

NOTE:
IT IS RECOMMENDED THAT ALL
SUBS SHALL CONTACT OWNER
TODD KILEY @ (608)-836-7012 OR
(608)-279-7013 TO
SCHEDULE A SITE VISIT IN ORDER
TO VERIFY EXISTING CONDITIONS.

NOTE:
All NEW Exterior
Finish Materials
shall match exist.



NOTE:
All NEW Exterior Classic-style Doors
shall be selected by the Owner

NOTE:
All NEW Double Pane Low-E
wrapped Vinyl Clad Windows
w/ grids bwn. panes as shown

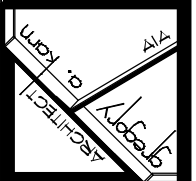
EAST ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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Sheet
1 of 7

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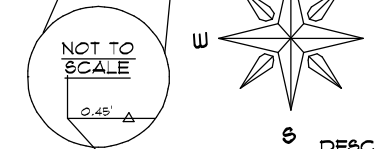
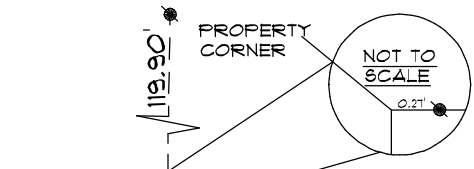
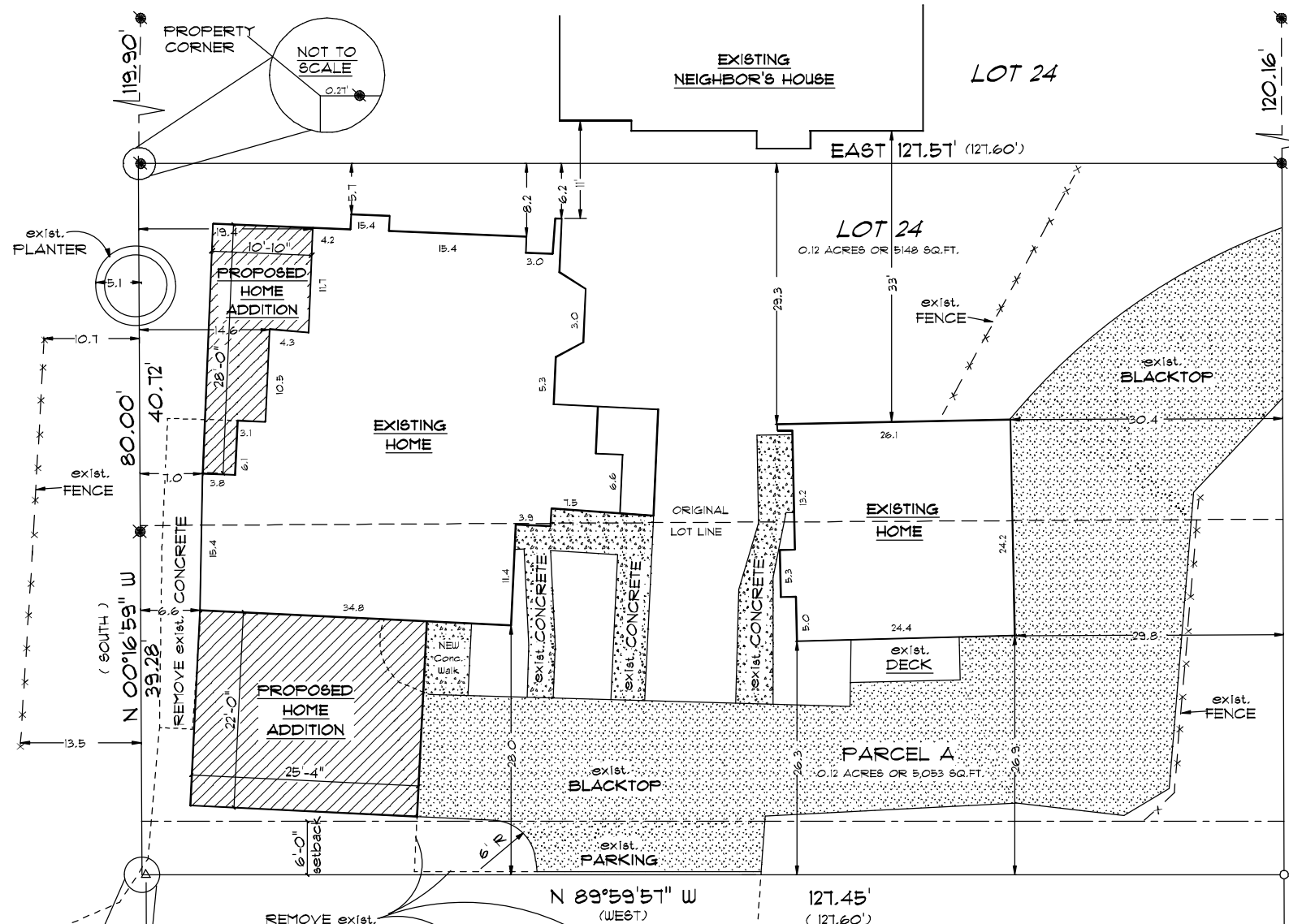


HOME ADDITION/REMODEL for:
The Todd & Maureen Kiley Home
118 ORCHARD STREET MADISON, WISCONSIN 53715

8194 N. Riley Rd.
Verona, WI 53593
Website:
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(608) 335-8159
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PLAT OF SURVEY
 LOT 24, BLOCK 302, BLOCKS 301,302,303, & 304 ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

DESCRIPTION:
 LOT 24, BLOCK 302, OF BLOCKS 301,302,303,304, ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
 ALSO INCLUDING
 (PARCEL A)
 BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 24, BLOCK 302; THENCE SOUTH 40 FEET, ALONG THE WEST SIDE OF ORCHARD STREET; THENCE WEST AT RIGHT ANGLES TO SAID STREET, 127.6 FEET; THENCE NORTH 40 FEET TO THE SOUTHWEST CORNER OF LOT 24, THENCE EAST 127.6 FEET TO THE POINT OF BEGINNING.

TOTAL SQUARE FOOTAGE = 10,201 OR 0.23 ACRES

- LEGEND**
- △ SET MAG NAIL
 - SET 3/4" X 24" REBAR
 - FOUND 3/4" REBAR
 - ⊙ FOUND 1" PIPE
 - ⊙ FOUND 1" PIPE WITH SQUARE TOP

(---) RECORDED AS

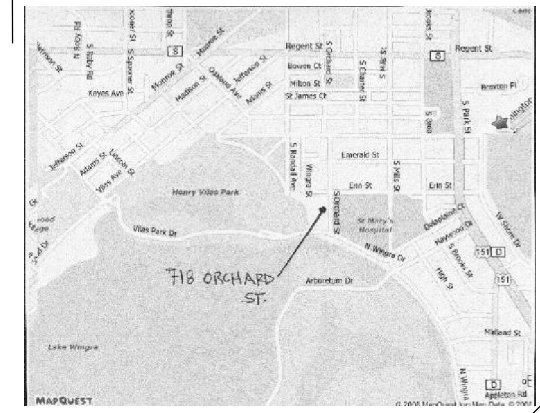
SITE PLAN NOTES

General Notes

- 1.) The SITE PLAN as indicated herewith is intended to show the general location and placement of the proposed building improvements. The Builder shall be solely responsible for determining the exact and final location of all such building improvements.
- 2.) The SITE PLAN as indicated herewith is for general layout purposes only -- Finish Grading/Site Drainage, Landscaping, Location of Utilities (both existing and new), etc. shall be designed by and be the Responsibility of Others. The Architect shall not be held liable for the Detail Site Design of any of the above mentioned.
- 3.) The Builder shall verify/determine all required building setbacks, site utilities, and all other easements associated with this parcel prior to the commencement of any construction.
- 4.) The Builder shall verify / determine / coordinate all such City pedestrian walkway (sidewalk) requirements, curb-cut requirements, parking requirements, site details, etc.
- 5.) All NEW construction shall comply with all governing and applicable national, state, and local Building, Plumbing, Electrical, and HVAC codes.
- 6.) All NEW Site Lighting shall be confined to Exterior Grade wall or recessed soffit mounted Ingress/Egress illumination type fixtures less than 75 Watts and in accordance with city ordinances and all governing and applicable national, state, and local Electrical codes.

NOTE:
 Information used to create this SITE PLAN has been provided by the Owner and the original Land Surveyor - WILLIAMSON SURVEYING CO. of Waunakee, Wisconsin. The Architect, therefore, makes no certification as to the accuracy or completeness of the information as provided herein with this plan. The Architect also, therefore, shall not be held liable in any way for any such inaccuracy or incompleteness as described herein with this plan.

- NOTES:**
- 1.) BEARINGS ARE REFERENCED TO THE THE EAST LINE OF THE SE 1/4 OF SECTION 31, T10, R11E, ASSUMED TO BEAR S 01°0'38" E.
 - 2.) THIS PARCEL IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS RECORDED AND UNRECORDED.
 - 3.) UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY, CALL DIGGERS HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES. 1-800-242-8811
 - 4.) WETLANDS OR FLOOD PLAIN IF PRESENT WERE NOT DELINEATED OR LOCATED.



LOCATION MAP

FOR PERMIT

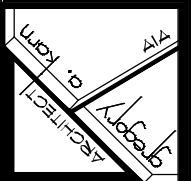
PROPOSED SITE PLAN SHOWING ADDITIONS

Scale: 1" = 10'

Plot Date: October 06, 2008

Sheet
 51 of 1

PREPARED FOR:
 TODD KILEY 718 ORCHARD STREET MADISON, WI., 53715

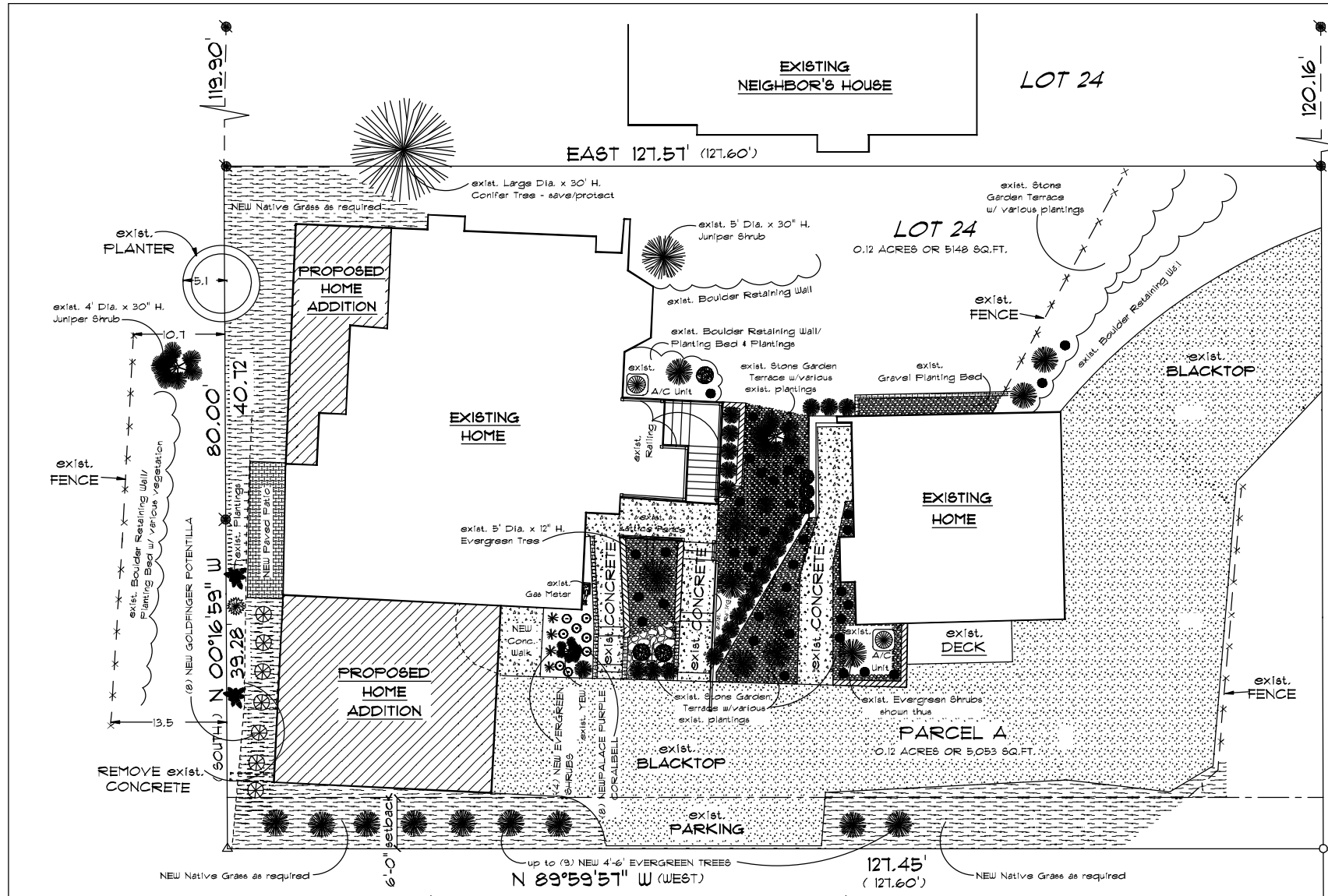


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LANDSCAPE KEY:

- exist. R/R Tie Retaining Wall/Planting Bed
- exist. Concrete Retaining Wall/Planting Bed
- exist. Boulder Retaining Wall/Planting Bed
- exist. Concrete Paver Block Edging
- exist. Stone or Gravel Planting Bed
- NEW Wood Mulch Bed

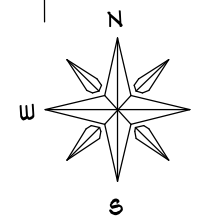
NOTE:
THERE IS EXTENSIVE EXISTING VEGETATION LANDSCAPING AND HARDSCAPING IMPROVEMENTS ON AND AT THE PERIMETER OF THIS SITE AND PARTICULARLY BETWEEN THE TWO DWELLINGS.

LANDSCAPING SCHEDULE OF NEW PLANTINGS:

SYMBOL	NAME or SPECIES (quant.)	TOTAL ADDIT'L POINTS
	EVERGREEN SHRUBS (4)	(12) POINTS
	PALACE PURPLE CORALBELL (8)	(8) POINTS
	4' - 6' EVERGREEN TREES (9)	(27) POINTS
	GOLDFINGER POTENTILLA (7)	(14) POINTS
TOTAL ADDITIONAL POINTS PROVIDED		(61) POINTS

LANDSCAPING NOTES

- General Notes
- The LANDSCAPING PLAN as indicated herewith is intended to show the general location and placement of the existing and proposed Landscaping Improvements. The Landscaper shall be solely responsible for determining the exact and final location of all such Landscape Improvements within the Site/Lot Boundaries and Setbacks.
 - The LANDSCAPE PLAN as indicated herewith is for general layout purposes only -- Finish Grading/Site Drainage, Location of Utilities (both existing and new), etc. shall be designed by and be the Responsibility of Others. The Architect shall not be held liable for the Detail Site Design of any of the afore mentioned except for the Proposed general location of NEW Vegetation Landscape Improvements.
 - The Landscaper shall verify/determine all required building setbacks, site utilities, and all other assessments associated with this parcel prior to the commencement of any Site construction or final placement of the proposed NEW Landscaping Improvements.
 - All vegetation landscaping shown as existing shall be saved & protected unless noted otherwise.
 - All NEW Site Lighting shall be confined to Exterior Grade wall or recessed soffit mounted Ingress/Egress Illumination type fixtures less than 75 Watts and in accordance with city ordinances and all governing and applicable national, state, and local Electrical codes.



- LEGEND**
- SET MAG NAIL
 - SET 3/4" X 24" REBAR
 - FOUND 3/4" REBAR
 - FOUND 1" PIPE
 - FOUND 1" PIPE WITH SQUARE TOP
 - RECORDED AS

PREPARED FOR:

TODD KILEY
118 ORCHARD STREET APT. D
MADISON, WI. 53715

FOR PERMIT

PROPOSED LANDSCAPING PLAN

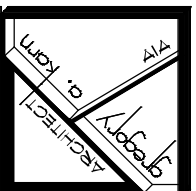
SHOWING NEW & EXISTING LANDSCAPING

Scale: 1" = 10'

Plot Date: October 06, 2008

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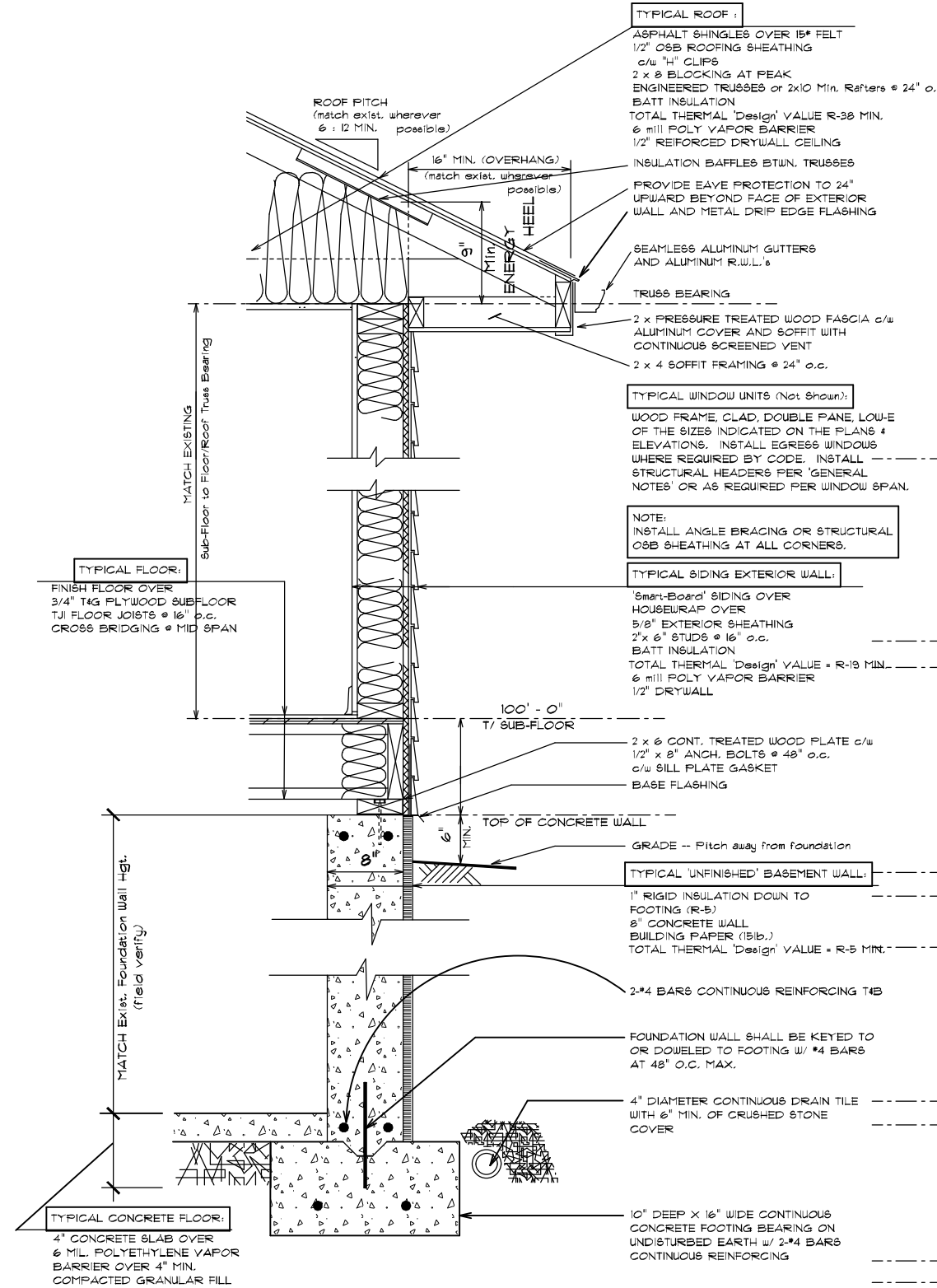


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A TYPICAL WALL SECTION
 Scale: NO SCALE (2x6 / Siding)
PROPOSED BUILDING SECTION

NOTE:
 All NEW Exterior
 Finish Materials
 shall match exist.



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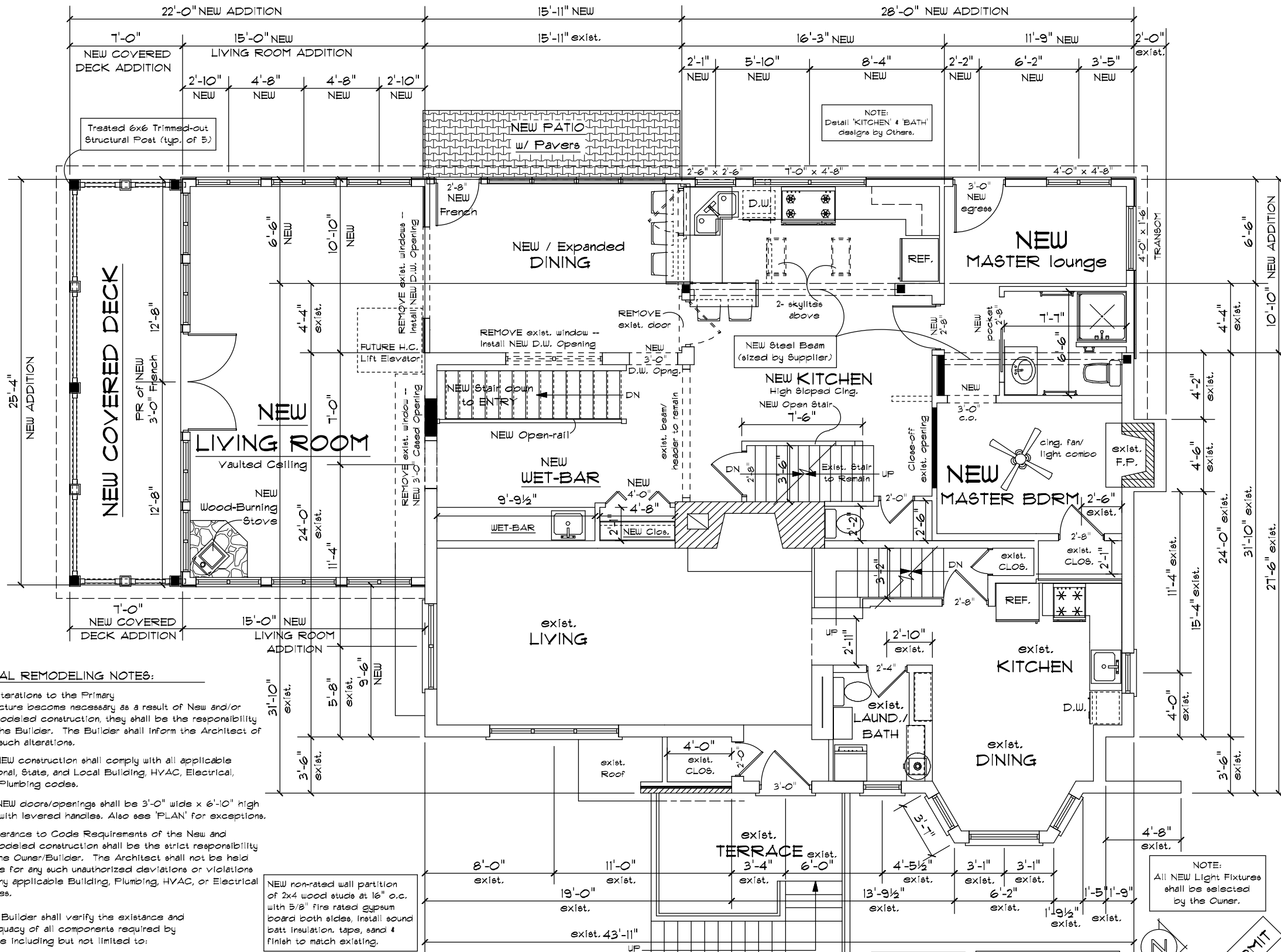
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Plot Date: October 06, 2008

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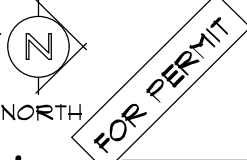
- GENERAL REMODELING NOTES:**
- 1) If alterations to the Primary Structure become necessary as a result of New and/or Remodeled construction, they shall be the responsibility of the Builder. The Builder shall inform the Architect of any such alterations.
 - 2) All NEW construction shall comply with all applicable National, State, and Local Building, HVAC, Electrical, and Plumbing codes.
 - 3) All NEW doors/openings shall be 3'-0" wide x 6'-10" high min. with levered handles. Also see "PLAN" for exceptions.
 - 4) Adherence to Code Requirements of the New and Remodeled construction shall be the strict responsibility of the Owner/Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes.
 - 5) The Builder shall verify the existence and adequacy of all components required by Code including but not limited to:
 - ☒ Compliant Smoke/Carbon Monoxide Detectors
 - 6) All Mechanical Equipment Sub-Contractors shall be responsible for obtaining their own respective Permits.
- = REMOVE exist. doors, walls, etc. patch as req'd.
- █ Denotes NEW Interior Partition Wall (All other walls are existing - also see FLOOR PLAN)

MAIN LEVEL PROPOSED PLAN OF ADDITIONS

Scale: 1/4" = 1'-0"

NOTE: All NEW Doors shall be selected by the Owner.

NOTE: All NEW Similar Exterior Finish Materials and Windows shall match exist.



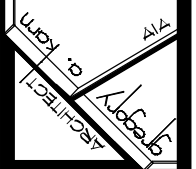
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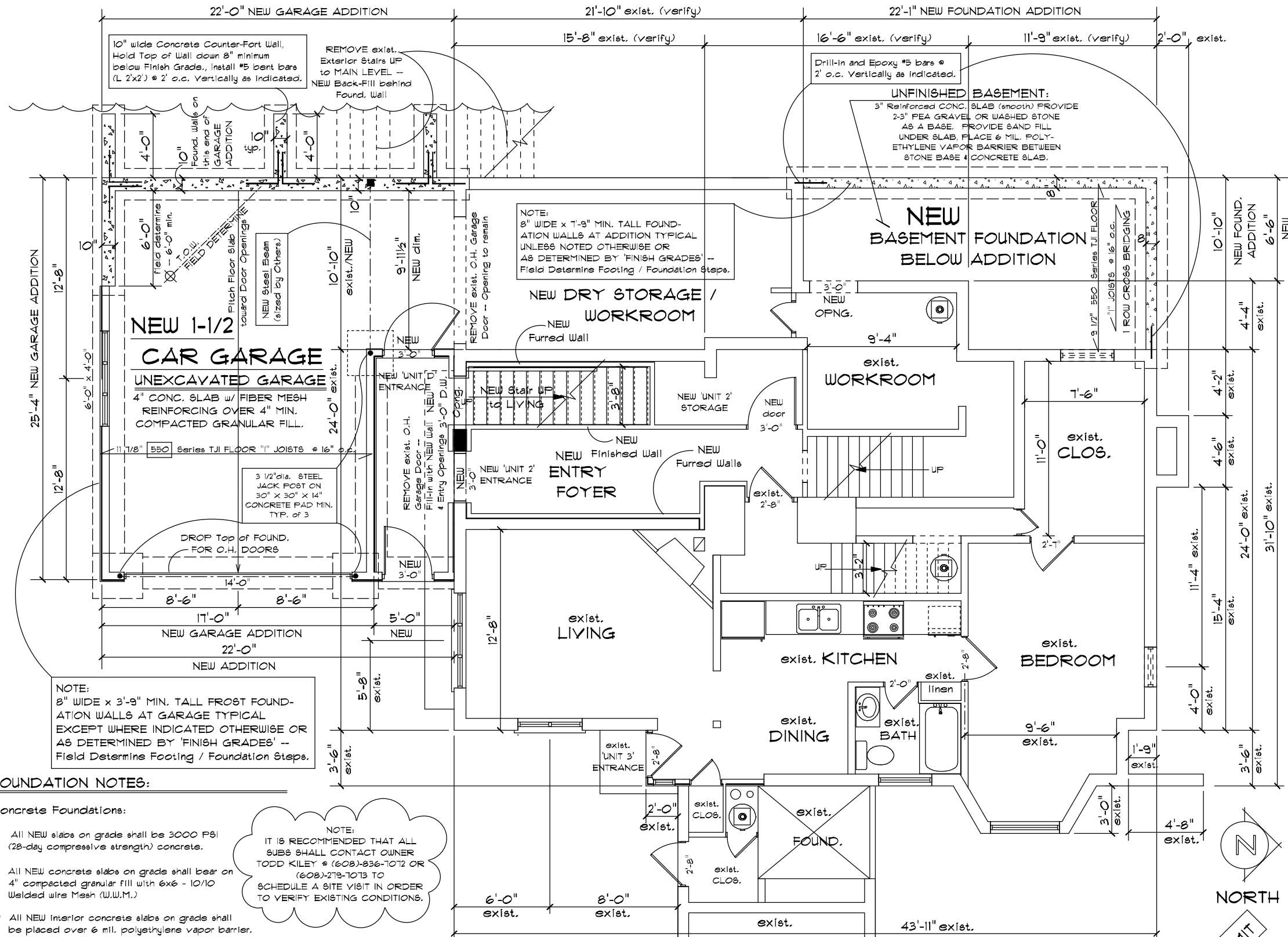
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HOME ADDITION/REMODEL for: The Todd & Maureen Kiley Home

118 ORCHARD STREET MADISON, WISCONSIN 53715



Plot Date: October 06, 2008



NOTE:
8" WIDE x 3'-9" MIN. TALL FROST FOUNDATION WALLS AT GARAGE TYPICAL EXCEPT WHERE INDICATED OTHERWISE OR AS DETERMINED BY 'FINISH GRADES' -- Field Determine Footing / Foundation Steps.

FOUNDATION NOTES:

Concrete Foundations:

- 1) All NEW slabs on grade shall be 3000 P.S.I. (28-day compressive strength) concrete.
- 2) All NEW concrete slabs on grade shall bear on 4" compacted granular fill with 6x6 - 10/10 Welded wire Mesh (W.W.M.)
- 3) All NEW interior concrete slabs on grade shall be placed over 6 mil. polyethylene vapor barrier.
- 4) All NEW footings shall be placed below frost line.
- 5) All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.

Design Loads:

Soil Bearing Capacity:
The Builder/Contractor shall verify a minimum Soil Bearing Capacity of 2200 P.S.F.

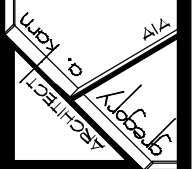
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LOWER LEVEL PROPOSED PLAN OF GARAGE ADDITION

Scale: 1/4" = 1'-0"

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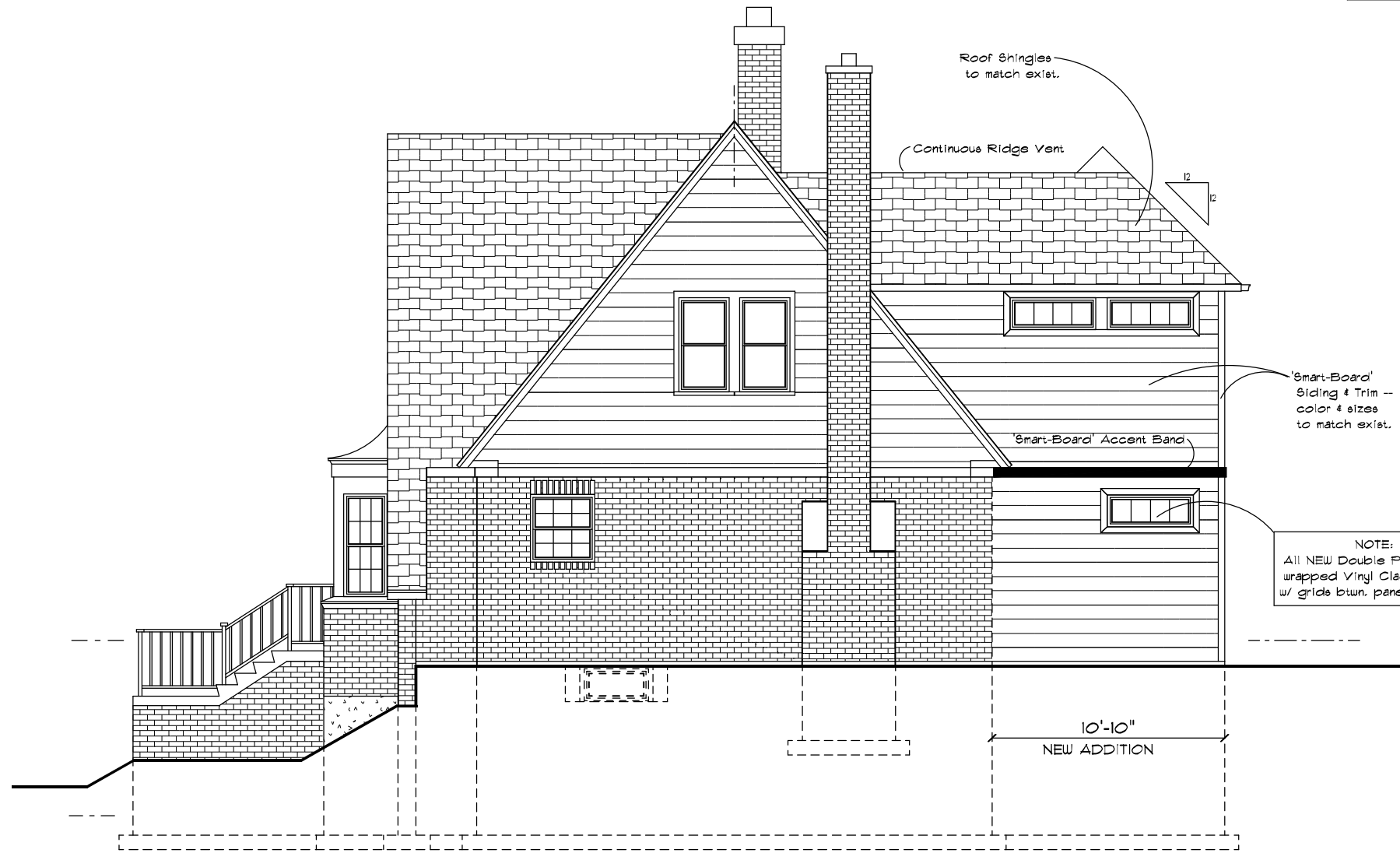
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NOTE:
All NEW Exterior
Finish Materials
shall match exist.

NOTE:
All NEW Double Pane Low-E
wrapped Vinyl Clad Windows
w/ grids btwn. panes as shown

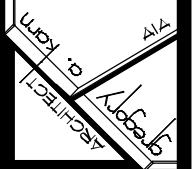
NORTH ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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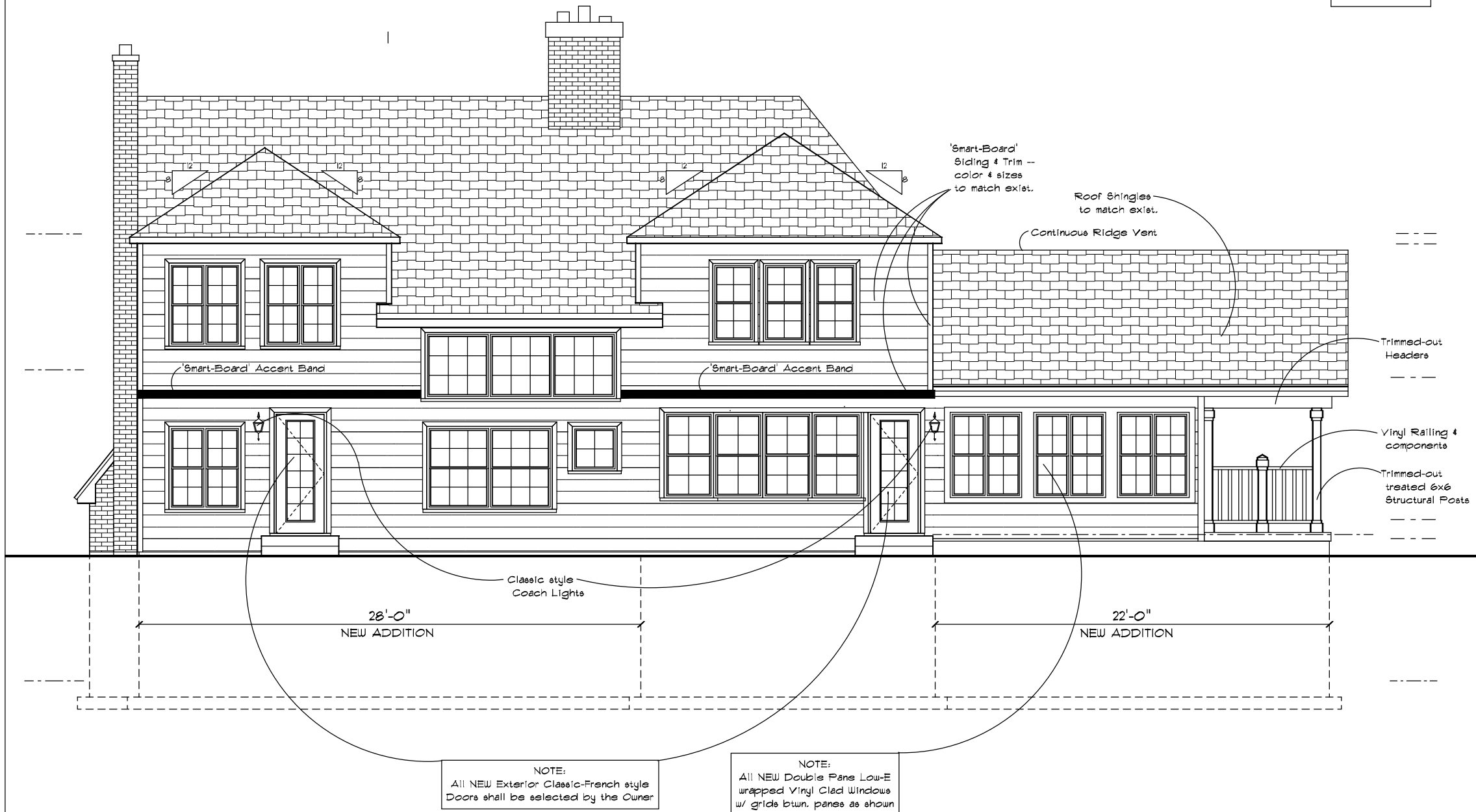


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118 ORCHARD STREET **MADISON, WISCONSIN 53715**



NOTE:
All NEW Exterior
Finish Materials
shall match exist.

NOTE:
All NEW Exterior Classic-French style
Doors shall be selected by the Owner

NOTE:
All NEW Double Pane Low-E
wrapped Vinyl Clad Windows
w/ grids btwn. panes as shown

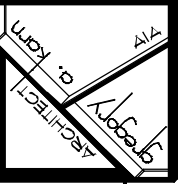
WEST ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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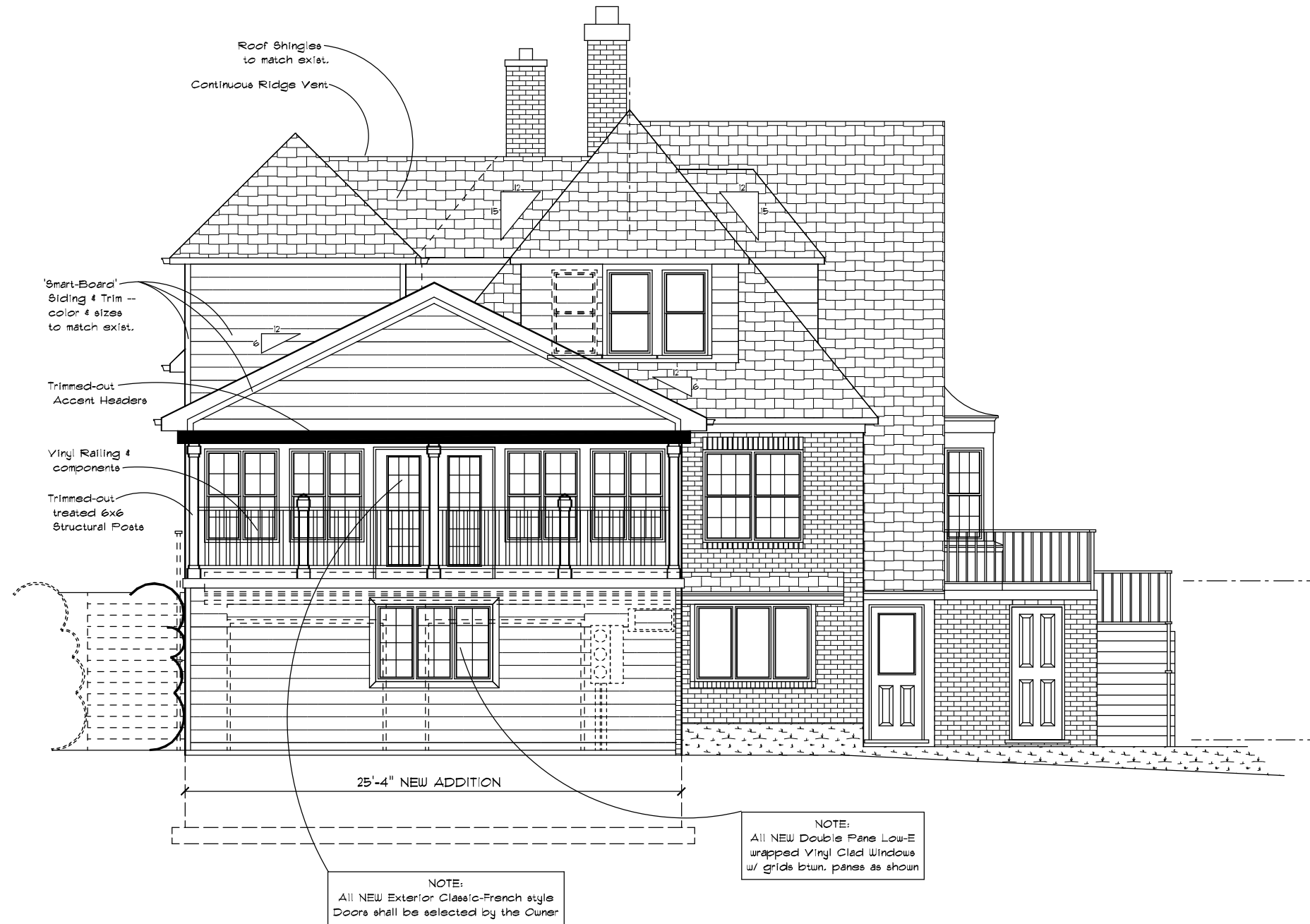
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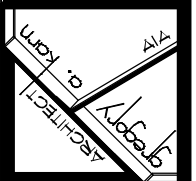
SOUTH ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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