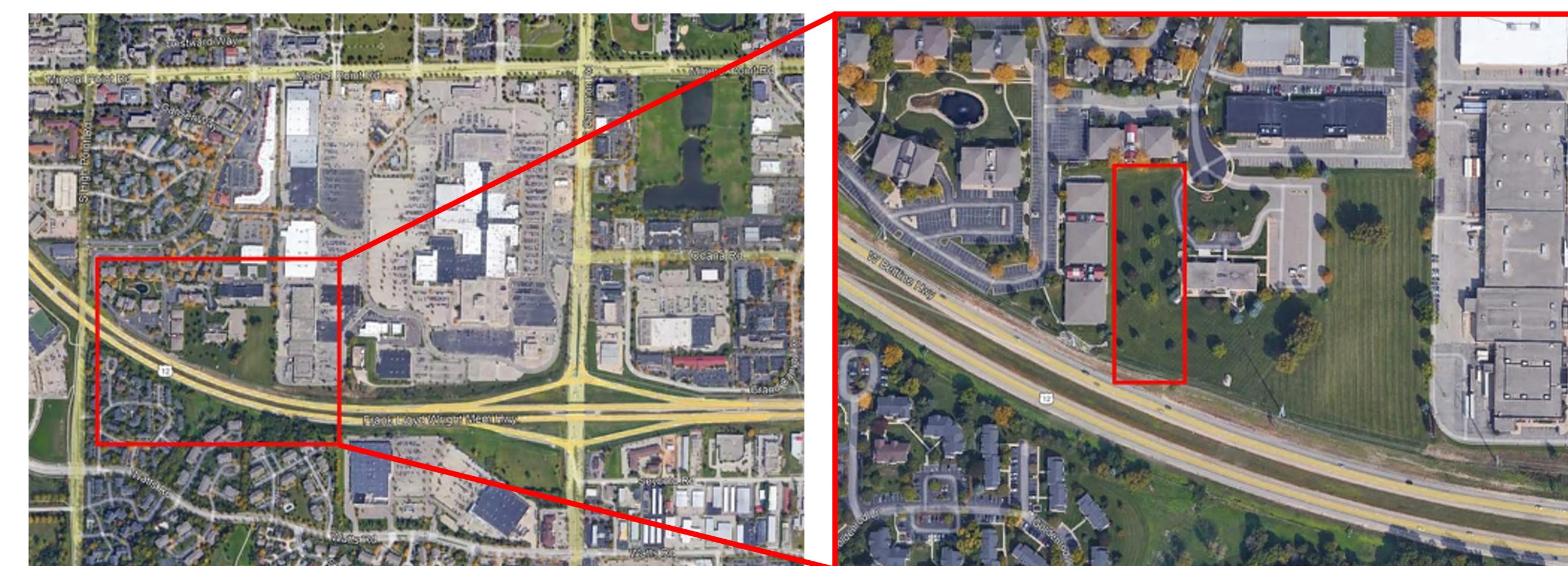


ZOR SHRINE WEST - 06.27.2022

MADISON, WI



PROJECT LOCATION



Vicinity

Site Location

SHEET INDEX

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PROJECT TEAM

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Structural Engineer: T.B.D.

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PROJECT:

ZOR SHRINE WEST
MADISON, WI

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

Name:
Alex Haecker, AIA
Signature:

License #: 48654

Date: 06/27/2022

ISSUE DATE

TITLE SHEET

SHEET TITLE

T.1.1

SHEET

LOT 1, CSM 13442

PART OF LOT 2, CSM 3422

ZOR SHRINE WEST

MADISON, WI

NOT FOR CONSTRUCTION

GRAPHIC SCALE FEET
0 15 30 60

C100
SHEET NO.

EXISTING CONDITIONS PLAN
SHEET TITLE
SHEET NO.

NOTES:

- All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline Ticket # 20203620098 and private locate by GLS Utility, LLC. Vierbicher does not warrant the locations marked or mapped by others.
- Field work for this map was completed on 9-15-2020. Any physical changes after this date on the site within the survey limits are not reflected on this map.
- This map is referenced to the Wisconsin County Coordinate System, Dane Zone NAD 83 (2011). Elevations are referenced to NAVD 88 datum. Field data was obtained using Robotic Total Station and GPS.
- Property lines and easements are based on a preliminary ALTA Survey by XCEL Consultants, dated June 1, 2020.
- The sewer and water structures shown were surveyed and measured. The underground water and sanitary sewer pipe sizes shown were taken from the City of Madison Gweb maps. The storm sewer pipe sizes were measured during the survey.
- This plan was prepared at the request of Mark Laverty, Saturday Properties, LLC, 3546 Dakota Ave, S, Suite D, St. Louis Park, MN 55416.

TOPOGRAPHIC SYMBOL LEGEND

EXISTING SIGN (TYPE NOTED)
EXISTING CURB INLET
EXISTING FIELD INLET RECTANGULAR
EXISTING FIELD INLET
EXISTING ROOF DRAIN CLEANOUT
EXISTING ROOF DRAIN
EXISTING STORM MANHOLE
EXISTING SANITARY MANHOLE
EXISTING FIRE DEPARTMENT CONNECTION
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
EXISTING GAS VALVE
EXISTING GAS METER
EXISTING AIR CONDITIONING PEDESTAL
EXISTING TRANSFORMER
EXISTING ELECTRIC METER
EXISTING LIGHT POLE
EXISTING UTILITY POLE
EXISTING TV PEDESTAL
EXISTING TELEPHONE MANHOLE
EXISTING TELEPHONE PEDESTAL
EXISTING HANDICAP PARKING
EXISTING SHRUB
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE
CONC. EXISTING CONCRETE (ABBREVIATION)

EXISTING UNDERGROUND CABLE TV
EXISTING FIBER OPTIC LINE
EXISTING UNDERGROUND TELEPHONE
EXISTING RETAINING WALL
EXISTING CHAIN LINK FENCE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING EDGE OF TREES
EXISTING WATER MAIN (SIZE NOTED)
EXISTING GUY LINE
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING WASHED STONE

10' PUBLIC STORM EASEMENT PER DOC. NO. 1949454

SMH #4
RIM=1066.05
IE N=1055.75
IE SE=1057.93
IE SW=1055.95
IE W=1057.65

CI #1
TC=1068.85
IE N=1063.05
IE E=1064.40
IE W=1064.45

CI #2
TC=1065.58
IE E=1061.43
IE W=1061.27

CI #3
TC=1065.58
IE E=1061.43
IE W=1061.27

CI #4
TC=1065.58
IE E=1061.43
IE W=1061.27

CI #5
RIM=1066.03
IE SW=1063.03

FI #6
RIM=1062.95
IE NE=1062.95
IE NW=1062.91

30' PUBLIC STORM AND SANITARY SEWER EASEMENT PER CSM 3567 & CSM 5423

10' PRIVATE SANITARY EASEMENT PER DOC. NO. 1827453

10' PRIVATE STORM SEWER EASEMENT PER DOC. NO. 1827453

10' PRIVATE SANITARY EASEMENT PER DOC. NO. 2058110

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LOT 1, CSM 13442

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CIVIL/LA ENGINEER

PROJECT:

MR. SHRINE WEST
MADISON, WI

PART OF

1 3422

MARK #?

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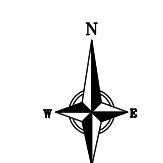
DEMOLITION PLAN LEGEND

A legend for site removal symbols. It includes:

- A horizontal line with three 'X' marks: CURB AND GUTTER REMOVAL
- A rectangle with a diagonal cross-hatch: ASPHALT REMOVAL
- A rectangle with horizontal dashed lines: CONCRETE REMOVAL
- A rectangle with diagonal hatching: BUILDING REMOVAL
- A single 'X' mark: TREE REMOVAL
- A dashed line: SAWCUT
- A rectangle with an 'X' mark: UTILITY STRUCTURE REMOVAL
- A dashed line with an 'X' mark: UTILITY LINE REMOVAL

DEMOLITION NOT

1. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE PUBLIC STREETS, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE **CITY** PATCHING CRITERIA.

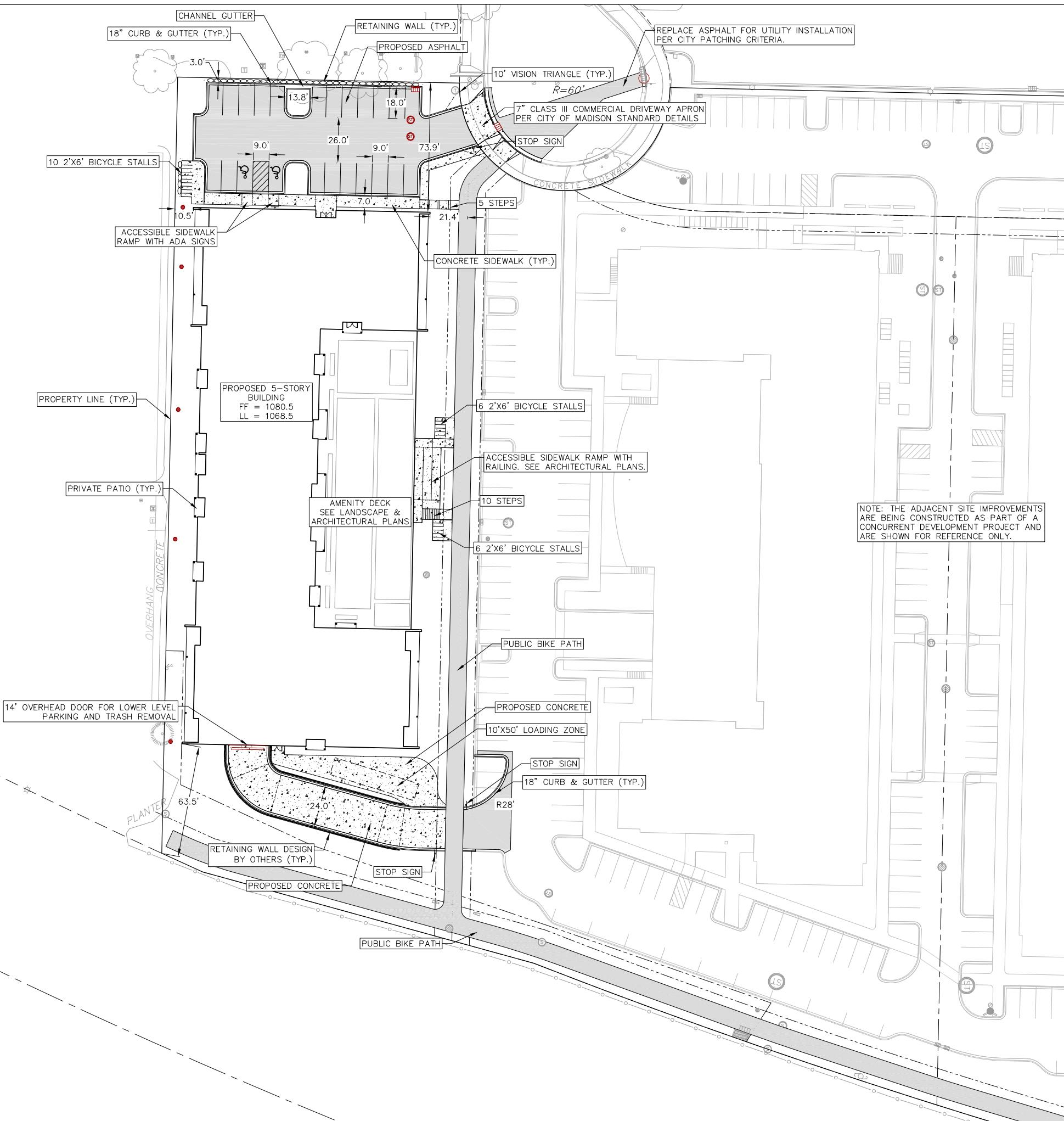


OBITUARY SCALE FF

SHEET TITLE

C200
SHEET

NOT FOR CONSTRUCTION



SITE PLAN NOTES:

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPAKTED BASE COURSE UNLESS OTHERWISE NOTED.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE COURSE OF 5" COMPAKTED SAND OR CRUSHED STONE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS TO BE RESTORED WITH TOPSOIL AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. SEE ARCHITECTS PLANS FOR THE BUILDING DIMENSIONS. ALL BUILDING DIMENSIONS SHALL BE COORDINATED AND VERIFIED WITH THE ARCHITECTS PLANS. ALL DIMENSIONS TO BUILDINGS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

PARKING LOT SITE INFORMATION BLOCK

SITE ADDRESS: 575 ZOR SHRINE PLACE
SITE ACREAGE (TOTAL) = 1.79 ACRES (LOT 3 OF PENDING CSM)

NUMBER OF BUILDING STORIES (ABOVE GRADE): 5
BUILDING HEIGHT: 77'
DILHR TYPE OF CONSTRUCTION: TYPE 3B RESIDENTIAL, 2B PARKING
USE OF PROPERTY: SENIOR HOUSING
GROSS SQUARE FT OF BUILDING: 175,065 GSF
GROSS SQUARE FT OF COMMERCIAL/OFFICE AREA: 0 GSF
NUMBER OF EMPLOYEES: 3
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY: N/A

NUMBER OF BICYCLE STALLS SHOWN: 99 INTERNAL + 22 EXTERNAL = 121

NUMBER OF PARKING STALLS:

PROPOSED SITE	23
PROPOSED COVERED	98
ELECTRIC VEHICLE	2% EV INSTALLED, 10% EV READY.
ACCESSIBLE	5 TOTAL, 0 ON SITE, 5 COVERED.
VAN ACCESSIBLE	2 ON SITE, 1 COVERED.
TOTAL	121

NUMBER OF TREES SHOWN: SEE LANDSCAPE PLAN

LOT COVERAGE & USABLE OPEN SPACE CALCULATIONS

SITE AREA: 77,825 SF

LOT COVERAGE: 57015 SF

LOT COVERAGE: 73%

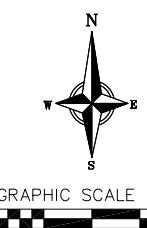
LOT COVERAGE MAXIMUM: 80%

NUMBER OF DWELLING UNITS: 100
REQUIRED USABLE OPEN SPACE = 40 SF/D.U. = 4,000 SF
SITE USABLE OPEN SPACE AREA: 3,040 SF
BUILDING USABLE OPEN SPACE AREA (BALCONIES & COURTYARD AREA): 17,823 SF
(CAN ACCOUNT FOR 75% OF USABLE OPEN SPACE REQUIREMENT)

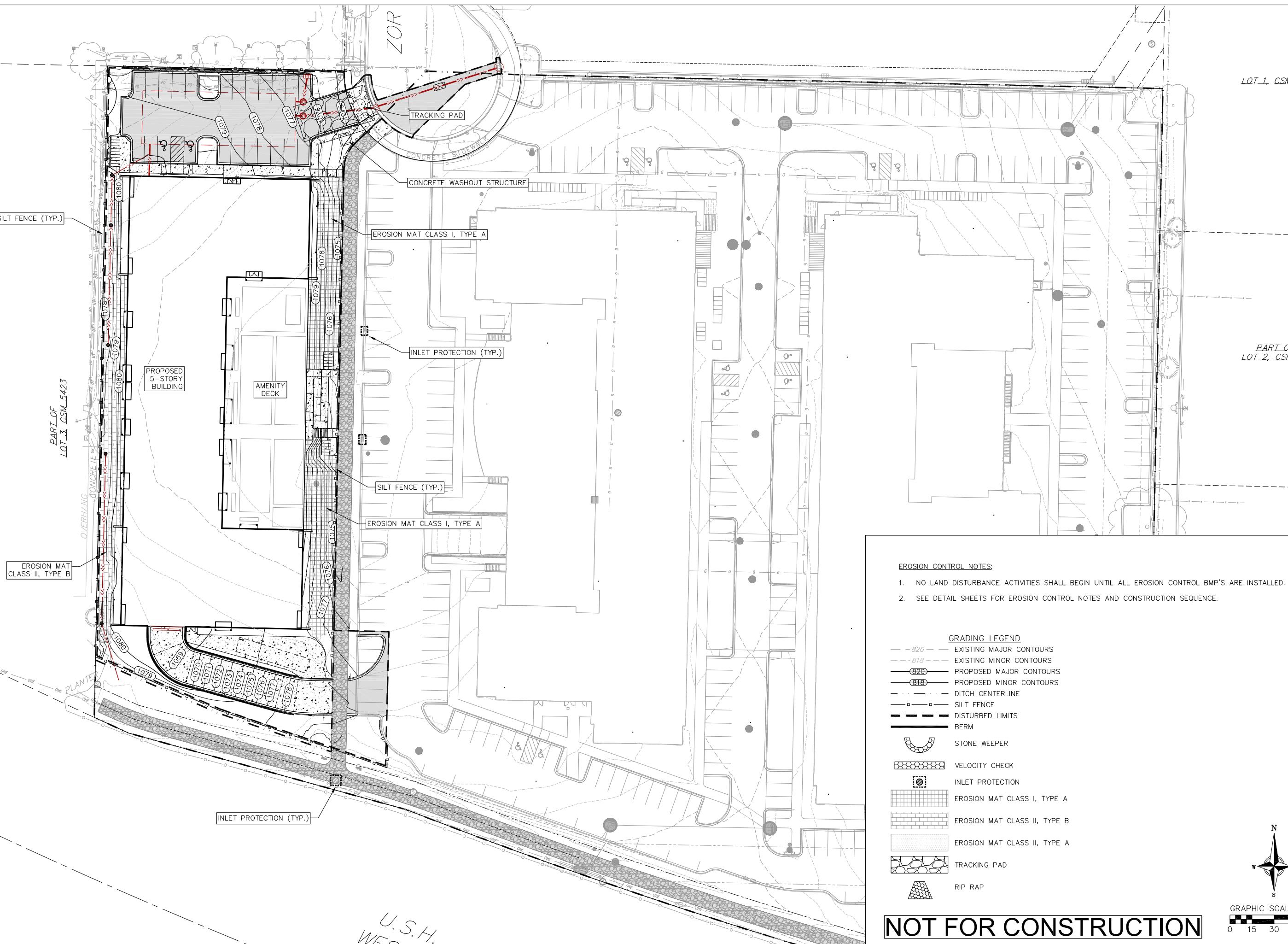
TOTAL USABLE OPEN SPACE: 20,863 SF

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING



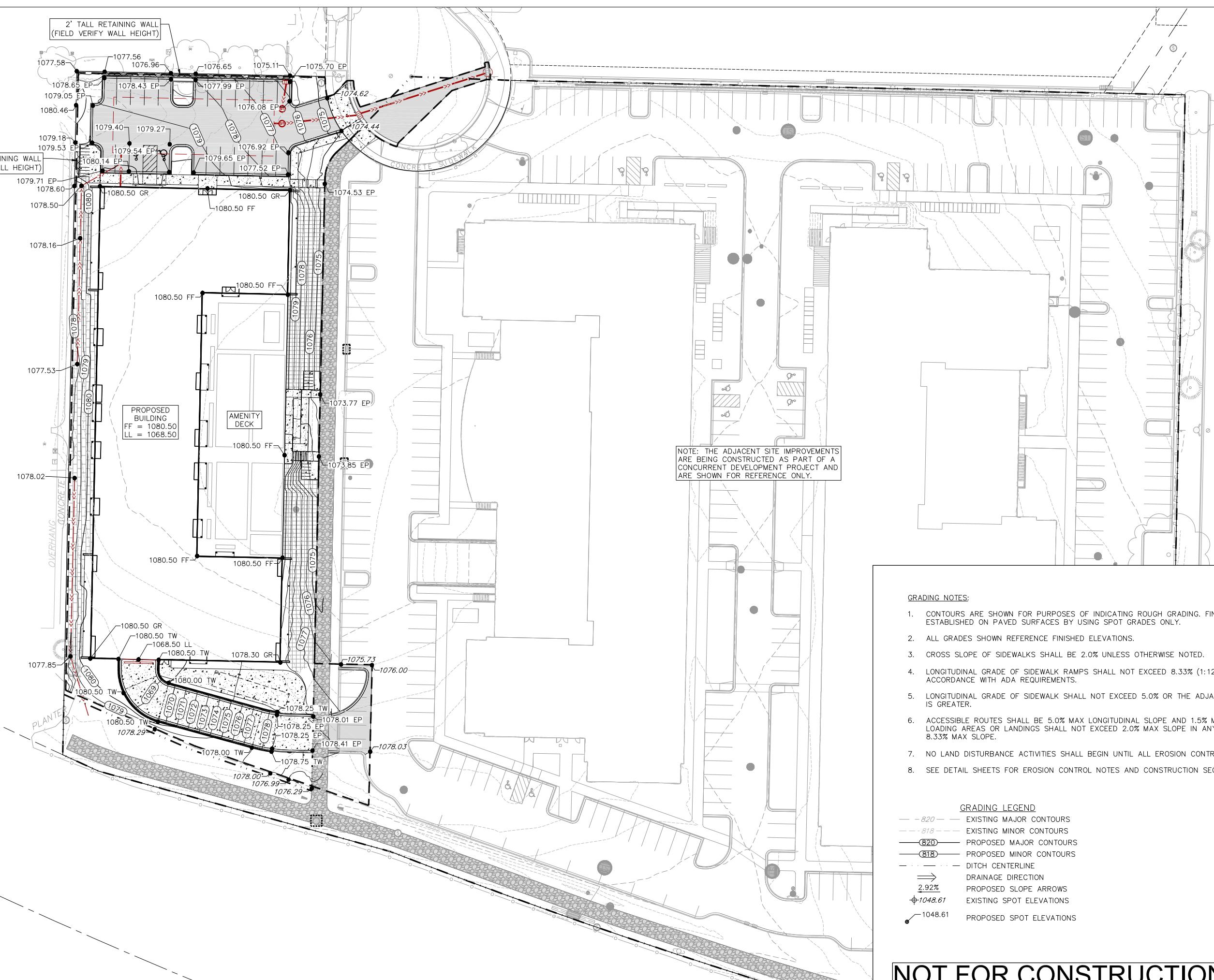
LOT 1, CSM 13442



NOT FOR CONSTRUCTION

GRADING LEGEND

- -820— EXISTING MAJOR CONTOURS
- -818— EXISTING MINOR CONTOURS
- 820— PROPOSED MAJOR CONTOURS
- 818— PROPOSED MINOR CONTOURS
- - - DITCH CENTERLINE
- DRAINAGE DIRECTION
- 2.92% PROPOSED SLOPE ARROWS
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS



UTILITY NOTES:

1. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
2. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
3. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(D).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 – SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(C).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(H) AND SPS 382.40(8)(K).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(B).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE LOCAL MUNICIPALITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
21. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
22. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
23. INSTALL 1 SHEET OF 4'X8'X4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
24. CONTRACTOR TO INSTALL BENDS AND CLEANOUTS AS NECESSARY ON WATER AND SEWER LATERALS.

PROPOSED UTILITY LEGEND

- >—> STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- > SANITARY SEWER PIPE (GRAVITY)
- > SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- > WATER MAIN
- > WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- PROPOSED PIPE INSULATION
- > GAS MAIN
- > ELECTRIC SERVICE

ABBREVIATIONS	
STMH	STORM MANHOLE
FI	FIELD INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE



NOT FOR CONSTRUCTION

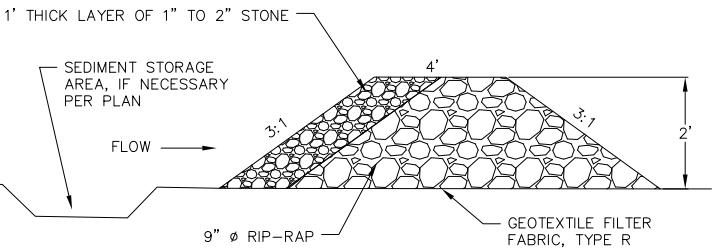
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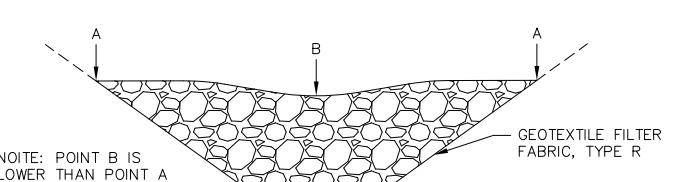
EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. SEE GRADING AND EROSION CONTROL PLAN FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. THE FILTERS SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS ARE BOTH 70% RESTORED AND PAVED.
13. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
14. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
15. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
16. EROSION MAT (CLASS I, TYPE B PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
17. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
18. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
19. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
20. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
21. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
22. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
23. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY AND STATE.
24. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
25. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.

NOT FOR CONSTRUCTION

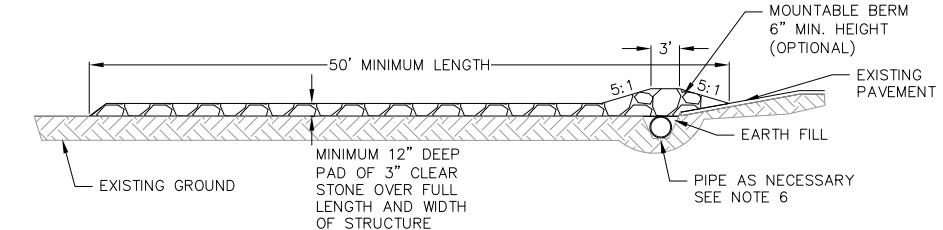


SECTION VIEW

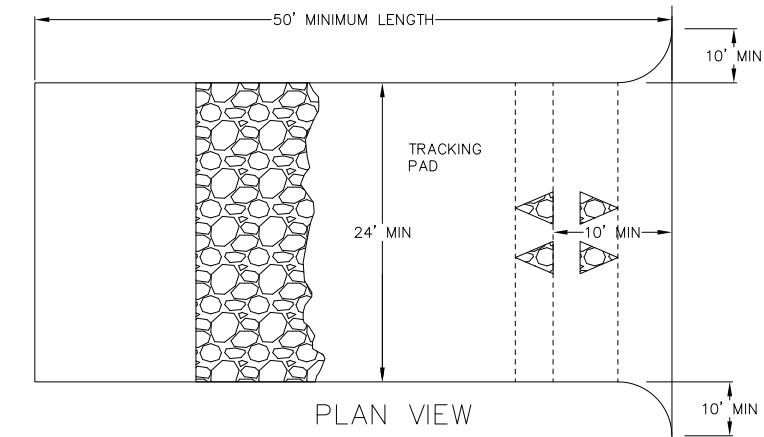


FRONT VIEW

* REFER TO DNR TECH STANDARD #1062 FOR FURTHER DETAILS AND MAINTENANCE REQUIREMENTS



PROFILE VIEW



PLAN VIEW

1 STONE WEEPER
1
NOT TO SCALE

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

SEE LANDSCAPE PLAN.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

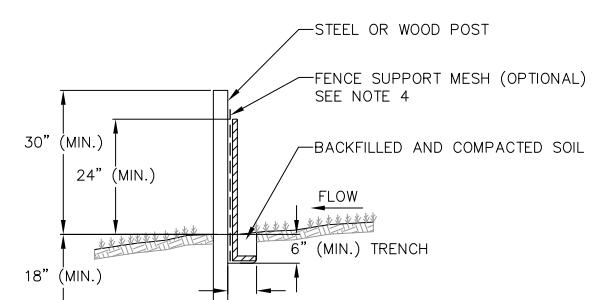
USE $\frac{1}{2}$ " TO 1- $\frac{1}{2}$ " STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

CONSTRUCTION SEQUENCE:

1. INSTALL EROSION CONTROL MEASURES
2. CONDUCT DEMOLITION
3. STRIP TOPSOIL
(UNWORKED AREAS MAY REMAIN NON-STABILIZED FOR A MAXIMUM OF 14 DAYS)
4. ROUGH GRADE SITE
5. CONSTRUCT UNDERGROUND UTILITIES
6. INSTALL INLET PROTECTION IN NEW INLETS
7. CONSTRUCT BUILDING
8. CONSTRUCT PAVEMENT
9. FINAL GRADE AND PERMANENTLY RESTORE DISTURBED AREAS
10. REMOVE EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE 70% RESTORED OR PAVED.

NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH



1
1
SILT FENCE
NOT TO SCALE

AWH

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ARCHITECT

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CIVIL/EA ENGINEER

PROJECT:

ZOR SHRINE WEST
MADISON, WI

Date: 06/27/2022

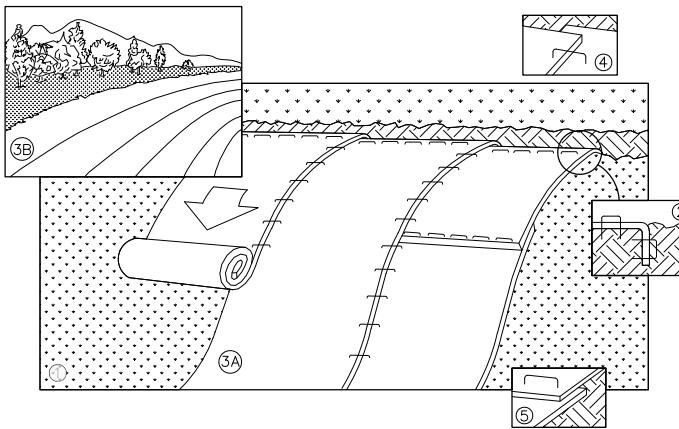
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CONSTRUCTION DETAILS - 1
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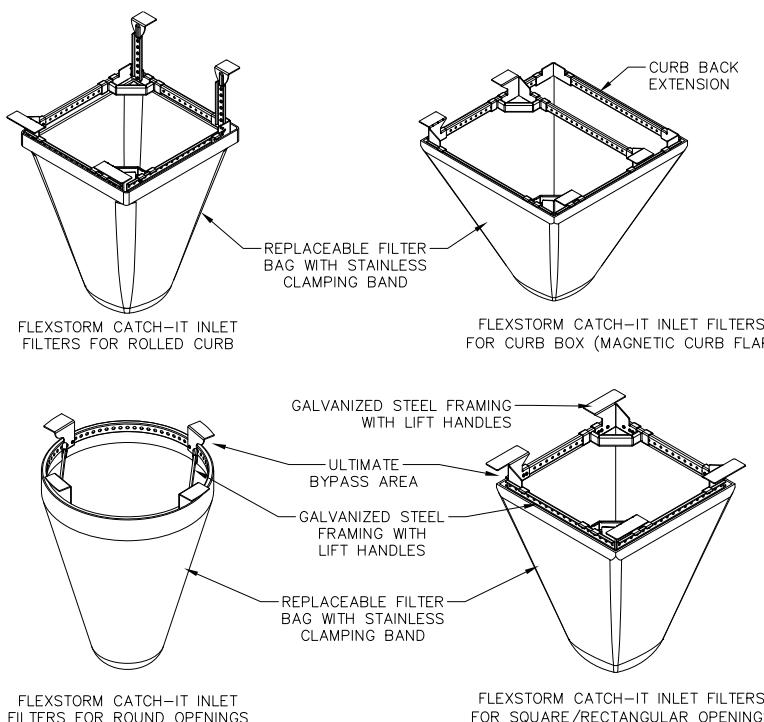
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NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH, BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS <A> DOWN, OR HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

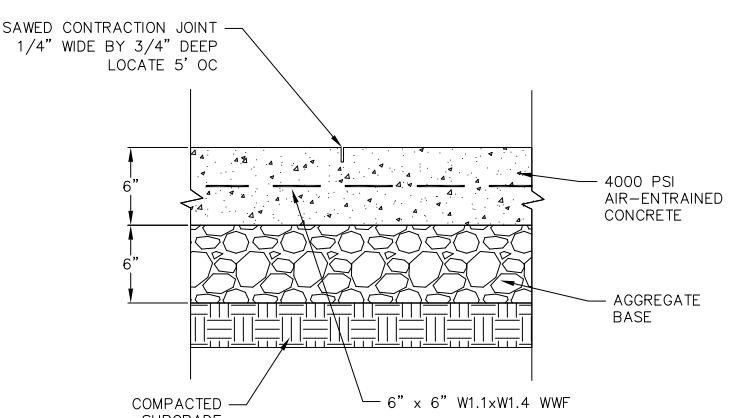
1 EROSION MAT
NOT TO SCALE



NOTES:

1. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.

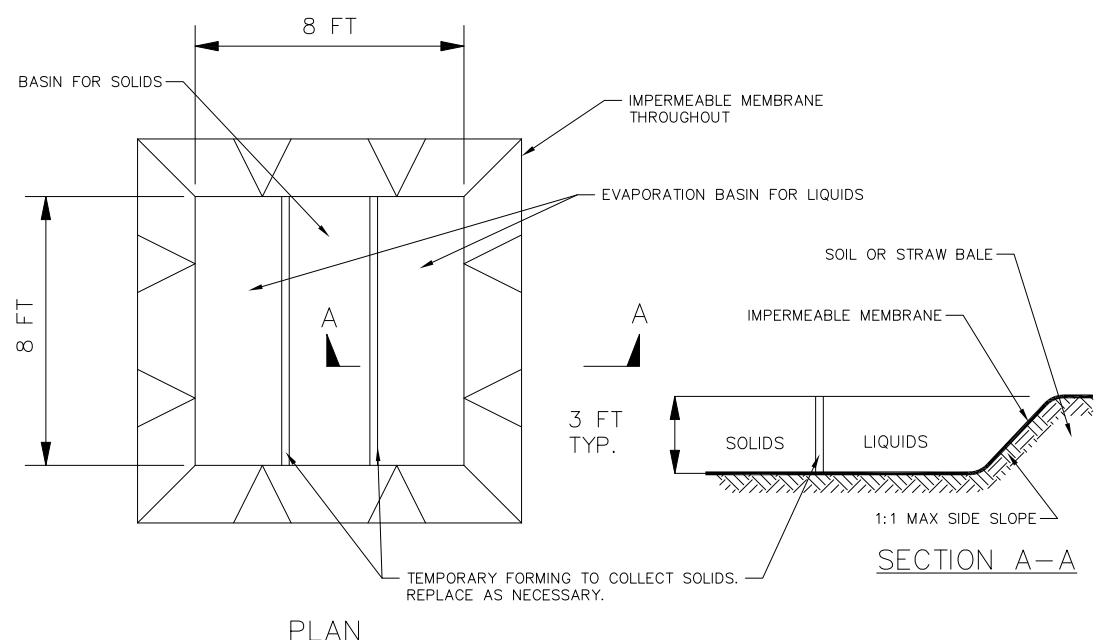
1 FRAMED INLET PROTECTION
NOT TO SCALE



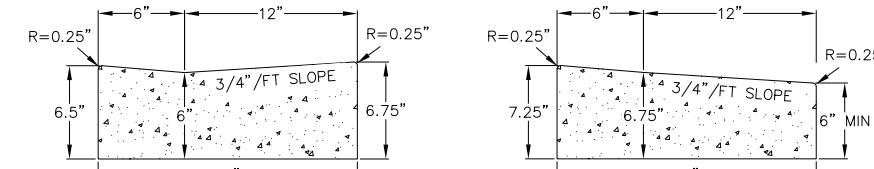
1 CONCRETE PAD
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

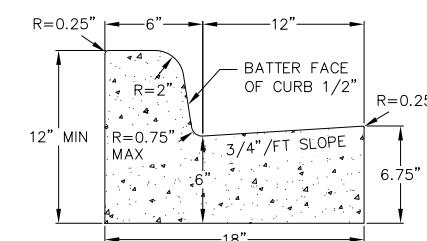


1 TEMPORARY CONCRETE WASHOUT
NOT TO SCALE

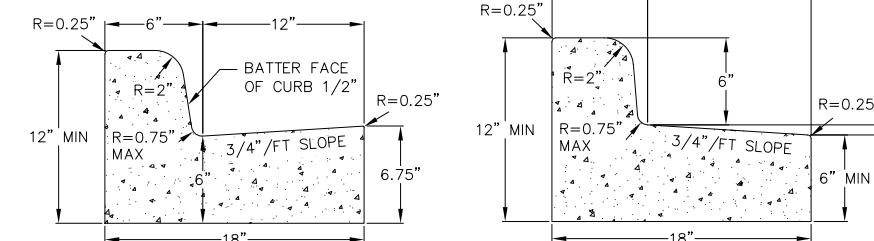


ACCESS RAMP
GUTTER CROSS SECTION

ACCESS RAMP
GUTTER REJECT SECTION

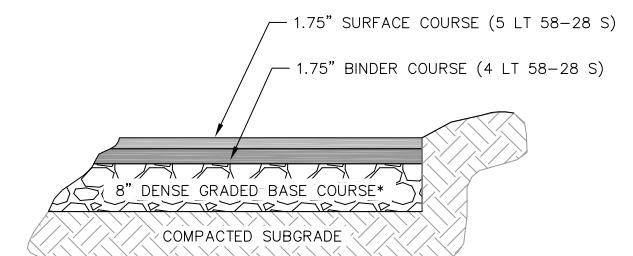


CURB AND GUTTER
CROSS SECTION



CURB AND GUTTER
REJECT SECTION

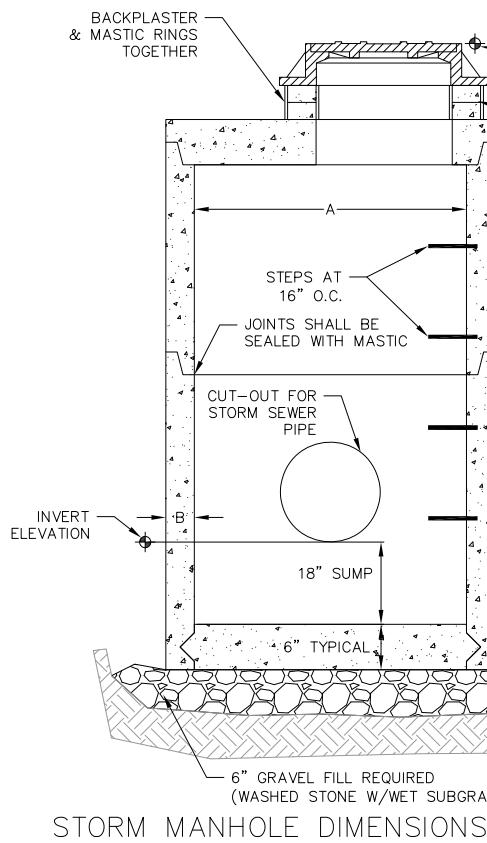
1 18" CONCRETE CURB AND GUTTER
NOT TO SCALE



*THE UPPER 4" SHOULD CONSIST OF 1 1/4" DENSE GRADED BASE; THE BOTTOM PART OF THE LAYER CAN CONSIST OF 3" DENSE GRADED BASE

1 SITE PAVEMENT
NOT TO SCALE

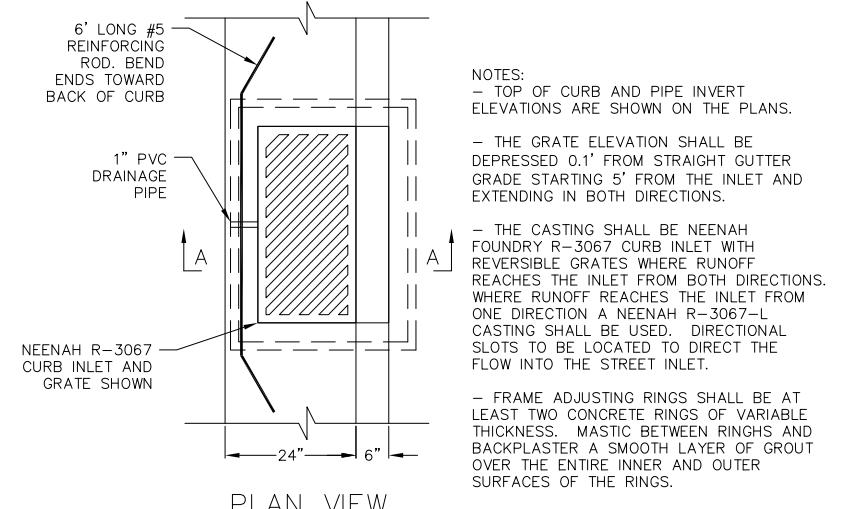
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STORM MANHOLE DIMENSIONS

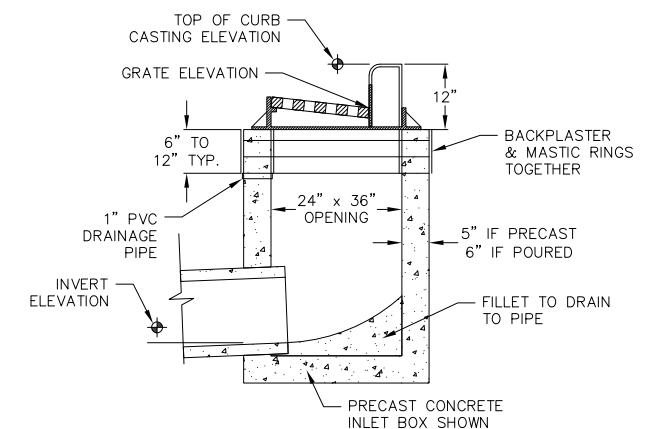
MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

2x3 OPENING IS REQUIRED FOR CATCH BASIN MANHOLES WITH CASTING AND RINGS AS SPECIFIED IN DETAIL 02721-P.



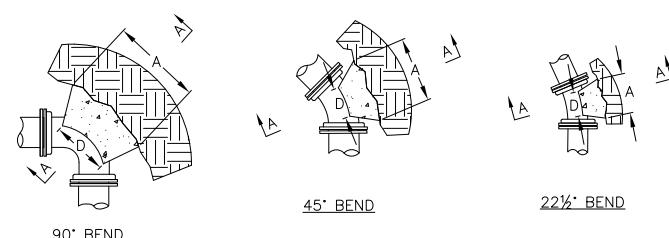
NOTES:

- TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.
- THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.
- THE CASTING SHALL BE NEENAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.
- FRAME ADJUSTING RINGS SHALL BE AT LEAST TWO CONCRETE RINGS OF VARIABLE THICKNESS. MASTIC BETWEEN RINGS AND BACKPLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.



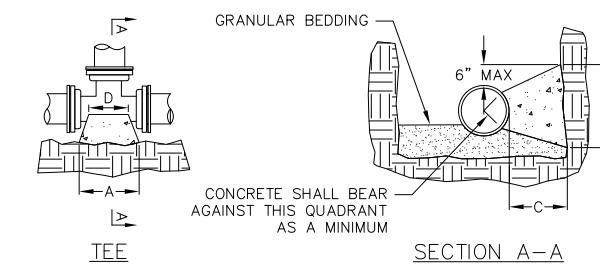
SECTION A-A

1 1 STORM SEWER MANHOLE CATCH BASIN
NOT TO SCALE



DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.

DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "Q" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.



CONCRETE SHALL BE CLASS "C", SEE SECTION 03301

PIPE SIZE*	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
4" 0'-10" 1'-6"	1'-6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
6" 1'-6" 1'-8"	1'-8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"	
8" 1'-9" 2'-4"	2'-4"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"	
10" 1'-9" 2'-4"	2'-4"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"	
12" 2'-3" 1'-7"	1'-7"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"	
16" 3'-8" 2'-10"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"		
20" 5'-0" 3'-10"	3'-10"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"		
24" 5'-4" 4'-8"	4'-8"							

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/SQ FT

* = FOR TEE THIS WILL BE THE BRANCH PIPE

1 1 BUTTRESS FOR BENDS
NOT TO SCALE

NOT FOR CONSTRUCTION

PLANT MATERIAL NOTES:

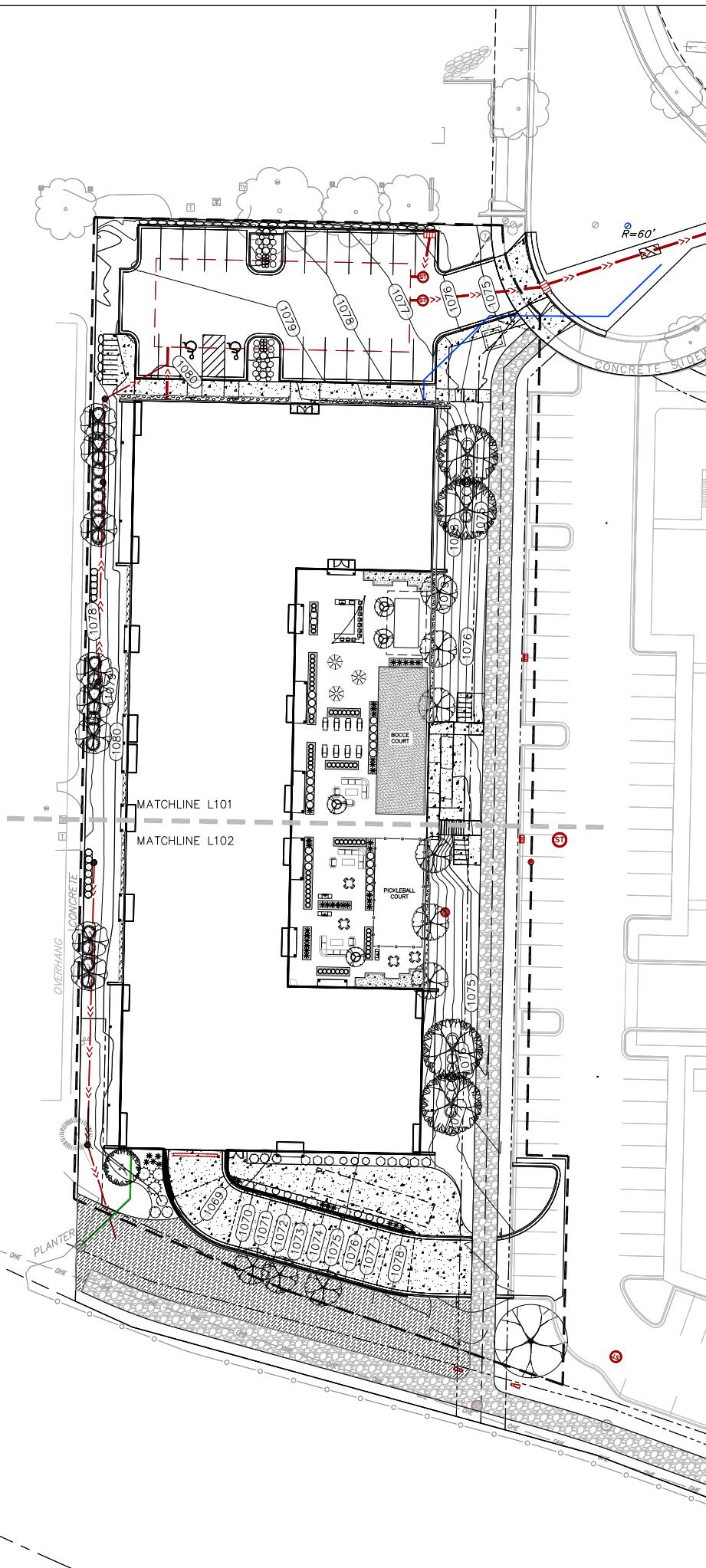
1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

LANDSCAPE MATERIAL NOTES:

1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
2. LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 3/8"X4" OR EQUAL, COLOR BLACK ANODIZED.
3. ALL TREES AND/OR SHRUBS PLANTED IN LAWN AREAS TO BE INSTALLED WITH A 5' DIAMETER MULCH RING AND SHOVEL CUT EDGE, A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH AS WELL AS TOPICALLY APPLIED TO TREE RING.

SEEDING AND PLUG PLANTING NOTES:

1. ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEEDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.



GROUNDCOVER SCHEDULE

	SHORTGRASS PRAIRIE SEED MIX	4,613 sf
	ROOF DECK PLANTER- LOW MIX	247 sf
	STONE MAINTENANCE STRIP	598 sf
	DECOMPOSED GRANITE BOCCIE SURFACE	1,121 sf

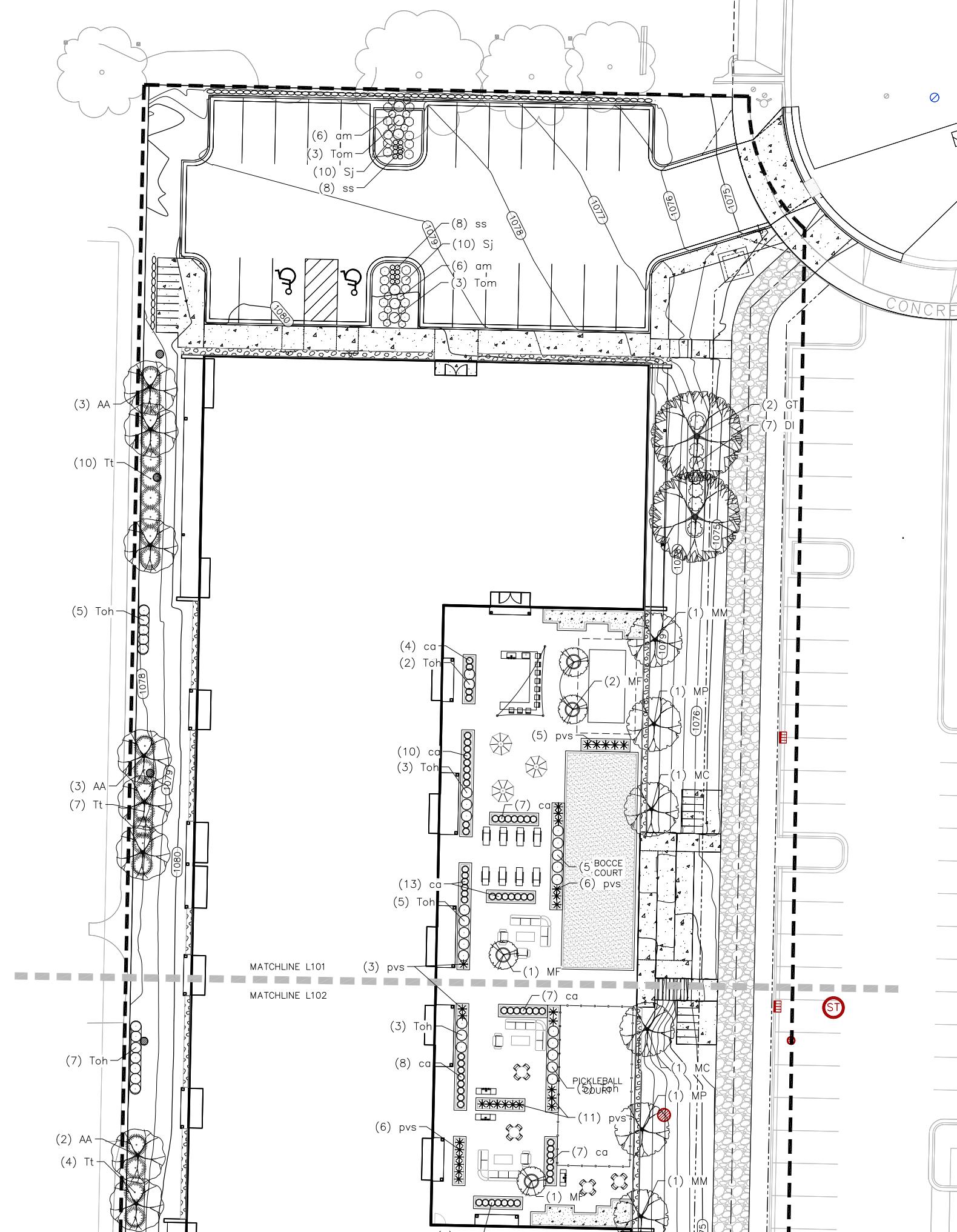
PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
AA	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2.5" Cal		8
GT	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2.5" Cal		4
QB	Quercus bicolor / Swamp White Oak	B & B	2.5" Cal		1
UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	B & B	6' ht.	Multi-Stem	1
MF	Malus sargentii 'Select A' TM / Firebird Sargent Crabapple	Cont.	10 gal		4
MC	Malus x 'Cardinal' / Cardinal Crabapple	B & B	1.5" Cal		2
MM	Malus x 'Malusquest' TM / Pink Sparkles Crabapple	B & B	1.5" Cal		2
MP	Malus x 'Prairie Maid' / Prairie Maid Crabapple	B & B	1.5" Cal		2
MS	Malus x 'Spring Snow' / Spring Snow Crabapple	B & B	1.5" Cal		3
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
DI	Diervilla lonicera / Dwarf Bush Honeysuckle	Cont.	3 Gal.		14
Hpj	Hydrangea paniculata 'Jane' TM / Little Lime Hydrangea	Cont.	5 Gal.		8
Sj	Spiraea japonica 'Magic Carpet' / Magic Carpet Spirea	Cont.	3 Gal.		20
Vd	Viburnum dentatum 'Little Joe' / Little Joe Viburnum	Cont.	5 Gal.		3
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Jp	Juniperus procumbens 'Nana' / Dwarf Japanese Garden Juniper	Cont.	5 Gal.		7
Js	Juniperus sabina 'Blue Forest' / Blue Forest Juniper	Cont.	5 Gal.		3
Tt	Taxus x media 'Tauntonii' / Taunton's Anglo-Japanese Yew	Cont.	5' ht.		21
Tom	Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae	Cont.	5 Gal.		6
Toh	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	B & B	5' ht.		44
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
am	Amsonia x 'Blue Ice' / Blue Ice Bluestar	Cont.	1 Gal.		12
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	Cont.	1 Gal.		63
pvs	Panicum virgatum 'Shenandoah' / Shenandoah Red Switch Grass	Cont.	1 Gal.		44
ss	Schizachyrium scoparium / Little Bluestem Grass	Cont.	1 Gal.		16

City of Madison Landscape Worksheet		Date:	06.27.2022				
Address:		757 Zor Shrine Pl	77,828	-	37,505	=	40,323 sf
Total Square Footage of Developed Area:		(Site Area)			(Building Footprint at Grade)		
Total Landscape Points Required (<5 ac):		40,323	/ 300 =	134	x 5 =	672	
Landscape Points Required >5 ac:			/ 100 =	0	x 1 =		672
					Credits/ Existing Landscaping	New/ Proposed Landscaping	
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved	
Overstory deciduous tree	2.5" cal	35	0	13	455		
Tall Evergreen Tree	5-6 feet tall	35	0	0	0		
Ornamental tree	1.5" cal	15	0	14	210		
Upright evergreen shrub	3-4 feet tall	10	0	44	440		
Shrub, deciduous	#3 gallon	3	0	45	135		
Shrub, evergreen	#3 gallon	4	0	37	148		
Ornamental grasses/ perennials	#1 gallon	2	0	135	270		
Ornamental/ decorative fencing or wall	n/a	4 per 10 LF	0	0	0		
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.	0	0	0		
Landscape Furniture for public seating and/or transit connections		5 points per "seat"	0	0	0		
Sub Totals			0	0	1658		
					Total Points Provided:	1658	

GRAPHIC SCALE FEET
0 15 30 60

NOT FOR CONSTRUCTION



PLANT SCHEDULE

CANOPY TREES

GT Gleditsia triacanthos 'Shademaster' TM / Shademaster Locust
QB Quercus bicolor / Swamp White Oak

UNDERSTORY TREES

AG Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry
MF Malus sargentii 'Select A' TM / Firebird Sargent Crabapple
MC Malus x 'Cardinal' / Cardinal Crabapple
MM Malus x 'Mausquest' TM / Pink Sparkles Crabapple
MP Malus x 'Prairie Maid' / Prairie Maid Crabapple
MS Malus x 'Spring Snow' / Spring Snow Crabapple

DECIDUOUS SHRUBS

DI Dierilla lonicera / Dwarf Bush Honeysuckle
Hpj Hydrangea paniculata 'Jane' TM / Little Lime Hydrangea
Sj Spiraea japonica 'Magic Carpet' / Magic Carpet Spirea
Vd Viburnum dentatum 'Little Joe' / Little Joe Viburnum

EVERGREEN SHRUBS

Jp Juniperus procumbens 'Nana' / Dwarf Japanese Garden Juniper
Js Juniperus sabina 'Blue Forest' / Blue Forest Juniper
Tom Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae
Toh Thuja occidentalis 'Holmstrup' / Holmstrup Cedar

PERENNIALS

am Amsonia x 'Blue Ice' / Blue Ice Bluestar
ca Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
pvs Panicum virgatum 'Shenandoah' / Shenandoah Red Switch Grass
ss Schizachyrium scoparium / Little Bluestem Grass

GROUNDCOVER SCHEDULE

	SHORTGRASS PRAIRIE SEED MIX
	ROOF DECK PLANTER- LOW MIX
	STONE MAINTENANCE STRIP
	DECOMPOSED GRANITE BOCCE SURFACE

NOT FOR CONSTRUCTION

PLANT SCHEDULE

CANOPY TREES

GT
QB

BOTANICAL / COMMON NAME
Gleditsia triacanthos 'Inermis' 'Shademaster' TM / Shademaster Locust
Quercus bicolor / Swamp White Oak

UNDERSTORY TREES

AG
MF
MC
MM
MP
MS

BOTANICAL / COMMON NAME
Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry
Malus sargentii 'Select A' TM / Firebird Sargent Crabapple
Malus x 'Cardinal' / Cardinal Crabapple
Malus x 'Malusquest' TM / Pink Sparkles Crabapple
Malus x 'Prairie Maid' / Prairie Maid Crabapple
Malus x 'Spring Snow' / Spring Snow Crabapple

DECIDUOUS SHRUBS

DI
Hpj
Sj
Vd

BOTANICAL / COMMON NAME
Diervilla lonicera / Dwarf Bush Honeysuckle
Hydrangea paniculata 'Jane' TM / Little Lime Hydrangea
Spiraea japonica 'Magic Carpet' / Magic Carpet Spirea
Viburnum dentatum 'Little Joe' / Little Joe Viburnum

EVERGREEN SHRUBS

Jp
Js
Tom
Toh

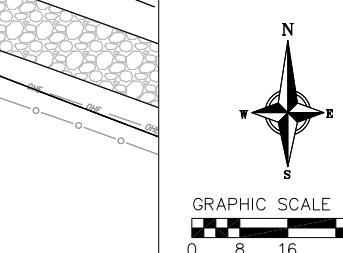
BOTANICAL / COMMON NAME
Juniperus procumbens 'Nana' / Dwarf Japanese Garden Juniper
Juniperus sabina 'Blue Forest' / Blue Forest Juniper
Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae
Thuja occidentalis 'Holmstrup' / Holmstrup Cedar

PERENNIALS

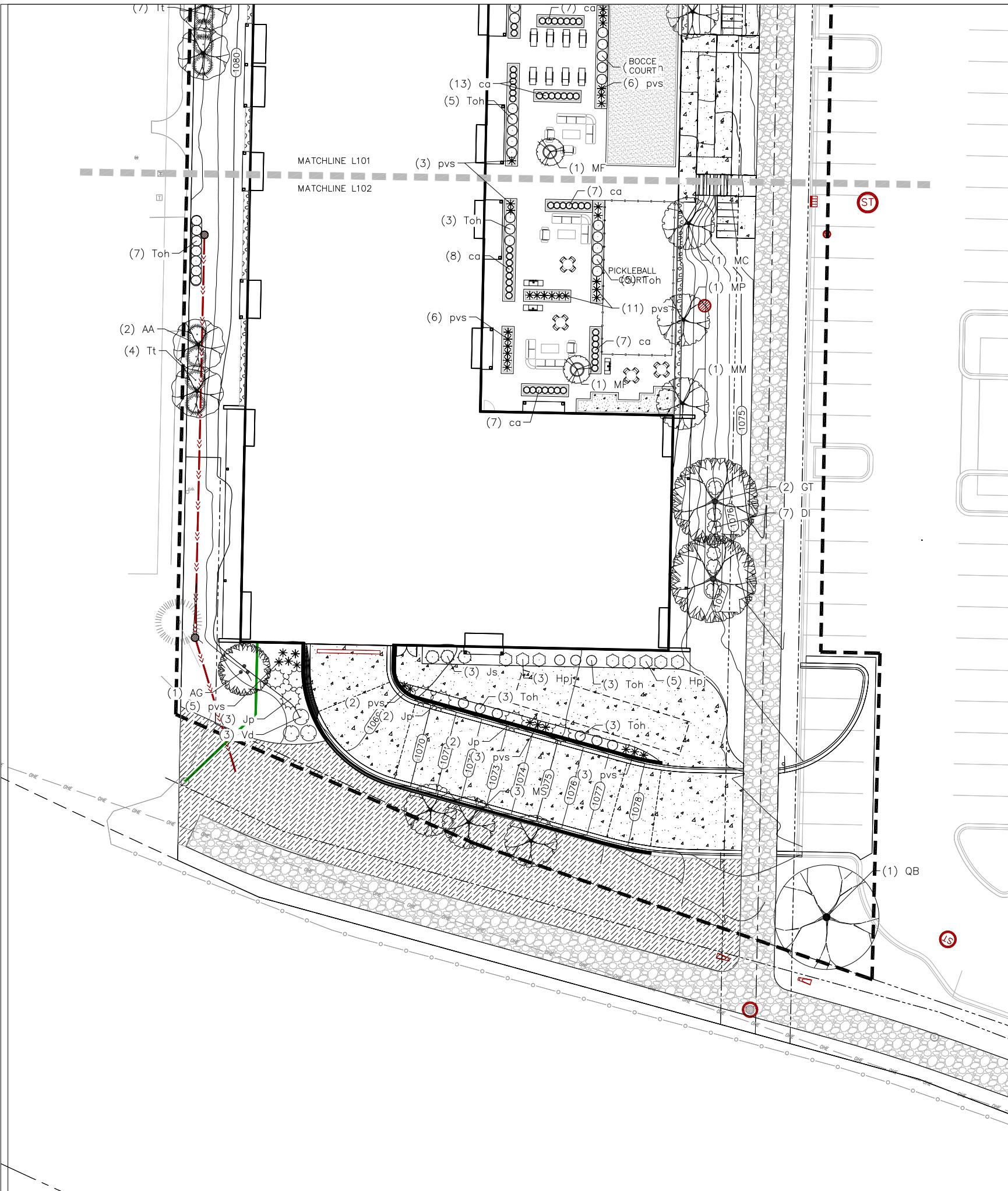
am
ca
pvs
ss

BOTANICAL / COMMON NAME
Amsonia x 'Blue Ice' / Blue Ice Bluestar
Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
Panicum virgatum 'Shenandoah' / Shenandoah Red Switch Grass
Schizachyrium scoparium / Little Bluestem Grass

GROUNDCOVER SCHEDULE



NOT FOR CONSTRUCTION



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Name:
Alex Haeger, AIA
Signature:

License #: 48654

Date: 06/27/2022

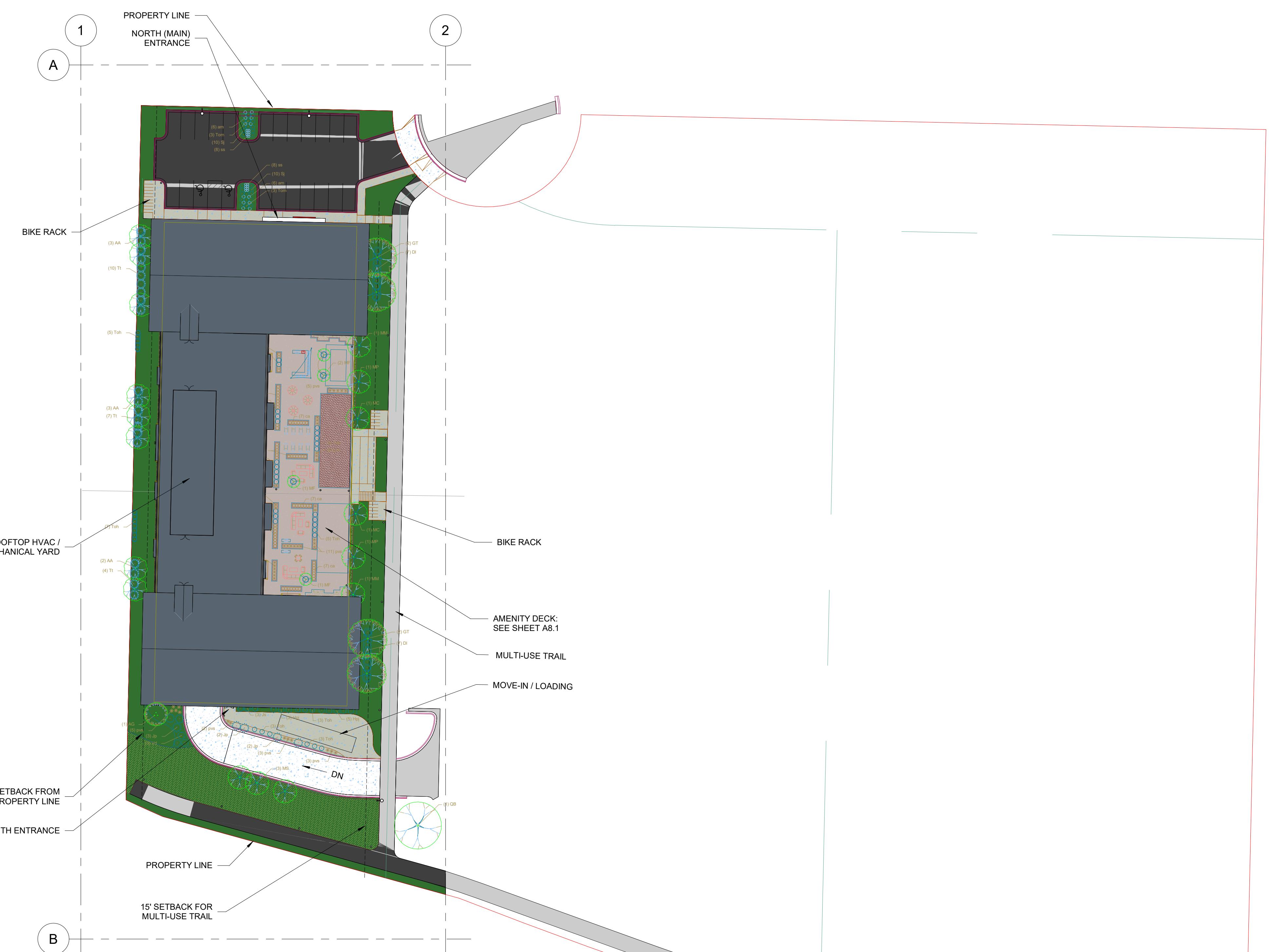
ISSUE DATE

ARCH. SITE PLAN

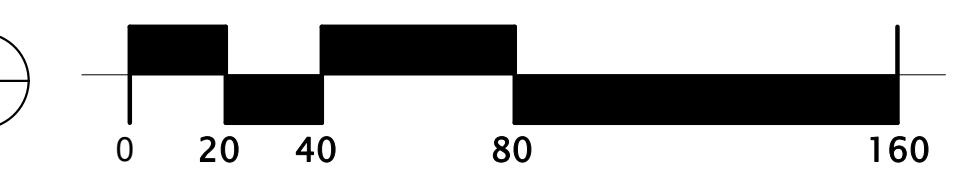
SHEET TITLE

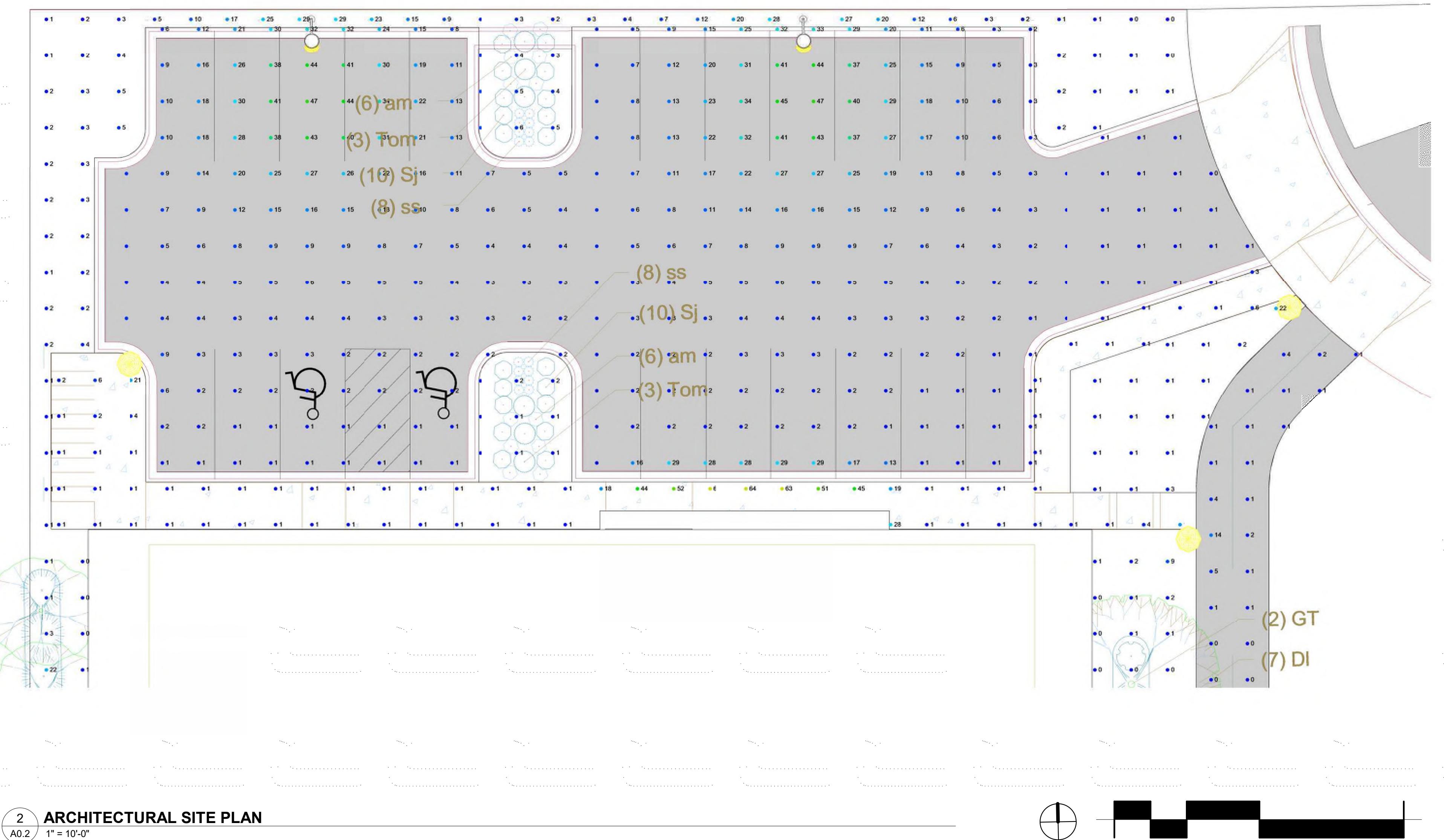
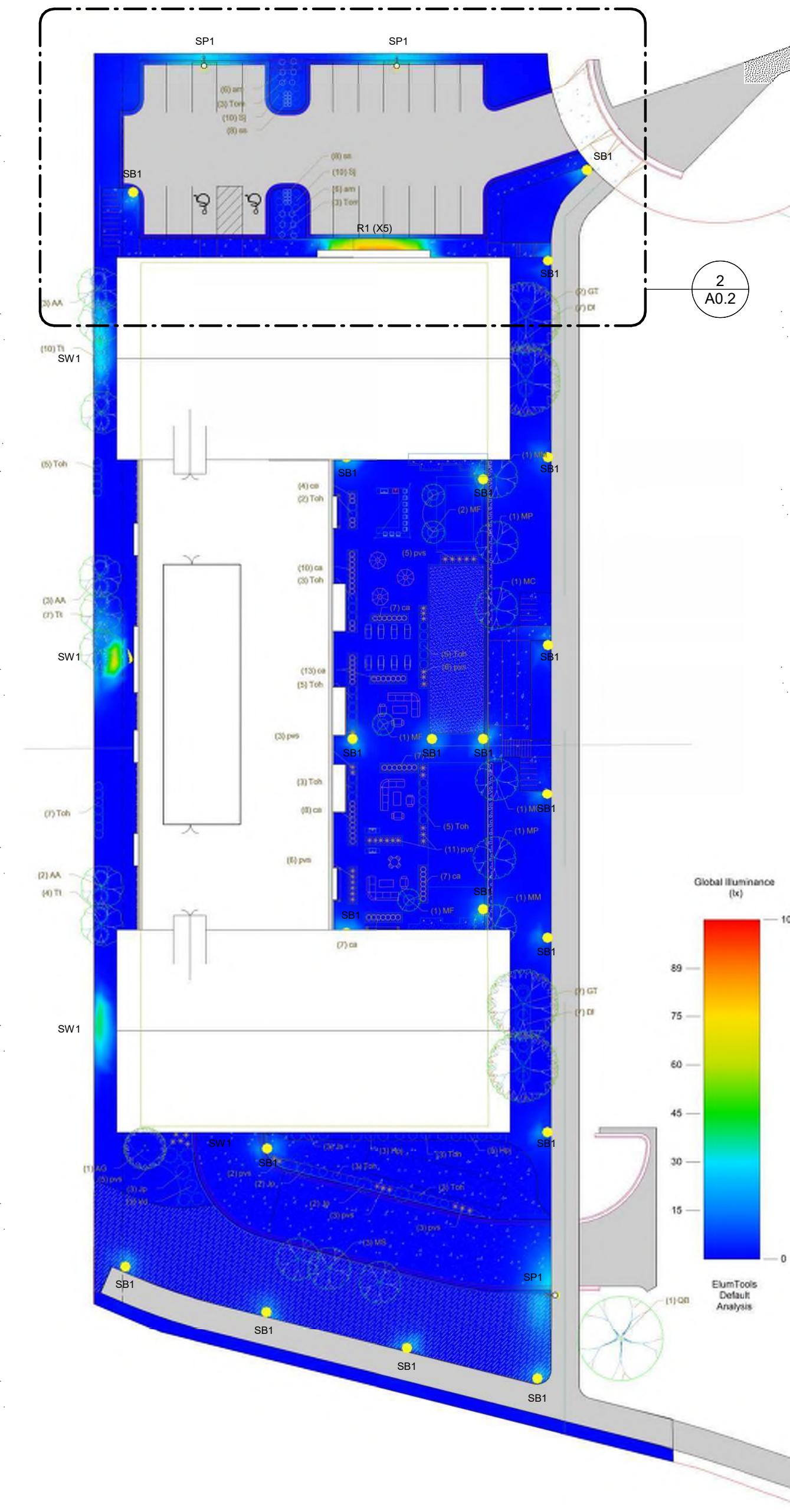
A0.1

SHEET



1
A0.1
1" = 40'-0"
ARCHITECTURAL SITE PLAN





LUMINAIRE SCHEDULE							
Mark	Description	Mounting	Mounting Height	Lamp	Color	Lumens	Voltage
R1	6" RECESSED DOWNLIGHT	RECESSED	N/A	LED	4000K	2000	120 V
SB1	42" HIGH BALLARD	CONCRETE BASE	N/A	LED	3000K	600	120 V
SP1	POLE MOUNT AREA LIGHT, TYPE R3 DISTRIBUTION	POLE	+20'-0" AFF	LED	4000K	6500	120 V
SW1	WALL PACK AREA LIGHT, FORWARD THROW DISTRIBUTION	WALL	+8'-0" AFF	LED	4000K	1200	120 V
						52 W	24 W
						8 W	BOD: LITHONIA LDN6
							BOD: LUMIERE EON SERIES



R1

SB1

SP1

SW1

License #: 48654
Date: 06/27/2022

ISSUE DATE

06/27/2022

SITE
LIGHTING

SHEET TITLE

A0.2

SHEET

06/27/2022

06/27/2022

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Existing Site Context

DESIGN DRIVERS FROM SITE CONTEXT:

NATURAL MATERIALS

- Lap Siding
- Brick
- Stone
- Wood

GABLE ROOFS

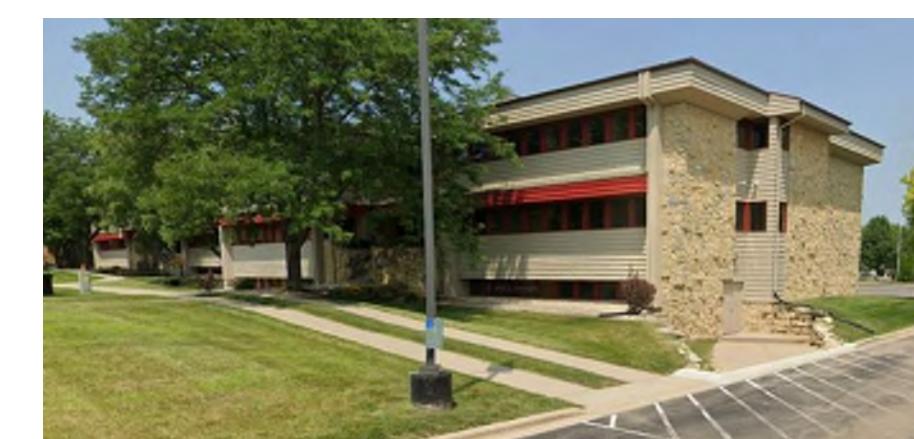
CONTRASTED TRIM

ASPHALT SHINGLES

1



2



3



4



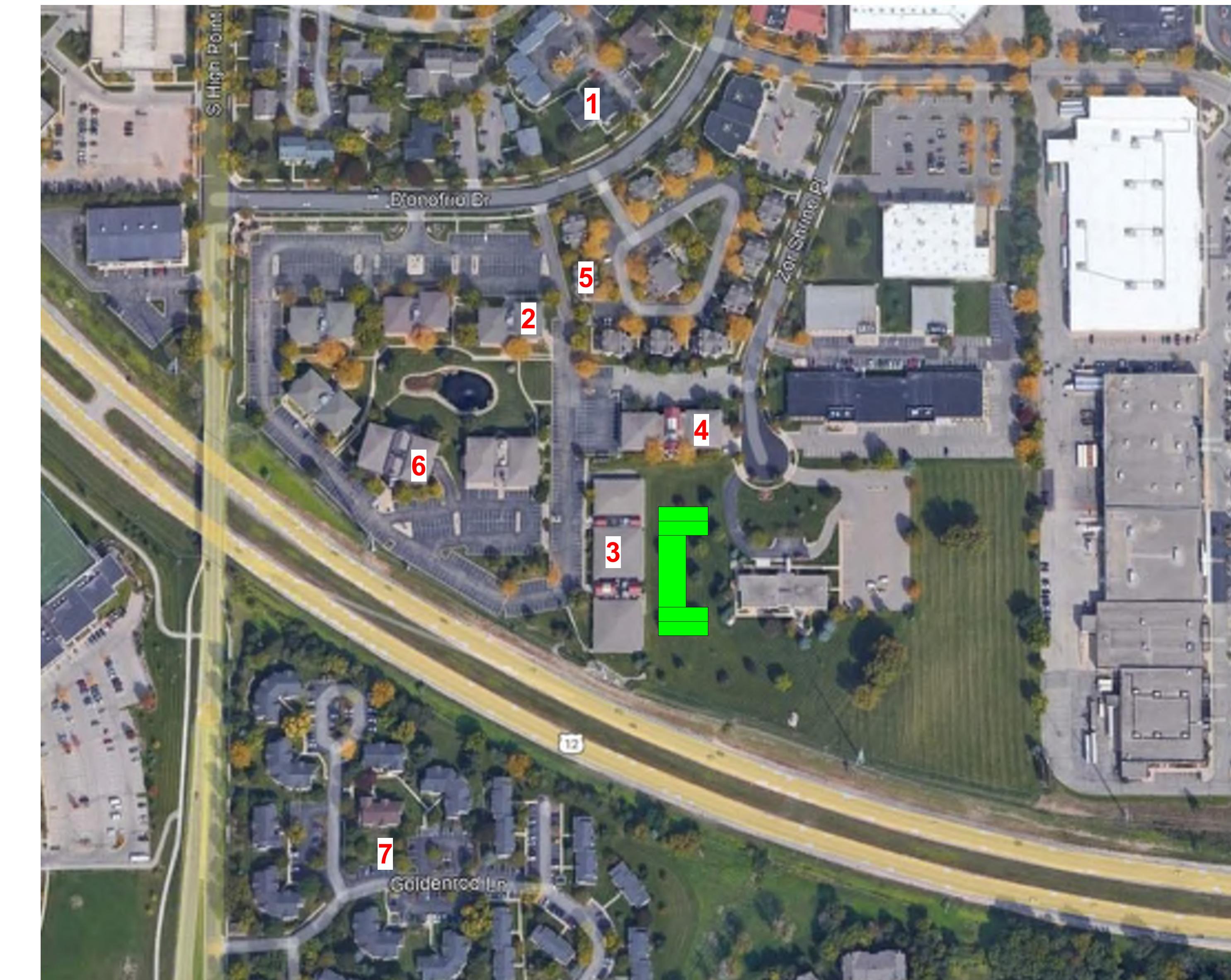
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6



7



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 Name:
 Alex Haecker, AIA
 Signature:

 License #: 48654
 Date: 06/27/2022

ISSUE DATE

SITE CONTEXT

SHEET TITLE

A0.3

SHEET

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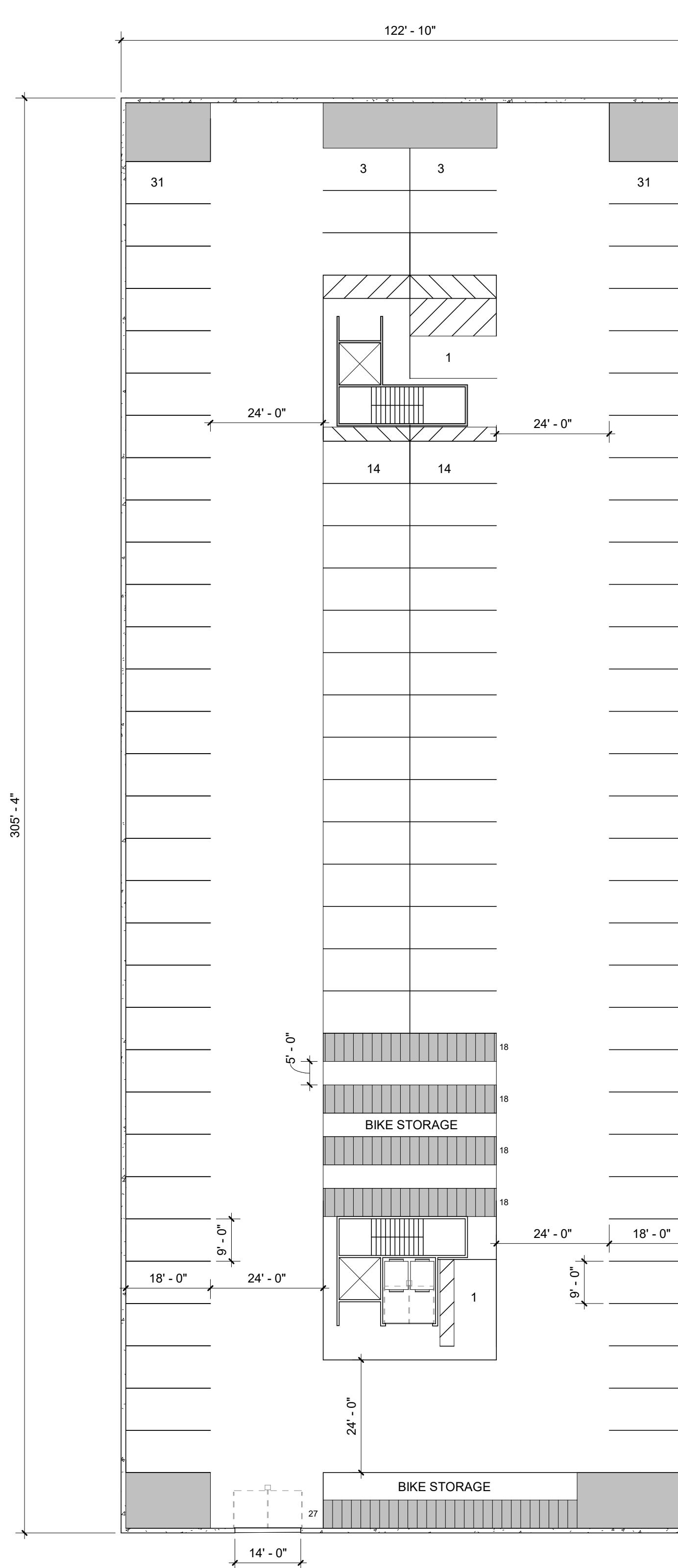
ISSUE DATE

GARAGE AND
 FIRST LEVEL
 PLAN

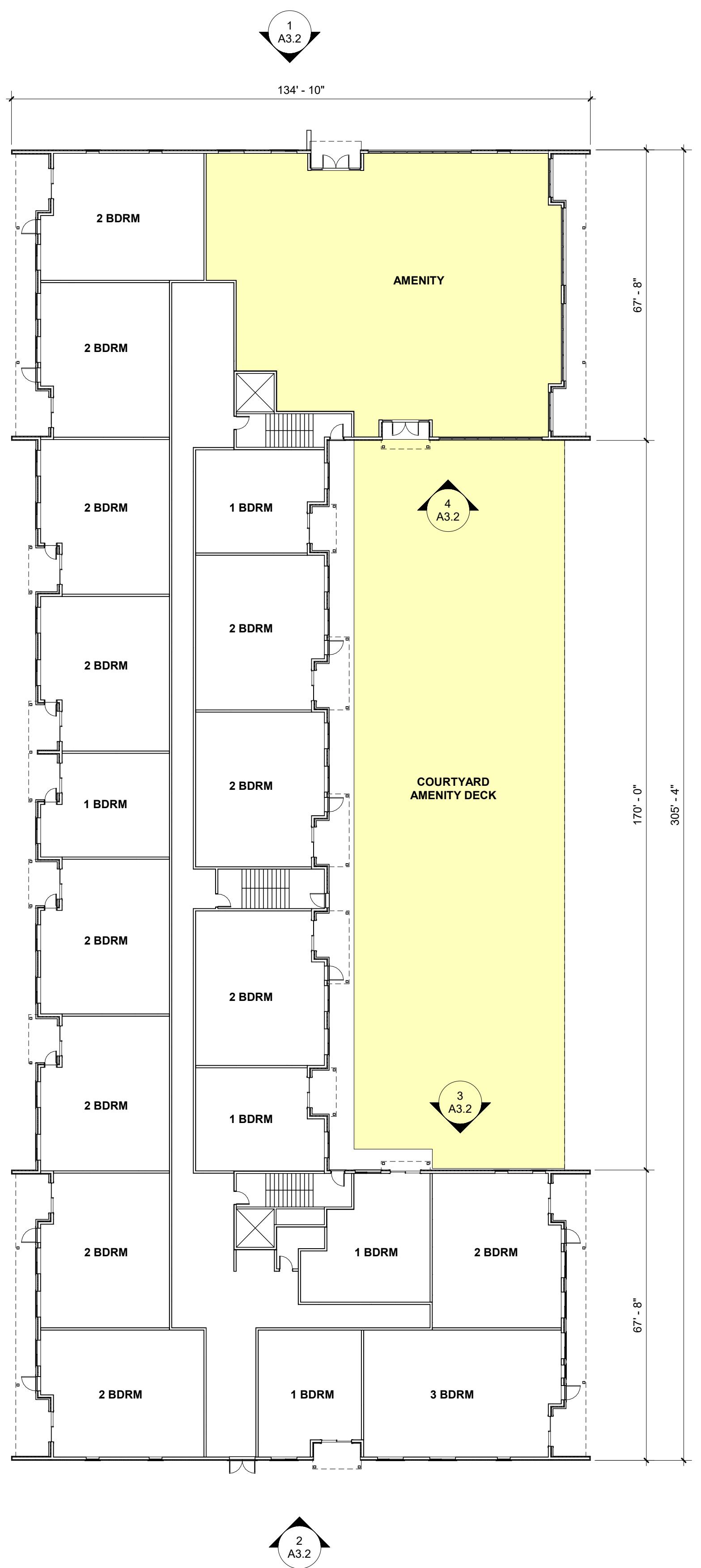
SHEET TITLE

A1.1

SHEET

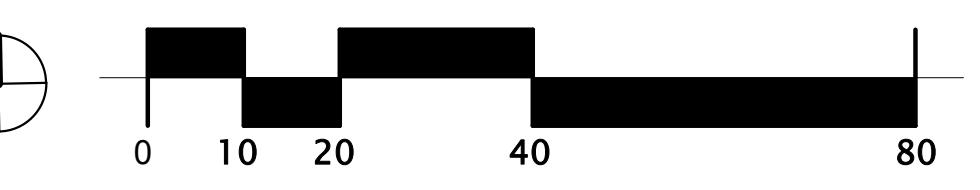


1 WP-01
 A1.1 1" = 20'-0"

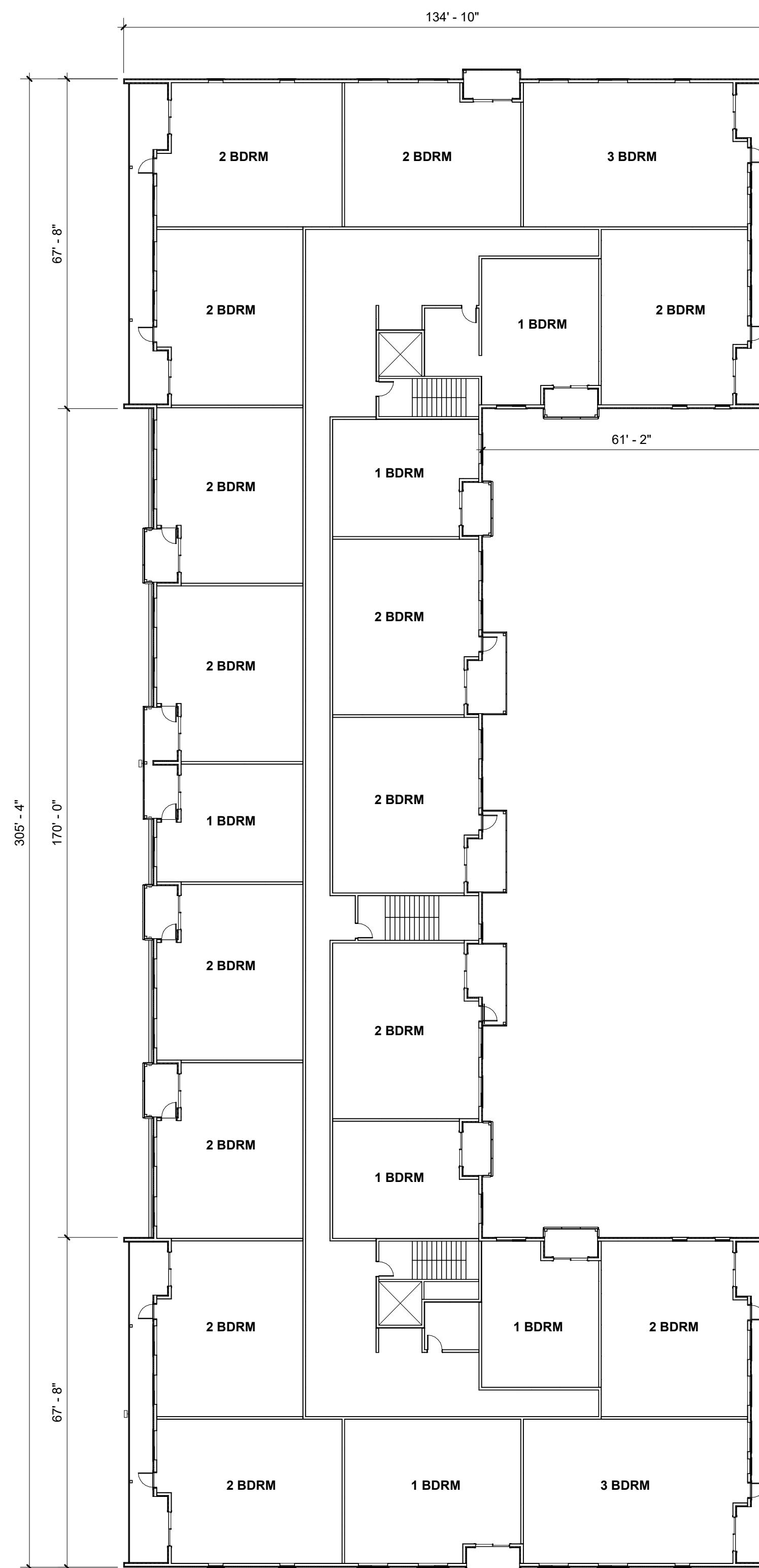


UNITS			
TYPE	COUNT	SQFT	TOTAL SQFT
1 BEDROOMS	25	720	18,000
2 BEDROOMS	71	1,100	78,100
3 BEDROOMS	9	1,325	11,925
		TOTAL	108,025

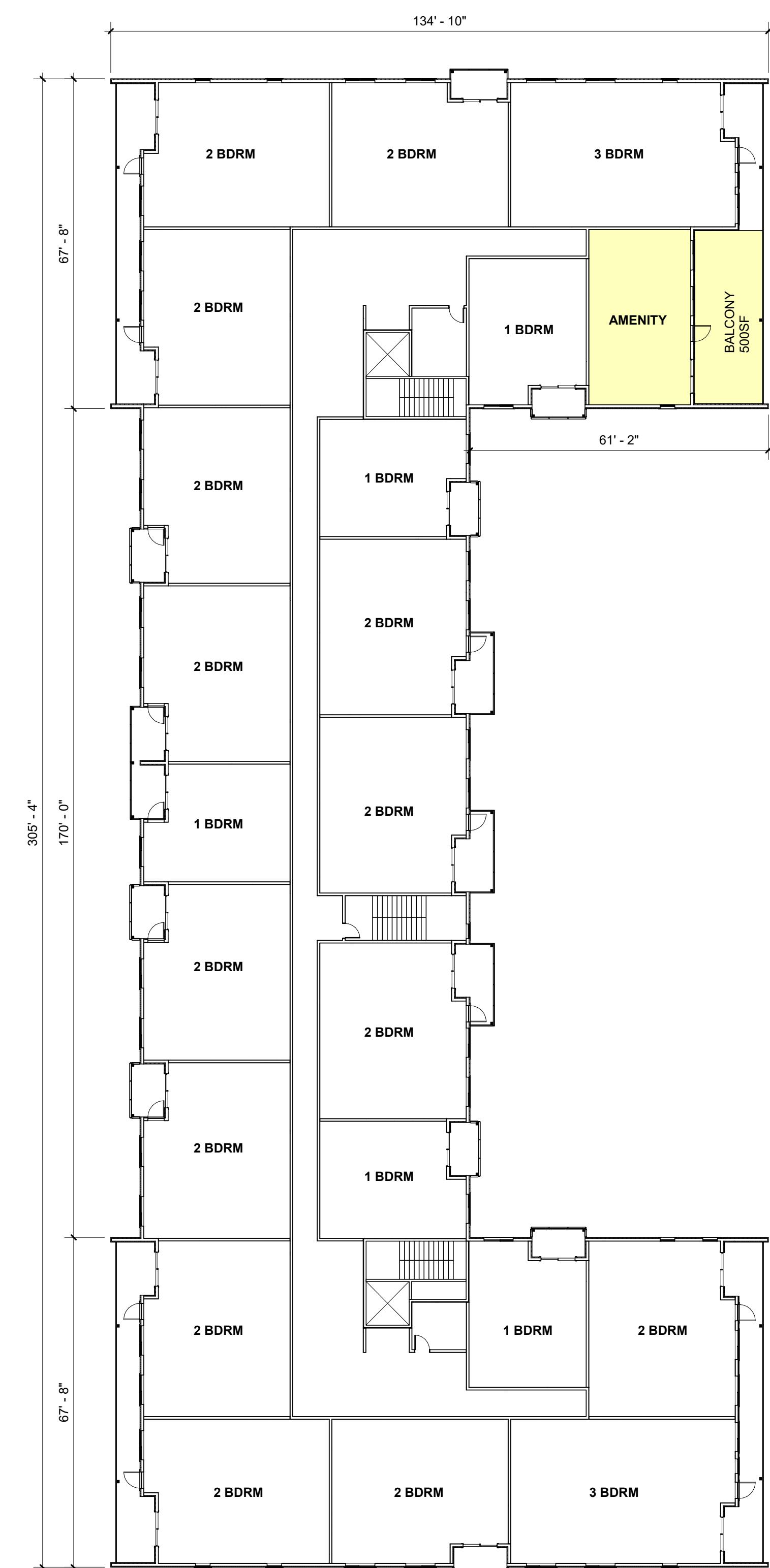
AMENITY			
TYPE	COUNT	SQFT	TOTAL SQFT
LVL 1 AMENITY (INT)	1	4,780	4,780
LVL 1 AMENITY (EXT)	1	8,440	8,440
LVL 5 AMENITY (INT)	1	750	750
LVL 5 AMENITY (EXT)	1	500	500
		TOTAL	14,470



2 WP-P1
 A1.1



1 TYPICAL FLOOR PLAN 2-4
A1.2 1" = 20'-0"



2 FIFTH FLOOR PLAN
A1.2 1" = 20'-0"

UNITS

TYPE	COUNT	SQFT	TOTAL SQFT
1 BEDROOMS	25	720	18,000
2 BEDROOMS	71	1,100	78,100
3 BEDROOMS	9	1,325	11,925
TOTAL			108,025

AMENITY

TYPE	COUNT	SQFT	TOTAL SQFT
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TOTAL			14,470

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48654

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ISSUE

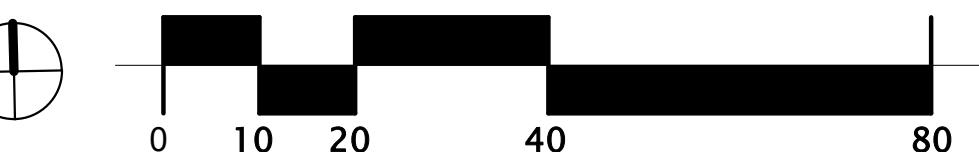
DATE

2ND AND 5TH
LEVEL PLAN

SHEET TITLE

A1.2

SHEET



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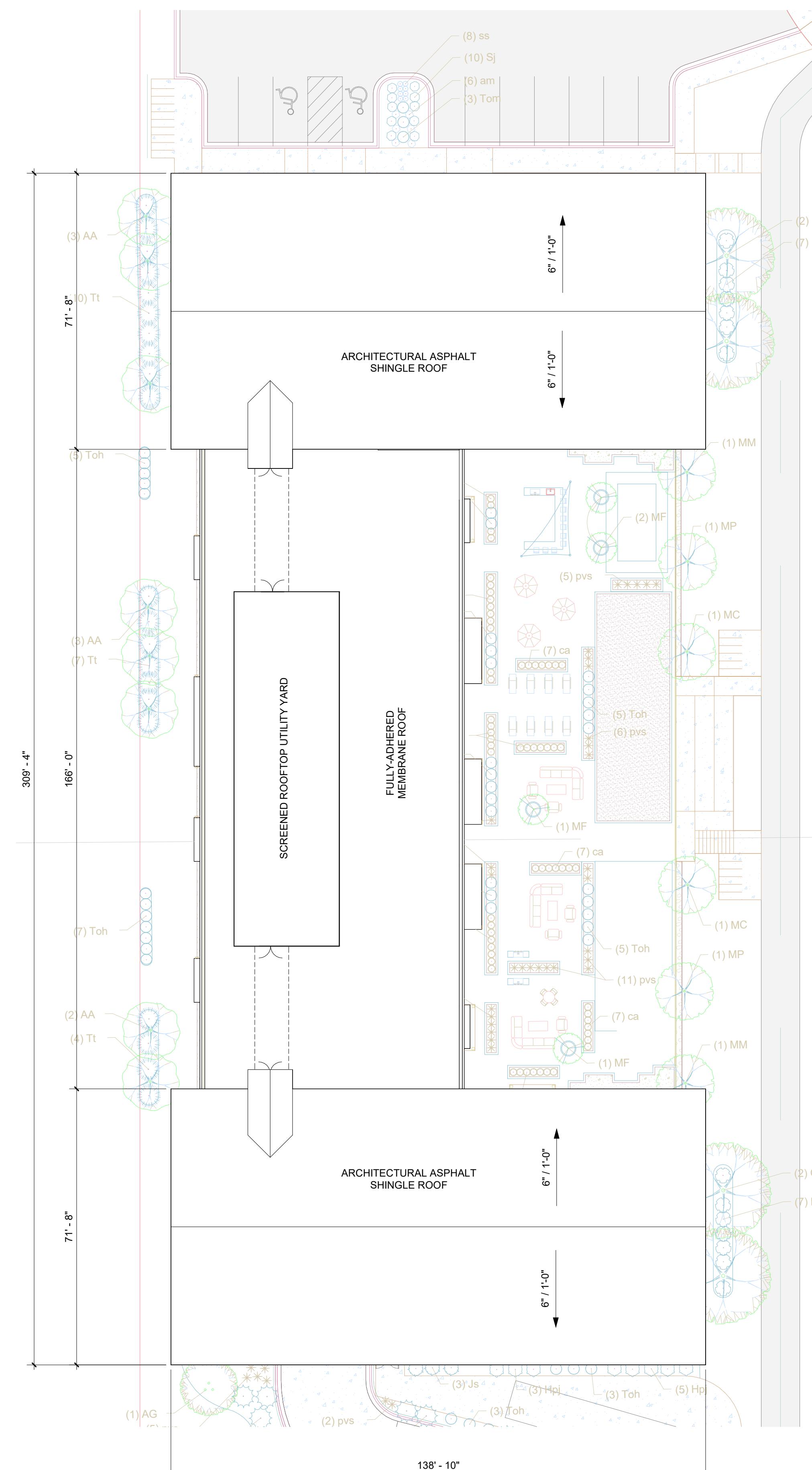
Date:

06/27/2022

ISSUE

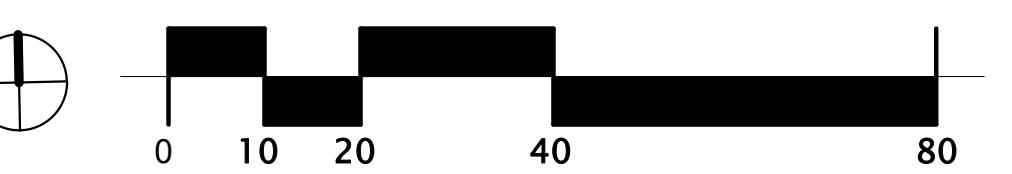
DATE

ROOF PLAN



1
A1.3
1" = 20'-0"

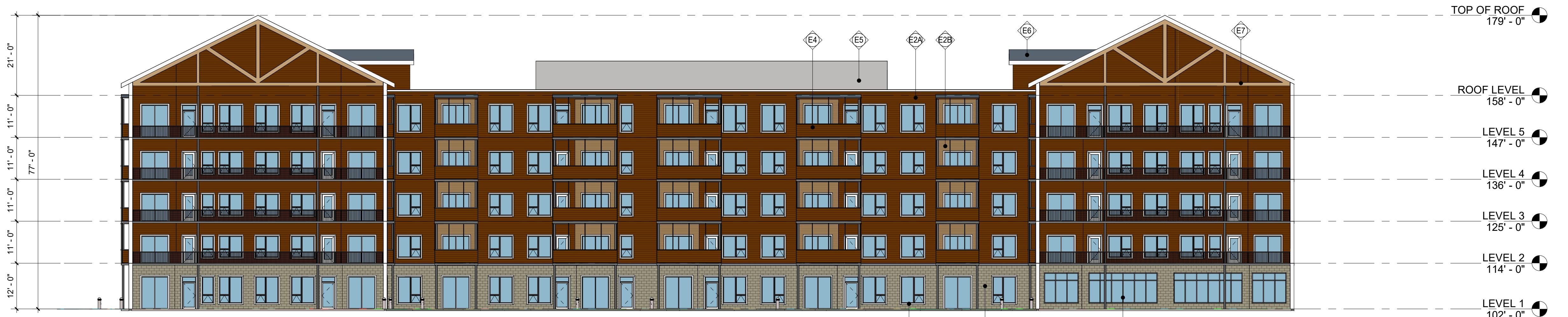
ROOF / MECH PLAN



SHEET TITLE

A1.3

SHEET



EXTERIOR MATERIAL KEYNOTES	
E2A	LAP SIDING (COLOR: RAFTER BROWN; STYLE: SMOOTH 8 1/4"; BOD: HARDIEPLANK)
E2B	PANEL SIDING AT RECESSED BALCONIES (WOOD-LOOK PANELS - COLOR: VARIABLE CEDAR, STYLE: FIBER CEMENT PANEL 17 7/8" IN STAGGERED PATTERN)
E2C	STONE VENEER CLADDING (TBD)
E2D	5/4 SMOOTH TRIM (COLOR: ARCTIC WHITE; STYLE: 3.5" FIBER CEMENT PANEL; BOD HARDI TRIM BOARD)
E3	STOREFRONT SYSTEM IN PAINTED BLACK OR DARK BRONZE ANODIZED.
E4	SCREENED BALCONIES.
E5	PATTERENED PERFORATED METAL PANEL IN U-CHANNEL FRAME FOR MECHANICAL EQUIPMENT SCREENING.
E6	ARCHITECTURAL ASPHALT SHINGLES (COLOR: PEWTER; BOD CERTAINTEED LANDMARK SERIES)
E7	EXPOSED STRUCTURAL GLULAM TRUSS.



EXTERIOR MATERIAL KEYNOTES

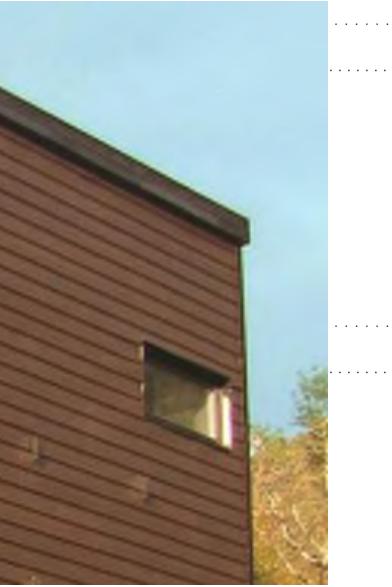
E2A	LAP SIDING (COLOR: RAFTER BROWN; STYLE: SMOOTH 8 1/4"; BOD: HARDIEPLANK)
E2B	PANEL SIDING AT RECESSED BALCONIES (WOOD-LOOK PANELS - COLOR: VARIABLE CEDAR; STYLE: FIBER CEMENT PANEL 17 7/8" IN STAGGERED PATTERN)
E2C	STONE VENEER CLADDING (TBD)
E2D	5/4 SMOOTH TRIM (COLOR: ARCTIC WHITE; STYLE: 3.5" FIBER CEMENT PANEL; BOD HARDI TRIM BOARD)
E3	STOREFRONT SYSTEM IN PAINTED BLACK OR DARK BRONZE ANODIZED.
E4	SCREENED BALCONIES.
E5	PATTERNELED PERFORATED METAL PANEL IN U-CHANNEL FRAME FOR MECHANICAL EQUIPMENT SCREENING.
E6	ARCHITECTURAL ASPHALT SHINGLES (COLOR: PEWTER; BOD CERTIFIED LANDMARK SERIES)
E7	EXPOSED STRUCTURAL GLULAM TRUSS.

STRUCTURAL ENGINEER

CIVIL/LA ENGINEER

PROJECT:

MATERIAL PALETTE



E2A FIBERCEMENT LAP SIDING



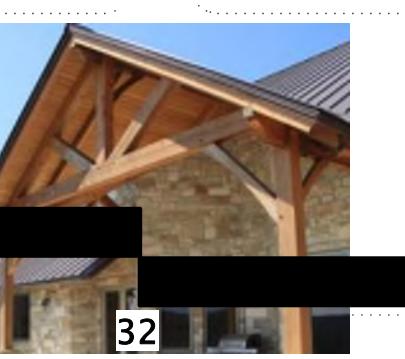
E2B FIBERCEMENT FAUX WOOD SIDING



E2C STONE VENEER CLADDING



E5 PERFORATED METAL SCREEN



E7 EXPOSED GLULAM TRUSS

 ZOR SHRINE WEST
 MADISON, WI

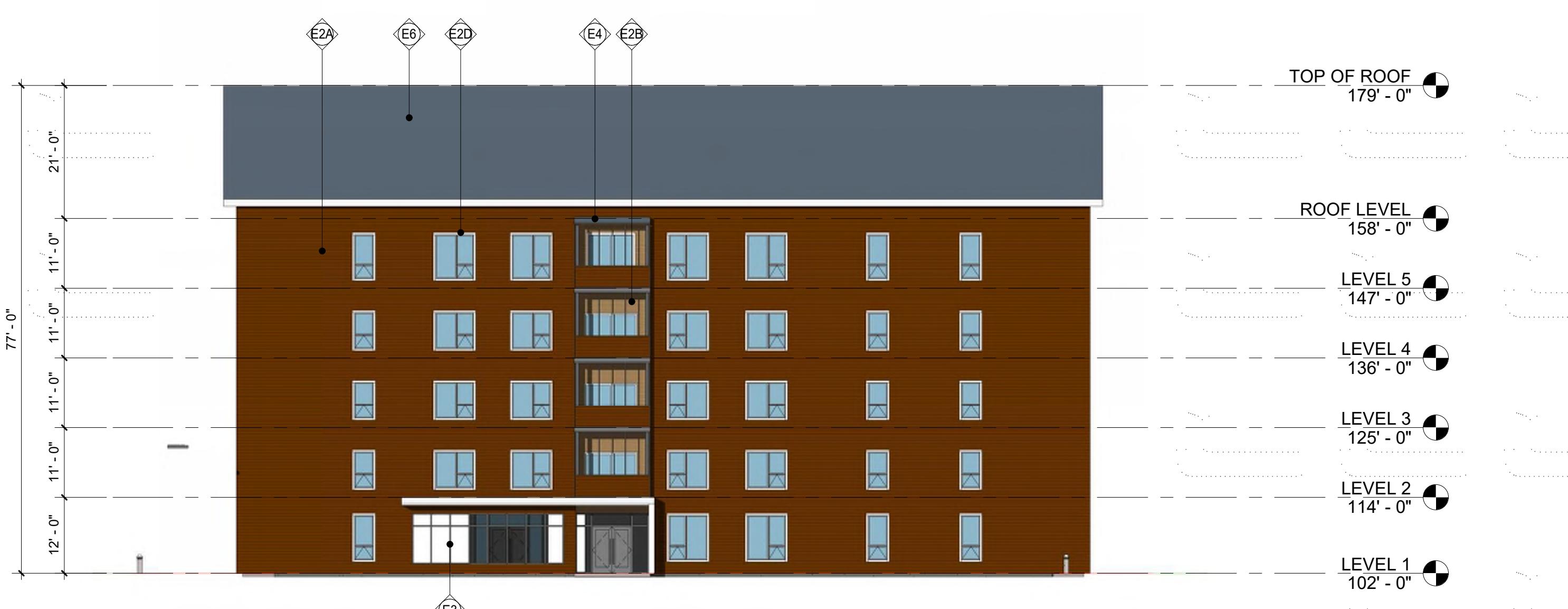
NOT FOR CONSTRUCTION



4 NORTH COURTYARD ELEVATION

A3.2

1/16" = 1'-0"



1 NORTH ELEVATION

A3.2

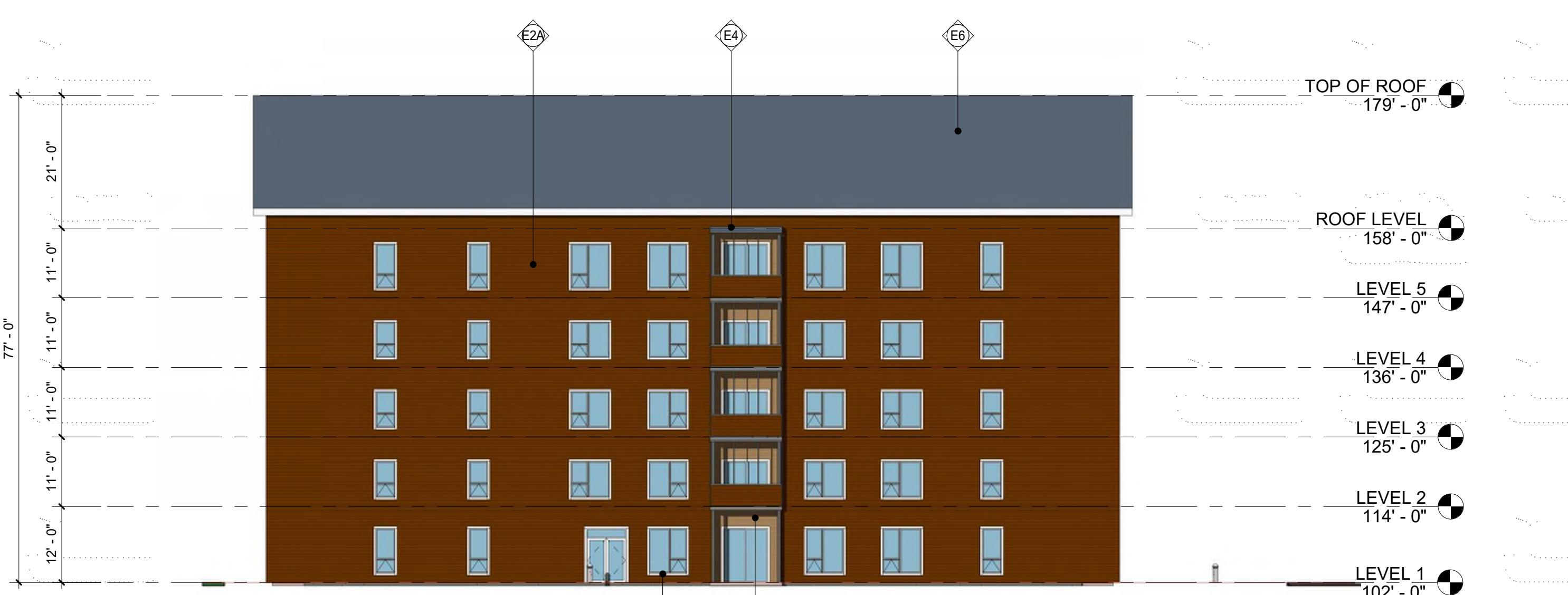
1/16" = 1'-0"



3 SOUTH COURTYARD ELEVATION

A3.2

1/16" = 1'-0"



2 SOUTH ELEVATION

A3.2

1/16" = 1'-0"

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Signature:

License #:

48654

Date:

06/27/2022

ISSUE

DATE

EXTERIOR ELEVATIONS - COLOR

SHEET TITLE

A3.2

SHEET

E7

EXPOSED GLULAM TRUSS

0 8 16 32 64





1 NORTH COURTYARD ELEVATION (B&W)

A3.4

1/16" = 1'-0"



2 NORTH ELEVATION (B&W)

A3.4

1/16" = 1'-0"



3 SOUTH COURTYARD ELEVATION (B&W)

A3.4

1/16" = 1'-0"



4 SOUTH ELEVATION (B&W)

A3.4

1/16" = 1'-0"

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Signature:

License #:

48654

Date:

06/27/2022

ISSUE

DATE

MATERIAL LEGEND	
	FIBERCEMENT LAP SIDING
	FIBERCEMENT FAUX WOOD SIDING
	STONE VENEER CLADDING
	PERFORATED METAL SCREEN

EXTERIOR ELEVATIONS - B&W

SHEET TITLE _____

A3.4

SHEET

0 8 16 32 64

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 Signature:

License #: 48654
 Date: 06/27/2022

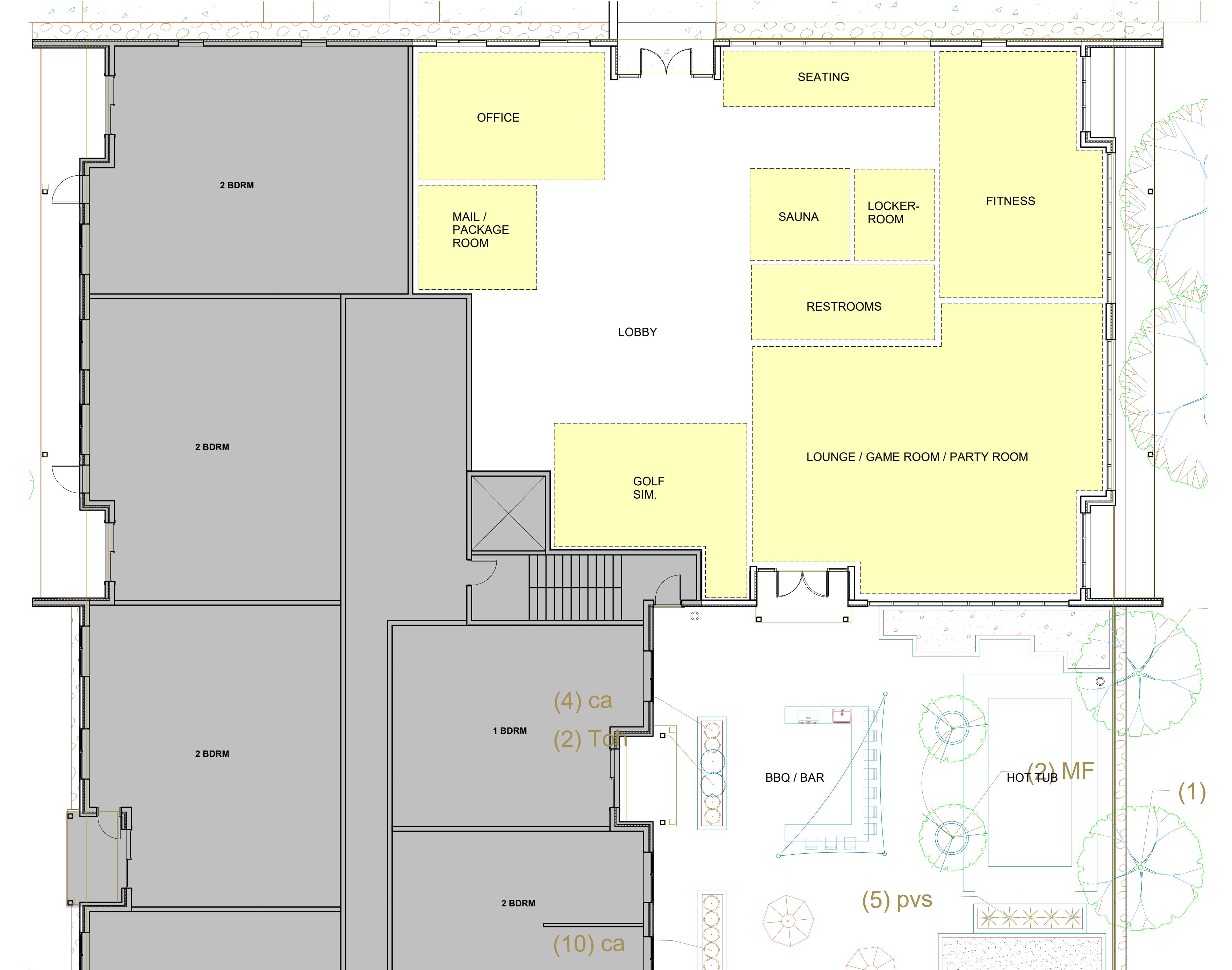
ISSUE DATE

COURTYARD
AND
AMENITY
SPACE

SHEET TITLE

A8.1

SHEET





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Name:
Alex Haecker, AIA
Signature:

License #: 48654

Date: 06/27/2022

ISSUE DATE

PERSPECTIVE VIEWS

SHEET TITLE

A12.1

SHEET



PERSPECTIVE VIEW FROM SE CORNER

ZOR SHRINE WEST
MADISON, WI

NOT FOR CONSTRUCTION



PERSPECTIVE VIEW FROM NE CORNER

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Name:
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Signature:

License #: 48654
Date: 06/27/2022

ISSUE

DATE

PERSPECTIVE
VIEWS

SHEET TITLE

A12.2

SHEET



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 575 Zor Shrine Place West Lot

Contact Name & Phone #: Carter Lanser (Vierbicher) 608-831-3946

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall?			
If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?			
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?			
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 3206.6 for further requirements.			
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions: Will discuss with fire department			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i>			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>			

Attach an additional sheet if further explanation is required for a

No new hydrants proposed for this phase

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

