

University Research Park Phase II
Contract 9749
MUNIS 16142
Developer: University Research Park, Incorporated



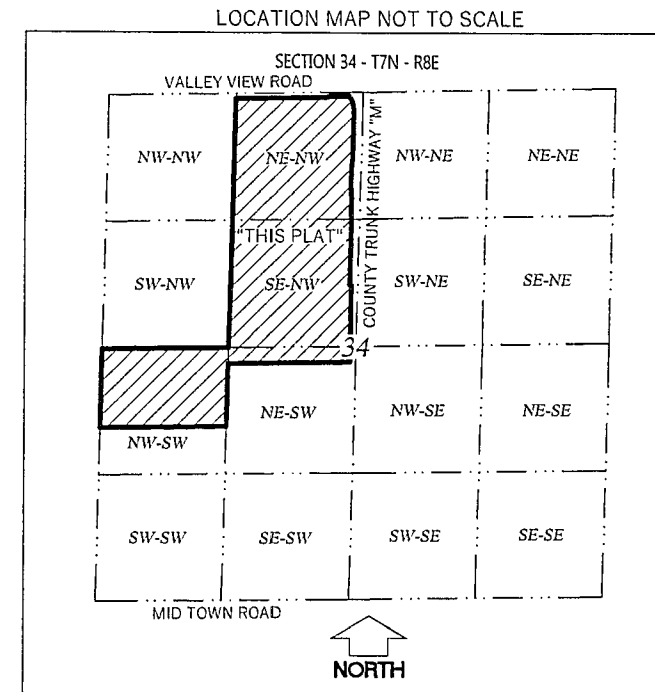
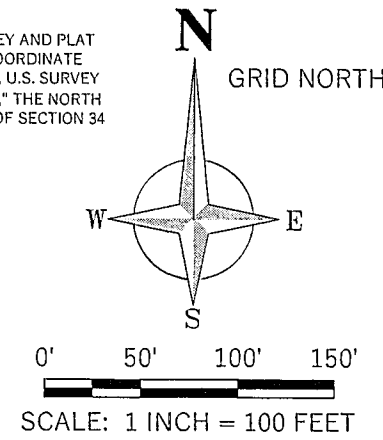
Summary of Improvements:

- University Research Park, Incorporated completed the University Research Park-Pioneer 1st Addition Replat 11-8-2024 and had previously entered into a Future Phase Developer Agreement (contract 9392) to satisfy the conditions of approval to allow for recording of the replat.
- University Research Park, Incorporated as Developer is now seeking the Board's approval for construction of the public improvements including City standard public street, pedestrian crossings, terrace, asphalt path and sidewalk improvements to serve lots 46-54 and Outlots 12 and 14-15 of the University Research Park – Pioneer 1st Addition Replat.

- Developer to construct ingress and egress to the plat from S Pleasant View Road and Valley View Road. The developer is responsible for coordinating intersection improvements for the Boyer Street and Ancient Oak Lane connections to S Pleasant View Road with Dane County Highway and Transportation and shall obtain all required permits from such agency.
- Developer to construct an accessible path meeting ADA requirements along Outlot 11, lot 41 of the Hawks Landing Golf Club, Outlot 13, and Lot 49 from Nelson Crossing to Boyer Street. Developer is responsible to obtain easement to install public path within lot 41 of the Hawks Landing Golf Club. Note that there is an existing easement along the eastern property line of lot 41 of the Hawks Landing Golf Club for existing public storm and sanitary sewer infrastructure. In the event that this easement is not obtainable, the path will be a non-ADA accessible 6' wide aggregate walking path located 30 ft to the east, and will remove approximately 4 trees identified in the Tree Preservation and Management Plan, along with clearing of smaller trees and brush.
- Developer to construct stormwater management improvements within Outlot 12, Outlot 14, Outlot 15, and within easements dedicated to stormwater management in lots 46 and 47. Note that Outlots 12, 14, and 15 are private outlots to be privately maintained.
- Developer to enter into a Maintenance Agreement for the stormwater management features serving the plat that will be privately maintained.
- Developer to provide an easement for the path located along the east side of Boyer Street
- Developer to enter into a deed restriction on Lots 50-51 of the University Research Park – Pioneer 1st Addition Replat for sewer extension previously approved by Madison Metropolitan Sewerage District providing services to the lots but deferring connection charges to the future.
- Developer to obtain all necessary street tree removal permits from City Forestry, if tree removals in the right-of-way are required.
- Developer to construct public sanitary, storm sewer and water main improvements to serve the plat.
- Developer to construct private sanitary and water service laterals to serve lots 46-54.

UNIVERSITY RESEARCH PARK - PIONEER 1st ADDITION REPLAT

ALL OF LOTS 32-45, OUTLOTS 7-10, AND VACATED PORTIONS OF BOYER STREET OF UNIVERSITY RESEARCH PARK - PIONEER 1ST ADDITION, RECORDED ON MARCH 14, 2016, IN VOLUME 60-048B OF PLATS, ON PAGES 257-259, AS DOCUMENT NO. 5220401, BEING A PART OF THE NE1/4 OF THE NW1/4, PART OF THE SE1/4 OF THE NW1/4, THE NORTH TEN (10) RODS OF THE NE1/4 OF THE SW1/4, AND THE NORTH FIFTY (50) RODS OF THE NW1/4 OF THE SW1/4 OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 8 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



NORTHWEST CORNER SECTION 34-T7N-R8E
FOUND CITY OF MADISON ENGINEERING
BRASS CAP MONUMENT
N: 472,294.58 (472,294.66)
E: 778,835.76 (778,835.64)
RECORD COORDINATES PER 2007
SANDSNES TIE SHEET

(N 1° 08' 36" E 2640.36') PER URP - PIONEER 1ST ADDITION
(N 1° 08' 49" E 2641.08') MON TO MON
WEST LINE OF THE NORTHWEST QUARTER

SECTION 33
SECTION 34

SW-SW
WEST QUARTER CORNER
SECTION 34-T7N-R8E
FOUND CITY OF MADISON ENGINEERING
BRASS CAP MONUMENT
N: 469,654.04 (469,654.01)
E: 778,762.89 (778,762.78)
RECORD COORDINATES PER 2014
SANDSNES TIE SHEET

(S 1° 19' 15" W 2621.77') PER URP - PIONEER 1ST ADDITION
(S 1° 19' 15" W 2621.77') MON TO MON
WEST LINE OF THE SOUTHWEST QUARTER
(N 1° 19' 31" E 823.56') PER URP - PIONEER 1ST ADDITION
(N 0° 55' 16" E) PER HAWK'S LANDING GOLF CLUB

OUTLOT 7
UNIVERSITY RESEARCH PARK -
PIONEER 1ST ADDITION

OUTLOT 11
1,079,838 SQ. FT.
24.79 ACRES
PRIVATE OPEN SPACE

OUTLOT 11 IS A PRIVATE OPEN SPACE OUTLOT FOR THE PURPOSES OF CONSERVING THE EXISTING TREE COVER AND NATURAL CHARACTER ON THAT PARCEL. OUTLOT 11 IS SUBJECT TO A TREE PRESERVATION PLAN APPROVED BY AND ON FILE WITH THE CITY OF MADISON BE ENFORCED BY THE SUBDIVIDER, THEIR SUCCESSOR OR ASSIGNS. DEVELOPMENT WITHIN OUTLOT 11, INCLUDING BUILDING OR GRADING PERMIT ISSUANCE, IS PROHIBITED IN ORDER TO PROTECT NATURAL HABITAT FOR PLANT AND ANIMAL LIFE, WOODLANDS, AND OTHER RESOURCES BENEFICIAL TO THE COMMUNITY. NEITHER THIS RESTRICTION, NOR THE TREE PRESERVATION PLAN, SHALL PROHIBIT THE CONSTRUCTION, MAINTENANCE AND THE ASSOCIATED GRADING FOR THE PUBLIC SIDEWALK AND BIKE PATH WITHIN THE PUBLIC SIDEWALK AND BIKE PATH EASEMENT SHOWN AND GRANTED WITHIN THIS OUTLOT 11.

SOUTHWEST CORNER SECTION 34-T7N-R8E
FOUND CITY OF MADISON ENGINEERING BRASS CAP MONUMENT
N: 467,013.08 (467,013.36) E: 778,722.00 (778,721.84)
RECORD COORDINATES PER 2004 SANDSNES TIE SHEET

S 89° 11' 13" W 1312.51'
(S 89° 12' 18" W 1312.46')
PER URP - PIONEER 1ST ADDITION

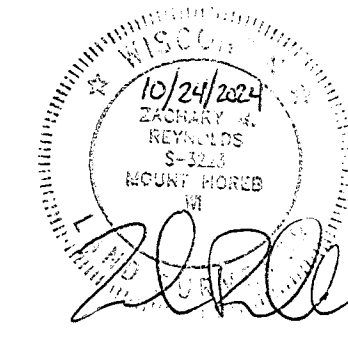
1310.46'

LOT 41

S 89° 16' 36" W 2620.92' MON TO MON
(S 88° 52' 35" W 2620.95') PER HAWK'S LANDING GOLF CLUB

1310.46'

SOUTH LINE OF THE SOUTHWEST QUARTER



There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified October 24, 2024

Don J. J. J.
Department of Administration



SURVEYOR/ENGINEER/PLANNER:
WYSER ENGINEERING
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com

SUBDIVIDER:
UNIVERSITY RESEARCH PARK, INC.
510 CHARMANY DRIVE, SUITE 250
MADISON, WI 53719

OWNER:
UNIVERSITY RESEARCH PARK, INC.
510 CHARMANY DRIVE, SUITE 250
MADISON, WI 53719

SOUTH 1/4 CORNER SECTION 34-T7N-R8E
FOUND DANE COUNTY SURVEY NAIL
N: 467,046.17 (467,046.24) E: 781,342.72 (781,342.52)
RECORD COORDINATES PER 2004 SANDSNES TIE SHEET
FOUND MONUMENT AND TIES PER 2020 PREEVE TIE SHEET

UNIVERSITY RESEARCH PARK - PIONEER 1st ADDITION REPLAT

ALL OF LOTS 32-45, OUTLOTS 7-10, AND VACATED PORTIONS OF BOYER STREET OF UNIVERSITY RESEARCH PARK - PIONEER 1ST ADDITION, RECORDED ON MARCH 14, 2016, IN VOLUME 60-048B OF PLATS, ON PAGES 257-259, AS DOCUMENT NO. 5220401, BEING A PART OF THE NE1/4 OF THE NW1/4, PART OF THE SE1/4 OF THE NW1/4, THE NORTH TEN (10) RODS OF THE NE1/4 OF THE SW1/4, AND THE NORTH FIFTY (50) RODS OF THE NW1/4 OF THE SW1/4 OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 8 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

LINE TABLE			LINE TABLE			LINE TABLE		
LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH
L-1	S 1° 17' 06" W	50.03'	L-13	S 89° 44' 45" E	149.82'	L-25	N 0° 59' 11" E	87.99'
L-2	N 74° 49' 21" E	40.29'	L-14	N 79° 21' 23" E	12.71'	L-26	S 80° 34' 07" W	42.10'
L-3	S 35° 15' 57" E	50.03'	L-15	N 79° 25' 50" E	60.00'	L-27	S 82° 53' 33" E	56.34'
L-4	S 7° 35' 59" W	98.54'	L-16	N 79° 21' 23" E	83.53'	L-28	N 89° 58' 14" E	71.84'
L-5	S 79° 21' 23" W	83.38'	L-17	S 0° 59' 11" W	83.92'	L-29	S 0° 14' 49" E	53.73'
L-6	N 10° 34' 10" W	176.20'	L-18	S 54° 35' 49" E	31.54'	L-30	S 74° 29' 15" E	51.29'
L-7	S 79° 25' 50" W	60.00'	L-19	S 28° 34' 50" E	57.70'	L-31	S 88° 55' 26" E	177.67'
L-8	S 10° 34' 10" E	176.34'	L-20	S 10° 34' 10" E	22.32'	L-32	N 89° 11' 44" E	57.20'
L-9	S 79° 21' 23" W	12.86'	L-21	S 89° 58' 14" W	71.89'	L-33	N 28° 15' 42" E	94.98'
L-10	N 89° 44' 45" W	148.63'	L-22	S 82° 14' 12" W	52.02'	L-34	N 60° 59' 40" E	36.38'
L-11	S 1° 06' 02" W	121.67'	L-23	N 10° 34' 10" W	22.32'			
L-12	S 88° 56' 11" E	15.00'	L-24	S 28° 34' 50" E	38.75'			

CURVE TABLE						
CURVE #	CURVE LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN
C-1	128.49'	299.00'	24° 37' 16"	N11° 11' 52" W	127.50'	S 23° 30' 30" E
C-2	38.78'	25.00'	88° 52' 12"	S45° 32' 08" W	35.00'	S 1° 06' 02" W
C-3	154.32'	833.00'	10° 36' 52"	S84° 39' 48" W	154.10'	S 79° 21' 23" W
C-4	39.30'	25.00'	90° 04' 28"	N55° 36' 24" W	35.38'	S 79° 21' 23" W
C-5	39.24'	25.00'	89° 55' 32"	S34° 23' 36" W	35.33'	S 10° 34' 10" E
C-6	117.80'	167.00'	40° 25' 02"	N80° 26' 06" W	115.38'	S 79° 21' 23" W
C-7	120.04'	233.00'	29° 31' 10"	N74° 59' 10" W	118.72'	N 60° 13' 35" W
C-8	86.04'	167.00'	29° 31' 10"	S74° 59' 10" E	85.09'	S 89° 44' 45" E
C-9	164.36'	233.00'	40° 25' 02"	S80° 26' 06" E	160.97'	S 60° 13' 35" E
C-10	39.30'	25.00'	90° 04' 28"	S55° 36' 24" E	35.38'	N 79° 21' 23" E
C-11	39.24'	25.00'	89° 55' 32"	N34° 23' 36" E	35.33'	N 10° 34' 10" W
C-12	142.09'	767.00'	10° 36' 52"	N84° 39' 48" E	141.89'	N 79° 21' 23" E
C-13	39.76'	25.00'	91° 07' 46"	S44° 27' 52" E	35.70'	N 89° 58' 14" E
C-14	40.05'	25.00'	91° 47' 34"	N44° 54' 36" W	35.90'	N 89° 11' 37" E
C-15	149.66'	345.00'	24° 51' 16"	S11° 26' 27" E	146.49'	S 0° 59' 11" W
C-16	232.23'	320.00'	41° 34' 50"	N7° 47' 25" W	227.17'	S 28° 34' 50" E
C-17	109.01'	265.00'	23° 34' 10"	S1° 12' 55" W	108.24'	S 13° 00' 00" W
C-18	84.33'	205.00'	23° 34' 10"	N1° 12' 55" E	83.74'	N 10° 34' 10" W
C-19	275.77'	380.00'	41° 34' 50"	N7° 47' 25" W	269.76'	N 13° 00' 00" E
C-20	156.56'	303.40'	29° 34' 00"	S13° 47' 49" E	154.83'	N 28° 34' 50" E
C-21	38.49'	25.00'	66° 12' 26"	S45° 05' 24" W	34.80'	N 0° 59' 11" E
C-22	38.78'	25.00'	88° 52' 12"	N45° 32' 08" E	35.00'	N 1° 06' 02" E
C-23	39.27'	25.00'	89° 59' 53"	N46° 04' 37" E	35.35'	S 1° 04' 41" W
C-24	580.36'	370.00'	89° 52' 12"	S37° 33' 56" E	522.67'	N 82° 30' 02" W
C-25	134.63'	430.00'	17° 56' 20"	N1° 36' 00" W	134.08'	N 7° 22' 10" E
C-26	39.76'	25.00'	91° 07' 48"	N44° 27' 52" W	35.70'	N 89° 58' 14" E
C-27	115.84'	370.00'	17° 56' 20"	S1° 36' 00" E	115.37'	S 10° 34' 10" E
C-28	144.77'	430.00'	19° 17' 26"	N2° 16' 33" W	144.09'	S 7° 22' 10" W
C-29	494.20'	444.00'	63° 46' 26"	S50° 36' 49" E	469.08'	S 18° 43' 37" E
C-30	39.28'	25.00'	90° 00' 48"	S43° 55' 02" E	35.36'	S 88° 55' 26" E
C-31	144.08'	320.00'	25° 47' 51"	N15° 40' 54" W	142.87'	S 28° 34' 50" E
C-32	88.15'	320.00'	15° 46' 58"	N5° 06' 31" E	87.87'	S 2° 46' 58" E
C-33	40.91'	380.00'	6° 10' 04"	N9° 54' 58" E	40.89'	S 13° 00' 00" E
C-34	234.86'	380.00'	35° 24' 45"	N10° 52' 27" W	231.14'	N 6° 49' 56" E
C-35	403.77'	444.00'	52° 06' 16"	S56° 26' 54" E	390.00'	N 82° 30' 02" W
C-36	72.51'	444.00'	9° 21' 26"	S25° 43' 03" E	72.43'	N 30° 23' 46" W
C-37	17.92'	444.00'	2° 18' 44"	S19° 52' 59" E	17.92'	N 21° 02' 20" W
C-38	69.24'	233.00'	17° 01' 36"	S68° 44' 24" E	68.99'	S 60° 13' 35" E
C-39	95.12'	233.00'	23° 23' 26"	S88° 56' 55" E	94.46'	S 77° 15' 12" E

EASEMENT CURVE TABLE						
CURVE #	CURVE LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN
EC-1	33.61'	3047.00'	0° 37' 55"	S 0° 47' 51" W	33.61'	S 1° 06' 49" W
EC-2	88.64'	225.00'	22° 34' 21"	S 16° 58' 29" W	88.07'	S 28° 15' 39" W
EC-3	131.86'	225.00'	33° 34' 39"	S 19° 05' 48" E	129.98'	S 2° 18' 28" E
EC-4	82.92'	295.00'	16° 06' 19"	S 82° 44' 08" E	82.65'	S 89° 12' 43" E
EC-5	38.74'	25.00'	88° 47' 08"	S 46° 24' 49" E	34.98'	N 89° 11' 37" E
EC-6	0.86'	178.00'	0° 16' 34"	S 2° 09' 33" E	0.86'	S 2° 01' 16" E
EC-7	40.28'	25.00'	92° 19' 02"	N 43° 02' 06" E	36.06'	S 2° 07' 25" W
EC-8	40.25'	25.00'	92° 14' 17"	N 44° 40' 28" W	36.04'	N 1° 26' 40" E
EC-9	38.45'	25.00'	88° 07' 01"	N 45° 08' 53" E	34.77'	N 89° 12' 23" E

CERTIFICATE OF CITY OF MADISON TREASURER

I, CRAIG FRANKLIN, BEING THE DULY ELECTED, QUALIFIED AND ACTING TREASURER OF THE CITY OF MADISON, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF,

THIS 11TH DAY OF November, 2024, AFFECTING THE LANDS INCLUDED IN UNIVERSITY RESEARCH PARK - PIONEER 1ST ADDITION REPLAT.

DATE 11/7/2024
CRAIG FRANKLIN, CITY TREASURER, CITY OF MADISON

CERTIFICATE OF DANE COUNTY TREASURER

I, ADAM GALLAGHER, BEING THE DULY ELECTED, QUALIFIED AND ACTING TREASURER OF DANE COUNTY, DO HEREBY CERTIFY THAT IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF,

THIS 8TH DAY OF November, 2024, AFFECTING THE LANDS INCLUDED IN UNIVERSITY RESEARCH PARK - PIONEER 1ST ADDITION REPLAT.

DATE 11.8.2024
ADAM GALLAGHER, COUNTY TREASURER

MADISON PLAN COMMISSION CERTIFICATE

APPROVED FOR RECORDING PER THE SECRETARY OF THE CITY OF MADISON PLAN COMMISSION.

DATE 7 Nov 2024
MATTHEW WACHTER, SECRETARY OF THE PLAN COMMISSION

MADISON COMMON COUNCIL CERTIFICATE

RESOLVED THAT THIS PLAT UNIVERSITY RESEARCH PARK - PIONEER 1ST ADDITION REPLAT LOCATED IN THE CITY OF MADISON WAS HEREBY APPROVED BY

ENACTMENT NUMBER RES-23-00741, FILE ID NUMBER 80756

ADOPTED ON THE 13TH DAY OF December, 2023, AND THAT SAID ENACTMENT FURTHER PROVIDED FOR THE ACCEPTANCE OF THOSE LANDS DEDICATED AND RIGHTS CONVEYED BY SAID PLAT TO THE CITY OF MADISON FOR PUBLIC USE.

DATED THIS 7TH DAY OF November, 2024.

Cornelia Cornill FOR
MARIBETH WITZEL-BEHL, CITY CLERK, CITY OF MADISON

CORPORATE OWNER'S CERTIFICATE

THE BOARD OF REGENTS OF THE UNIVERSITY OF WISCONSIN SYSTEM, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID BOARD HAS CAUSED THE LAND DESCRIBED HEREON TO BE SURVEYED, DIVIDED, MAPPED, AND DEDICATED AS REPRESENTED HEREON. SAID BOARD, DOES ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY S. 236.10 OR S. 236.12 OF THE WISCONSIN STATE STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

STATE OF WISCONSIN DEPARTMENT OF ADMINISTRATION
CITY OF MADISON COMMON COUNCIL

IN WITNESS WHEREOF, THE SAID BOARD OF REGENTS OF THE UNIVERSITY OF WISCONSIN SYSTEM, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS SENIOR ASSOCIATE VICE PRESIDENT FOR CAPITAL PLANNING AND BUDGET,

ALEXANDRIA ROE, AND ITS CORPORATE SEAL, AFFIXED ON THIS THIS 24, DAY OF October, 2024.

ALEXANDRIA ROE
SENIOR ASSOCIATE VICE PRESIDENT FOR CAPITAL PLANNING AND BUDGET
THE BOARD OF REGENTS OF THE UNIVERSITY OF WISCONSIN SYSTEM

STATE OF WISCONSIN
DANE COUNTY) ss.

PERSONALLY CAME BEFORE ME THIS 14th DAY OF October, 2024

THE ABOVE NAMED, ALEXANDRIA ROE, SENIOR ASSOCIATE VICE PRESIDENT FOR CAPITAL PLANNING AND BUDGET, FOR THE BOARD OF REGENTS OF THE UNIVERSITY OF WISCONSIN SYSTEM, WHOSE NAME IS KNOWN TO BE THE SAME PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

Ellen W. Rosne
NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES 5/22/2029

PUBLIC SANITARY SEWER EASEMENTS:

CREATION OF EASEMENT RIGHTS: A PERMANENT EASEMENT OVER, ACROSS A PORTION OF THE PROPERTY (THE "EASEMENT AREA") IS ESTABLISHED, MEMORIALIZED, RESERVED BY, GRANTED, CONVEYED, TRANSFERRED AND ASSIGNED TO CITY OF MADISON FOR THE USES AND PURPOSES HEREINAFTER SET FORTH. THE EASEMENT AREA MAY BE USED BY CITY OF MADISON FOR PUBLIC UNDERGROUND SANITARY SEWER PURPOSES. CITY OF MADISON AND ITS EMPLOYEES, AGENTS AND CONTRACTORS SHALL HAVE THE RIGHT TO CONSTRUCT, INSTALL, MAINTAIN, OPERATE, REPAIR, REPLACE AND RECONSTRUCT THE SANITARY SEWER FACILITIES WITHIN THE EASEMENT AREA. CITY OF MADISON SHALL HAVE THE FURTHER RIGHT OF INGRESS AND EGRESS TO AND FROM THE EASEMENT AREA IN ORDER TO EXERCISE ITS RIGHTS AND PRIVILEGES HEREUNDER, AND TO CUT AND REMOVE TREES, VEGETATION AND OTHER IMPEDIMENTS IN THE EASEMENT AREA WHICH MAY OBSTRUCT OR INTERFERE WITH THE ACTUAL OR POTENTIAL USE OF THE EASEMENT AREA FOR THE FOREGOING PURPOSES.

PROPERTY RESTORATION: CITY OF MADISON SHALL REPAIR ANY DAMAGE CAUSED TO ANY PAVEMENT, CONCRETE OR TURF LOCATED WITHIN THE EASEMENT AREA AND/OR THE PROPERTY AS A RESULT OF THE USE OF THE EASEMENT AREA BY OR ON BEHALF OF THE CITY OF MADISON AS PROVIDED HEREIN. FOLLOWING COMPLETION OF ANY EXCAVATION WORK, CITY OF MADISON SHALL PROMPTLY RESTORE THE AREA AFFECTED BY THE WORK TO THE ORIGINAL GRADE AND SURFACE CONDITION INCLUDING THE REPAIR OR REPLACEMENT OF PAVEMENT, CONCRETE AND TURF.

LIMITATIONS ON USE OF EASEMENT AREA: THE OWNER OF THE PROPERTY SHALL HAVE THE RIGHT TO USE THE EASEMENT AREA FOR ANY PURPOSE, PROVIDED SUCH USE SHALL NOT INTERFERE WITH THE EASEMENT RIGHTS OF THE CITY OF MADISON HEREUNDER. NO BUILDINGS OR STRUCTURES OR FENCES UNRELATED TO THE SANITARY SEWER FACILITIES SHALL BE CONSTRUCTED IN AND NO GRADE CHANGE SHALL BE MADE TO THE EASEMENT AREA WITHOUT THE WRITTEN CONSENT OF THE CITY OF MADISON'S ENGINEERING DIVISION CITY ENGINEER.

BINDING EFFECT: THIS EASEMENT SHALL RUN WITH THE LAND DESCRIBED HEREIN AND SHALL BE BINDING UPON THE OWNERS OF THE PROPERTY, AND THEIR SUCCESSORS IN INTEREST.

RELEASE OF RIGHTS TO EASEMENTS CREATED BY PLAT: ANY RELEASE OF RIGHTS THAT WERE PLACED ON PLATTED LAND WHICH WAS REQUIRED BY A PUBLIC BODY OR WHICH NAMES A PUBLIC BODY OR PUBLIC UTILITY AS GRANTEE SHALL BE RELEASED BY RECORDING A SEPARATE EASEMENT RELEASE DOCUMENT WITH THE DANE COUNTY REGISTER OF DEEDS IN ACCORDANCE WITH S. 236.293.

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THE AREA.

SURVEYOR'S CERTIFICATE

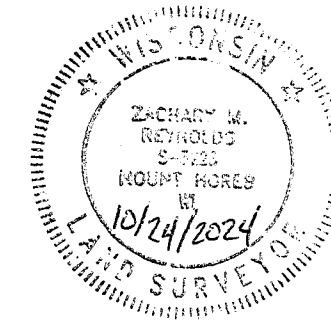
I, ZACHARY M. REYNOLDS, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY: THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES, AND THE SUBDIVISION REGULATIONS OF THE CITY OF MADISON, AND UNDER THE DIRECTION OF THE BOARD OF REGENTS OF THE UNIVERSITY OF WISCONSIN SYSTEM, I HAVE SURVEYED, DIVIDED AND MAPPED UNIVERSITY RESEARCH PARK - PIONEER 1ST ADDITION REPLAT; THAT SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES AND THE SUBDIVISION OF THE LAND SURVEYED; AND THAT THIS LAND IS LOCATED IN PART OF THE NE1/4 OF THE NW1/4, THE SE1/4 OF THE NW1/4, THE NORTH TEN (10) RODS OF THE NE1/4 OF THE SW1/4, AND THE NORTH FIFTY (50) RODS OF THE NW1/4 OF THE SW1/4 OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 8 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

ALL OF LOTS 32-45, OUTLOTS 7-10, AND VACATED PORTIONS BOYER STREET OF UNIVERSITY RESEARCH PARK - PIONEER 1ST ADDITION, RECORDED ON MARCH 14, 2016, IN VOLUME 60-048B OF PLATS, ON PAGES 257-259, AS DOCUMENT NO. 5220401, BEING A PART OF THE NE1/4 OF THE NW1/4, PART OF THE SE1/4 OF THE NW1/4, THE NORTH TEN (10) RODS OF THE NE1/4 OF THE SW1/4, AND THE NORTH FIFTY (50) RODS OF THE NW1/4 OF THE SW1/4 OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 8 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

ABOVE DESCRIBED PARCEL CONTAINS 4,375,154 SQUARE FEET OR 100.44 ACRES

DATED THIS 8TH DAY OF AUGUST, 2022
REVISED THIS 7TH DAY OF DECEMBER, 2022
REVISED THIS 4TH DAY OF JANUARY, 2024
REVISED THIS 16TH DAY OF OCTOBER, 2024

Z. Reynolds
ZACHARY M. REYNOLDS, S-3223
WISCONSIN PROFESSIONAL LAND SURVEYOR



OFFICE OF THE REGISTER OF DEEDS

Dane COUNTY, WISCONSIN

RECEIVED FOR RECORD November 8

20 24 AT 11:25 O'CLOCK A M AS

DOCUMENT # 5995453

IN VOL. 62-0208 OF PLATS,

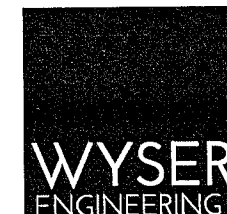
ON PAGE(S) 108-110

Kristi Chlebowski by
B. Schaeff Deputy
REGISTER OF DEEDS

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

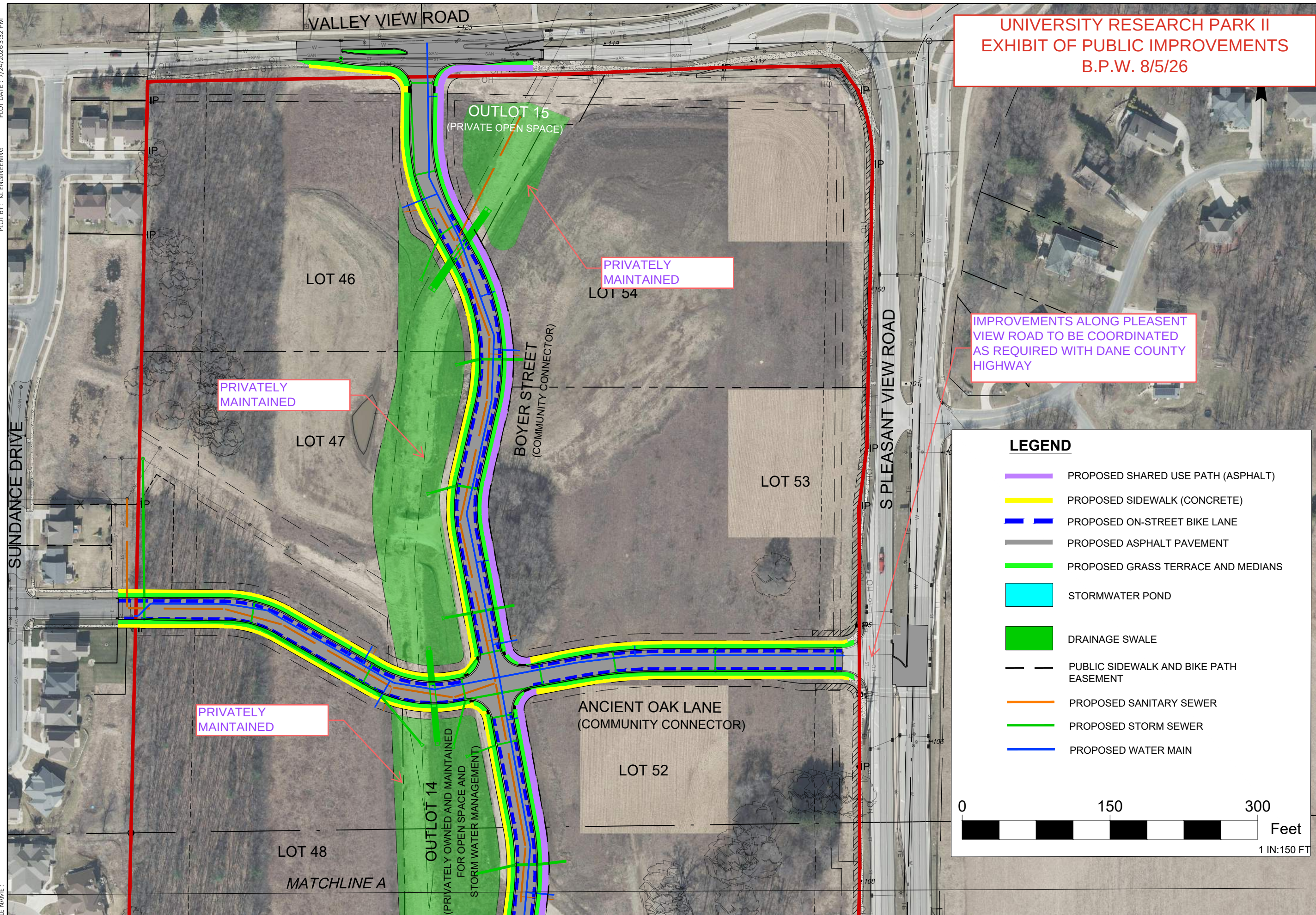
Certified October 24, 2024

Don Lima
Department of Administration



PREPARED FOR:
UNIVERSITY RESEARCH PARK, INC.
510 CHARMANY DRIVE, SUITE 250
MADISON, WI 53719

SURVEYED BY:
WYSER ENGINEERING
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com



State of Wisconsin
Department of Administration
Division of Facilities Development

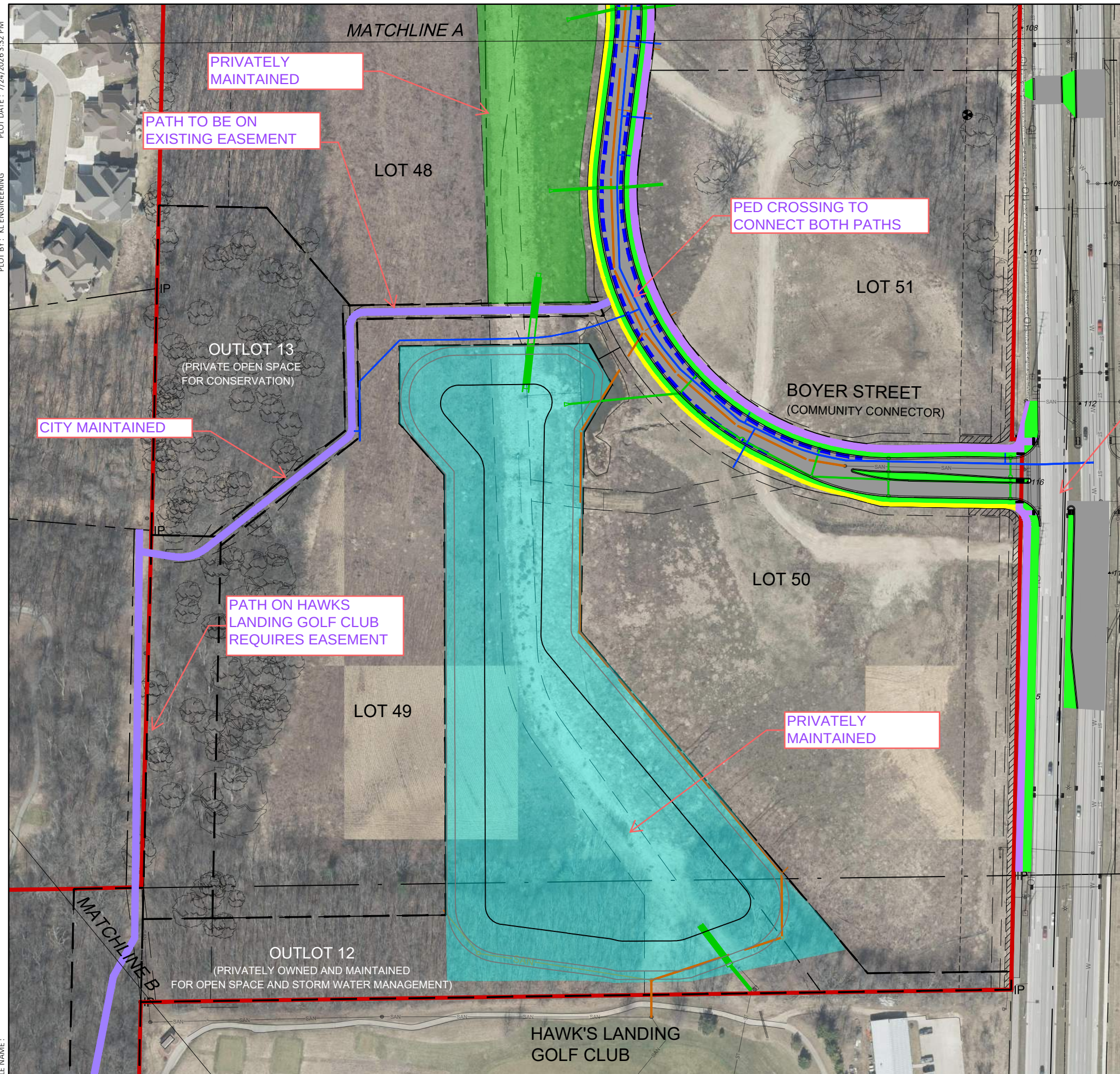


VETTER PARCEL
MADISON, WI, 53719

PUBLIC IMPROVEMENTS
UNIVERSITY RESEARCH PARK 2
UNIVERSITY OF WISCONSIN
MADISON, WI

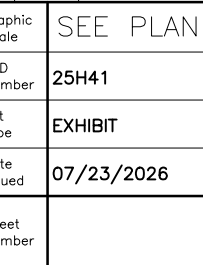
Sheet Title: EXHIBIT OF PUBLIC IMPROVEMENTS

Revisions:		
No.	Date:	Description:
Graphic Scale	SEE PLAN	
DFD Number	25H41	
Set Type	EXHIBIT	
Date Issued	07/23/2026	
Sheet Number		



CITY MAINTAINED

0 150 300 Feet
1 IN:150 FT



HAWK'S LANDING GOLF CLUB

OUTLOT 11
(PRIVATE OPEN SPACE FOR CONSERVATION)

Ex. 100' WIDE EASEMENT FOR
PED/ BIKES

Path layout alignment created to minimize tree impacts. Can change with final design to improve it as needed.

LOT 49

OUTLOT 12

HAWK'S LANDING GOLF CLUB

NELSON CROSSING

LEGEND

-  PROPOSED SHARED USE PATH (ASPHALT)
-  PROPOSED SIDEWALK (CONCRETE)
-  PROPOSED ON-STREET BIKE LANE
-  PROPOSED ASPHALT PAVEMENT
-  PROPOSED GRASS TERRACE AND MEDIANS

- | | |
|---|---|
|  | STORMWATER POND |
|  | DRAINAGE SWALE |
|  | PUBLIC SIDEWALK AND BIKE PATH
EASEMENT |
|  | PROPOSED SANITARY SEWER |
|  | PROPOSED STORM SEWER |
|  | PROPOSED WATER MAIN |



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VETTER PARCEL
MADISON, WI, 53719

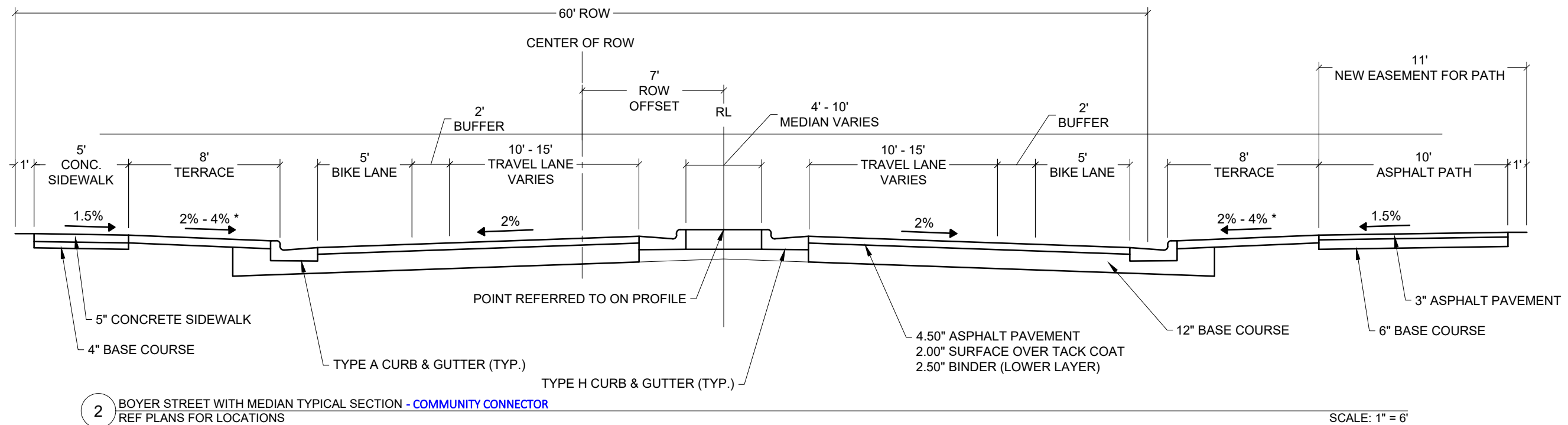
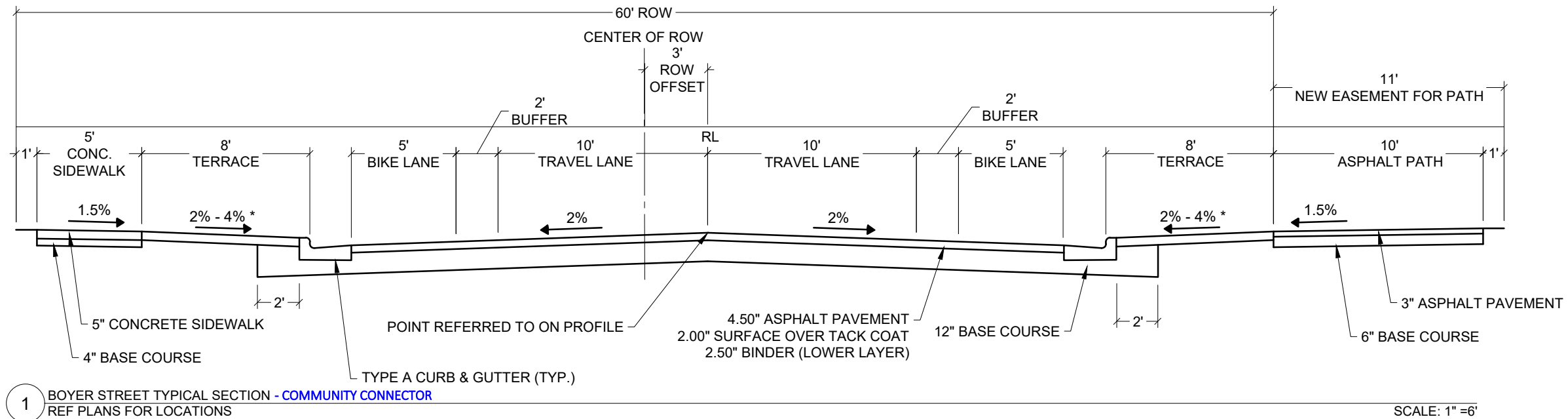
PUBLIC IMPROVEMENTS
UNIVERSITY RESEARCH PARK 2
UNIVERSITY OF WISCONSIN
MADISON, WI

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EXHIBIT OF PUBLIC IMPROVEMENTS

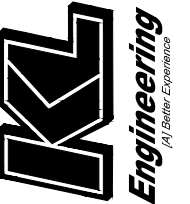
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* TERRACE SLOPE IS 2% WHERE ROADWAY LONGITUDINAL SLOPE IS GREATER THAN 6%

EXCAVATION BELOW SUBGRADE THROUGHOUT WHERE NECESSARY 2/C915



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Division of Facilities Development



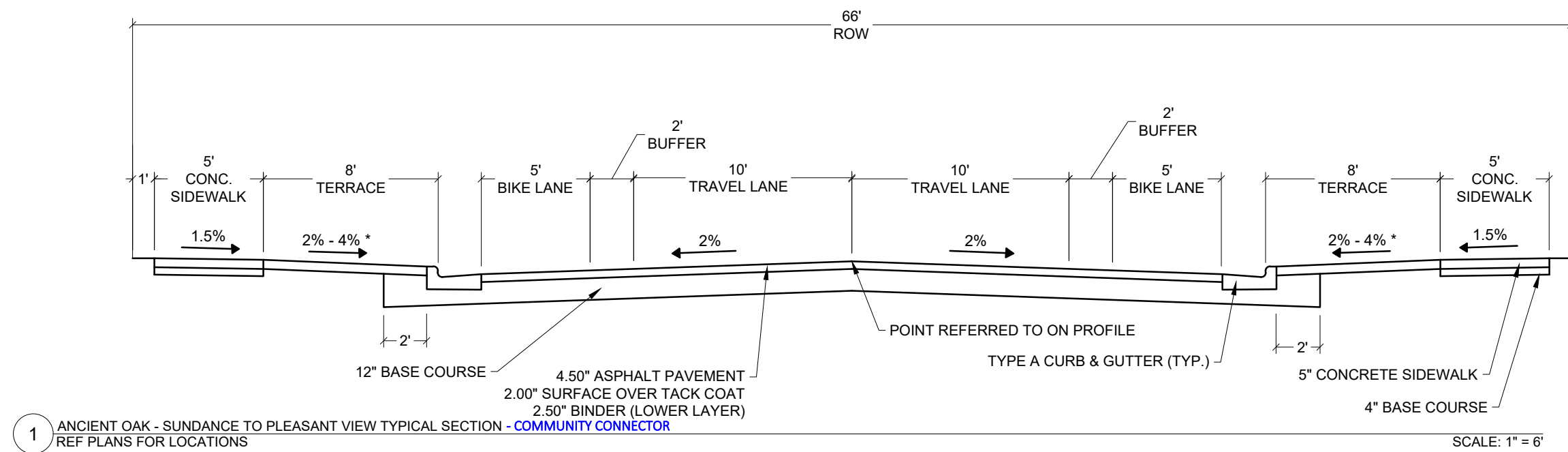
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MADISON, WI, 53719

PUBLIC IMPROVEMENTS
UNIVERSITY RESEARCH PARK 2
UNIVERSITY OF WISCONSIN
MADISON, WISCONSIN

Sheet Title:
TYPICAL SECTIONS

Revisions:	
Date:	Description:

Graphic Scale	SEE PLAN
DFD Number	25H41
Set Type	PR
Date Issued	06/16/26
Sheet Number	C900



* TERRACE SLOPE IS 2% WHERE ROADWAY LONGITUDINAL SLOPE IS GREATER THAN 6%

EXCAVATION BELOW SUBGRADE THROUGHOUT WHERE NECESSARY 2/C915



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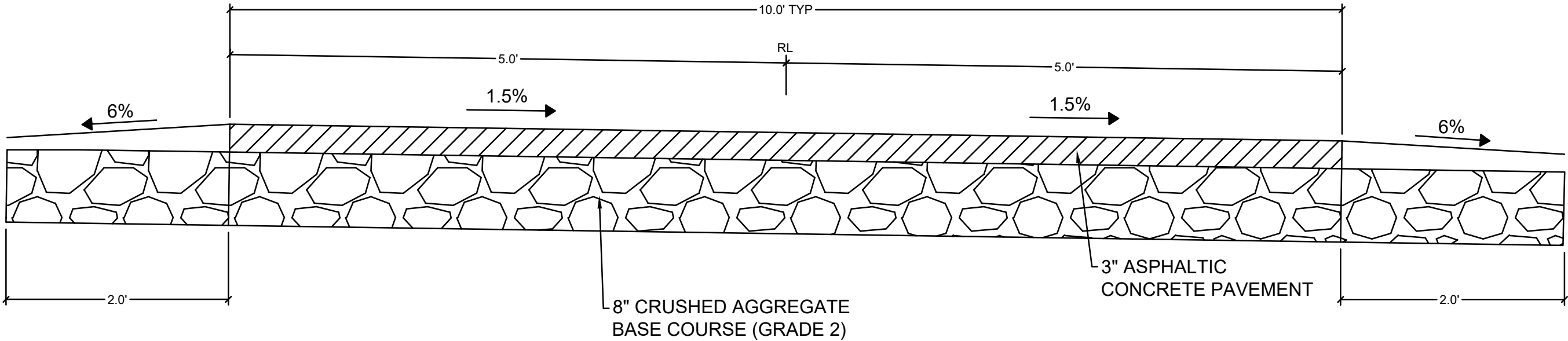
VETTER PARCEL
MADISON, WI, 53719

PUBLIC IMPROVEMENTS
UNIVERSITY RESEARCH PARK 2
UNIVERSITY OF WISCONSIN
MADISON, WISCONSIN

Sheet title:

TYPICAL SECTIONS

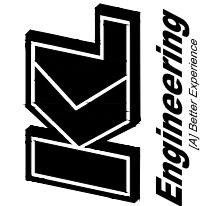
[illegible]



2

TRAIL TYPICAL SECTION
REF SOUTHWEST PLANS FOR LOCATIONS

SCALE: 1" = 1'



State of Wisconsin
Department of Administration
Division of Facilities Development

VETTER PARCEL
MADISON, WI, 53719

PUBLIC IMPROVEMENTS
UNIVERSITY RESEARCH PARK 2
UNIVERSITY OF WISCONSIN
MADISON, WISCONSIN

Sheet Title:
DETAILS

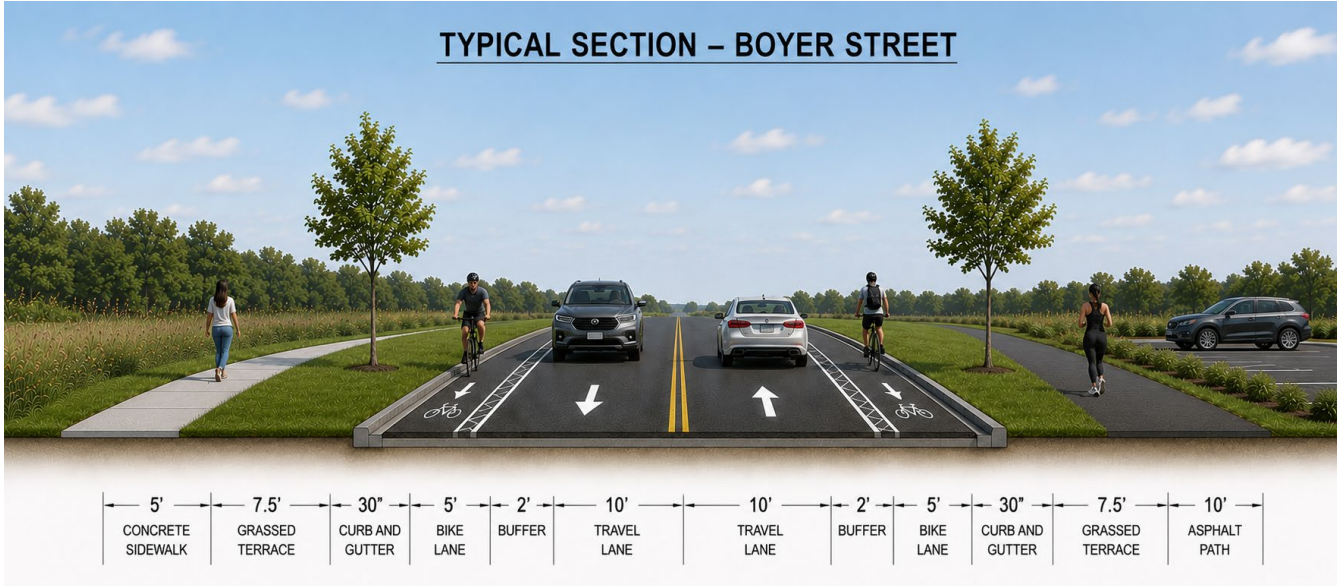
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Graphic Scale	SEE PLAN
DFD Number	25H4I
Set Type	PR
Date Issued	06/16/26
Sheet Number	C902

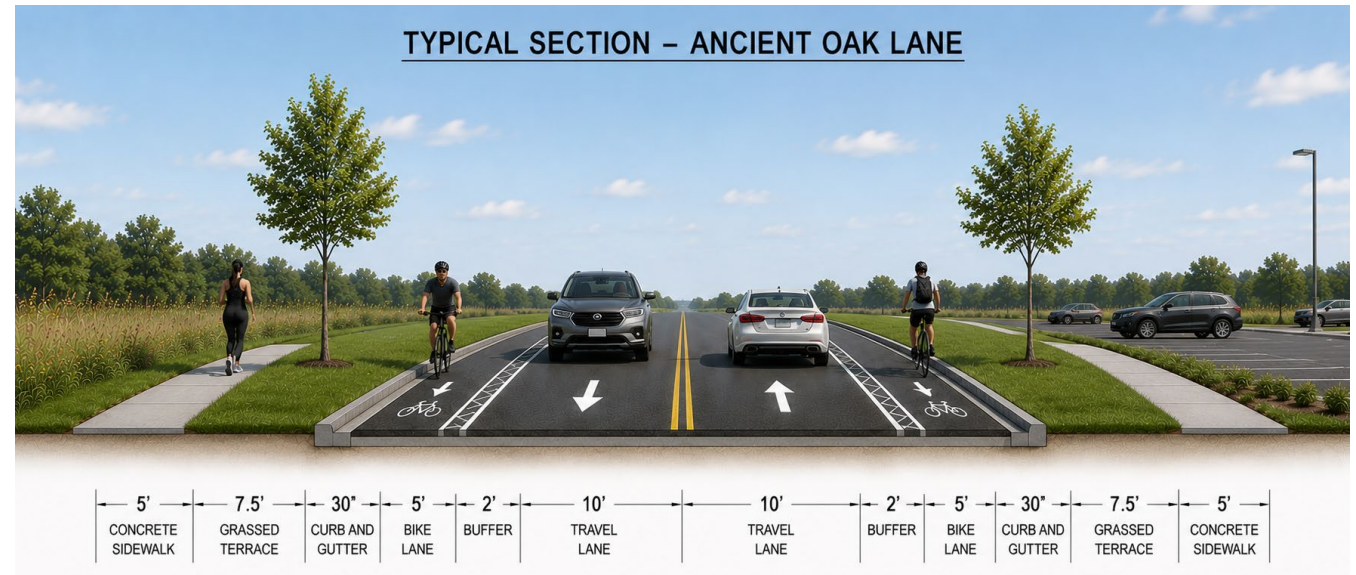


URP2 – Typical Sections

TYPICAL SECTION – BOYER STREET



TYPICAL SECTION – ANCIENT OAK LANE





URP2 – Typical Sections

