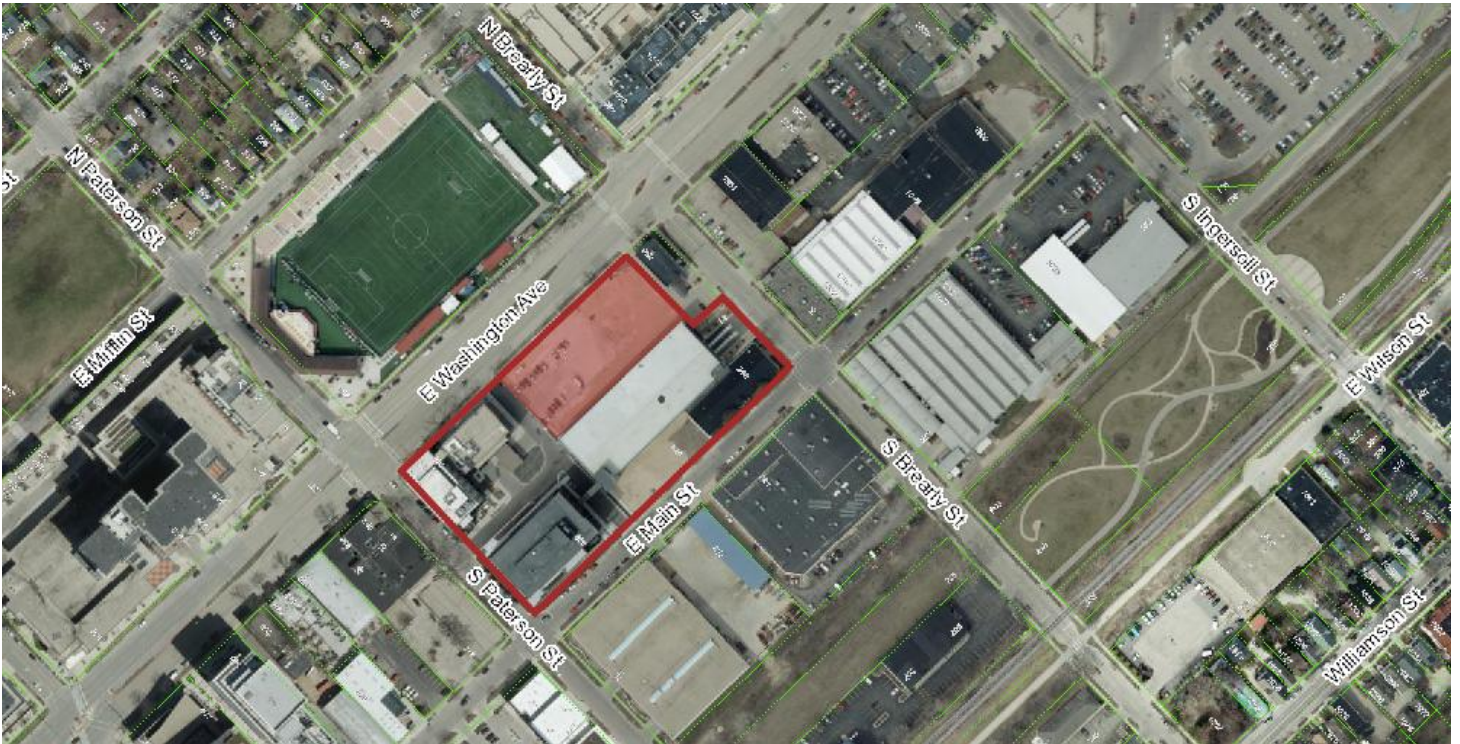


929 E Washington Ave Hotel
Contract 9512
Project 15117
Developer: Archipelago Village, LLC



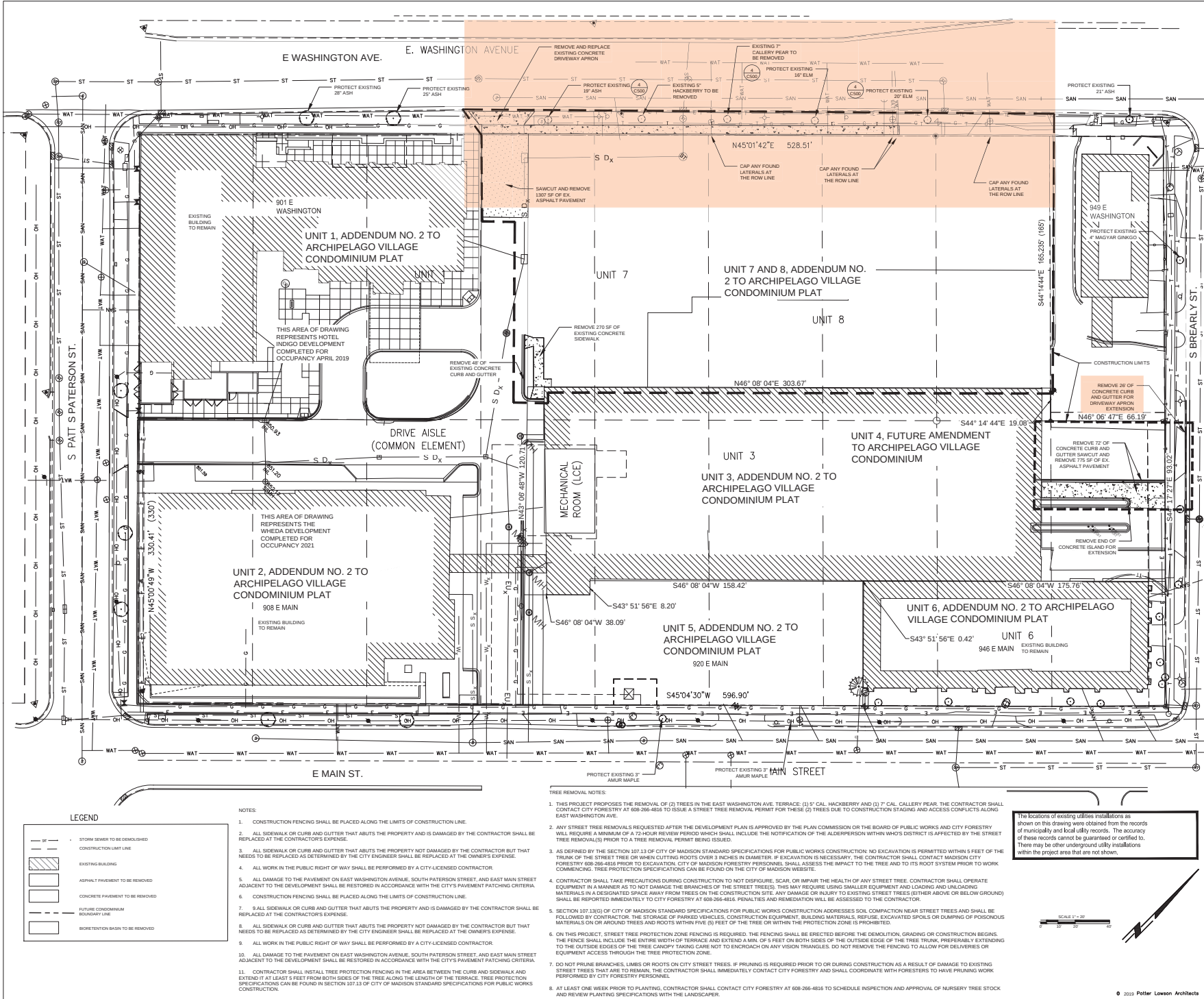
The developer, Archipelago Village, LLC, has received the City of Madison's conditional approval for the construction of a 15-story, 265-room hotel with a food and beverage uses and outdoor eating area at 929 E Washington Avenue. This is a planned multi-use site which contains a 144-room hotel, a five-story office building, and a 380-stall shared parking structure.

With this project, the developer shall be responsible for the construction of a northbound turn lane at the intersection of S Paterson Street and E Washington Avenue. Additional work related to the turn lane shall include the. The developer shall be responsible for the protection of City fiber optic lines in the terrace behind the curb along E Washington Avenue. The developer shall provide a deposit for pedestrian lighting on E Main Street and S Paterson Street, shall be responsible for existing concrete bus pads along the E Washington Avenue frontage, construction repair of sidewalk, curb and gutter, and pavement along the E Washington Avenue corridor adjacent to the project, and private lateral connections to serve the new building. City Forestry has approved the removal of a 5" diameter hackberry tree and a 7" diameter pear tree along the E Washington Avenue frontage. Both conflict with new buried utilities. The developer shall be responsible for the cost of new trees upon the completion of construction. All other trees shall be protected.

929 E Washington Ave Hotel
Contract 9512
Project 15117
Developer: Archipelago Village, LLC

Summary of Improvements:

- Construction of a northbound turn lane at the intersection of S Paterson Street and E Washington Avenue per plans approved by the City Traffic Engineer. Including: removal and replacement of pavement, curb and gutter, and sidewalk, traffic lights, a fire hydrant, storm inlets, signing, and pavement markings.
- Provide public street terrace tree protection, removals, and plantings per City Forestry approvals. Install tree terrace support systems per City Forestry approvals and per plans approved by the City Engineer.
- Close abandoned driveways with curb and gutter. Construct new private drive entrance aprons per plans approved by the City Engineering and per the Commercial Driveway Permit approved by the City Traffic Engineer. Widen existing drive apron on S Brearly Street for on-site trash enclosure.
- Construct private sanitary, storm, and water service laterals necessary to serve the private redevelopment project per plans approved by the City Engineer.
- Protect existing public streetlights, electrical, and fiber facilities in the project area. Coordinate with City Traffic Engineering and City IT on relocations needed to facilitate construction.
- Deposit for installation of pedestrian lighting on E Main Street and S Paterson Street.
- Coordinate project access, street closures, and street occupancy with other projects in the area and as approved by City Traffic Engineering.



Notes:

929 EAST WASHINGTON
AVENUE HOTEL

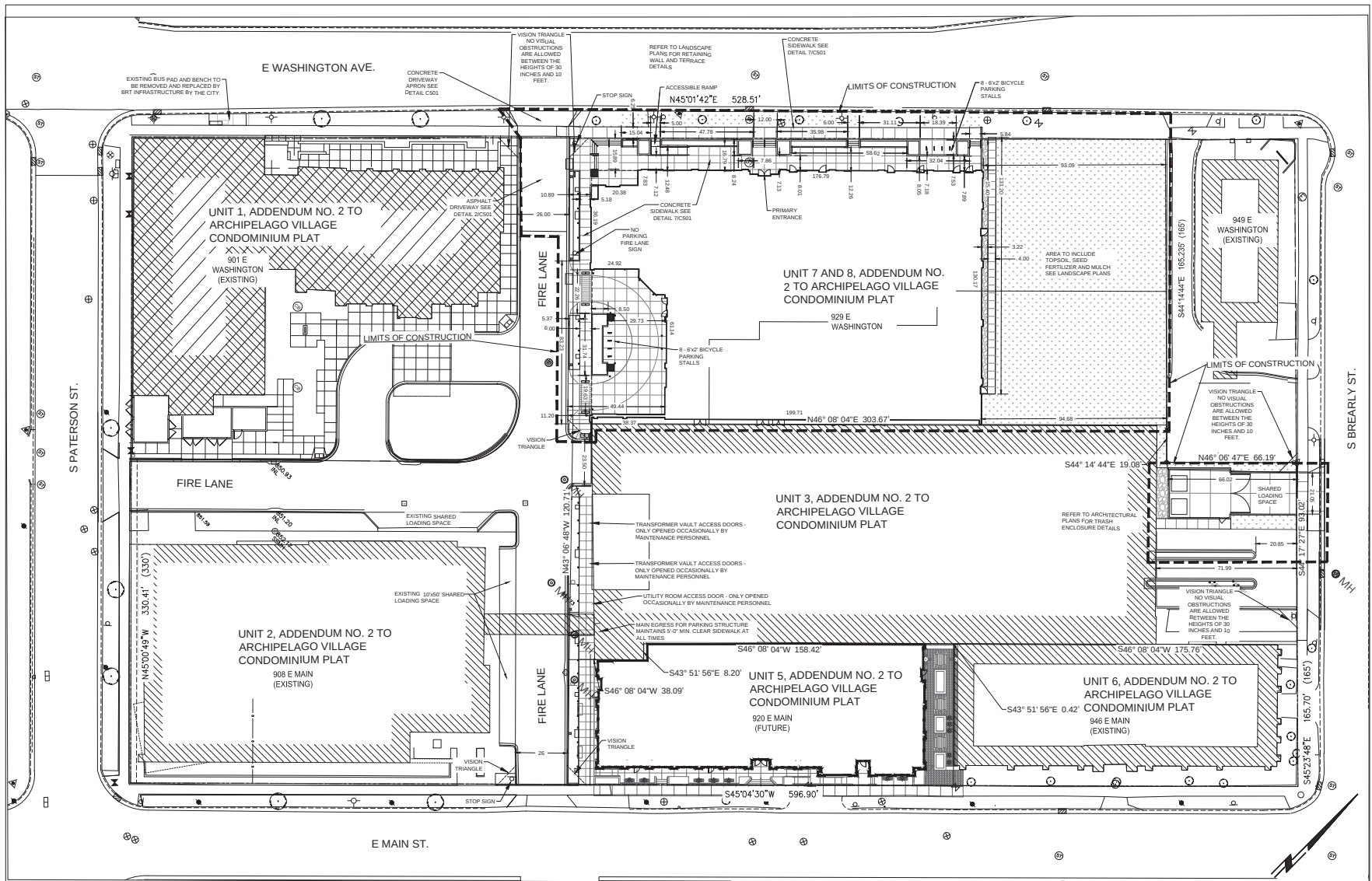
929 E Washington Ave
Madison, Wisconsin

2016.36.02.4

Date	Issuance/Revisions	Symbol
11/22/2023	LAND USE SUBMITTAL	
1/29/2024	UDC SUBMITTAL	
4/9/2024	CITY RESUBMITTAL	
9/22/2025	UDC / MINOR ALT SUBMITTAL	

SITE
DEMOLITION PLAN

C100



GENERAL

1. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIVITIES.
2. ALL ELEVATIONS ARE REFERENCED TO THE LOCAL DATUM AND BASED ON A SURVEY PERFORMED BY THE ENGINEER AND ASSOCIATES ON NOVEMBER 1, 2007.
3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.
4. ALL STAKES NECESSARY FOR THE CONTRACTOR TO DETERMINE LOCATION AND/OR GRADES FOR ANY SECTION OF THE WORK HEREIN DESCRIBED SHALL BE SET BY THE OWNER, OR THE OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO ORDERING OR DELIVERY.
6. MATERIAL TESTS CONDUCTED BY AN INDEPENDENT TESTING LAB MAY BE ORDERED BY THE ENGINEER OR OWNER. IF SUCH TESTING IS ORDERED, THE CONTRACTOR SHALL FURNISH THE SAMPLES AND THE COST OF TESTING SHALL BE PAID BY THE OWNER. RETESTING OF ANY FAILING TESTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
7. ALL CONTRACTORS SHALL HAVE A COMPETENT FOREMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.
8. A PRE CONFERENCE MAY BE HELD PRIOR TO CONSTRUCTION START UP.
9. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADEING AREAS OF CONSTRUCTION AS MAY BE REQUIRED TO PROTECT AGAINST PERSONAL INJURY AS WELL AS VEHICULAR TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SIGNING SHALL BE IN ACCORDANCE WITH THE MINNESOTA DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL DEVICES. ALL OTHER SIGNS MUST BE PRE-APPROVED BY OWNER.

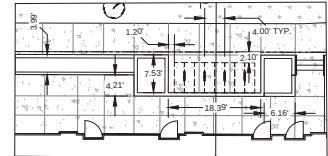
10. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING.
11. ALL ROAD AND PAVING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION - EDITION OF 2000, HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED HEREIN.
12. WHERE SPECIFIC PORTIONS OF THESE SPECIFICATIONS ARE IN CONFLICT WITH THE STANDARD SPECIFICATIONS, THESE SPECIFICATIONS SHALL GOVERN.
13. THERE ARE NO FRONT OR SIDE YARD SETBACKS.
14. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.
15. CONTRACTOR SHALL REPLACE ANY CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED DUE TO UNDESIRABLE GRADE REGARDLESS OF WHETHER THE CONSTRUCTION OCCURRED PRIOR TO BEGINNING CONSTRUCTION.
16. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.
17. NO VISUAL OBSTRUCTIONS TO BE LOCATED WITHIN VISION TRIANGLES BETWEEN THE HEIGHTS OF 2.5'-0" - 20' BEHIND THE PROPERTY LINE AT STREETS AND 10' BEHIND THE PROPERTY LINE AT DRIVEWAYS.

CURB, GRADE, BEAM CURB, SIDEWALK AND MISCELLANEOUS

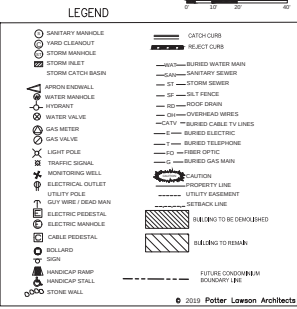
1. WHERE INDICATED ON THE PLANS, INSTALL CONCRETE SIDEWALK IN ACCORDANCE WITH SECTION 602 OF THE STANDARD SPECIFICATIONS.
2. CONCRETE CURB SHALL BE INSTALLED WHERE INDICATED ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 601 OF THE STANDARD SPECIFICATIONS. DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL SHEET.
3. ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.
4. ALL ENTRANCES SHALL HAVE THE EXISTING 8" VERTICAL FACE SAVED AND RENOVATED OR THE ENTIRE CURB AND GUTTER LENGTH REMOVED AND REPLACED WITH CONCRETE GUTTER SECTION.
5. CONCRETE JOINTING FOR THE SIDEWALK AROUND THE BUILDING WILL BE TOoled JOINTS. THE UPPER TERRACE ALONG EAST WASHINGTON AVE. AND THE CROSS WALK THAT CUTS THROUGH THE NORTH-SOUTH FIRE LANE WILL BE SAW CUT JOINTS.
6. CLEARLY DEFINED FIVE-FOOT WALKWAYS TO ASSIST CITIZENS WITH DISABILITIES IS PROVIDED FOR THIS PROJECT TO AD IN CIRCULATION WITHIN THE ENTIRE DEVELOPMENT AND TO BUILDING ENTRANCE DOORS. EXCEPTIONS DO OCCUR ALONG THE WESTERN FACE OF THE 900 EAST MAIN PHASE 1 PARKING LOT. STRUCTURE 200 EAST WASHINGTON BUILDING PHASE FOR SOME UTILITY ROOMS WHICH WILL BE ACCESSED INFREQUENTLY AND BY QUALIFIED MAINTENANCE PERSONNEL. THESE EXCEPTIONS ARE EXPLICITLY NOTED ON THE PLANS.

Land Use Summary Table	
Site Area	Lot 4.27 Ac / Disturbed 3.25 Ac
Total Building Sq Ft	138,017 S.F. (1,029)
Building Footprint Sq Ft	32,857 Sq Ft (240)
Building Type	Commercial (2020)
Lot Coverage (Shaded)	55%

Land Cover Analysis Table	
Lot Area	Lot 386,000 S.F. / 4.27 Ac
Building Footprint Sq Ft	32,857
Building Footprint Sq Ft (2020 Impervious)	5,608 S.F.
Building Footprint Sq Ft (Other Building)	27,249 S.F.
Site Paving	35,541 S.F.
Green Roof (Other Building)	15,502 S.F.
Landscaped Area	5,987 S.F.
Total Green (incl. Green Roof)	45,028 S.F.
Total Impervious	138,017 S.F.



BICYCLE RACK AND ACCESSIBLE RAMP DIMENSIONS



Potter Lawson
Success by Design

ONEIDA
Engineering Solutions

5100 Eastpark Blvd., Suite 300, Madison, WI 53718, ph. 608-243-6470 Job# 2017136

Notes: _____

929 EAST WASHINGTON AVENUE HOTEL

929 E Washington Ave
Madison, Wisconsin

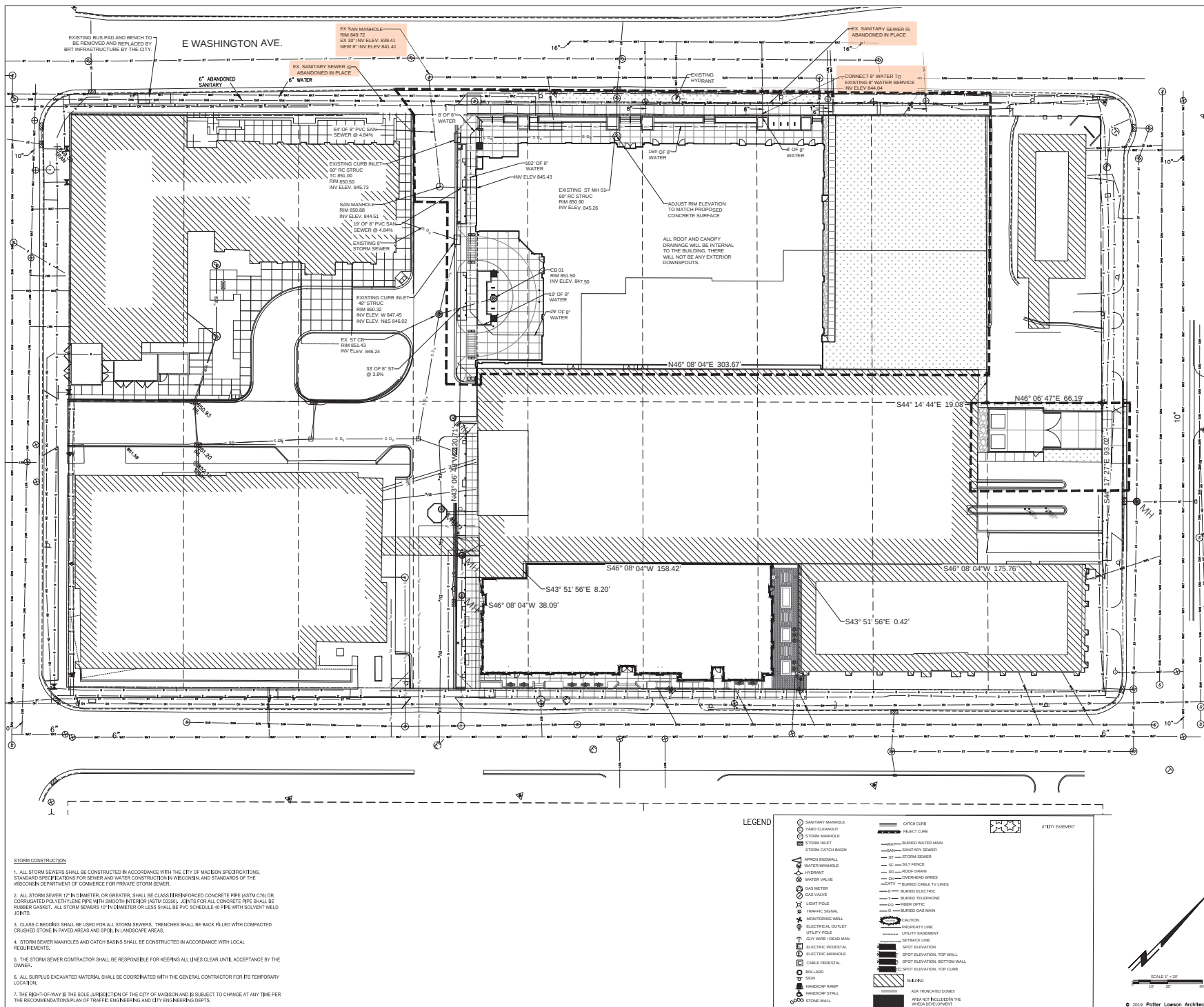
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SITE LAYOUT PLAN

C102

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Notes:

929 EAST WASHINGTON
AVENUE HOTEL

929 E Washington Ave
Madison, Wisconsin

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PLOT SCALE:

PLOT NAME:

REV. DATE:

ORIGINATOR: CITY OF MADISON, TRAFFIC ENG. DIV.

FILE NAME: \$\$...designfile...\$\$

DATE: \$\$...plottingdate...\$\$

E. Washington Avenue

901 E. Washington Avenue

849 E. Washington Avenue

S Paterson Street

14 S. Paterson Street



SHEET NO.

PROPOSED RIGHT TURN LANE

E. WASHINGTON - S. PATERSON

CITY OF MADISON

65'

5' 5"

12'

10'

18'

5' 9"

18'

18'