

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: September 17, 2008

UDC MEETING DATE: September 24, 2008

Action Requested

- ☐ Informational Presentation
☐ Initial Approval and/or Recommendation
☒ Final Approval and/or Recommendation

PROJECT ADDRESS: 610 John Nolen Drive

ALDERMANIC DISTRICT: 14

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:

Beechwood Development, LLC
1025 Thoroughbred Lane
DePere, WI 54115

ICON Architectural Group, PLLC
4200 James Ray Drive
Grand Forks, ND 58203

CONTACT PERSON: Bert Slind - Representative

Address: 4705 Monona Drive
Monona, WI 53716

Phone: (608) 221-1900

Fax: (608) 221-1910

E-mail address: bert@slinderealty.com

TYPE OF PROJECT:

(See Section A for:)

- ☐ Planned Unit Development (PUD)
☐ General Development Plan (GDP)
☐ Specific Implementation Plan (SIP)
☐ Planned Community Development (PCD)
☐ General Development Plan (GDP)
☐ Specific Implementation Plan (SIP)
☐ Planned Residential Development (PRD)
☒ New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
☐ School, Public Building or Space (Fee may be required)
☐ New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
☐ Planned Commercial Site

(See Section B for:)

- ☐ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

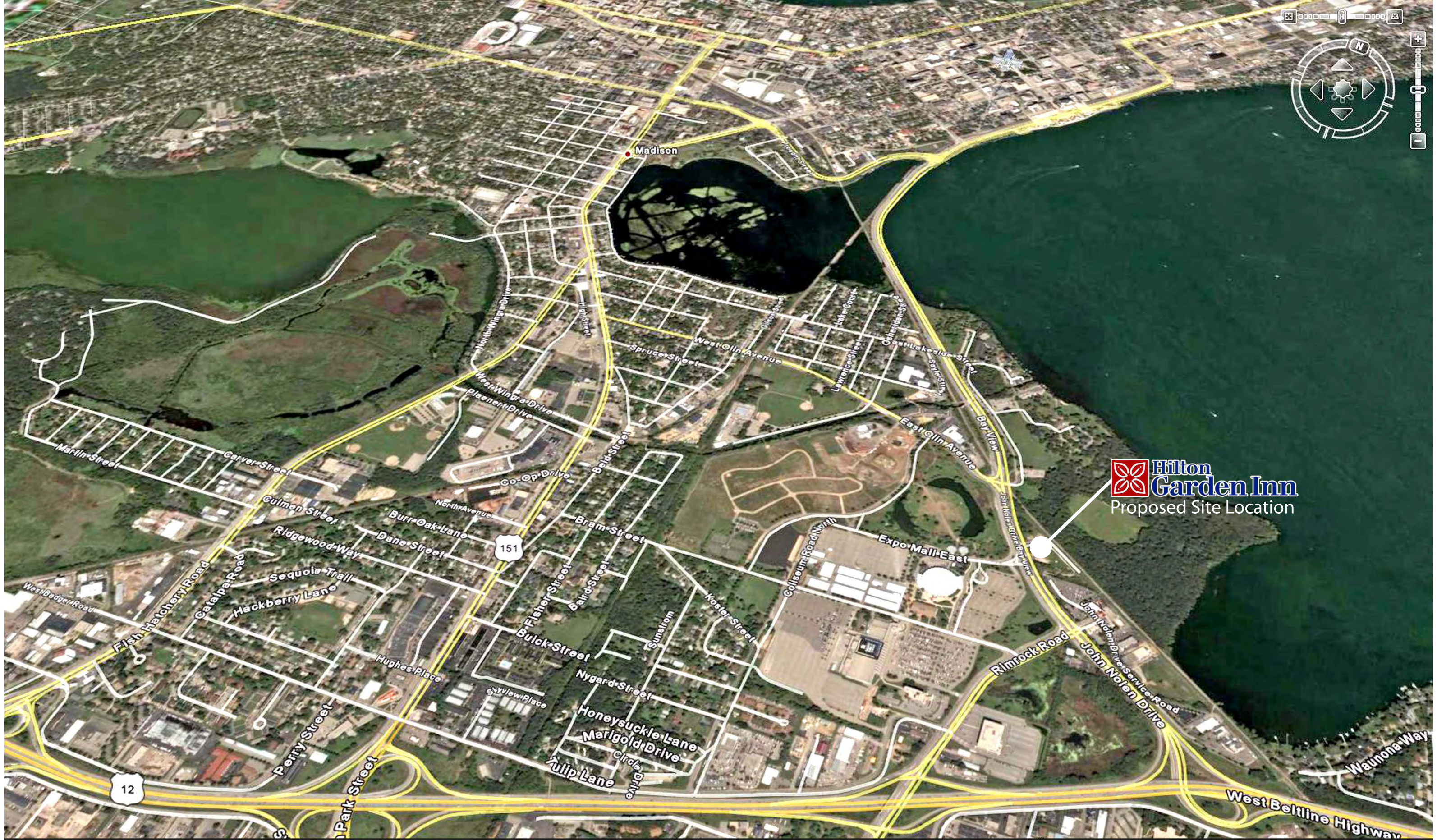
- ☐ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- ☐ Comprehensive Design Review* (Fee required)
☐ Street Graphics Variance* (Fee required)
☐ Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



 **Hilton
Garden Inn**
Proposed Site Location

 **Hilton
Garden Inn**
Madison, Wisconsin


Beechwood
Development, L.L.C.

ICON
ARCHITECTURAL GROUP
V. 701.772.1, F. 701.772.4275
WWW.ICONARCHITECTS.COM



MATERIAL LEGEND

- 1 Architectural Concrete Base
- 2 Brick
- 3 Composite Metal Panel
- 4 Standing Seam Metal Roof
- 5 Precast Concrete Band
- 6 Fabric Awnings







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SUITE 300
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STRUCTURAL

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Grand Forks, North Dakota
(701) 772 4266 Office
(701) 772 4275 Fax

MECHANICAL

ELECTRICAL

CIVIL

**HILTON
GARDEN INN**
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

REVISION RECORD	
Revision	Date

SCALE: 1" = 80'
DRAWN BY: MK/KD JLC #06-022



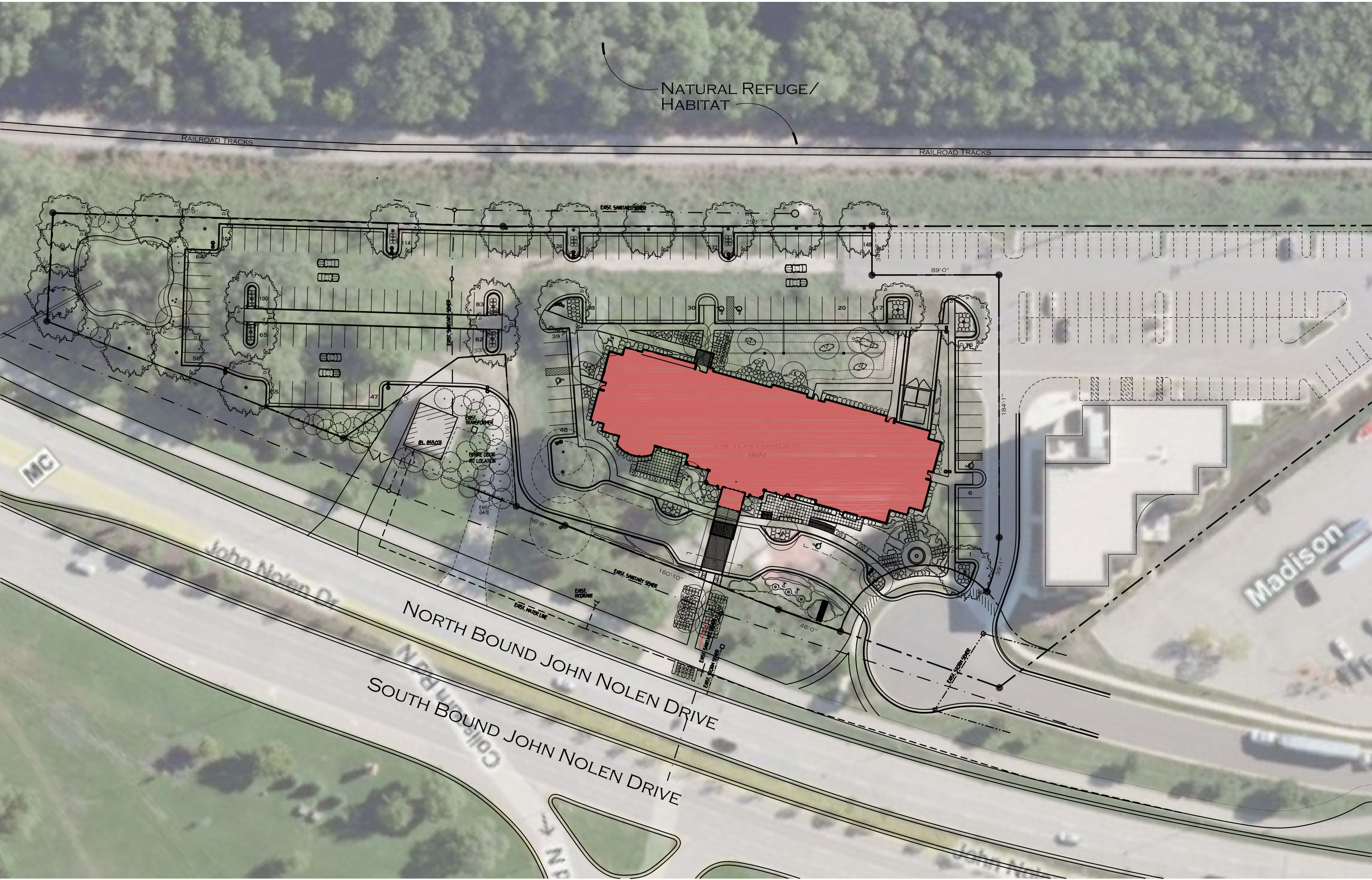
**NOT FOR
CONSTRUCTION**

OVERALL
SITE PLAN

DATE
09/15/08

SHEET
A001





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MECHANICAL

ELECTRICAL

CIVIL

**HILTON
GARDEN INN**
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

REVISION RECORD	
Revision	Date

SCALE: 1" = 30'
DRAWN BY: MK/KD JN: #06-022



**NOT FOR
CONSTRUCTION**

**ENLARGED
SITE PLAN**

DATE
09/15/08

SHEET
A002



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HILTON
GARDEN INN
610 JOHN NOLEN DRIVE
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REVISION RECORD	
Revision	Date

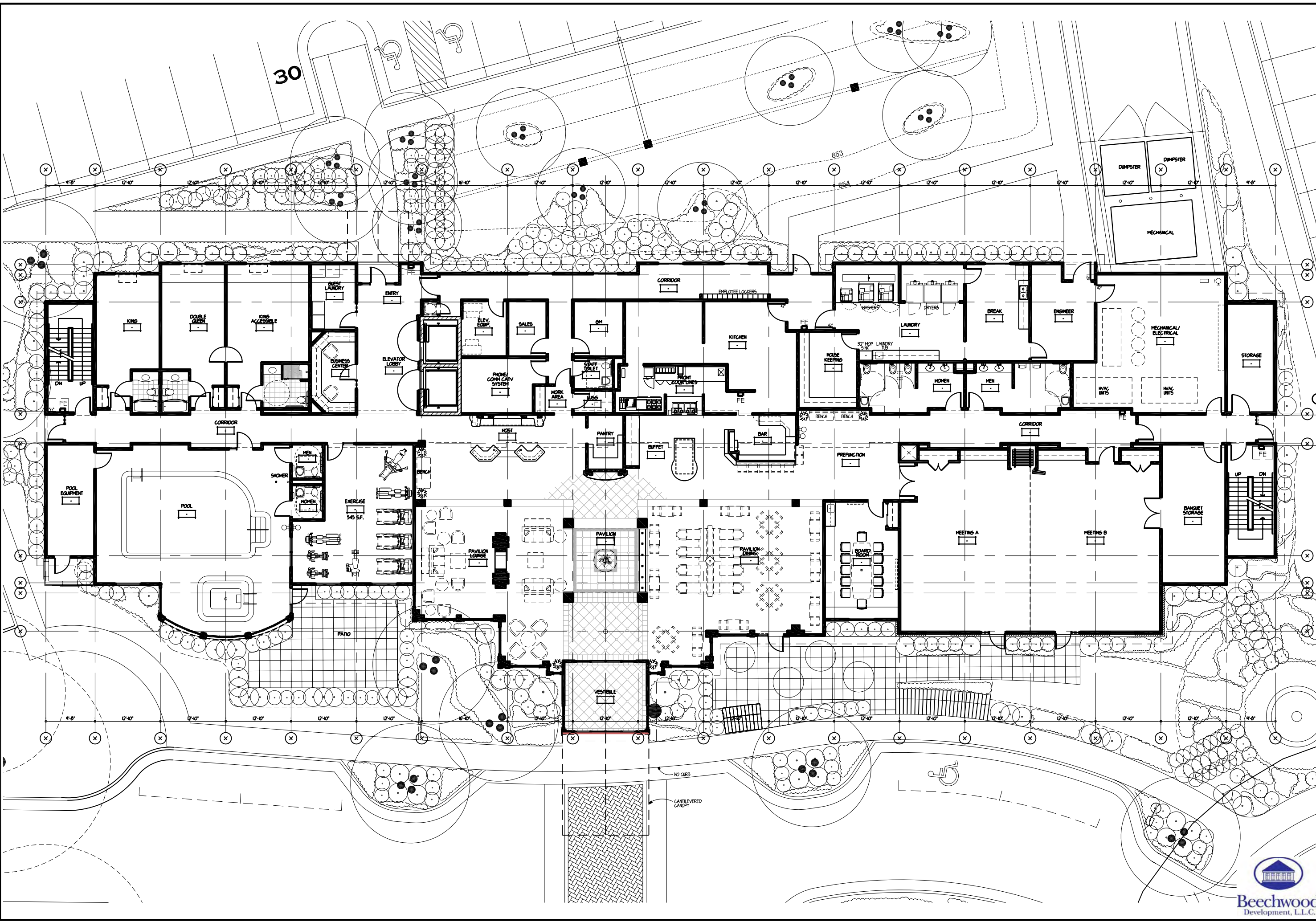
SCALE: 1/8" = 1'-0"
DRAWN BY: MK/KD JNC #06-022

NOT FOR
CONSTRUCTION

FIRST
FLOOR PLAN

DATE
09/15/08

SHEET
A101



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MECHANICAL

ELECTRICAL

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**HILTON
GARDEN INN**
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

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NOT FOR
CONSTRUCTION

BUILDING ELEVATIONS

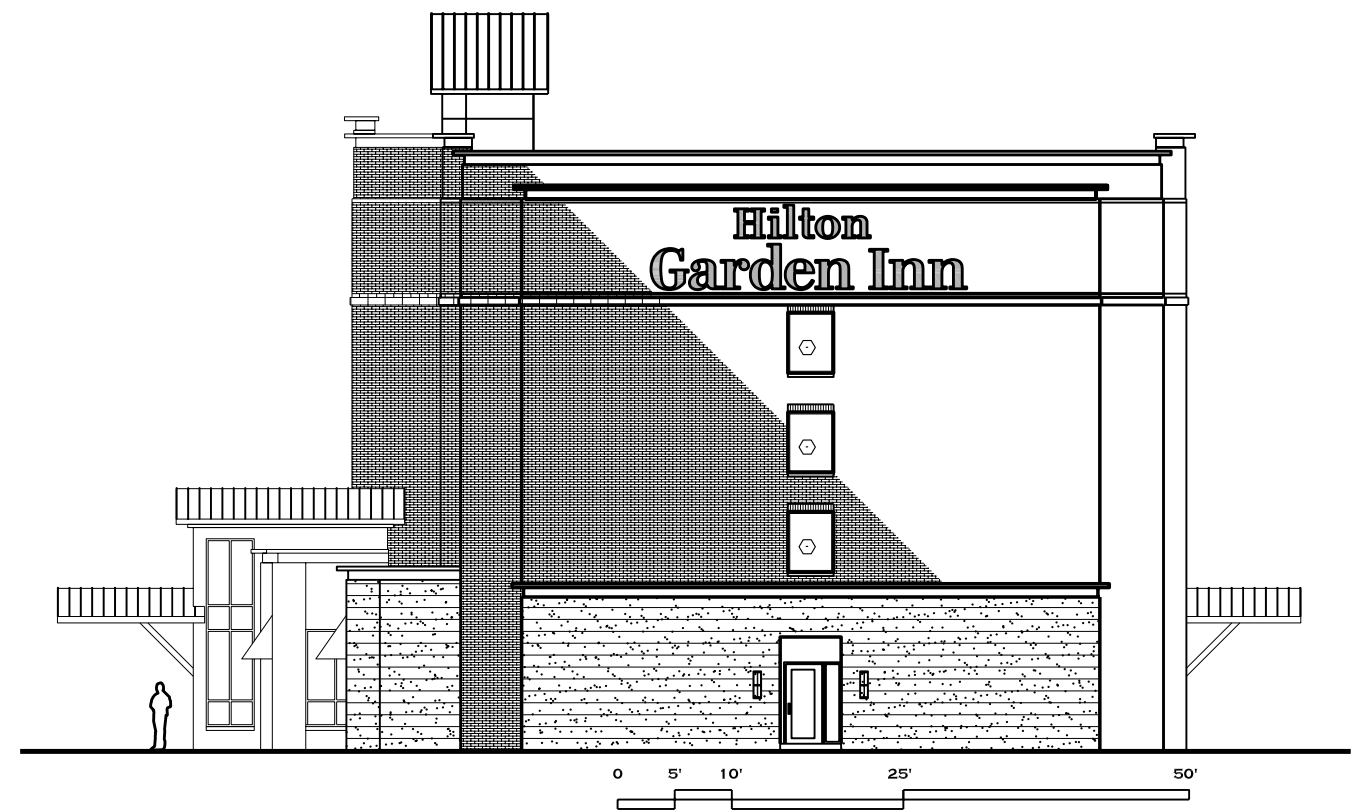
DATE
9/15/08

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WEST BUILDING ELEVATION

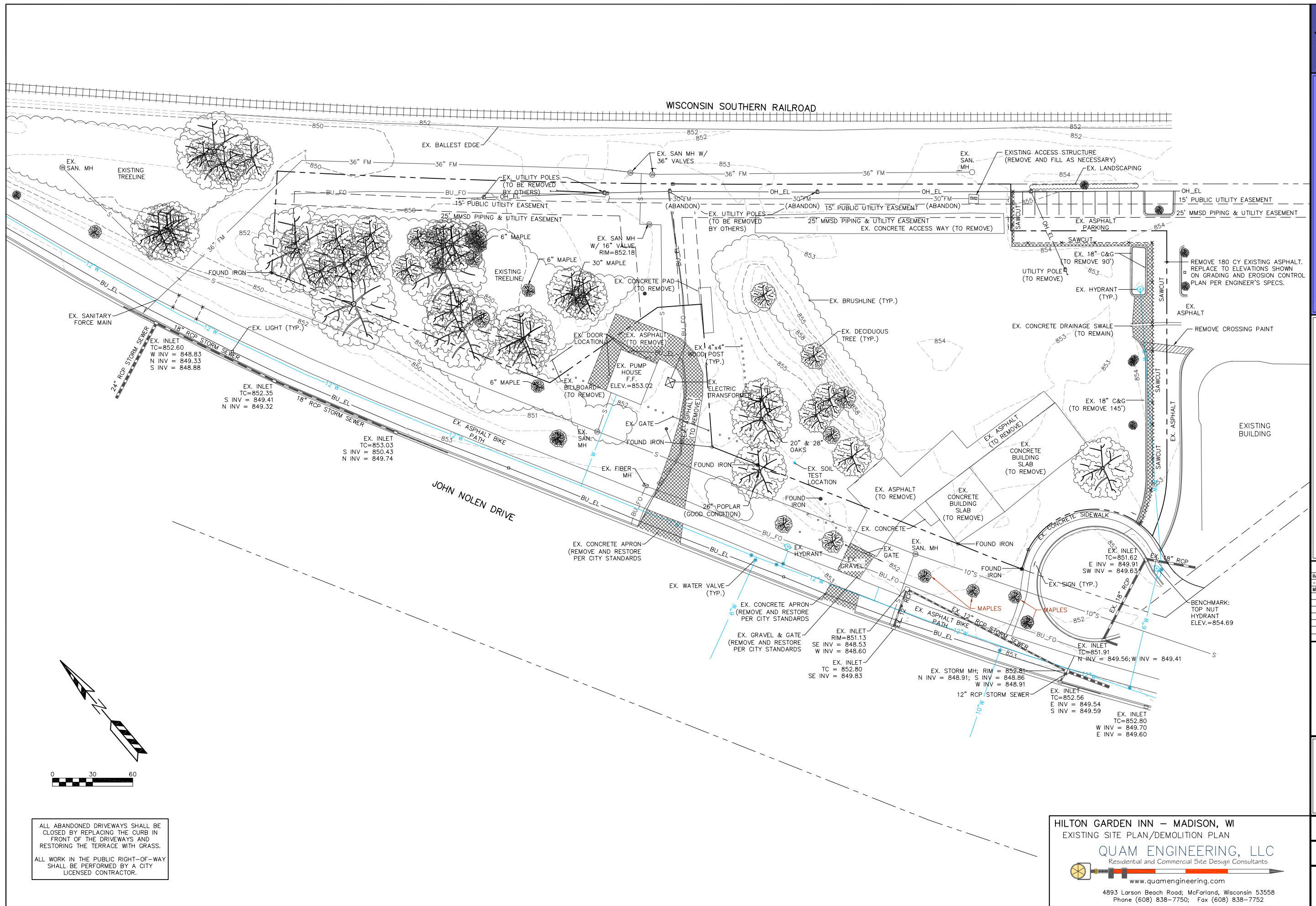


EAST BUILDING ELEVATION



SOUTH BUILDING ELEVATION





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610 JOHN NOLEN DRIVE
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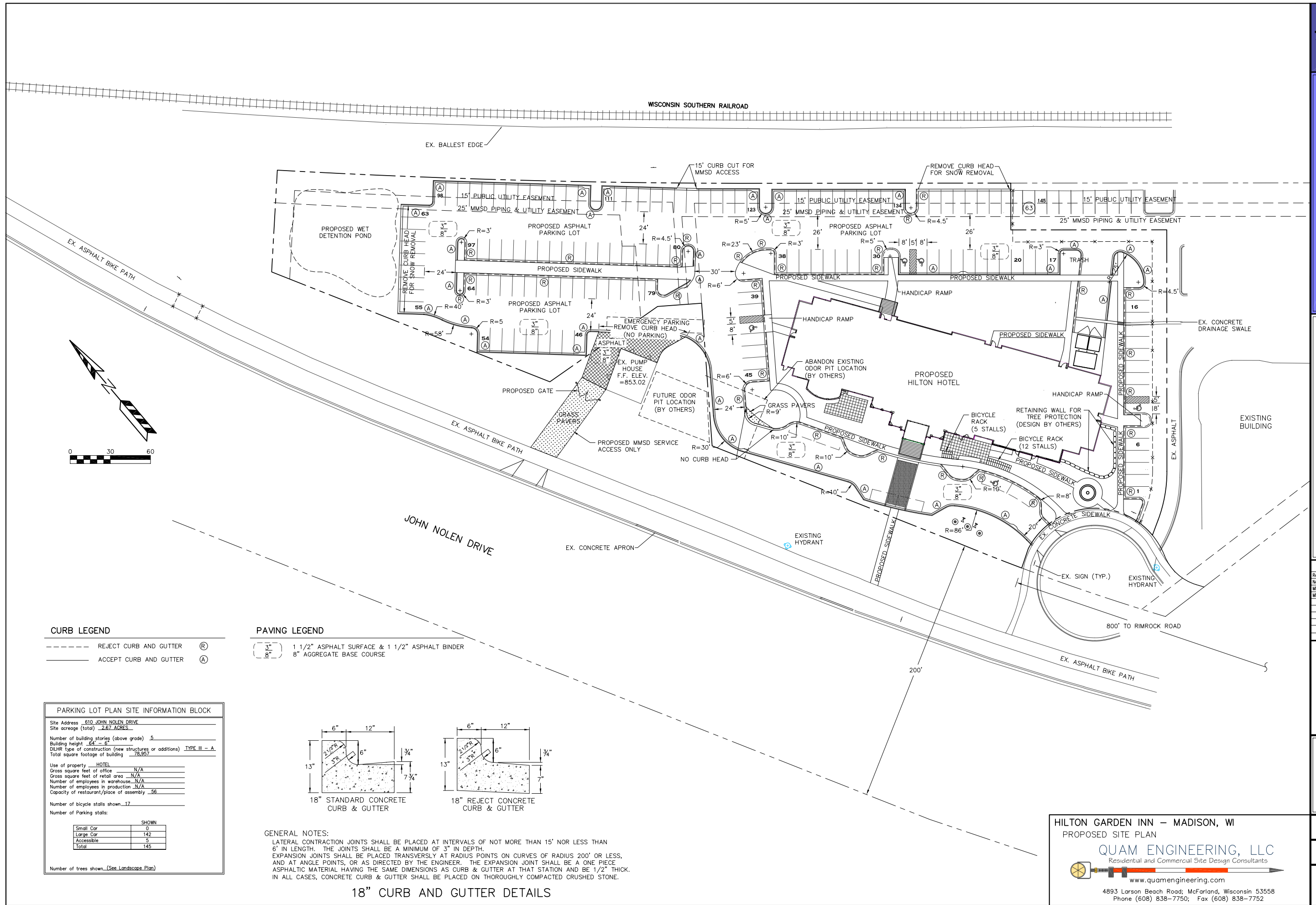
REVISION RECORD	
Revision	Date
New Site Layout	8/29/08
MMSD Revisions	9/09/08
MMSD Revisions	9/15/08

SCALE:
DRAWN BY: KJP FN: 1A-02-08

**NOT FOR
CONSTRUCTION**

DATE
09/15/08

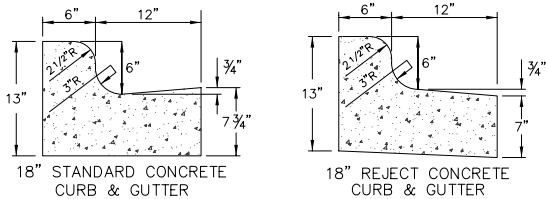
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C-102



CURB LEGEND	
--- (R) ---	REJECT CURB AND GUTTER
--- (A) ---	ACCEPT CURB AND GUTTER

PAVING LEGEND	
3" 8"	1 1/2" ASPHALT SURFACE & 1 1/2" ASPHALT BINDER
8"	8" AGGREGATE BASE COURSE

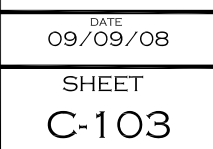
PARKING LOT PLAN SITE INFORMATION BLOCK	
Site Address	610 JOHN NOLEN DRIVE
Site acreage (total)	2.67 ACRES
Number of building stories (above grade)	5
Building height	64' - 6"
DILHR type of construction (new structures or additions)	TYPE III - A
Total square footage of building	78,957
Use of property	HOTEL
Gross square feet of office	N/A
Gross square feet of retail area	N/A
Number of employees in warehouse	N/A
Number of employees in production	N/A
Capacity of restaurant/place of assembly	56
Number of bicycle stalls shown	17
Number of Parking stalls:	
Small Car	0
Large Car	142
Accessible	5
Total	145
Number of trees shown (See Landscape Plan)	



GENERAL NOTES:
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

18" CURB AND GUTTER DETAILS

HILTON GARDEN INN - MADISON, WI
PROPOSED SITE PLAN
QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4893 Larson Beach Road; McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

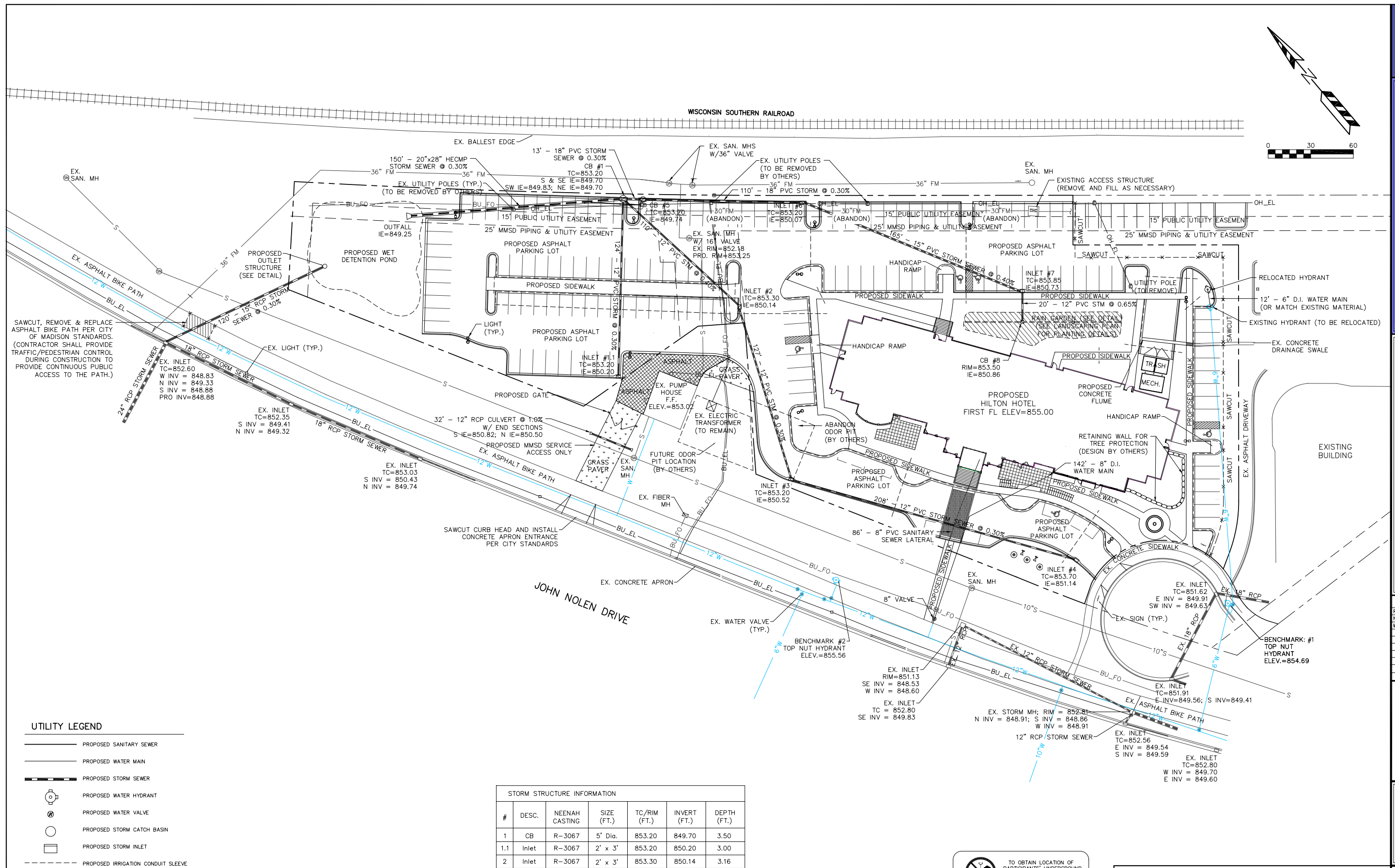


REVISION RECORD	
Revision	Date
New Site Layout	8/29/08
MMSD Revisions	9/09/08
SCALE:	
DRAWN BY : KJP	FN: 1A-02-08

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DATE
09/09/08

SHEET
C-104



GENERAL NOTES:
ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

THE APPLICANT SHALL OBTAIN A STREET EXCAVATION PERMIT FOR THE INSTALLATION OF UTILITIES REQUIRED TO SERVE THIS PROJECT. THE APPLICANT SHALL PAY THE PERMIT FEE, INSPECTION FEE AND STREET DEGRADATION FEE AS APPLICABLE AND SHALL COMPLY WITH ALL THE CONDITIONS OF THE PERMIT.

THE APPLICANT SHALL OBTAIN ALL NECESSARY SEWER CONNECTION PERMITS AND SEWER PLUGGING PERMITS PRIOR TO ANY UTILITY WORK.

PRIOR TO APPROVAL OF THE CONDITIONAL USE APPLICATION, THE OWNER SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. FOR EACH LATERAL TO BE PLUGGED THE OWNER SHALL DEPOSIT \$1,000 WITH THE CITY ENGINEER IN TWO SEPARATE CHECKS IN THE FOLLOWING AMOUNTS: (1) \$100 NON-REFUNDABLE DEPOSIT FOR THE COST OF INSPECTION OF THE PLUGGING BY CITY STAFF; AND (2) \$900 FOR THE COST OF CITY STAFF TO PERFORM THE PLUGGING. IF THE OWNER ELECTS TO COMPLETE THE PLUGGING OF A LATERAL BY PRIVATE CONTRACTOR AND THE PLUGGING IS INSPECTED AND APPROVED BY THE CITY ENGINEER, THE \$900 FEE SHALL BE REFUNDED TO THE OWNER.

STORM STRUCTURE INFORMATION						
#	DESC.	NEENAH CASTING	SIZE (FT.)	TC/RIM (FT.)	INVERT (FT.)	DEPTH (FT.)
1	CB	R-3067	5' Dia.	853.20	849.70	3.50
1.1	Inlet	R-3067	2' x 3'	853.20	850.20	3.00
2	Inlet	R-3067	2' x 3'	853.30	850.14	3.16
3	Inlet	R-3067	2' x 3'	853.20	850.52	2.68
4	Inlet	R-3067	2' x 3'	853.70	851.14	2.56
5	CB	R-3067	4' Dia.	853.20	849.74	3.46
6	Inlet	R-3067	2' x 3'	853.20	850.07	3.13
7	Inlet	R-3067	2' x 3'	853.85	850.73	3.17
8	CB	Open Grote	2' x 2'	853.50	850.86	2.64

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

HILTON GARDEN INN – MADISON, WI
UTILITY PLAN

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

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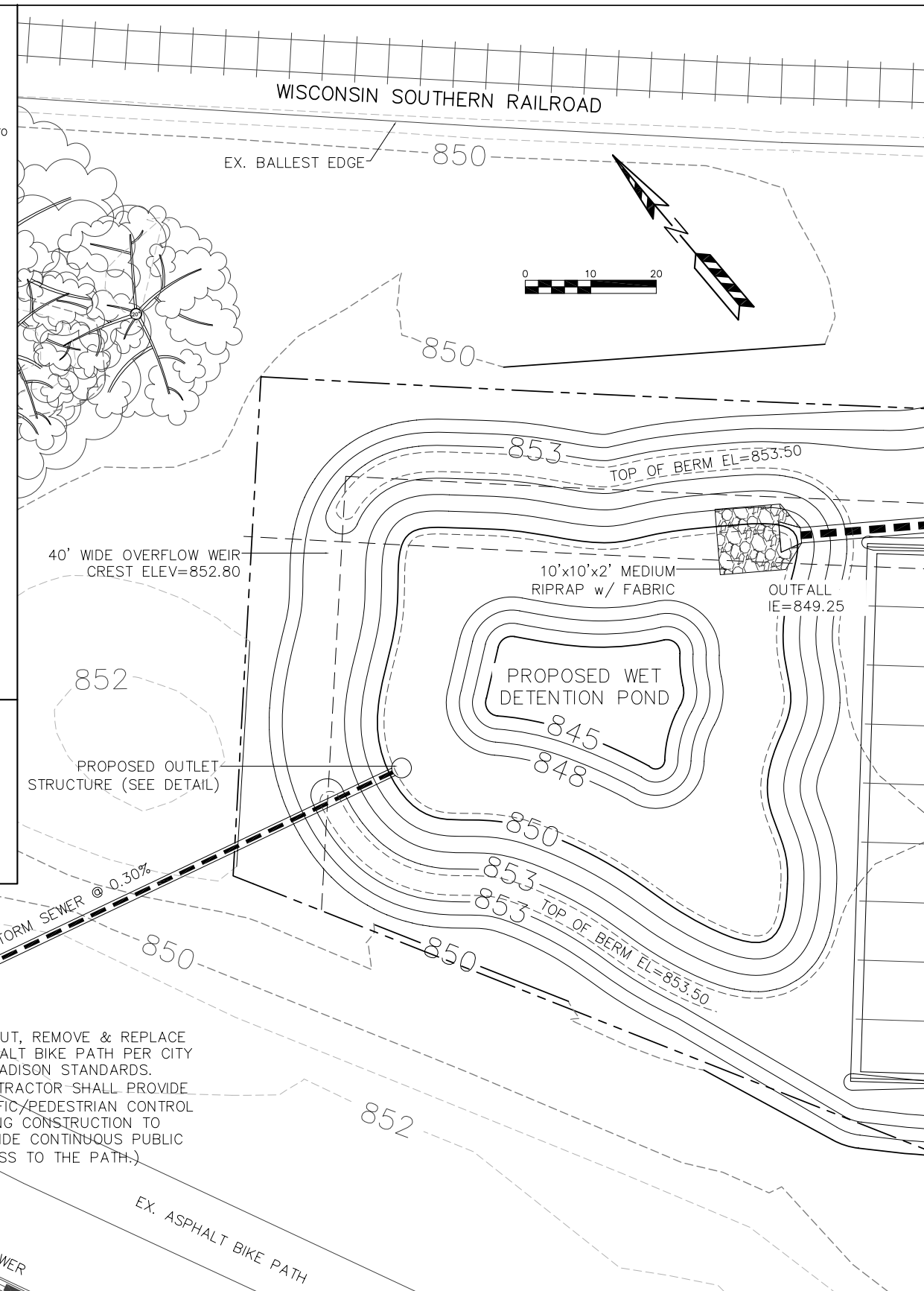
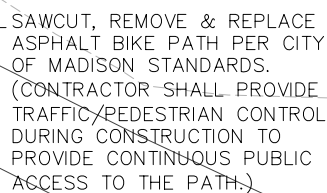
4893 Larson Beach Road; McFarland, Wisconsin 53558
Phone (608) 838-2750; Fax (608) 838-7752



WASHED GRAVEL AND CRUSHED STONE USED FOR
BEDDING SHALL CONFORM TO THE FOLLOWING GRADATION:

PASSING 1" SIEVE	100%
PASSING 1/2" SIEVE	35-60%
PASSING #200 SIEVE	0-10%

DETENTION POND OUTFALL STRUCTURE DETAIL



 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-22

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

HILTON GARDEN INN – MADISON, WI
DETENTION POND PLAN & STORM SEWER DETAILS

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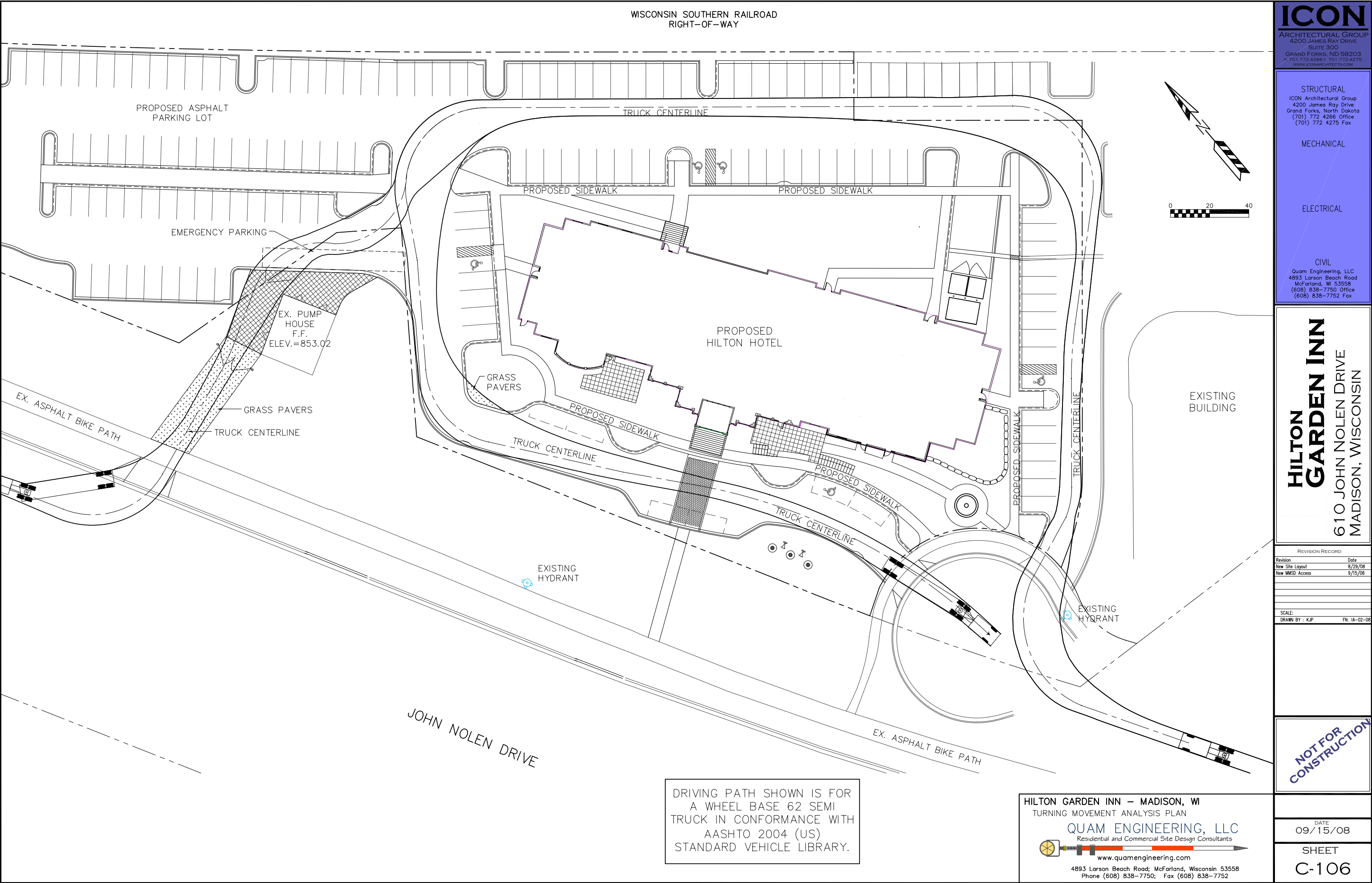
**HILTON
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610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

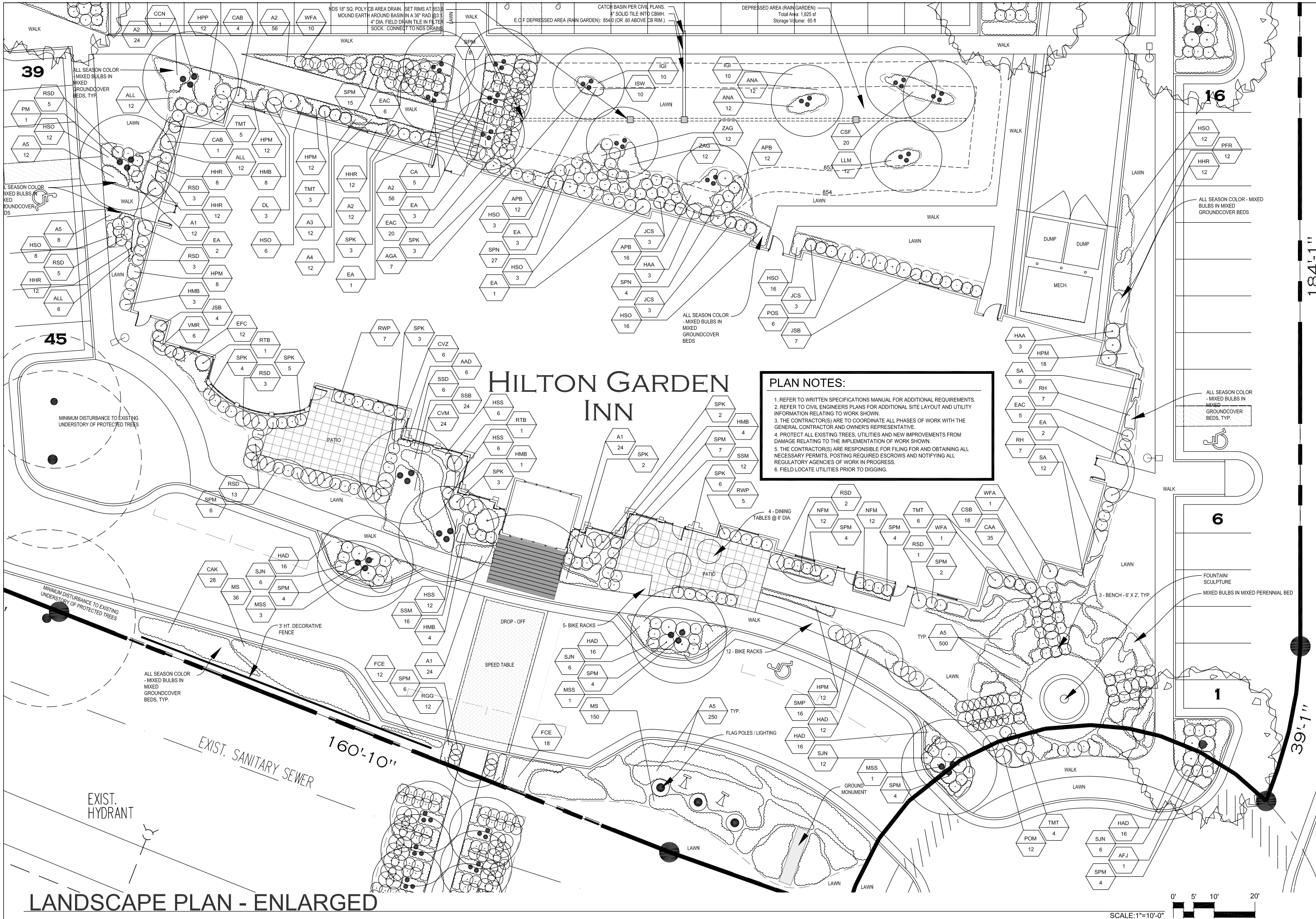
REVISION RECORD	
Revision	Date
New Site Layout	8/29/08
SCALE:	
DRAWN BY : KJP	FN: IA-02-0

NOT FOR CONSTRUCTION

DATE
09/09/08

SHEET
C-105





ICON

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LANDSCAPE ARCHITECTURE
MATTHEW FAIR JONES, LLC
5300 GIRARD AVENUE SOUTH
MINNEAPOLIS, MINNESOTA
P. 612.419.5106 F. 612.677.3795
WWW.MATTHEWFAIRJONES.COM

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WWW.ICONARCHITECTS.COM

MECHANICAL

ELECTRICAL

CIVIL

HILTON GARDEN INN
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

REVISION RECORD	
Revision	Date
OWNER REVIEW	08/04/08
URBAN DESIGN COMM. (UDC) REVIEW	08/06/08
UDC REVIEW	08/11,18,20,29/08
UDC FINAL REVIEW	09/17/08

SCALE:
DRAWN BY: MFJ JN: #06-022

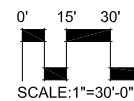
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF WISCONSIN.

PRINT NAME: MATTHEW FAIR JONES
SIGNATURE: _____
DATE: _____
LICENSE #: #578

LANDSCAPE PLAN - ENLARGED

DATE
07/29/08

SHEET
L102



LANDSCAPE PLAN

DATE
07/29/08

SHEET
L101

GENERAL LANDSCAPE AREAS

[illegible][illegible]

GENERAL LANDSCAPE AREAS

SHRUBS; CONIFEROUS							
JCS	9	Juniperus chinensis 'Sea Green' / SEA GREEN JUNIPER	4-6'x4-6'	BB	#2	#5	HEALTHY/FULL
JCS	11	Juniperus sabina 'Broadmoor' / BROADMOOR JUNIPER	1-2'x3-5'	BB	#2	#5	HEALTHY/FULL
TMT	18	Taxus x media 'Taunton' / TAUNTON YEW	3'x3-4'	BB	#2	#5	HEALTHY/FULL

PERENNIALS: ORNAMENTAL GRASSES							
CAK	65	Calamagrostis x acutiflora 'Karl Foerster' / KARL FOERSTER FEATHER REED GRASS	42"x12"	CONT	#1	#2	HEALTHY/FULL
FCE	30	Festuca cinerea 'Elijah Blue' / ELIJAH BLUE	6"x6"	CONT	#1	#2	HEALTHY/FULL
MS	186	Milicenthus shreels 'Silverfeeder' / SILVER FEATHER MAIDEN GRASS	36"x12"	CONT	#1	#2	HEALTHY/FULL
SSL	18	Schizachnium scoparium / LITTLE BLUE STEM	36"x12"	CONT	#1	#2	HEALTHY/FULL
SPD	133	Sporobolus Prairie Dropseed / PRAIRIE DROPSPEED	24"x24"	CONT	#1	#2	HEALTHY/FULL

ANNUALS						
A1	60	ANNUALS: WHITE				HEALTHY/FULL
A2	148	ANNUALS: RED				HEALTHY/FULL
A3	12	ANNUALS: YELLOW				HEALTHY/FULL
A4	12	ANNUALS: BLUE				HEALTHY/FULL
A5	770	ANNUALS: MIXED				HEALTHY/FULL

- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10'-0" CLEARANCE).
- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EXISTING COURTS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SOD AREAS DISTURBED DUE TO GRADING UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, UNLESS NOTED OTHERWISE. DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO "V" CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.
- LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIALS GROWTH REQUIREMENTS.
- LANDSCAPE CONTRACTOR SHALL INSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL PLANTING AREAS.
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
- FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 TO NOVEMBER 1. FALL SEEDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 TO SEPTEMBER 15. ADJUSTMENTS TO SOD/SEED PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- CONIFEROUS PLANTING IS GENERALLY ACCEPTABLE FROM AUGUST 15 TO OCTOBER 1. FALL DECIDUOUS PLANTING IS GENERALLY ACCEPTABLE FROM THE FIRST FROST UNTIL NOVEMBER 15. ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- EXISTING TREES TO REMAIN SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD, DAMAGED, AND/OR RUBBING BRANCHES.
- EXISTING TREES AND/OR SIGNIFICANT SHRUB MASSINGS FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.

- PROPOSED PLANT MATERIAL SHALL BE LOADED AND STAKED AS SHOWN ON PLAN. LANDSCAPE ARCHITECT MUST APPROVE STAKING OF PLANT MATERIAL PRIOR TO DIGGING.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- PLANT MATERIAL SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL, OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 0-20-20 OF 12 OZ. PER 2.5" CALIPER TREE AND 6 OZ. PER SHRUB WITH AND ADDITIONAL APPLICATION OF 10-10-10 THE FOLLOWING SPRING IN THE TREE SAUCER.
- ROUGH GRADING AND FINISHED GRADING TO BE DONE BY OTHERS UNLESS NOTED OTHERWISE.
- GRADING LIMITS ARE HEREIN DEFINED AS THE JUNCTURE OF PROPOSED GRADE WITH EXISTING GRADE UNLESS NOTED OTHERWISE.
- GRADING LIMITS AND LIMITS OF WORK SHOWN ON PLAN ARE ONLY APPROXIMATE AND MAY BE ADJUSTED IN FIELD BY LANDSCAPE ARCHITECT. WORK OUTSIDE OF THESE LIMITS WILL BE DONE AT LANDSCAPE CONTRACTORS EXPENSE UNLESS DIRECTED BY LANDSCAPE ARCHITECT OR OWNER IN WRITING.
- FILL/CUT AS NECESSARY TO PROVIDE A 1% MINIMUM GRADE AWAY FROM BUILDINGS WITHIN LIMITS OF CONSTRUCTION.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
- MAINTAIN A UNIFORM GRADE BETWEEN CONTOURS IN AREAS TO BE GRADED UNLESS SPECIFICALLY NOTED OTHERWISE.

- * PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- * PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS SCREENED COMPOST OR MANURE AND 10 PARTS SAND.
- * ELEVATIONS SHOWN ARE FINISHED ELEVATIONS. SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS.
- * ADD EROSION CONTROL MEASURES IF GRADES GREATER THAN 3:1 OR IF CONDITIONS WARRANT. REFER TO NDDOT SPECIFICATIONS FOR EROSION CONTROL.
- * WRAPPING MATERIAL SHALL BE CORRUGATED POLYETHYLENE PAVING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1.
- * LANDSCAPE CONTRACTOR SHALL CONTACT PUBLIC UTILITIES FOR LOCATION OF UNDERGROUND UTILITY CABLES, CONDITORS, PIPES, MANHOLES VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

- STEEL EDGER TO BE USED TO CONTACT SHRUBS, PERENNIALS AND ANNUALS WHERE PLANTING BED MEETS SOD UNLESS NOTED OTHERWISE,
- ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER,
- SHRUB BED MASSINGS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER,
- CONIFEROUS TREES ARE TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH AND SHALL HAVE NO MULCH IN DIRECT CONTACT WITH THE TREE TRUNK,
- MAINTENANCE STRIPS, WHERE ILLUSTRATED, TO HAVE EDGER AND STONE MULCH AS INDICATED ON DRAWINGS OR IN SPECIFICATIONS,
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING, THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION,
- LANDSCAPE CONTRACTOR SHALL PROVIDE PROPER EROSION CONTROL MEASURES AS REQUIRED TO INSURE THAT EROSION IS KEPT TO AN ABSOLUTE MINIMUM,
- PROVIDE TEMPORARY COVERING FOR CATCH BASINS AND MAN HOLES UNTIL FINISHED GRADING IS COMPLETE,
- PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, REFER TO WIDOT SPECS., #2211 AGGREGATE BASE AND #3886 SILT FENCE,
- CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS AS NEEDED,
- CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES PER NDPCA (NORTH DAKOTA POLLUTION CONTROL AGENCY) SPECS,
- WITHIN TWO WEEKS OF FINISHED SITE GRADING, DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD OR ROCK BASE,
- CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF ACCUMULATED SILT IN FRONT OF SILT FENCES AND EXCESS SEDIMENT IN PROPOSED CATCH BASINS, FOR THE DURATION OF CONSTRUCTION,

- REMOVE EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.

MECHANICAL

ELECTRICAL

CIVIL

**HILTON
GARDEN INN**
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF WISCONSIN.

PRINT NAME: MATTHEW FAIR JONES
SIGNATURE: _____
DATE: _____
LICENSE #: #578

PLANT SCHEDULE DETAILS & NOTES

DATE
07/29/08

SHEET
L201

Computed in accordance with IES recommendations

Statistics					
GROUP	MIN	MAX	AVE	AVE/MIN	MAX/MIN
(%)	0.00	26.77	3.77	N/A	N/A

Luminaires Used

TYPE	QTY	TEST#	DESCRIPTION
B0	19	-----	Bollard , Conc. Pour (1) BL <FN2-P10-DO>, LLF= 0.80;
F	3	AFL15-17	KIM LIGHTING, AFL15/175MHxxxxx, ARCHITECTURAL FLOODLIGHT LUMIN, DIE-CAST ALUM. HOUSING & LENS LAMPS: (1) , 14400 LUMENS, BLST. , LLF = 1.00 @2.00
OA	12	-----	Single Warp 9, 25' RTS, Conc. Pour (1) W <WP9L3/400PMH-ED28>, LLF= 1.00;
OB	2	-----	Double Warp 9, 25' RTS, Conc. Pour (2) W <WP9L3/400PMH-ED28>, LLF= 1.00;
OW	10	-----	Laradeo , Wall (1) WL <LMC-175H-CS>, LLF= 0.72;

