

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

DATE SUBMITTED: <u>June 4, 2014</u>	Action Requested
UDC MEETING DATE: <u>June 11, 2014</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 17, 19 & 25 N. Webster Street and 201 East Mifflin

ALDERMANIC DISTRICT: Ledell Zellers - District #2

OWNER/DEVELOPER (Partners and/or Principals)

ARCHITECT/DESIGNER/OR AGENT:

Fred Rouse

Knothe & Bruce Architects, LLC

2428 Perry Street

7601 University Avenue, Suite 201

Madison WI 53713

Middleton, Wisconsin 53562

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: rbruce@knothebruce.com

TYPE OF PROJECT:

(See Section A For:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee Required)

- Other Rezoning to UMX

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

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SITE DEVELOPMENT STATISTICS	
LOT AREA	14,780 S.F./0.34 ACRES
DWELLING UNITS	48 D.U.
LOT AREA/D.U.	307 S.F./D.U.
DENSITY	141 UNITS/ACRE
BUILDING HEIGHT	6 STORIES
GROSS FLOOR AREA	43,517 S.F.
(excluding underground parking)	
FLOOR AREA RATIO	2.94
UNIT MIX	
EFFICIENCY	9
STUDIO/LOFT	3
ONE BEDROOM	26
TWO BEDROOM	4
TWO BEDROOM TH	6
TOTAL	48
VEHICLE PARKING	
SURFACE	0
UNDERGROUND	43 (42 + 1 COMMUNITY CAR)
TOTAL	43
BIKE PARKING	
FLOOR STALL SURFACE	5
WALL HUNG UNDERGROUND	12
FLOOR STALL UNDERGROUND	37
TOTAL	54
USEABLE OPEN SPACE	SEE SHEET C-1.3 FOR OPEN SPACE

ACCESSIBLE ROUTE - - - -

NOTES:

- ALL ABANDONED DRIVEWAYS SHALL BE CLOSED BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
- A CITY-LICENSED CONTRACTOR SHALL PERFORM ALL WORK IN THE PUBLIC RIGHT OF WAY.
- ALL DAMAGE TO THE PAVEMENT ON N. WEBSTER STREET AND E. MIFFLIN STREET SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
- REPLACE ALL SIDEWALK, CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED.

M:\Rouse Management\130037_Webster-Mifflin St Survey\Information to Others\Knothe & Bruce Architects\2014-04-25 Description\Description Webster-Mifflin St.docx

DESCRIPTION-WEBSTER/MIFFLIN ST.

Part of Lots 1, 9 and 10, Block 109, Original Plat of Madison, as recorded in Volume A of Plats, on Page 3, as Document Number 102, Dane County Registry, located in the SW 1/4 - SW 1/4 of Section 13, Township 07 North, Range 09 East, in the City of Madison, Dane County, Wisconsin, more fully described as follows: Commencing at the North Meander Corner for the Southwest corner of said Section 13; thence N01°10'52"E along the West line of the SW corner of said Section 13, 336.73 feet; thence S88°49'08"E, 280.79 feet to the westerly most corner of said Block 109 and the point of beginning; thence N45°56'49"E along the northwesterly line of said Block 109, 66.41 feet to the northeasterly line of the Southwest Half of said Lot 1; thence S43°59'56"E along the northeasterly line of said Southwest Half of Lot 1, 66.28 feet to the northwesterly line of said Lot 10; thence N46°07'13"E along said northwesterly line of Lot 10, 23.96 feet; thence S43°54'37"E, 66.07 feet to the northwesterly line of said Lot 9; thence N46°06'51"E along said northwesterly line of Lot 9, 42.24 feet to the northerly most corner of said Lot 9; thence S43°57'08"E along the northeasterly line of said Lot 9, 33.23 feet to the northeasterly corner of the Northwest Half of said Lot 9; thence S46°09'38"W along the southeasterly line of the Northwest Half of Lot 9, 132.74 feet to the southwesterly line of said Block 109; thence N43°54'37"W along said southwesterly line of Block 109, 165.29 feet to the point of beginning. Said description contains 14,780 square feet more or less

ISSUED
Land Use Application - February 19, 2014
Issued for Bid - April 29, 2014
Site Plan Submittal - May 7, 2014

Revised - Month Day, Year
Revised - Month Day, Year
Revised - Month Day, Year
Revised - Month Day, Year

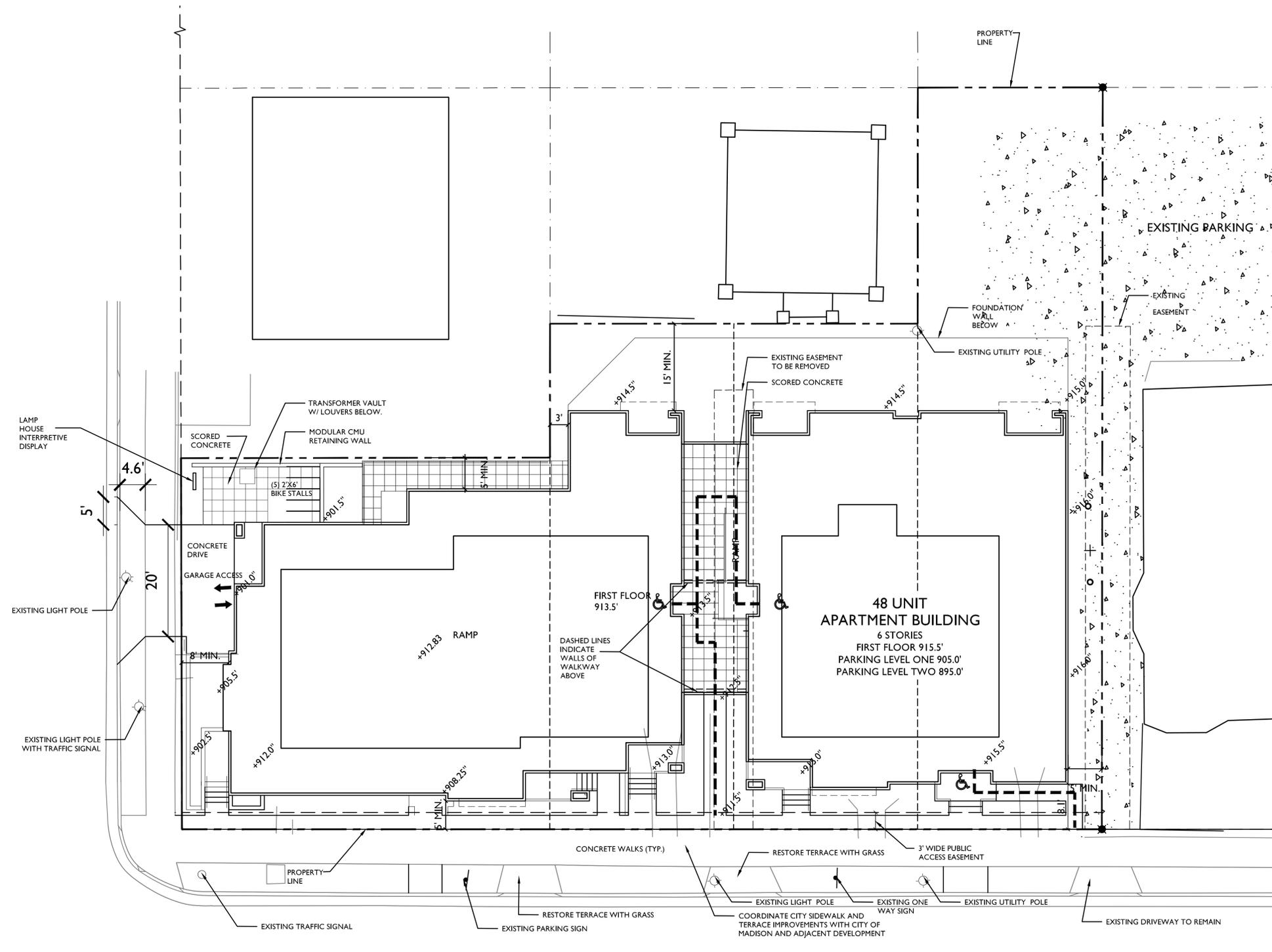
PROJECT TITLE
WEBSTER ST

27 N Webster St.
SHEET TITLE
SITE PLAN

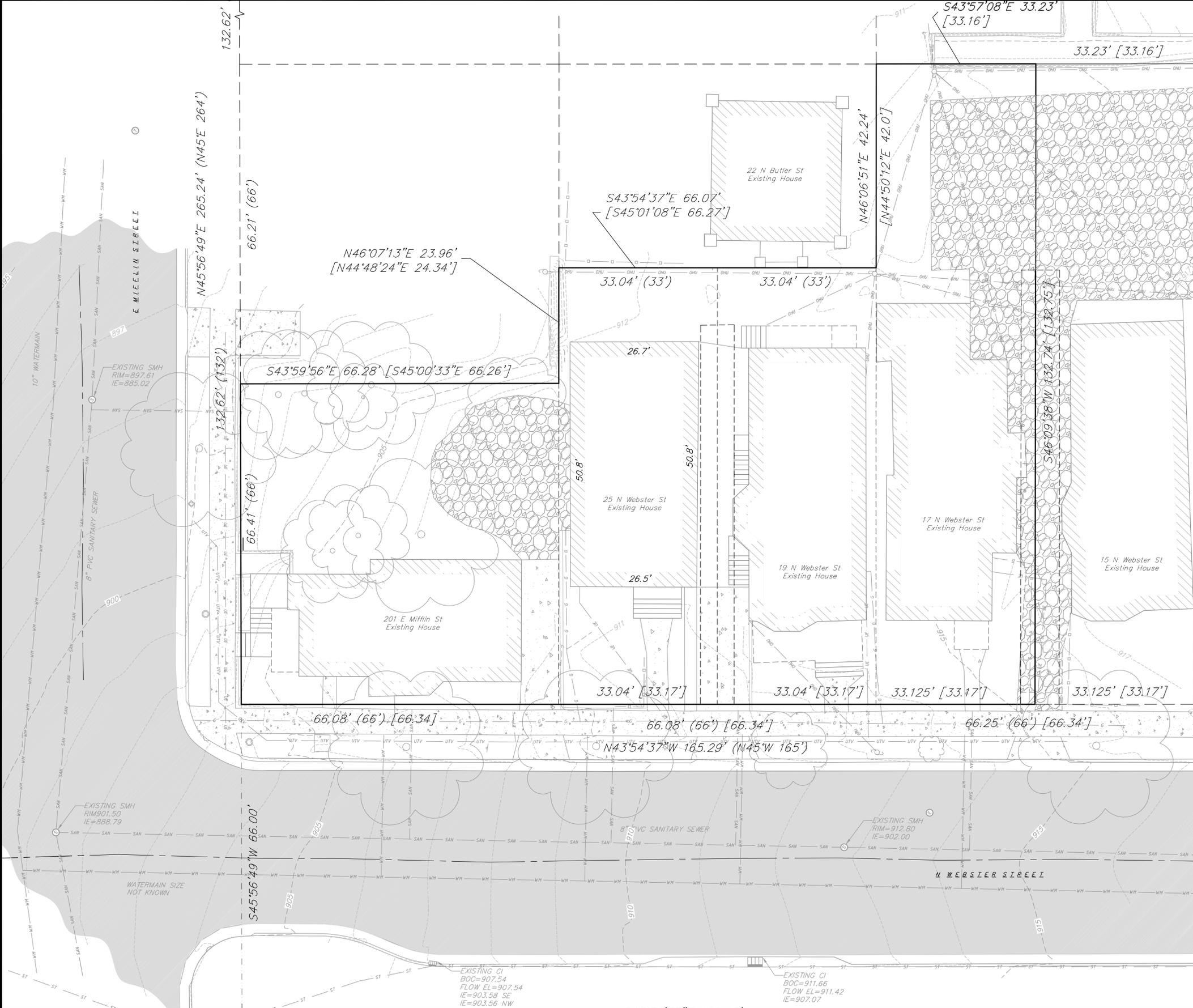
SHEET NUMBER

C-1.1

PROJECT NO. 1315
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SITE PLAN
C-1.1
1" = 10'-0"



EXISTING CONDITIONS LEGEND

- EXISTING BOLLARD
- EXISTING SIGN (TYPE NOTED)
- EXISTING TRAFFIC SIGNAL
- EXISTING BOX CURB INLET
- EXISTING SANITARY MANHOLE
- EXISTING CURB STOP
- EXISTING ELECTRIC MANHOLE
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING DOWN GUY
- EXISTING TELEPHONE MANHOLE
- EXISTING DECIDUOUS TREE
- EXISTING RETAINING WALL
- EXISTING WOOD FENCE
- EXISTING UNDERGROUND CABLE TV
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING PROPERTY LINE
- EXISTING ROW
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING GRAVEL

EXISTING CONDITIONS PLAN

27 N WEBSTER STREET
CITY OF MADISON
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

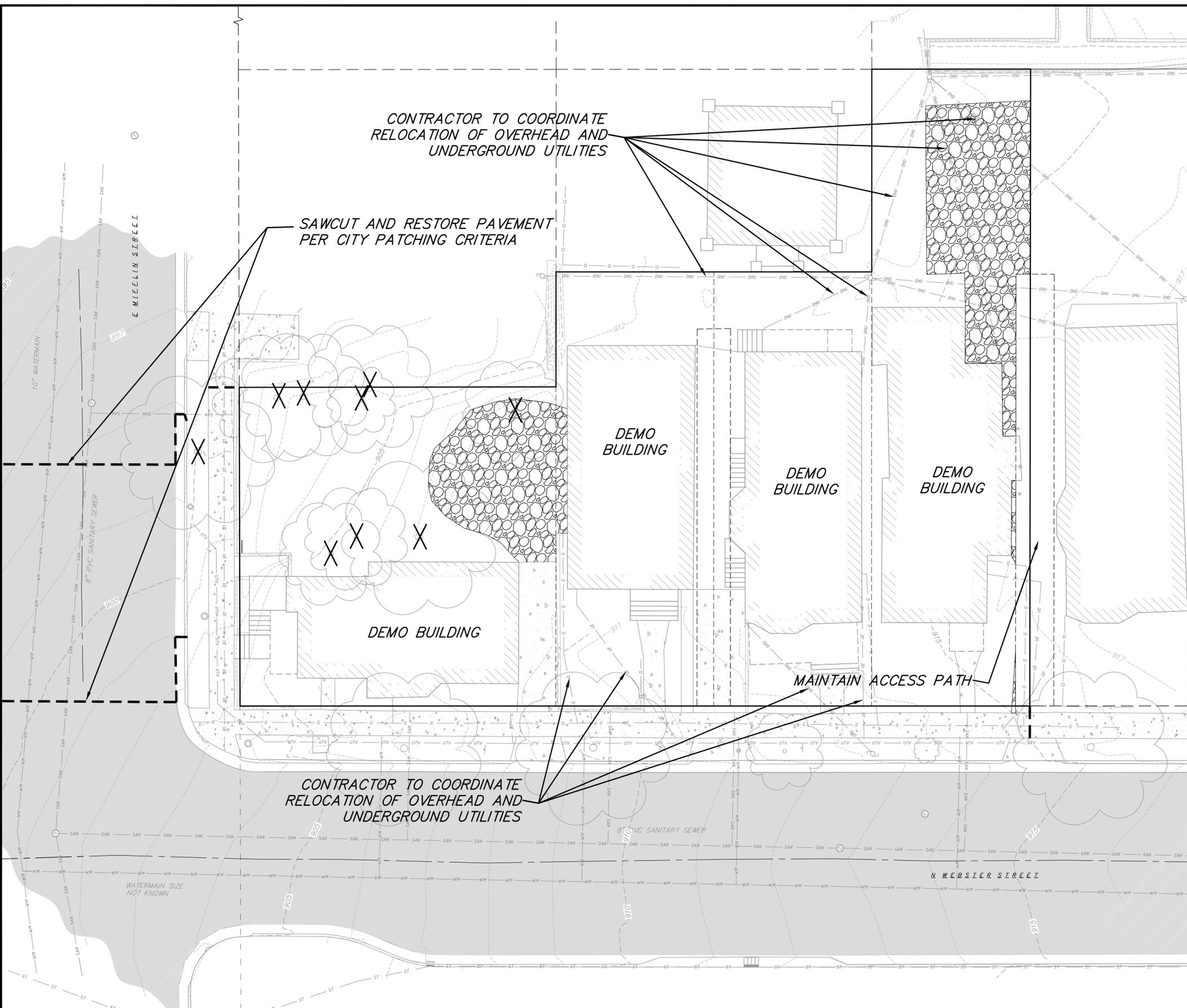
SCALE:
1"=20' (24"x36")
1"=10' (11"x17")

DATE: 2/19/14

DRAFTER: JFEL
CHECKED: [Signature]

PROJECT NO.: 130037
SHEET: 1 OF 4

DWG. NO.: C-2.1



EXISTING CONDITIONS LEGEND

- EXISTING BOLLARD
- ⊕ EXISTING SIGN (TYPE NOTED)
- ⊕ EXISTING TRAFFIC SIGNAL
- ⊕ EXISTING BOX CURB INLET
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EXISTING CURB STOP
- ⊕ EXISTING ELECTRIC MANHOLE
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING DOWN GUY
- ⊕ EXISTING TELEPHONE MANHOLE
- ⊕ EXISTING DECIDUOUS TREE
- EXISTING RETAINING WALL
- EXISTING WOOD FENCE
- UTV UTV EXISTING UNDERGROUND CABLE TV
- G G EXISTING GAS LINE
- UE UE EXISTING UNDERGROUND ELECTRIC LINE
- OHU OHU EXISTING OVERHEAD GENERAL UTILITIES
- SAN SAN EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST ST EXISTING STORM SEWER LINE (SIZE NOTED)
- WM WM EXISTING WATER MAIN (SIZE NOTED)
- 820 EXISTING MAJOR CONTOUR
- 818 EXISTING MINOR CONTOUR
- EXISTING PROPERTY LINE
- EXISTING ROW
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- DEMO EXISTING GRAVEL

- GENERAL NOTES:**
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
 - ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
 - ALL WORK FOR PUBLIC IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY ARE TO BE PER CITY ISSUED PLANS AND PROJECT #xxxxxxx
- DEMOLITION NOTES:**
- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 - COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 - ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
 - CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 - COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
 - PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
 - ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
 - CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION PERMITS.

vierbicher | engineers | architects
 PLANNERS | MADISON - PRABHU DU CHEN
 REEDSBURG - MADISON - PRABHU DU CHEN
 999 FISH HOOK ROAD, SUITE 200
 REEDSBURG, WI 53151
 Phone: (608) 824-5332 Fax: (608) 824-5330

DEMOLITION PLAN
 27 N. WEBSTER STREET
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

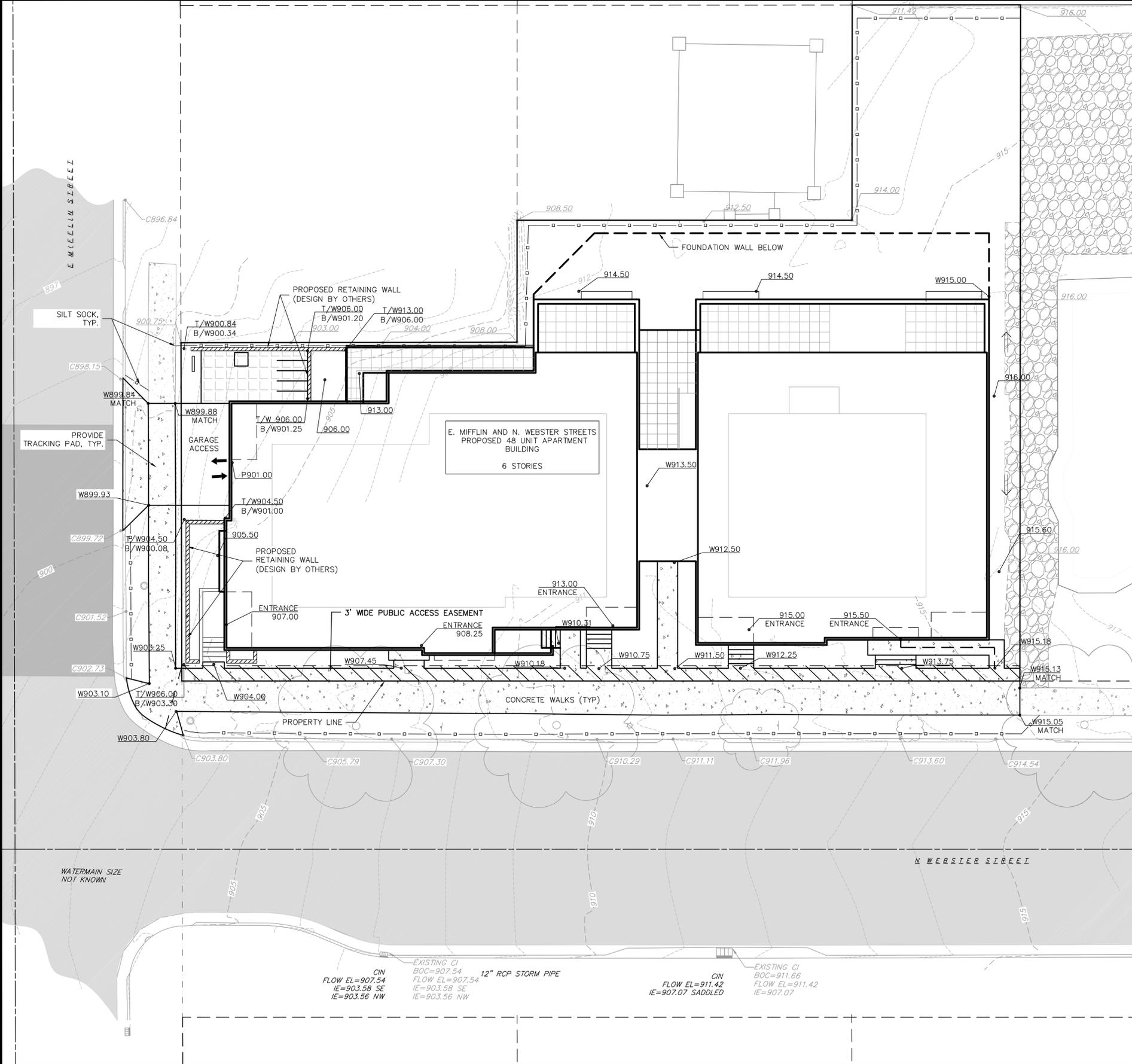
REVISIONS	NO.	DATE	REMARKS
	1	8-02-2014	0177 ASAM/MTL
	2	8-04-2014	100 ASAM/MTL

SCALE:
 1"=20' (24"x36")
 1"=10' (11"x17")

DATE: 2/19/14
 DRAFTER: JFEL
 CHECKED:

PROJECT NO. 130037
 SHEET 2 OF 4
 DWG. NO. C-2.2

04 Jun 2014 - 7:56a M:\Rouse Management\130037 - Webster-Mifflin St Survey\Engineering\Civil 3D\Base_130037.dwg by: jdy



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WS STATUTE 182.075 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE

GRADING AND EROSION CONTROL LEGEND

- 820--- EXISTING MAJOR CONTOURS
- 818--- EXISTING MINOR CONTOURS
- 862.33 EXISTING SPOT ELEVATIONS
- 863.13 PROPOSED SPOT ELEVATIONS
- ← DRAINAGE DIRECTION
- SILT SOCK
- PROPERTY BOUNDARY
- PROPOSED BUILDING OUTLINE
- PROPOSED CURB AND GUTTER
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED COLORED AND STAMPED CONCRETE
- EXISTING ASPHALT PAVEMENT
- EXISTING GRAVEL

ABBREVIATIONS

C	BACK OF CURB
P	EDGE OF PAVEMENT
W	EDGE OF SIDEWALK
T/W	TOP OF WALL
B/W	BOTTOM OF WALL

EROSION CONTROL MEASURE NOTES:

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wis.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WSDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
- WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR ROADWAY.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
- THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.

planners | engineers | activists

REEDSBURG - MADISON - PRABHU DU CHEN
999 First Street, Suite 200
Phone: (608) 824-0332 Fax: (608) 824-0330

GRADING AND EROSION CONTROL PLAN
27 N. WEBSTER STREET
CITY OF MADISON
DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS
1	8-04-2014	REV. SITE PLAN	ADD SURVEILL
2	8-04-2014	CITY RESUBMITTAL	
3	8-05-2014	CITY RESUBMITTAL	

SCALE:
1"=20' (24"x36")
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DATE: 2/19/14

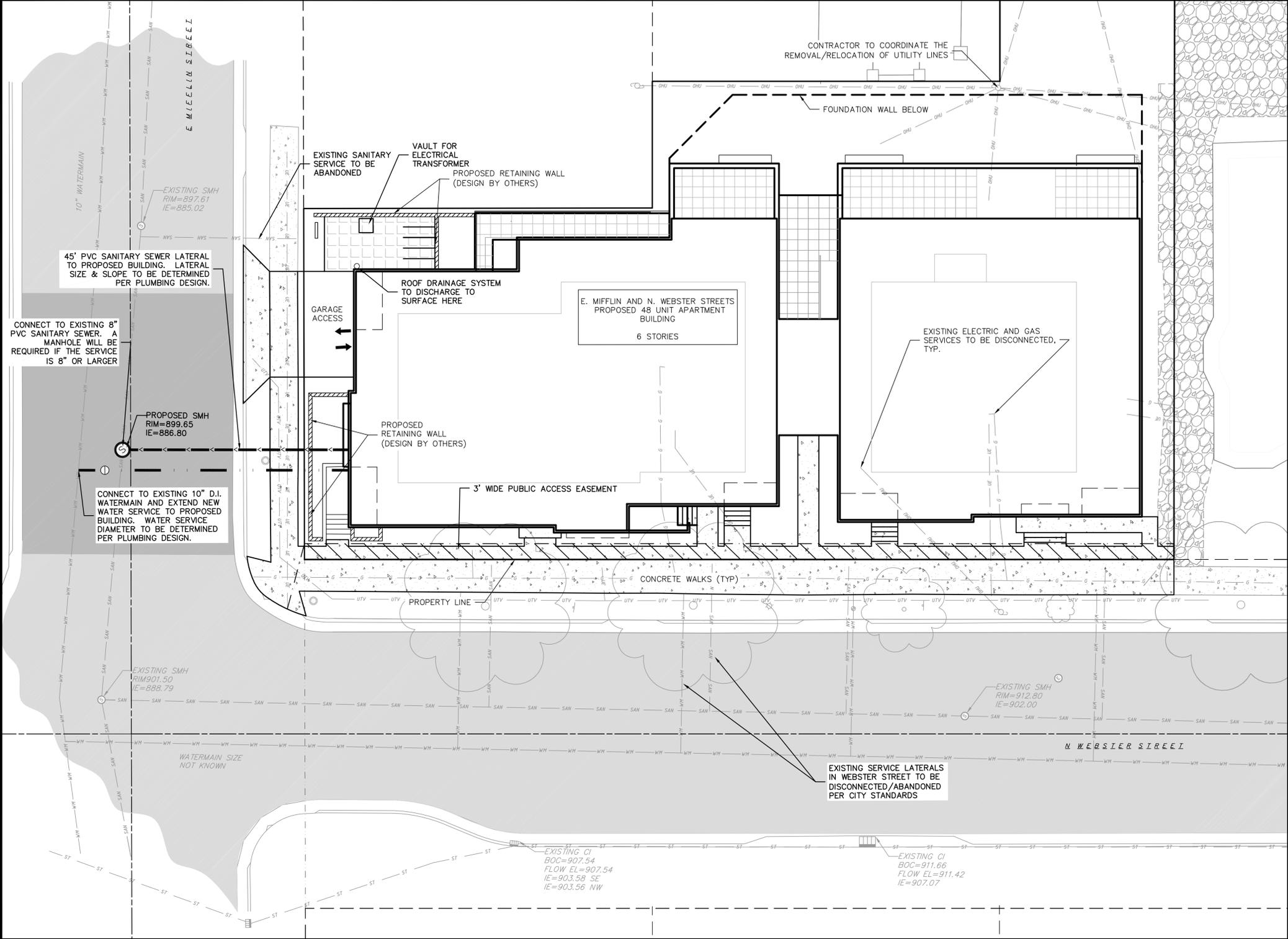
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SHEET 3 OF 4

DWG. NO. C-3.1



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WIS. STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

EXISTING CONDITIONS LEGEND

- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING TRANSFORMER
- EXISTING UTILITY POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING DECIDUOUS TREE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING GRAVEL

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- SANITARY SEWER PIPE (GRAVITY)
- WATER MAIN
- WATER VALVE
- CURB INLET
- SANITARY MANHOLE
- BUILDING OUTLINE
- PROPERTY BOUNDARY
- CONCRETE
- COLORED AND STAMPED CONCRETE

UTILITY NOTES:

1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(a).
2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
12. EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
13. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
14. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS--WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
15. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
16. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 53B2364).
17. ALL DAMAGE TO THE PAVEMENT ON N. WEBSTER AND E. MIFFLIN STREETS ADJACENT TO THE PROJECT OCCURRING DURING CONSTRUCTION SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
18. EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED/PLUGGED PER CITY REQUIREMENTS.

vierbicher
planners | engineers | activists

REEDSBURG - MADISON - PRABHU DU CHEN
999 First Street, Suite 200
Phone: (608) 824-0332 Fax: (608) 824-0330

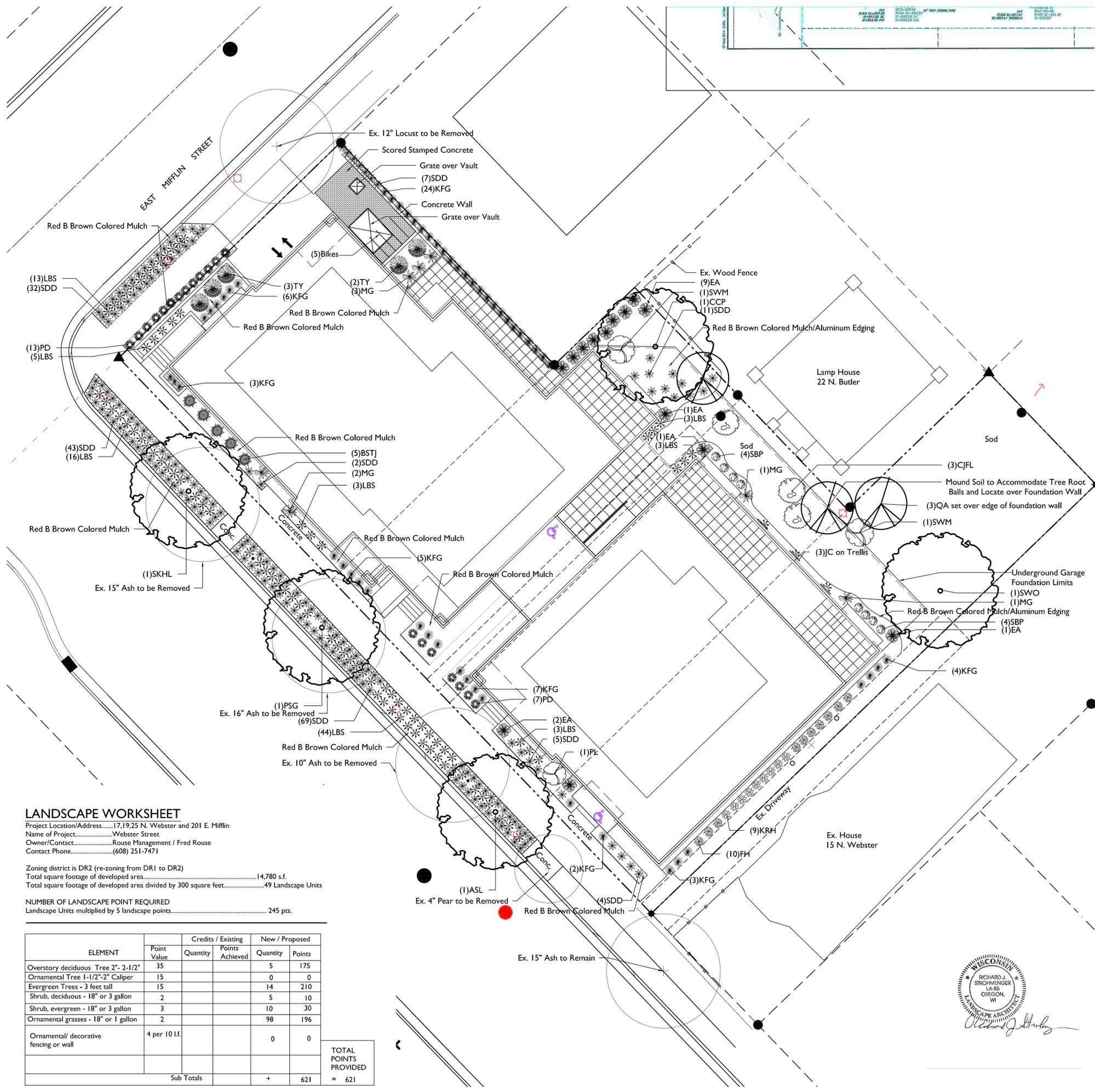
UTILITY PLAN
27 N. WEBSTER STREET
CITY OF MADISON
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	8-01-2014	1	8-01-2014
2	8-01-2014	2	8-01-2014
3	8-01-2014	3	8-01-2014

SCALE:	1"=20' (24"x36")
	1"=40' (11"x17")
DATE:	2/19/14
DRAFTER:	JFEL
CHECKED:	
PROJECT NO.:	130037
SHEET:	4 OF 4
DWG. NO.:	C-4.1

GENERAL NOTES

- A) Areas labeled "Red B Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown or red as indicated, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown or red as indicated, spread to a minimum 3" depth (3' wide beds for shrub groupings).
- C) "Aluminum Edging" to be "Curv-Rite" Aluminum Edging or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
- F) Forestry will permit the removal of the 5 existing street trees. The developer/contractor must contact City Forestry (608)266-4816 at least 1 week prior to construction to get a removal permit.
- G) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.



LANDSCAPE WORKSHEET

Project Location/Address.....17,19,25 N. Webster and 201 E. Mifflin
 Name of Project.....Webster Street
 Owner/Contact.....Rouse Management / Fred Rouse
 Contact Phone.....(608) 251-7471

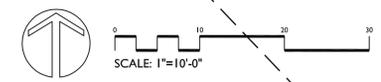
Zoning district is DR2 (re-zoning from DR1 to DR2)
 Total square footage of developed area.....14,780 s.f.
 Total square footage of developed area divided by 300 square feet.....49 Landscape Units

NUMBER OF LANDSCAPE POINT REQUIRED
 Landscape Units multiplied by 5 landscape points..... 245 pts.

ELEMENT	Point Value	Credits / Existing		New / Proposed	
		Quantity	Points Achieved	Quantity	Points
Overstory deciduous Tree 2"-2-1/2"	35			5	175
Ornamental Tree 1-1/2"-2" Caliper	15			0	0
Evergreen Trees - 3 feet tall	15			14	210
Shrub, deciduous - 18" or 3 gallon	2			5	10
Shrub, evergreen - 18" or 3 gallon	3			10	30
Ornamental grasses - 18" or 1 gallon	2			98	196
Ornamental/ decorative fencing or wall	4 per 10 l.f.			0	0
Sub Totals				+	621
TOTAL POINTS PROVIDED					= 621

Plant Material List

Quantity	Code Name	Common Name	Scientific Name	Planting Size
Broadleaf Deciduous				
3	QA	Quaking Aspen	Populus Tremuloides	2" B&B
1	CCP	Chanticleer Callery Pear	Pyrus Calleryana 'chanticleer'	2 1/2" B&B
1	ASL	American Sentry Linden	Tilia Americana 'MckSentry'	2 1/2" B&B
1	PSG	Princeton Sentry Ginkgo	Ginkgo Biloba 'princeton Sentry'	2 1/2" B&B
1	SKH	Street Keeper Honeylocust	Gleditsia Triacan 'draves'	2 1/2" B&B
1	SWO	Swamp White Oak	Quercus Bicolor	2 1/2" B&B
Conifer Evergreen				
14	EA	Emerald Arborvitae	Thuja Occidentalis 'smaragd'	4" B&B
5	TY	Taunton Yew	Taxus X Media 'tauntonii'	18" B&B
5	BSTJ	Blue Star Juniper	Juniperus Squamata 'blue Star'	#2 CONT.
Perennial				
54	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
7	MG	Maiden Grass	Miscanthus Sinensis 'gracillimus'	#1 CONT.
173	SDD	Stella De Oro Daylily	Hemerocallis 'stella De Oro'	#1 CONT.
9	KRH	Krossa Regal Hosta	Hosta 'krossa Regal'	#1 CONT.
90	LBS	Little Bluestem	Schizachyrium Scoparium	#1 CONT.
3	JC	Jackman Clematis	Clematis X 'jackmanii'	#1 CONT.
10	FH	Francee Hosta	Hosta 'francee'	#1 CONT.
8	SBP	Sarah Bernhardt Peony	Paeonia 'sarah Bernhardt'	#2 CONT.
20	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.
Shrub				
1	PL	Palbin Lilac	Syringa Meyeri 'palbin'	3" B&B
2	SWM	Snow White Mockorange	Philadelphus 'snowwhite Fantasy'	#5 CONT.
3	CJFL	Charles Joly Lilac	Syringa Vulgaris 'charles Joly'	4" B&B



WEBSTER STREET
17, 19 and 25 N. WEBSTER STREET AND 201 E. MIFFLIN STREET
MADISON, WISCONSIN 53703

Checked By: SS
 Drawn By: 10/16/13 RS
 Revised: 2/18/14 RS
 Revised: 3/12/14 RS
 Revised: 3/19/14 RS
 Revised: 5/20/14 RS
 Revised: 6/04/14 RS
 Revised:
 Revised:
 Revised:

L1

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Issued for Bid - April 29, 2014
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5/30/14

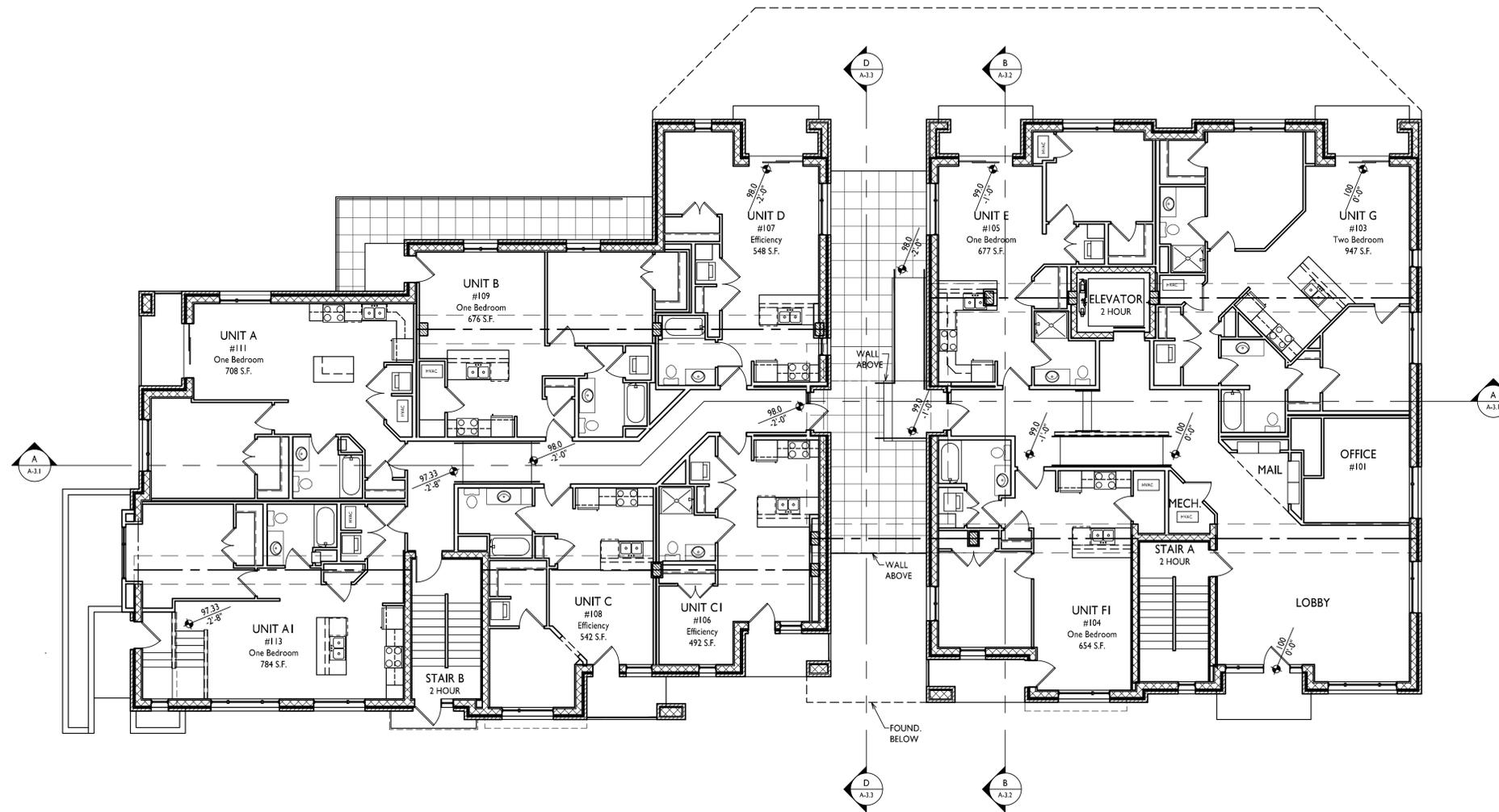
PROJECT TITLE
WEBSTER STREET

27 N. Webster St.
SHEET TITLE
FIRST FLOOR PLAN

SHEET NUMBER

A-1.1

PROJECT NO. **1315**
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FIRST FLOOR PLAN
1/8"=1'-0" GROSS AREA = 8,367 S.F.



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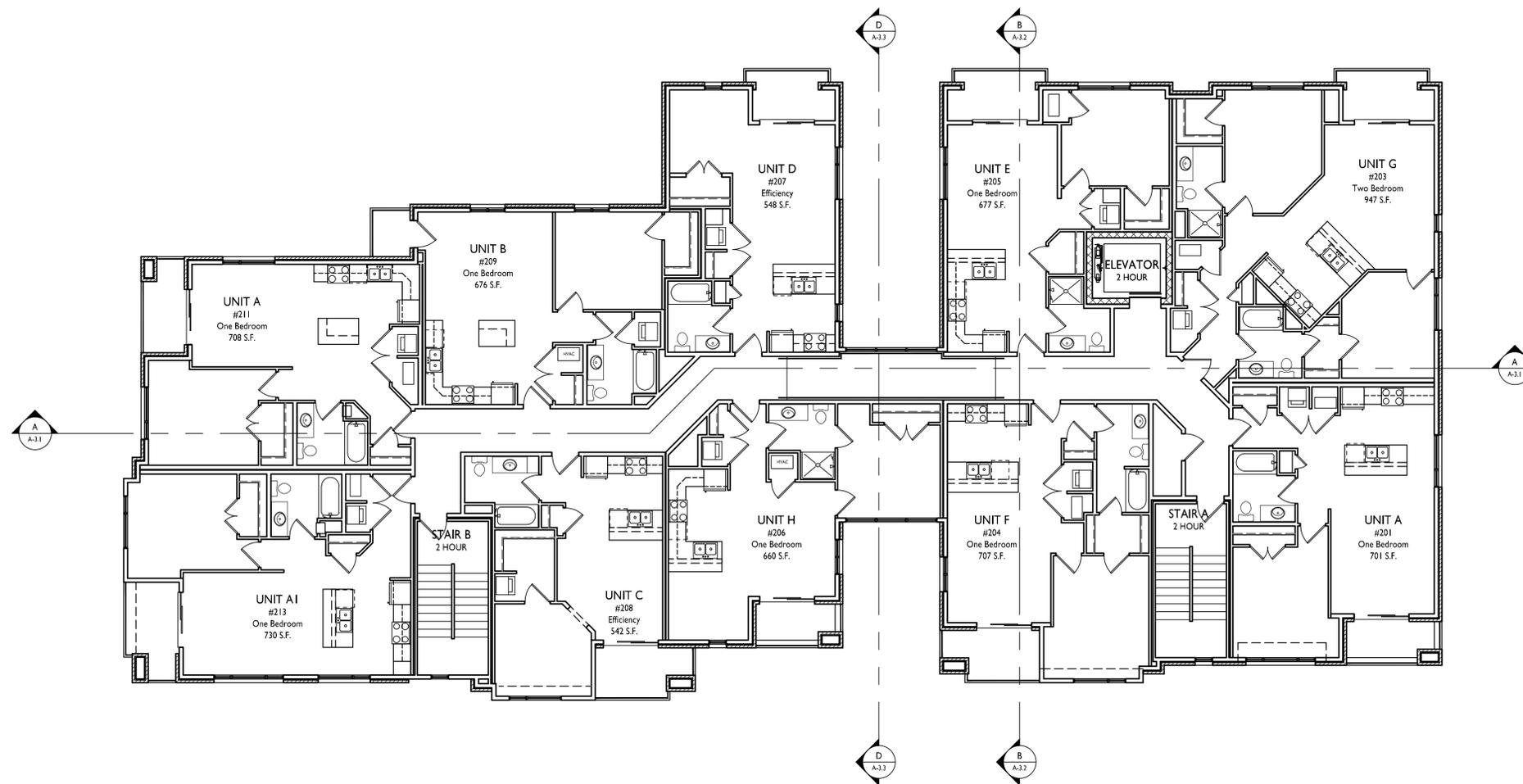
PROJECT TITLE
WEBSTER STREET

27 N. Webster St.
SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER

A-1.2

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SECOND FLOOR PLAN
1/8"=1'-0" GROSS AREA = 8,015 S.F.



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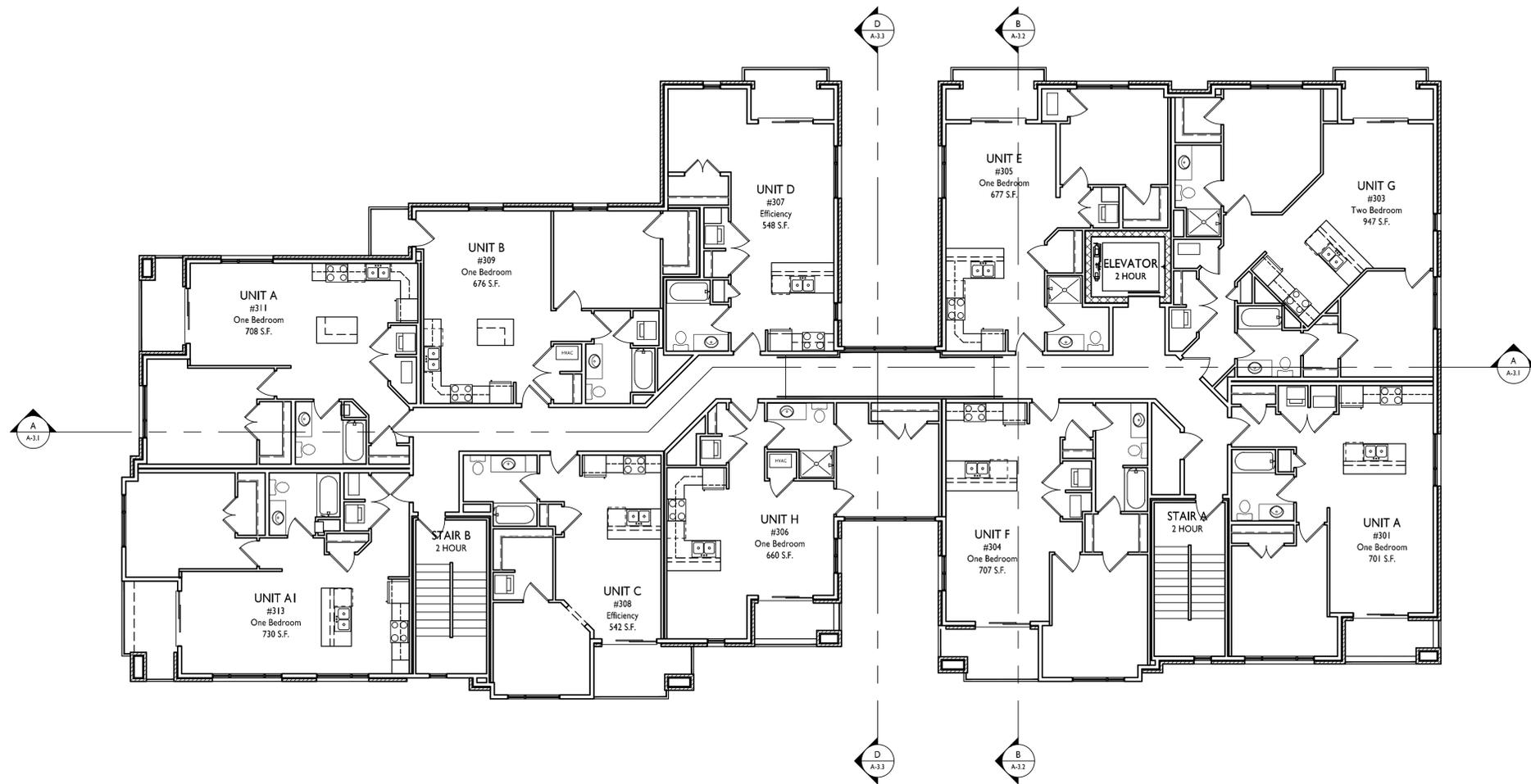
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WEBSTER STREET

27 N. Webster St.
SHEET TITLE
THIRD FLOOR PLAN

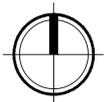
SHEET NUMBER

A-1.3

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THIRD FLOOR PLAN
1/8" = 1'-0" GROSS AREA = 8,015 S.F.



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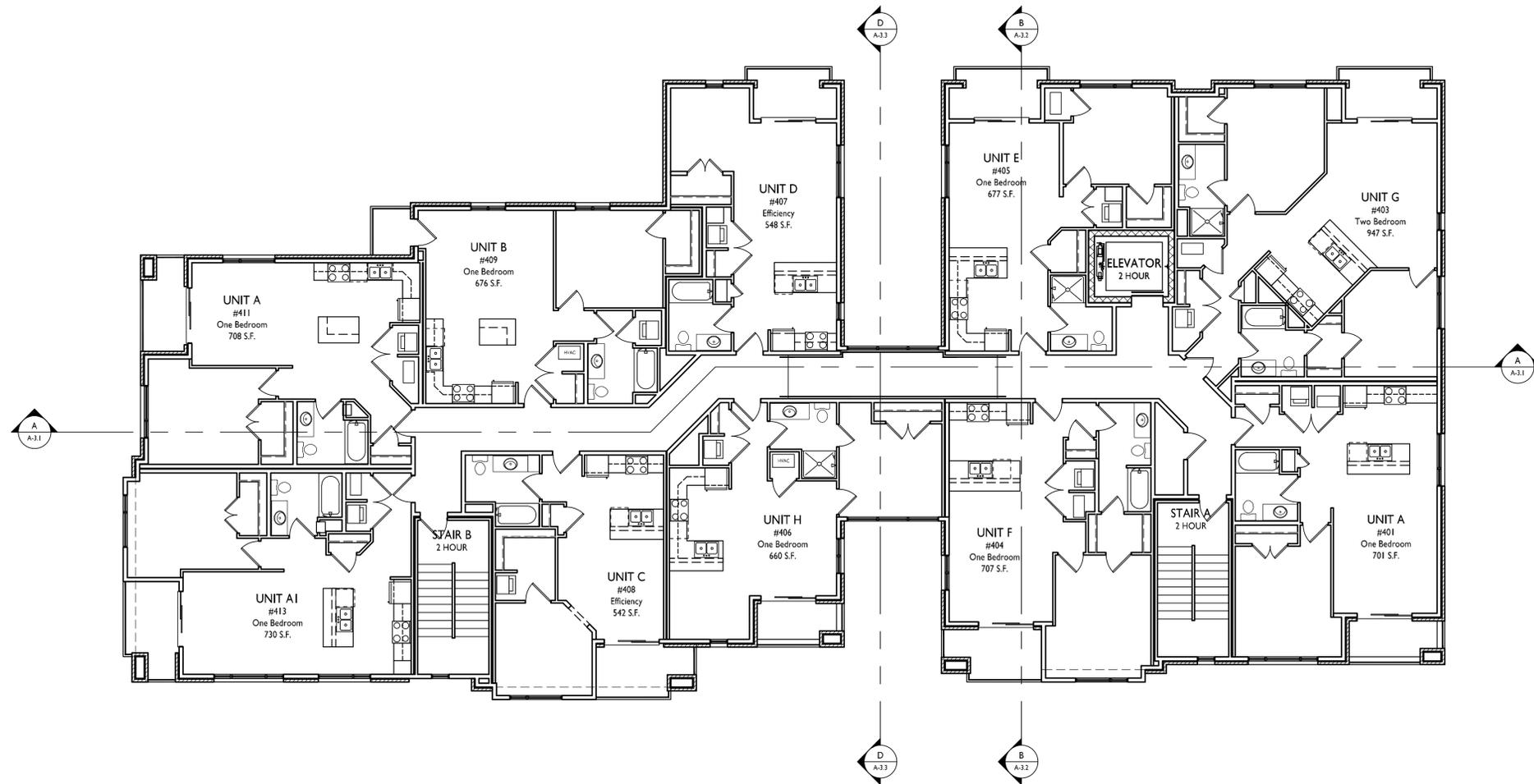
PROJECT TITLE
WEBSTER STREET

27 N. Webster St.
SHEET TITLE
FOURTH FLOOR PLAN

SHEET NUMBER

A-1.4

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FOURTH FLOOR PLAN
1/8"=1'-0" GROSS AREA = 7,311 S.F.





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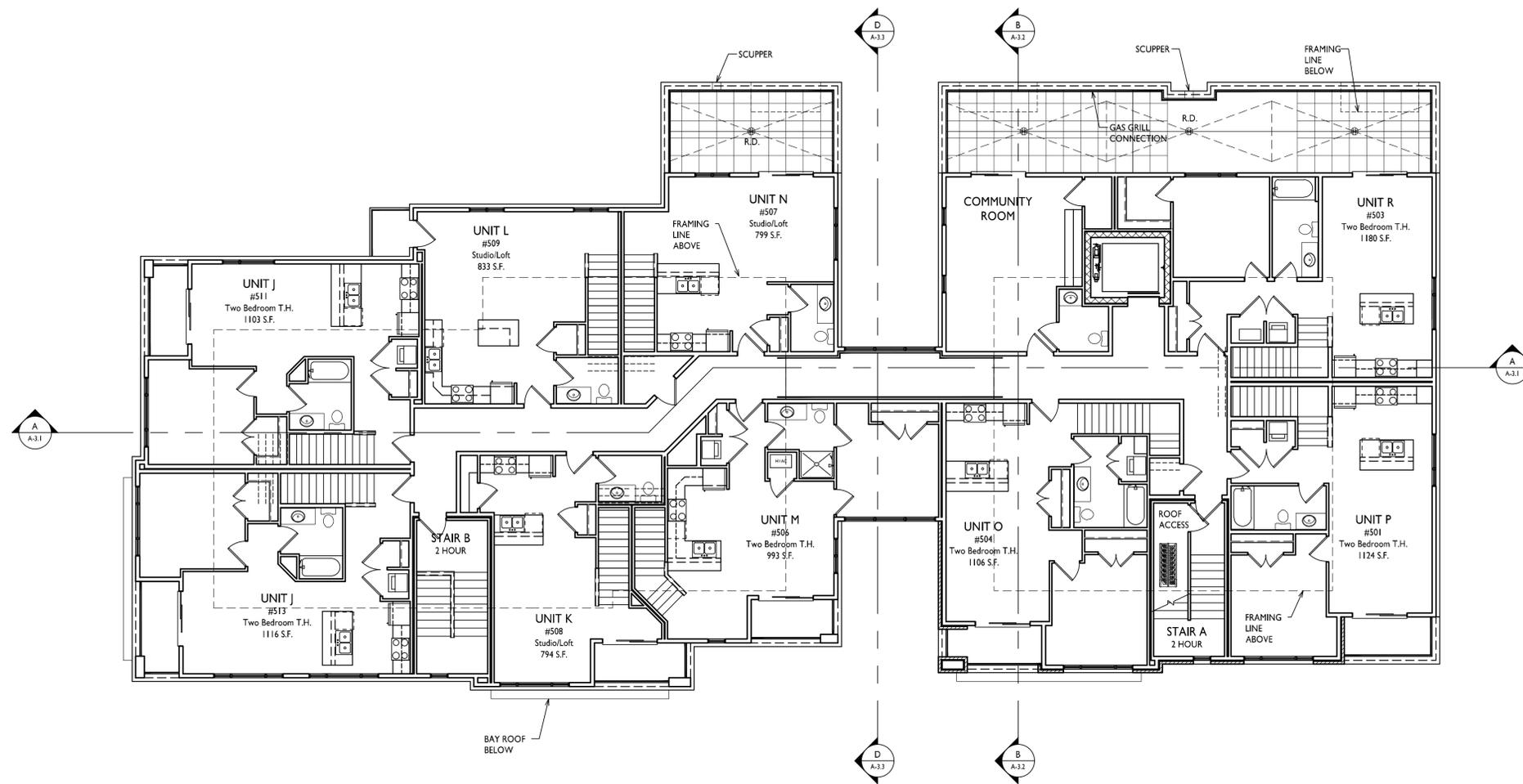
PROJECT TITLE
WEBSTER
STREET

27 N. Webster St.
SHEET TITLE
FIFTH FLOOR
PLAN

SHEET NUMBER

A-1.5

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FIFTH FLOOR PLAN
1/8" = 1'-0"

GROSS AREA = 7,311 S.F.





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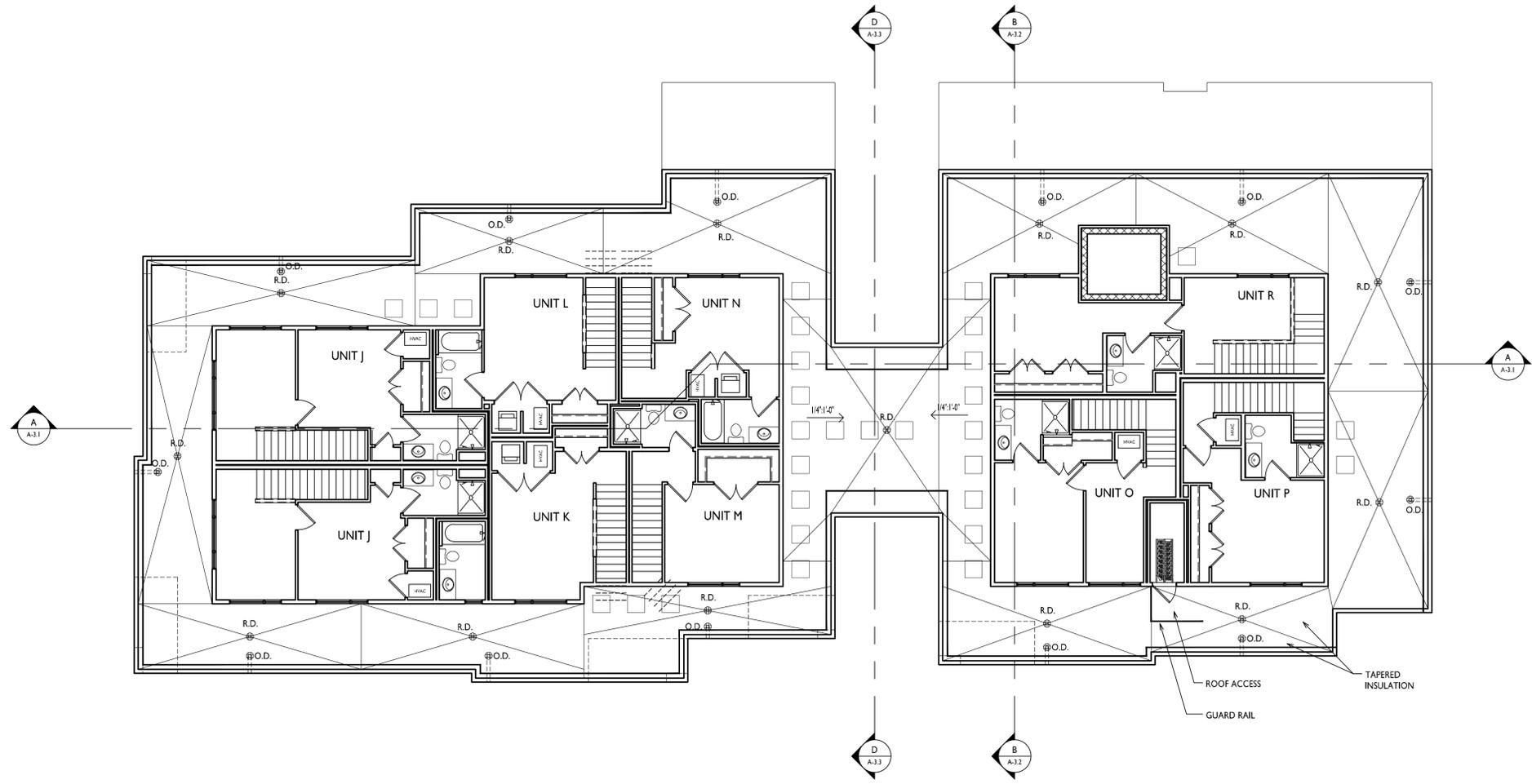
PROJECT TITLE
WEBSTER STREET

27 N. Webster St.
SHEET TITLE
LOFT FLOOR PLAN

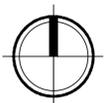
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LOFT FLOOR PLAN
1/8"=1'-0" GROSS AREA = 3,794 S.F.





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PROJECT TITLE
WEBSTER ST.

27 N. Webster St.
SHEET TITLE
Exterior
Elevations

SHEET NUMBER

A-2.1

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CAST STONE BASE
(SMOOTH FACE)
4" ROCK FACE BAND

1
A-2.1
**SOUTHWEST ELEVATION
(ALONG WEBSTER STREET)**
1/8"=1'-0"



2
A-2.1
**WEST ELEVATION
(ALONG MIFFLIN STREET)**
1/8"=1'-0"



1 REAR ELEVATION
A-2.2 1/8"=1'-0"



2 SOUTHEAST ELEVATION
A-2.2 1/8"=1'-0"

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WEBSTER ST.

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SHEET TITLE
Exterior
Elevations

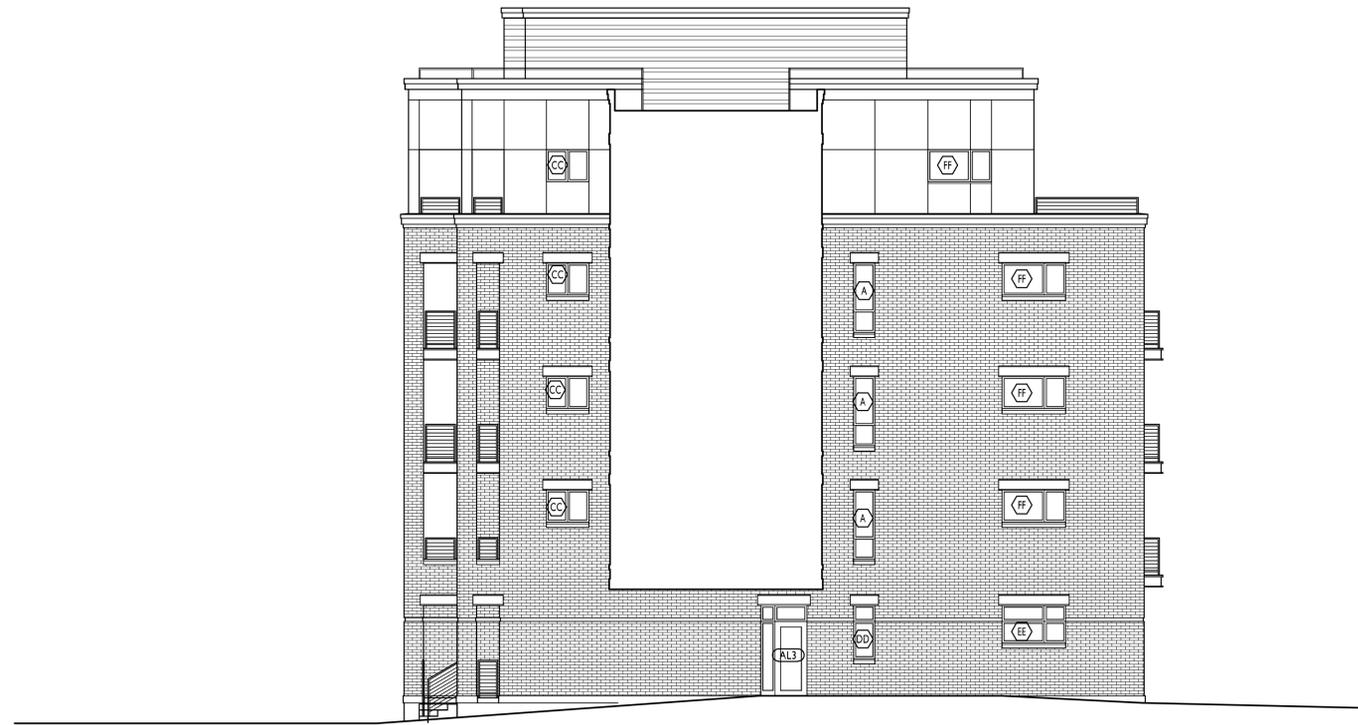
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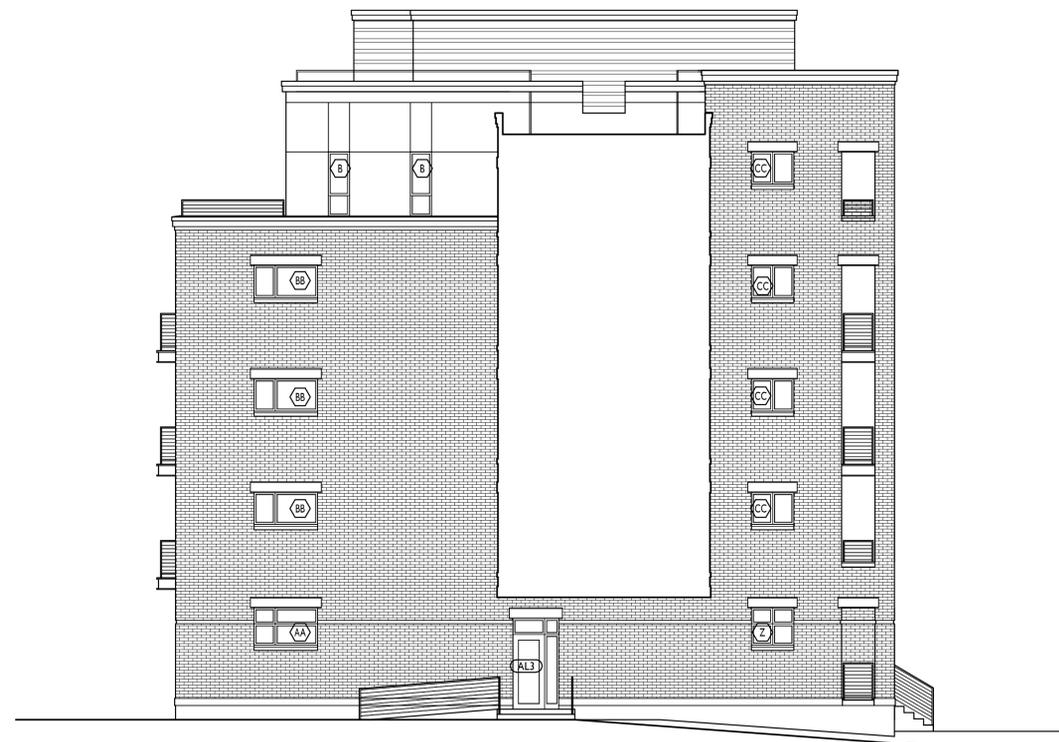
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1 INTERIOR COURTYARD ELEVATION
A-2.3 1/8"=1'-0"



2 INTERIOR COURTYARD ELEVATION
A-2.3 1/8"=1'-0"

PROJECT TITLE
WEBSTER ST.

27 N. Webster St.
SHEET TITLE
**Exterior
Elevations**

SHEET NUMBER

A-2.3

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1
A-2.1 1/8"=1'-0"
SOUTHWEST ELEVATION
(ALONG WEBSTER STREET)



2
A-2.1 1/8"=1'-0"
WEST ELEVATION
(ALONG MIFFLIN STREET)

Webster Street Elevations
June 2, 2014





1 REAR ELEVATION
A-2.2 1/8"=1'-0"



2 SOUTHEAST ELEVATION
A-2.2 1/8"=1'-0"