



# City of Madison

## Conditional Use

Location  
1412 Pflaum Road

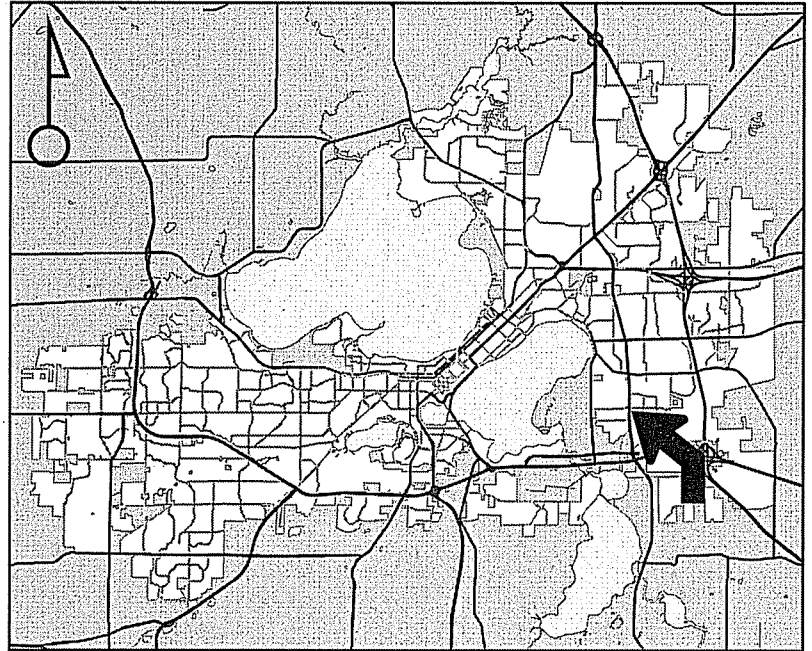
Project Name  
Open Pantry Parking Lot

Applicant  
Robert Bubler / Justin Borchardt

Existing Use  
Gas Station / Convenience Store

Proposed Use  
Create private parking facility

Public Hearing Date  
Plan Commission  
6 November 2017

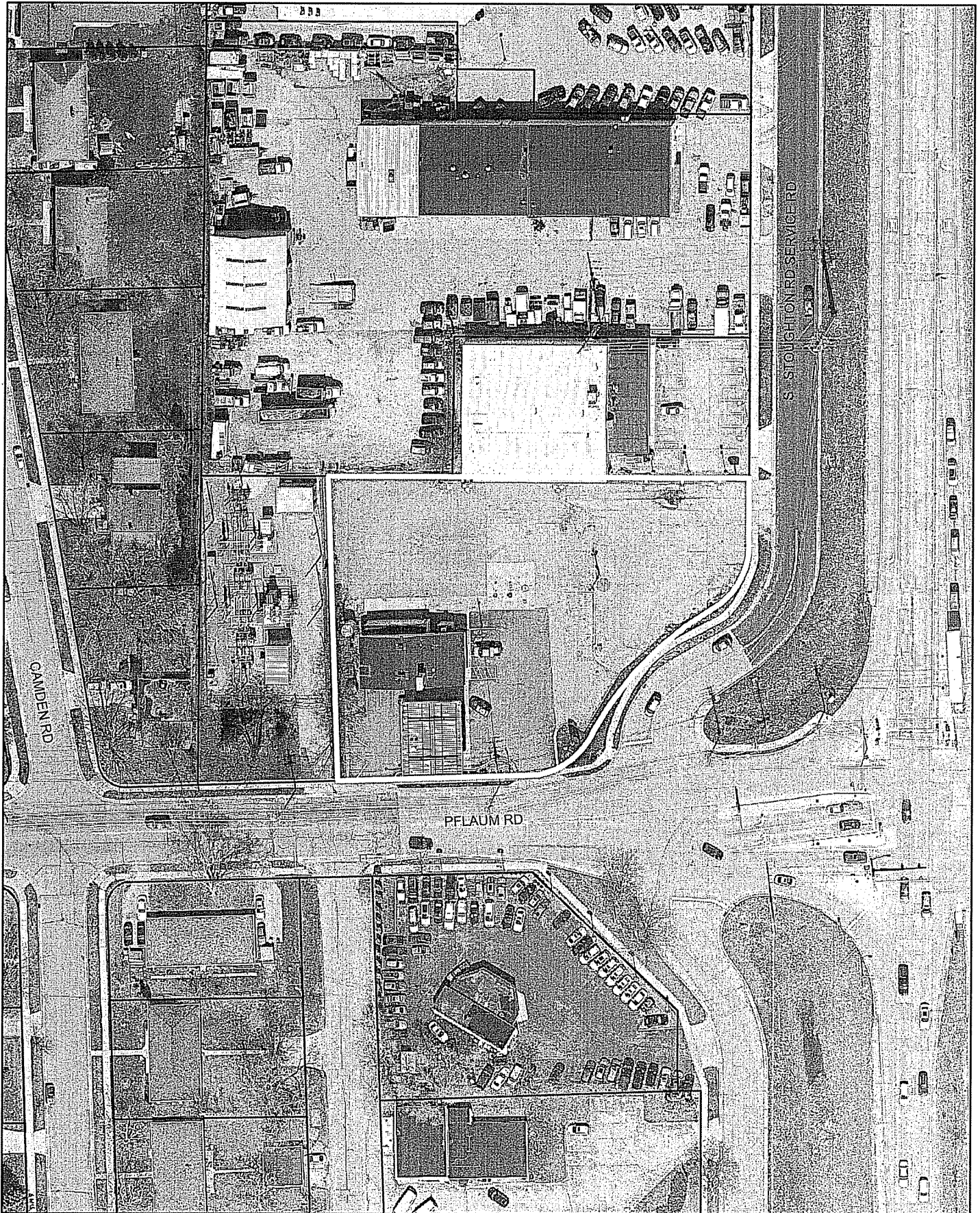


For Questions Contact: Sydney Prusak at: 243-0554 or [sprusak@cityofmadison.com](mailto:sprusak@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 30 Oct 2017



LAND USE APPLICATION

LND-B

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid \$600 Receipt # 034893-0004
Date received 9/13/17
Received by JEM
Parcel # 0710-168-1707-6
Aldermanic district 15-AHRENS
Zoning district CC-T
Special requirements OK
Review required by
[ ] UDC [x] PC
[ ] Common Council [ ] Other
Reviewed By LNDUSE-2017-00099

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 1411 Pflaum Road, Madison, WI
Title: Open Pantry 1215 parking lot

2. This is an application for (check all that apply)

- [ ] Zoning Map Amendment (rezoning) from ... to ...
[ ] Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
[ ] Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
[ ] Review of Alteration to Planned Development (PD) (by Plan Commission)
[x] Conditional Use or Major Alteration to an Approved Conditional Use
[ ] Demolition Permit
[ ] Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Jim Schutz Company Open Pantry
Street address 10505 Corporate Drive Suite 101 City/State/Zip Pleasant Prairie WI 53158
Telephone 262-705-9039 Email jschutz@openpantry.com
Project contact person Justin Borchardt Company Open Pantry
Street address 10505 Corporate Drive Suite 101 City/State/Zip Pleasant Prairie WI 53158
Telephone 262-857-1156 Email jborchardt@openpantry.com
Property owner (if not applicant) Robert Buhler
Street address 10505 Corporate Drive Suite 101 City/State/Zip Pleasant Prairie WI 53158
Telephone 262-857-1156 Email rbuhler@openpantry.com

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Converting empty lot to overflow parking for Car Dealership

Scheduled start date 10/1/2017 Planned completion date 11/1/17

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checkboxes for Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, Electronic Submittal\*.

\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff.

Planning staff Chris Wells Date 9/6/17
Zoning staff Jenny Kivchatter Date 9/6/17

- Demolition Listserv
Public subsidy is being requested (indicate in letter of intent)

Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request.

List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:
Alderman Ahrens - District 15 - 9/12/17
Glendale Neighborhood Association - 9/12/17

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Jim Schutz Relationship to property Operations Manager
Authorizing signature of property owner [Signature] Date 9/13/2017



*Robert A. Buhler*  
*Sole Member*

*10505 Corporate Drive, Suite 101*  
*Pleasant Prairie, WI 53158-1605*  
*Phone: 262-857-1156*  
*Fax: 262-857-9667*

September 12, 2017

City of Madison  
Planning Division  
126 S Hamilton St  
PO Box 2985  
Madison, WI 53701-2985

Department of Planning & Community & Economic Development Planning Division:

E&K Land, LLC has the opportunity to enhance our property at 1412 Pflaum Road by leasing the vacant space behind our affiliated Open Pantry store to A to Z Autosports, a car dealership and neighbor. This is an opportunity to create better curb appeal for our business as well as the surrounding businesses and the community. A vacant space as we have learned invites negative consequences such as dumping and vandalism. This is a chance to fill the property appropriately, to make it more vibrant and in turn deter the negative incidents.

Attached you will see our plan which involves striping the parking area and specifically delineating traffic patterns. We will also increase lighting in the area and add security cameras to monitor the space thus creating a more secure, vibrant area.

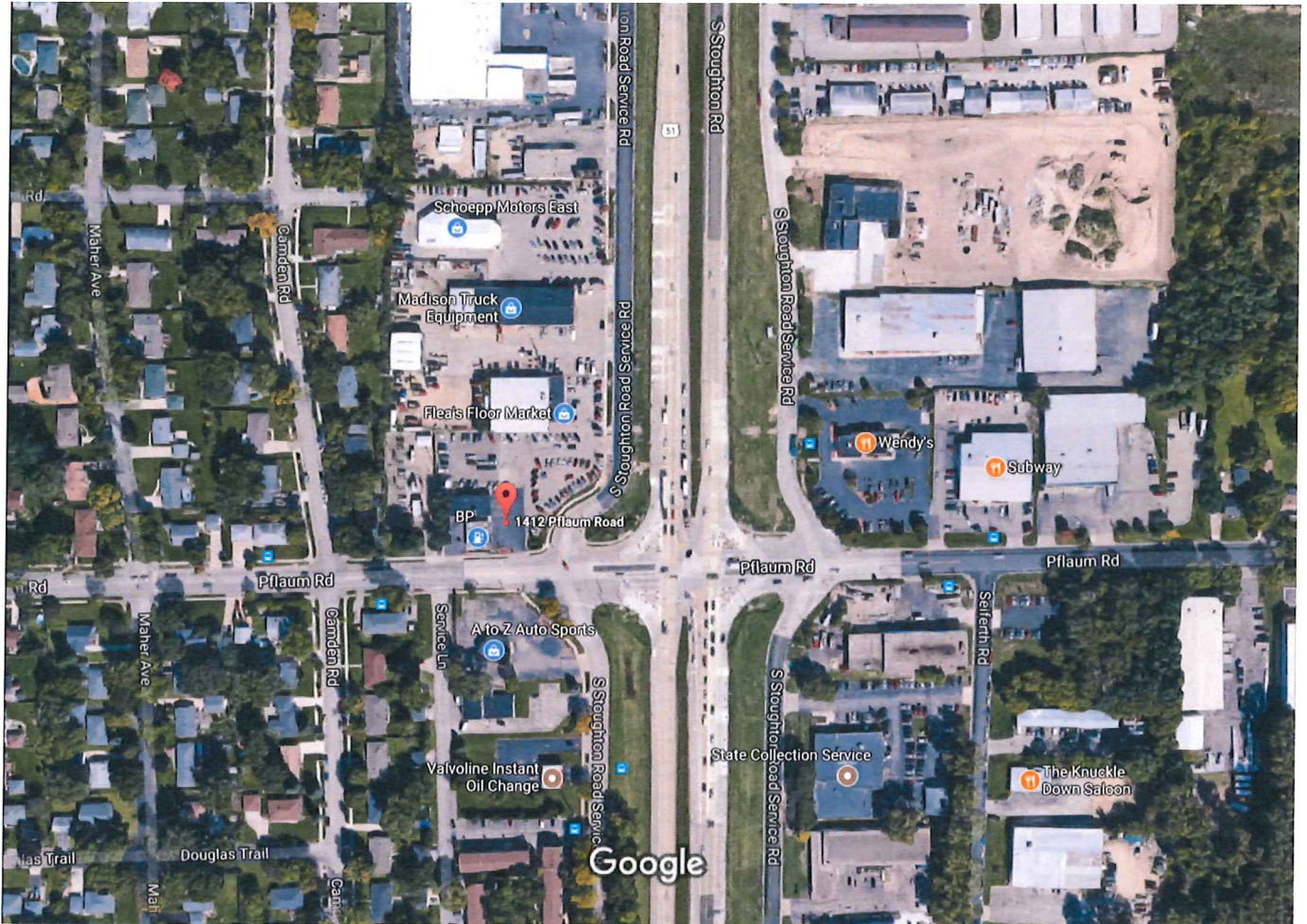
As you may know the Department of Transportation is planning to reconstruct Stoughton Road throughout this corridor. While years away, this project impacts our site and has caused negative feedback from many prospective parties. We believe this plan we are presenting to be the best and most realistic use of the vacant space.

In summary, we ask that you approve this Conditional Use of Private Parking as it relates to overflow parking for A to Z Autosports, our neighbor at 1415 Pflaum Road. If you have any questions please feel free to contact us at [jborchardt@openpantry.com](mailto:jborchardt@openpantry.com) or 262-857-1156 ext. 1131.

Sincerely,

Justin Borchardt  
Vice President/Controller  
E&K Land, LLC

### Google Maps 1412 Pflaum Rd



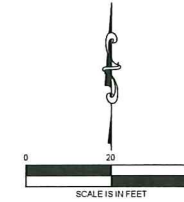
Imagery ©2017 Google, Map data ©2017 Google United States 100 ft

**NOTE:**

EXISTING BASE MAP LINE WORK IS INCLUDED FOR REFERENCE ONLY. THE PRELIMINARY PARKING LOT CONFIGURATION PROVIDED HEREIN, HAS BEEN DESIGNED UTILIZING AERIAL IMAGERY OF THE SITE.

**SITE PARKING DATA:**

NUMBER OF EXISTING PARKING STALLS TO REMAIN = 5  
 NUMBER OF EXISTING PARKING STALLS TO BE RE-STRIPED = 3  
 NUMBER OF NEWLY STRIPED PARKING STALLS = 54  
 TOTAL OF NUMBER OF STALLS FOR THE SITE (INCLUDING HANDICAPPED ACCESSIBLE STALLS) = 3+5+54 = 62  
 NUMBER OF HANDICAPPED ACCESSIBLE STALLS = 3



**PRELIMINARY PLANS, NOT FOR CONSTRUCTION**

PROJECT TITLE: 1412 PFLAUM ROAD SITE LAYOUT

CLIENT: OPEN PANTRY

PROJECT LOCATION: MADISON, WI 53716

REVISIONS	DATE	DESCRIPTION
001	09/11/17	PARKING LOT LAYOUT

DRAWN BY	DATE
JAF	09/11/17
CHECKED BY	DATE
MAK	09/11/17

SHEET TITLE

PARKING LOT LAYOUT

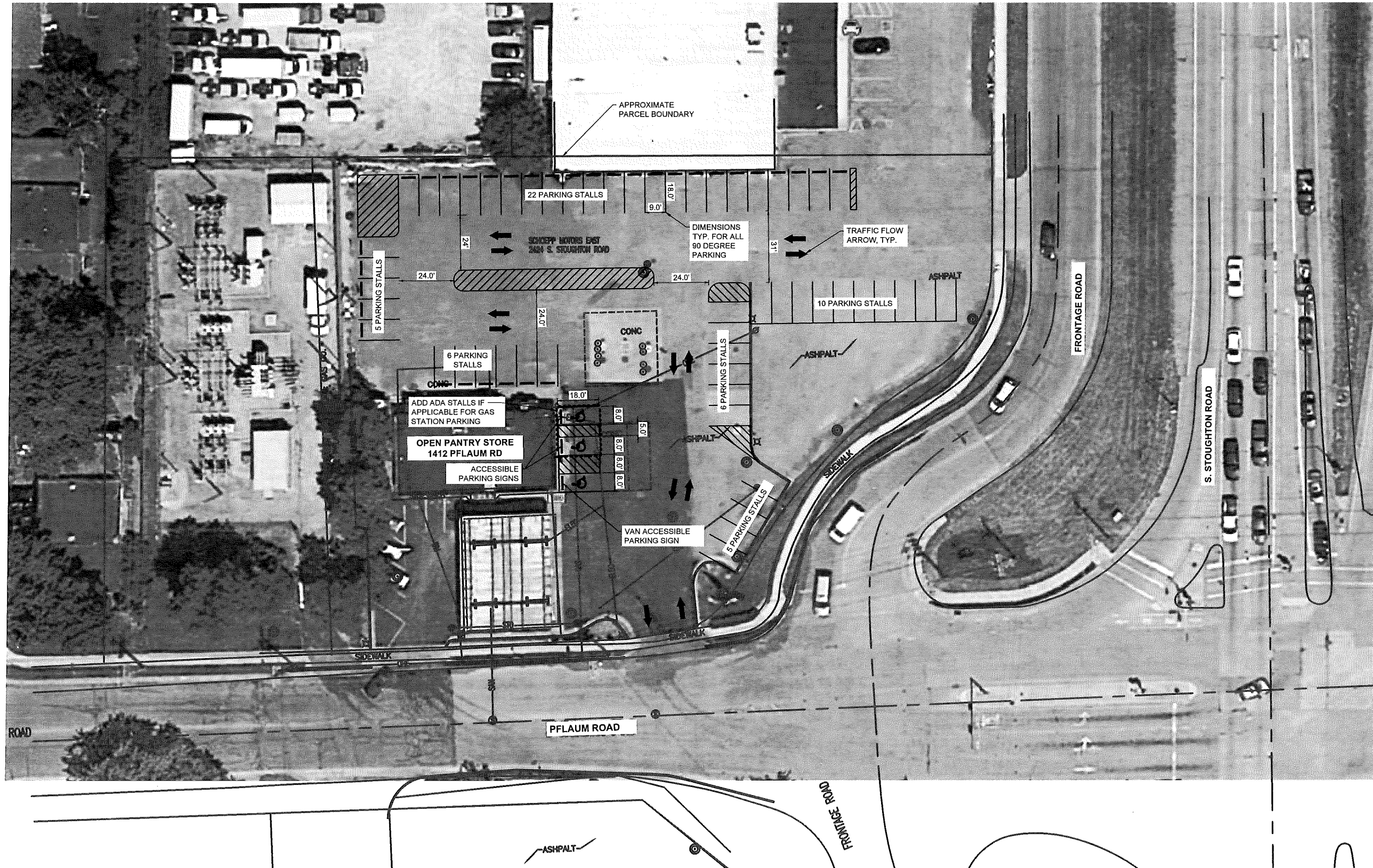
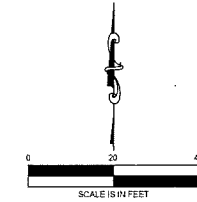
**C100**

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