

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM #** \_\_\_\_\_  
**Project #** \_\_\_\_\_

DATE SUBMITTED: <u>04/16/08</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>04/23/08</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: Lake Park Apartments - 451 W. Wilson & 315 S. Bassett Sts  
ALDERMANIC DISTRICT: 4 - Verveer

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
McGrath Associates, Inc. SGN+A  
Lance T. McGrath, P.E. Bruce Simonson

CONTACT PERSON: Lance T. McGrath  
Address: 103 N. Hamilton St.  
Madison, WI 53703  
Phone: 608-255-3976 x-225  
Fax: 608-255-1132  
E-mail address: lmcgrath@mcgrathprojects.com

- TYPE OF PROJECT:  
(See Section A for:)
- Planned Unit Development (PUD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building or Space (Fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
  - Planned Commercial Site
- (See Section B for:)
- New Construction or Exterior Remodeling in C4 District (Fee required)
- (See Section C for:)
- R.P.S.M. Parking Variance (Fee required)
- (See Section D for:)
- Comprehensive Design Review\* (Fee required)
  - Street Graphics Variance\* (Fee required)
  - Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)  
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

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# MCGRATH

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*Associates*

REAL ESTATE INVESTMENTS

103 N. HAMILTON STREET, MADISON WI 53703

608-255-3976/FAX 255-1132

www.mcgrathprojects.com

April 16, 2008

Al Martin  
Department of Planning and Development  
City of Madison  
215 Martin Luther King Jr. Blvd.  
Madison, WI 53701

**RE: LAKE PARK APARTMENT HOMES  
URBAN DESIGN COMMISSION - APRIL 23, 2008**

Dear Al,

On February 6, 2008 we submitted a PUD-GDP-SIP for the Lake Park Apartment Homes located at 451 W. Wilson Street and 351 S. Bassett St. Lake Park is a 40-unit four story apartment building over two levels of structured parking. The 1<sup>st</sup> and 4<sup>th</sup> floors of the buildings feature set backs – please refer to the attached Letter of Intent and Plans for additional information.

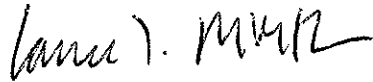
On March 12, 2008 we went before the Urban Design Commission (UDC) with the project and received Initial Approval. Since that time we have been working to address the comments/conditions of approval that were raised by UDC, and the following changes have been made:

- Multiple landscape and site design issues have been addressed
- All HVAC condensers will be located on the roof of the building
- The front and rear raised parapets have been eliminated.
- Side elevations have been enhanced:
  - All EIFS removed from the design
  - Added significant amount of brick to reinforce the “Book-Ends” of the building
  - The central “body” of the building is now more coherent and consists of one material (metal siding) and one main color with complementary accents.
- Steps taken to bring the mass of the building down and to activate the Bassett Street Elevation:
  - Two bays on Bassett extended all the way down to grade
  - Two parking level windows have been extended down to the lower level at the end of Bassett Street
  - Accentuate the Bassett stair entrance with the addition of signage
  - Use a darker base material to soften and reduce the apparent height of the parking structure wall.

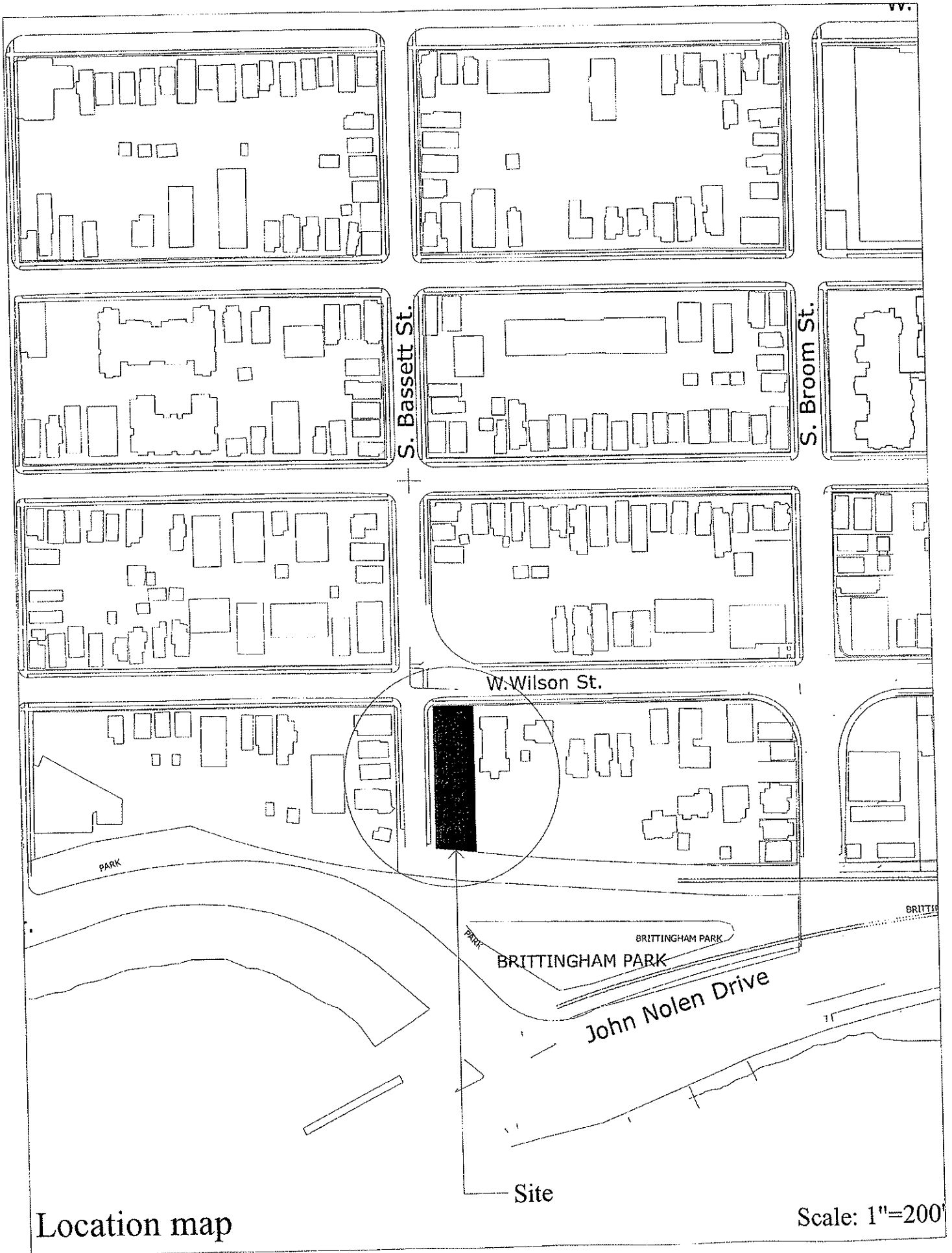
Please include this project on the Urban Design Commission agenda for April 23, 2008.  
Attached to this letter please find 14 copies of the required information.

Sincerely,

McGrath Associates, Inc.

A handwritten signature in black ink, appearing to read "Lance T. McGrath". The signature is written in a cursive, somewhat stylized font.

Lance T. McGrath, P.E.  
President



Location map

Scale: 1"=200'

# **Lake Park Apartments**

*Proposed Signage*  
*4/16/08*



Stainless steel building sign

Vinyl address sign

## Wilson Street Entry

Scale" 1/4"=1'-0"



Metal canopy

Stainless steel building sign mounted to front edge of canopy

## Basset Street Entry

Scale" 1/4"=1'-0"

III  
**MCGRATH**  
*Associates*

REAL ESTATE INVESTMENTS  
103 N. HAMILTON STREET, MADISON WI 53703  
608-255-3976/FAX 255-1132  
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February 6, 2008

Mr. Brad Murphy  
Director of Planning  
Department of Planning and Development  
City of Madison  
215 Martin Luther King Jr. Blvd.  
Madison, WI 53701

**RE: LETTER OF INTENT – LAKE PARK APARTMENT HOMES**

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for Staff, Plan Commission and Common Council consideration and Approval.

**Project:** *Lake Park Apartment Homes*

451 W. Wilson and 315 S. Bassett Streets  
Madison, WI 53703

**Owner:** McGrath-Bassett, LLC  
c/o Lance McGrath  
McGrath Associates, Inc  
103 N. Hamilton St.  
Madison, WI 53703

**Developer:** Lance T. McGrath, P.E.  
McGrath Associates, Inc  
103 N. Hamilton St.  
Madison, WI 53703

**Architect:** SGN+A  
1190 W. Druid Hills Dr., NE  
Suite T-65  
Atlanta, GA, 30329  
Contact: Bruce Simonson  
1-770-841-9977

**Landscape  
Architect/  
Civil Eng.** Schreiber/Anderson Assoc.  
717 John Nolen Drive  
Madison, WI 53703  
Contact: Chris Theil  
1-608-255-0800



### ***Project Summary:***

McGrath Associates, Inc. proposes to develop the Lake Park Apartment Homes on a 15,349 square foot site located at 315 S. Bassett St. and 451 W. Wilson Streets in Downtown Madison. The site is currently zoned R6 and contains two residential rental buildings – containing a total of 9 apartments. These buildings (constructed in 1954 and 1962) will be demolished to allow for construction of 40 new residential rental units on four levels over two levels of structured parking. The residential levels step back at first level (rear only) and at the 4<sup>th</sup> floor at both ends of the building.

One of the goals of this project is to compliment and respect the adjacent Dowling Apartment building. We have successfully accomplished this by maintaining the 20-foot set back along Wilson Street, by complimenting the architecture of the street façade, and by stepping the building back at the 4<sup>th</sup> level to correspond to the parapet height of the Dowling. McGrath Associates has a long history of completing challenging infill projects that compliment/enhance adjacent historic properties (4<sup>th</sup> Ward Lofts/Doris House, Capitol Point/Parkside Building, Nolen Shore/Doty School, and Hancock Court/Kleuter Building) and this project has been designed and will be executed with the same level of care.

### ***Site Description:***

The site is comprised of two parcels located at the end of S. Bassett Street – where it terminates at the railroad tracks. The two parcels create an end-cap for the block. There is 16-feet of grade differential going from one end of the property to the other. This grade differential presents some challenges – but also allows for two distinct levels of parking - each accessed from different points along Bassett Street without having to create an internal parking ramp.

The proposed project is located in an area that is dominated by multifamily rental properties. The project is immediately surrounded by four homes to the South (on the other side of Bassett - two of which are owner-occupied), the railroad corridor to the East, the Dowling Apartment building to the North and the Wilson Bay Apartments to the West (on the other side of Wilson St.). There are several buildings in the area that are of comparable scale – primarily three-story apartment buildings with a pitched roof (like Wilson Bay) however immediately behind the 4 homes on the other side of Bassett street is the Diplomat Apartment building – which is 7 stories tall.

### ***Building Description:***

The proposed building is set back 20-feet from Wilson Street, 10.5 feet from the side yard, 7-13 feet at the railroad corridor (this steps back an additional 8.5-feet at the first residential level) and 1-foot from the Bassett St. Property Line. It should be noted that this property line is located approximately 8-feet from the existing sidewalk. Bassett Street is a standard 66-foot right-of-way street but it has been built 50-feet wide resulting

in an 8-foot wide portion of City property outside the sidewalk on both sides of the street. As discussed with Staff, we will be requesting an Encroachment Agreement with the City which will allow us to project balconies and landscape the area.

The base of the building consists of two levels of structured parking and will be constructed with a pre-cast block veneer and features translucent windows that allow natural light into the parking levels. At the East and North ends of the building the first residential level steps back from the base of the building an additional 8.5 feet (East) and 5.8 feet (North). The residential levels repeat going up for the first three levels and then step back again at the fourth residential level.

The exterior of the building has been designed to incorporate multiple building products. The front and rear elevation are clad with a brick veneer which wraps back around the side elevations and return into the building where it transitions to a synthetic stucco material. The building also features several vertical bay elements that are clad with a horizontal metal panel product. The entire fourth floor is also clad with the same metal panel material.

A unique architectural feature of the project will be the balconies that project out from the face of the building and are connected back to the building with diagonal tie rods. Additionally 25% of the units will have large outdoor terraces that range from approximately 125 to 500 square feet in size.

The project will contain 40 residential apartments: 28 one bedroom units and 12 two bedroom units. These units range in size from 604 to 1,271 square feet. The four residential levels total 41,362 square feet. The parking levels total 21,347 square feet and creates 49 parking stalls (1.2:1 parking ratio) along with 54 bike parking stalls and 33 storage units. Both parking levels are accessed from Bassett Street. The applicant is requesting a street loading zone on S. Bassett St.

### ***Landscape Design:***

The landscape design for the Lake Park Apartment project accents and compliments the architecture. Landscape plants were chosen and positioned to accent the lines of the building, integrating the building to the site. Two planters flank the stairs on the Wilson Street main entrance. The stairs and planters reduce the scale of the entrance to a pedestrian scale, making the entry inviting and comfortable for residents and visitors. The rear of the site incorporates two vine trellis structures to compliment the architecture and deter vandalism along the façade. Rainwater collected from approximately 1/3 of the roof area will be diverted from the City storm sewer collection system to the rear of the site where it will flow into a Rain Garden.

***Sustainability and Energy Efficiency:***

Sustainability is synonymous with infill development. Infill projects like Lake Park create high quality housing opportunities close to work/educational centers and promotes the use of mass-transit, pedestrian and bicycle transportation. This dramatically lessens sprawl and the impact on our infrastructure and municipal services.

Another project goal is to make this a very energy efficient building. We have been working with Focus on Energy to realize this goal. We will incorporate energy star windows, appliances and light fixtures. The HVAC system is being designed to meet a high level of energy efficiency not typically seen in apartment projects. The roof will be covered with a white EPDM membrane which reflects heat in Summer and water conserving plumbing fixtures will be installed. Stormwater management techniques that were previously discussed will be implemented.

***Trash and Snow Removal:***

Trash and snow removal from the building will be privately contracted. A separate trash collection room with garbage and recycling containers will be located at the lower parking level directly across from the garage entrance door for residents to dispose of their trash and recycling. The trash removal contractor will be able to collect these containers without impeding the flow of traffic.

***Schedule:***

Construction of Lake Park is planned to begin in June of 2008 with completion in the Summer of 2009. It is critical that we maintain this schedule in order to be ready for the 2009 Summer rental season.

Sincerely,

McGRATH ASSOCIATES,



Lance T. McGrath, P.E.  
President

# Lake Park Apartment Homes

## SIP ZONING TEXT PLANNED UNIT DEVELOPMENT DISTRICT

February 6, 2008

**Legal Description:** The lands subject to this Planned Unit Development District shall include those described on Exhibit A, attached hereto.

### **I. Statement of Purpose**

This Planned Unit Development District is established to allow for the construction of a 40-unit residential apartment building with structured parking on a 15,349 sq. ft. site, located in the Bassett Neighborhood - near the Capitol Square business district.

### **II. Permitted Uses**

- A. Those that are stated as permitted uses in the R6 zoning District.
- B. Residential Dwellings: 40 New Residential Units, including:
  - 28 - One (1) Bedroom Units
  - 12 - Two (2) Bedroom Units
- C. Uses: Uses Accessory to permitted uses as listed above.

### **III. Lot Area**

- A. 15,349 sq. ft., as stated in Exhibit A, attached hereto.

### **IV. Height, Yard, Usable Open Space and Landscaping Requirements**

- A. As provided on the approved PUD plans.

### **V. Accessory Off-Street Parking & Loading**

- A. Accessory off-street parking will be provided as shown on the approved plans.
- B. A street Loading Zone will be provided on S. Bassett Street.

**VI. Lighting**

- A. Site lighting will be provided as shown on the approved plans.

**VII. Signage**

- A. Signage will be allowed as per Chapter 31 of the Madison General Ordinances, as compared to the R-6 district, and/or signage will be provided as approved on the recorded plans.
- B. Temporary Construction/Marketing Signage that does not conform with the Chapter 31 of the Madison General Ordinances will be allowed on the building during construction to promote the project, developer and contractors. This signage will be removed upon receipt of a certificate of occupancy.

**VIII. Family Definition**

- A For the purposes of this Planned Unit Development the family will be as defined in Chapter 28.03(2) of Madison General Ordinances for the R-6 District.

**IX. Alterations and Revisions**

- A. No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Plan Commission; however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the Alderperson of the district and are compatible with the concept approved by the City Plan Commission.

**EXHIBIT A**  
**LEGAL DESCRIPTION**

Being Lot 1, Block 47, of the Original (Pritchette) Plat of Madison, recorded in Vol. A, Pg. 3 of Plats, located in Section 23, T07N, R09E, City of Madison, Dane County, Wisconsin more particularly described as follows;

Commencing at a meander corner north of the East 1/4 of said Section 23, said meander corner being South 00 degrees 30 minutes 09 seconds West, 1615.78 feet of a meander corner which is southerly of the Northeast corner of Section 23, thence West, 536.82 feet to a point on the southeasterly right-of-way line of West Wilson Street, and the northwesterly boundary line of said Block 47, Pritchette Plat of Madison; thence South 45 degrees 39 minutes 45 seconds West, 435.12 feet to the northeasterly corner of Lot 1, of said Block 47, said point being marked by a bent 1" iron pipe and being the point of beginning of this description; thence South 44 degrees 20 minutes 15 seconds East, along the northeastly boundary line of said Lot 1, Block 47, 235.30 feet to a point on the northwesterly right-of-way of the Chicago, Milwaukee, St. Paul & Pacific Railroad; thence South 51 degrees 06 minutes 20 seconds West, along said northwesterly railroad r.o.w. 66.42 feet; thence North 44 degrees 20 minutes 15 seconds West, along the southwesterly boundary line of Lot 1, Block 47, and northeasterly r.o.w. line of Bassett Street, 229.00 feet; thence North 45 degrees 39 minutes 45 seconds East, along the northwesterly boundary line of said Lot 1, Block 47 and the southeasterly r.o.w. line of West Wilson Street to the point of beginning.

# Urban Design Submittal Documents

# Lake Park Apartment Homes

Madison, Wisconsin

A Residential Development by McGrath Associates, Inc · Madison, Wisconsin

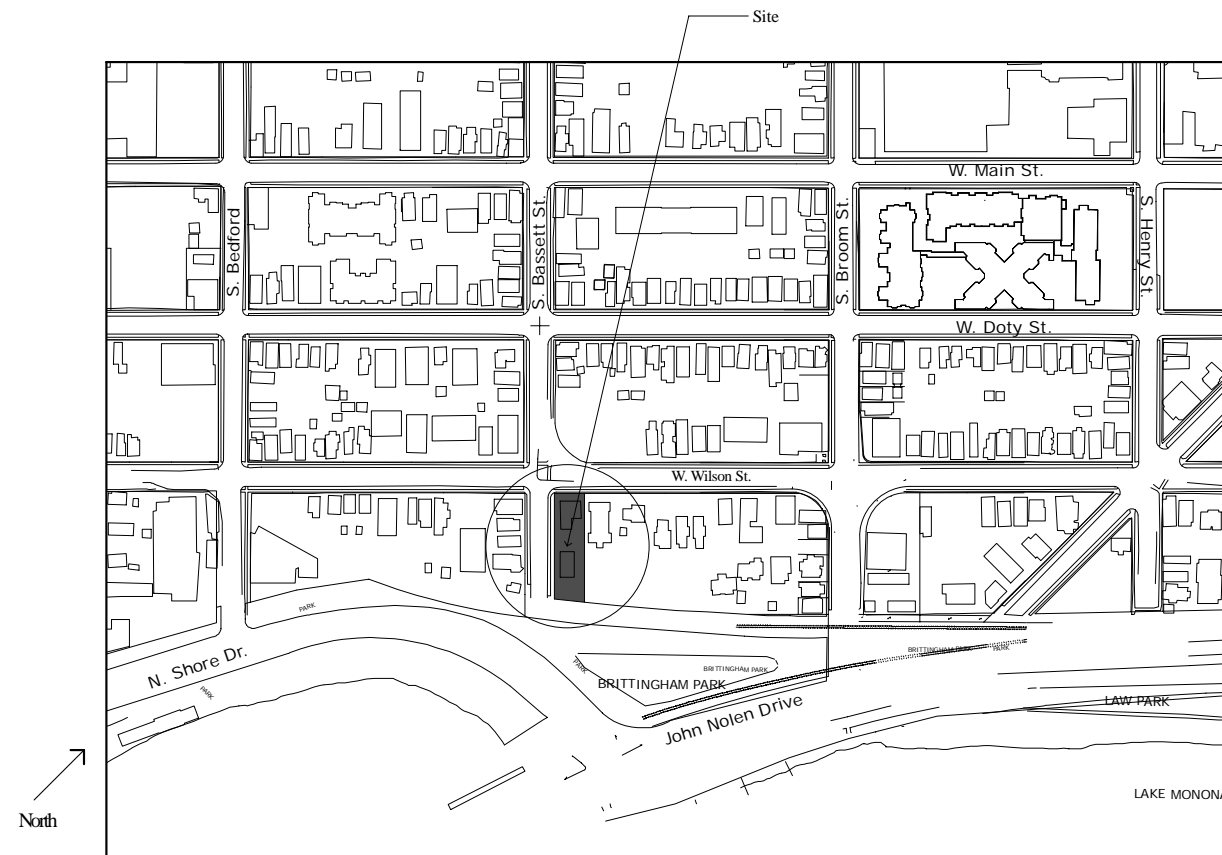
16 April 2008

## Drawing Index

- Cover -
- A0 Architectural Site Plan
- C1.0 Demolition Plan
- C4.0 Site Grading Plan
- C5.0 Site Layout Plan
- C6.0 Landscape Plan
- C7.0 Details
- C7.1 Details
- C7.2 Details
- C8.0 Lighting Plan
- A1 Lower Parking Level Plan
- A2 Upper Parking Level Plan
- A3 1st Residential level
- A4 2nd/3rd Residential Level
- A5 4th Residential level
- A6 Roof Plan
- A7 Building Elevation
- A8 Building Elevation
- A9 Building Elevations
- A10 Wall Section at Brick
- A11 Wall Section at Bay Window

## Project Data

Lower Parking	23 Stalls
Upper Parking	<u>26 Stalls</u>
Total	49 Stalls
1st Residential Level	10 Units
2nd Residential Level	10 Units
3rd Residential Level	10 Units
4th Residential Level	<u>10 Units</u>
Total	40 Units



Location Map

**SGN+A**

Simonson Germany Nonemaker + Associates, Inc.  
 Planning Architecture Landscape Architecture

1190 West Druid Hills Dr., NE Suite T-65 Atlanta, GA 30329  
 Telephone: 404-634-4466 Facsimile: 404-634-4433



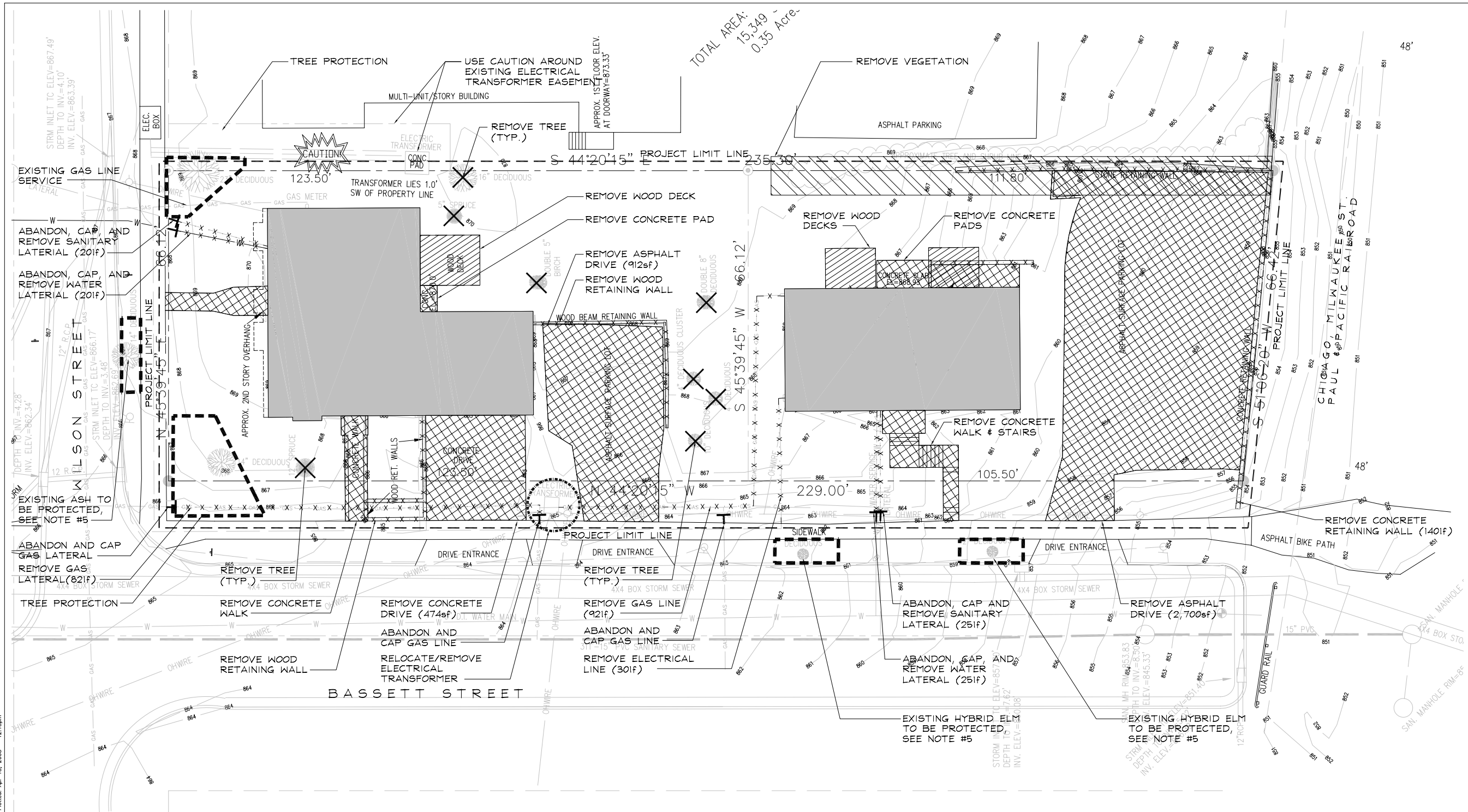
Architectural Site Plan

Scale: 1/8"=1'-0"





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TOTAL AREA:  
15.349 -  
0.35 Acre.

Professional Seal

Revision Date

Project Name

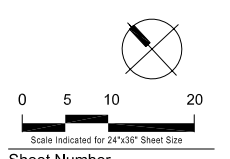


McGrath Associates  
103 N. Hamilton St.  
Madison, WI 53703

Lake Park  
Apartment Homes  
Madison  
Wisconsin

Drawn By: AW  
Checked By: CT  
File: P-DEMO  
Issued For: UDC  
Issue Date: 04/16/2008  
Project No. 2284

SHEET  
DEMOLITION  
PLAN



**C1.0**

**LEGEND:**

	REMOVE PAVEMENT (CONCRETE OR ASPHALT)
	REMOVE BUILDING
	REMOVE WOOD DECK
	CLEAR AND GRUB VEGETATION
- x - x - x - x - x - x -	REMOVE UTILITY, FENCE, OR WALL
	REMOVE VEGETATION
	TREE PROTECTION FENCE
	PROJECT LIMITS

CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE  
WIS STATUTE 98.27(5)(9)4  
REQUIRES YOU TO WORK SAFELY  
NOTICE BEFORE YOU EXCAVATE  
MIL.W. AREA 259-1181

TO OBTAIN LOCATIONS OF UTILITIES PRIOR TO BEGINNING WORK ON FACILITIES BEFORE YOU DIG IN WISCONSIN

- NOTES:**
- CALL DIGGERS HOTLINE TO LOCATE UTILITIES PRIOR TO BEGINNING WORK ON SITE 1.800.242.8511
  - CLEAR AND GRUB VEGETATION TO THE LIMITS OF WORK PER SPECIFICATIONS
  - UNLESS OTHERWISE NOTED, ALL ITEMS DESIGNATED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF OFF-SITE
  - ALL EXISTING UTILITIES NOT USED SHALL BE ABANDONED PER CITY OF MADISON SPECIFICATIONS, CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES
  - CONTRACTORS SHALL INSTALL FENCING AROUND THE TRUNKS OF ALL EXISTING TERRACE TREES. FENCING SHALL COVER THE WIDTH OF THE TERRACE AND EXTEND AT LEAST FIVE (5) FEET FROM THE TRUNKS IN BOTH DIRECTIONS. TREES INCLUDE: TWO (2) HYBRID ELMS ALONG S. BASSETT STREET, & ONE (1) GREEN ASH ALONG W. WILSON STREET



SCHREIBER / ANDERSON  
ASSOCIATES, INC.  
717 John Nolen Drive  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
www.saa-madison.com

Professional Seal

Revision Date

Project Name



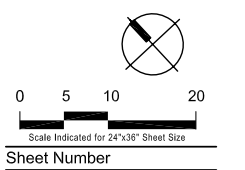
McGrath Associates  
103 N. Hamilton St.  
Madison, WI 53703

Lake Park  
Apartment Homes

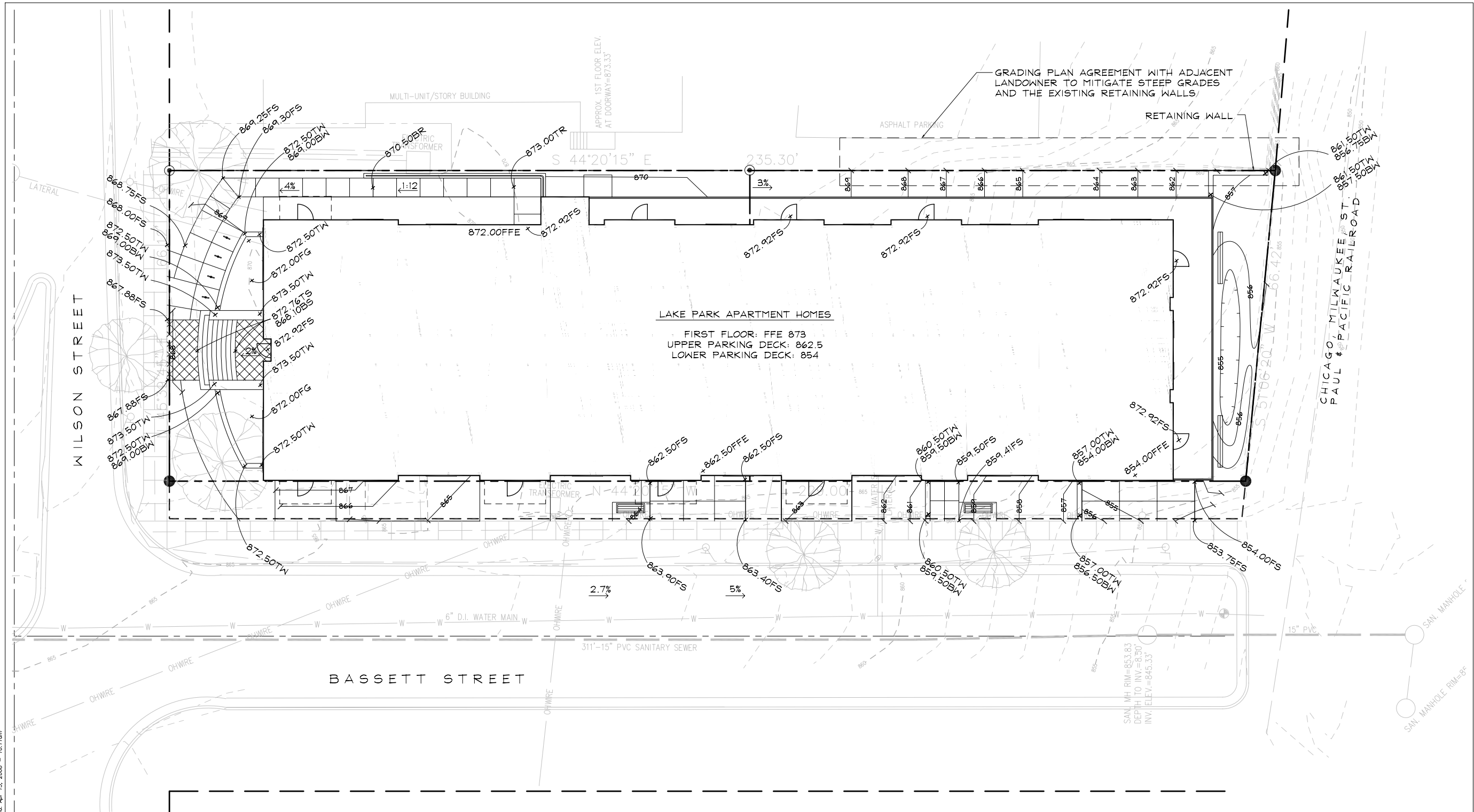
Madison  
Wisconsin

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Issued For: UDC  
Issue Date: 04/16/2008  
Project No. 2284

SHEET  
SITE GRADING  
PLAN



Sheet Number  
**C4.0**



LAKE PARK APARTMENT HOMES  
FIRST FLOOR: FFE 873  
UPPER PARKING DECK: 862.5  
LOWER PARKING DECK: 854

GRADING PLAN AGREEMENT WITH ADJACENT  
LANDOWNER TO MITIGATE STEEP GRADES  
AND THE EXISTING RETAINING WALLS

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LEGEND:		NOTES:	
TS	TOP OF STAIR	<p>1. CONTRACTOR SHALL PERFORM ALL EARTHWORK AND GRADING PER SPECIFICATIONS. ALL PROPOSED PAVING, CURBS, AND PLANTING AREAS SHALL TRANSITION SMOOTHLY TO EXISTING ADJACENT FEATURES. PROVIDE POSITIVE DRAINAGE ON ALL PAVING AND THROUGHOUT ALL PLANTING AREAS.</p> <p>2. EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILLING SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE</p> <p>3. CONTOUR INTERVAL IS ONE (1) FOOT.</p>	
BS	BOTTOM OF STAIR		
TW	TOP OF WALL		
BW	BOTTOM OF WALL		
TR	TOP OF RAMP		
BR	BOTTOM OF RAMP		
HP	HIGH POINT		
LP	LOW POINT		
FS	FINISH SURFACE		
FG	FINISH GRADE		
FFE	FINISH FLOOR ELEVATION		
2%	SLOPE DIRECTION		
---	PROJECT LIMITS		



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Professional Seal

Revision \_\_\_\_\_ Date \_\_\_\_\_

Project Name \_\_\_\_\_



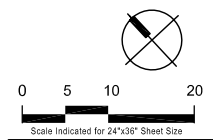
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Apartment Homes

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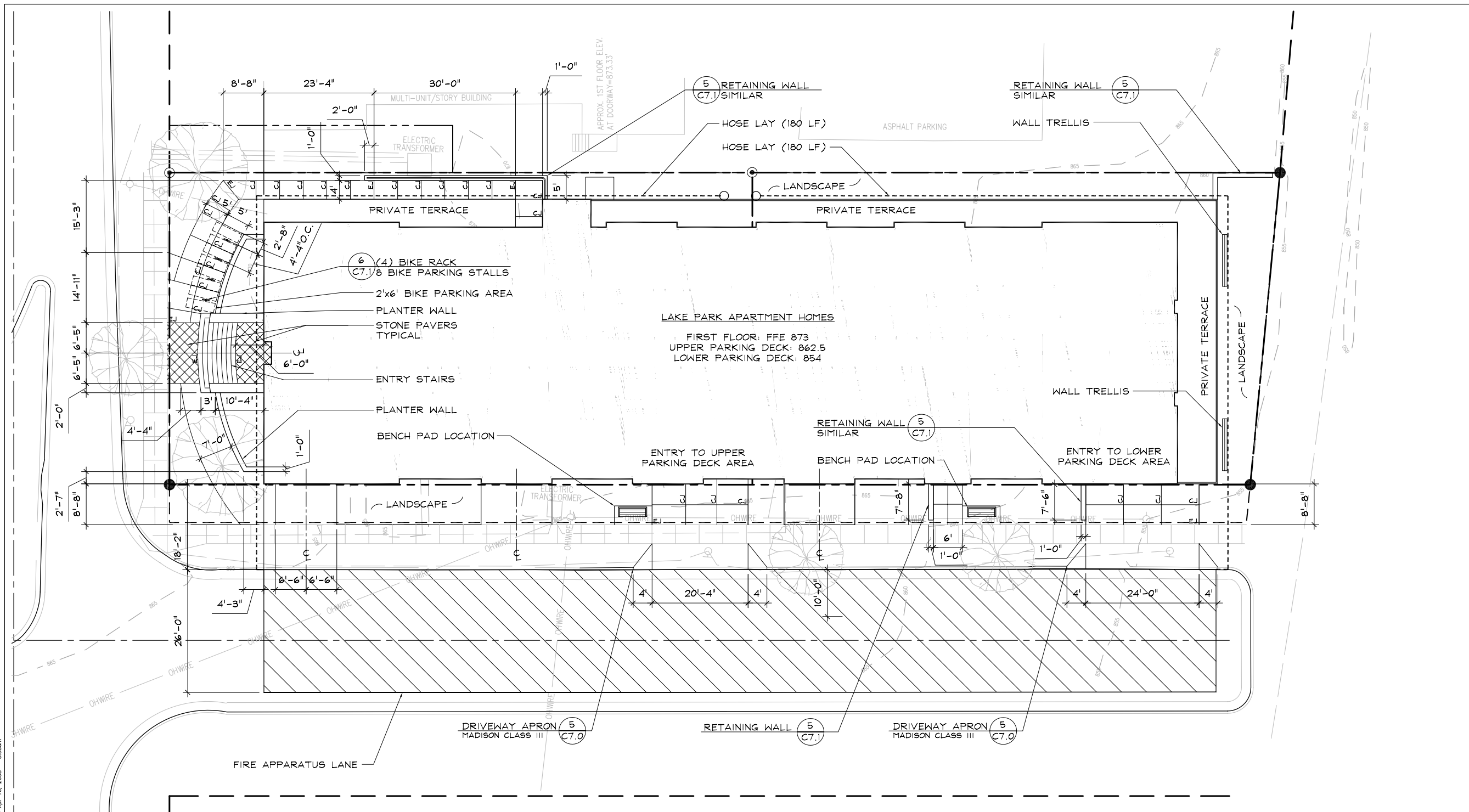
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Checked By: CT  
File: P-SP  
Issued For: UDC  
Issue Date: 04/16/2008  
Project No. 2284

SHEET  
SITE LAYOUT  
PLAN



Sheet Number

C5.0



IMPERVIOUS SURFACE SCHEDULE:		LEGEND:		NOTES:	
SITE AREA:	20,038 SF	---	PROJECT LIMITS	1.	ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
EXISTING IMPERVIOUS SURFACES:	9,664 SF	CJ	CONTROL JOINT	2.	CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES
EXISTING ISR:	0.48	EJ	EXPANSION JOINT	3.	(8) BICYCLE PARKING STALLS HAVE BEEN LOCATED OUTSIDE ALONG WILSON STREET-REFER TO DETAIL SHEET FOR TYPE. REFER TO ARCHITECT PLANS FOR INTERIOR BIKE RACKS. ALL RACKS TO BE IN ACCORDANCE WITH MADISON GENERAL ORDINANCE 28.11
PROPOSED IMPERVIOUS SURFACES:	15034 SF		FIRE APPARATUS LAND 26'-0" WIDTH	4.	MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS 1:20. MAXIMUM SLOPE AT HANDICAP RAMP 1:12.
PROPOSED ISR:	0.75	---	HOSE LAY	5.	ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.

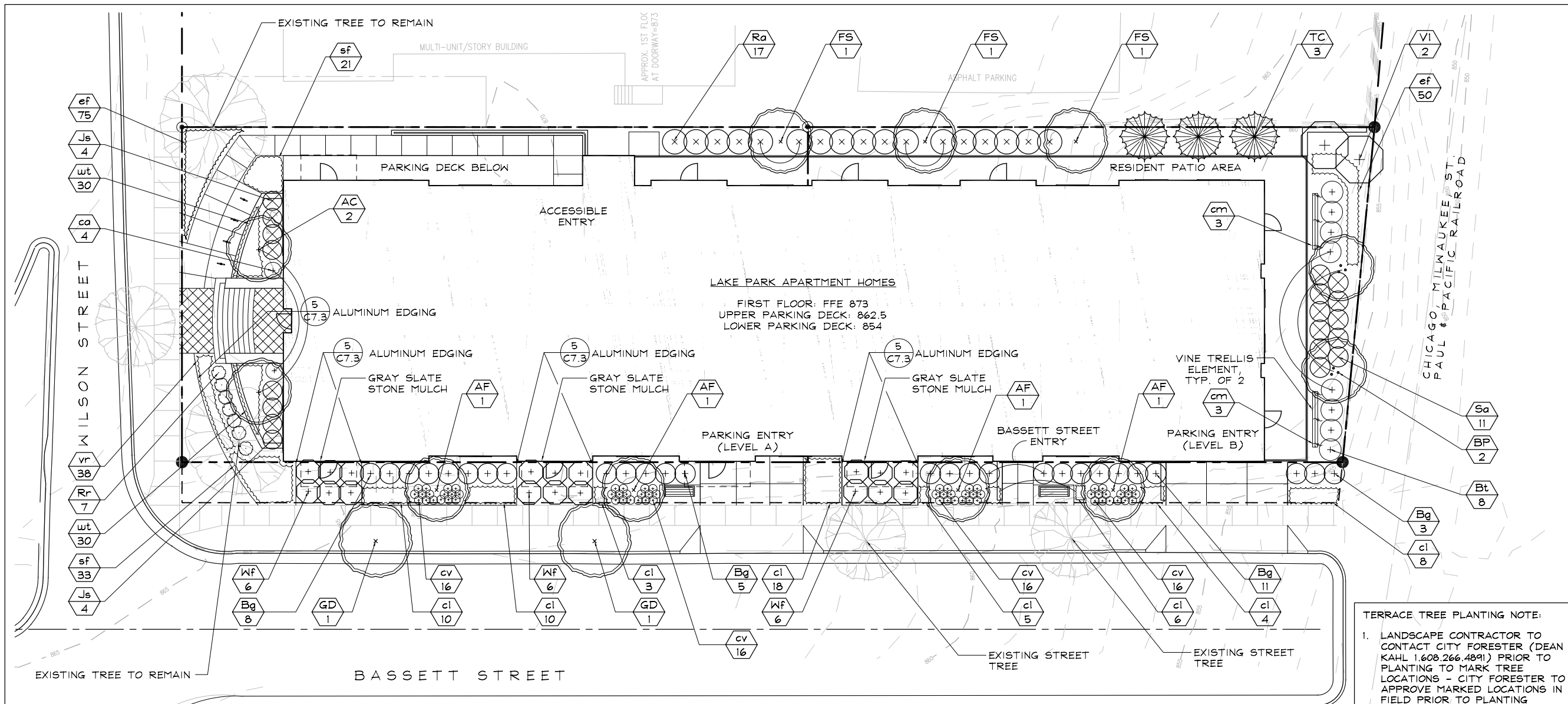
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Professional Seal

Revision \_\_\_\_\_ Date \_\_\_\_\_

Project Name \_\_\_\_\_

McGrath Associates  
 103 N. Hamilton St.  
 Madison, WI 53703



**TERRACE TREE PLANTING NOTE:**  
 1. LANDSCAPE CONTRACTOR TO CONTACT CITY FORESTER (DEAN KAHL 1.608.266.4891) PRIOR TO PLANTING TO MARK TREE LOCATIONS - CITY FORESTER TO APPROVE MARKED LOCATIONS IN FIELD PRIOR TO PLANTING

Symbol	Botanical name	Common Name	Size	Root	Quantity	Comments
<b>PERENNIALS/GROUNDCOVERS/VINES</b>						
cm	Clematis virginiana	Virginsbower	5 Gal.	Cont.	6	tendrill climber
ca	Calamagrostis acutiflora 'Avalanche'	Avalanche Feather Grass	2 Gal.	Cont.	4	upright - match form/size
cl	Chasmanthium latifolium	Northern Sea Oats	1 Gal.	Cont.	59	salt tolerant
cv	Coreopsis verticillata 'Moonbeam'	Moonbeam Coreopsis	1 Gal.	Cont.	64	pale yellow flowers - cutleaf
ef	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	2.5" pots	Cont.	125	14" O.C. -25 plants per tray
sf	Solidago 'fireworks'	Fireworks Solidago	1 Gal.	Cont.	54	
vs	Veronica 'Sunny Border Blue'	Sunny Blue Speedwell	1 Gal.	Cont.	38	
wt	Waldsteinia ternata	Barron Strawberry	2.5" pots	Cont.	60	yellow flowers-urban tolerant

**LANDSCAPE PLANT LEGEND**

Symbol	Botanical name	Common Name	Size	Root	Quantity	Comments
<b>SHADE TREES</b>						
AF	Acer x freemanii 'Armstrong'	Freeman Maple	3" Cal.	B#B	4	straight central leader
AC	Amelanchier canadensis	Shadblow Serviceberry	8' Ht.	B#B	2	Multi-stem
BP	Betula papyrifera 'Renci'	Renaissance Reflection Paper Birch	10' Ht.	B#B	2	Multi-stem
FS	Fagus sylvatica 'Fastigiata'	Upright European Beech	3" Cal.	B#B	3	straight central leader
GD	Gymnocladus dioica 'Espresso'	Kentucky Coffeetree	3" Cal.	B#B	2	female form acceptable if male is unavailable, per City Forester
<b>EVERGREEN TREES/SHRUBS</b>						
Bg	Buxus x 'Green Mountain'	Green Mountain Boxwood	30" Ht.	Cont.	27	similar form/size
Js	Juniperus squamata 'Blue Star'	Blue Star Juniper	3 Gal.	Cont.	8	
TC	Taxus cuspidata v. capitata	Upright Yew	4'-6" Ht.	B#B	3	similar form/size-upright
<b>DECIDUOUS SHRUBS</b>						
Bt	Berberis thun. v. 'Rose Glow'	Rose Glow Barberry	3 Gal.	Cont.	8	thorned variety
Ra	Rhus aromatica	Fragrant Sumac	3 Gal.	Cont.	17	slope stabilization
Rr	Rosa 'Frau Dagmar Hastrup'	F. D. Hastrup Rugosa Rose	3 Gal.	Cont.	7	match form/size
Sp	Salix purpurea 'Canyon Blue'	Arctic Blue Leaf Willow	3 Gal.	Cont.	11	match form/size
VI	Viburnum lentago	Nannyberry Viburnum	4' Ht.	B#B	2	
Wf	Weigela florida 'Red Prince'	Red Prince Weigela	5 Gal.	Cont.	18	match form/size in groupings

**LANDSCAPE POINTS**

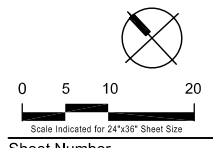
<b>NUMBER OF TREES REQUIRED:</b>		<b>TABULATION OF POINTS PROVIDED:</b>			
NUMBER OF PARKING STALLS	0 - ALL UNDERGROUND	CANOPY TREES	35pts	10	350
STORAGE AREA SQUARE FOOTAGE	0 - NO STORAGE AREA	DECIDUOUS SHRUBS	2pts	88	176
CANOPY TREES REQUIRED	0 - NO TREES REQUIRED	EVERGREEN SHRUBS	3pts	43	129
<b>NUMBER OF LANDSCAPE POINTS REQUIRED:</b>		DECORATIVE WALL	5pts/lf	40lf	200
POINTS REQUIRED PER PARKING STALLS	0 - ALL UNDERGROUND	EVERGREEN TREES	15pts	4	60
POINTS REQUIRED PER LOADING BERTHS	0 - NO BERTHS	ORNAMENTAL TREES	15pts	2	30
TOTAL POINTS REQUIRED	0 - NO POINTS REQUIRED	<b>TOTAL POINTS</b>			<b>945pts</b>

**Lake Park  
 Apartment Homes**

Madison  
 Wisconsin

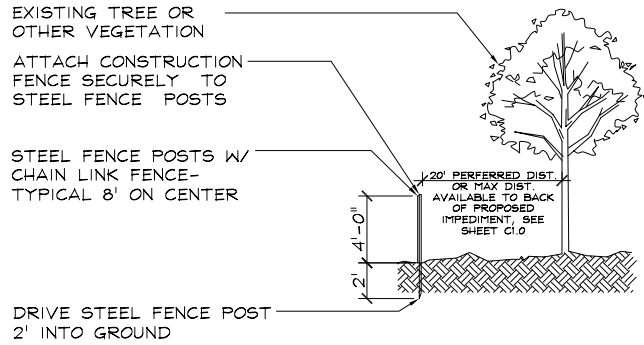
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 Checked By: CT  
 File: P-LS  
 Issued For: UDC  
 Issue Date: 04/16/2008  
 Project No. 2284

**SHEET  
 LANDSCAPE  
 PLAN**



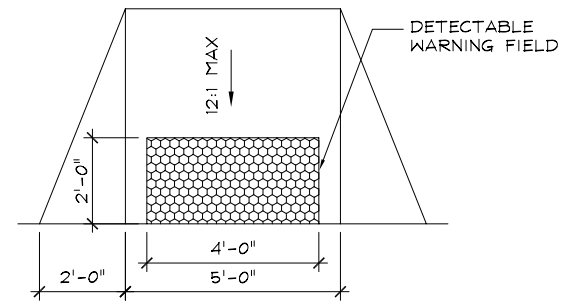
**C6.0**

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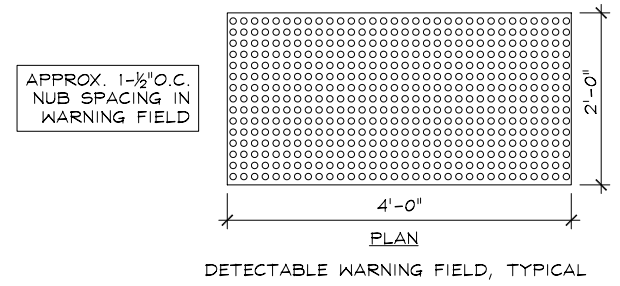
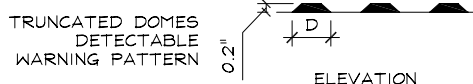
- NOTES:
- CONTRACTORS SHALL INSTALL FENCING AROUND THE TRUNKS OF EXISTING TERRACE TREES. FENCING SHALL COVER THE WIDTH OF THE TERRACE AND EXTEND AT LEAST FIVE (5) FEET FROM THE TRUNKS IN BOTH DIRECTIONS
  - PLACE FENCE POSTS 8' O.C. & ATTACH CONSTRUCTION FENCE SECURELY TO EXISTING TREES TO BE PROTECTED WITHIN THE PROPERTY.
  - NO ENTRY, NO STORAGE & NO TRENCHING IN TREE PROTECTION ZONE DURING ENTIRE SITE CONSTRUCTION

6 TREE PROTECTION  
C7.0 NTS

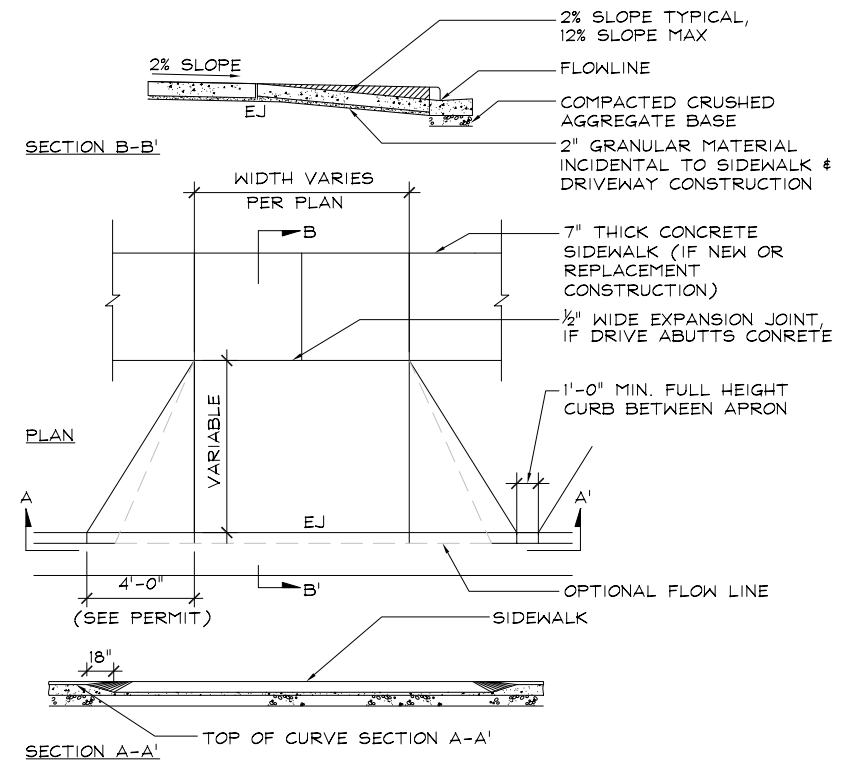


	MIN	MAX
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

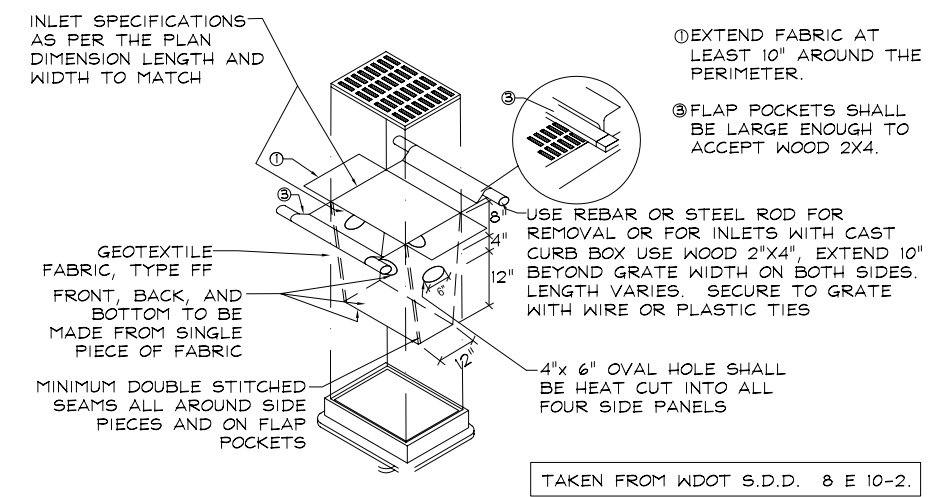
\* THE C DIMENSION IS 50% TO 65% OF 'D'



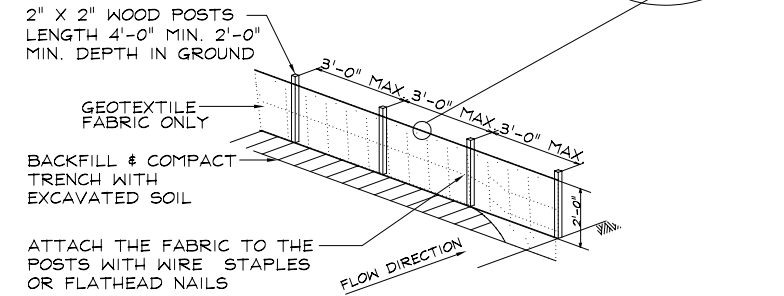
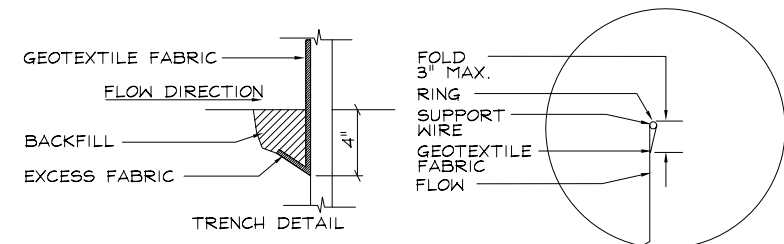
4 ACCESSIBLE RAMP  
C7.0 CURB TAPERS INTO SIDEWALK SCALE: 1/2" = 1'-0"



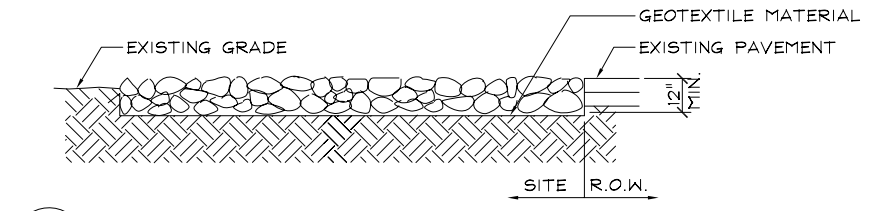
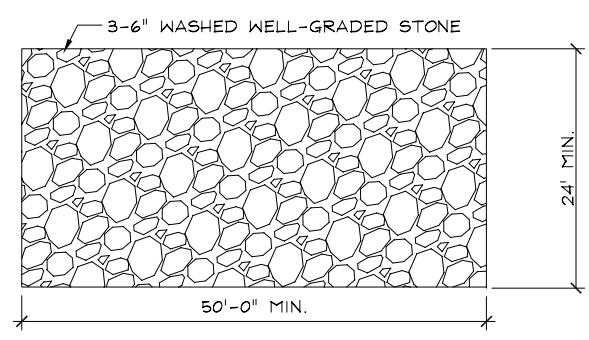
5 DRIVE APRON  
C7.0 CLASS III CITY OF MADISON STANDARD DETAIL SCALE 1/4" = 1'-0"



1 INLET PROTECTION, TYPE D  
C7.0 NTS



2 SILT FENCE DETAIL  
C7.0 NTS



3 TRACK MAT DETAIL  
C7.0 1/8" = 1'-0"

Professional Seal

Revision Date

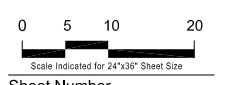
Project Name

McGrath Associates  
103 N. Hamilton St.  
Madison, WI 53703

Lake Park  
Apartment Homes  
Madison  
Wisconsin

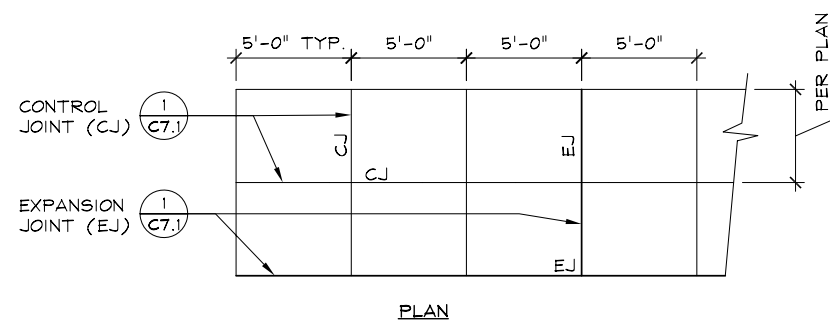
Drawn By: AW  
Checked By: CT  
File: P-D  
Issued For: UDC  
Issue Date: 04/16/2008  
Project No. 2284

SHEET  
DETAILS



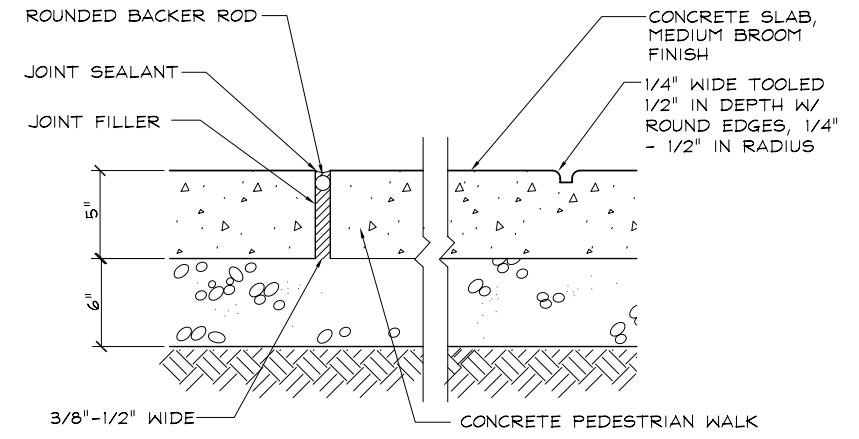
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**C7.0**



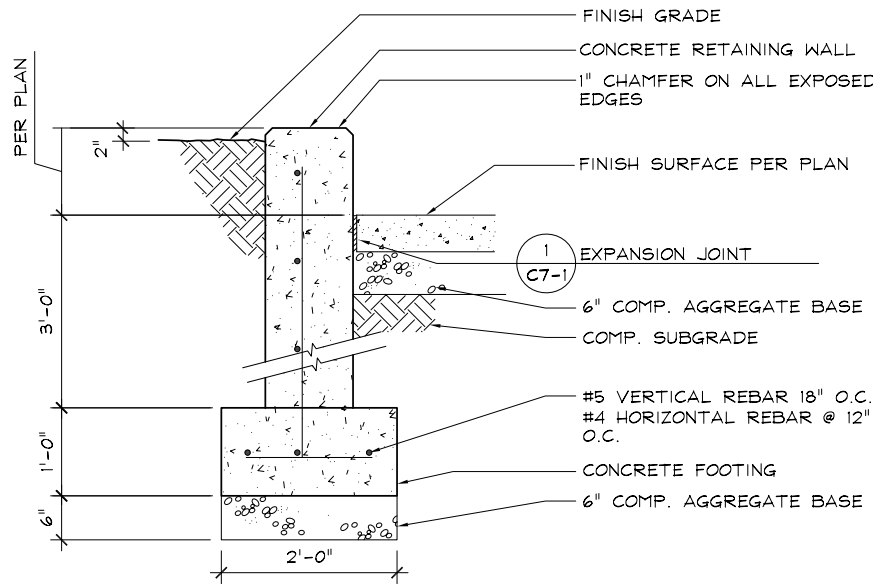
- NOTES:
- CONTROL JOINTS @ 5'-0" O.C.; EXPANSION JOINTS @ 30' O.C. AND AT STRUCTURES, BUILDINGS, ETC., WITH GRAY JOINT SEALANT.
  - SEE LAYOUT PLANS FOR ADDITIONAL SCORING PATTERN DETAILS

4 CONCRETE SCORE PATTERN - PLAN  
SCALE: 1/8"=1'-0"

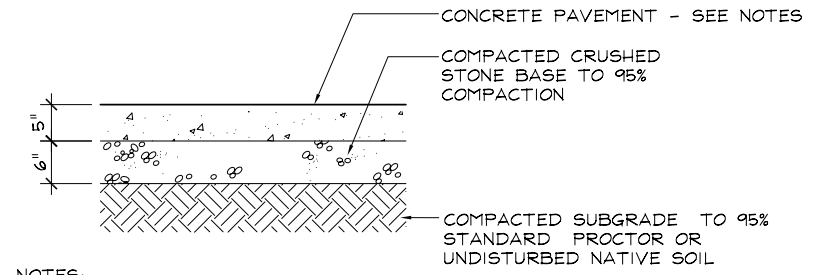


- NOTES:
- PROVIDE EXPANSION JOINTS 30' OC MAX. ALL WAYS
  - SEE LAYOUT PLANS FOR CONTROL & EXPANSION JOINT LAYOUTS

1 EXPANSION/CONTROL JOINT  
NTS

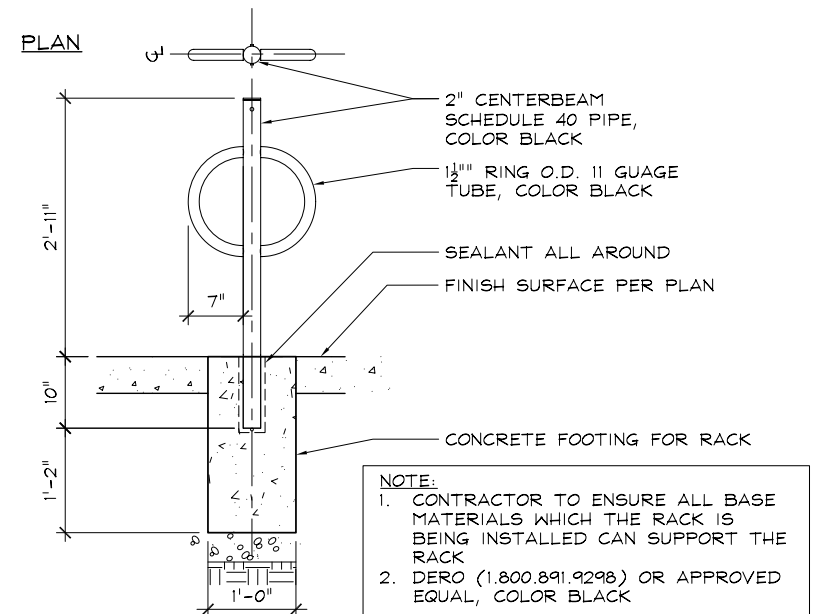


5 RETAINING WALL  
SCALE: 1"=1'-0"



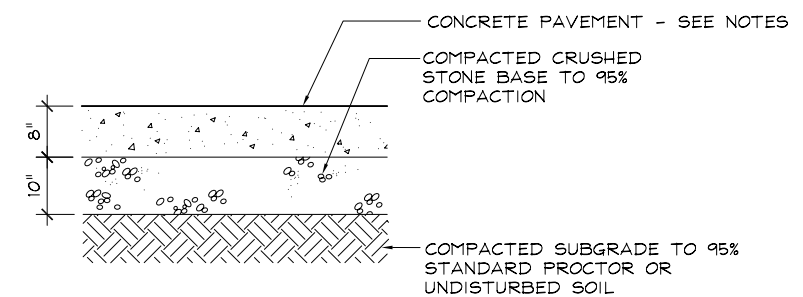
- NOTES:
- EXPANSION JOINTS EVERY 30' O.C. FOR LINEAR WALKS
  - SEE LAYOUT PLANS AND DETAIL 1/C7.1 FOR CONTROL & EXPANSION JOINT SPACING
  - CONCRETE PAVEMENT WITH MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAFFIC

2 5" PEDESTRIAN CONCRETE PAVEMENT  
NTS



- NOTE:
- CONTRACTOR TO ENSURE ALL BASE MATERIALS WHICH THE RACK IS BEING INSTALLED CAN SUPPORT THE RACK
  - DERO (1.800.891.9298) OR APPROVED EQUAL, COLOR BLACK

6 BIKE RACK EMBED METHOD  
NTS



- NOTES:
- EXPANSION JOINTS EVERY 30' O.C. FOR LINEAR WALKS
  - SEE LAYOUT PLANS AND DETAIL 1/C7.1 FOR CONTROL & EXPANSION JOINT SPACING
  - CONCRETE PAVEMENT WITH MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAFFIC

3 8" VEHICULAR CONCRETE PAVEMENT  
NTS

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Revision Date

Project Name



McGrath Associates  
103 N. Hamilton St.  
Madison, WI 53703

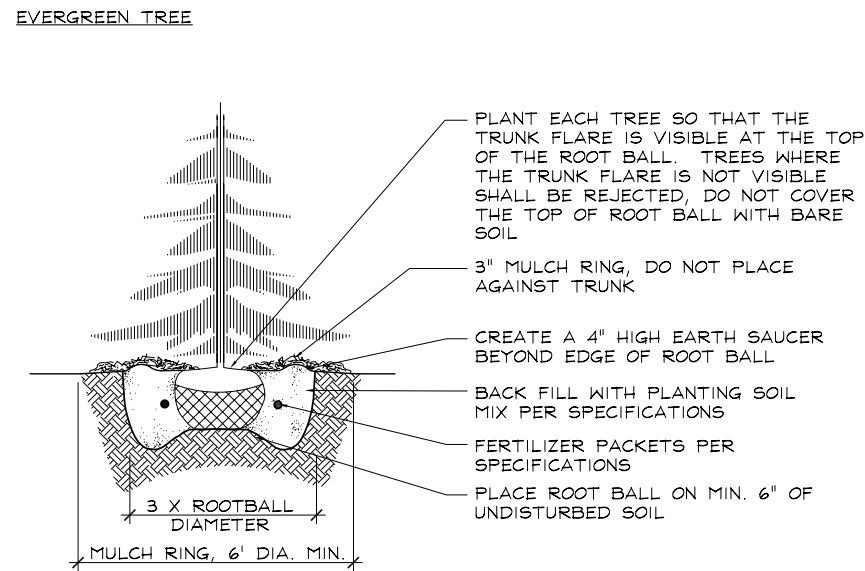
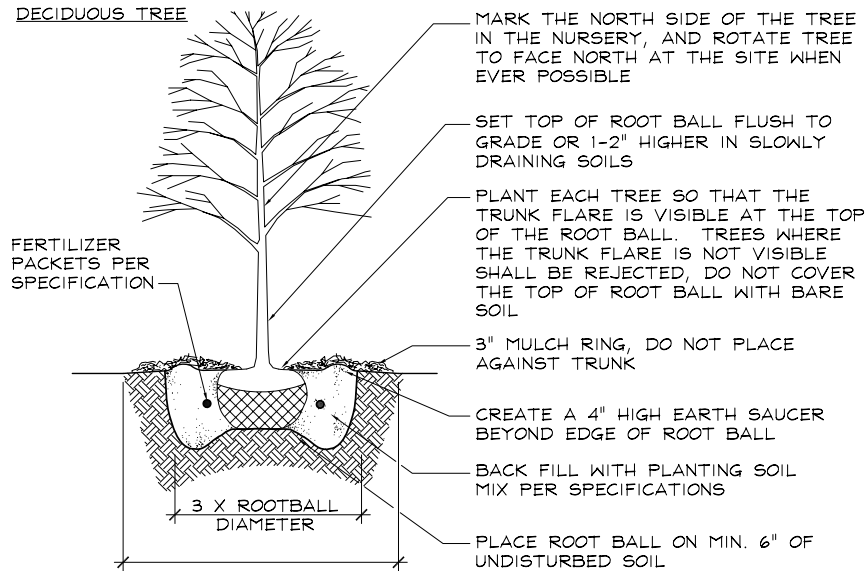
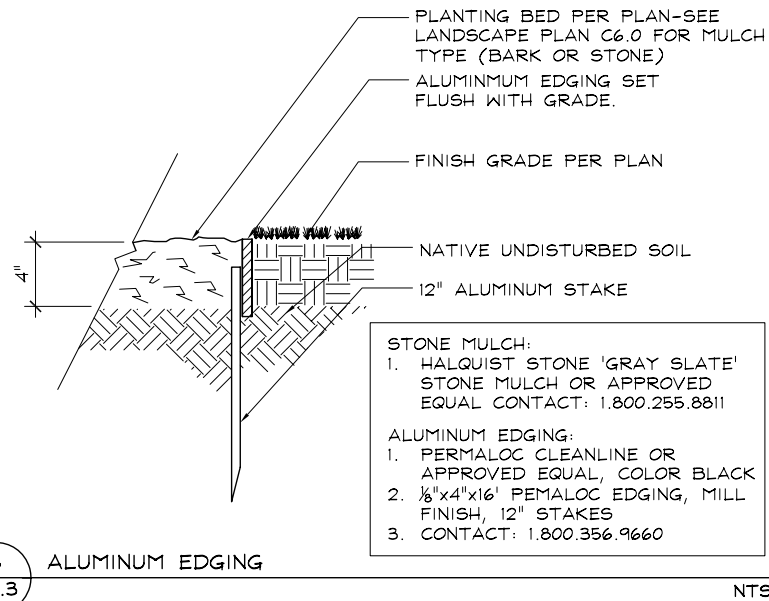
Lake Park  
Apartment Homes  
Madison  
Wisconsin

Drawn By: AW  
Checked By: CT  
File: P-D  
Issued For: UDC  
Issue Date: 04/16/2008  
Project No. 2284

SHEET  
DETAILS

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Sheet Number

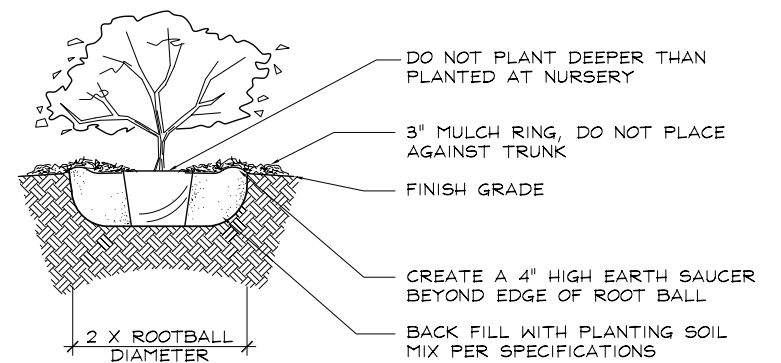
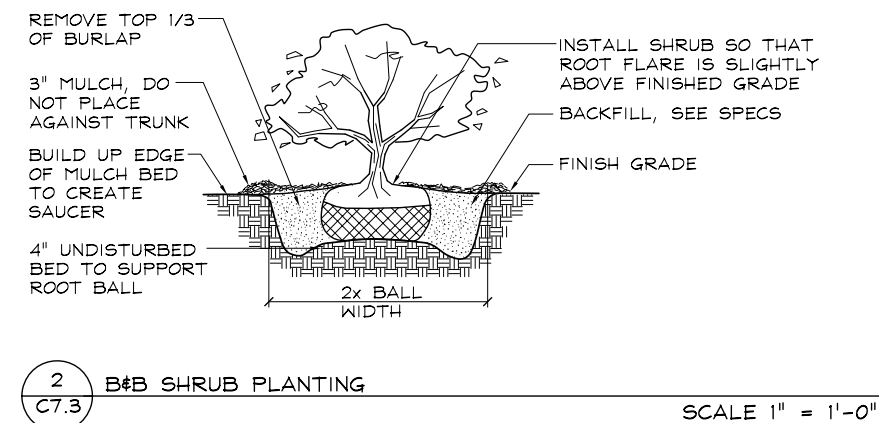
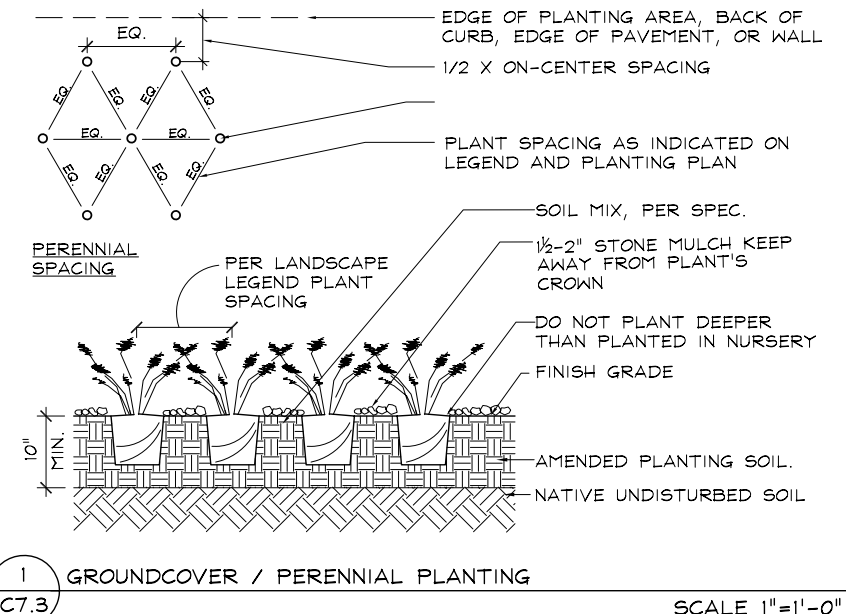
C7.1



NOTES:

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING, PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT-IF APPLICABLE
- WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT-IF APPLICABLE
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO THE PLANTING HOLE
- REMOVE ALL TWINE, ROPE/WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL
- REFER TO SPECIFICATIONS FOR FURTHER INFORMATION

4 B#B TREE PLANTING DETAILS  
C7.3 TREES 3" CALIPER OR LESS NTS



Professional Seal

Revision Date

Project Name

McGrath Associates  
103 N. Hamilton St.  
Madison, WI 53703

Lake Park Apartment Homes

Madison Wisconsin

Drawn By: AW  
Checked By: CT  
File: P-D  
Issued For: UDC  
Issue Date: 04/16/2008  
Project No. 2284

SHEET DETAILS

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Scale Indicated for 24"x36" Sheet Size  
Sheet Number

C7.2



SCHREIBER / ANDERSON  
ASSOCIATES, INC.  
717 John Nolen Drive  
Madison, WI 53713  
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Fx. 608.255.7750  
www.saa-madison.com

Professional Seal

Revision \_\_\_\_\_ Date \_\_\_\_\_

Project Name \_\_\_\_\_

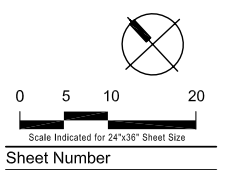


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Madison, WI 53703

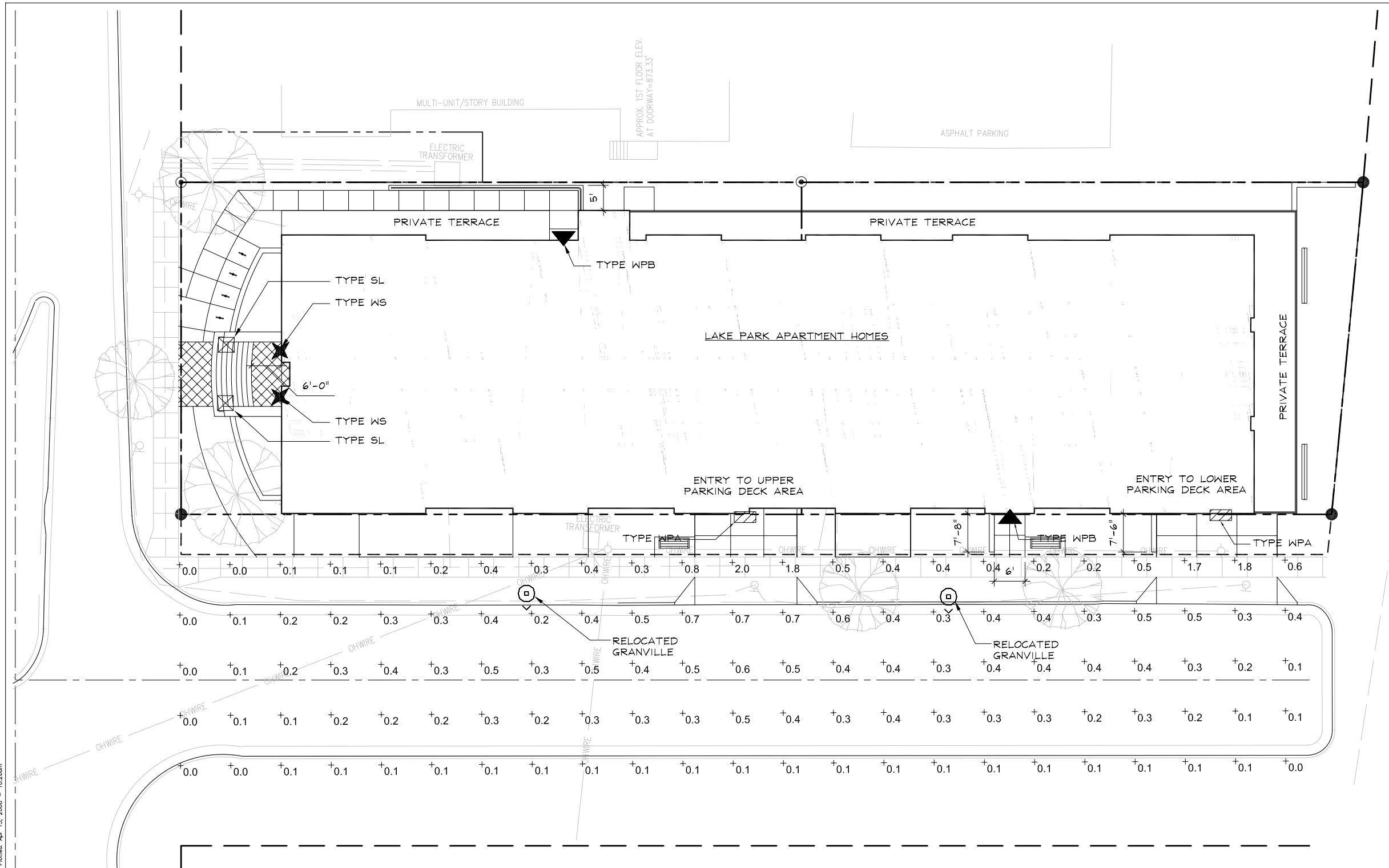
Lake Park  
Apartment Homes  
Madison  
Wisconsin

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Checked By: CT  
File: P-Photo  
Issued For: UDC  
Issue Date: 04/16/2008  
Project No. 2284

SHEET  
LIGHTING  
PLAN



Sheet Number  
**C8.0**



LUMINAIRE SCHEDULE								
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	Lamp	Total Watts
⊙	2 (RELOCATE)	A	12' POST MOUNT	5500	.57	GV70DMH3N	70 MH	95
▧	2	B	9' CEILING MOUNT HT.	5500	.57	PK70DMHCS	70 MH	95

NUMERIC SUMMARY			
Project: All Projects			
Label	Avg	Max	Min
AREA	3.85	2.0	0.1

**LIGHTING NOTES:**

- ⊙ RELOCATED GRANDVILLE  
2 TOTAL
- ▧ WPA-WALL PACK (GARAGE)  
2 TOTAL
- ▲ WPB-WALL PACK (DOORWAYS)  
2 TOTAL
- ⊗ SL-STEP LIGHT  
2 TOTAL
- ✱ WS-WALL SCONCE  
2 TOTAL

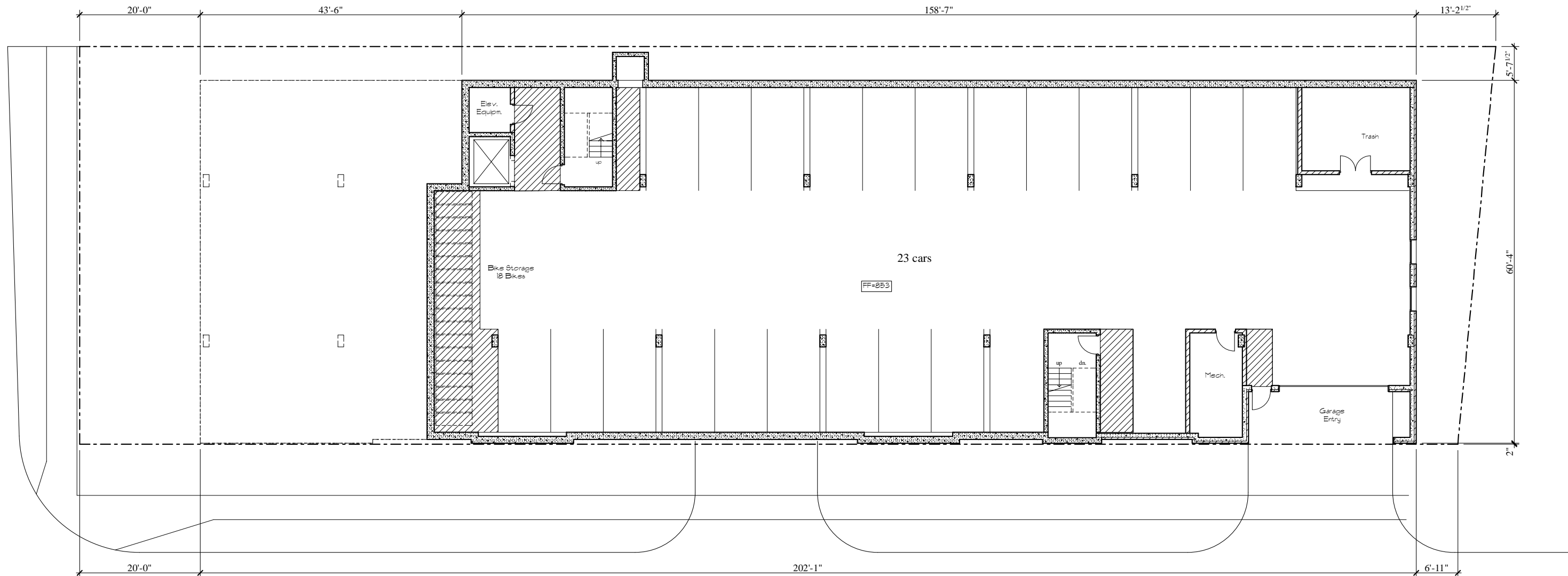
**NOTES:**

- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ELECTRICAL DISTRIBUTION FOR OUTDOOR LIGHTING SYSTEM.
- LIGHTS IN TERRACE SHALL CONFORM CITY OF MADISON AND BASSETT NEIGHBORHOOD DESIGN DISTRICT GUIDELINES. LIGHTING SHALL BE THE GRANVILLE SERIES BY HOLOPHANE.
- ALL LIGHTS TO BE METAL HALIDE

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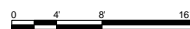
Wilson Street



S. Bassett Street

Lower Parking Level

Scale: 1/8"=1'-0"



McGrath Associates, Inc.

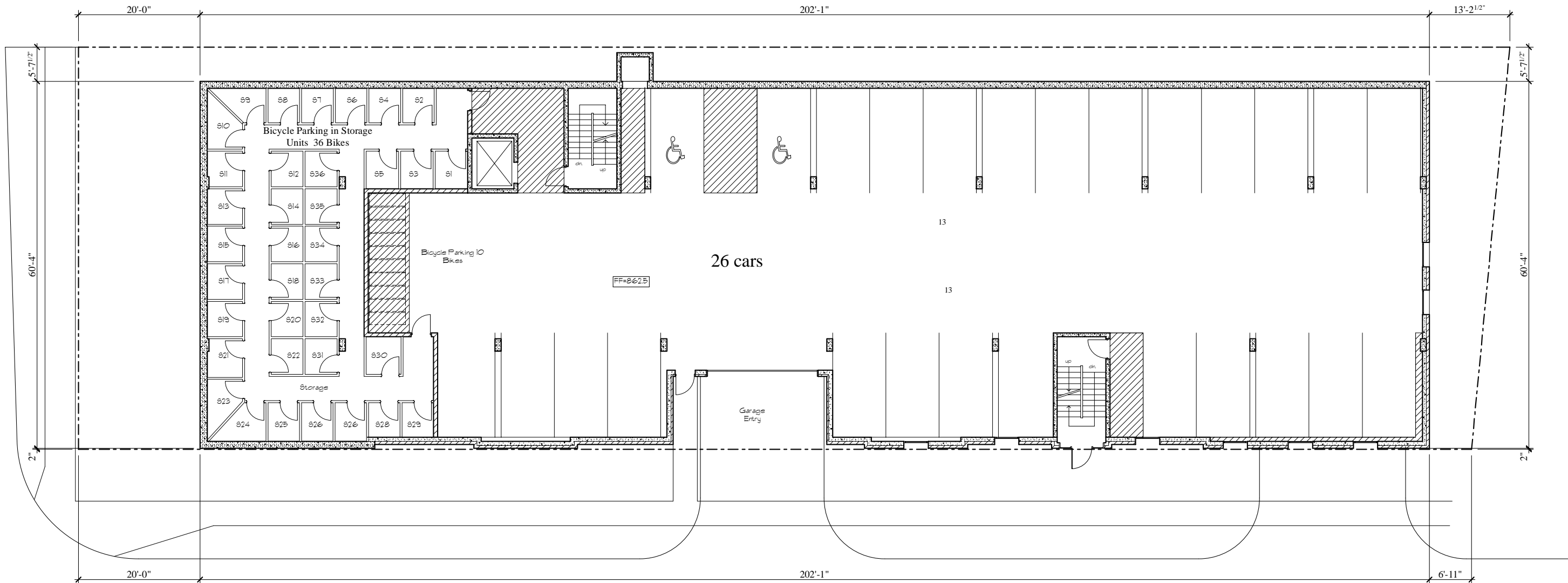
April 16, 2008

SGN+A Simonson Germany Nonemaker + Associates, Inc.  
Planning Architecture Landscape Architecture

Lake Park Apartments  
Madison, Wisconsin

A1

Wilson Street



S. Bassett Street

Upper Parking Level

Scale: 1/8"=1'-0"



Wilson Street

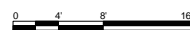


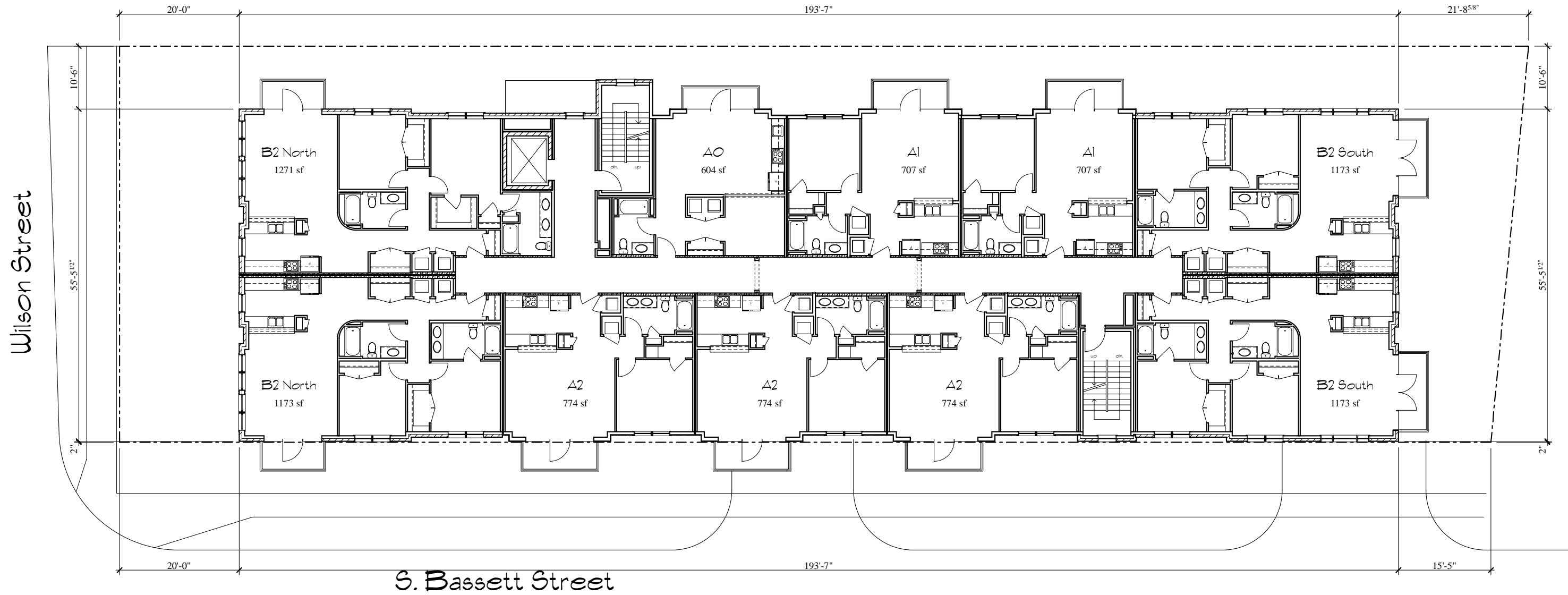
S. Bassett Street

Level	Unit Mix	
	1BR	2BR
Res Level 1	6	4
Res Level 2	6	4
Res Level 3	6	4
Res Level 4	10	0
<b>Total</b>	<b>28</b>	<b>12</b>

First Residential Level

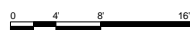
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Second/Third Residential Level

Scale: 1/8"=1'-0"

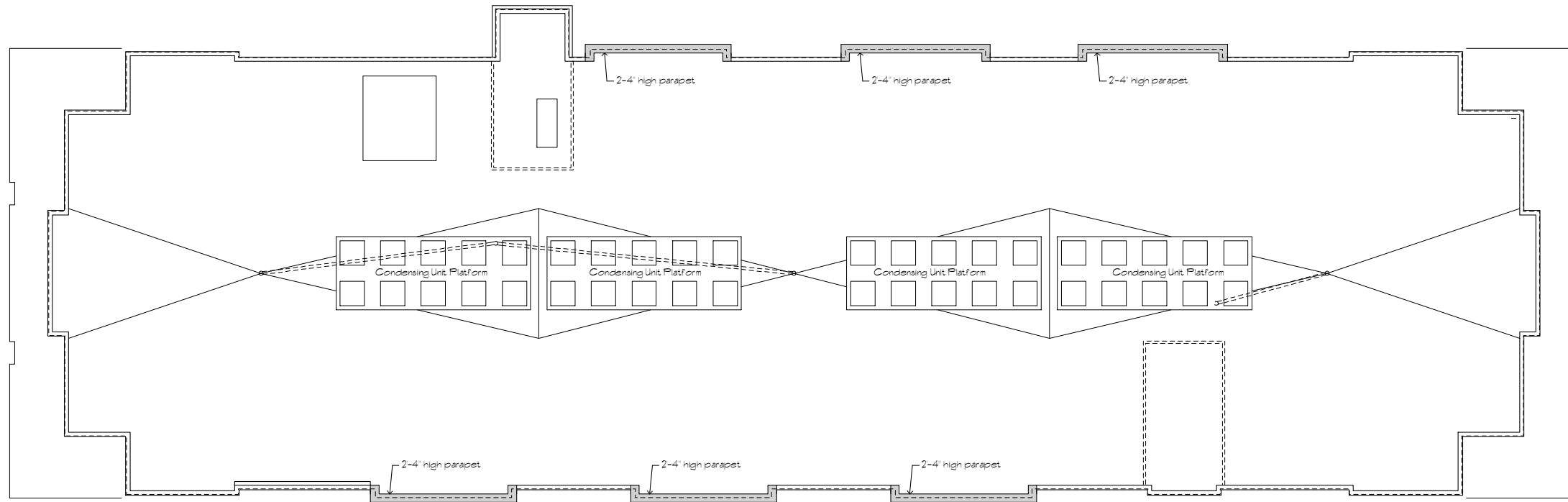




Fourth Residential Level

Scale: 1/8"=1'-0"





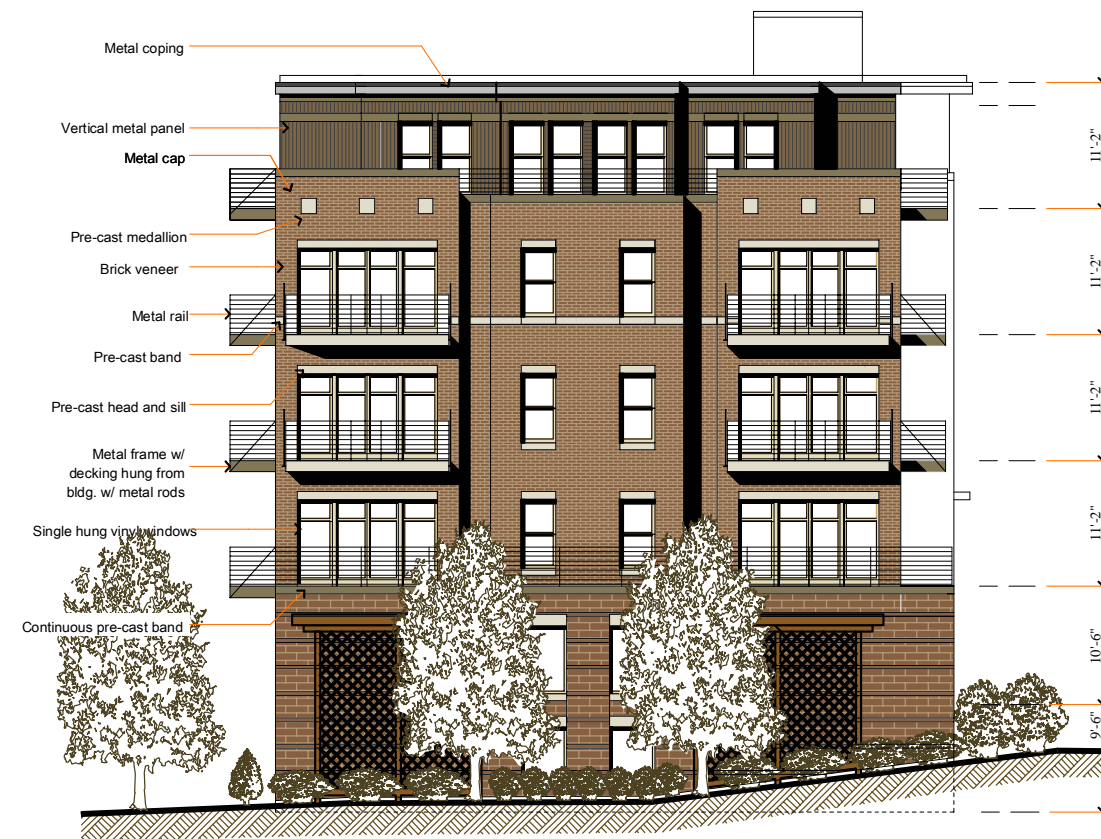
Roof Plan

Scale: 1/8"=1'-0"





Wilson St. Elevation



Rear Elevation

Building Elevations

Scale: 1/8"=1'-0"





Bassett St. Elevation

Building Elevations

Scale: 1/8"=1'-0"





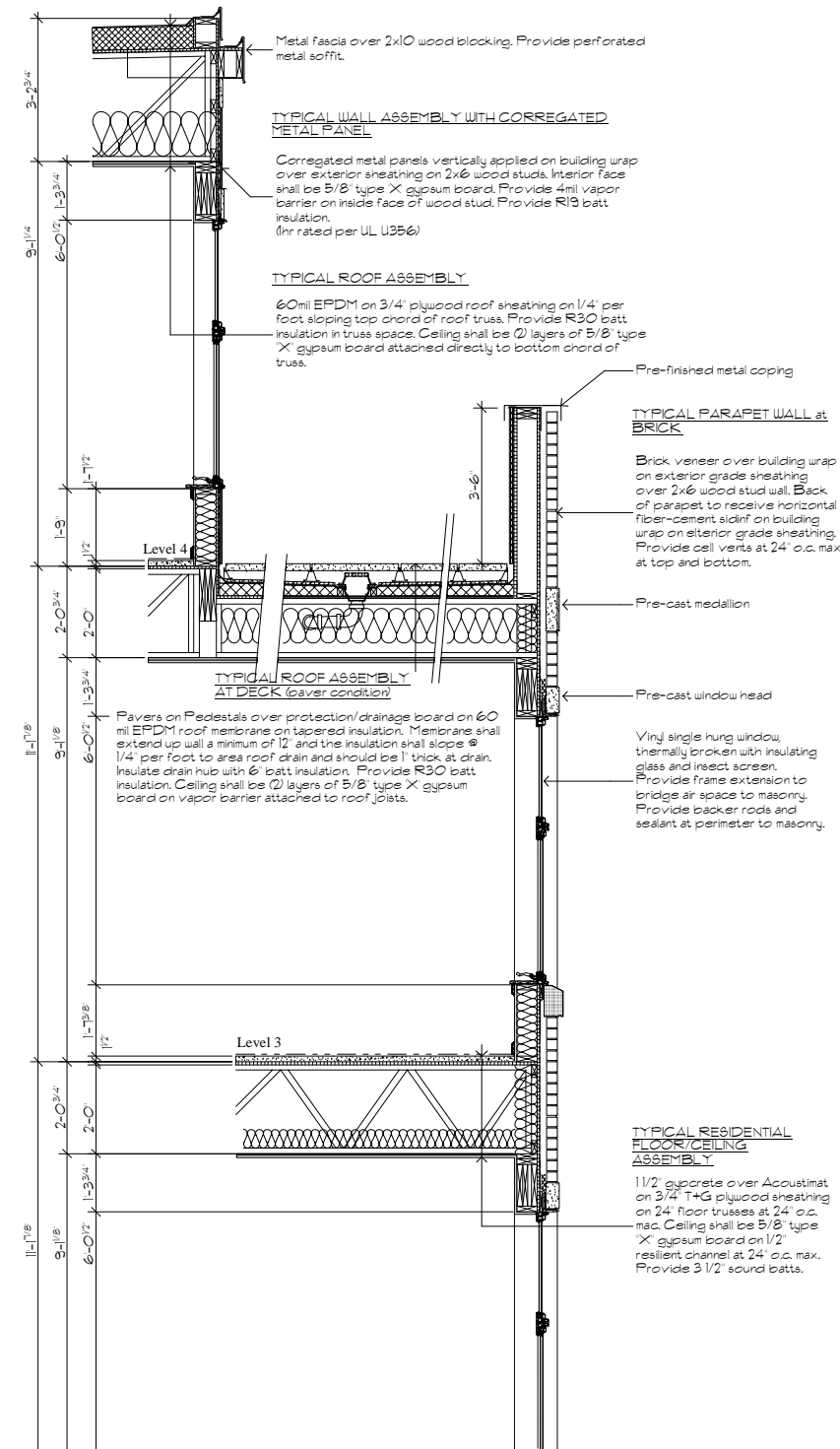
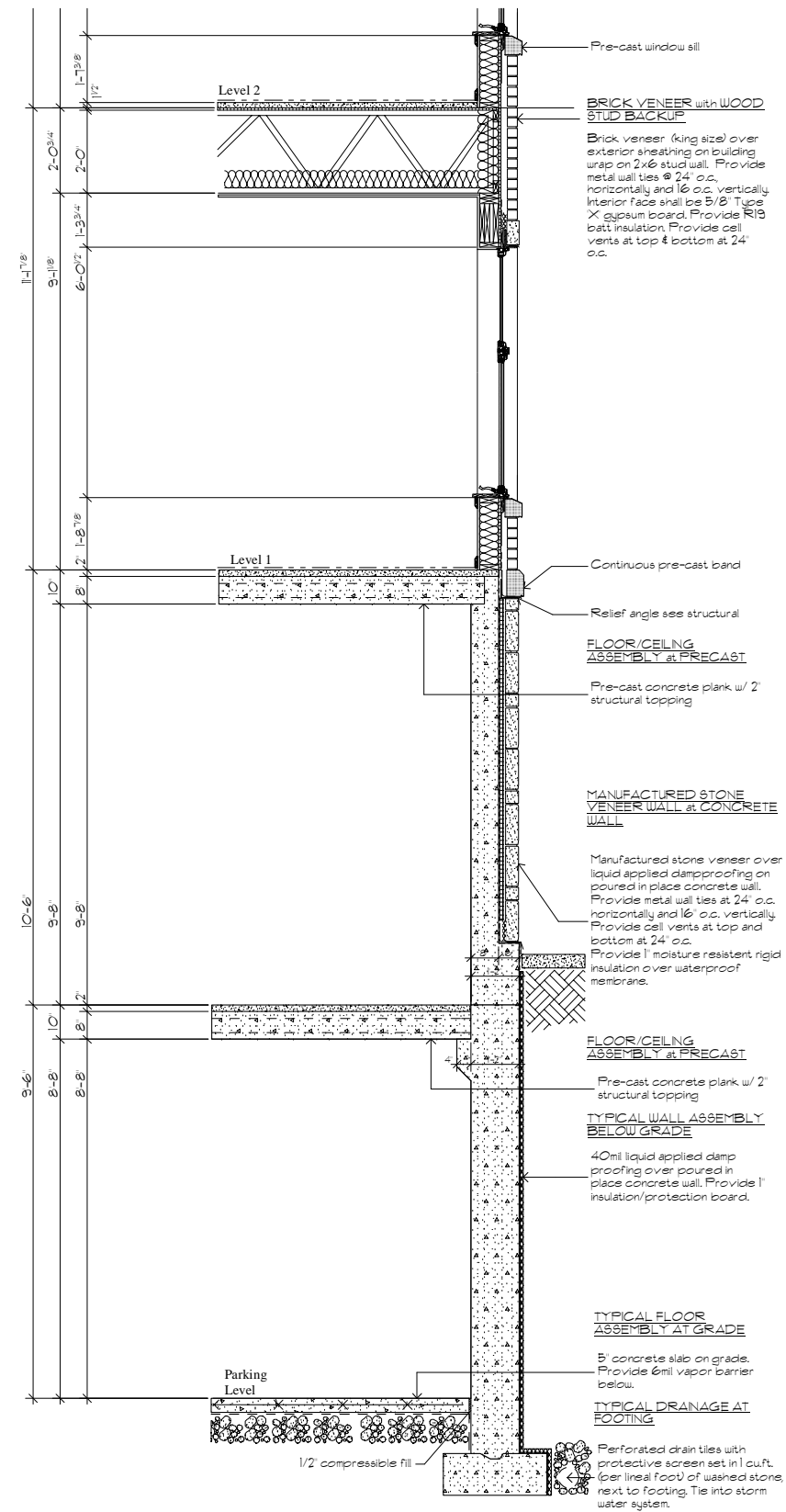


Side Elevation

Building Elevations

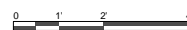
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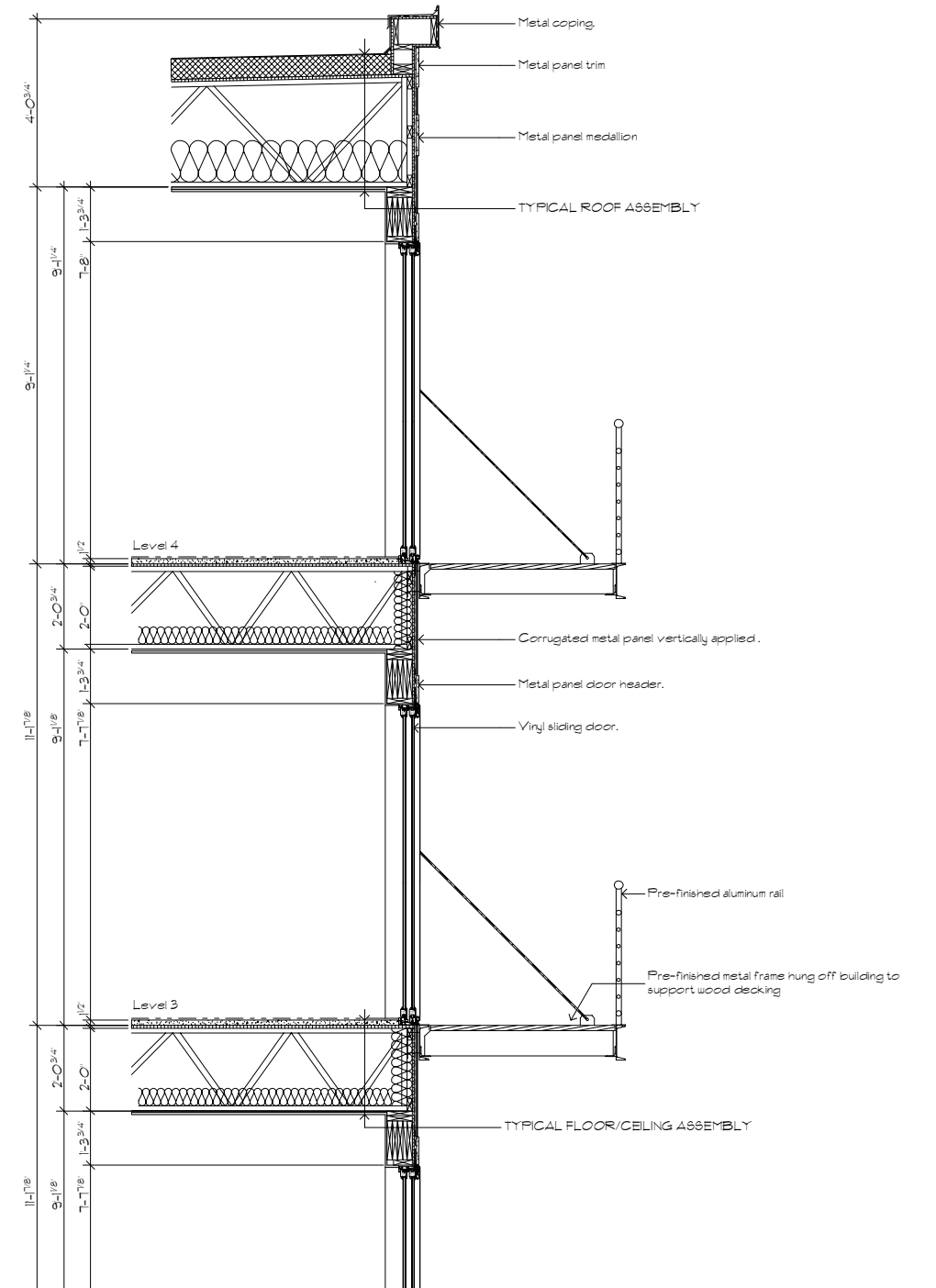
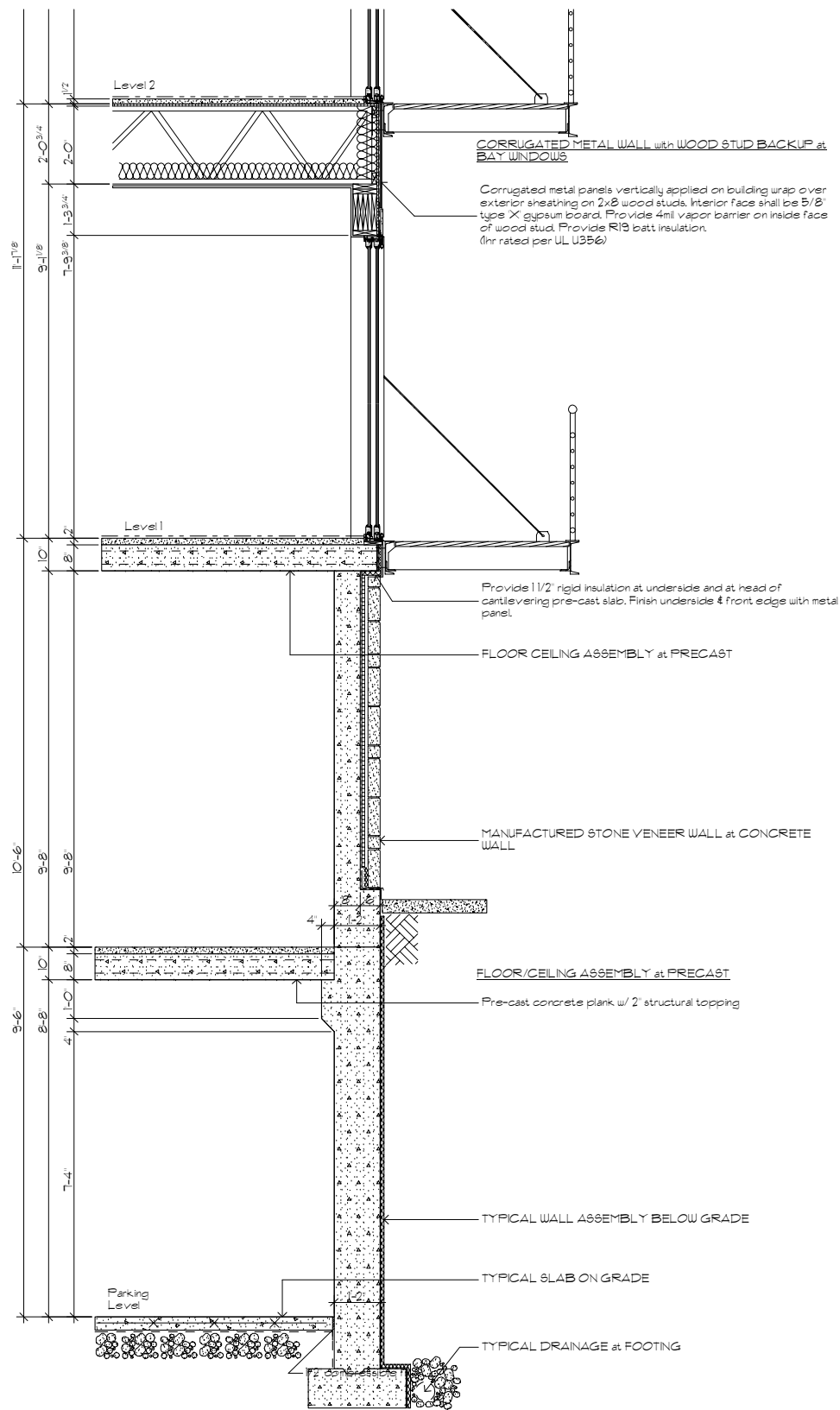




Typical Wall Section at Brick Veneer

Scale: 1/2"=1'-0"





Wall Section at Bay Window

Scale: 1/2"=1'-0"

