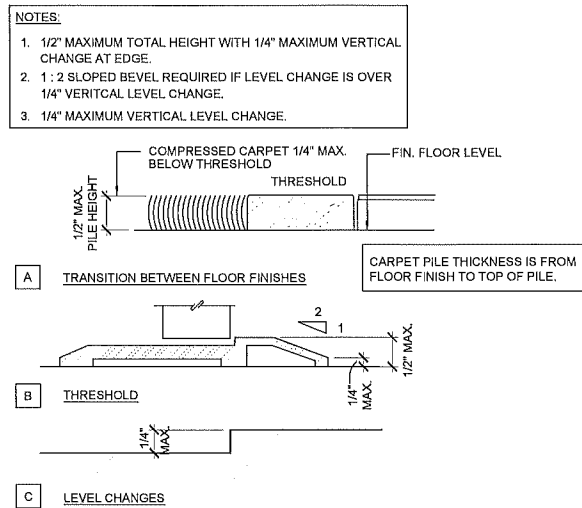
FREESTANDING OBJECT MOUNTED ON POSTS OR PYLON MAY OVERHANG 12" MAX FROM 27" TO 80" ABOVE FINISH FLOOR

OBJECT PROJECTION FROM WALL BETWEEN 27" TO 80" ABOVE FINISH FLOOR SHALL PROTRUDE NO MORE THAN 4"

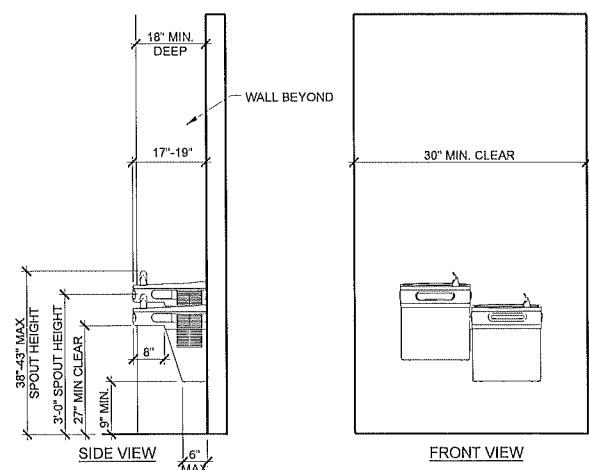
ACCESSIBLE ROUTE

OBJECT PROJECTION FROM WALL LESS THAN 27" ABOVE FINISH FLOOR MAY PROTRUDE ANY AMOUNT

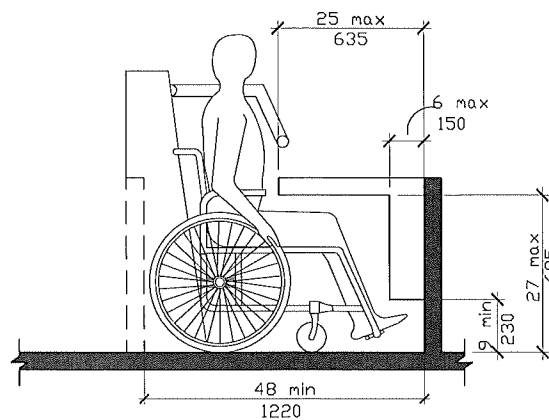
FLOOR SHALL BE SLIP-RESISTANT SURFACE AND LEVEL WITH MAX 1/4" CHANGE IN LEVEL



5 INTERIOR ACCESS ROUTE
N.T.S.



3 CHANGES IN LEVEL
N.T.S.



4 ADA DRINKING FOUNTAIN
N.T.S.

2 ADA REACH RANGES
N.T.S.

1 ADA DOOR CLEARANCES
3/8" = 1'-0"

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ZONING REVIEW

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ACCESSIBILITY DETAILS

SPECIFICATIONS

1. PROVIDE TEMPERED GLASS, GRADE "B", STYLE #1, TYPE "1", QUALITY 03, THICKNESS PER PLANS.
2. ALL GLASS EDGES SHALL BE GROUND SMOOTH & POLISHED. GENERAL GLASS SHALL BE 03 IN ACCORDANCE WITH FEDERAL SPECIFICATIONS DD-G-451 & FGMA GLAZING MANUAL.
3. STOREFRONT GLASS SHALL BE AS REQUIRED FOR THE SIZES & CONDITIONS DETAILED. FRAME SECTION SHALL BE CONCEALED WHERE INDICATED.
4. PROVIDE RESILIENT NEOPRENE BLOCKS 70 TO 90 SHORE A DUROMETER HARDNESS & RESILIENT ACCESSORIES DESIGNED FOR POSITIONING GLASS IN RABBETS.
5. PROVIDE CLIPS OF NON-CORROSIVE METAL WITH ROUNDED EDGES DESIGNED FOR CONTACT BLOCKS, NOT GLASS.
6. PROVIDE STANDARD PREFORMED GLAZING TAPE, STANLOCKE 400, TRINCO 440, OR APPROVED.
7. PROVIDE NON-SHRINKING ELASTOMERIC TAPE WHERE REQUIRED.
8. USE SILICONE SEALANT DOW #795 OR GE SILPRUF, COLOR AS SPECIFIED, OR APPROVED EQUAL.
9. ALL EDGES, DRILLED HOLES & NOTCHES SHALL BE FACTORY CUT AND/OR FACTORY FORMED. TOUCH-UP "RAW" EDGES TO MATCH FRAME.
10. INSTALL IN ACCORDANCE WITH FGMA RECOMMENDATIONS UNLESS NOTED OTHERWISE.
11. VERIFY THAT FRAMES TO RECEIVE GLAZING ARE SQUARE & TRUE, THAT PERIMETER CLEARANCES ARE SUFFICIENT TO PREVENT "POINT LOADING", & THAT SURFACES ARE CLEAN, DRY & READY TO RECEIVE GLAZING MATERIALS. REMOVE ALL PROTECTIVE COATINGS FROM FRAMING SURFACES.
12. CENTER GLASS IN RABBETS & POSITION SO AS TO MAINTAIN CLEARANCES ON ALL SIDES, INDOORS & OUT, IN ACCORDANCE WITH FGMA RECOMMENDATIONS. SHIMS REQUIRED TO POSITION AGAINST FIXED STOPS & FRAME BARS.
13. SET ALL EXTRUSIONS IN CORRECT LOCATIONS AS SHOWN IN THE DETAILS. THEY SHALL BE LEVEL, FLUSH, SQUARE, PLUMB & IN ALIGNMENT WITH OTHER WORK.
14. UPON COMPLETION, REMOVE ALL EXCESS SEALANT & MATERIALS FROM SURFACES; WASH & CLEAN ALL GLASS FRAMING MEMBERS.

CEILING METAL SUSPENDED SYSTEM

QUALITY ASSURANCE

1. USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED & EXPERIENCED IN THE NECESSARY CRAFTS & WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS & THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK OF THIS SECTION.

METAL CHANNELS, RUNNERS & ACCESSORIES

1. FURRING CHANNELS: SHALL BE MINIMUM 25 GAUGE X 7/8" DEEP X 2-5/8" HAT SHAPED GALVANIZED STEEL CHANNELS.
2. MAIN RUNNER CHANNELS: SHALL BE 1-1/2" COLD ROLLED, 16 GAUGE STEEL CHANNELS, COATED WITH A RUST INHIBITIVE PAINT.
3. HANGER WIRES: SHALL BE OF SIZE/GAUGE INDICATED, DOUBLE ANNEALED & GALVANIZED, CONFORMING TO TYPE 1, FS QQ-W-461.
4. SCREWS: (FOR GYPSUM WALLBOARD APPLICATION) - SHALL BE TYPE S, 1-1/4", 1-5/8" 1-7/8" OR LENGTH AS REQUIRED FOR PENETRATION OF GYPSUM BOARD & CONNECTION TO SUPPORT CHANNELS, & AS RECOMMENDED BY MANUFACTURER.

SURFACE CONDITIONS

1. EXAMINE THE AREAS & CONDITIONS UNDER WHICH WORK OF THIS SECTION WILL BE PERFORMED. CORRECTION CONDITIONS DETERMINED TO TIMELY & PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

INSTALLATION

1. PROVIDE 1-1/2" MAIN RUNNER CHANNELS SPACED ON 4 FOOT CENTERS & METAL FURRING CHANNELS SPACED ON NOT OVER 16" CENTERS. NEITHER MAIN RUNNERS NOR CROSS FURRING SHALL BE LET INTO NOR COME IN CONTACT WITH ABUTTING MASONRY WALLS OR PARTITIONS. LOCATE A MAIN RUNNER WITHIN 6" OF THE WALL TO SUPPORT THE ENDS OF THE FURRING CHANNELS, & LOCATE HANGERS TO SUPPORT THE ENDS OF THE MAIN RUNNERS.
2. ALLOW 1" CLEARANCE BETWEEN END OF FURRING CHANNELS & ABUTTING WALLS. WHERE MAIN RUNNERS OR FURRING CHANNELS ARE SPLICED, OVERLAP THE ENDS NOT LESS THAN 6" & SECURELY TIE NEAR EACH END OF THE SPLICE WITH TWO (2) LOOPS OF 16 GAUGE GALVANIZED WIRE.
3. SUSPEND MAIN RUNNERS FROM STRUCTURE ABOVE WITH ONE (1) NO. 8 GAUGE HANGER WIRE AT 48" O. C. ALONG CARRYING CHANNEL & WITHIN 6" OF EACH END. ALL WIRE HANGERS SHALL BE OF SUCH LENGTH SO THAT THE LOWER ENDS MAY BE SADDLE-TIED OR WRAPPED AROUND THE MAIN RUNNERS SO AS TO PREVENT TURNING OR TWISTING OF THE RUNNERS.
4. SECURELY CLIP METAL FURRING CHANNELS AT RIGHT ANGLES TO MAIN RUNNERS, USING FURRING CHANNEL CLIPS OR SADDLE-TIE WITH 2 STRANDS OF 16 GAUGE TIRE WIRE. INSTALL FURRING CHANNEL CLIPS ON ALTERNATE SIDES OF THE MAIN CHANNEL RUNNER.
5. AT LIGHTS OR OTHER OPENINGS THAT INTERRUPT THE MAIN RUNNER OR FURRING CHANNELS, REINFORCE GRILLAGE WITH 3/4" COLD-ROLLED CHANNELS. WIRE TIED ATOP & PARALLEL TO THE MAIN RUNNER CHANNELS. PROVIDE NECESSARY REINFORCING TO MAINTAIN INTEGRITY OF CEILING & TO SUPPORT FIXTURES.
6. APPLY WALLBOARD WITH LONG DIMENSION AT RIGHT ANGLES TO THE FURRING CHANNELS, WITH ALL ABUTTING ENDS & EDGES OCCURRING OVER THE WEB SURFACE OF THE FURRING CHANNEL. USE WALLBOARD OF MAXIMUM POSSIBLE LENGTH TO MINIMIZE END JOINTS. NEATLY FIT & STAGGER END JOINTS. INSTALL WALLBOARD WITH 1-5/8" SCREWS SPACED 8" ON CENTER IN THE FIELD OF THE BOARD, AT ALL BEARINGS, & LONG ABUTTING EDGES.

LEVELING

1. CEILING GRID SYSTEM SHALL BE HUNG TRUE & LEVEL AT HEIGHT AS INDICATED ON DRAWINGS, SO THAT AFTER GYPSUM WALLBOARD HAS BEEN HUNG & FINISHED, IT WILL BE PERFECTLY LEVEL WITH NO SAGGING OR BOWS IN CEILING.

TILE - CERAMIC, QUARRY, TERRAZZO & BRICK VENEER

1. INSTALL TILE IN AREAS INDICATED FROM LEASE LINE TO TRANSITION. USE ADHESIVES & APPLY ONLY AS RECOMMENDED BY MANUFACTURER & IN ACCORDANCE WITH INDUSTRY STANDARDS.
2. INSTALLERS MUST BE SPECIALISTS WITH A MINIMUM OF TWO (2) YEARS EXPERIENCE.
3. ALL INSTALLATION SHALL CONFORM TO THE LATEST APPLICABLE TILE COUNCIL OF AMERICA & ANSI STANDARDS.
4. DO NOT COMMENCE INSTALLATION UNTIL SUBSTRATE HAS BEEN MADE SUITABLE FOR

TILE INSTALLATION.

5. REVIEW ALL AREAS TO RECEIVE TILE FLOORING (PRIOR TO SUBMITTING ESTIMATE) TO DETERMINE THE REQUIRED EXTENT OF SUBFLOOR PREPARATION.
6. SET & GROUT TILE WHEN AMBIENT TEMPERATURE IS AT LEAST 50° & RISING. ALIGN ALL JOINTS & CORNERS.
7. CLEAN CONCRETE FLOORS, REMOVING ALL FOREIGN MATTER & CONTAMINANTS SUCH AS GREASE, OIL, DUST, WATER, SURFACE DIRT, OLD SEALANTS OR GLAZING COMPOUNDS & AND PROTECTIVE COATINGS. METAL SHALL BE CLEANED BY MECHANICAL OR SOLVENT PROCEDURES.
8. INSTALL TILE TO CONCRETE SUBSTRATE PER TCA STANDARDS FOR GROUT, W/ UNIFORMLY SPACED JOINTS, TO PATTERN INDICATED IN DRAWINGS. VERIFY LAYOUT & CUTS WITH PROJECT MANAGER PRIOR TO COMMENCEMENT OF WORK. CUT TILE AT WALL INTERSECTIONS FOR CONCEALMENT BY BASE WHERE APPLICABLE. VARY MORTAR THICKNESS, AS NECESSARY, TO ACCOMMODATE VARIATIONS IN THE TILE THICKNESS.
9. CLOSE AREAS IN WHICH TILE IS BEING PLACED TO TRAFFIC & OTHER WORK. KEEP AREA CLOSED UNTIL TILE IS FIRMLY SET. PROTECT FLOORING FROM DAMAGE. REPLACE DAMAGED TILE AT NO ADDITIONAL COST TO OWNER.
10. INSTALL TILE TO ALUMINUM GLAZING CHANNEL & METAL BASE WITH DOW CORNING 795 SILICONE BUILDING SEALANT, BEADS AT 6" ON CENTER MAXIMUM.
11. GROUT FLUSH WITH TILE EDGES. BUFF TILES WITH CHEESE CLOTH AFTER FINAL SPONGING.
12. DAMP CURE PER MORTAR & GROUT MANUFACTURER'S RECOMMENDATIONS.
13. SEAL ALL GROUT JOINTS PER MANUFACTURER'S WRITTEN INSTRUCTIONS WITH SEALER AS RECOMMENDED.
14. REFER TO "FLOOR PREP / SETTING MATERIALS" SPECIFICATIONS FOR SPECIFIC SUB-FLOOR LEVELING MATERIALS, PRIMERS, WATERPROOFING MEMBRANE & SETTING MATERIALS. REFER TO TILE GROUT SPECIFICATIONS FOR SPECIFIC GROUT MANUFACTURER.

WATER PROOFING

1. WATER PROOF MEMBRANE SHALL BE INSTALLED AT WALLS THROUGHOUT RESTROOM AREAS AS NEEDED.
2. WATERPROOF MEMBRANE SHALL BE "MAPELASTIC T" TROWEL APPLIED, POLYMER MODIFIED, FLEXIBLE CEMENTITIOUS FIBER WATERPROOF MEMBRANE BY "MAPE". EXTEND MEMBRANE 12" UP WALL & 12" OUT ACROSS FLOOR, AS DETAILED IN PLANS, IF NEEDED. INSTALL OVER CEMENT BACKER BOARD & CONCRETE FLOOR.

DIVISION 10 - SPECIALTIES

1. TENANT'S G.C. SHALL PROVIDE ADEQUATE BACKING FOR SECURE INSTALLATION OF ACCESSORIES.
2. ALL ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL GOVERNING NATIONAL, STATE & LOCAL CODES PERTAINING TO HANDICAP ACCESSIBILITY.

ACCESSORIES

1. REFER TO SHEET A1.1 FOR RESTROOM ACCESSORY SPECIFICATIONS, & PLUMBING DRAWINGS FOR PLUMBING FIXTURE SPECIFICATIONS.

INSTALLATION

1. DELIVER INSERTS & ROUGH-IN FRAMES TO JOBSITE AT APPROPRIATE TIME FOR INSTALLATION.
2. FASTENINGS: FURNISH TOILET ACCESSORIES TO COMPLETE WITH ALL REQUIRED MOUNTING DEVICES, FASTENINGS & ACCESSORIES AS REQUIRED FOR A FINISHED INSTALLATION, PROPERLY PACKAGED & TAGGED FOR READY IDENTIFICATION. FASTEN ALL ITEMS WITH SCREWS OR BOLTS EXTENDING AT LEAST 1" INTO SOLID BACKING IF NO OTHER FASTENING IS SPECIFIED.
3. INSTALLATION OF TOILET ACCESSORIES SHALL BE IN ACCORDANCE WITH THE DRAWINGS, REVIEWED SHOP DRAWINGS & THE MANUFACTURER'S INSTALLATIONS & RECOMMENDATIONS.
4. TENANT'S G.C. SHALL SUPPLY & INSTALL ADEQUATE BACKING FOR SECURE INSTALLATION OF ALL ACCESSORIES.

MOUNTING

1. LOCATIONS & HEIGHTS SHALL BE AS SHOWN ON DRAWINGS & IN CONFORMANCE WITH 'HANDICAP' ORDINANCES.

SIGNS

1. SIGNS ARE SUPPLIED & INSTALLED BY OWNER'S SIGN CONTRACTOR. G.C. SHALL PROVIDE POWER SOURCE & REQUIRED DISCONNECTS, TIME CLOCKS ETC. COORDINATE WITH SIGN CONTRACTOR AS REQUIRED.

FIRE EXTINGUISHERS (PROVIDED BY G.C.)

1. EXTINGUISHERS SHALL BE 10-POUND CAPACITY, U.L. LABELS, ENAMEL, STEEL CONTAINER WITH PRESSURE INDICATING GAUGE FOR CLASS A, B, OR C FIRES.
2. INSTALL ON WALL MOUNTED HOOKS AS INDICATED OR DIRECTED BY THE MARSHALL, NEATLY FITTING TO FINISH SURFACES. PLACE FULLY CHARGED EXTINGUISHERS ON HOOKS PRIOR TO OCCUPANCY.
3. SEE FIXTURE PLAN FOR ARCHITECTS SUGGESTED LOCATIONS.

AUDIO/VIDEO

1. ALL AUDIO & VIDEO CABLES SHALL BE RUN IN CONDUIT (UNLESS OTHERWISE NOTED).
2. LEAVE ADEQUATE AMOUNT OF SLACK IN AUDIO & VIDEO CABLES FOR PROPER POSITIONING OF EQUIPMENT AFTER INSTALLATION.
3. EXCESS LENGTHS OF CABLE SHALL BE CONCEALED IN BRACKETS OR CEILING.

DIVISION 11 - EQUIPMENT

REFER TO FOOD SERVICE DRAWINGS FOR SPECIFICATIONS.

DIVISION 12 - FURNISHINGS

REFER TO FIXTURE PLAN FOR SPECIFICATIONS.

DIVISION 13 - NOT USED

DIVISION 14 - NOT USED

DIVISION 15 - MECHANICAL

REFER TO MECHANICAL DRAWINGS FOR SPECIFICATIONS.

DIVISION 16 - PLUMBING

REFER TO PLUMBING DRAWINGS FOR SPECIFICATIONS.

DIVISION 17 - ELECTRICAL

REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS.



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Architect of Record

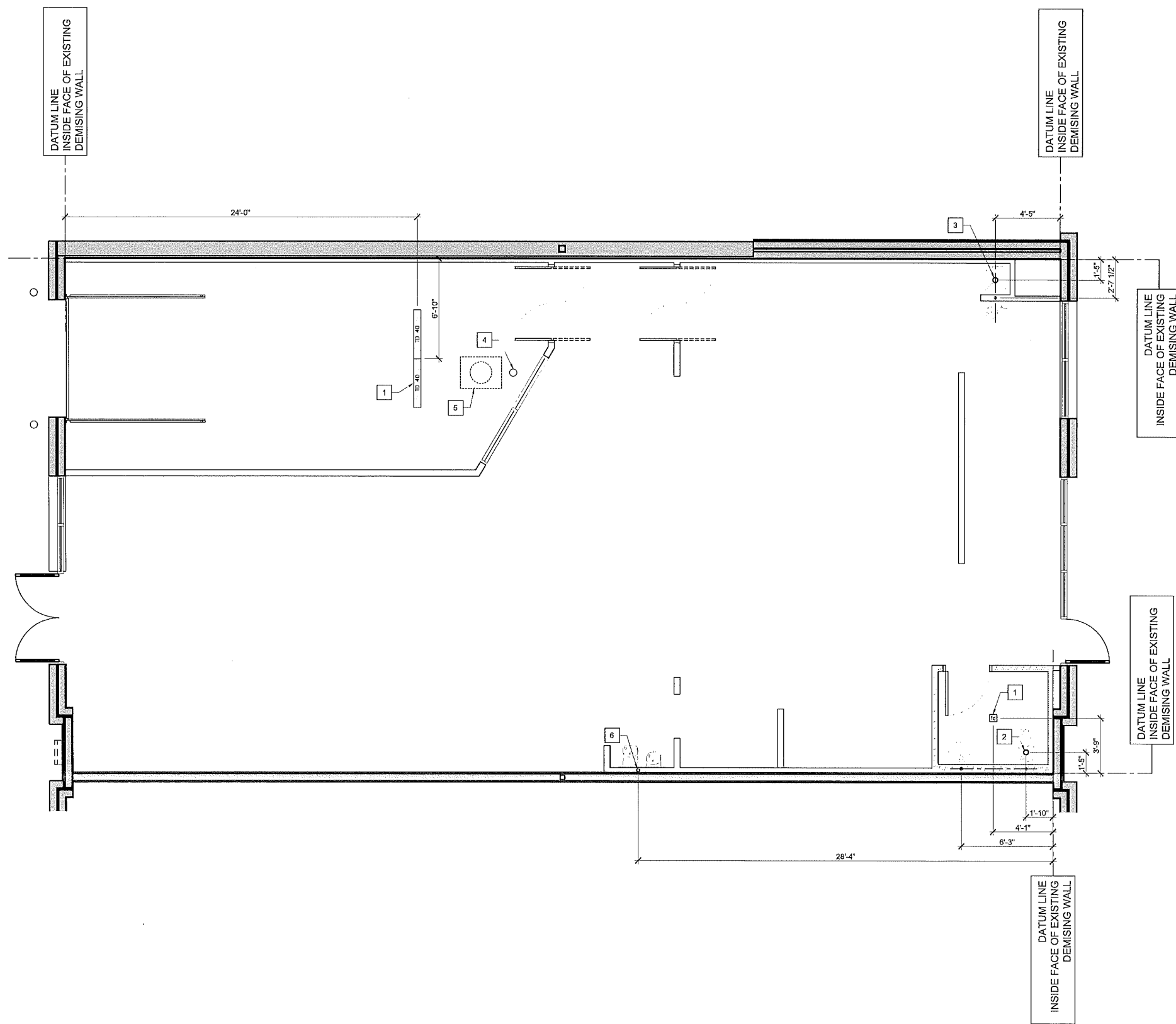
Consultant

No.	Issue	Date
2	ZONING REVIEW	11-1-2019
1	CLIENT REVIEW	7-31-2019
	PERMIT SET	6-7-2019

Seal
ZONING REVIEW

Store Number 19-107
 Approved
 Title
SPECIFICATIONS

Sheet
G1-06



KEYNOTES

- 1 FLOOR DRAIN - SLOPE FLOOR TO DRAIN FROM WALL TO DRAIN, SEE PLUMBING DWGS FOR MORE INFORMATION.
- 2 FLOOR PENETRATION FOR TOILET - SEE PLUMBING DWGS FOR MORE INFORMATION.
- 3 SANITARY FLOOR PENETRATION FOR MOP SINK - SEE PLUMBING DWGS FOR MORE INFORMATION.
- 4 NEW FLOOR CLEANOUT - SEE PLUMBING DWGS FOR MORE INFORMATION.
- 5 NEW BELOW-GRADE OIL INTERCEPTOR - SEE PLUMBING DWGS FOR MORE INFORMATION.
- 6 FLOOR PENETRATION FOR DRINKING FOUNTAIN - SEE PLUMBING DWGS FOR MORE INFORMATION.

LEGEND

- NEW PARTITIONS, REFER TO A2-11
- EXISTING PARTITIONS & EXTERIOR WALLS
- EXISTING CONCRETE SLAB
- NEW CONCRETE SLAB

GENERAL NOTES

- 1. CONTRACTOR TO FOLLOW ALL PORT OF SEATTLE REQUIREMENTS FOR ALL NEW PENETRATIONS. PORT OF SEATTLE TO APPROVE ALL PENETRATION LOCATIONS PRIOR TO STARTING WORK.

DIMENSION NOTES

- 1. DIMENSIONS ARE TO FACE OF EXISTING STOREFRONT FRAME; INSIDE FACE OF EXT. WALL & INSIDE FACE OF DEMISING WALL.
- 2. ALL INTERIOR DIMENSIONS ORIGINATE FROM ESTABLISHED DATUM LINES. ESTABLISH DATUM LINES PRIOR TO LOCATING WALLS, DRAINS, FIXTURES, ETC.

DEMOLITION NOTES

- 1. REFERENCE STANDARDS: ANSI A10.6 SAFETY REQUIREMENTS FOR DEMOLITION PUBLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE.
- 2. CEASE OPERATIONS AND IMMEDIATELY NOTIFY THE OWNER IF THE SAFETY OF EXISTING CONSTRUCTION APPEARS TO BE ENDANGERED AT ANY TIME. TAKE PRECAUTIONS TO SUPPORT SUCH ENDANGERED CONSTRUCTION AND DO NOT RESUME OPERATIONS UNTIL AUTHORIZED BY THE ARCHITECT.
- 3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE ADEQUACY AND INSTALLATION OF ALL TEMPORARY SHORING SYSTEMS USED DURING THE REMOVAL OF ALL STRUCTURAL ELEMENTS, EXCEPT, AS OTHERWISE AGREED BY THE BUILDING DEPT. AND THE ARCHITECT.
- 4. THE DRAWINGS DO NOT NECESSARILY INDICATE THE FULL EXTENT OF THE WORK REQUIRED TO BE PERFORMED. INSPECT THE EXISTING CONSTRUCTION CAREFULLY TO DETERMINE THE FULL EXTENT OF WORK TO BE PERFORMED AND THE PROBLEMS INVOLVED. NO EXTRA COMPENSATION WILL BE ALLOWED BECAUSE OF FAILURE TO ESTIMATE THE FULL EXTENT OF THE WORK OR FOR ANY CONTINGENCIES IN CONNECTION THEREWITH.
- 5. ALL WORK SHALL BE PERFORMED BY SKILLED AND PROPERLY EQUIPPED PERSONNEL. DEMOLITION AND REMOVAL OF ITEMS SCAFFOLD HIGH OR HIGHER SHALL BE LOWERED BY CONTROLLED METHODS, NOT BY THROWING OR DROPPING, PERFORM CUTTING AND STRIPPING SO THAT THE WORK TO REMAIN IS UNDAMAGED AND IN SUCH MANNER THAT THE NEW WORK CAN BE PROPERLY CONNECTED WITH IT.
- 6. DEMOLISH EXISTING CONSTRUCTION ONLY TO THE EXTENT NECESSARY FOR THE PROPER INSTALLATION OF NEW CONSTRUCTION AND JUNCTION WITH EXISTING WORK CUT BACK FINISHED SURFACES TO STRAIGHT, PLUMB AND LEVEL AS REQUIRED.
- 7. SAWING SHALL BE PERFORMED BY EXPERIENCED CRAFTSMEN CUSTOMARILY ENGAGED IN AND PROPERLY EQUIPPED FOR THE PERFORMANCE OF THE TYPE OF WORK REQUIRED BY JOB CONDITIONS. PROVIDE WET VACUUM EQUIPMENT AS REQUIRED FOR CONTROL OF WASTE COOLING WATER.
- 8. DRILLING AND INSTALLING SLEEVES FOR PASSAGE OF PIPING CONDUIT AND TUBING SHALL BE DONE BY THE TRADE INSTALLING THE PIPING, CONDUIT OR TUBING.
- 9. REPAIR, RESTORE, REPLACE OR MAKE GOOD DAMAGE TO EXISTING CONSTRUCTION WHICH OCCURS AS A RESULT OF DEMOLITION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- 10. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF DEMOLISHED MATERIALS WILL BE PERMITTED.
- 11. LEAVE ALL SPACES BROOM CLEAN WITH ALL LEDGES AND CORNERS PROPERLY CLEANED.
- 12. MECHANICAL, ELECTRICAL, PLUMBING: CAREFULLY REVIEW PLANS AND DETERMINE LINES TO BE REMOVED AND THOSE TO BE KEPT ACTIVE OR TO BE REACTIVATED. PROTECT LINES TO REMAIN. PROVIDE FOR MINIMUM SERVICE INTERRUPTION OF LINES TO REMAIN.
- 13. SAW CUT & PATCH CONCRETE FLOOR AS REQUIRED FOR ALL SANITARY CONNECTIONS.

Batteries + Bulbs

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Consultant		
No.	Issue	Date
2	ZONING REVIEW	11-1-2019
1	CLIENT REVIEW	7-31-2019
	PERMIT SET	6-7-2019

Seal
ZONING REVIEW
 Store Number 19-107
 Approved

Title
PENETRATION PLAN

Sheet
A1-01

LEGEND

- NEW PARTITIONS, REFER TO A2-11
- EXISTING PARTITIONS & EXTERIOR WALLS

BLOCKING NOTES

- PROVIDE FTWD BLOCKING (UON) AT THE FOLLOWING LOCATIONS:
1. ACCESSIBILITY REQUIREMENTS & GRAB BARS AT ALL RESTROOM LOCATIONS
 2. RESTROOM ACCESSORIES INCLUDING TOILET STALL PARTITIONS & BABY CHANGING TABLE
 3. MILLWORK LOCATIONS - TO BE 6" STRIPS
 4. CASEWORK AS REQUIRED BY THE MFR & FOR PROPER SUPPORT
 5. MANAGER'S DESK SHELVES
 6. LOCKERS
 7. HANDRAILS

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED PLYWOOD.

KEYNOTES

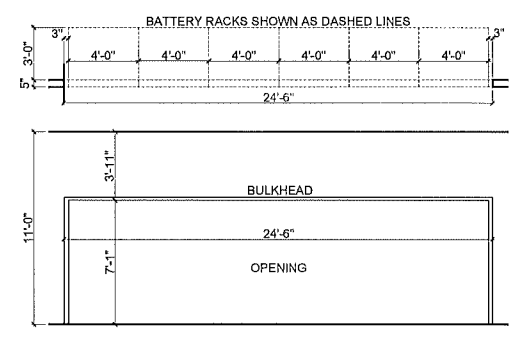
- # SEE DOOR SCHEDULE ON SHEET A3-01 FOR MORE INFORMATION
- #X SEE PARTITION SCHEDULE ON SHEET A3-02 FOR MORE INFORMATION
- 1 SERVICE COUNTER. SEE COUNTER DETAILS ON A3-01 FOR MORE INFORMATION.
- 2 34" HIGH ADA COUNTER
- 3 POWER POLE FOR SERVICE COUNTER. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 4 8' RETAIL SHELVING GONDOLA
- 5 DEVICE REPAIR
- 6 40 FT RETAIL WALL SHELVING GONDOLA
- 7 9 BATTERY RETAIL SHELF
- 8 KEYFOB STATION
- 9 12'-0" WIDE SLI GRAVITY RACKS WITH 3" CLEARANCE ON BOTH SIDES
- 10 BACK OFFICE DESK
- 11 CABINET
- 12 HEAVY DUTY STORAGE SHELVING
- 13 6' X 2' PREP AREA DESK
- 14 NEW 24"X24" MOP SINK TO REMAIN. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 15 NEW EYE WASH STATION. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 16 PALLET
- 17 NEW WATER HEATER ABOVE. SEE PLUMBING DRAWINGS AND DETAIL 1/A3-02 FOR MORE INFORMATION.
- 18 VCT FLOORING TO EXTEND INTO THE BACKROOM FOUR FEET UNDER THE SLI GRAVITY RACK BULKHEAD.
- 19 WELDER STATION
- 20 CUSTOMER WAITING TABLE
- 21 28 FT RETAIL WALL SHELVING GONDOLA
- 22 HOSE BIB
- 23 TRENCH DRAIN. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 24 BELOW-GROUND OIL INTERCEPTOR, SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 25 NEW ADA-COMPLIANT DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS FOR MORE INFORMATION AND 2/A3-01 FOR MOUNTING HEIGHTS.
- 26 NEW KNEE WALL DESK PARTITION

DIMENSION NOTES

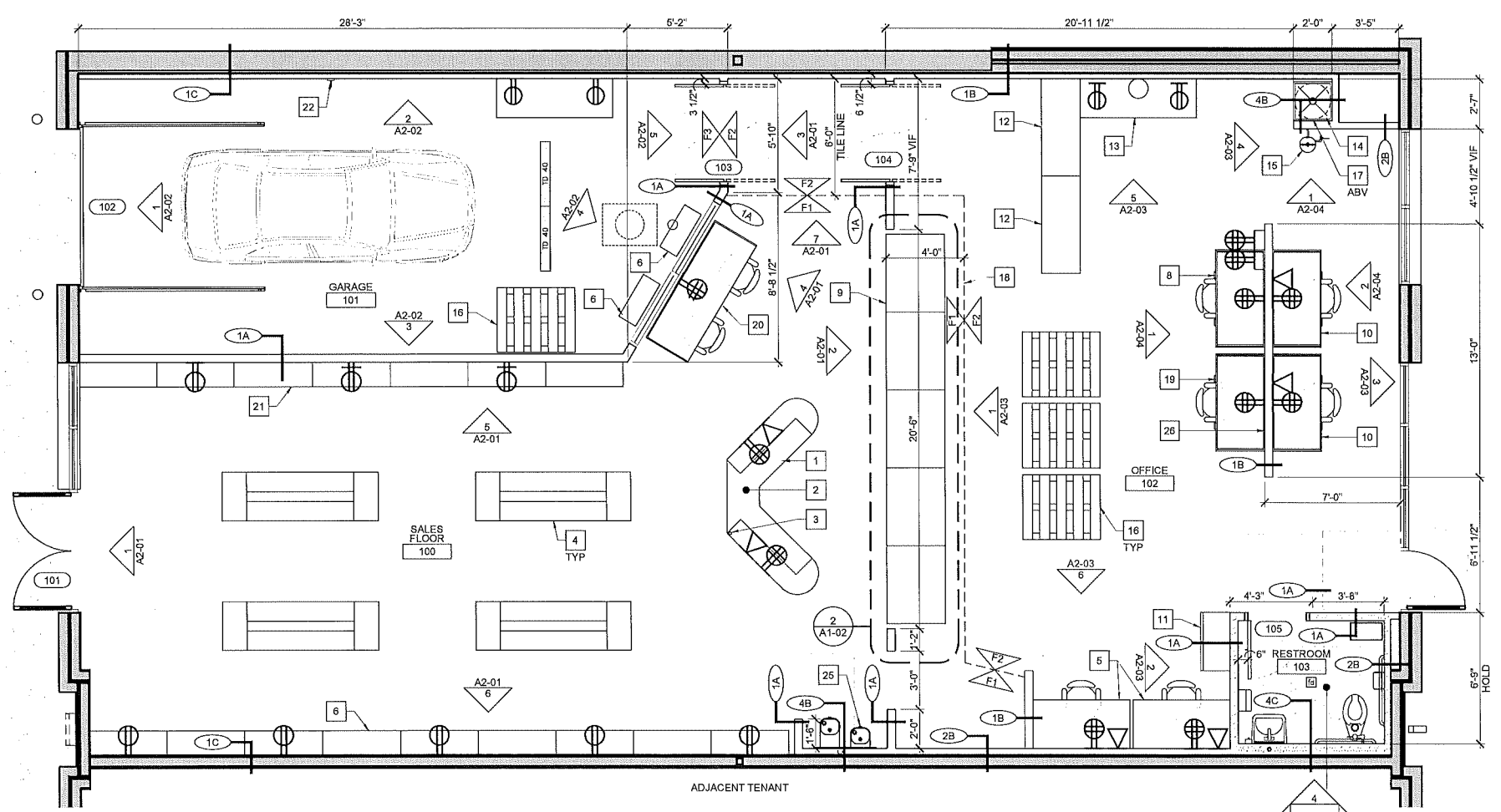
1. DIMENSIONS ARE TO FACE OF EXISTING STOREFRONT FRAME, FINISHED EXTERIOR WALL & FINISHED FACE OF DEMISING WALL
2. ALL INTERIOR DIMENSIONS ORIGINATE FROM ESTABLISHED DATUM LINES. ESTABLISH DATUM LINES PRIOR TO LOCATING WALLS, DRAINS, FIXTURES, ETC.

PLAN GENERAL NOTES

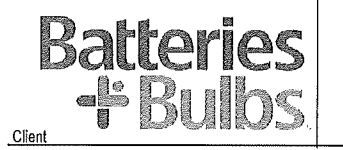
1. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
2. ALL FIRE RATED DOORS TO BE SELF-CLOSING.
3. ALL INTERIOR FINISHES TO BE CLASS A WITH FLAME SPREAD RATING OF 0-25, U.O.N.
4. SEE MECHANICAL DRAWINGS FOR LIGHT AND VENT SCHEDULES.
5. DO NOT FASTEN STUDS OR GYPSUM BD. TO TOP RUNNER OF NON-BEARING GYP.BD. PARTITIONS. CUT STUDS AND GYP.BD. 1/2" MAX. SHORT TO ALLOW FOR VERTICAL SLAB DEFLECTION.
6. ALL DIMENSIONS TO BE FINISHED SURFACE UNO.
7. GC TO COORDINATE ALL CEILING HEIGHTS WITH BUILDING SYSTEMS. OWNER TO APPROVE ALL CEILING HGTS. BEFORE INSTALLATION.
8. THE ARCHITECT WILL NEITHER HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES.
9. CONTRACTOR IS REQUIRED TO HANG THE OWNERS INTERIOR SIGN PACKAGE.
10. ALL GLAZED DOORS, ANY GLAZED PANEL ADJACENT TO ANY DOOR & ANY GLAZED PANEL WHICH MEETS ALL OF THE FOLLOWING CONDITIONS:
 1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 S.F.
 2. EXPOSED BOTTOM EDGE LESS THAN 18" A.F.F.
 3. EXPOSED TOP EDGE GREATER THAN 36" A.F.F.
 4. ONE OR MORE WALKING SURFACE(S) WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING, SHALL ALL BE TEMPERED.



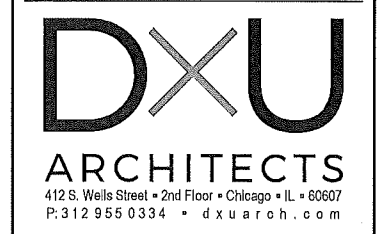
2 BATTERY RACK OPENING
3/16" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"



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1	CLIENT REVIEW	7-31-2019
	PERMIT SET	6-7-2019

Seal
ZONING REVIEW
 Store Number 19-107
 Approved
 Title
FLOOR PLAN

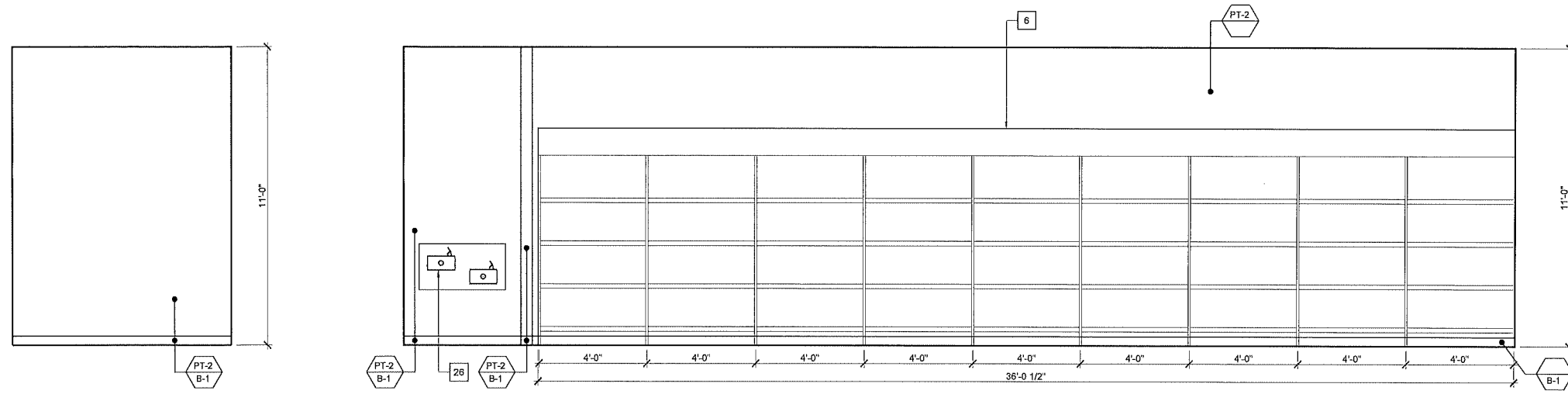
Sheet
A1-02

KEYNOTES

- 1 SERVICE COUNTER. SEE COUNTER DETAILS ON A3-01 FOR MORE INFORMATION.
- 2 34" HIGH ADA COUNTER
- 3 POWER POLE FOR SERVICE COUNTER. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 4 8' RETAIL SHELVING GONDOLA
- 5 DOCTOR DESK
- 6 36 FT RETAIL WALL SHELVING GONDOLA
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- 11 CABINET
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- 13 6' X 2' PREP AREA DESK
- 14 EXISTING 24"X24" MOP SINK
- 15 NEW EYE WASH STATION. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 16 CASED OPENING
- 17 PREP AREA EXHAUST FAN. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 18 NEW WATER HEATER ABOVE. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 19 EXISTING STOREFRONT
- 20 EXISTING GARAGE DOOR
- 21 CUSTOMER WAITING TABLE
- 22 PROVIDE BLOCKING IN WALL, GC TO CONFIRM LOCATION & SIZE WITH OWNER.
- 23 WELDER STATION
- 24 4'-0"H. KNEE WALL
- 25 WATER HEATER PLATFORM, SEE 1/A3-02 FOR MORE INFORMATION.
- 26 DRINKING FOUNTAIN, SEE 2/A3-01

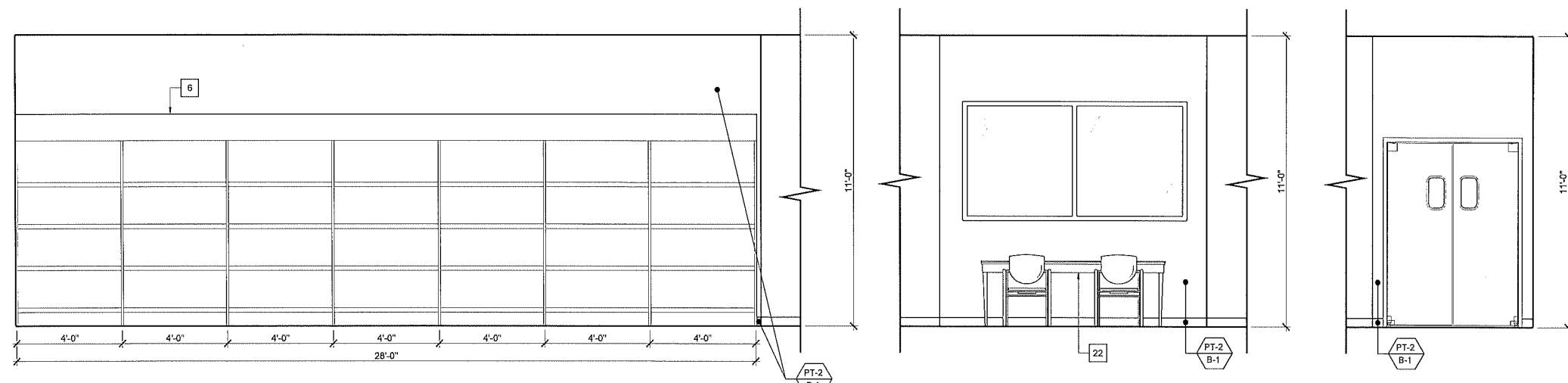
PAINT FINISH NOTES

1. SURFACE PREP: SURFACE SHALL BE CLEAN, DRY AND DULL BEFORE PAINTING.
2. FIRST COAT: SW PREPRITE 200 INTERIOR LATEX WALL PRIMER B28W200.
3. SECOND COAT: SW PROMAR 200 INTERIOR LATEX EGG SHELL B31W2251.
4. THIRD COAT: SW PROMAR 200 INTERIOR LATEX EGG SHELL B31W2251.
5. A FULL COAT OF PRIMER IS REQUIRED ON BARE SUBSTRATES ONLY. IF SURFACE HAS BEEN PREVIOUSLY PAINTED, IT IS ONLY NECESSARY TO SPOT PRIME THE BARE AREAS.



6 INTERIOR ELEVATION - SALES FLOOR
3/8"=1'-0"

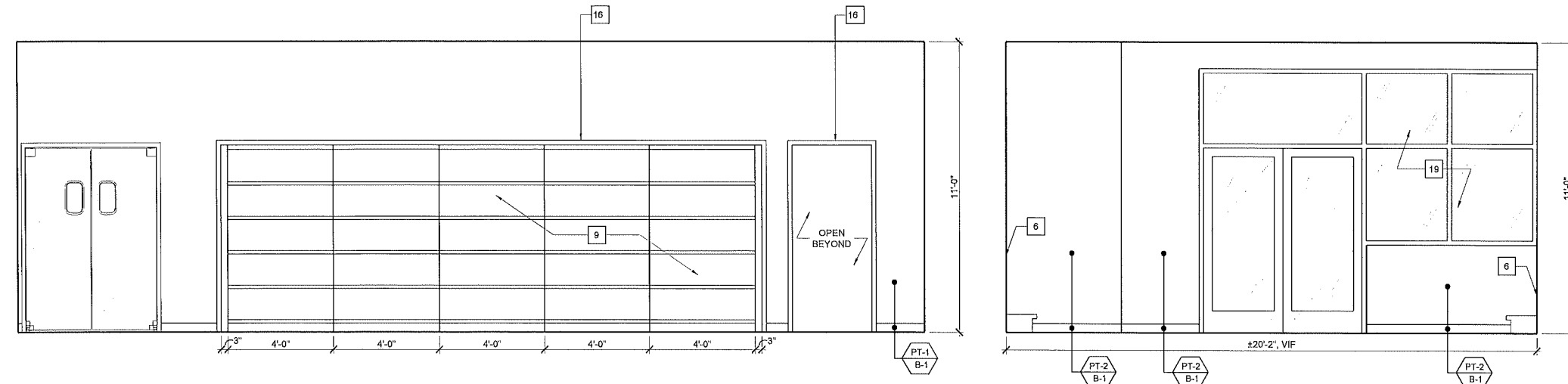
7 INT. ELEV. - SALES FLOOR
3/8"=1'-0"



5 INTERIOR ELEVATION - SALES FLOOR
3/8"=1'-0"

4 INT. ELEV. - SALES FLOOR
3/8"=1'-0"

3 INT. ELEV. - SALES
3/8"=1'-0"



2 INTERIOR ELEVATION - SALES FLOOR
3/8"=1'-0"

1 INTERIOR ELEVATION - SALES FLOOR
3/8"=1'-0"

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED PLYWOOD.

Batteries + Bulbs

Client
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MADISON, WI 53704

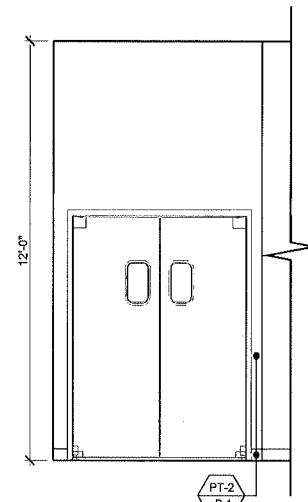
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Consultant		
No.	Issue	Date
2	ZONING REVIEW	11-1-2019
1	CLIENT REVIEW	7-31-2019
	PERMIT SET	8-7-2019

Seal
ZONING REVIEW
Store Number 19-107
Approved
Title
INTERIOR ELEVATIONS

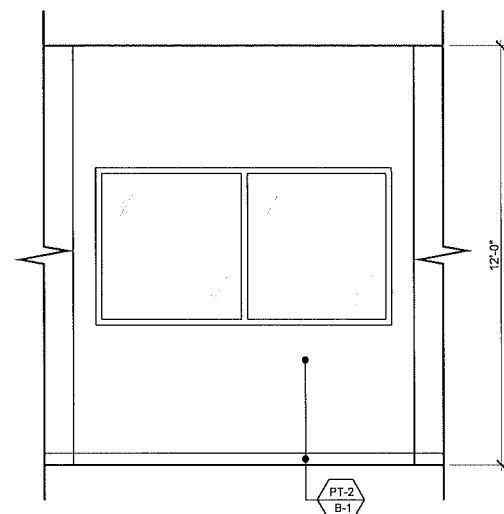
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A2-01



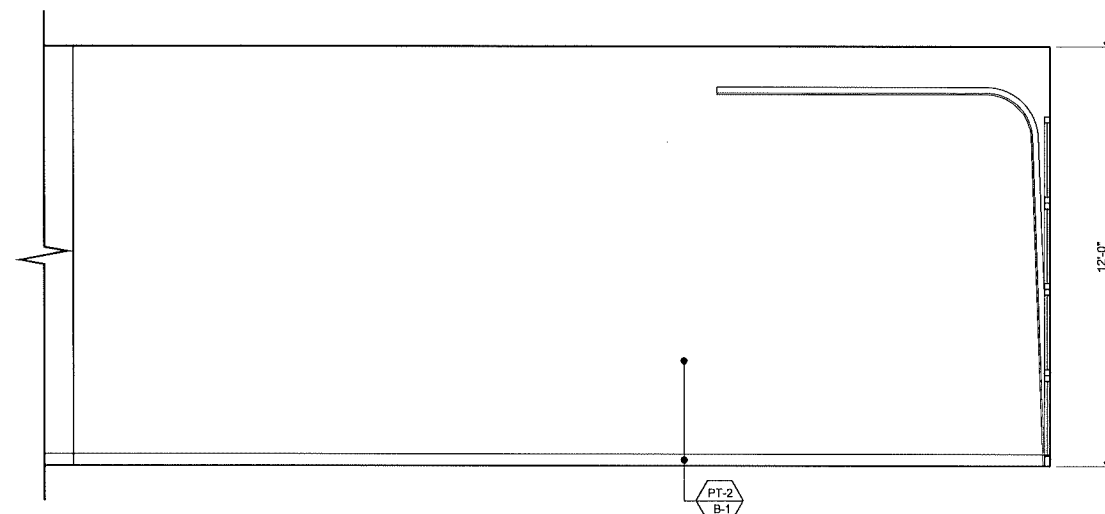
5 INT. ELEV. - GARAGE
3/8"=1'-0"

KEYNOTES

- 1 SERVICE COUNTER. SEE COUNTER DETAILS ON A3-01 FOR MORE INFORMATION.
- 2 34" HIGH ADA COUNTER
- 3 POWER POLE FOR SERVICE COUNTER. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
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- 6 36 FT RETAIL WALL SHELVING GONDOLA
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- 13 6' X 2' PREP AREA DESK
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- 16 CASIED OPENING
- 17 PREP AREA EXHAUST FAN. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
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- 21 CUSTOMER WAITING TABLE
- 22 PROVIDE BLOCKING IN WALL, GC TO CONFIRM LOCATION & SIZE WITH OWNER.
- 23 WELDER STATION
- 24 4'-0"H. KNEE WALL
- 25 WATER HEATER PLATFORM, SEE 1/A3-02 FOR MORE INFORMATION.
- 26 DRINKING FOUNTAIN, SEE 2/A3-01



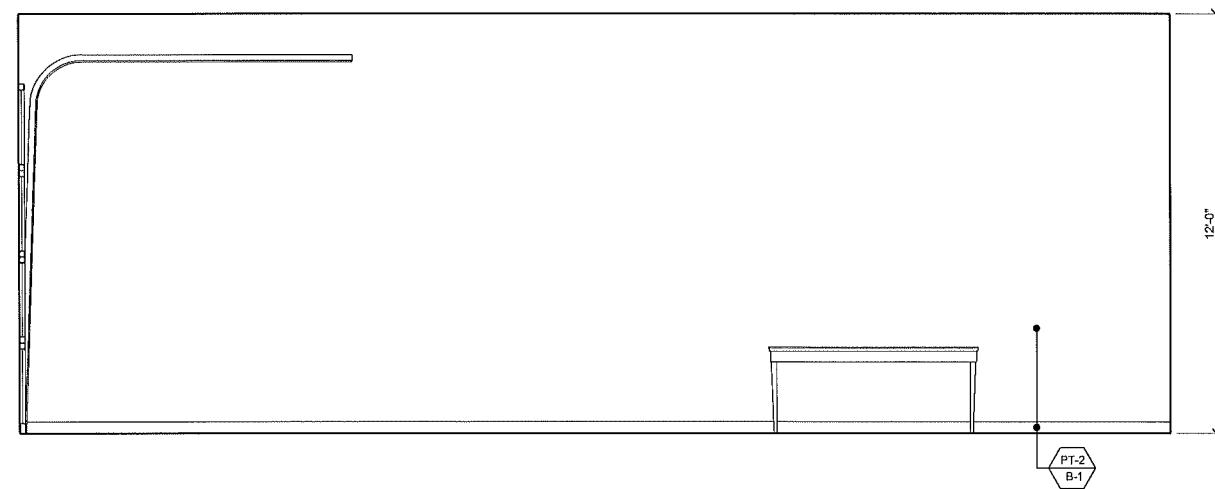
4 INT. ELEV. - GARAGE
3/8"=1'-0"



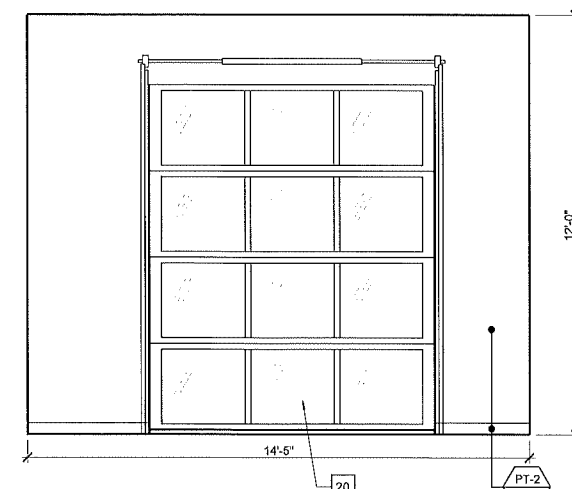
3 INTERIOR ELEVATION - GARAGE
3/8"=1'-0"

PAINT FINISH NOTES

1. SURFACE PREP: SURFACE SHALL BE CLEAN, DRY AND DULL BEFORE PAINTING.
2. FIRST COAT: SW PREPRITE 200 INTERIOR LATEX WALL PRIMER B28W200.
3. SECOND COAT: SW PROMAR 200 INTERIOR LATEX EGG SHELL B31W2251.
4. THIRD COAT: SW PROMAR 200 INTERIOR LATEX EGG SHELL B31W2251.
5. A FULL COAT OF PRIMER IS REQUIRED ON BARE SUBSTRATES ONLY. IF SURFACE HAS BEEN PREVIOUSLY PAINTED, IT IS ONLY NECESSARY TO SPOT PRIME THE BARE AREAS.



2 INTERIOR ELEVATION - GARAGE
3/8"=1'-0"



1 INTERIOR ELEVATION - GARAGE
3/8"=1'-0"

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED PLYWOOD.

Batteries + Bulbs

Client

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Seal

ZONING REVIEW

Store Number 19-107

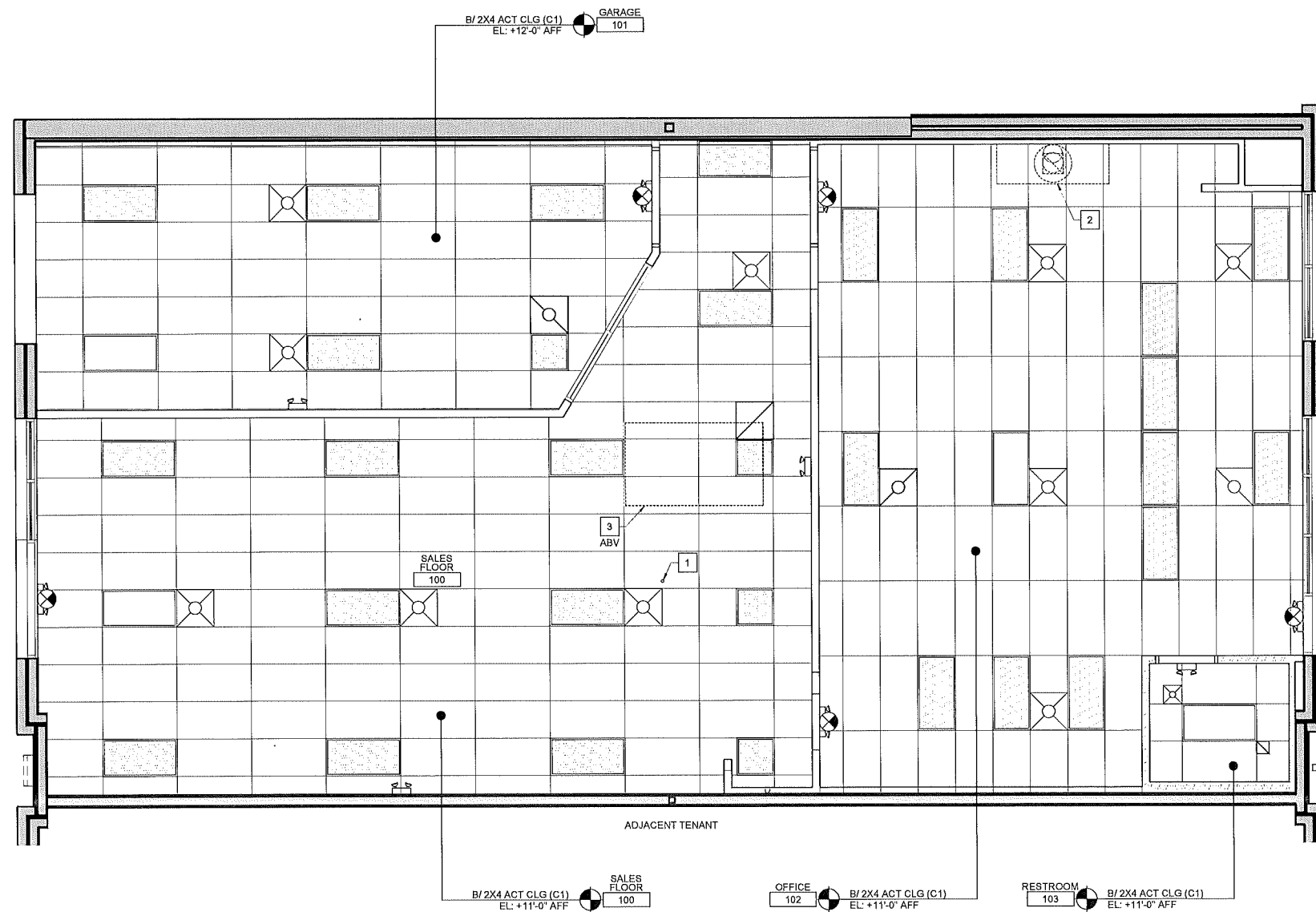
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Title

INTERIOR ELEVATIONS

Sheet

A2-02



KEYNOTES

- # SEE DOOR SCHEDULE ON SHEET A9-01 FOR MORE INFORMATION
- #X SEE PARTITION SCHEDULE ON SHEETS A6-30 & A6-31 FOR MORE INFORMATION
- 1 POWER POLE FOR SERVICE COUNTER. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 2 PREP AREA EXHAUST FAN. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 3 EXISTING RTU ABOVE. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.

LEGEND

- NEW PARTITIONS, REFER TO A2-11
- EXISTING PARTITIONS & EXTERIOR WALLS
- EXIT / EMERGENCY LIGHT
- EMERGENCY LIGHT - SEE LIGHTING FIXTURE SCHEDULE
- EXIT SIGN/EMERGENCY LIGHT - SEE LIGHTING FIXTURE SCHEDULE
- 2X4 LED FIXTURES SUPPLIED BY BATTERIES PLUS, LLC
- 2X2 ACT CEILING
- SUPPLY AIR DIFFUSER - SEE MECHANICAL PLANS FOR MORE INFORMATION
- RETURN AIR GRILLE - SEE MECHANICAL PLANS FOR MORE INFORMATION

DIMENSION NOTES

1. DIMENSIONS ARE TO FACE OF EXISTING STOREFRONT FRAME, FINISHED EXTERIOR WALL & FINISHED FACE OF DEMISING WALL
2. ALL INTERIOR DIMENSIONS ORIGINATE FROM ESTABLISHED DATUM LINES. ESTABLISH DATUM LINES PRIOR TO LOCATING WALLS, DRAINS, FIXTURES, ETC.

PLAN GENERAL NOTES

1. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
2. ALL FIRE RATED DOORS TO BE SELF-CLOSING.
3. ALL INTERIOR FINISHES TO BE CLASS A WITH FLAME SPREAD RATING OF 0-25, U.O.N.
4. SEE MECHANICAL DRAWINGS FOR LIGHT AND VENT SCHEDULES.
5. DO NOT FASTEN STUDS OR GYPSUM BD. TO TOP RUNNER OF NON-BEARING GYP.BD. PARTITIONS. CUT STUDS AND GYP.BD. 1/2" MAX. SHORT TO ALLOW FOR VERTICAL SLAB DEFLECTION.
6. ALL DIMENSIONS TO BE FINISHED SURFACE UNO.
7. GC TO COORDINATE ALL CEILING HEIGHTS WITH BUILDING SYSTEMS. OWNER TO APPROVE ALL CEILING HGTS. BEFORE INSTALLATION.
8. THE ARCHITECT WILL NEITHER HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES.
9. CONTRACTOR IS REQUIRED TO HANG THE OWNERS INTERIOR SIGN PACKAGE.
10. ALL GLAZED DOORS, ANY GLAZED PANEL ADJACENT TO ANY DOOR & ANY GLAZED PANEL WHICH MEETS ALL OF THE FOLLOWING CONDITIONS:
 1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 S.F.
 2. EXPOSED BOTTOM EDGE LESS THAN 18" A.F.F.
 3. EXPOSED TOP EDGE GREATER THAN 36" A.F.F.
 4. ONE OR MORE WALKING SURFACE(S) WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING, SHALL ALL BE TEMPERED.

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED PLYWOOD.

1 REFLECTED CEILING PLAN
1/4" = 1'-0"

Batteries + Bulbs

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Store Number 19-107

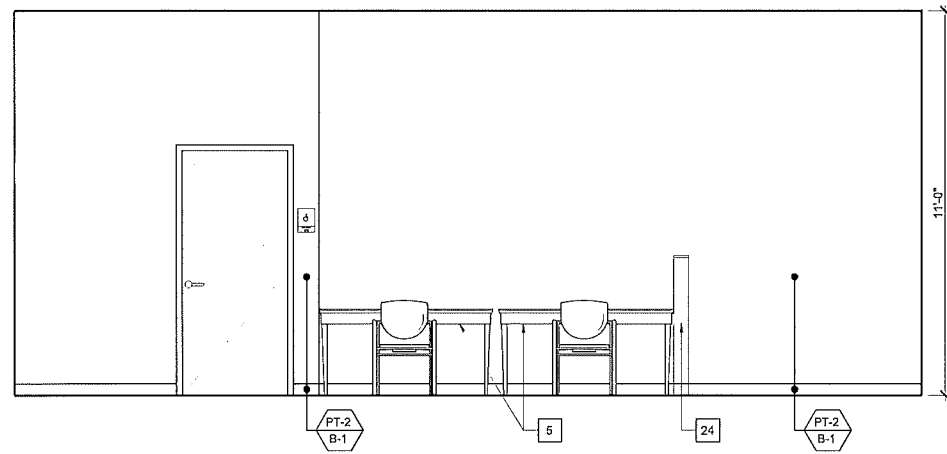
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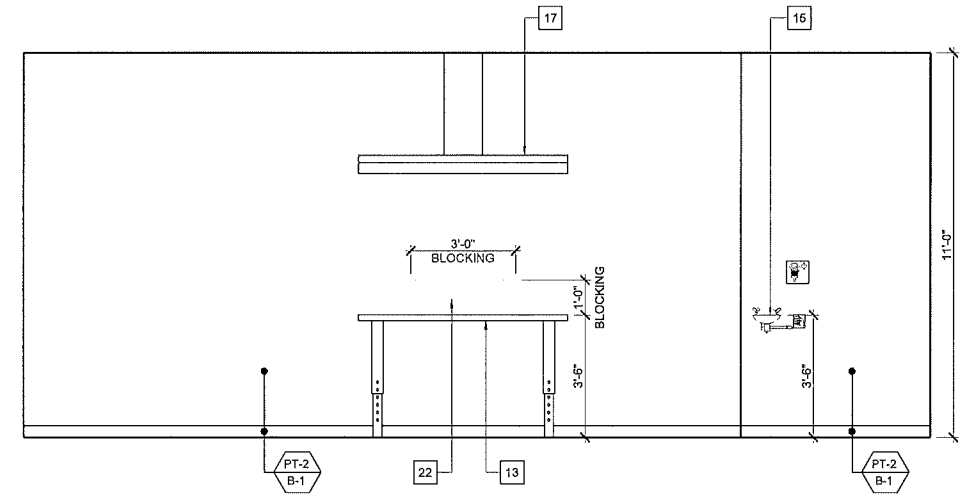
REFLECTED CEILING PLAN

Sheet

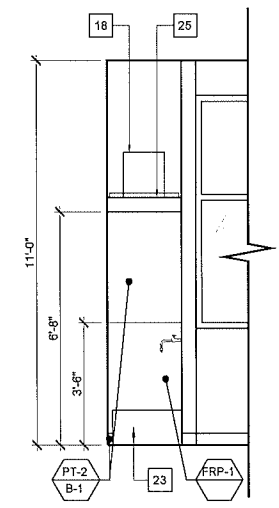
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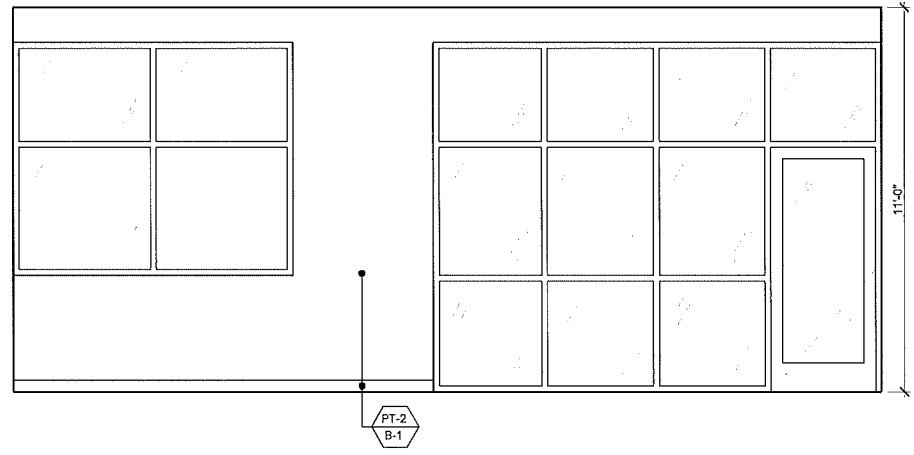
6 INTERIOR ELEVATION - OFFICE
3/8"=1'-0"



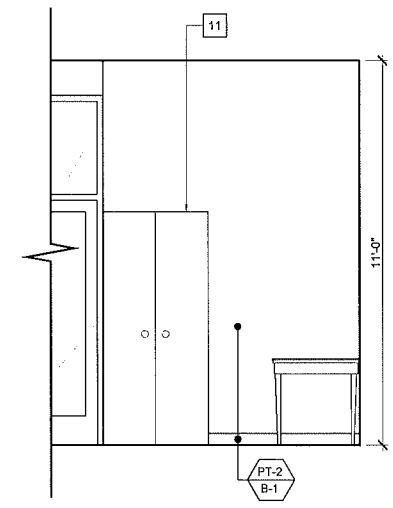
5 INTERIOR ELEVATION - OFFICE
3/8"=1'-0"



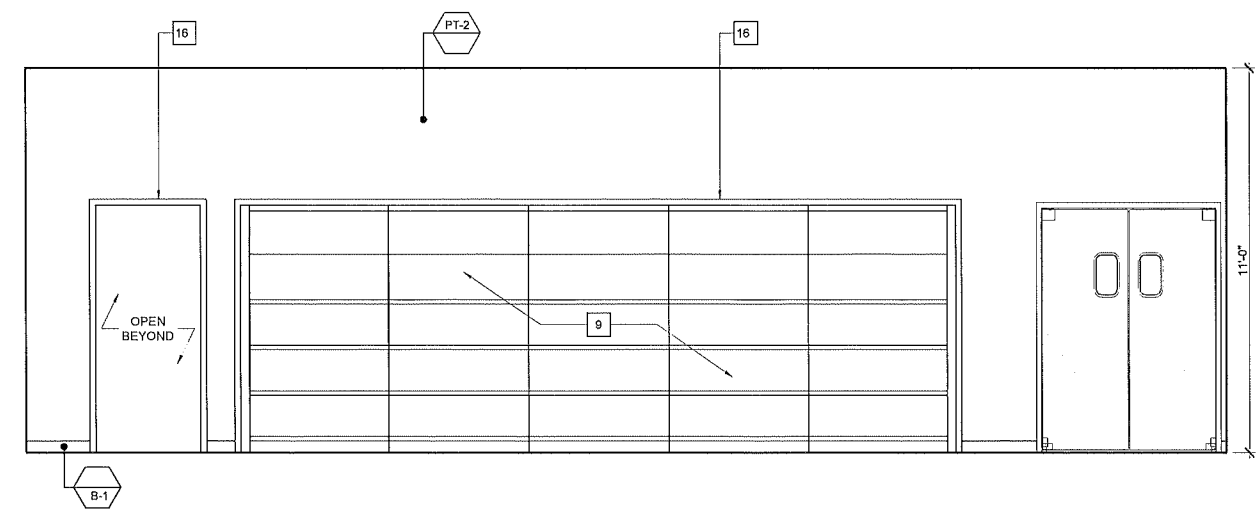
4 INT ELEV - OFFICE
3/8"=1'-0"



3 INTERIOR ELEVATION - OFFICE
3/8"=1'-0"



2 INT ELEV - OFFICE
3/8"=1'-0"



1 INTERIOR ELEVATION - OFFICE
3/8"=1'-0"

KEYNOTES

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PAINT FINISH NOTES

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A2-03

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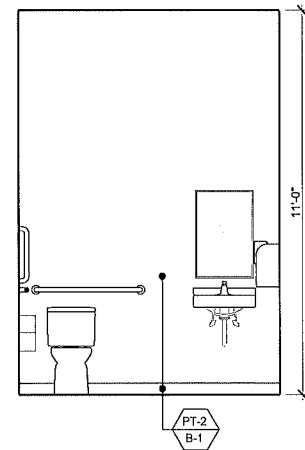
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KEYNOTES

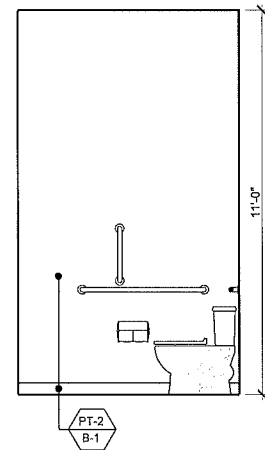
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PAINT FINISH NOTES

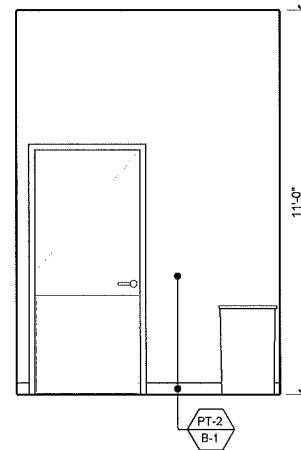
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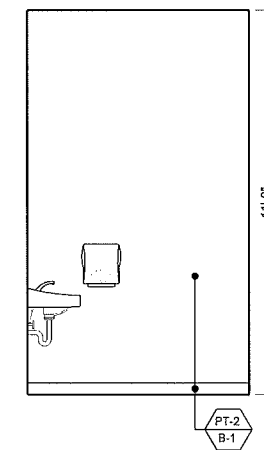
6 INT. ELEV. - RESTROOM
3/8"=1'-0"



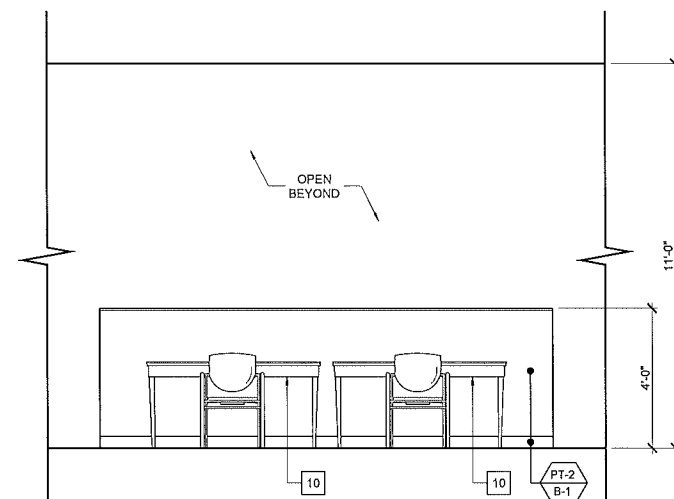
5 INT. ELEV. - RESTROOM
3/8"=1'-0"



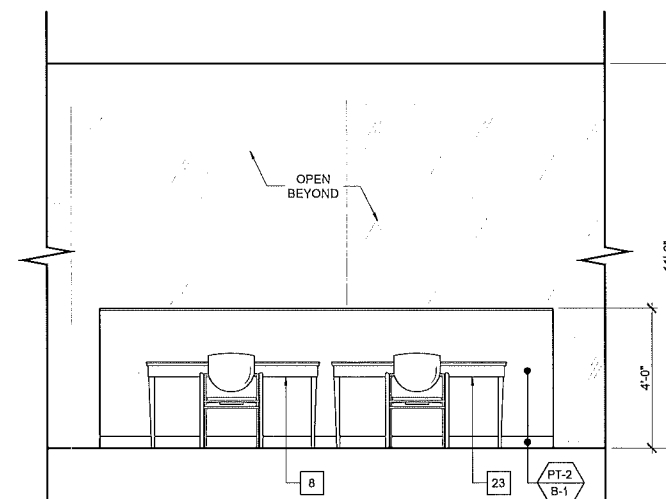
4 INT. ELEV. - RESTROOM
3/8"=1'-0"



3 INT. ELEV. - RESTROOM
3/8"=1'-0"



2 INTERIOR ELEVATION - OFFICE
3/8"=1'-0"

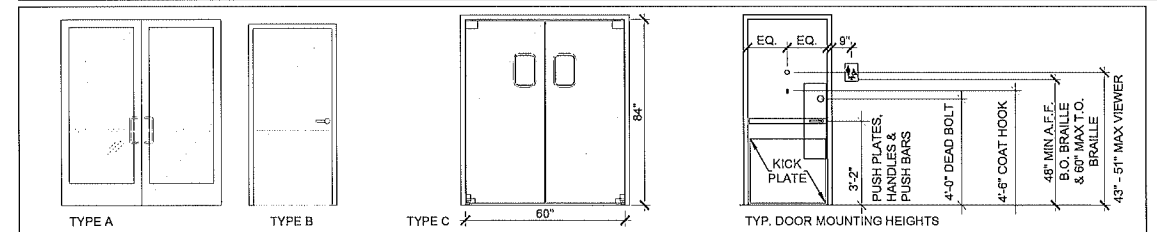


1 INTERIOR ELEVATION - OFFICE
3/8"=1'-0"

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED PLYWOOD.

DOOR SCHEDULE					
MARK	DESCRIPTION	TYPE	REMARKS	FINISH	HARDWARE & ACCESSORIES
101	ENTRY & EXIT	A	EXISTING 6'-0" x 7'-0" STOREFRONT DOOR TO REMAIN	PUSH: EXISTING PULL: EXISTING	SCHALGE IC PRIMUS LARGE FORMAT CORES. CORES AND KEYS WILL BE PROVIDED BY TENANT. DOOR TO HAVE THE VERBIAGE ATTACHED MEETING SECTION 1010.1.9.3 #2.1-2.2. DOOR SHALL NOT HAVE ANY LOCKS OR LATCH DEVICES ATTACHED THAT CAN NOT BE OVERRIDDEN UPON EGRESS.
102	GARAGE	D	EXISTING OVERHEAD DOOR	EXISTING	EXISTING
103	GARAGE / SALES FLOOR	C	ELIASON - LWP-3L DOOR (DOUBLE LEAF) EASY SWING HIGH IMPACT DOUBLE ACTION TRAFFIC DOORS. SALES DEPARTMENT 800-828-3655 (2-3 WEEK PRODUCTION LEAD TIME)	PUSH: SST DOOR & FRAME PULL: SST DOOR & FRAME	AS FURNISHED BY ELIASON ALL HARDWARE AND ACCESSORIES STAINLESS STEEL DOOR FRAME PROVIDED BY ELIASON
104	SALES FLOOR / BACKROOM	C	ELIASON - LWP-3L DOOR (DOUBLE LEAF) EASY SWING HIGH IMPACT DOUBLE ACTION TRAFFIC DOORS. SALES DEPARTMENT 800-828-3655 (2-3 WEEK PRODUCTION LEAD TIME)	PUSH: SST DOOR & FRAME PULL: SST DOOR & FRAME	AS FURNISHED BY ELIASON ALL HARDWARE AND ACCESSORIES STAINLESS STEEL DOOR FRAME PROVIDED BY ELIASON
105	RESTROOM	B	0'-1 3/4" X 3'-0" X 7'-0" HOLLOW METAL DOOR, 2" HOLLOW METAL FRAME	PUSH: SST DOOR & FRAME PULL: SST DOOR & FRAME	SCHLAGE, ND SERIES, RHODES (RHO), BATH/BEDROOM PRIVACY LOCK (ND40S), 626 SATIN CHROMIUM PLATED, 1 1/2 PAIR BUTT HINGES, LCN 4000 SERIES ADA COMPLIANT HEAVY DUTY CLOSER, 34" X 34" DIAMOND PLATE KICK PLATE (BOTH SIDES), FLOOR STOP.
106	REAR HALL	B	0'-1 3/4" X 3'-0" X 7'-0" HOLLOW METAL DOOR, 2" HOLLOW METAL FRAME	PUSH: SST DOOR & FRAME PULL: SST DOOR & FRAME	SCHALGE IC PRIMUS LARGE FORMAT CORES. CORES AND KEYS WILL BE PROVIDED BY TENANT. PANIC BAR: DETEX MODEL V40, 711 FINISH, V.I.F. DOOR WIDTH, 08-BN-889 OUTSIDE LEVER TRIM, US28D CYLINDER, 34" X 34" DIAMOND PLATE KICK PLATE (BOTH SIDES), CLOSER, SELF-CLOSING, SWEEP, IVES U698-180 PEEP HOLE & BUZZER.
107	DISPLAY	B	0'-1 3/4" X 3'-0" X 7'-0" HOLLOW METAL DOOR, 2" HOLLOW METAL FRAME	PUSH: SST DOOR & FRAME PULL: SST DOOR & FRAME	SCHALGE IC PRIMUS LARGE FORMAT CORES. CORES AND KEYS WILL BE PROVIDED BY TENANT
108	REAR ENTRY & EXIT	B	EXISTING 3'-0" x 7'-0" DOOR TO REMAIN	PUSH: EXISTING PULL: EXISTING	SCHALGE IC PRIMUS LARGE FORMAT CORES. CORES AND KEYS WILL BE PROVIDED BY TENANT. PANIC BAR: DETEX MODEL V40, 711 FINISH, V.I.F. DOOR WIDTH, 08-BN-889 OUTSIDE LEVER TRIM, US28D CYLINDER, 34" X 34" DIAMOND PLATE KICK PLATE (INTERIOR SIDE), CLOSER, SELF-CLOSING, SWEEP, IVES U698-180 PEEP HOLE & BUZZER.

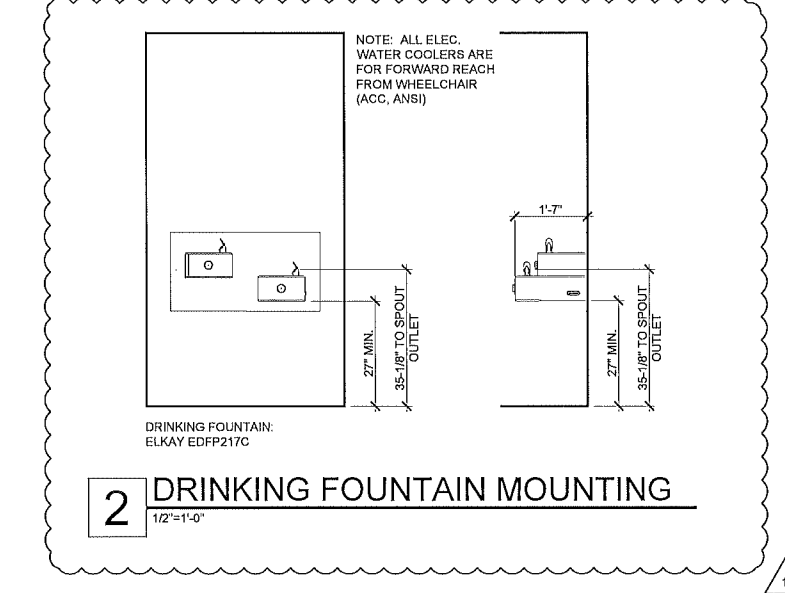
NOTE:
 - ALL DOOR HARDWARE AND ACCESSORIES FINISHES SHALL MATCH EXISTING U.N.O.
 - ALL HINGES TO BE BEARING TYPE. ALL HARDWARE TO BE LEVERS, HAVING AN OBVIOUS METHOD OF OPERATION UNDER ALL LIGHTING CONDITIONS. THE RELEASING MECHANISM SHALL OPEN THE DOOR WITH NOT MORE THAN ONE RELEASING OPERATION, PER NFPA 101 7.2.1.5.9.2
 - ANY DOOR IN A REQUIRED MEANS OF EGRESS FROM AN AREA HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS SHALL BE PERMITTED TO BE PROVIDED WITH A LATCH OR LOCK ONLY IF THE LATCH OR LOCK IS PANIC HARDWARE OR FIRE EXIT HARDWARE PER NFPA 101 12.2.2.3. PANIC HARDWARE SHALL CONTAIN A MINIMUM OF TWO (2) LOCKING POINTS ON EACH DOOR, ONE LOCATED AT THE HEADER, THE OTHER AT THE THRESHOLD OF THE DOOR. ON SINGLE DOORS, PANIC HARDWARE MAY HAVE ONE LOCKING POINT WHICH IS NOT LOCATED AT EITHER THE TOP OR BOTTOM RAILS OF THE DOOR FRAME, THE DOOR SHALL HAVE AN ASTRAGAL CONSTRUCTED OF STEEL 0.125" THICK WHICH SHALL BE ATTACHED WITH NON-REMOVEABLE BOLTS TO THE OUTSIDE OF THE DOOR. THE ASTRAGAL SHALL EXTEND A MINIMUM OF SIX (6) INCHES VERTICALLY ABOVE AND BELOW THE LATCH OF THE PANIC HARDWARE. THE ASTRAGAL SHALL BE A MINIMUM OF TWO (2) INCHES WIDE AND EXTEND A MINIMUM OF ONE INCH (1) BEYOND THE EDGE OF THE DOOR TO WHICH IT IS ATTACHED. DOUBLE DOORS CONTAINING PANIC HARDWARE SHALL HAVE A FULL ASTRAGAL CONSTRUCTED OF STEEL, ATTACHED TO THE DOORS AT THEIR MEETING POINT WHICH WILL CLOSE THE OPENING BETWEEN THEM, BUT NOT INTERFERE WITH THE OPERATION OF EITHER DOOR.
 - DOOR LOCKING BAR - VON DUPRE IN MORTISE LOCK DEVICE, 9975-NL-03-3-US32D, ALARM - THE MONITOR, MODEL 4000AKS WITH STROBE AND BEST LOCK CYLINDER
 - SALES COUNTER PROVIDED BY TENANT



1 DOOR AND FINISH SCHEDULES

PAINT SCHEDULE							
FINISH	DESCRIPTION	FINISH NO.	MFR	MFR NO.	COLOR	FINISH	REMARKS
PAINT	BACK AND FRONT WALLS (SALES FLOOR)	PT-1	SHERWIN WILLIAMS	SW 7019	GAUNTLET GRAY	EGG SHELL	FIRST COAT: SW PREPRITE 200 INTERIOR LATEX WALL PRIMER B28V200. SECOND COAT: SW 7019 SEMI-GLOSS
PAINT	LEFT AND RIGHT WALLS (SALES FLOOR), BACK ROOM WALLS	PT-2	SHERWIN WILLIAMS	SW 7015	REPOSE GRAY	EGG SHELL	ALL SIDE WALLS AND BACKROOM

FINISH SCHEDULE							
FINISH	DESCRIPTION	FINISH NO.	MFR	MFR NO.	COLOR	TYPE	REMARKS
BASE	COVE VINYL	B-1	ARMSTRONG	TBD	BLACK	COVE	SALES FLOOR - BACKROOM
CEILING	CEILING TILE	C-1	ARMSTRONG	CORTEGA SECOND LOOK II	WHITE	REC. LAY-IN 2' x 4' x 5/8"	PRELUDE ML 1/2" EXPOSED TEE, 7301 & ML7323 (WHITE), SALES FLOOR - BACKROOM
FLOOR	CERAMIC TILE	F-1	FLOOR & DECOR	RONNE GRIS WOOD PLANK CERAMIC TILE	GRAY	8" x 24"	LAI IN 1/3 BRICK (CAVENDISH) PATTERN, RUNNING PARALLEL TO SIDE WALLS. CERAMIC TILE SHOULD EXTEND INTO THE BACKROOM 4 FEET UNDER THE SLI GRAVITY RACK BULKHEAD FOR THE 3FT DEEP RACK.
	EXISTING POLISHED CONCRETE	F-2	-	-	-	-	THE BACKROOM AREA IS VOID OF FLOOR COVERINGS AND BOUND WITH STANDARD CONCRETE SEALER BACKROOM SEALER PRODUCT OPTIONS: - H&C SEALER #107-1547, SHERWIN WILLIAMS SEAL KRETE #151-1625
	EPOXY FLOORING	F-3	ARMOR GARAGE	-	LIGHT GRAY	-	-
WALLS	EXISTING 4 PERIMETER WALLS	W-1	-	-	-	-	TENANT PATCH AND PAINT AREA
	WALL BETWEEN SALES FLOOR AND BACKROOM	W-2	-	-	-	-	SEE PARTITION SCHEDULE
	EXISTING TO REMAIN	W-3	-	-	-	-	RESTROOM
	FRP	FRP-1	-	-	-	-	AT MOP SINK UP TO 42" A.F.F.



2 DRINKING FOUNTAIN MOUNTING

Batteries + Bulbs

Client

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MADISON EAST, WI
 4706 E. WASHINGTON AVE
 MADISON, WI 53704

Project

DXU
 ARCHITECTS
 412 S. Wells Street • 2nd Floor • Chicago • IL • 60607
 P: 312 955 0334 • dxuarch.com

Architect of Record

Consultant

No.	Issue	Date
2	ZONING REVIEW	11-1-2019
1	CLIENT REVIEW	7-31-2019
	PERMIT SET	8-7-2019

Seal

ZONING REVIEW

Store Number 19-107

Approved

Title

SCHEDULES & COUNTER DETAILS

Sheet

A3-01

GENERAL PARTITION NOTES

- PARTITIONS ARE INDICATED ON FLOOR PLANS BY GRAPHIC DESIGNATION AND/OR TYPE SYMBOL - REFER TO PARTITION LEGEND.
- LINE OF STRUCTURE INDICATED FOR EACH PARTITION IS DIAGRAMMATIC ONLY AND DOES NOT INDICATE EXACT CONSTRUCTION CONDITIONS OR GEOMETRY - VERIFY EXISTING CONDITIONS IN FIELD.
- DO NOT FASTEN PARTITION STUDS AND GYPSUM BOARD TO METAL CEILING RUNNER, TO ALLOW FOR STRUCTURAL DEFLECTION.
- PROVIDE BRACING WHERE PARTITION HEIGHT EXCEEDS MANUFACTURER'S ALLOWABLE HEIGHT. DO NOT BRACE TO DUCTWORK OR OTHER SUCH COMPONENTS VERIFY ALLOWABLE HEIGHT PSF REQUIREMENTS WITH LOCAL CODE AUTHORITIES.
- THE FIRE RATINGS AND STC RATINGS NOTED FOR THE GYPSUM BOARD PARTITION ASSEMBLIES SHOWN ARE COPIED AND TRANSCRIBED HERE FOR CONVENIENCE ONLY FROM THE UNDERWRITERS LABORATORY DIRECTORY AND THE UNITED STATES GYPSUM CATALOG.
- WALL ASSEMBLIES AND PARTITIONS THAT RECEIVE FIRE RESISTIVE RATINGS SHALL BE CONSTRUCTED PER TESTED ASSEMBLIES MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF ALL APPLICABLE CODES AND LOCAL GOVERNING AUTHORITIES.
- PENETRATIONS OR PRODUCTS FOR USE IN SPECIFIC FIRE RATED PARTITION ASSEMBLIES SHALL BE BASED ON SUCCESSFUL PERFORMANCE IN FIRE TESTS. THESE PENETRATIONS MAY INCLUDE BUT ARE NOT LIMITED TO ITEMS SUCH AS PIPING, CONDUIT, OR HVAC DUCTWORK.
- EACH PARTITION SHOWN ON THE DRAWINGS TO BE A FIRE AND/OR SMOKE RESISTANT PARTITION SHALL BE IDENTIFIED AS SUCH WITH A LABEL ABOVE THE CEILING ON EACH SEGMENT OF THE WALL, 8'-0" O.C.
- FIRE AND/OR SMOKE RESISTANT RATINGS ARE TO CONTINUE ABOVE ALL OPENINGS IN RATED PARTITIONS.
- ELECTRICAL RECEPTACLES SHALL NOT BE LOCATED IN FIRE RATED PARTITIONS IN EXCESS OF TWO HOURS.
- THE SURFACE AREA OF INDIVIDUAL METALLIC OUTLET OR SWITCH BOXES SHALL NOT EXCEED 16 SQ. IN. THE AGGREGATE SURFACE AREA OF BOXES SHALL NOT EXCEED 100 SQ. IN. PER 100 SQ. FT. OF WALL AREA. A HORIZONTAL DISTANCE OF 24 IN. SHALL SEPARATE BOXES LOCATED ON OPPOSITE SIDES OF PARTITIONS.
- BOXES LOCATED IN CORRIDOR AND UNIT DEMISING PARTITIONS SHALL BE TREATED WITH ACOUSTICAL SEALANT AROUND PERIMETER AND BEHIND EACH BOX (FULL CLOSURE BED). IN ADDITION, OUTLET AND JUNCTION BOXES SHALL BE SEPARATED BY INSTALLING A METAL STUD BETWEEN THEM IN THE PARTITION.
- COMPLETELY SEAL WITH CONTINUOUS ACOUSTICAL SEALANT ALL PARTITION HEADS, BASES, AND ENDS, PLUS SEAL ALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL AND PLUMBING WORK.
- SOUND ATTENUATION BLANKETS ARE TO BE INSTALLED IN ALL PARTITIONS SEPARATING PUBLIC FROM PRIVATE AREAS AND WHERE NOISE CAN BE TRANSMITTED (RESTROOMS) EXTEND BLANKETS FULL HEIGHT OF PARTITION UP TO BOTTOM OF STRUCTURE, INSTALLED IN TIGHT, COMPRESSION FIT TO STUDS, STRUCTURE AND ADJACENT SURFACES.
- FINAL LOCATION AND PLACEMENT OF MEPFP ITEMS (BOTH HORIZONTAL AND VERTICAL) SHALL BE COORDINATED SUCH THAT THEY DO NOT TOUCH STUD PARTITION ASSEMBLIES AND CREATE AN ACOUSTICAL PROBLEM SUCH AS VIBRATION, IMPACT NOISE, ETC.
- PROVIDE FIRE RETARDANT WOOD BLOCKING IN METAL STUD PARTITIONS AS REQUIRED FOR SUPPORT AND/OR INSTALLATION OF DOOR FRAMES, MOLDINGS, MILLWORK, WALL PANELS, HANDRAILS, GRAB BARS, AND/OR PARTITIONS WHICH CONTAIN PLUMBING FIXTURES (SUCH AS WET WALLS AND WALLS ADJACENT TO AND BEHIND PLUMBING FIXTURES) U.N.O.
- CEMENTITIOUS BACKER BOARD SHALL BE USED AT PARTITIONS WHICH CONTAIN BATHROOM OR KITCHEN PLUMBING FIXTURES U.N.O.
- USE GALVANIZED METAL CORNER BEADS AND EDGE TRIMS (OR SCREDS AS REQUIRED) IN ALL EXPOSED WORK, POSITIVELY ATTACHED WITH FASTENERS.
- TAPE AND APPLY JOINT COMPOUND TO ALL INTERIOR CORNERS AND MOVEMENT CONTROL JOINTS IN GYPSUM BOARD PARTITIONS U.N.O.
- PROVIDE VERTICAL CONTROL JOINTS FOR ANY UNINTERRUPTED PARTITION LENGTH AT 30'-0" O.C. IN THE HORIZONTAL DIRECTION WHERE INDICATED OR AS REQUIRED. VERIFY LOCATIONS WITH ARCHITECT BEFORE INSTALLATION.
- ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK WITHIN PUBLIC SPACES IS TO BE CONCEALED BY PAINTED SUSPENDED GYPSUM BOARD SOFFITS AND CEILINGS, COORDINATE LOCATIONS WITH MEPFP DRAWINGS.
- PROVIDE CONTINUOUS GYPSUM BOARD CANTS OF 75 DEGREES WITH 4" 20 GA GALVANIZED SHEET METAL STRAPS 4'-0" O.C. IN ELEVATOR SHAFTS MORE THAN 2'.
- ALL MASONRY PARTITIONS THAT EXTEND BETWEEN STRUCTURAL CONCRETE COLUMNS AND/OR SHEAR WALLS SHALL HAVE VERTICAL SEALANT JOINTS BETWEEN CONCRETE AND MASONRY.
- ALL FIRESAFED MASONRY PARTITIONS SHALL HAVE CONTINUOUS FIRESAFING OF DENSITY AS SPECIFIED. PROVIDE CONTINUOUS JOINT FILLER AND ELASTOMERIC SEALANT AT THE TOP OF THE WALL AND UNDERSIDE OF STRUCTURE.
- INTERSECTIONS OF MASONRY PARTITIONS SHALL BE CONSTRUCTED BY INTERLOCKING ALTERNATE COURSES OF MASONRY AND INSTALLING METAL TIES, RIGID ANCHORS, OR PREFABRICATED JOINT REINFORCEMENT.
- COORDINATE LOCATIONS OF ALL OPENINGS REQUIRED IN MASONRY PARTITIONS WITH ARCHITECTURAL, STRUCTURAL AND MEP DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR LINTEL SCHEDULE AND REINFORCING SCHEDULE.
- SEE FINISH PLAN FOR WATERPROOFING REQUIREMENTS

Batteries + Bulbs

Client
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MADISON EAST, WI
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Architect of Record
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 P: 312 955 0334 • dxuarch.com

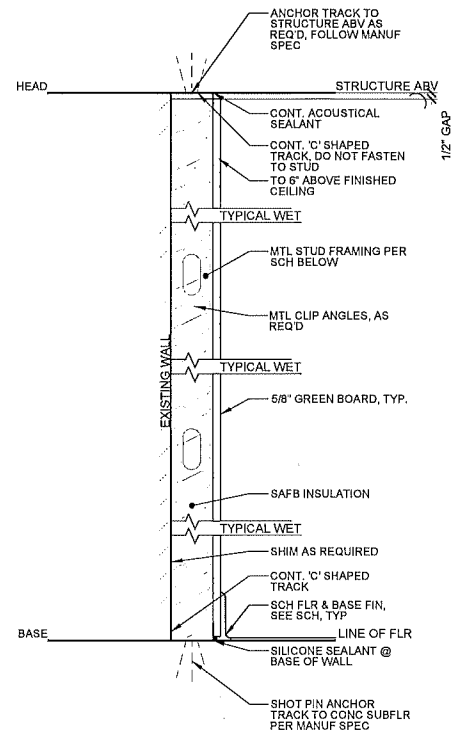
Architect of Record

No.	Issue	Date
2	ZONING REVIEW	11-1-2019
1	CLIENT REVIEW	7-21-2019
	PERMIT SET	6-7-2019

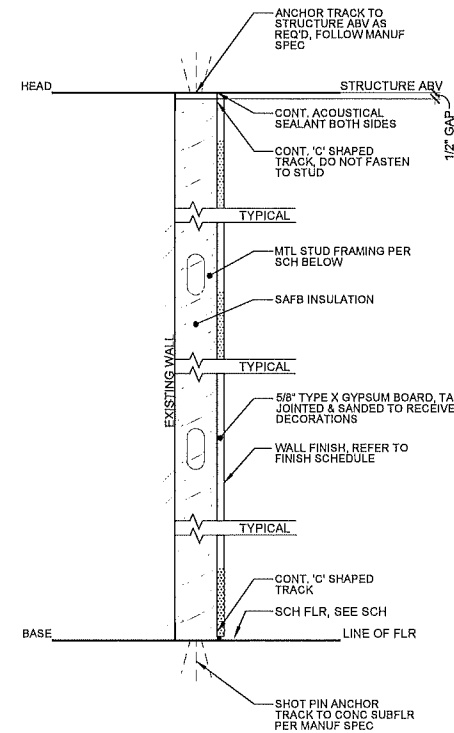
Seal
ZONING REVIEW
 Store Number 19-107
 Approved
 Title

PARTITION SCHEDULES & DETAILS

Sheet
A3-02

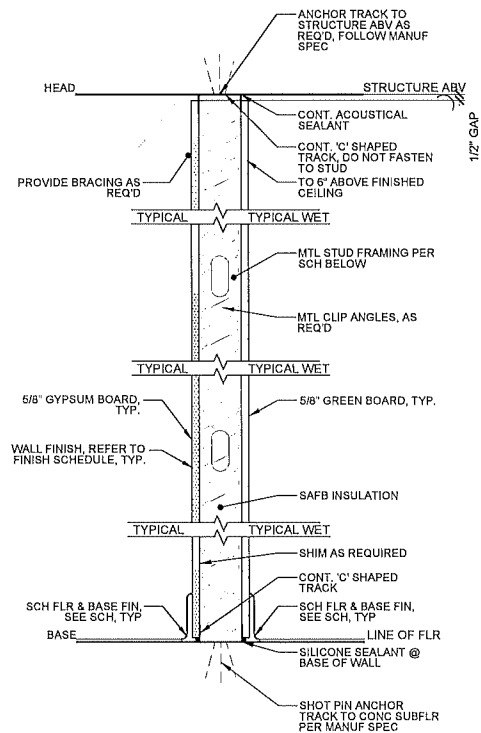


TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	2-1/2"	16" OC	N/A	2"	20	3-1/8"	N/A
B	3-5/8"	16" OC	N/A	3-1/2"	20	4-1/4"	N/A
C	6"	16" OC	N/A	6"	20	6-5/8"	N/A
D	1-5/8"	16" OC	N/A	N/A	20	2-1/4"	N/A

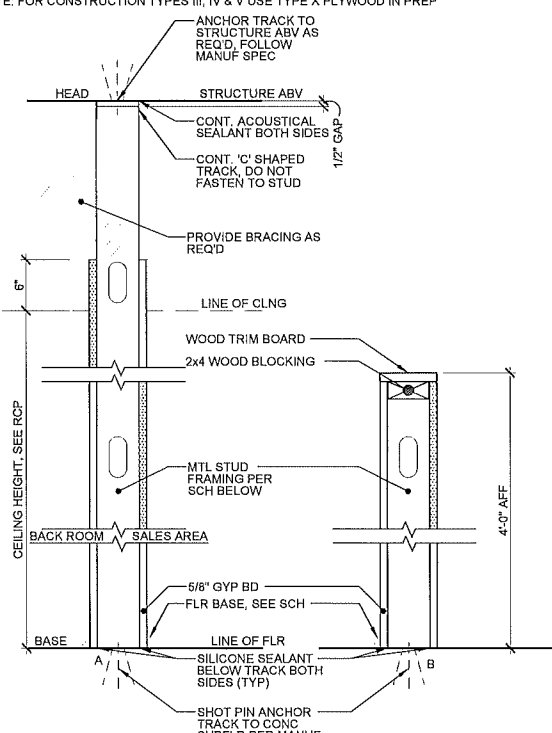


TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	2-1/2"	16" OC	N/A	2"	20	3-1/8"	N/A
B	3-5/8"	16" OC	N/A	3-1/2"	20	4-1/4"	N/A
C	6"	16" OC	N/A	6"	20	6-5/8"	N/A
D	1-5/8"	16" OC	N/A	N/A	20	2-1/4"	N/A

*NOTE: FOR CONSTRUCTION TYPES I & II USE FRT PLYWOOD IN PREP
 *NOTE: FOR CONSTRUCTION TYPES III, IV & V USE TYPE X PLYWOOD IN PREP

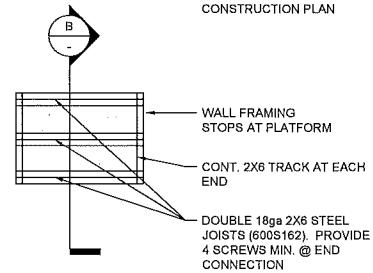


TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	3-5/8"	16" OC	N/A	3-1/2"	20	5" NOM	N/A
B	6"	16" OC	N/A	6"	20	7-1/4"	N/A
C							
D							

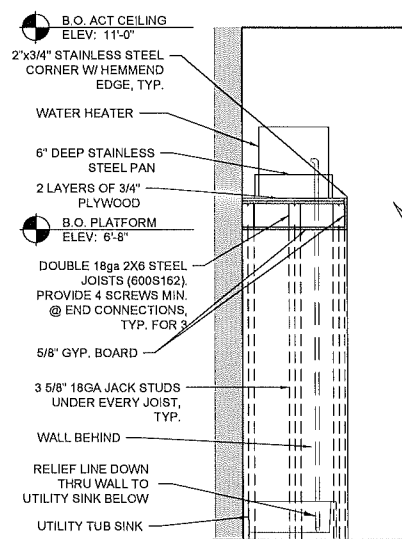


TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	3-5/8"	16" OC	N/A	0	20	5" NOM	N/A
B	3-5/8"	16" OC	N/A	0	20	5" NOM	N/A
C							
D							

NOTE
 VERIFY DIMENSIONS WITH
 CONSTRUCTION PLAN



B. WATER HEATER PLATFORM FRAMING PLAN



A. WATER HEATER PLATFORM FRAMING SECTION

1 WATER HEATER PLATFORM
 1/2"=1'-0"

MULTI-TENANT BUILDING

4706 E. WASHINGTON AVE.
MADISON, WI 53704



PROJECT DATA

LOCATION: 4706 E. WASHINGTON AVE.
MADISON, WI 53704

REGULATING MUNICIPALITIES:
CITY OF MADISON
DANE COUNTY
STATE OF WISCONSIN

BUILDING CODE:
CITY OF MADISON ZONING ORDINANCES
WISCONSIN ADMINISTRATIVE CODE
2015 INTERNATIONAL BUILDING CODE
ACCESSIBILITY ANSI A117.1 - 2009

PROJECT DESCRIPTION:
MULTI-TENANT COMMERCIAL BUILDING, SINGLE STORY

OCCUPANCY TYPE:
PRIMARY : M

CONSTRUCTION TYPE:
TYPE VB

ALLOWABLE AREA & HEIGHT:
HEIGHT (IBC TABLE 504.3) = 40 FEET ABOVE GRADE PLANE
STORIES (IBC TABLE 504.4) = 1 STORY
AREA (IBC TABLE 506.2) = 9,000 SF / FLOOR

BUILDING AREA & HEIGHT:
HEIGHT = 22 FEET 6 INCHES ABOVE GRADE PLANE
STORIES = 1 STORIES
TOTAL AREA = 5,500 SF

NUMBER OF OCCUPANTS: (TABLE 1004.1.2)
M OCCUPANCY:
M OCCUPANCY = 5,500 SF / 60 SF = 92 OCC

PARKING REQUIREMENTS:
1 STALLS / 400 SF OCCUPANTS = 14 STALLS
1 VAN ACCESSIBLE STALLS REQUIRED
1 ADA STALLS REQUIRED
CROSS-PARKED WITH ADJACENT PROPERTY

2 BIKE PARKING STALLS REQUIRED
TOTAL BIKE PARKING STALLS PROVIDED = 4

PLUMBING:
ALL FIXTURES TO COMPLY WITH ICC A117.1

FIRE CONTROL:
NON-SPRINKLERED
PORTABLE FIRE EXTINGUISHERS (IBC SECTION 906)
MAX DISTANCE = 75 FEET

SEPARATION:
A-2 / B = 2 HR SEPARATION
2 HR SEPARATION AT BOTH DEMISING WALLS

EXIT TRAVEL DISTANCE:
NON-SPRINKLERED:
B = 200 FT MAX TRAVEL (TABLE 1017.2)
B = 75 FT COMMON PATH OF TRAVEL (1006.2.1)

EXITS:
TWO EXISTS FROM BUILDING REQUIRED, TWO PROVIDED FROM EACH TENANT

ACCESSIBILITY:
ALL FLOORS SHALL BE ACCESSIBLE IF GREATER THAN 1,500 SF
ALL EXITS SHALL BE ACCESSIBLE
FOLLOW IBC AND ANSI 117

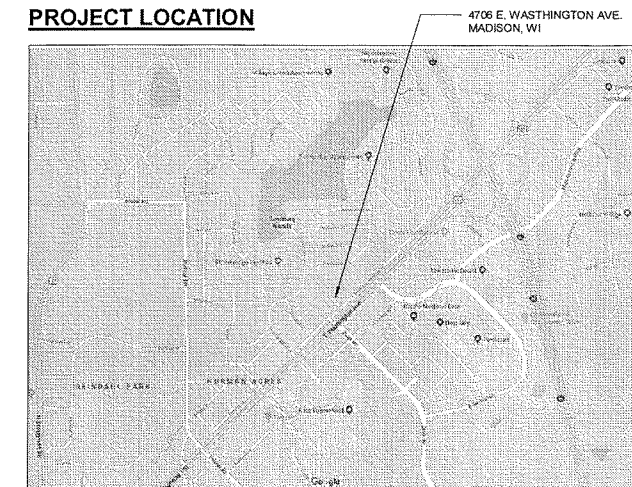
GENERAL PROJECT NOTES:

- DIMENSIONS ARE TO FACE OF STUD OR TO COLUMN CENTERLINE UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE. USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEP AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, AND PLUMBING (MEP) DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- ELECTRICIAN TO VERIFY NEW LIGHT FIXTURE LAYOUT AND SUBMIT LIGHTING ENERGY CALC'S AS REQUIRED PER CODE. REVIEW PLAN AND LIGHTING FIXTURE SELECTION WITH ARCHITECT.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- ENSURE A CLEAR PATHWAY TO ALL EXISTS IS MAINTAINED AND SUSTAINED.
- WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH
- ALL EXPOSED WOOD, OR IN CONTACT WITH CONC. OR MASONRY, SHALL BE PRESSURE TREATED
- VERIFY ALL ROUGH OPENINGS WITH RESPECTIVE MFG
- PROVIDE SOUND BATT INSULATION AT ALL DEMISING WALLS, SEPARATION WALLS, AND AT BATHROOM, AND MECHANICAL ROOM WALLS
- PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS
- PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED BY CODE
- PROVIDE 2X BLOCKING AT ALL GRAB BAR LOCATIONS PER ANSI A117.1 2009
- FIELD VERIFY ALL CABINET LAYOUTS AND COORDINATE DIMENSIONS WITH SELECTED APPLIANCES AND FIXTURES. PROVIDE END PANELS AT ALL EXPOSED CABINET ENDS
- PROVIDE FIRE BLOCKING THROUGHOUT ENTIRE BUILDING PER IBC 717.2
- SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL

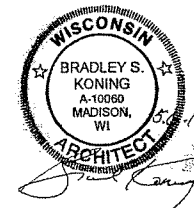
SHEET INDEX

SHEET NUMBER	SHEET NAME	REVISIONS	
		MARK	DATE
GENERAL			
A0.1	COVER SHEET	UDC SUBMITTAL	19/03/28
A0.2	SYMBOLS & ABBREVIATIONS	BID SET	19/01/30
G1.0	EXISTING SITE	UDC SUBMITTAL	19/03/28
CIVIL			
C1.0	EXISTING CONDITIONS		
C2.0	PROPOSED SITE PLAN		
C3.0	GRADING PLAN		
C3.1	EROSION CONTROL PLAN		
C4.0	UTILITY PLAN		
C5.0	STORMWATER DETAILS		
C5.1	SITE DETAILS		
C5.2	SITE DETAILS		
C5.3	SITE DETAILS		
CIVIL - LANDSCAPE			
LS1.0	OVERALL LANDSCAPE PLAN		
LS1.1	EXIST. CONDITIONS & LANDSCAPE PLAN		
LS1.2	LANDSCAPE PLAN		
CIVIL - SITE LIGHTING			
E1	SITE LIGHTING LAYOUT		
ARCHITECTURAL			
A2.1	FIRST FLOOR PLAN	UDC SUBMITTAL	19/03/28
A2.2	ROOF PLAN	UDC SUBMITTAL	19/03/28
A3.1	EXTERIOR ELEVATIONS	FOR CONSTRUCTION	19/05/06
A4.1	BUILDING SECTIONS	FOR CONSTRUCTION	19/05/06
A4.2	WALL SECTIONS	FOR CONSTRUCTION	19/05/06
A4.3	WALL SECTIONS	FOR CONSTRUCTION	19/05/06
A5.1	PLAN DETAILS	BID SET	19/01/30
A5.2	SECTION DETAILS	FOR CONSTRUCTION	19/05/06
A11.1	STOREFRONT & PARTITION TYPES	FOR CONSTRUCTION	19/05/06
STRUCTURAL			
S0.1	STRUCTURAL NOTES		
S1.1	FOUNDATION PLAN	FOR CONSTRUCTION	19/05/06
S3.1	ROOF FRAMING PLAN	FOR CONSTRUCTION	19/05/06
S6.1	FOUNDATION DETAILS		
S6.2	FOUNDATION DETAILS		
S9.1	STEEL DETAILS		
S9.11	WOOD DETAILS		
S9.12	WOOD DETAILS	FOR CONSTRUCTION	19/05/06

PROJECT LOCATION



BUILDING LOCATION



PROJECT CONTACTS:

OWNER: GALWAY COMPANIES, LLC 6430 BRIDGE RD. SUITE 230 MADISON, WI 53713	ARCHITECT: SKETCHWORKS ARCHITECTURE, LLC 7780 ELNWOOD AVE., STE 208 MIDDLETON, WI 53562	STRUCTURAL ENGINEER: MP STRUCTURAL ENGINEERS, LLC 583 D'ONOFRIO DR. SUITE 201 MADISON, WI 53719	CIVIL ENGINEER: PROFESSIONAL ENGINEERING, LLC 818 N. MEADOWBROOK LANE WAUNAKEE, WI 53597
CONTACT: STEVE DURAN 608-372-4006	CONTACT: BRAD KONING (ARCHITECT) 608-836-7570	CONTACT: MARK LINDLOFF 608-821-4770	CONTACT: ROXANNE JOHNSON, P.E. 608-849-9378

MULTI-TENANT BUILDING

NEW COMMERCIAL BUILDING
4706 E. WASHINGTON AVE.
MADISON, WI 53704

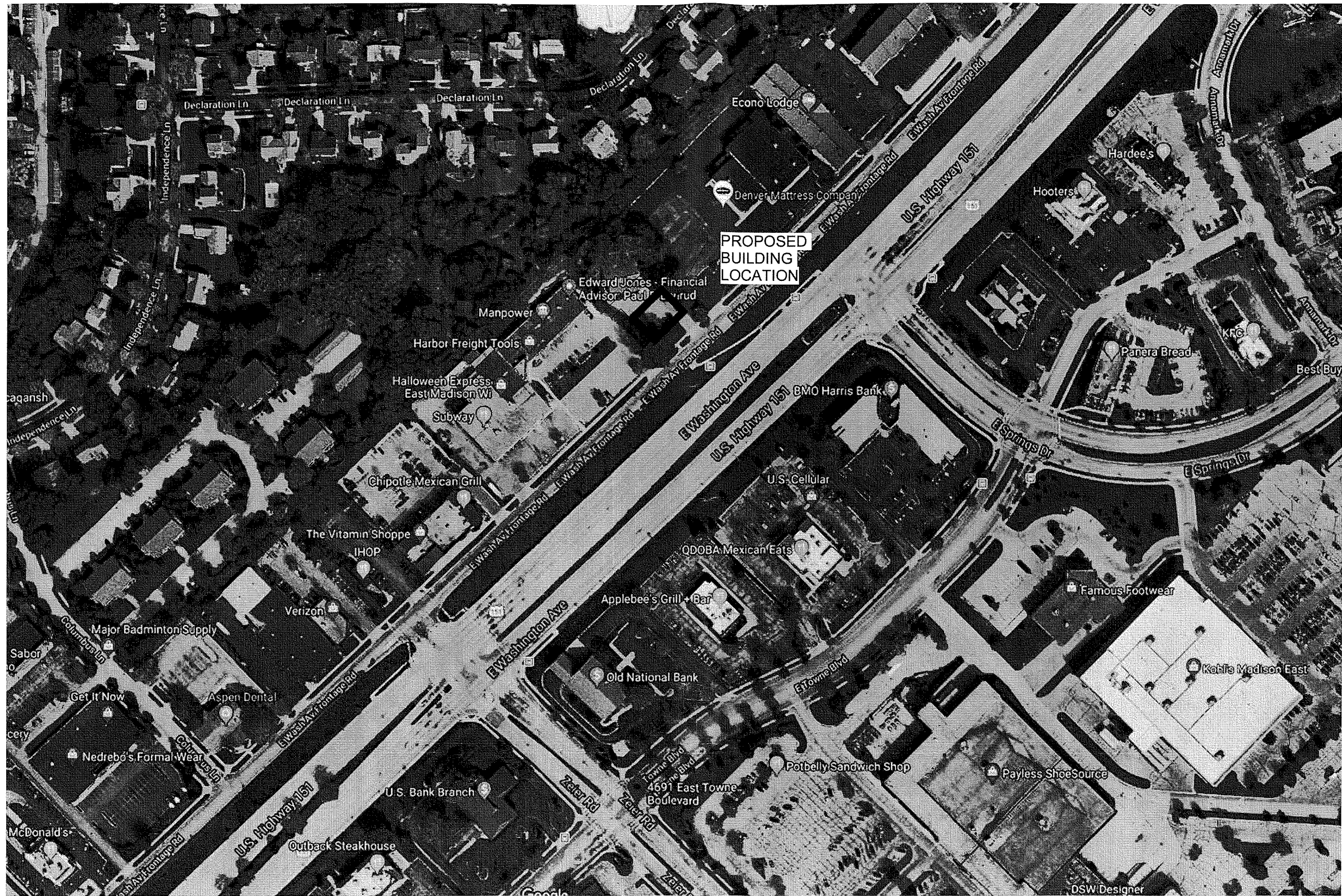
COVER SHEET

Project Status

A	19/01/09	PC SUBMITTAL
B	19/01/30	BID SET
C	19/03/28	UDC SUBMITTAL
	19/05/06	FOR CONSTRUCTION

CONSTRUCTION SET

A0.1



MULTI-TENANT BUILDING

NEW COMMERCIAL BUILDING
 4706 E. WASHINGTON AVE.
 MADISON, WI 53704

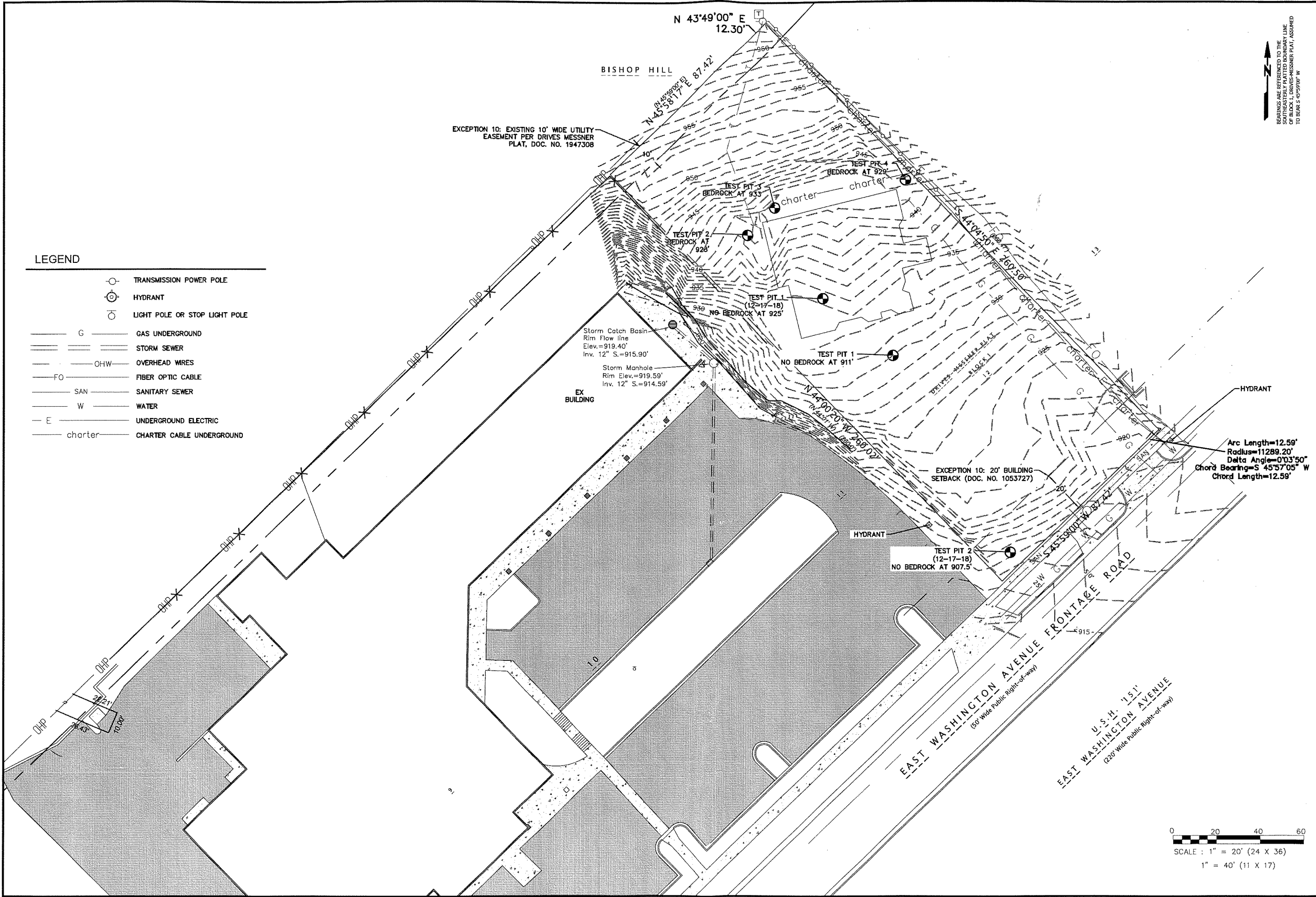
EXISTING SITE

Project Status

A	19/01/09	PC SUBMITTAL
C	19/03/28	UDC SUBMITTAL
	19/05/06	FOR CONSTRUCTION

PRELIMINARY

G1.0



BEARINGS ARE REFERENCED TO THE
NAD 83 STATE PLATTED BOUNDARY LINE
OF THE COUNTY OF WAUKESHA, WISCONSIN
TO BEAR S 90°59'00" W

ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	04-22-19

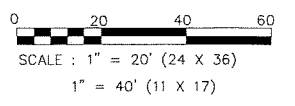
818 N Meadowbrook Ln
Waukesha, WI 53597
phone (608) 849-9378
www.pe-wi.com

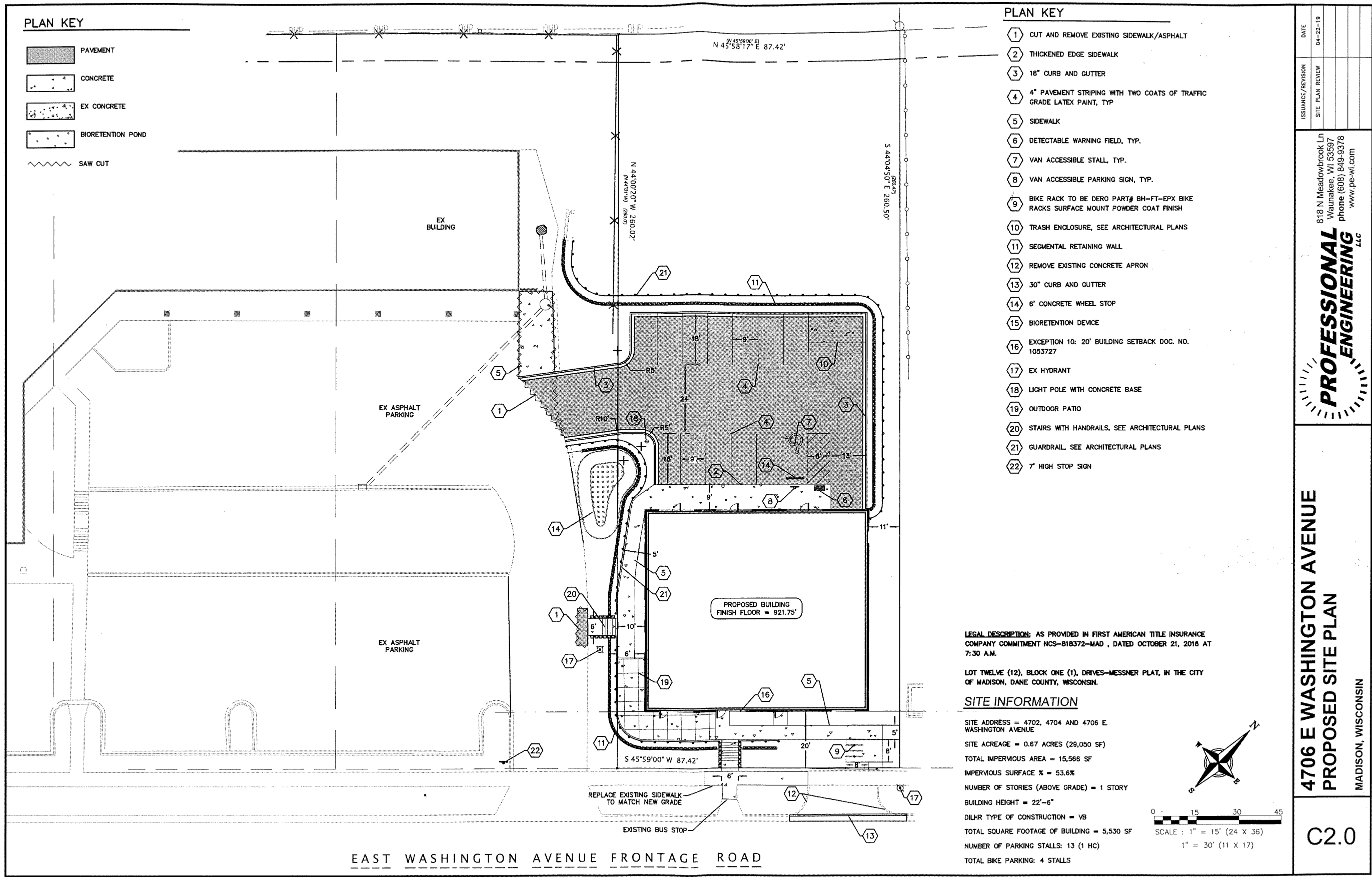
PROFESSIONAL ENGINEERING LLC

**4706 E WASHINGTON AVENUE
EXISTING CONDITIONS**

MADISON, WISCONSIN

C1.0





- PLAN KEY**
- PAVEMENT
 - CONCRETE
 - EX CONCRETE
 - BIORETENTION POND
 - SAW CUT

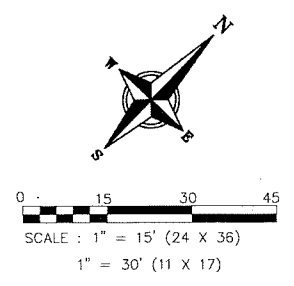
- PLAN KEY**
- 1 CUT AND REMOVE EXISTING SIDEWALK/ASPHALT
 - 2 THICKENED EDGE SIDEWALK
 - 3 18" CURB AND GUTTER
 - 4 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
 - 5 SIDEWALK
 - 6 DETECTABLE WARNING FIELD, TYP.
 - 7 VAN ACCESSIBLE STALL, TYP.
 - 8 VAN ACCESSIBLE PARKING SIGN, TYP.
 - 9 BIKE RACK TO BE DERO PART# BH-FT-EPX BIKE RACKS SURFACE MOUNT POWDER COAT FINISH
 - 10 TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS
 - 11 SEGMENTAL RETAINING WALL
 - 12 REMOVE EXISTING CONCRETE APRON
 - 13 30" CURB AND GUTTER
 - 14 6' CONCRETE WHEEL STOP
 - 15 BIORETENTION DEVICE
 - 16 EXCEPTION 10: 20' BUILDING SETBACK DOC. NO. 1053727
 - 17 EX HYDRANT
 - 18 LIGHT POLE WITH CONCRETE BASE
 - 19 OUTDOOR PATIO
 - 20 STAIRS WITH HANDRAILS, SEE ARCHITECTURAL PLANS
 - 21 GUARDRAIL, SEE ARCHITECTURAL PLANS
 - 22 7' HIGH STOP SIGN

LEGAL DESCRIPTION: AS PROVIDED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NCS-818372-MAD, DATED OCTOBER 21, 2016 AT 7:30 A.M.

LOT TWELVE (12), BLOCK ONE (1), DRIVES-MESSNER PLAT, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

SITE INFORMATION

SITE ADDRESS = 4702, 4704 AND 4706 E. WASHINGTON AVENUE
 SITE ACREAGE = 0.67 ACRES (29,050 SF)
 TOTAL IMPERVIOUS AREA = 15,566 SF
 IMPERVIOUS SURFACE % = 53.6%
 NUMBER OF STORIES (ABOVE GRADE) = 1 STORY
 BUILDING HEIGHT = 22'-6"
 DILHR TYPE OF CONSTRUCTION = VB
 TOTAL SQUARE FOOTAGE OF BUILDING = 5,530 SF
 NUMBER OF PARKING STALLS: 13 (1 HC)
 TOTAL BIKE PARKING: 4 STALLS



ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	04-23-19

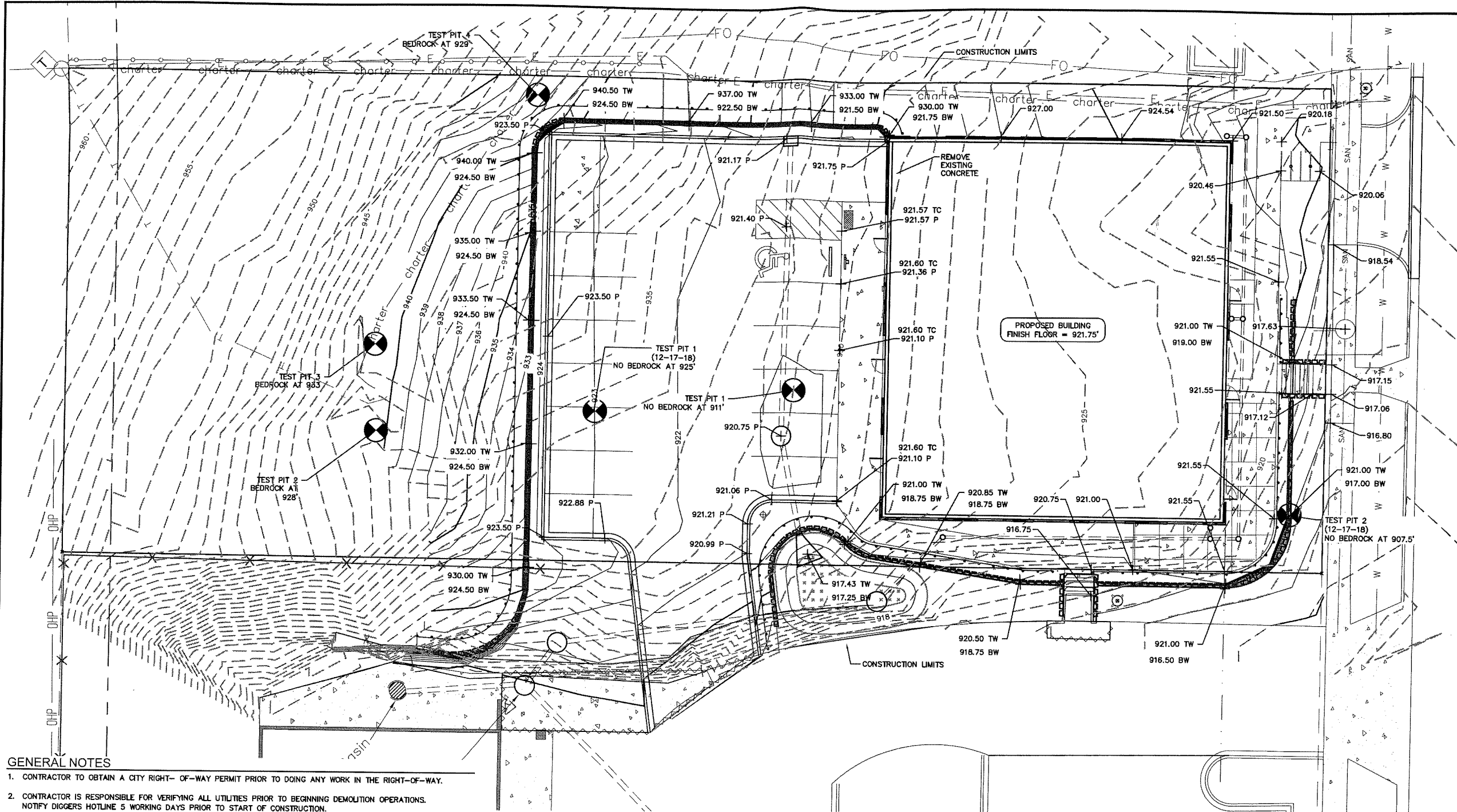
818 N Meadowbrook Ln
 Waunakee, WI 53597
 phone (608) 849-9378
 www.pe-wi.com

PROFESSIONAL ENGINEERING LLC

**4706 E WASHINGTON AVENUE
 PROPOSED SITE PLAN**

MADISON, WISCONSIN

C2.0



GENERAL NOTES

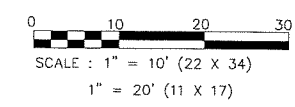
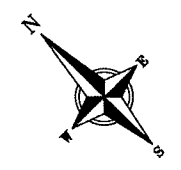
1. CONTRACTOR TO OBTAIN A CITY RIGHT-OF-WAY PERMIT PRIOR TO DOING ANY WORK IN THE RIGHT-OF-WAY.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY DIGGERS HOTLINE 5 WORKING DAYS PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ALL EXISTING FACILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, WATER, SANITARY, SIDEWALKS, SIDEWALK, ETC.) THAT ARE TO REMAIN.
4. INSTALL ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/ CONSTRUCTION.
5. ALL EROSION CONTROL MEASURES INSTALLED SHALL BE MAINTAINED IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
6. ALL EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.

GRADING LEGEND

- — — — — EXISTING CONTOUR
- — — — — PROPOSED CONTOUR
- × 800.00 P PAVEMENT ELEVATION
- × 800.00 FL FLOW LINE ELEVATION
- × 800.00 TW TOP OF RETAINING WALL ELEVATION
- × 800.00 BW BOTTOM OF RETAINING WALL ELEVATION
- × 800.00 SPOT ELEVATION

GRADING NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY SPECIFICATIONS.
2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.



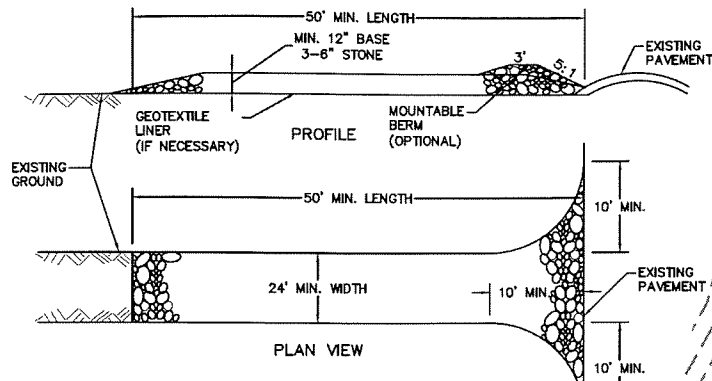
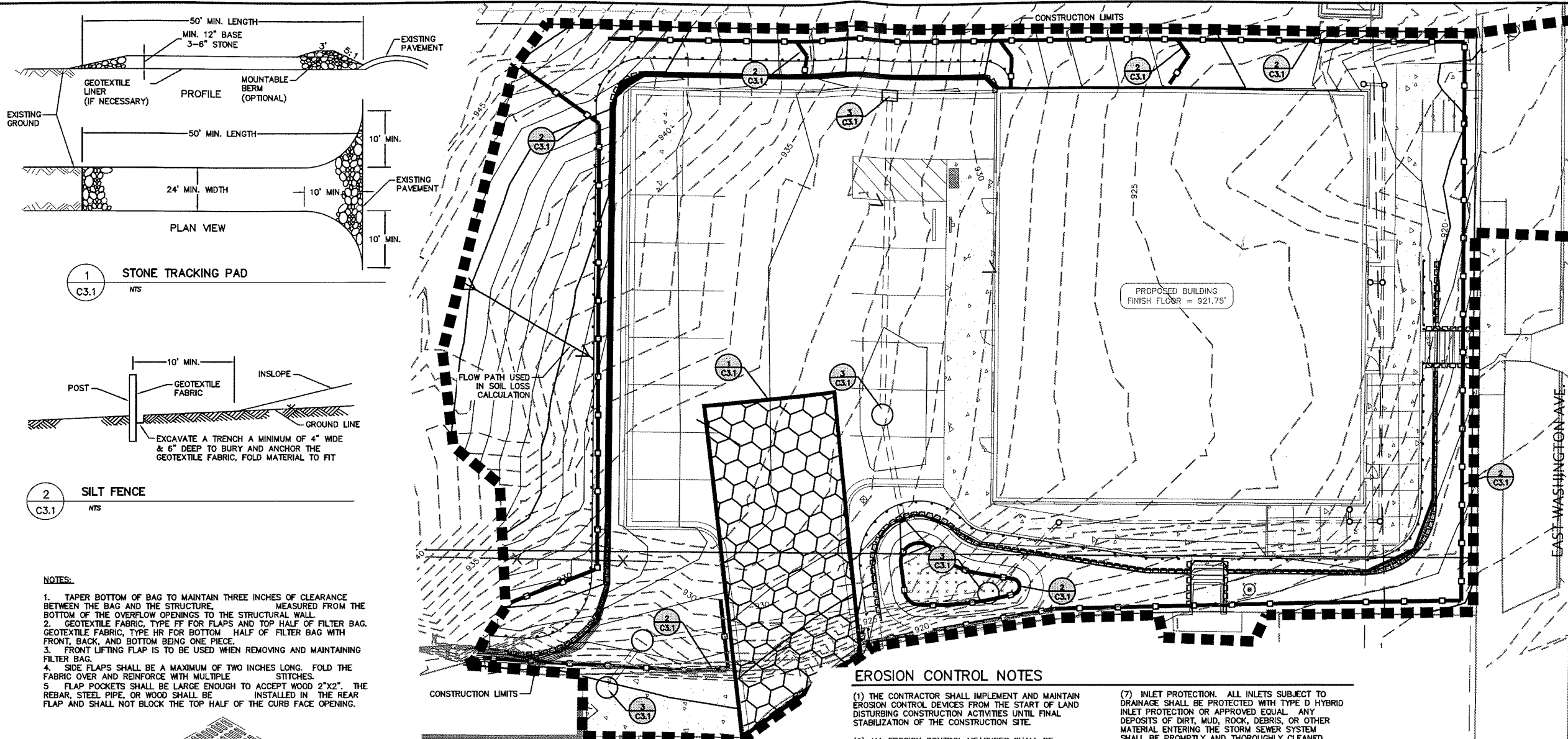
ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	04-22-19

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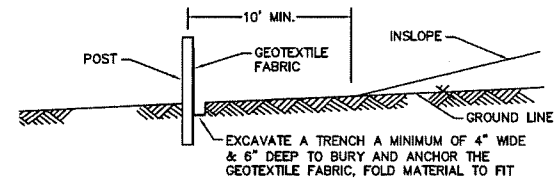
PROFESSIONAL ENGINEERING LLC

**4706 E WASHINGTON AVENUE
 GRADIGN PLAN
 MADISON, WISCONSIN**

C3.0



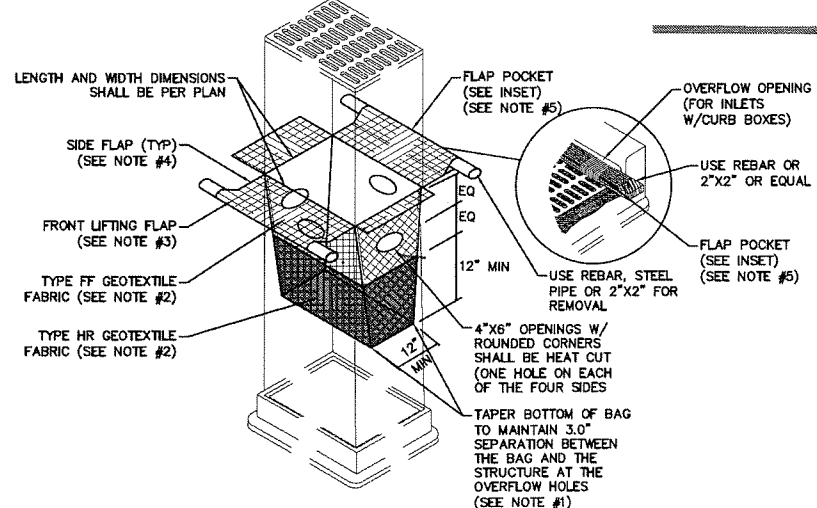
1 STONE TRACKING PAD
C3.1 NTS



2 SILT FENCE
C3.1 NTS

NOTES:

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURAL WALL.
2. GEOTEXTILE FABRIC, TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC, TYPE HR FOR BOTTOM HALF OF FILTER BAG WITH FRONT, BACK, AND BOTTOM BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2\"/>



3 INLET PROTECTIONS, TYPE D - HYBRID
C3.1 NTS

EROSION CONTROL NOTES

- (1) THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- (3) CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY WITHOUT HYDRAULIC FLUSHING.
- (4) RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE CITY.
- (5) INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- (6) STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
- (7) INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH TYPE D HYBRID INLET PROTECTION OR APPROVED EQUAL. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
- (8) EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE B, EROSION MAT.
- (9) TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- (10) STABILIZATION. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- (11) TOPSOIL. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SOODED.
- (12) SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 LBS PER 1,000 SF OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
- (13) STOCKPILES. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

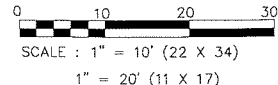
ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	04-22-19

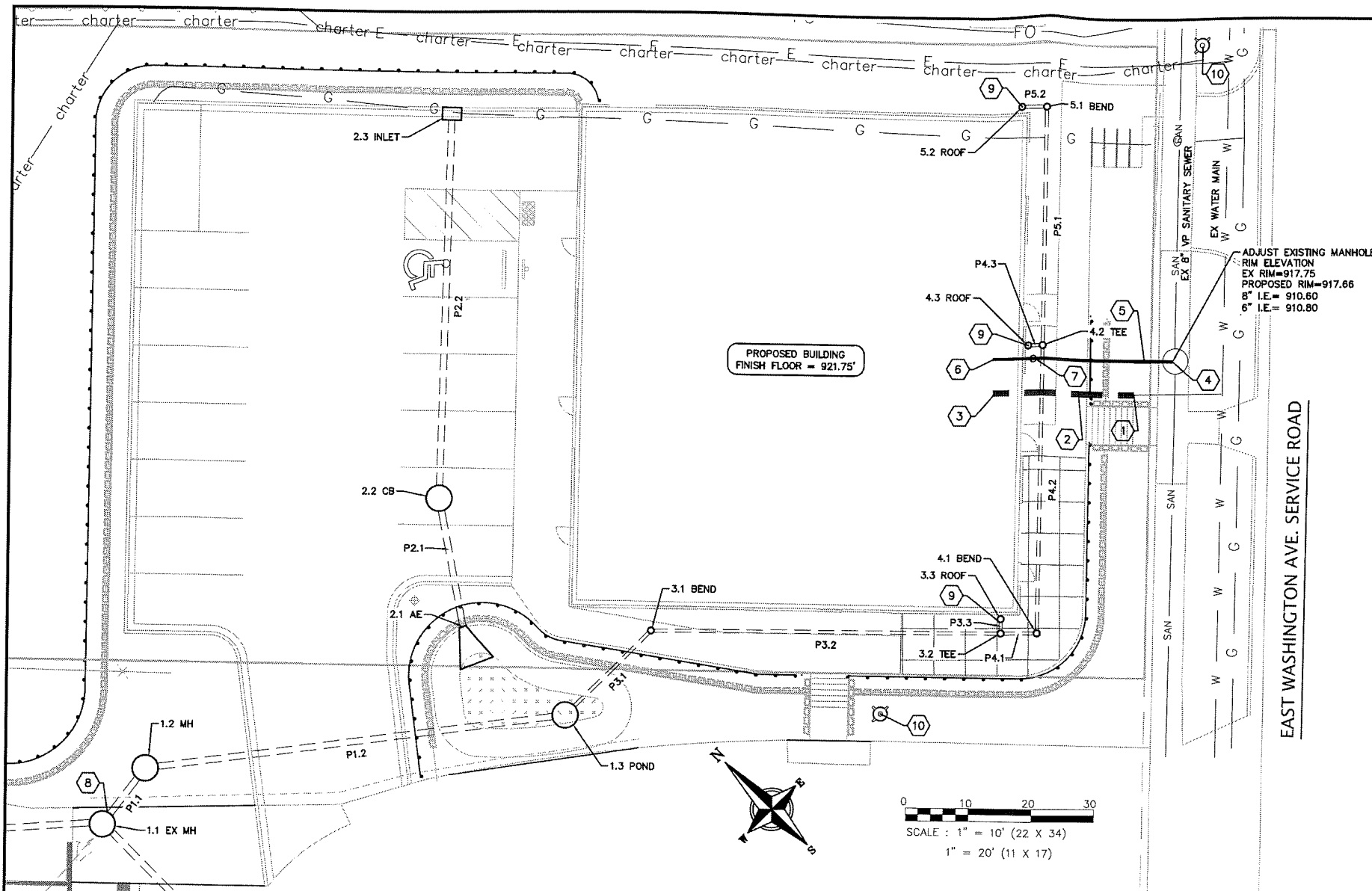
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4706 E WASHINGTON AVENUE
EROSION CONTROL PLAN
MADISON, WISCONSIN

C3.1





STRUCTURE TABLE					
STRUCTURE NAME	SIZE	TOP OF CASTING	PIPES IN	PIPES OUT	CASTING
1.1 EX MH		919.59	P1.1, 12" INV IN =914.61		
1.2 MH	3-FT DIA.	922.06	P1.2, 12" INV IN =914.63	P1.1, 12" INV OUT =914.67	NEENAH R-1550
1.3 POND	3-FT DIA.	917.75	P3.1, 6" INV IN =915.50	P1.2, 12" INV OUT =915.00	HAALA #CG36TM
2.1 AE		918.50	P2.1, 12" INV IN =917.25		
2.2 CB	3-FT DIA.	920.75	P2.2, 12" INV IN =917.51	P2.1, 12" INV OUT =917.51	NEENAH R-2050
2.3 INLET	2X3-FT	921.64		P2.2, 12" INV OUT =918.12	NEENAH R-3067
3.1 BEND	BEND	921.25	P3.2, 6" INV IN =915.88	P3.1, 6" INV OUT =915.88	
3.2 TEE	TEE	921.60	P4.1, 6" INV IN =917.00 P3.3, 6" INV IN =917.00	P3.2, 6" INV OUT =916.98	
3.3 ROOF	CONNECT TO ROOF DOWNSPOUT	921.65		P3.3, 6" INV OUT =917.05	
4.1 BEND	BEND	921.65	P4.2, 6" INV IN =917.12	P4.1, 6" INV OUT =917.12	
4.2 TEE	TEE	921.59	P5.1, 6" INV IN =918.03 P4.3, 6" INV IN =918.03	P4.2, 6" INV OUT =918.03	
4.3 ROOF	CONNECT TO ROOF DOWNSPOUT	921.59		P4.3, 6" INV OUT =918.08	
5.1 BEND	BEND	920.92	P5.2, 6" INV IN =918.41	P5.1, 6" INV OUT =918.41	
5.2 ROOF	CONNECT TO ROOF DOWNSPOUT	921.66		P5.2, 6" INV OUT =918.45	

UTILITY NOTES

- CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF PREVIOUS PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY OF MADISON PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
- ALL STORM SEWER PIPE TO BE SDR-35 AS NOTED ON THE STORM SEWER SCHEDULE. ALL BRANCH CONNECTIONS TO BE WYES WITH 45 DEGREE BENDS.
- CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
- PRIVATE WATER MAIN 4" AND LARGER SHALL BE DUCTILE IRON OR C900 PVC. WATER SERVICES 2" AND SMALLER SHALL BE TYPE K, COPPER.
- SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
- ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
- CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
- UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED WITHIN 5' OF THE PROPOSED BUILDING(S) AND STAKED.
- ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
- STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
- BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.
- CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY

PLAN KEY

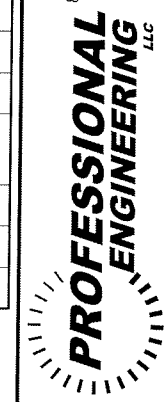
- CONNECT TO EXISTING WATER LATERAL PER CITY REQUIREMENTS
- 1.5" WATER SERVICE
- CONNECT TO BUILDING WATER SERVICE
- CONNECT TO EXISTING MANHOLE PER CITY REQUIREMENTS
- 6" SANITARY SEWER AT 2% SLOPE
- SANITARY I.E. = 911.40'. CONNECT TO SANITARY BUILDING SEWER, SEE PLUMBING PLANS
- CLEANOUT
- CONNECT TO EXISTING STORM MANHOLE
- CONNECT TO ROOF DOWNSPOUT
- EXISTING HYDRANT

PIPE TABLE

NAME	SIZE	LENGTH	SLOPE	MATERIAL	START INVERT ELEVATION	END INVERT ELEVATION
P1.1	12"	12'	0.55%	SDR 35	914.67'	914.61'
P1.2	12"	67'	0.55%	SDR 35	915.00'	914.63'
P2.1	12"	21'	1.28%	SDR 35	917.51'	917.25'
P2.2	12"	61'	1.00%	SDR 35	918.12'	917.51'
P3.1	6"	19'	2.00%	SDR 35	915.88'	915.50'
P3.2	6"	56'	2.00%	SDR 35	916.98'	915.88'
P3.3	6"	3'	2.00%	SDR 35	917.05'	917.00'
P4.1	6"	6'	2.00%	SDR 35	917.12'	917.00'
P4.2	6"	46'	2.00%	SDR 35	918.03'	917.12'
P4.3	6"	3'	2.00%	SDR 35	918.08'	918.03'
P5.1	6"	38'	1.00%	SDR 35	918.41'	918.03'
P5.2	6"	4'	1.00%	SDR 35	918.45'	918.41'

ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	04-22-19

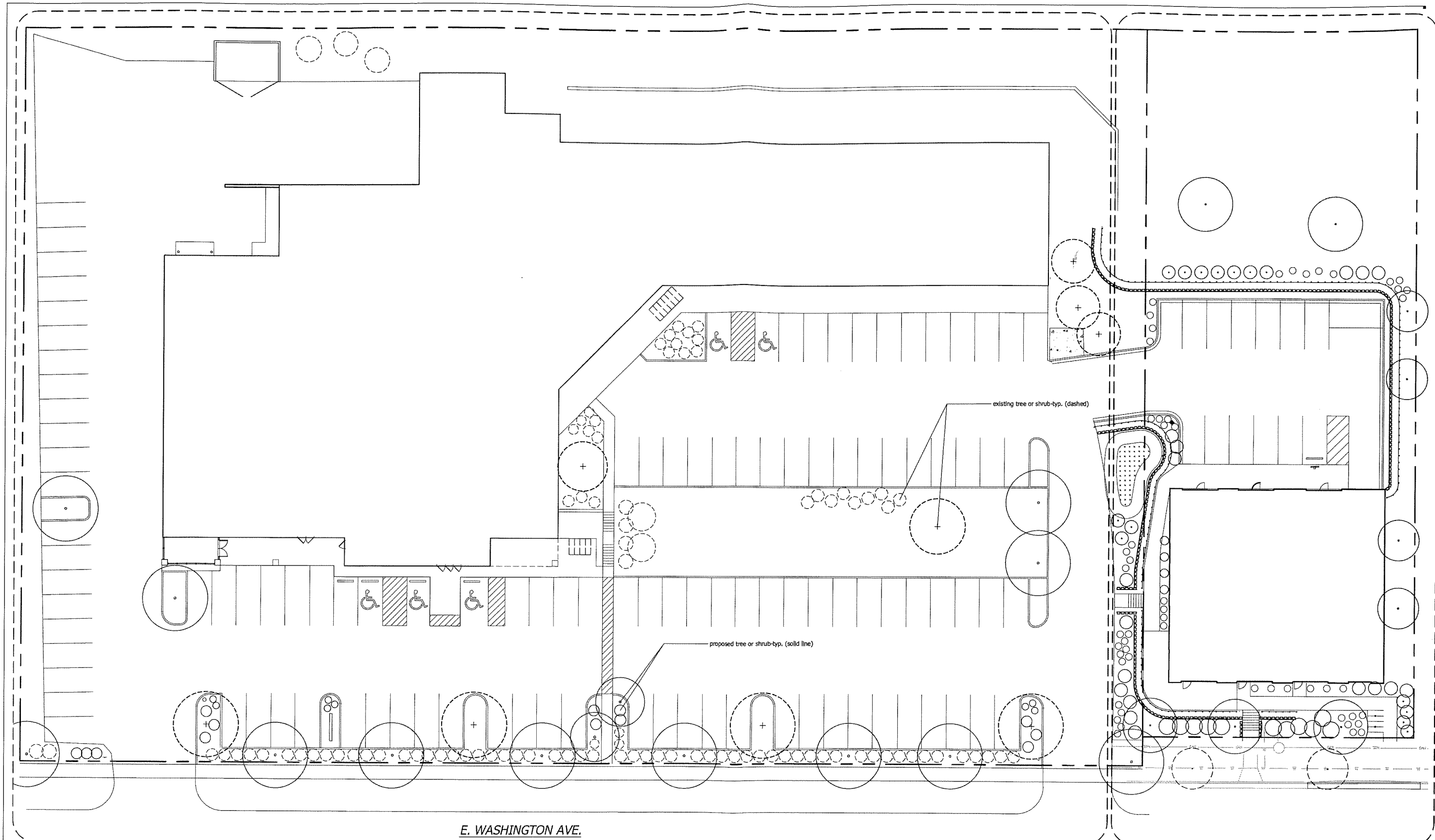
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4706 E WASHINGTON AVENUE
UTILITY PLAN

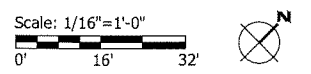
MADISON, WISCONSIN

C4.0



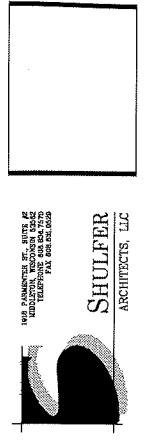
1 OVERALL LANDSCAPE PLAN - 4630 AND 4602 E. Washington Ave.

NOTES:
 1. Existing conditions at 4630 E. Washington were reviewed on 4/20/19 and are documented above.



SEE SHEET LS1.1

SEE SHEET LS1.2

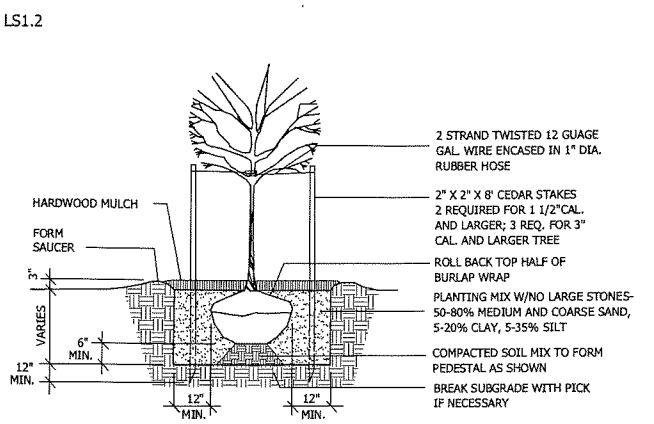
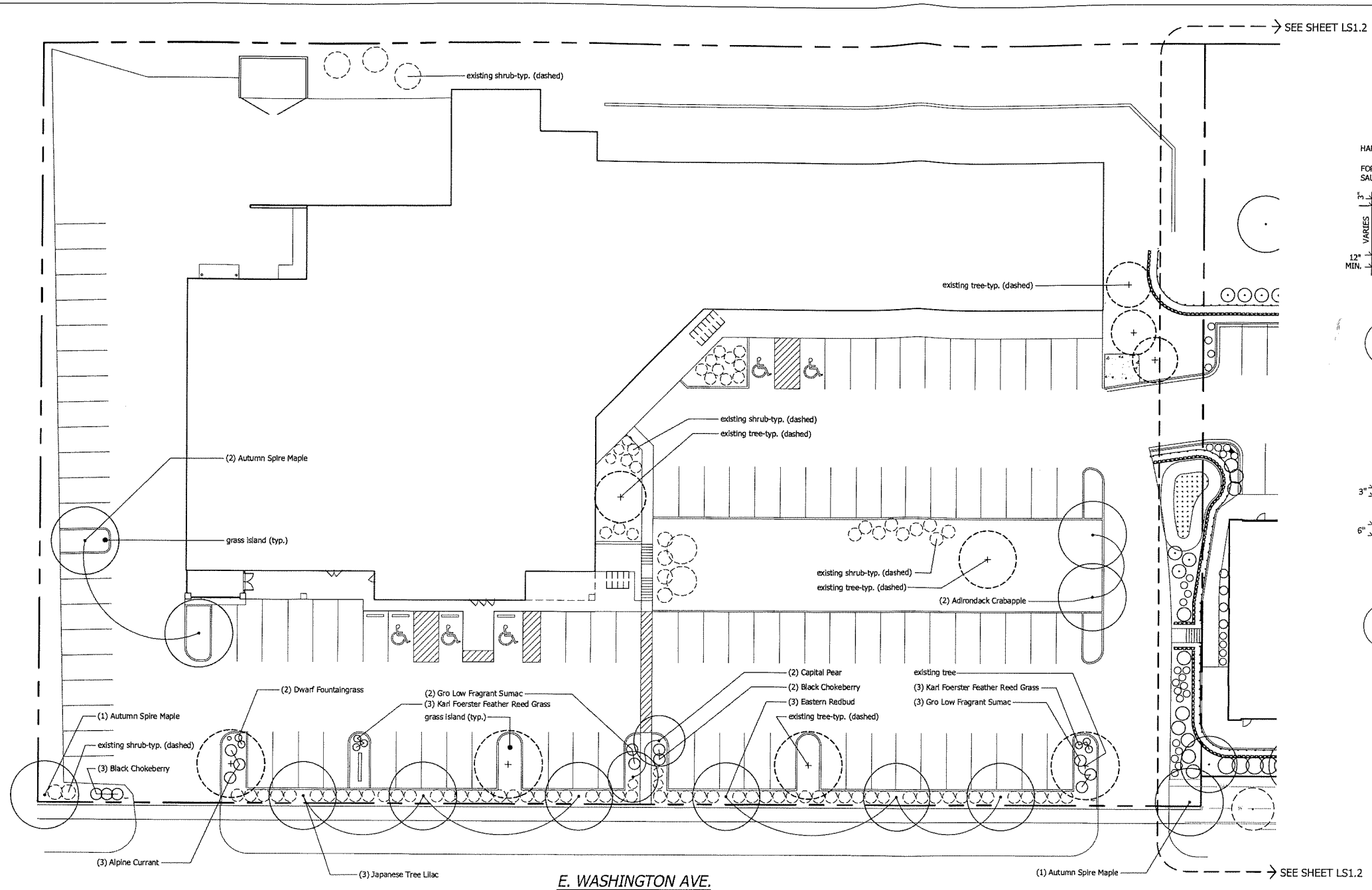


4630 East Washington Ave.

OVERALL LANDSCAPE PLAN

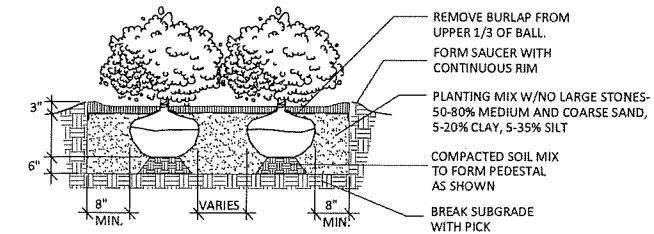
04/23/19
 STAFF COMMENTS

LS1.0



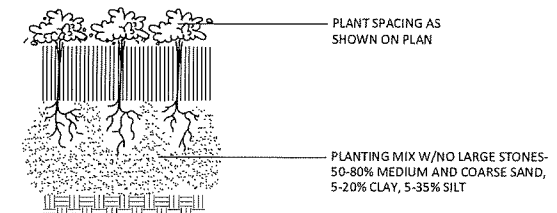
2 TREE PLANTING

NTS



3 SHRUB PLANTING

NTS



4 PERENNIAL PLANTING

NTS

1 EXISTING CONDITIONS REVIEW AND LANDSCAPE PLAN

NOTES:

- Individual lawn trees and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
- "grass islands" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation. (www.seedsolutions.com)
- All existing landscaping was reviewed on site and is shown "dashed".

PLANTING LIST:

Autumn Spire Maple	Acer rubrum 'Autumn Spire'	2 1/2" cal. B&B
Eastern Redbud	Cercis canadensis (Columbus Strain)	2" cal. B&B
Adirondack Crabapple	Malus 'Adirondack'	2" cal. B&B
Capital Pear	Pyrus calleryana 'Capital'	2" cal. B&B
Japanese Tree Lilac	Syringa reticulata	2" cal. B&B
Alpine Currant	Ribes alpinum	18" ht.
Gro Low Fragrant Sumac	Rhus aromatica 'Gro Low'	18" ht.
Black Chokeberry	Aronia melanocarpa var. elata	18" ht.
Dwarf Fountaingrass	Pennisetum alopecuroides	1 gal.
Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 gal.

Landscape Calculations and Distribution:

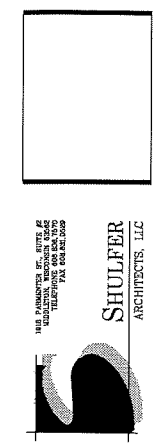
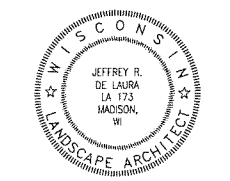
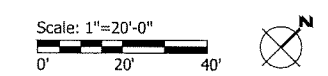
- One (1) landscape unit for each (300) sf of developed area
Total sf of developed area = 51,552 sf
Developed area divided by (300) = 172 Landscape Units
- Within (L) and (IG) districts, one (1) landscape unit for each (600) sf of developed area
Total sf of developed area = NA
Developed area divided by (600) = NA Landscape Units
- One landscape unit = 5 landscape points
Landscape units (172) x 5 landscape points = 860 Total Points Required (1,016 provided; see below Tabulation)

Development Frontage Landscaping:

- Provide (1) overstory deciduous tree and five (5) shrubs per (30) lf of lot frontage
Existing Lot frontage = 413 lf
Tree Required = 14
Tree Shown = 4 existing + 10 new = 14 proposed
Shrubs Required = 68
Shrubs Shown = 62 existing + 14 new = 76 proposed

Tabulation of Points and Credits:

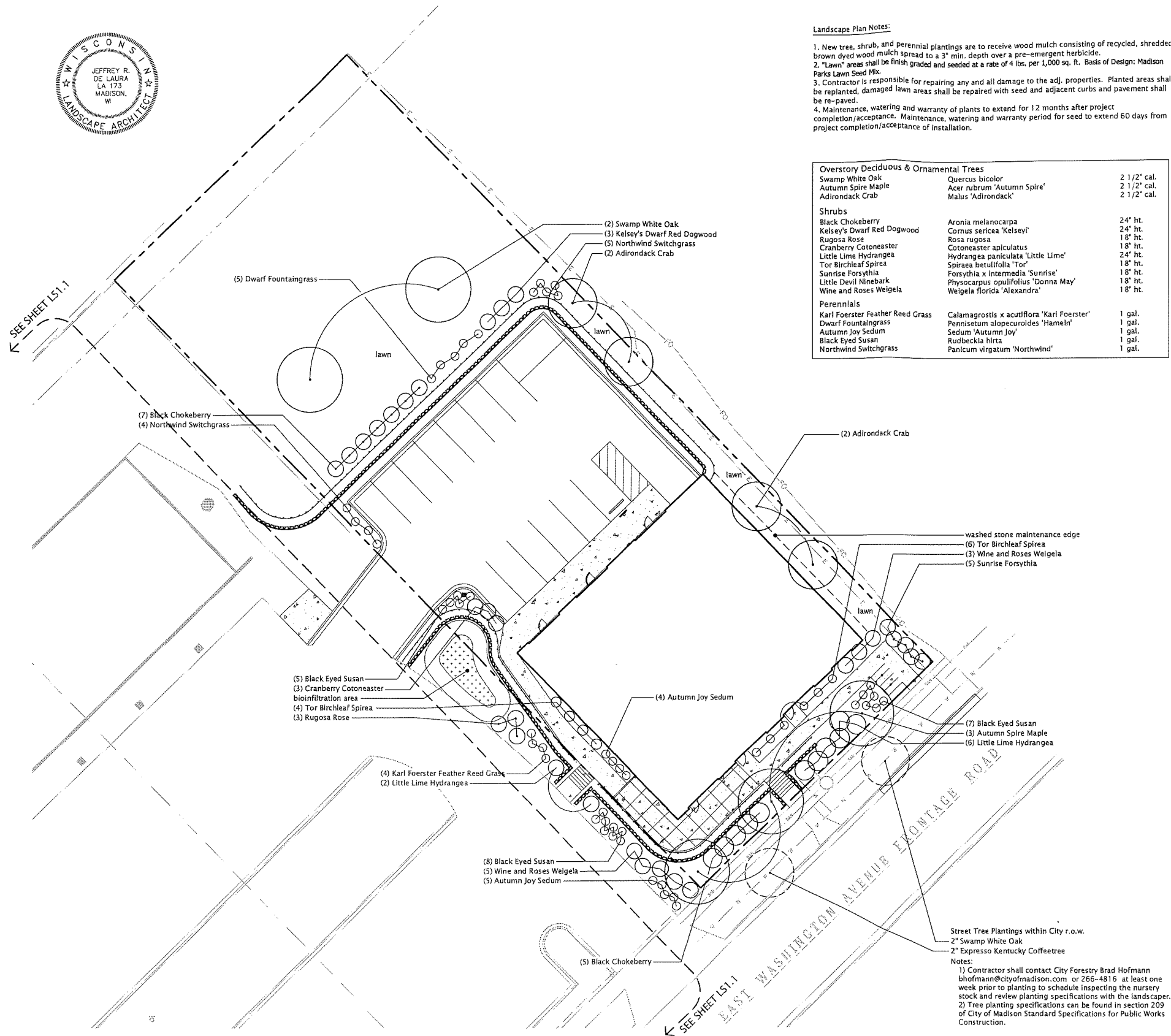
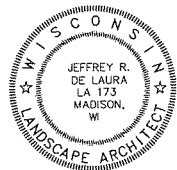
Plant Type/Element	Min. size	Points	Existing		Proposed	
			Qty.	Pts.	Qty.	Pts.
Overstory Deciduous Tree	2 1/2" cal.	35	4	140	12	420
Ornamental tree	1 1/2" cal.	15	7	105	2	60
Evergreen tree	3 feet tall	15	-	-	-	-
Shrub, deciduous	18" or 3 gal.	2	104	206	13	25
Shrub, evergreen	18" or 3 gal.	3	3	9	-	-
Ornamental grasses	18" or 3 gal.	2	-	-	8	16
Ornamental fence or wall	na	4 per 10 lf	-	-	-	-
Total				460	521	981 Total Points Provided (860 Required)



4630 East Washington Ave.
 MADISON WISCONSIN
 EXIST. CONDITIONS & LANDSCAPE PLAN
 4630 East Washington Ave.
 MADISON WISCONSIN

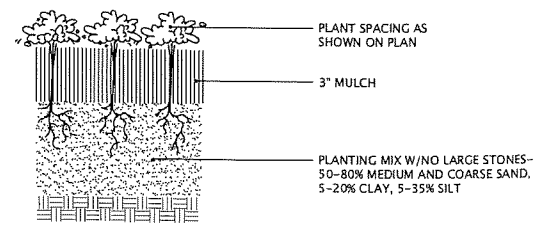
04/23/19
STAFF COMMENTS

LS1.1



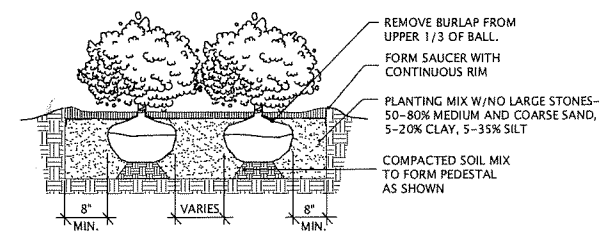
- Landscape Plan Notes:**
1. New tree, shrub, and perennial plantings are to receive wood mulch consisting of recycled, shredded brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
 2. "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix.
 3. Contractor is responsible for repairing any and all damage to the adj. properties. Planted areas shall be replanted, damaged lawn areas shall be repaired with seed and adjacent curbs and pavement shall be re-paved.
 4. Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

Overstory Deciduous & Ornamental Trees		
Swamp White Oak	Quercus bicolor	2 1/2" cal.
Autumn Spire Maple	Acer rubrum 'Autumn Spire'	2 1/2" cal.
Adirondack Crab	Malus 'Adirondack'	2 1/2" cal.
Shrubs		
Black Chokeberry	Aronia melanocarpa	24" ht.
Kelsey's Dwarf Red Dogwood	Cornus sericea 'Kelsey'	24" ht.
Rugosa Rose	Rosa rugosa	18" ht.
Cranberry Cotoneaster	Cotoneaster apiculatus	18" ht.
Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	24" ht.
Tor Birchleaf Spirea	Spiraea betulifolia 'Tor'	18" ht.
Sunrise Forsythia	Forsythia x intermedia 'Sunrise'	18" ht.
Little Devil Ninebark	Physocarpus opulifolius 'Donna May'	18" ht.
Wine and Roses Weigela	Weigela florida 'Alexandra'	18" ht.
Perennials		
Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 gal.
Dwarf Fountaingrass	Pennisetum alopecuroides 'Hameln'	1 gal.
Autumn Joy Sedum	Sedum 'Autumn Joy'	1 gal.
Black Eyed Susan	Rudbeckia hirta	1 gal.
Northwind Switchgrass	Panicum virgatum 'Northwind'	1 gal.



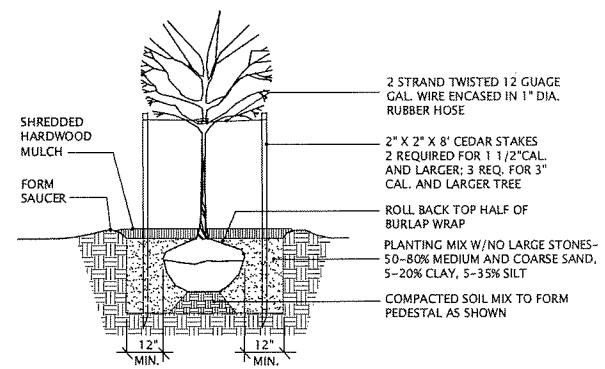
2 PERENNIAL PLANTING

NTS



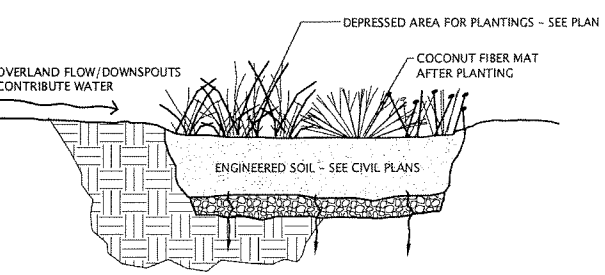
3 SHRUB PLANTING

NTS



4 TREE PLANTING

NTS



5 BIOINFILTRATION AREA

NTS

Landscape Calculations and Distribution:
 Five (5) landscape points shall be provided per each (300) sf of developed area for first (5) acres
 Total sf of developed area = 6,767 sf (0.16 acres)
 Developed area (6,767) divided by (300) x 5 = 113 Points Required

Development Frontage Landscaping
 Total lf of lot frontage = 100
 Required Trees = 3
 Required Shrubs = 17
 Provided Trees = 3
 Provided Shrubs = 17

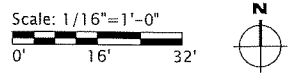
Tabulation of Points and Credits:

Plant Type/Element	Min. size	Points	Existing Qty.	Existing Pts.	Proposed Qty.	Proposed Pts.
Overstory deciduous tree	2 1/2" cal.	35	-	-	5	175
Ornamental tree	1 1/2" cal.	15	-	-	2	30
Upright evergreen shrub	3-4 feet tall	10	-	-	-	-
Shrub, deciduous	18" or 3 gal.	3	-	-	52	156
Shrub, evergreen	18" or 3 gal.	4	-	-	-	-
Ornamental grasses	18" or 3 gal.	2	-	-	18	36
Ornamental fence or wall	na	4 per 10 lf	-	-	-	-
Total						397

397 Total Points Provided (113 Required)

1 LANDSCAPE PLAN

1/16" = 1'-0"



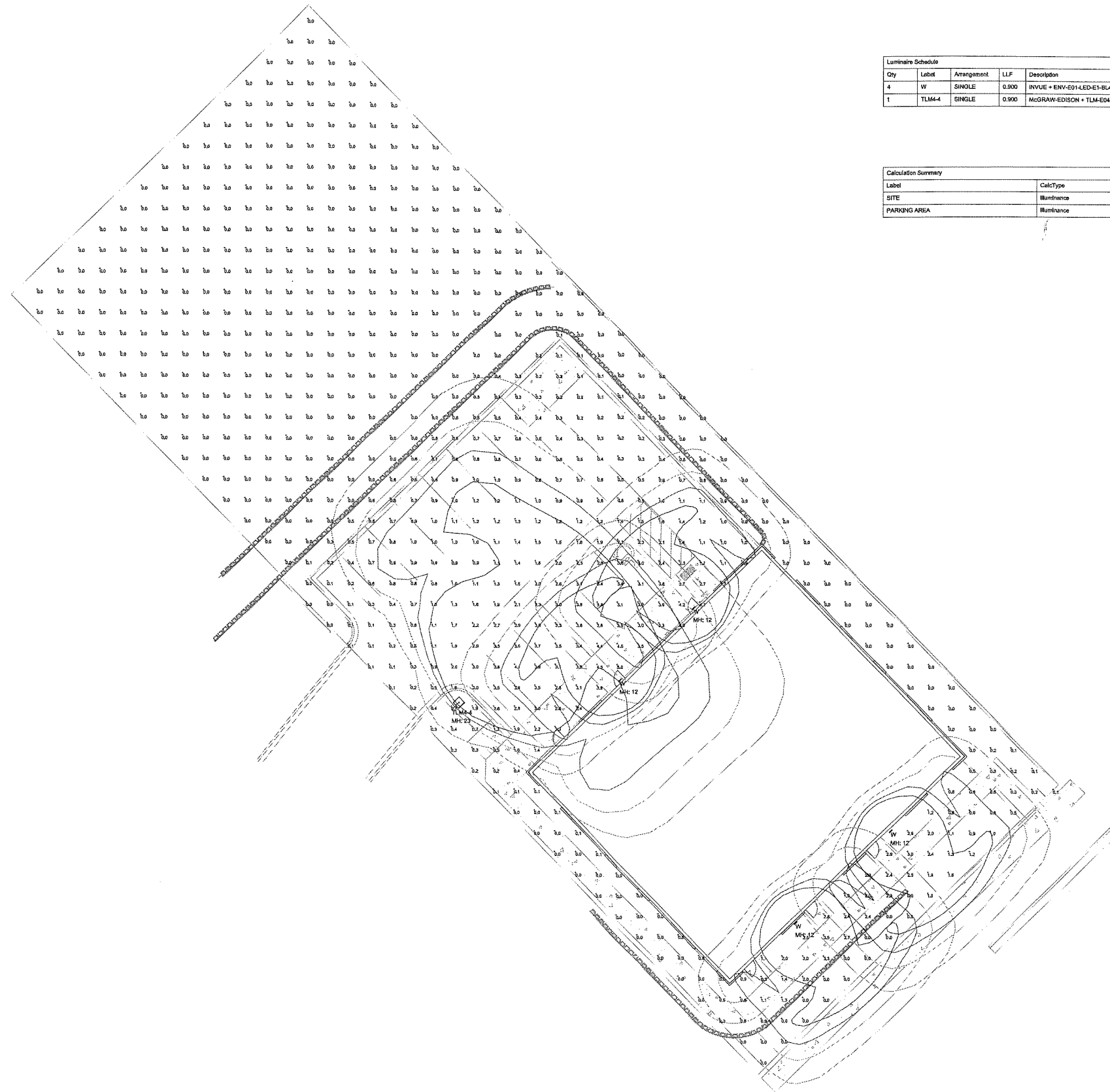
Sketchworks Architecture LLC
 7702 Grand Ave., Waukesha, WI 53092
 608.857.2525 www.sketchworksllc.com

MULTI TENANT BUILDING
 4706 EAST WASHINGTON AVE.

LANDSCAPE PLAN

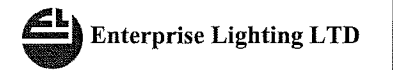
01/08/19 SUBMITTAL
 02/11/19 STAFF COMMENTS
 03/28/19 UPDATE
 04/23/19 STAFF COMMENTS

LS1.2



Luminaire Schedule							
Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts	Lum. Lumens
4	W	SINGLE	0.900	INVUE + ENV-ED1-LED-E1-BL4	24.7	98.8	2513
1	TLM4-4	SINGLE	0.900	MCGRAW-EDISON + TLM-ED4-LED-E1-SL4-HSS (20' POLE 3; BA	97.2	97.2	8139

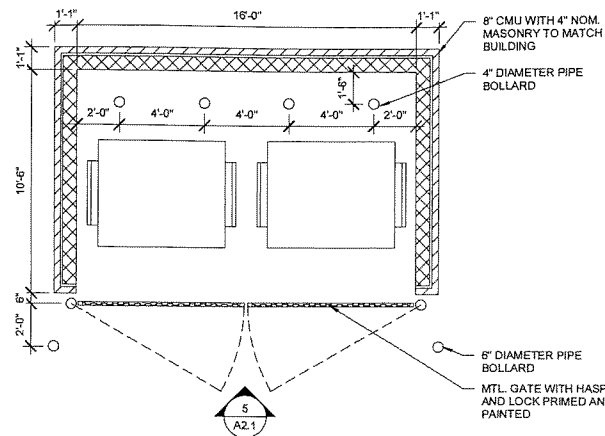
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.58	5.0	0.0	N.A.	N.A.
PARKING AREA	Illuminance	Fc	1.48	4.4	0.1	14.80	44.00



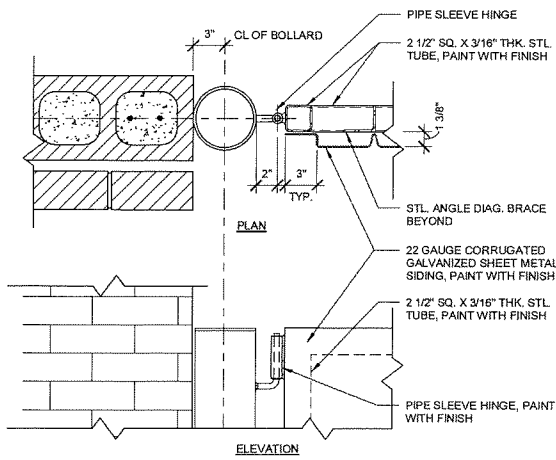
**MULTI-TENANT BUILDING
4706 E WASHINGTON AVE
MADISON, WISCONSIN**

**SITE
LIGHTING LAYOUT**

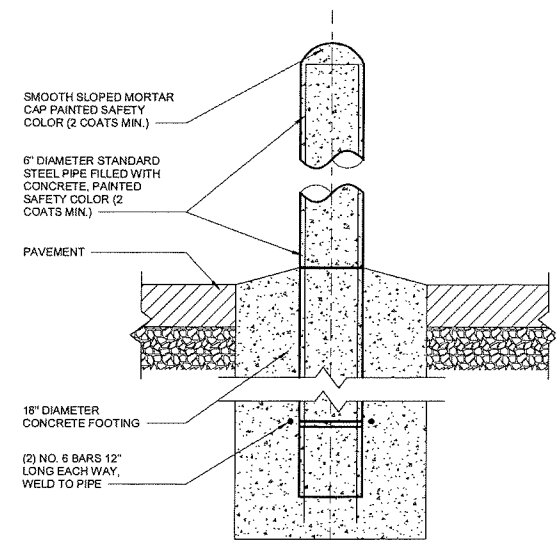
DATE: JAN 8, 2019 SCALE: 1/32" = 1'- 0" SHEET NUMBER: E1



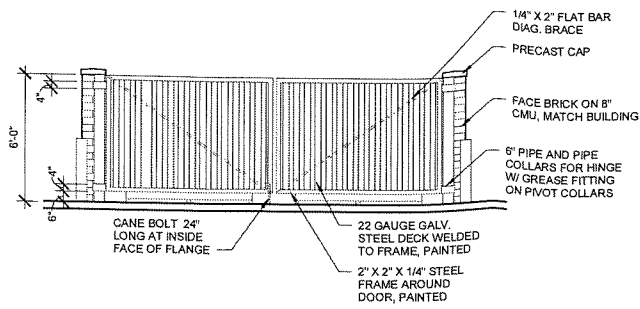
2 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



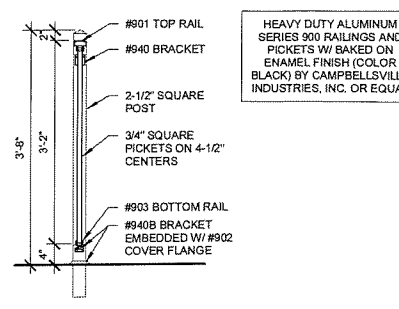
3 TRASH GATE DETAIL
1 1/2" = 1'-0"



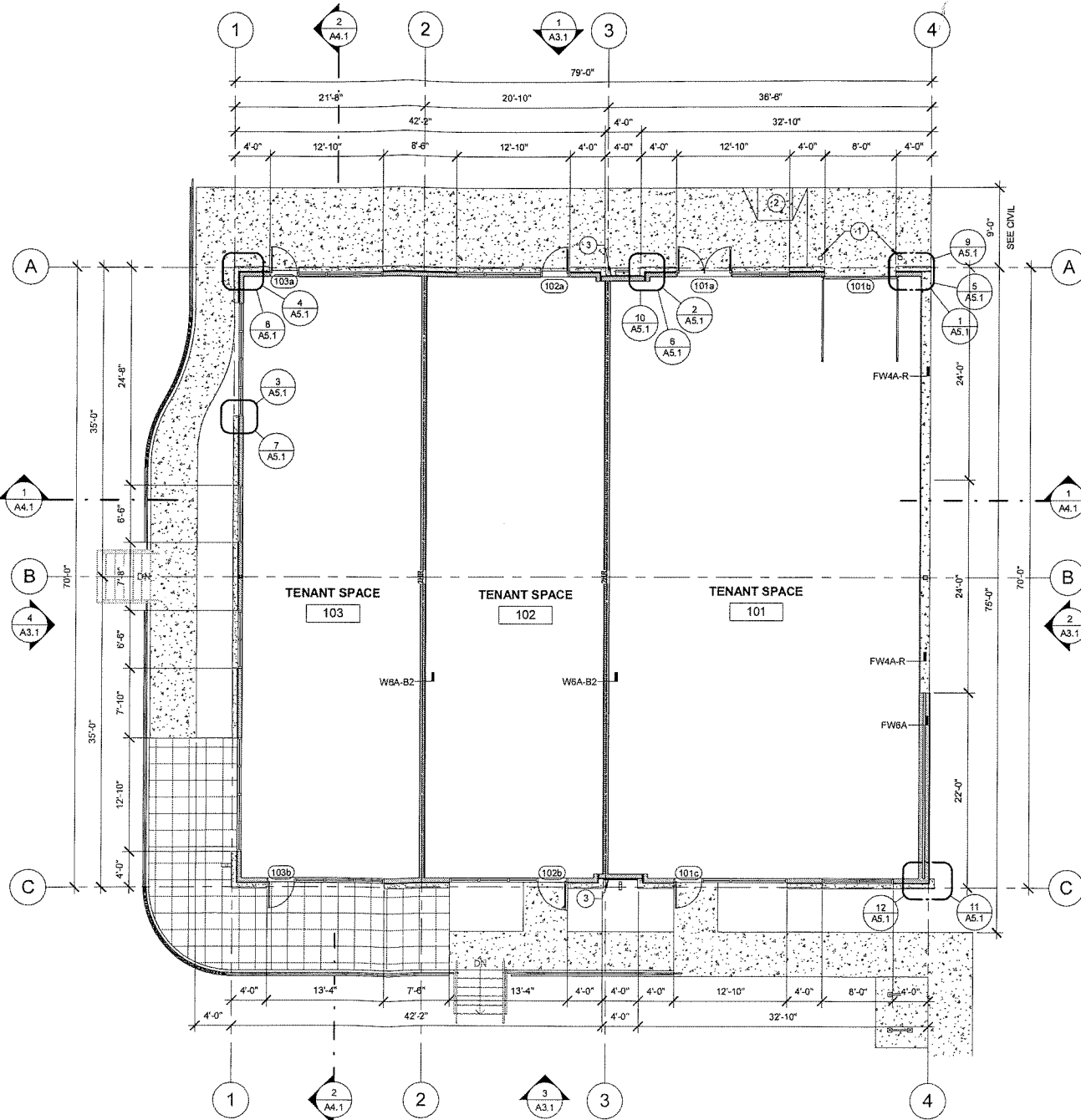
4 BOLLARD DETAIL
N.T.S.



5 TRASH ENCLOSURE ELEVATION
1/4" = 1'-0"



6 FENCE SECTION DETAIL
3/4" = 1'-0"



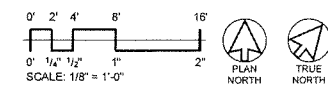
1 FLOOR PLAN
1/8" = 1'-0"

GENERAL PLAN NOTES:

- A. MECHANICAL, ELECTRICAL AND PLUMBING IMPROVEMENTS TO BE DESIGN BUILD UNO. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BUILD CONTRACTORS RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.
- B. PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A0.2
- C. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS
- D. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE OR TO EDGE OF FOUNDATION WALL UNO. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- E. INTERIOR DIMENSIONS ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS OTHERWISE NOTED. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- F. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- G. PROVIDE SOUND INSULATION IN ALL DEMISING WALLS AND INTERIOR WALLS UNO
- H. FIRE EXTINGUISHER CABINETS: SIZE AND DISTRIBUTION PER TABLE 906.3(1) IN THE 2016 IBC. CABINETS TO BE PARTIALLY RECESSED AND RATED TO MEET THE ASSOCIATED WALL FIRE RATING
- I. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND
- J. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK
- K. GENERAL CONTRACTOR TO MAINTAIN A PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES
- L. SUBMIT ALL FINISHES TO THE ARCHITECT FOR APPROVAL

KEYED PLAN NOTES:

- 1 PIPE BOLLARDS
- 2 ADA RAMP - SEE CIVIL DRAWINGS
- 3 EXTERIOR HOSE BIB - ALIGN WITH DEMISING WALL



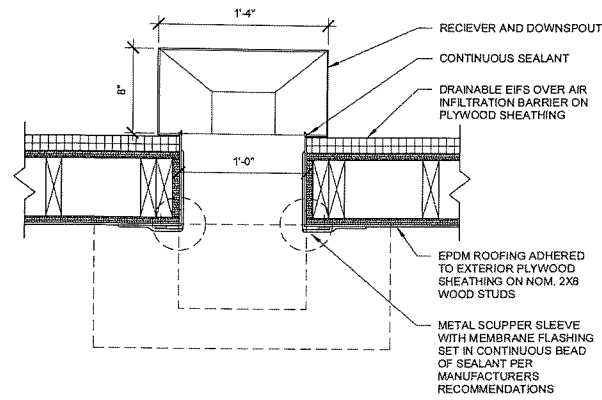
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MADISON, WI 53704

FIRST FLOOR PLAN

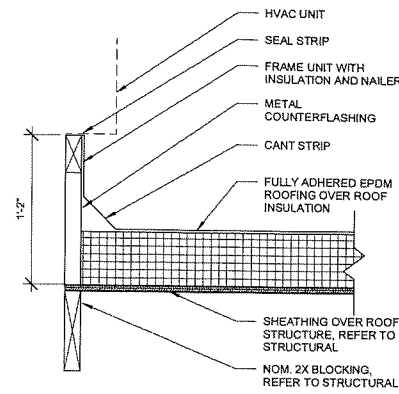
Project Status

A	19/01/09	PC SUBMITTAL
B	19/01/30	BID SET
C	19/03/28	UDC SUBMITTAL FOR CONSTRUCTION
	19/05/06	

A2.1



② SCUPPER DETAIL
1 1/2" = 1'-0"



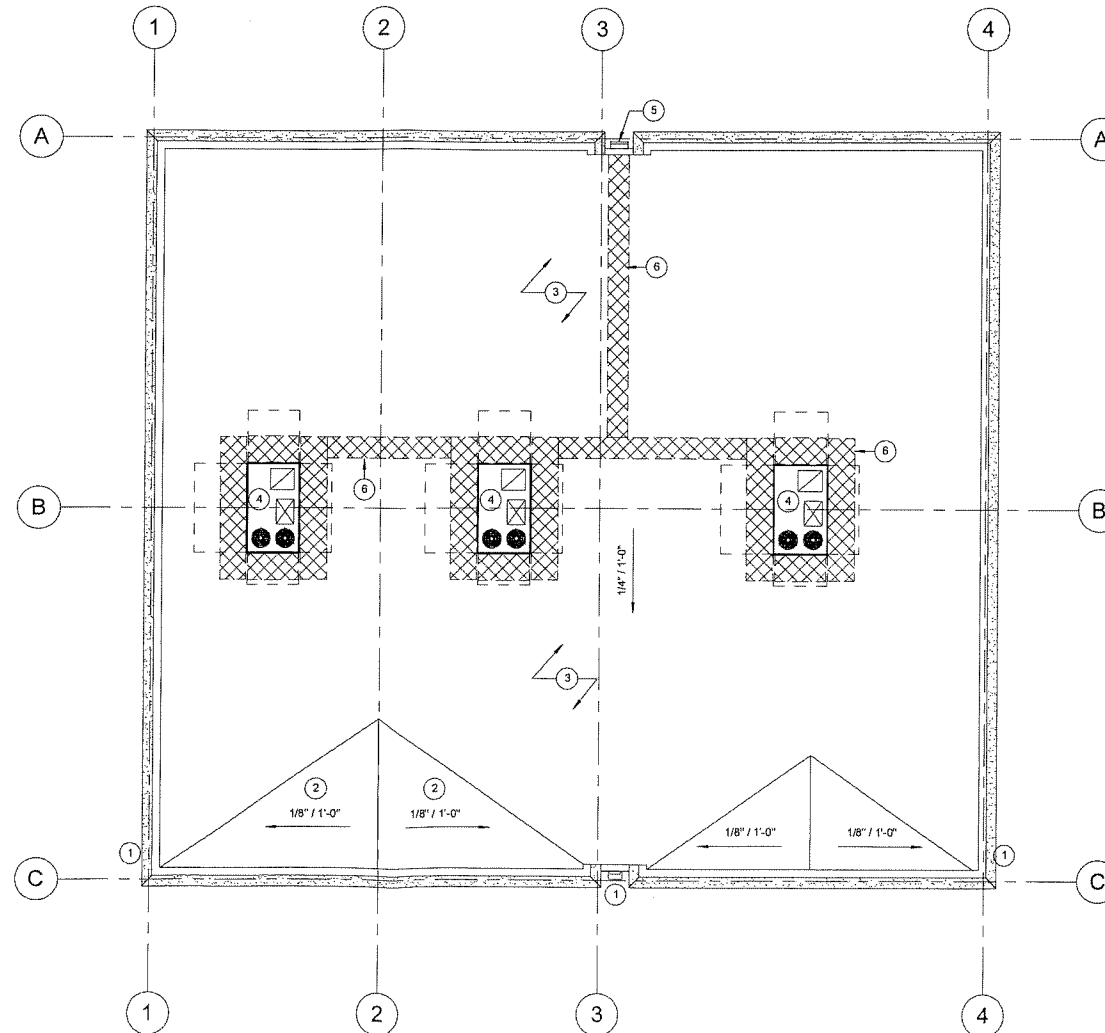
③ HVAC CURB DETAIL
1 1/2" = 1'-0"

GENERAL ROOF PLAN NOTES:

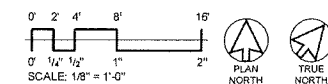
- A. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- B. DIMENSIONS ARE TO FACE OF EAVE UNO. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- C. STAIRWELL, ELEVATOR, AND MECHANICAL CHASE INTERIOR WALLS SHALL BE CONTINUOUS TO BOTTOM OF RATED CEILING ASSEMBLY CAP
- D. PROVIDE APPROPRIATE INSULATION IN ATTIC AREA. PROVIDE VAPOR BARRIER BELOW INSULATION
- E. PROVIDE DRAFTSTOPPING IN ATTIC/CEILING AS REQUIRED
- F. PROVIDE ADEQUATE ATTIC VENTING, 1 SF OF VENTING PER 300 SF ATTIC AREA (PROVIDE VAPOR BARRIER BELOW INSULATION IN ATTIC), 50% EXHAUST AND 50% INTAKE, AS REQUIRED
- G. INSTALL ICE AND WATER SHIELD AT ALL ROOF EAVES AND VALLEYS. EXTEND FROM EAVE TO 24" MIN INSIDE THE EXTERIOR WALL LINE. INSTALL PER MFG SPECIFICATIONS
- H. GUTTERS AT EDGE OF ALL SLOPED ROOF LOCATIONS
- I. FINAL DOWNSPOUT LOCATION SHOULD BE COORDINATED BETWEEN THE ROOFING CONTRACTOR, THE ARCHITECT AND THE CIVIL ENGINEER, VERIFY LOCATION OF DOWNSPOUTS

KEYED PLAN NOTES:

- ① PREFINISHED SCUPPER AND DOWNSPOUT, COLOR T.B.D
- ② SLOPED INSULATION ROOF CRICKET
- ③ FULLY ADHERED EPDM ROOFING OVER R-25 MIN. RIGID INSULATION ON ROOF SHEATHING OVER TAPERED ROOF TRUSSES
- ④ RTU: APPROX. LOCATION SHOWN. COORDINATE WITH HVAC CONTRACTOR
- ⑤ ROOF ACCESS LADDER WITH LOCKABLE ACCESS PANEL, SEE ELEVATIONS
- ⑥ ROOFTOP PAVERS



① ROOF PLAN
1/8" = 1'-0"



CONSTRUCTION SET



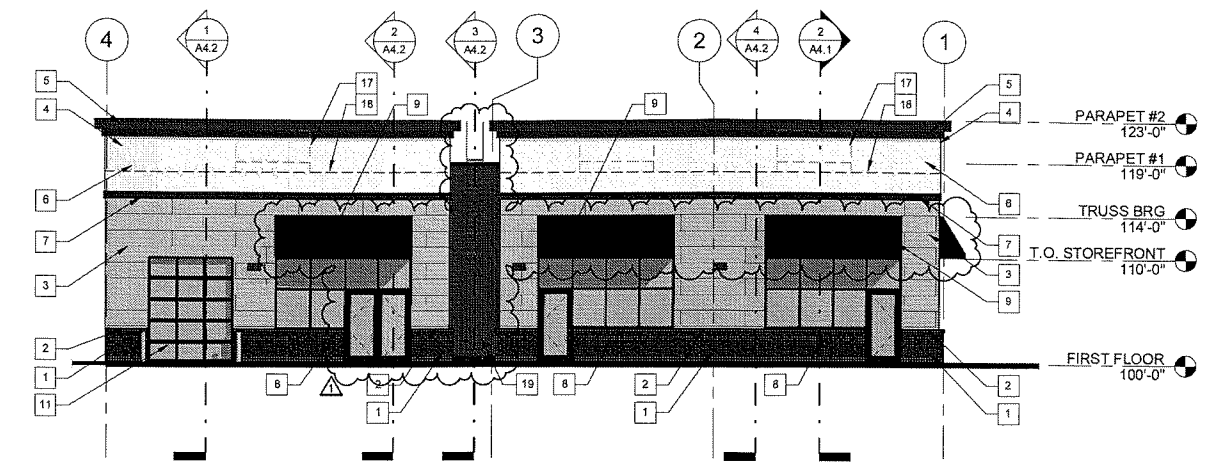
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ROOF PLAN

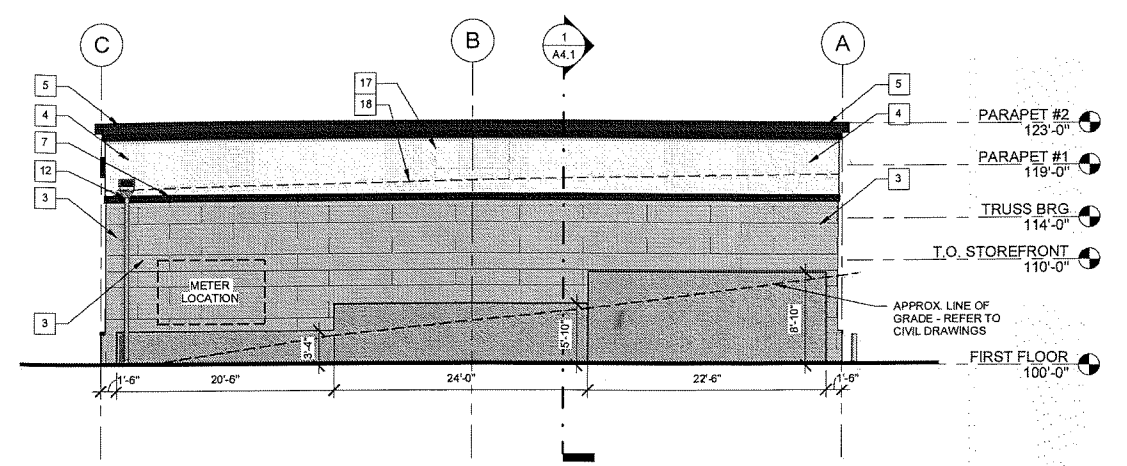
Project Status

A	19/01/09	PC SUBMITTAL
B	19/01/30	BID SET
C	19/03/28	UDC SUBMITTAL
	19/05/06	FOR CONSTRUCTION

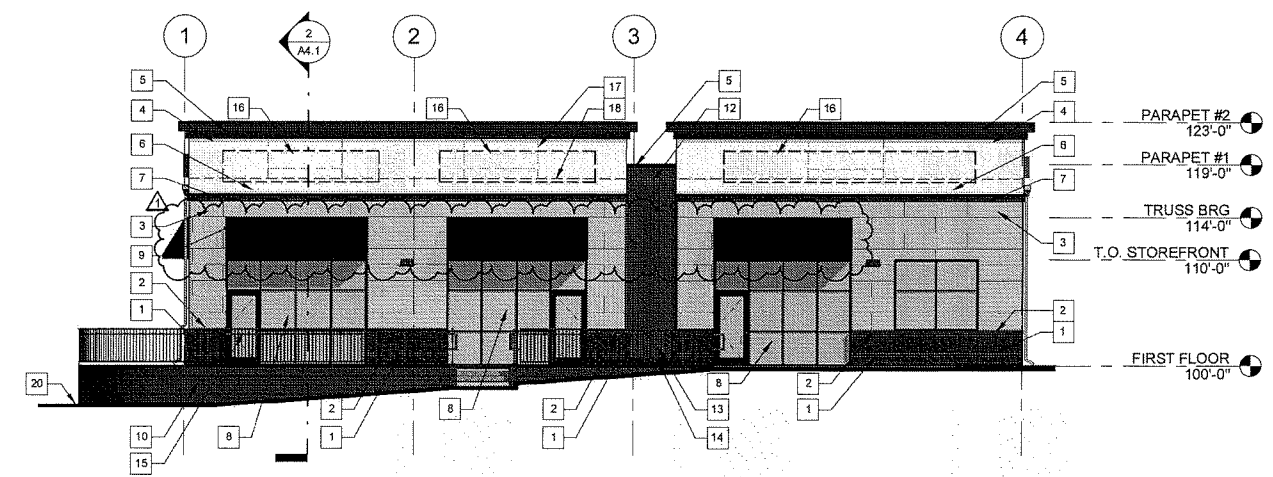
A2.2



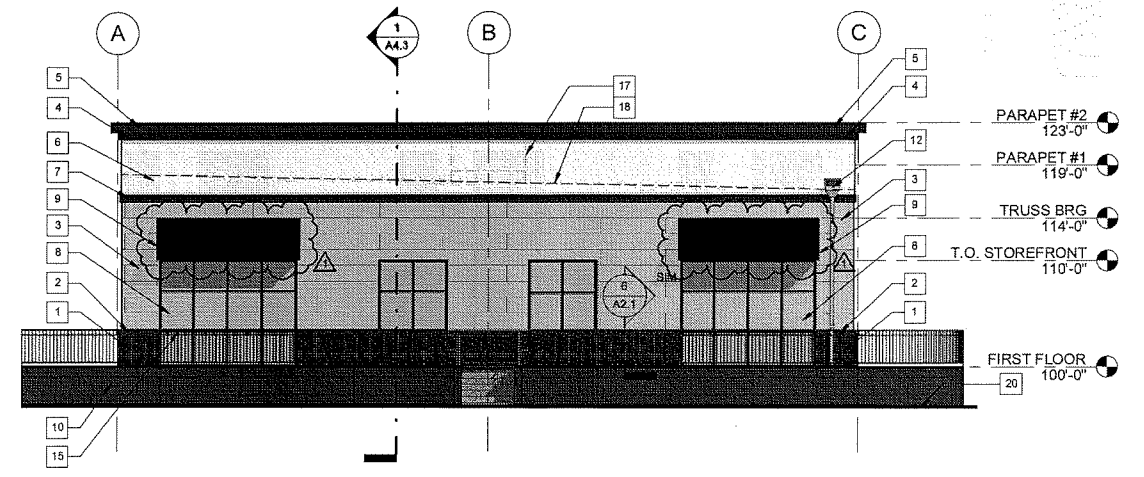
1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

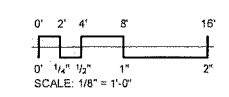
28.090 GENERAL PROVISIONS FOR MIXED-USE COMMERCIAL DISTRICTS - DOOR AND WINDOW OPENING REQUIREMENTS

60% OF LENGTH AT GROUND FLOOR
REQUIRED: 47'-5"
PROVIDED: 47'-6"

40% OF AREA OF GROUND FLOOR STREET FACADE
REQUIRED: 442.4 SF
PROVIDED: 448.3 SF

50% OF WINDOW SILLS WITHIN 3'-0" OF GRADE
REQUIRED: 23'-9"
PROVIDED: 39'-5"

EXTERIOR MATERIAL LIST					
#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	COMMENTS
1	BRICK VENEER	SIoux CITY BRICK	MODULAR	BLACK HILLS VELOUR	
2	PRECAST SILL	CUSTOM CAST STONE	SMOOTH FACE	OLIVE BUFF	
3	FIBER CEMENT PANEL	ALLURA OR EQUIVALENT	SMOOTH FACE PANEL	LINEN	
4	EIFS FASCIA	DRYVIT	SHOT BLAST FINE	WELL BRED BROWN	
5	PREFINISHED METAL COPING	DRYVIT	SHOT BLAST FINE	MEDIUM BRONZE	MATCH ALUMINUM STOREFRONT
6	EIFS SIGNAGE BAND	DRYVIT	SHOT BLAST FINE	NATURAL WHITE	
7	EIFS SIGNAGE TRIM	DRYVIT	SHOT BLAST FINE	WELL BRED BROWN	
8	ALUMINUM STOREFRONT			ANODIZED MEDIUM BRONZE	LOW-E GLAZING
9	FABRIC AWNING			BLACK	
10	CMU RETAINING WALL				COLOR TO MATCH BLACK HILLS VELOUR BRICK
11	GLASS PANEL SECTIONAL DOOR	OVERHEAD DOOR, OR EQUAL		ANODIZED DARK BRONZE	MATCH ALUMINUM STOREFRONT; VERIFY WITH TENANT ON CONTROLS
12	PREFINISHED SCUPPER AND DOWNSPOUT				COLOR TO MATCH ADJACENT FIBER CEMENT MATERIAL
13	FIBER CEMENT SIDING	JAMES HARDIE OR EQUIVALENT	SMOOTH TEXTURE	RICH ESPRESSO	
14	CAST STONE	CUSTOM CAST STONE	SMOOTH FACE	OLIVE BUFF	
15	GUARDRAIL	CAMPBELLVILLE INDUSTRIES, INC	900 SERIES	BLACK	OR EQUAL; REFER TO DETAIL B1A2.1
16	TENANT SIGNABLE AREA				PROVIDE ELECTRICAL CONNECTION FOR TENANT SIGNAGE
17	ROOF TOP UNIT	TBD			3HX7W SHOWN FOR REFERENCE; COORDINATE WITH HVAC CONTRACTOR
18	ROOF LINE				GRAY DASHED LINE SHOWS ROOF LINE FOR REFERENCE
19	ROOF ACCESS LADDER				OSHA APPROVED ROOF ACCESS LADDER WITH LOCKABLE SECURITY GATE. PAINT TO MATCH SIDING PANEL
20	GRADE VARIES. SEE CIVIL				



CONSTRUCTION SET

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EXTERIOR ELEVATIONS

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