



Location
 5555 High Crossing Boulevard

Applicant
 Wilde Family Limited Partnership/Patrick Donahue – Wilde Automotive Management



From: C2 To: C3

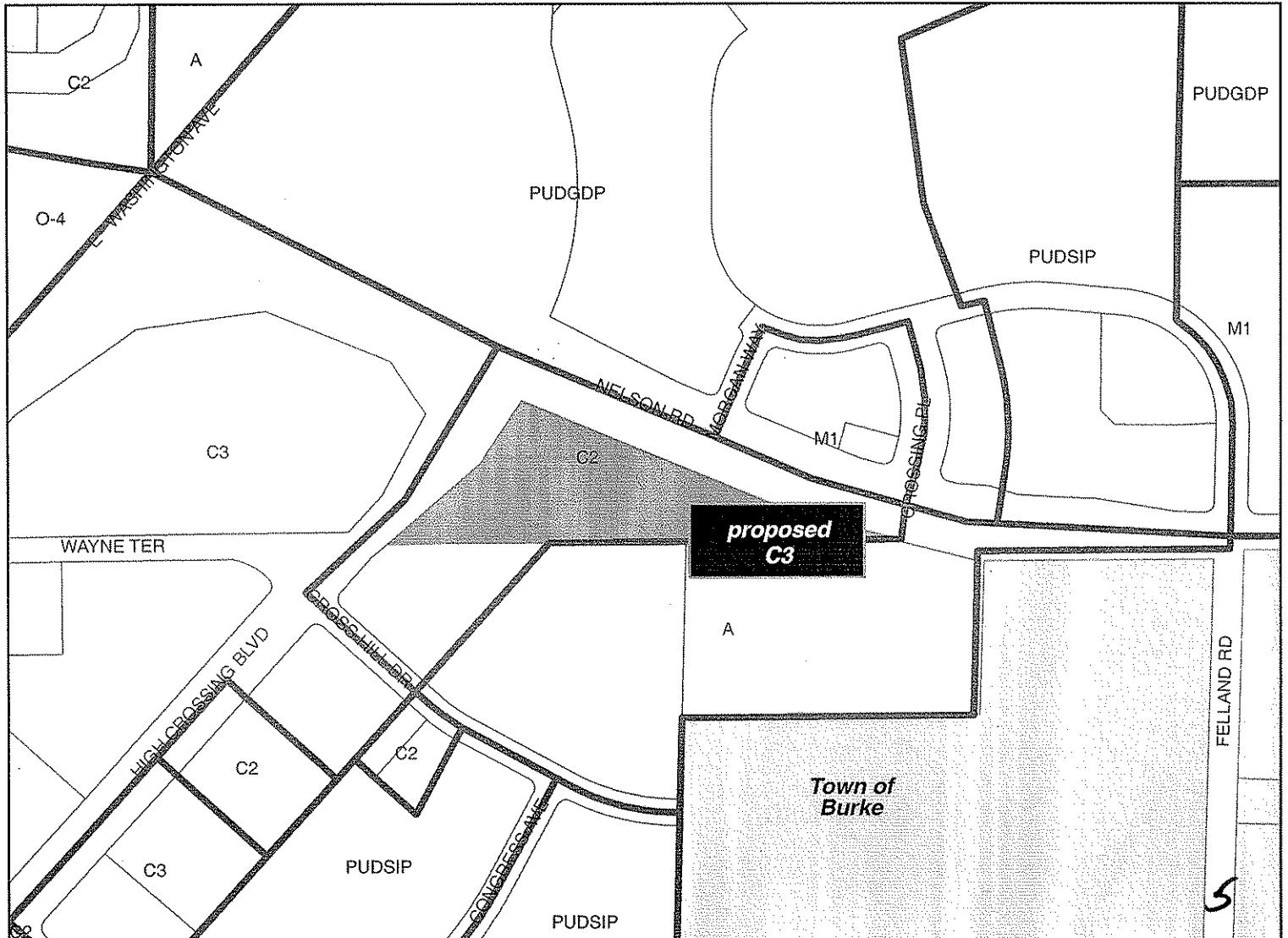
Existing Use
 Vacant Land

Proposed Use
 Construct a Honda Dealership Facility

Public Hearing Date
 Plan Commission
15 September 2008

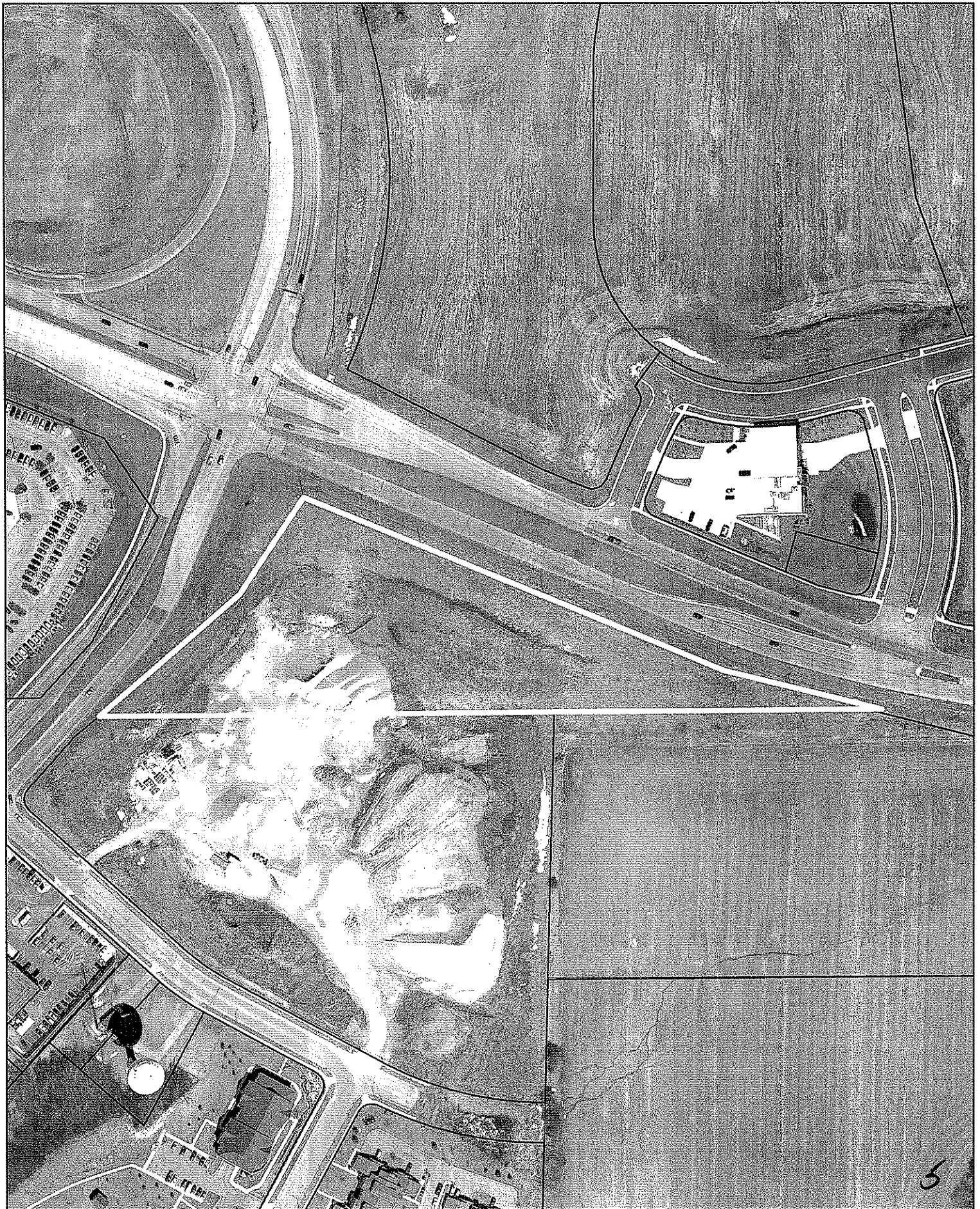
Common Council
07 October 2008

For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 02 September 2008



5

LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid 1300- Receipt No. 92883
 Date Received 7/14/08
 Received By _____
 Parcel No. 0810-232-0301-1
 Aldermanic District 17-CLAUSIUS
 GQ ENG-C2
 Zoning District C2
For Complete Submittal
 Application Letter of Intent
 IDUP Legal Descript.
 Plan Sets Zoning Text
 Alder Notification Waiver _____
 Ngrbrhd. Assn Not. Waiver _____
 Date Sign Issued _____

1. **Project Address:** 5555 High Crossing Blvd. **Project Area in Acres:** 4.49
Project Title (if any): Wilde East Towne Honda

2. This is an application for: (check at least one)

<input checked="" type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)			
<input checked="" type="checkbox"/> Rezoning from <u>C-2</u> to <u>C-3</u>	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP		
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP		
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____	

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Wilde Family Limited Partnership Company: Wilde Family Limited Partnership
 Street Address: 1710A Hwy. 164 City/State: Waukesha, WI Zip: 53186
 Telephone: (262) 513-2772 Fax: (262) 542-1653 Email: sbwam@execpc.com
 Project Contact Person: Patrick Donahue Company: Wilde Automotive Management
 Street Address: 1710A Hwy. 164 City/State: Waukesha, WI Zip: 53186
 Telephone: (262) 513-2772 Fax: (262) 542-1653 Email: sbwam@execpc.com
 Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: Construction and operation of a Honda automobile dealership to be owned by Hidalgo Autos, Inc., d/b/a Wilde East Towne Honda

Development Schedule: Commencement Fall 2008 Completion Fall 2009

CONTINUE →

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - *Seven (7) copies* of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - *Seven (7) copies* of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - *One (1) copy* of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ 1,300 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A **Zoning Text** must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - *The site is located within the limits of* Nelson Neighborhood Development *Plan, which recommends:*
 - Commercial office/service, but as amended, also recognizes automotive uses on S of High Cross *for this property.*
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
 - *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
 - Alder Joseph Clausius notified by phone and e-mail, and also attended meeting with City Staff on 04/18/08.
 - If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*
- Pre-application Meeting with staff:** **Prior** to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner <u>Brad Murphy</u> Date <u>04/18/08</u>	Zoning Staff <u>Kevin Firchow</u> Date <u>04/18/08</u>
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The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Kevin A. Delorey Date 07/16/08
 Signature Ke Delorey Relation to Property Owner Project Counsel

Authorizing Signature of Property Owner _____ Date _____

To: City of Madison Plan Commission
Madison Planning & Development Office
215 Martin Luther King Jr. Blvd, Room LL100
Madison, WI 53710

Date: July 16, 2008

LETTER OF INTENT

This Letter of Intent accompanies the application of Wilde Family Limited Partnership for a rezoning from C-2 to C-3 for the property located at 5555 High Crossing Blvd., City of Madison, Dane County, Wisconsin (the "Project Site"). The purpose of the rezoning request is to permit the construction and operation of an automotive dealership, specifically a Honda dealership, on the Project Site. Although this rezoning will also require an amendment to the Nelson Neighborhood Plan, the applicant believes that the requested rezoning is consistent with that Plan, which, as amended, states, in part:

"The neighborhood development plan was amended in 2005 to recognize automobile sales and automotive-related businesses as acceptable land uses on both sides of High Crossing Boulevard."

The name of the project is Wilde East Towne Honda. The Project Site has been acquired, and the land and completed improvements will be owned, by Wilde Family Limited Partnership. The real estate will be leased to, and the Honda dealership owned and operated by, Hidalgo Autos, Inc., the principal owner of which will be Jorge F. Hidalgo.

The construction schedule calls for the commencement of construction in late 2008, with construction completed in late 2009.

Existing Conditions. The Project Site is located at the southeast corner of the intersection of High Crossing Boulevard and Nelson Road. It is part of a former quarry site and is triangular in shape. As of the date of this application, the Project Site is vacant. The land to the north across Nelson Road is zone PUD/GDP and is currently vacant, with the exception of a City of Madison Fire Department station across from the most easterly portion of the Project Site. The land to the east of the Project Site is vacant and zoned agricultural. The land to the south of the Project Site is made up of the remainder of the quarry and is zoned C-2 and agricultural. The land to the west of the Project Site across High Crossing Boulevard is occupied by an auto dealership.

The people/entities involved in the Project include:

Applicant/Purchaser: Wilde Family Limited Partnership
1710A Hwy. 164
Waukesha, WI 53186

Owner/Operator: Hidalgo Autos, Inc.
Jorge F. Hidalgo
c/o Wilde Automotive Management
1710A Hwy. 164
Waukesha, WI 53186

Contractor: To be determined

Architect: Erik L. Madisen
Madisen Architects
828 N. Broadway, Suite 206
Milwaukee, WI 53202

Landscaper: Durham Hill
899 W12707 Loomis Road
Muskego, WI 53150

Surveyor: Capitol Survey & Engineering, LLC
20875 Crossroads Circle
Suite 950
Waukesha, WI 53186

Project Coordinator: Patrick Donahue
Wilde Automotive Management
1710A Hwy. 164
Waukesha, WI 53186

Project Counsel: Kevin A. Delorey
Quarles & Brady LLP
P.O. Box 2113
Madison, WI 53701-2113

Uses of the building: The building will have a footprint of approximately 23,617, and will have an upper level (ground floor) and a lower level (below grade, exposed in the rear). The ground floor level uses will consist of:

Show room: 7,400 square feet
Administrative area: 2,750 square feet

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Sales offices: 3,020 square feet
 Customer lounge/boutique: 2,750 square feet
 Service reception area: 3,960 square feet
 New vehicle delivery area: 800 square feet

The lower level will contain the service department, with uses consisting of:

Service area: 14,566 square feet
 Parts department: 3,776 square feet
 Service support area: 1,252 square feet
 Mechanical equipment area: 1,790 square feet

There will also be a 1,750 square foot car wash for use by the dealership operation, but not by the general public. There will be no body shop operation conducted at the Project Site, meaning there will be no wrecked autos and no body shop paints or chemicals located at the Project Site.

The total gross square footage of the two-level building and the car wash will be approximately 49,000 square feet. Working with the triangular shape and sloping topography of the Project Site, the applicant is proposing a two-level facility. This will allow the placement of the service department in the lower level of the facility, which will be accessed through the rear of the facility, away from either of the road frontages, thus giving the facility a much smaller footprint than a traditional automobile dealership and giving the design team the ability to produce a facility with more appealing appearance.

Number of employees: The total number of employees is anticipated to be approximately 91, broken down as follows:

Administrative: 12
 Sales: 29
 Service/Repair: 24
 Clerical: 10
 Other: 16

Parking and Loading Spaces: The total number of parking spaces on the Project Site will be approximately 375, broken down as follows:

Customer Parking: 27 spaces
 Customer Service: 46 spaces
 New Car Display: 129 spaces
 New Car Storage: 48 spaces
 Preowned Display: 48 spaces
 Service Car Parking: 45 spaces
 Employee Parking: 30 spaces

Hours of operation: The hours of operation will be consistent with other auto dealership operations in the City of Madison. Currently, hours of operation are expected to be:

Sales:	Monday through Friday	9:00 a.m. to 9:00 p.m.
	Saturday	9:00 a.m. to 5:00 p.m.
	Sunday	Closed

Service:	Monday through Thursday	7:00 a.m. to 7:00 p.m.
	Friday	7:00 a.m. to 5:00 p.m.
	Saturday	8:00 a.m. to 3:00 p.m.
	Sunday	Closed

Square footage (acreage) of the site: The area of the Project Site is 4.49 acres, approximately 195,575.8 square feet.

Number of dwelling units: N/A

Trash removal and storage, snow removal and maintenance equipment. As shown on the plans submitted with this Letter of Intent, there will be an on-site, screened, dumpster area for collection and storage of trash. Trash removal, heavy snow removal, and maintenance will be handled by private contractor.

Respectfully submitted,

Wilde Family Limited Partnership

By: Kevin A. Delory
Name: Kevin A. Delory
Title: Project Counsel

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WILDE EAST TOWNE HONDA

5555 HIGH CROSSING BLVD. - MADISON, WI

OWNER
 WILDE EAST TOWNE HONDA
 1710 HWY 104
 WAUKESHA, WI 53188
 PHONE (262) 725-8300
 FAX (262) 793-2598

PROJECT COUNSEL
 KEVIN A. DELOREY
 QUARLES & BRADY LLP
 39 EAST MAIN STREET
 MADISON, WI 53701-2113
 PHONE (608) 283-2424
 FAX (608) 284-4808

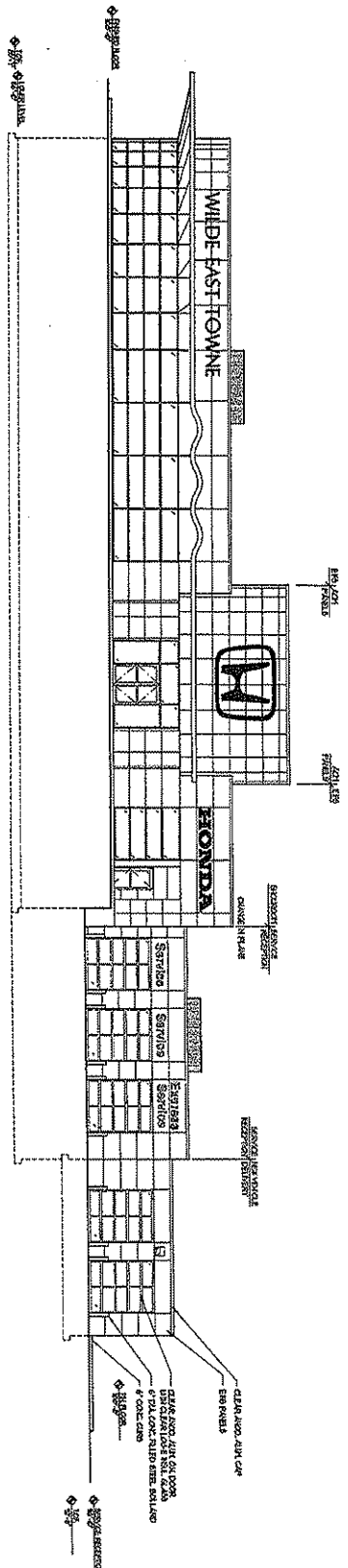
ARCHITECT
 ERIK L. MADSEN, AIA
 828 N. BROOKVIEW, SUITE 208
 MILWAUKEE, WI 53202
 MADISON, WI 53703
 FAX (414) 286-8889
 WWW.MADISEARCHITECTS.COM

DESIGN CONSULTANT
 COLLABORATIVE DESIGN
 1000 N. WASHINGTON
 WAUKESHA, WI 53188
 PHONE: (262) 547-1878
 FAX: (262) 547-5412
 WWW.COLLABORATIVE-DESIGN.COM
 STAFF@COLLABORATIVE-DESIGN.COM

CIVIL ENGINEER
 CAPTOL SURVEY & ENGINEERING, LLC
 500 W. WISCONSIN ST. SUITE 200
 WAUKESHA, WI 53188
 PHONE (262) 492-4900
 FAX (262) 492-4919
 WWW.CAPTOLSURVEY.COM

LANDSCAPE ARCHITECT
 DUBHAM HILL
 899 W1207 LOUIS RD
 MUSKEGO, WI 53150
 PHONE: (414) 528-6782
 WWW.DUBHAMHILLMUSKEGO.COM

LIGHTING DESIGNER
 PREFERRED ELECTRICAL CONTRACTORS
 2450 S. 162ND STREET
 NEW BERLIN, WI 53151
 PHONE: (262) 784-6330
 FAX: (262) 784-6339



WEST ELEVATION
 1/8" = 1'-0"

SHEET INDEX

- 1. SITE PLAN
- 2. FLOOR PLAN
- 3. SECTION
- 4. ELEVATION
- 5. DETAIL
- 6. SIGNAGE
- 7. LANDSCAPE
- 8. LIGHTING
- 9. MECHANICAL
- 10. ELECTRICAL
- 11. PLUMBING
- 12. FINISHES
- 13. EXTERIOR
- 14. INTERIOR
- 15. GENERAL NOTES

5555 HIGH CROSSING
 BLVD.
 MADISON, WI

WILDE EAST TOWNE HONDA

ARCHITECTURE
 CONSULTING

828 N. BROOKVIEW, SUITE 208
 MILWAUKEE, WI 53202
 PHONE (414) 286-8889
 FAX (414) 286-8890

Sheet Title:
 TITLE SHEET

Drawn by:
 BIRNBAUM

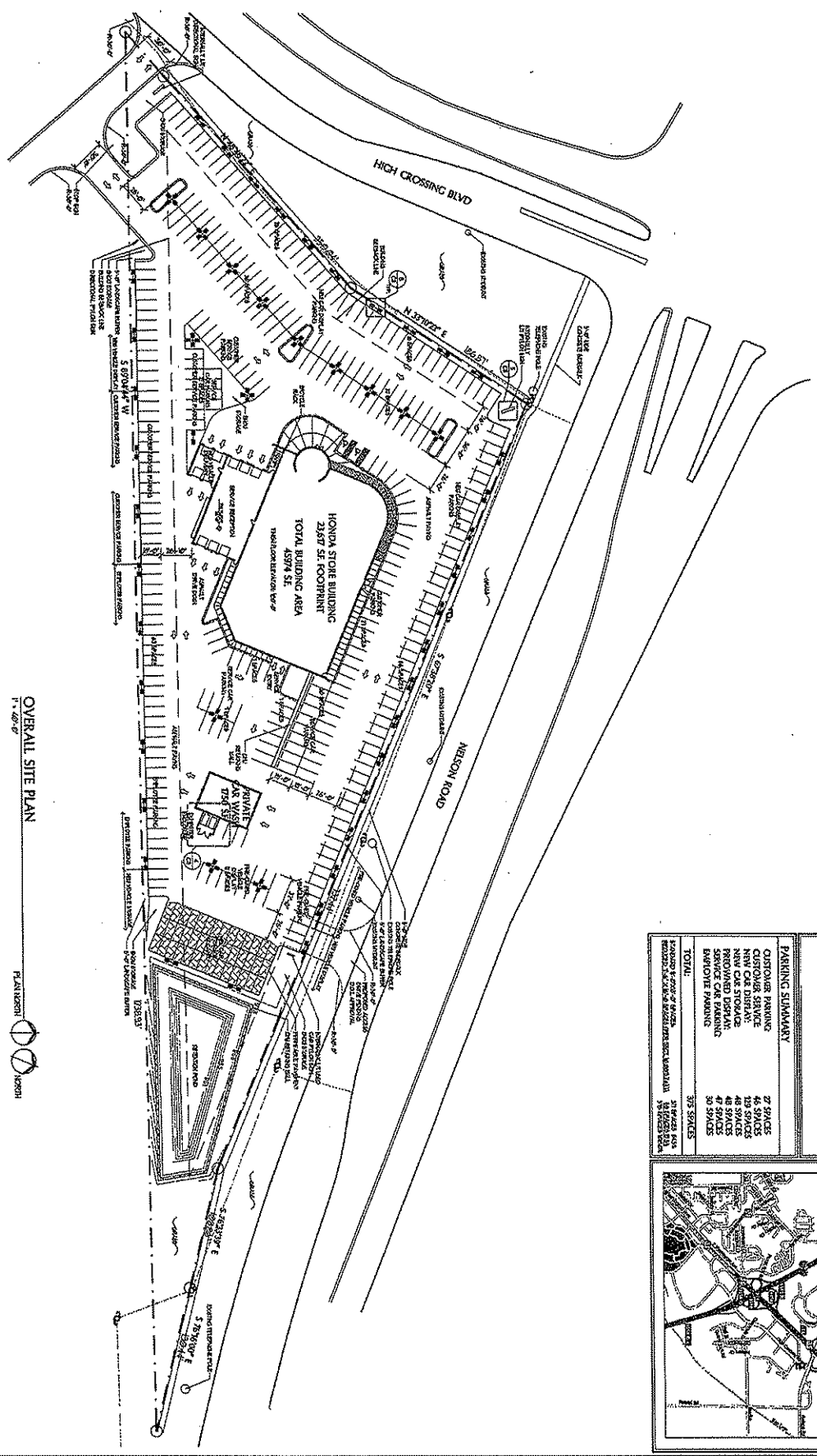
Checked by:
 BIRNBAUM

Date:
 02/20/08

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 AS SHOWN

Project Number:
 02081

Sheet Number:
 11

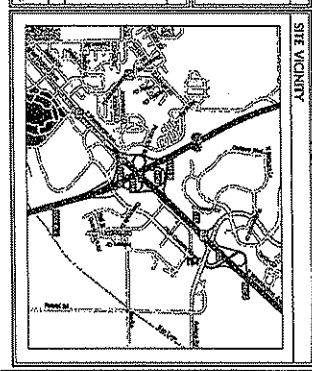


OVERALL SITE PLAN
 1" = 40'-0"
 SITE AREA: 448 ACRES
 APPROXIMATELY 183,378 SQUARE FEET



PROJECT INFORMATION	
PROPERTY ADDRESS	2587 ST. ROOMPRINT
PROPOSED ZONING	COMMERCIAL
OWNER	HONDA OF AMERICA, INC.
DESIGNER	DAVID H. MCKENNA ARCHITECTURE
DATE	NOVEMBER 1987
SCALE	1" = 40'-0"

PARKING SUMMARY	
CUSTOMER PARKING	22 SPACES
NEW CAR STORAGE	185 SPACES
REMOVED ASPHALT	48 SPACES
BARTOLTE PARKING	35 SPACES
TOTAL	335 SPACES



DAVID H. MCKENNA ARCHITECTURE CONSULTING
 448 W. Exchange Court, 2nd
 Birmingham, AL 35202
 Phone: (205) 981-2000
 Fax: (205) 981-2000

Collaborative Design
 1010 1/2 S. University Blvd., Suite 100
 Birmingham, AL 35202
 Phone: (205) 981-2000
 Fax: (205) 981-2000

PROJECT TITLE:
WILDE EAST TOWNE HONDA

A PROPOSED ARCHITECTURAL SITE PLAN FOR
WILDE EAST TOWNE HONDA

448 W. EXCHANGE COURT
 BIRMINGHAM, AL 35202

DATE: 11/18/87
 DRAWN BY: DAVID H. MCKENNA
 CHECKED BY: DAVID H. MCKENNA
 TITLE: ARCHITECTURAL SITE PLAN

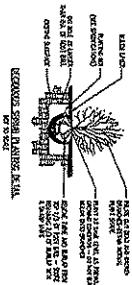
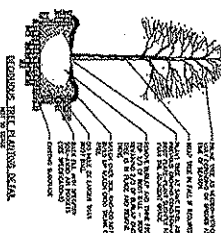
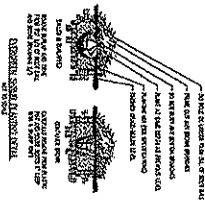
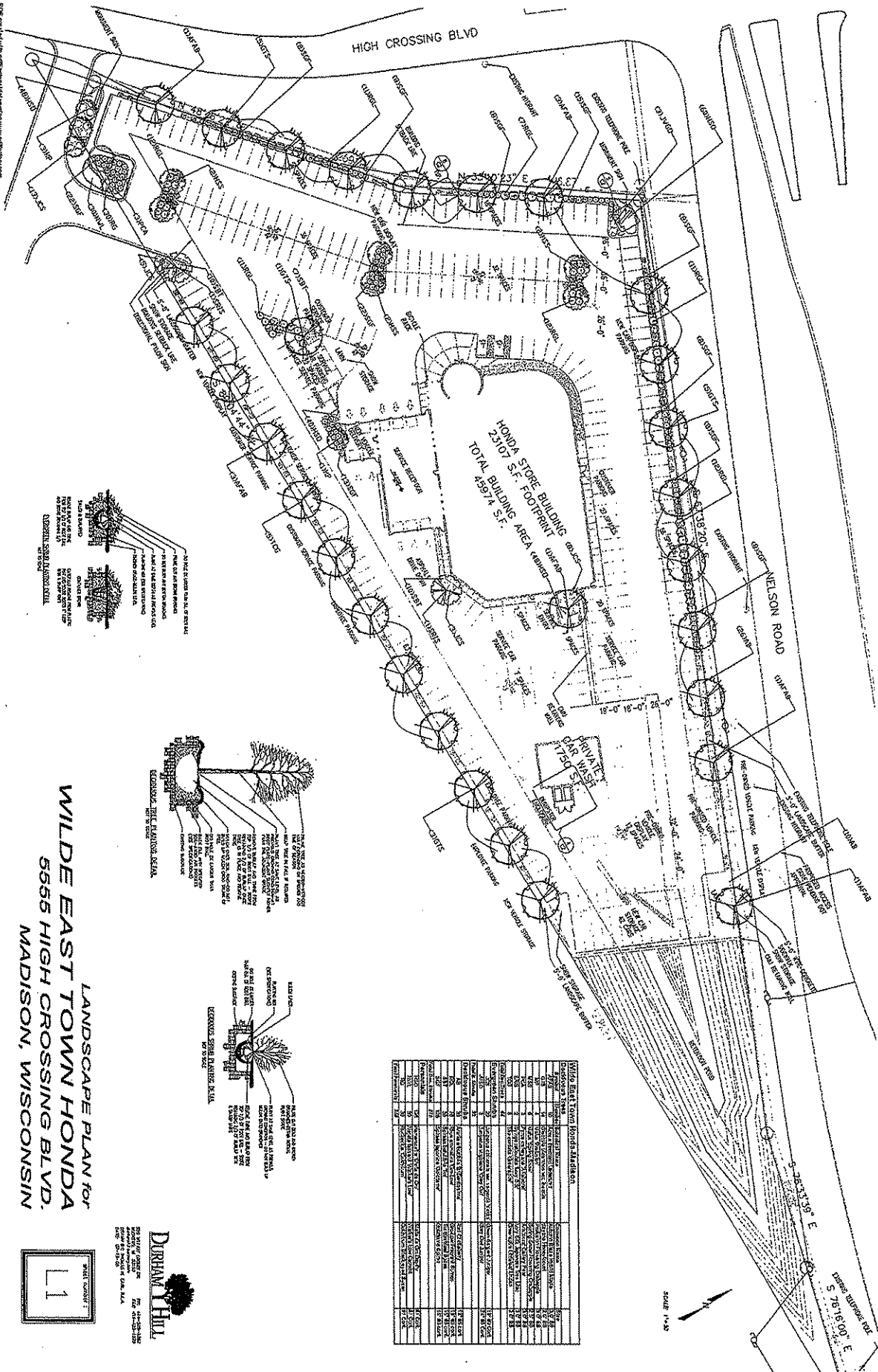
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SCALE:

REVISIONS:

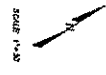
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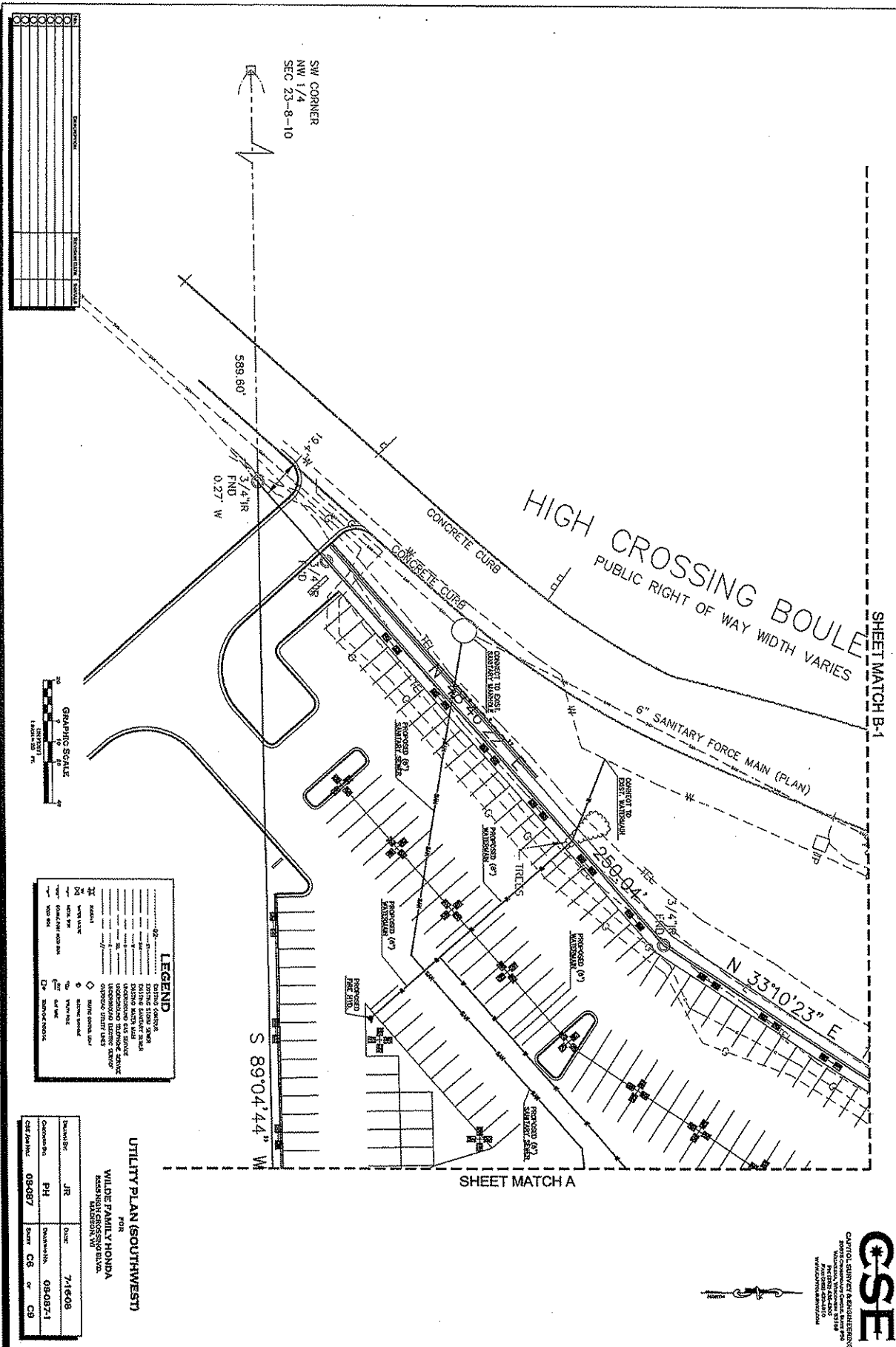
PDF GENERATED BY WSP | www.wsp.com



NO.	DESCRIPTION	QUANTITY	UNIT	TOTAL
1	PLANTING 1\"/>			

LANDSCAPE PLAN FOR
WILDE EAST TOWN HONDA
 5555 HIGH CROSSING BLVD.
 MADISON, WISCONSIN





NO.	DESCRIPTION	DATE



LEGEND

---	EXISTING CURB
---	PROPOSED CURB
---	EXISTING SIDE WALK
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UTILITY PLAN (SOUTHWEST)

FOR
WILDE FAMILY HONDA
 8555 HIGH CROSSING BLVD.
 WASHINGTON, VA

DESIGNED BY	JR	DATE	7-18-08
CHECKED BY	PH	PERMITTED BY	08-087-1
CAD DRAWN	08-087	SHEET	C8 OF C8

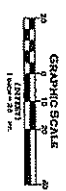
SHEET MATCH B-1

SHEET MATCH A



CSE
 CIVIL SERVICE ENGINEERING
 1100 WILSON AVENUE, SUITE 200
 WASHINGTON, VA 22202
 PHONE (703) 422-1100
 FAX (703) 422-1101
 WWW.CSE-VA.COM

NO.	DESCRIPTION	DATE	BY



LEGEND

EXISTING CONDITIONS

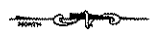
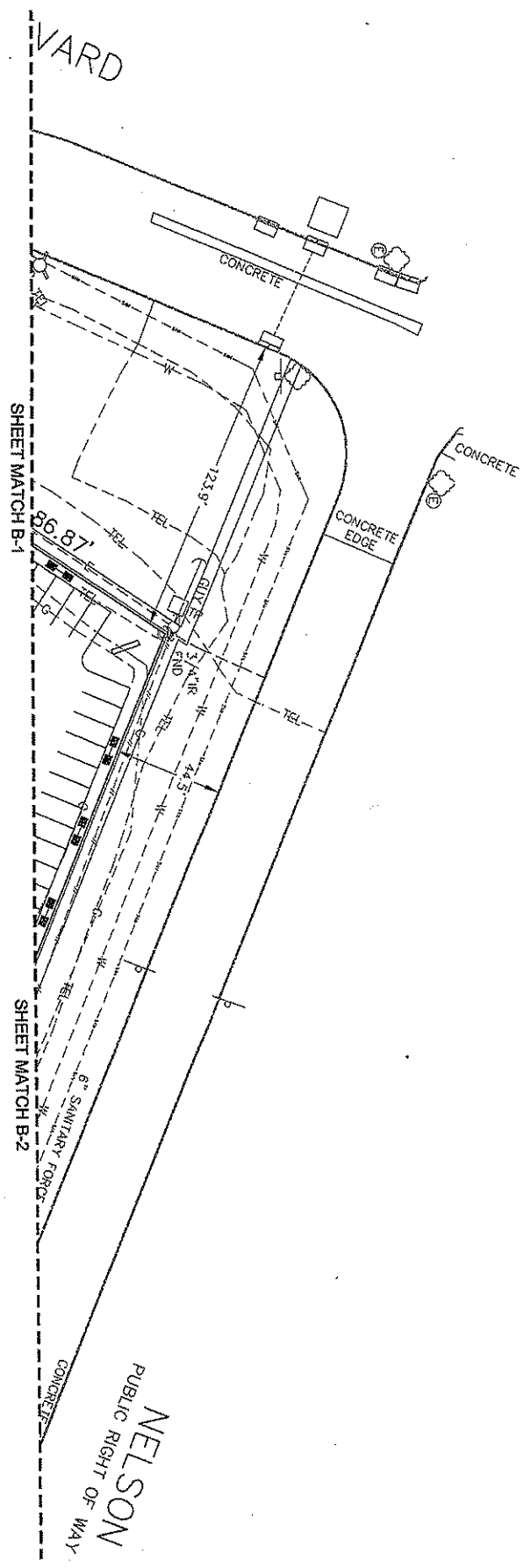
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PROPOSED CONDITIONS

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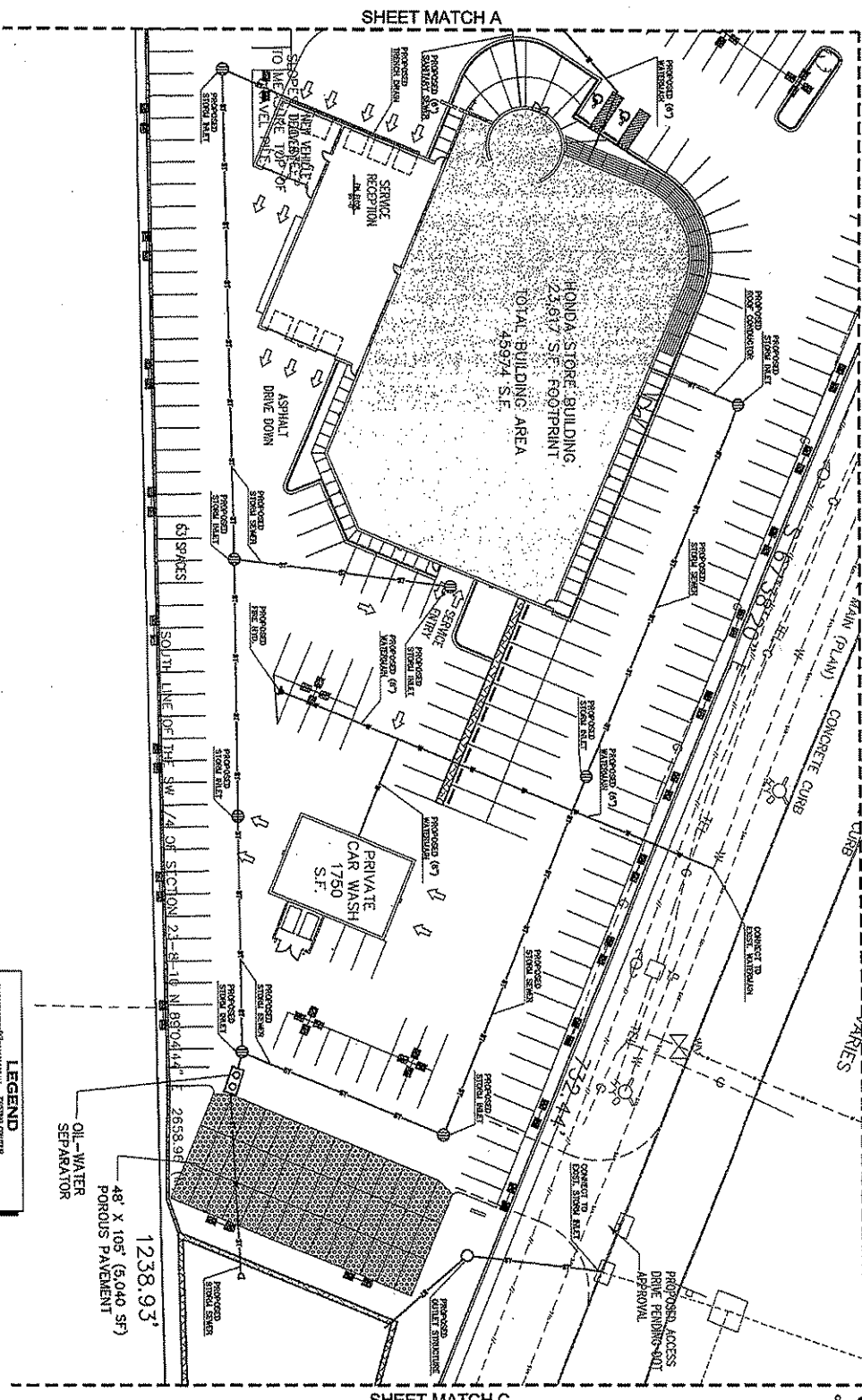
DATE	JR	DATE	07-18-08
DESIGNED BY	PH	DRAWN BY	808-087-1
CHECKED BY	08-087	SCALE	C7 OF C8

UTILITY PLAN (NORTHWEST)
 FOR
WILDE FAMILY HONDA
 8555 HIGH CROSSING BLVD.
 MADISON, WI



GSE
 CONSULTING ENGINEERS & ARCHITECTS
 30277 UNIVERSITY AVENUE, SUITE 205
 FARMINGTON HILLS, MI 48334
 TEL: 248.466.4400
 FAX: 248.466.4401
 WWW.GSE-ARCHITECTS.COM

NO.	DESCRIPTION	DATE



LEGEND

	EXISTING CENTERLINE
	EXISTING DRIVEWAY
	EXISTING DRIVEWAY
	EXISTING WATER MAIN
	EXISTING SEWER MAIN
	EXISTING GAS MAIN
	PROPOSED CENTERLINE
	PROPOSED DRIVEWAY
	PROPOSED DRIVEWAY
	PROPOSED WATER MAIN
	PROPOSED SEWER MAIN
	PROPOSED GAS MAIN
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
	PROPOSED OIL-WATER SEPARATOR
	PROPOSED ACCESS DRIVE
	PROPOSED PENNING-HOLT APPROVAL
	PROPOSED ASPHALT
	PROPOSED CONCRETE CURB
	PROPOSED GRAVEL STORAGE
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	PROPOSED GRAVEL STORAGE

UTILITY PLAN (CENTRAL)

FOR
WILDE FAMILY HONDA
3835 HIGHLAND BLVD.

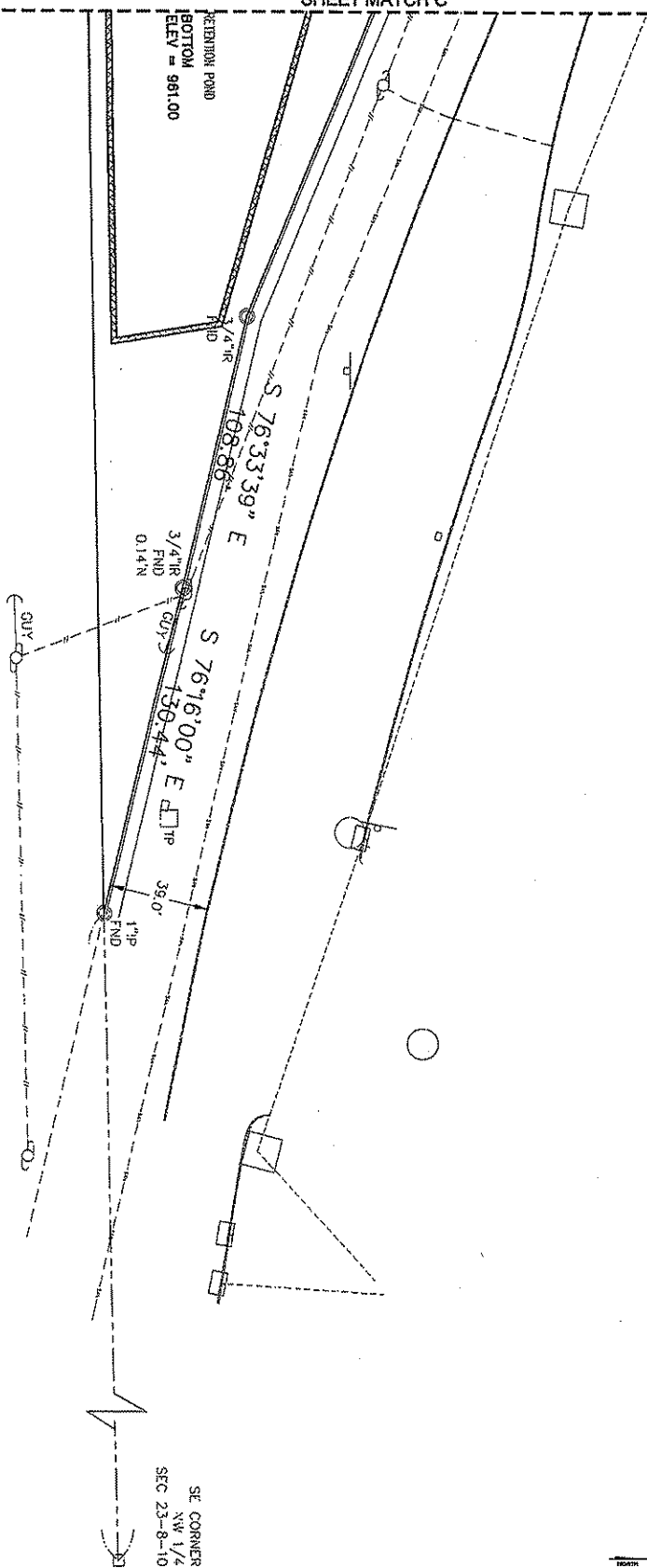
DATE:	07/16/08
DRAWN BY:	PH
CHECKED BY:	PH
PROJECT NO.:	08-087
DATE:	06
BY:	CG
DATE:	06
BY:	CG





SHEET MATCH C

RETENTION POND
BOTTOM
ELEV = 981.00



NO.	DESCRIPTION	DATE	BY
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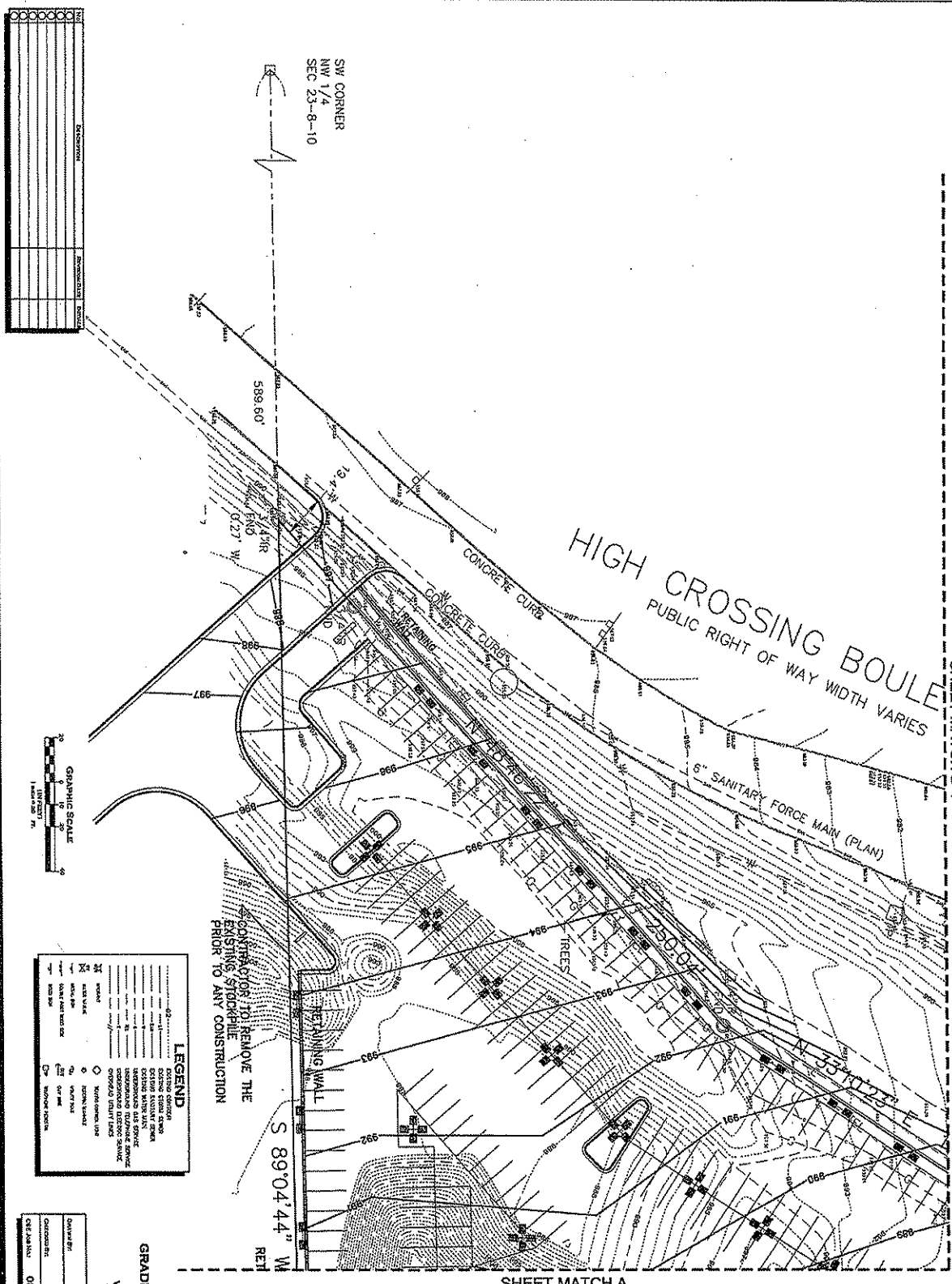
LEGEND

---	EXISTING CENTERLINE
---	EXISTING STRUCTURE
---	EXISTING SURFACE
---	EXISTING DRAINAGE
---	EXISTING UTILITIES
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---	PROPOSED STRUCTURE
---	PROPOSED SURFACE
---	PROPOSED DRAINAGE
---	PROPOSED UTILITIES
---	PROPOSED ELEVATION
---	PROPOSED DRAINAGE
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---	PROPOSED DRAINAGE
---	PROPOSED UTILITIES
---	PROPOSED ELEVATION

DATE:	07-16-08
DRAWN BY:	JR
CHECKED BY:	PH
PROJECT NO.:	08087
CLIENT:	WILDE FAMILY HONDA
ADDRESS:	508-037-1
CITY:	CE
STATE:	TX

UTILITY PLAN (EAST)
FOR
WILDE FAMILY HONDA
508-037-1
MADISON, TX

SE CORNER
NW 1/4
SEC 23-8-10

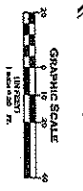


SHEET MATCH B-1

SHEET MATCH A

S/W CORNER
NW 1/4
SEC 23-8-10

NO.	REVISION	DATE



LEGEND

..... EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
--- PROPOSED GRADE
--- EXISTING ROAD CENTER
--- EXISTING SIDEWALK
--- EXISTING CURB
--- EXISTING DRAINAGE
--- EXISTING UTILITY
--- EXISTING STOCKPILE
--- EXISTING STOCKPILE
--- EXISTING STOCKPILE
--- EXISTING STOCKPILE

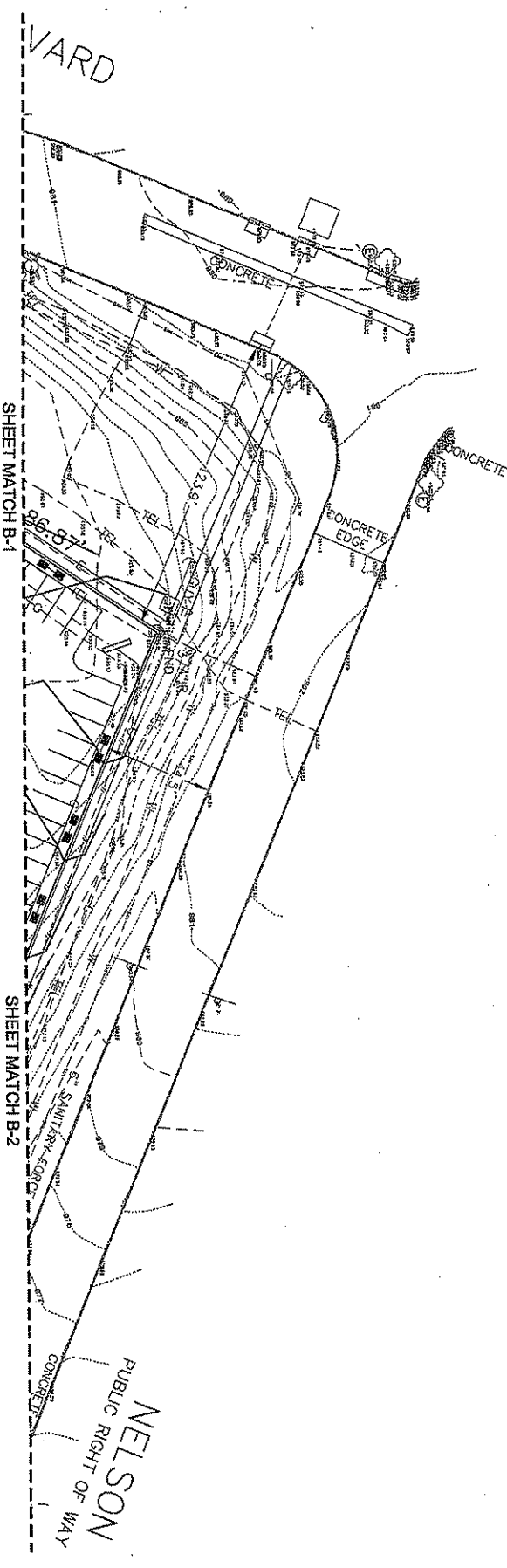
CONTRACTOR TO REMOVE THE
EXISTING STOCKPILE
PRIOR TO ANY CONSTRUCTION

GRADING PLAN (SOUTHWEST)

FOR
WILDE FAMILY HONDA
1000 WILDE DRIVE
HARRISON, VA

DATE	JR	DATE	7-18-08
DESIGNER	PH	DRAWN BY	08-087-1
SCALE	AS SHOWN	SHEET NO.	02
PROJECT NO.	08-087	OF	09





NO.	DESCRIPTION	DATE



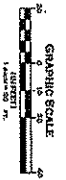
LEGEND

---	EXISTING CURB	○	ADJUST POINT
---	EXISTING DRIVE	□	ADJUST POINT
---	EXISTING SIDEWALK	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT
---	EXISTING DRIVE	○	ADJUST POINT

GRADING PLAN (NORTHWEST)
 FOR
WILDE FAMILY HONDA
 5087 UNIVERSITY AVE
 DENVER, CO 80202

DATE:	JR	DATE:	07-19-08
CHECKED BY:	PH	DATE:	08-08-08
PROJECT NO.:	08-097	DATE:	08-08-08

REVISIONS	
NO.	DESCRIPTION

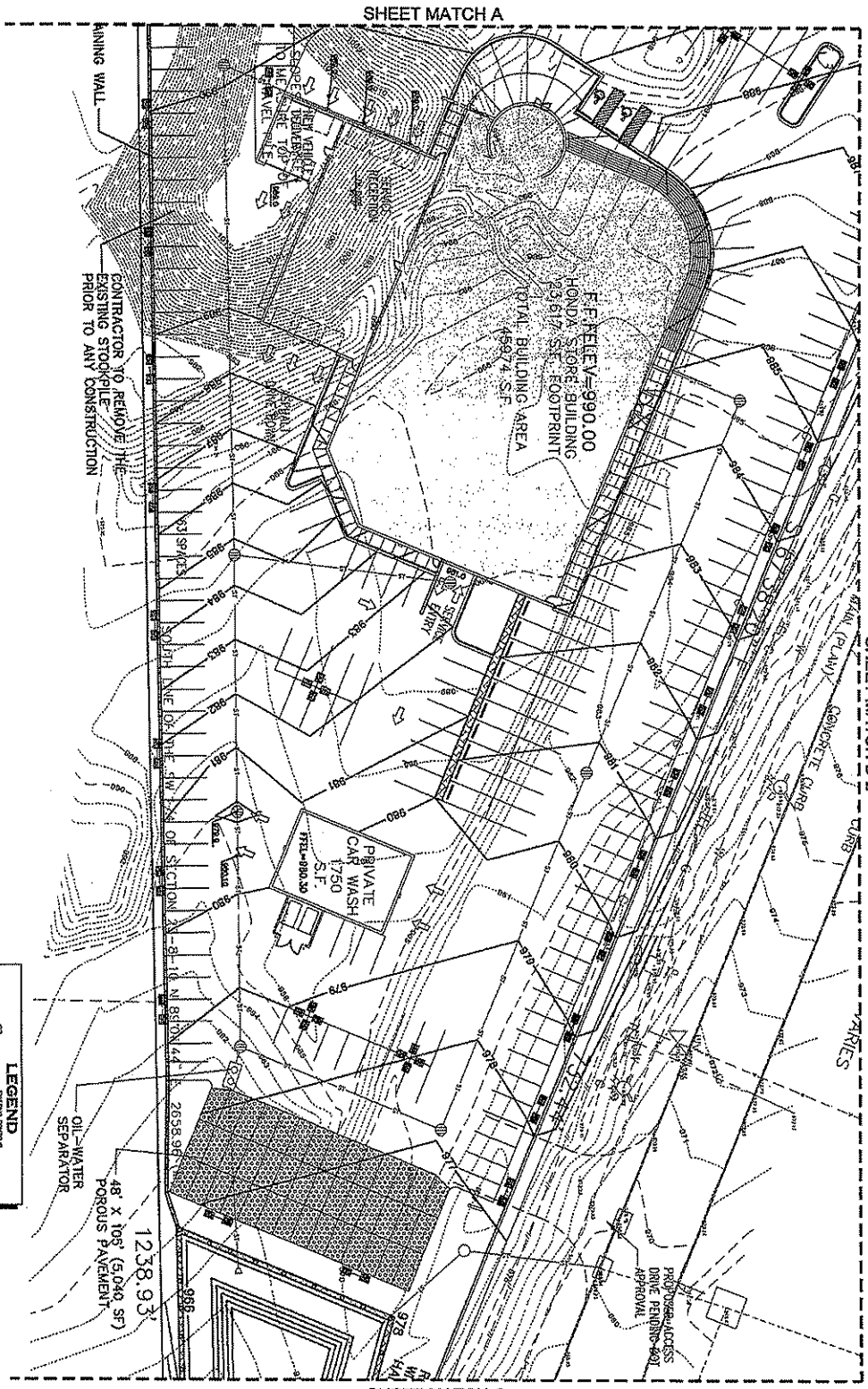


LEGEND

——	EXISTING ELEVATION
——	PROPOSED ELEVATION
——	EXISTING DRIVE
——	PROPOSED DRIVE
——	EXISTING SIDEWALK
——	PROPOSED SIDEWALK
——	EXISTING CONCRETED DRIVE
——	PROPOSED CONCRETED DRIVE
——	EXISTING ASPHALT DRIVE
——	PROPOSED ASPHALT DRIVE
——	EXISTING SIDEWALK
——	PROPOSED SIDEWALK
——	EXISTING DRIVE
——	PROPOSED DRIVE
——	EXISTING SIDEWALK
——	PROPOSED SIDEWALK
——	EXISTING DRIVE
——	PROPOSED DRIVE
——	EXISTING SIDEWALK
——	PROPOSED SIDEWALK
——	EXISTING DRIVE
——	PROPOSED DRIVE
——	EXISTING SIDEWALK
——	PROPOSED SIDEWALK
——	EXISTING DRIVE
——	PROPOSED DRIVE
——	EXISTING SIDEWALK
——	PROPOSED SIDEWALK
——	EXISTING DRIVE
——	PROPOSED DRIVE
——	EXISTING SIDEWALK
——	PROPOSED SIDEWALK
——	EXISTING DRIVE
——	PROPOSED DRIVE
——	EXISTING SIDEWALK
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——	EXISTING DRIVE
——	PROPOSED DRIVE
——	EXISTING SIDEWALK
——	PROPOSED SIDEWALK

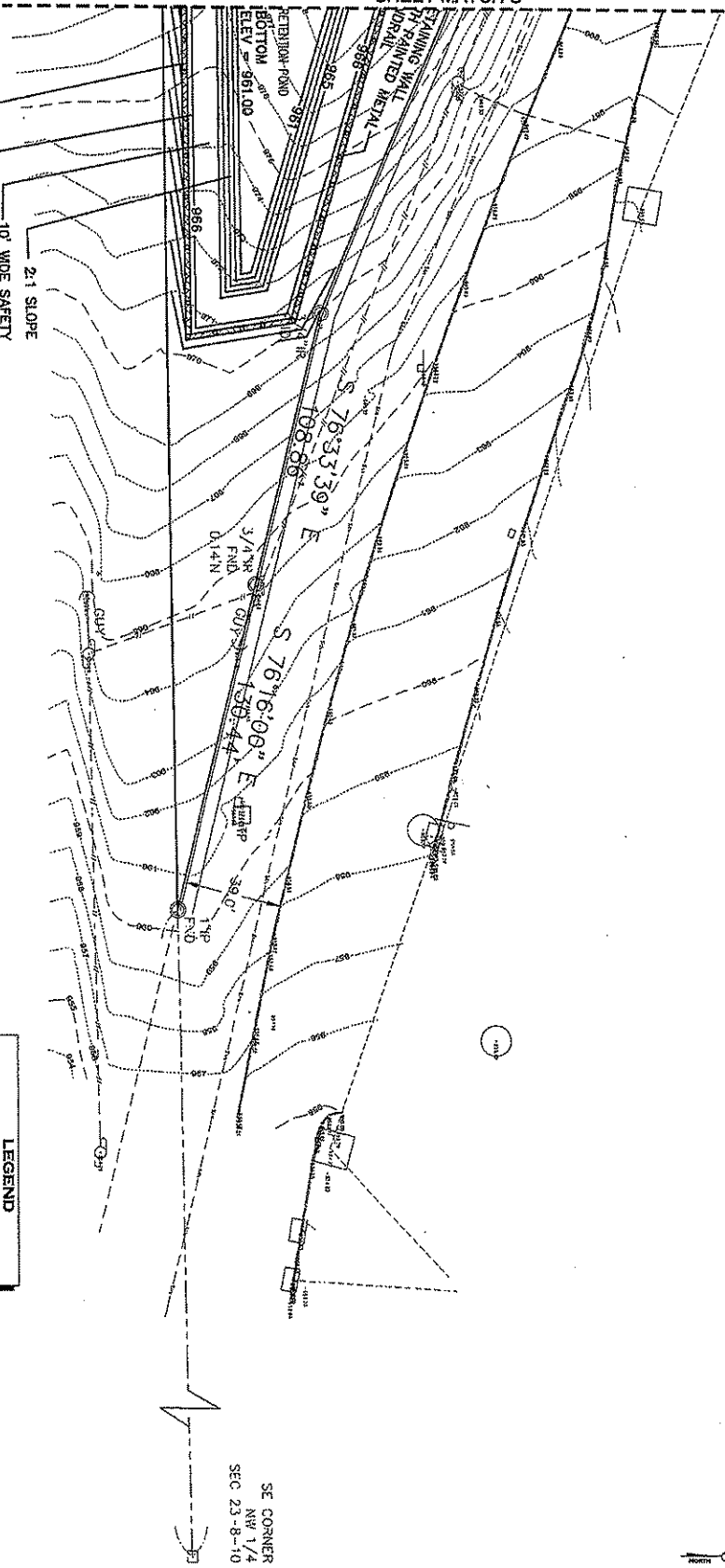
DESIGNED BY	JR	DATE	07-16-08
CHECKED BY	PH	APPROVED BY	508-087-4
CLIENT NO.	08087	PLAN NO.	C4
		SHEET NO.	C9

GRADING PLAN (CENTRAL)
 FOR
 WILDE FAMILY HONDA
 5000 HIGH COUNTRY BLVD.
 MARIETTA, GA

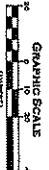


5

SHEET MATCH C



SYMBOL	DESCRIPTION
	EXISTING STRUCTURE
	PROPOSED STRUCTURE
	EXISTING UTILITY
	PROPOSED UTILITY
	EXISTING ROAD
	PROPOSED ROAD
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING BENCHMARK
	PROPOSED BENCHMARK
	EXISTING SPOT LEVEL
	PROPOSED SPOT LEVEL
	EXISTING UTILITY LINE
	PROPOSED UTILITY LINE
	EXISTING ROAD CENTERLINE
	PROPOSED ROAD CENTERLINE
	EXISTING FENCE LINE
	PROPOSED FENCE LINE



LEGEND

	EXISTING STRUCTURE
	PROPOSED STRUCTURE
	EXISTING UTILITY
	PROPOSED UTILITY
	EXISTING ROAD
	PROPOSED ROAD
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING BENCHMARK
	PROPOSED BENCHMARK
	EXISTING SPOT LEVEL
	PROPOSED SPOT LEVEL
	EXISTING UTILITY LINE
	PROPOSED UTILITY LINE
	EXISTING ROAD CENTERLINE
	PROPOSED ROAD CENTERLINE
	EXISTING FENCE LINE
	PROPOSED FENCE LINE

Drawn by:	JR	Date:	07-16-08
Checked by:	PH	Permit No.:	508-087-1
Case No.:	08-087	Sheet:	CS 1 of CS

GRADING PLAN (EAST)
 FOR
WILDE FAMILY HOMDA
 13301 WILDE AVENUE
 DENVER, CO 80242

SE CORNER
 NW 1/4
 SEC 23-8-10



Bill L. Madson, AIA
 ARCHITECTURE
 CONSULTING
 10292 Woodway, Suite 200
 Houston, TX 77055
 Phone: (414) 277-5000
 Fax: (414) 282-9009

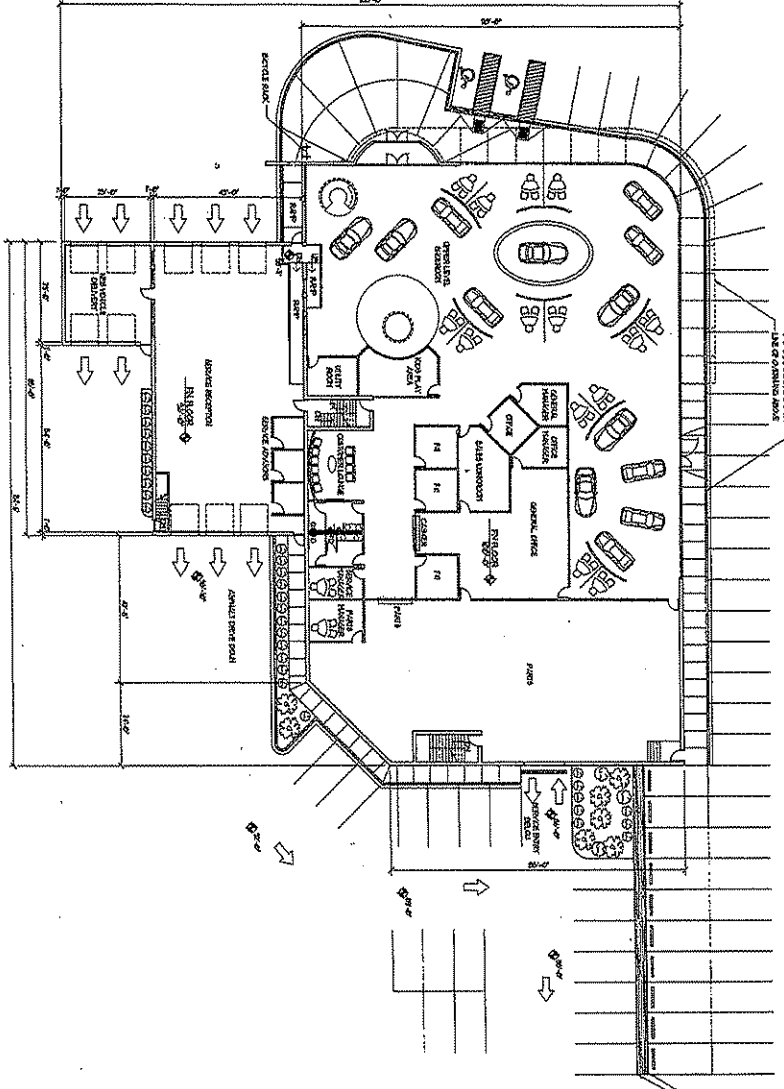
Collaborative Design™
 "We work with you to create the most effective design solutions for your project."
 PROJECT TITLE:

A PROPOSED
 AUTOMOBILE
 DEALERSHIP FOR
 WILDE
 EAST
 TOWNE
 HONDA
 SEE HIGH CROSSINGS
 MANDSON, VA

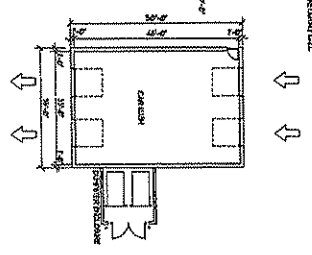
Sheet title:
**PROPOSED
 FLOOR
 PLAN**

DATE:
 DRAWN BY:
 CHECKED BY:
 TITLE:

PROJECT NUMBER:
 2008A
 44181



UPPER LEVEL FLOOR PLAN
 PLAN NUMBER: 44181



AREA SUMMARY	AREA	AREA
SHOWROOM	7400 SQ. FEET	
ADMINISTRATION	2790 SQ. FEET	
F & USKUS OFFICE	3000 SQ. FEET	
CUSTOMER LOAN/REPAIR/MAINT	2790 SQ. FEET	
SERVICE RECEPTION	3990 SQ. FEET	
NEW VEHICLE DELIVERY	800 SQ. FEET	
TOTAL GROSS AREA	23857 SQ. FEET	



BILL MCDONNELL, AIA
ARCHITECTURE
CONSULTING

209 N. Broadway - Des Moines
 50310
 Phone (515) 277-3300
 Fax (515) 277-3300

Collaborative Design™
 THE COLLABORATIVE DESIGN GROUP
 1000 13th Street, NW
 Des Moines, IA 50319

PROJECT TITLE:

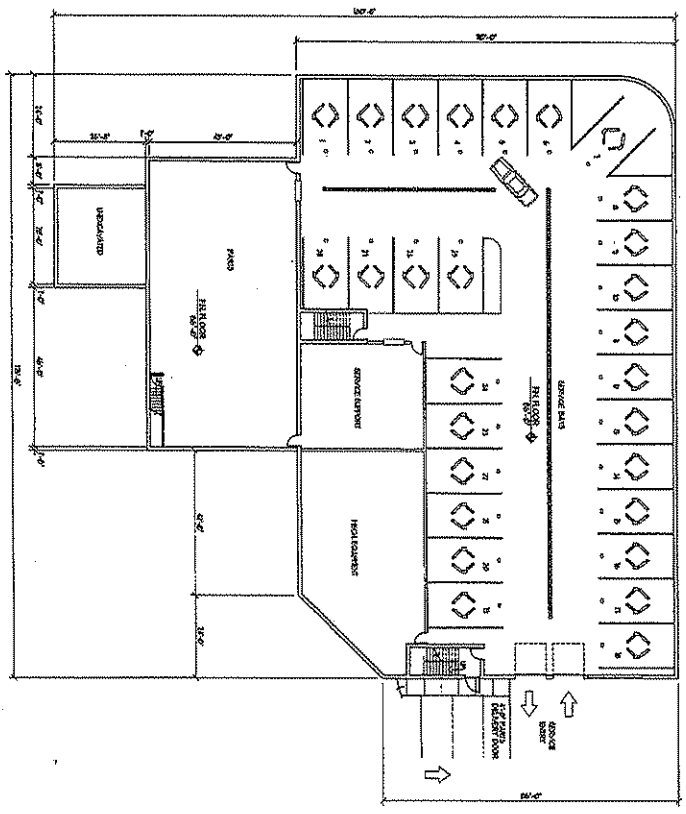
A PROPOSED
 AUTOMOBILE
 DEALERSHIP FOR
**WILDE
 EAST
 TOWNE
 HONDA**
 5025 HIGH CROSSING
 AND
 AMERSON, WI

Scale: AS SHOWN
 PROPOSED
 LOWER
 LEVEL
 FLOOR
 PLAN

PROVISIONS:

DATE: 09/20/08
 DRAWN BY: B.MCDONNELL
 TITLE: ARCHITECT

PROJECT NUMBER:
 200808



LOWER LEVEL FLOOR PLAN
 PLAN NUMBER: 010
 DATE: 09/20/08

AREA SUMMARY	
SERVICE AREA	14,548 SQ. FEET
PAINT	3,276 SQ. FEET
MACH. EQUIP/MONIT.	1,799 SQ. FEET
SERVICE SUPPOR.	1,232 SQ. FEET
TOTAL GROSS AREA	20,855 SQ. FEET

5



Dr. L. Madison, AIA
ARCHITECTURE
CONSULTING

20222 Providence Blvd-2106
Kilwaukee, WI 53102
Phone: (414) 272-2000
Fax: (414) 272-2000
Jef@lmd.com

Collaborative Design™
We work with you to create a design that meets your needs and budget. We are a team of professionals who work together to create a design that is both functional and beautiful.

PROJECT TITLE:

A PROPOSED
AUTOMOBILE
DEALER FOR
WILDE
EAST
TOWNE
HONDA

SITE HIGH CROSSING
RD.
MADISON, WI

DATE: 11/11/11

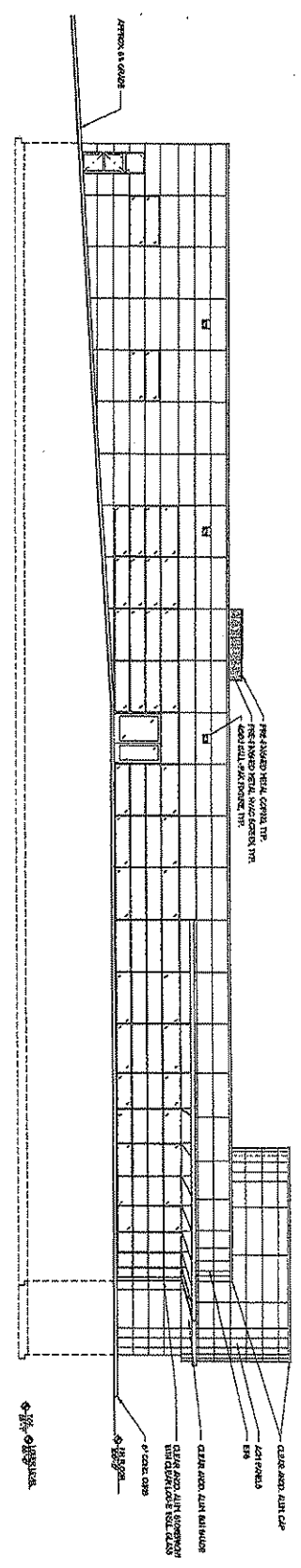
PROPOSED
ELEVATIONS

REVISIONS:

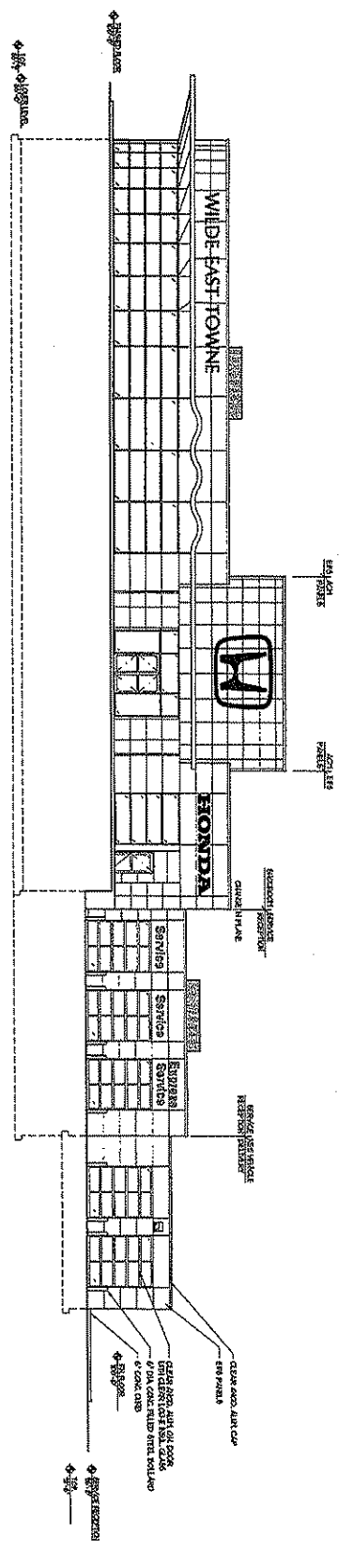
DATE: 11/11/11
BY: JEF
CHECKED: JEF

PROJECT NUMBER:
2011-001

ARCHITECT:
A3



NORTH ELEVATION
1/8\"/>



WEST ELEVATION
1/8\"/>

5



Bill L. Madison, AIA
ARCHITECTURE
CONSULTING

208 E. Broadway, Suite 205
 Milwaukee, WI 53202
 Phone (414) 272-8800
 Fax (414) 282-9500

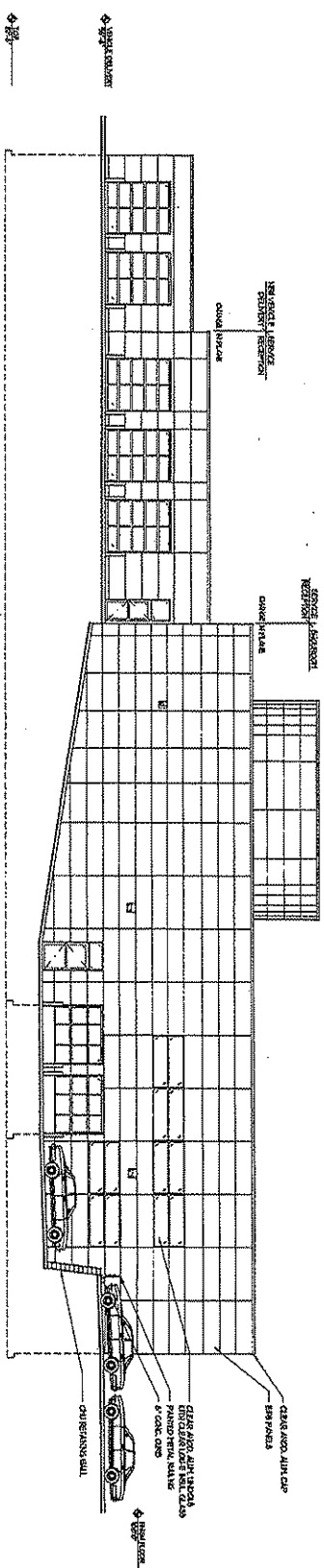
Collaborative Design™
 We work with the architect, interior designer, engineer, contractor and other project participants to create a better project.
 Project title:

A PROPOSED
 AUTOMOTIVE
 DEALERSHIP FOR
 WILDE
 EAST
 TOWNE
 HONDA
 5555 HIGH CROSSING
 BLVD.
 MADISON, WI

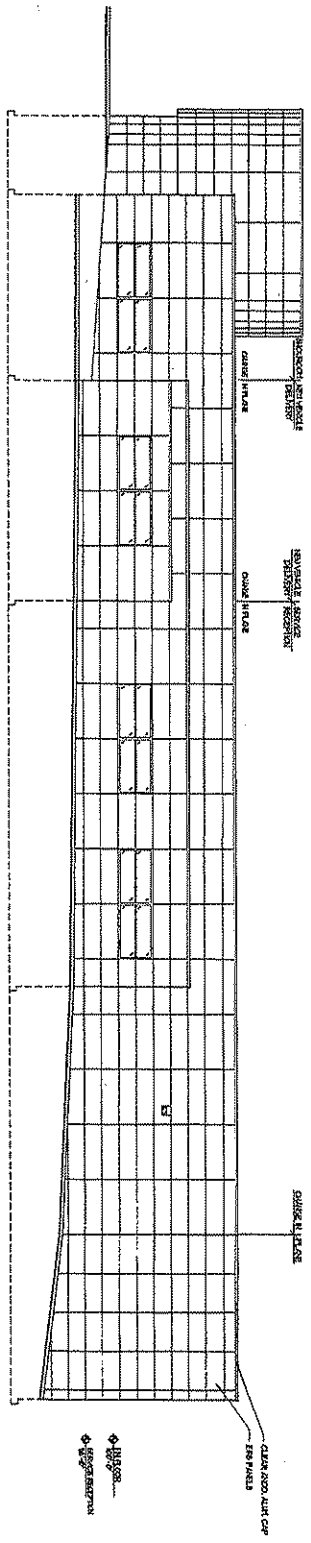
ELEVATIONS

DATE: 09/16/08
 DRAWN BY: BML/AVC
 TITLE: ELEVATIONS

PROJECT NUMBER: 200804
 SCALE:



SOUTH ELEVATION
 1/8" = 1'-0"



EAST ELEVATION
 1/8" = 1'-0"

5



Erk L. Robinson, AIA
ARCHITECTURE
CONSULTING

288 N. Broadway, Suite 205
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 Fax: (703) 251-0800

Colloperative
Design

500 N. 1st St., Suite 100
 Alexandria, VA 22302
 Phone: (703) 251-0800
 Fax: (703) 251-0800

Project title:

A PROPOSED
 DUMPSTER FOR
 WILDE
 EAST
 TOWNE
 HONDA
 5555 HIGH CROSSING
 AVENUE
 MANASSAS, VA

Sheet title:

SITE
DETAILS

Revisions:

Date: 07/20/08
 Drawn by: BHW/AVC
 Title: SIGNAGE

Project number:
 200804

Scale:

