

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>04.02.08</u>	Action Requested
UDC MEETING DATE: <u>04.09.08</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 4802 Tradewinds Parkway
ALDERMANIC DISTRICT: 16th

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
Kevin Wilson Dimension III - Madison
1602 W. Beltline Hwy. 6515 Grand Teton Plaza #120
Madison, WI 53713 Madison, WI 53719

CONTACT PERSON: JIM GERSICH / CHRIS ROMNEY
Address: 6515 Grand Teton Plaza #120
Madison, WI 53719
Phone: 608.829.4444
Fax: 608.829.4445
E-mail address: jgersich@dimensionivmadison.com

- TYPE OF PROJECT:
(See Section A for:)
- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Residential Development (PRD)
 - New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 - School, Public Building or Space (Fee may be required)
 - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 - Planned Commercial Site

(See Section B for:)
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
 Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



PROJECT: Sleep Inn/AB20708 GROUP: Site - Revised II AREA: Site GRID: Grade
PREPARED BY: Dave - Visual Impact Lighting
VALUES ARE FC, SCALE: 1 IN= 15.0FT, HORZ GRID (U), HORZ CALC, Z= 0.0

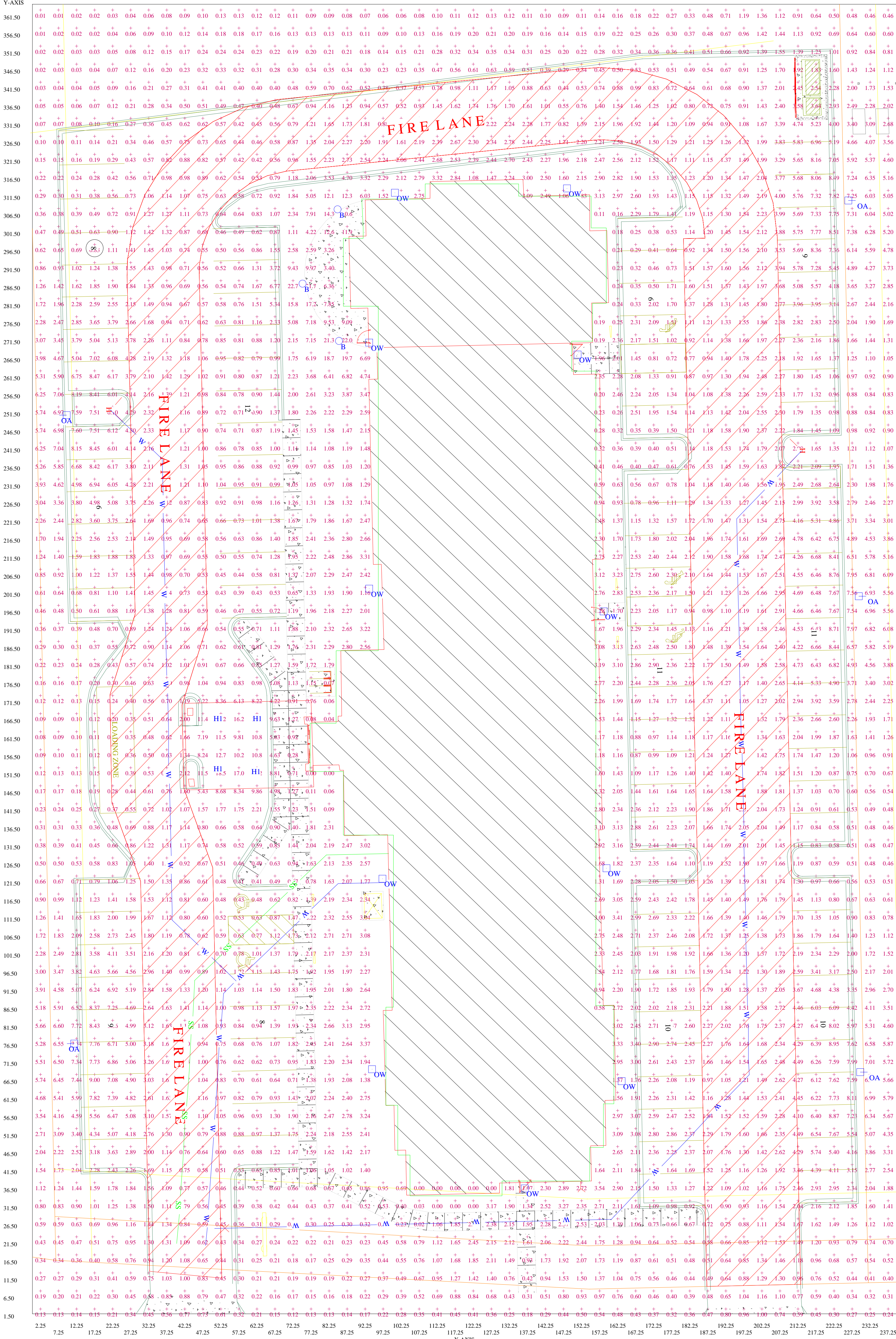
Computed in accordance with IES recommendations
Statistics

GROUP	MIN	MAX	AVE	AVE/MIN	MAX/MIN
(+)	0.00	22.75	1.97	N/A	N/A

Luminaires Used

TYPE	QTY	TEST#	DESCRIPTION
B	3	-----	Spauld Bollard, NA, Conc. Pour (1) BL <FN2-P10-DO>, LLF= 0.80;
HI	4	PL5528	Prescolite, LF6MH-6MHV-70MHFE, Open Downlights RECESSED HID LITEBOX DOWNLIGHT, CLEAR ALZAK REFLECTOR; LAMPS: (1) (1) CDMPT70/C/U/M, (PHILIPS), 5700 LUMENS, BLST. STANDARD, LLF = 0.63 @ 10.00
OA	5	-----	Single Cimerron, 25 SSS, Conc. Pour (1) O1 <CR1-H40-H3>, LLF= 0.80;
OW	11	-----	Laredo, na, na (1) W1 <LMC-175H-CS>, LLF= 0.72;

Y-AXIS



X-AXIS



NORTH

LOT 4

GENERAL SITE NOTES: WHERE APPLICABLE

- CONTRACTORS SHALL OBTAIN NECESSARY PERMITS AND APPROVALS FOR GRADING ON R.O.W. CURB CUTS AND DRIVES
- ALL SITE INFORMATION IS BASED ON AVAILABLE DATA FROM LOCAL GOVERNMENTAL AGENCIES AND UTILITY COMPANIES. ALL SITE INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR(S) PRIOR TO START OF CONSTRUCTION.
- VERIFY COMPLIANCE WITH COUNTY AND STATE ZONING AND BUILDING ORDINANCES.
- VERIFY LOCATION OF TELEPHONE SERVICE AND REQUIREMENTS OF PHONE COMPANY.
- PLUMBING CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND DEPTH OF SANITARY SEWER, STORM SEWER, AND WATER MAINS AND COORDINATE ALL LATERAL CONNECTIONS TO MAINS WITH LOCAL MUNICIPALITY.
- HVAC CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF GAS MAINS AND COORDINATE GAS LATERAL CONNECTIONS, ROUTE TO BUILDING, AND PLACEMENT OF GAS METER WITH THE LOCAL GAS COMPANY.
- ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF PRIMARY DISTRIBUTION SERVICE AND COORDINATE EXTENSION OF SERVICE TO THE BUILDING AND LOCATION OF TRANSFORMER WITH THE LOCAL ELECTRIC COMPANY.
- REMOVE ALL TOPSOIL AND UNSTABLE MATERIAL FROM WITHIN BUILDING LIMITS, AT PARKING, AT DRIVE AND AT WALKS. FILL TO FINAL GRADES THESE AREAS WITH STRUCTURAL GRANULAR MATERIAL COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557 THE MOOPED PROCTOR.
- EXCAVATIONS FOR FOOTING SHALL BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT OF FOUNDATION CONSTRUCTION.
- SOILS ENGINEER SHALL BE PRESENT DURING FILL OPERATIONS AND REPRESENTATIVE NUMBER OF FIELD DENSITY TESTS SHALL BE TAKEN AS SITE IS FILLED IN.
- ALL CURB DIMENSIONS ARE TO FACE OF CURB, TYP.
- ALL CURB RADIUS ARE TO FACE OF CURB, TYP.

ZONING SUMMARY

ZONING CLASSIFICATION:	M-1 (LIMITED MANUFACTURING)
FRONT YARD SETBACK:	25FT.
SIDE YARD SETBACK:	10 FT.
REAR YARD SETBACK:	10 FT.
FLOOR AREA RATIO:	2.0

PROPERTY SUMMARY

LOT AREA:	
SQUARE FEET:	94,356 SQ. FT.
ACRES:	2.156 ACRES
IMPERVIOUS:	
PAVEMENT SURFACES:	38,799 SQ. FT. - (41%)
BUILDING ROOFS:	17,978 SQ. FT. - (19%)
TOTAL:	56,777 SQ. FT. - (60%)
PERVIOUS:	
GREEN SPACE:	37,619 SQ. FT. - (40%)

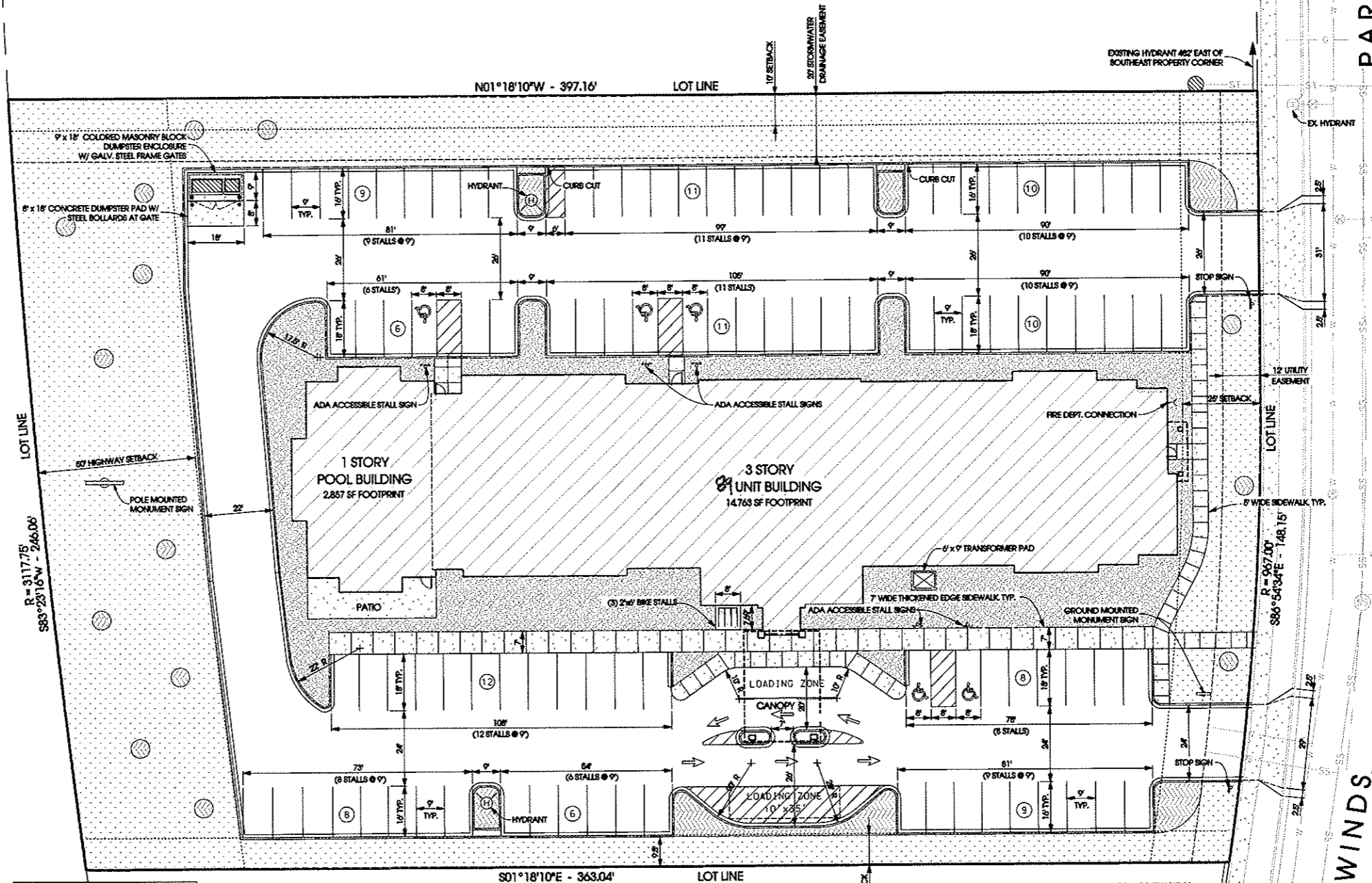
PARKING LOT SITE PLAN INFORMATION

SITE ADDRESS:	4802 TRADEWINDS PARKWAY
SITE ACREAGE:	2.165 ACRES (94,356 SQ. FT.)
NUMBER OF BUILDING STORIES (ABOVE GRADE):	3
BUILDING HEIGHT:	30'
DJ/R TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS):	
TOTAL SQUARE FOOTAGE OF BUILDING:	17,978 SQ. FT.
USE OF PROPERTY:	M-1 (HOTEL)
TOTAL GUEST ROOMS:	92
TOTAL EMPLOYEES:	10
NUMBER OF BICYCLE STALLS:	3
NUMBER OF PARKING STALLS:	
REQUIREMENT:	1 STALL PER GUEST ROOM 4 ADA ACCESSIBLE 1 ADA VAN ACCESSIBLE

	SHOWN
SMALL CAR	0
LARGE CAR	95
ADA ACCESSIBLE	5
TOTAL	100

COVERAGE LEGEND

	ASPHALT
	CONCRETE
	GRASS
	LANDSCAPING STONE
	LANDSCAPING MULCH



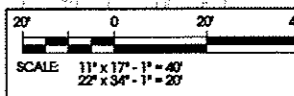
PARKWAY

TRADEWINDS



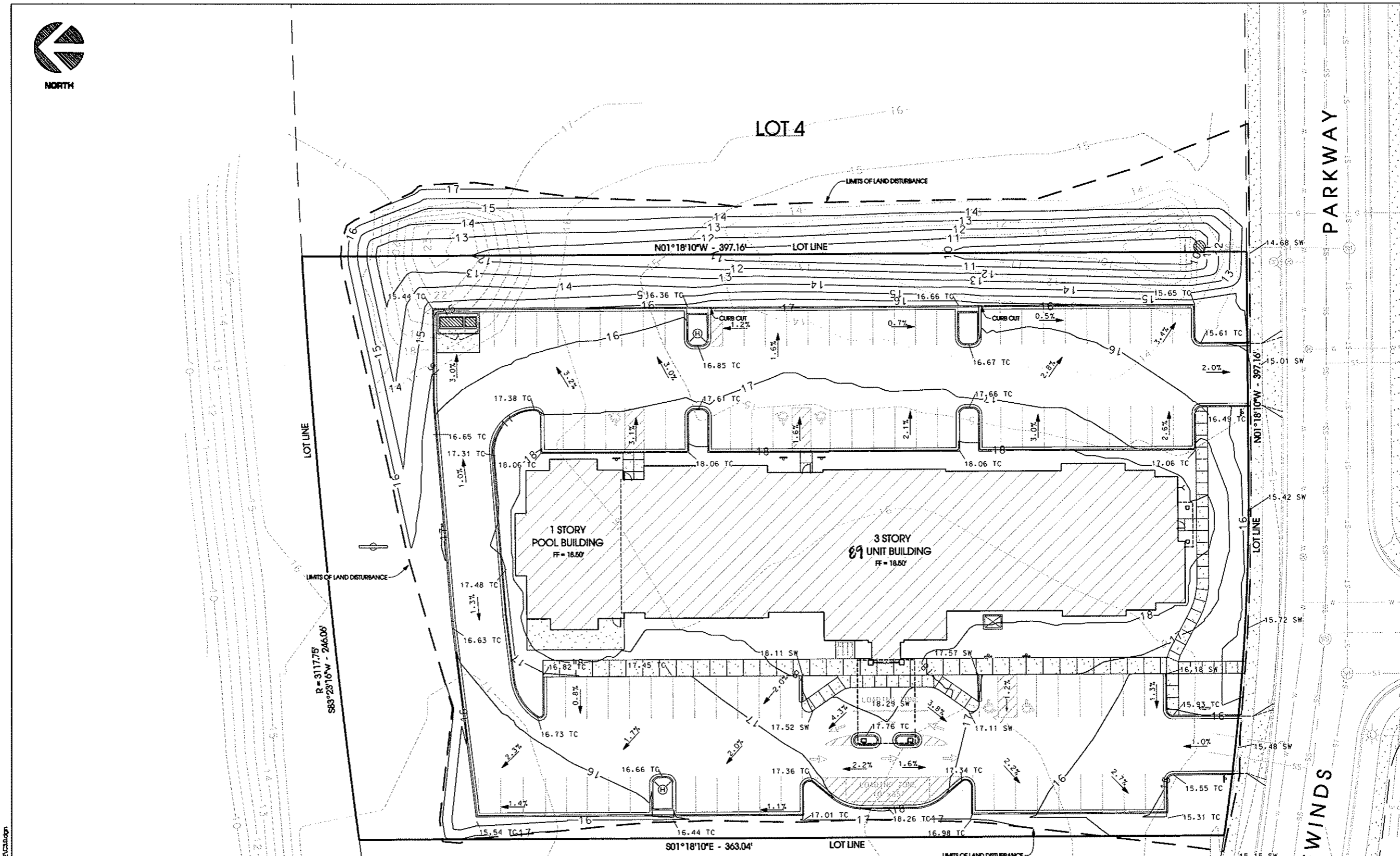
PROPOSED SITE PLAN - SCHEME 2 - SLEEP INN & SUITES MADISON, WISCONSIN

SHEET TITLE:	
ISSUE DATE:	02/20/08 - CD
REVISIONS:	
PRELIMINARY NOT FOR CONSTRUCTION	
DRAWN BY:	AMF
CHECKED BY:	AJO
PLOT DATE:	4/2/08
PROJECT NUMBER:	3245
FILE NAME:	C2.0.dgn
SHEET NUMBER:	
CR.O	





**GRADING PLAN
 - SCHEME 2 -
 SLEEP INN & SUITES
 MADISON, WISCONSIN**



GRADING NOTES

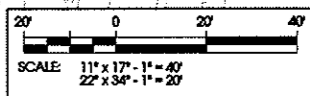
1. CONTOUR INTERVAL IS 1 FOOT.

2. THE FOLLOWING EARTHWORK QUANTITIES ARE APPROXIMATE ONLY. THESE CALCULATIONS ARE BASED UPON THE CUT/FILL RELATIONSHIP FROM THE TOP OF EXISTING GRADE (TOPSOIL), TO THE TOP OF THE FINISHED GRADE SURFACE. THE CALCULATIONS DO NOT ACCOUNT FOR LOSS OR GAIN DUE TO TOPSOIL, STONE BASE, PAVEMENT OR SLAB THICKNESS AND/OR SHRINKAGE/SWELL DUE TO COMPACTION. ALL EARTHWORK CALCULATIONS SHALL BE VERIFIED BY THE CONTRACTOR. PLEASE CONTACT THE ENGINEER TO REQUEST CAD FILES OF EXISTING AND PROPOSED CONTOURS DATA FOR IMPORT INTO EARTHWORK COMPUTATION PROGRAMS.

TOTAL CUT: XXXX CY
 TOTAL FILL: XXXX CY
 NET: XXXXX CY

LEGEND:

--- 100 --- EXISTING CONTOUR
 — 100 — PROPOSED CONTOUR
 → FLOW DIRECTION
 815.17 SPOT ELEVATION



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PRELIMINARY NOT FOR CONSTRUCTION	
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FILE NAME:	C3.0.dgn
SHEET NUMBER:	

C3.0

Tradewinds Business Centre

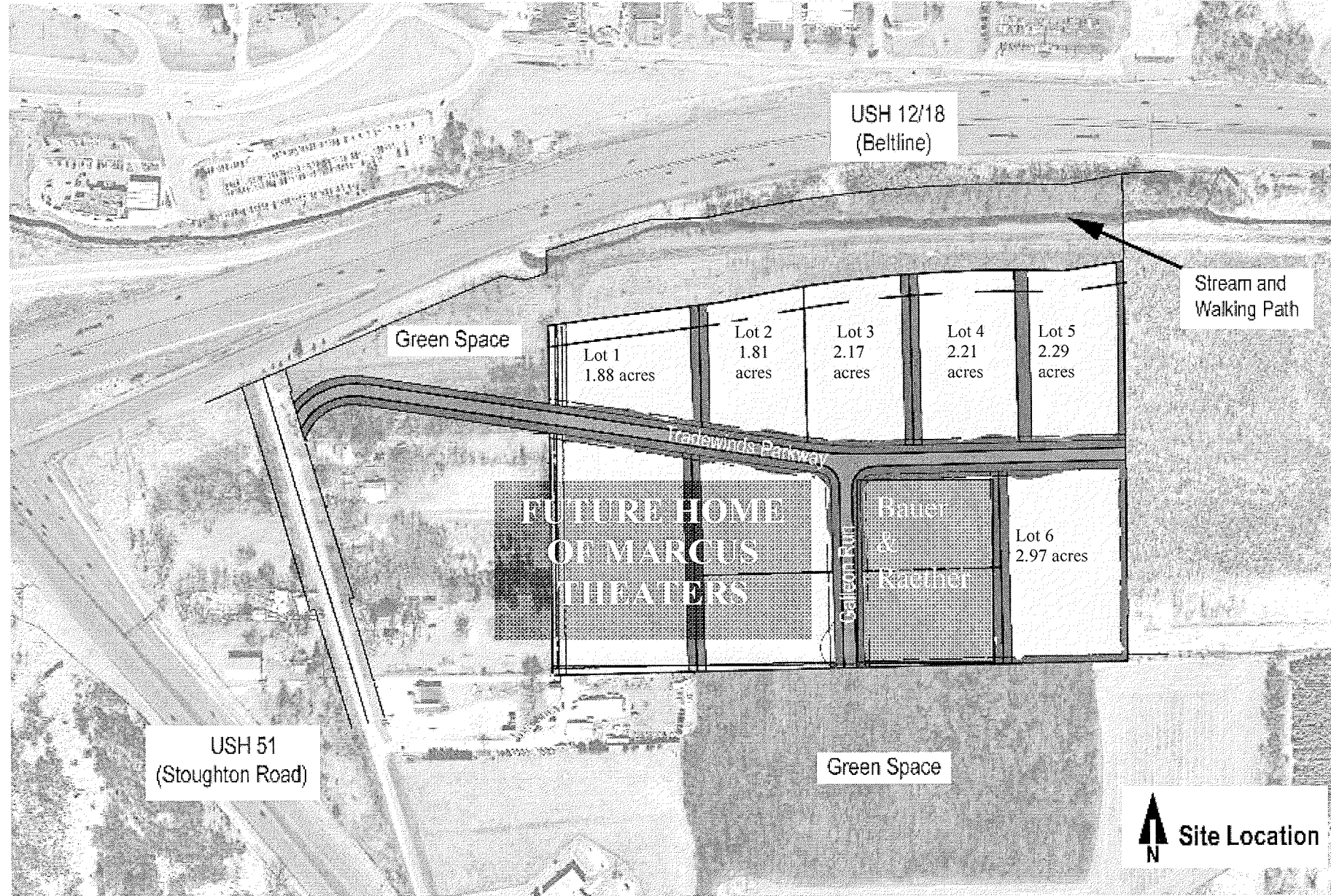


Image Courtesy of Strang, Inc.



DIMENSION IV

Madison Design Group
architecture · engineering · interior design

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719

p 608.829.4444 · f 608.829.4445

dimensionivmadison.com

SLEEP INN & SUITES

4802, Tradewinds Parkway, Madison, WI - 53718



BY CHOICE HOTELS

Developer: Bauer & Raether Builders Inc., Madison, WI

Architecture & Engineering: Dimension IV - Madison, LLC, Madison, WI

Site & Landscape Design: Edge Consulting Engineers, Inc., Prairie du Sac, WI

LIST OF DRAWINGS

GENERAL

G0.1 COVER SHEET

SITE / LANDSCAPE

C2.0 PROPOSED SITE PLAN

C3.0 GRADING PLAN

L1.0 LANDSCAPING PLAN

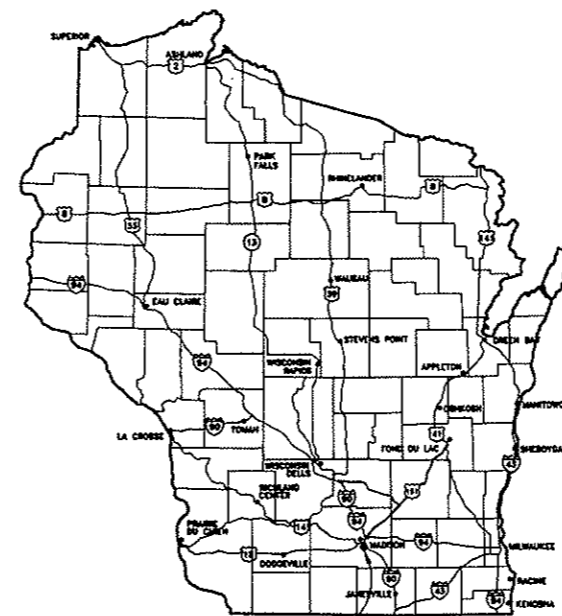
L1.1 TRASH ENCLOSURE DETAIL

SITE PHOTOMETRICS

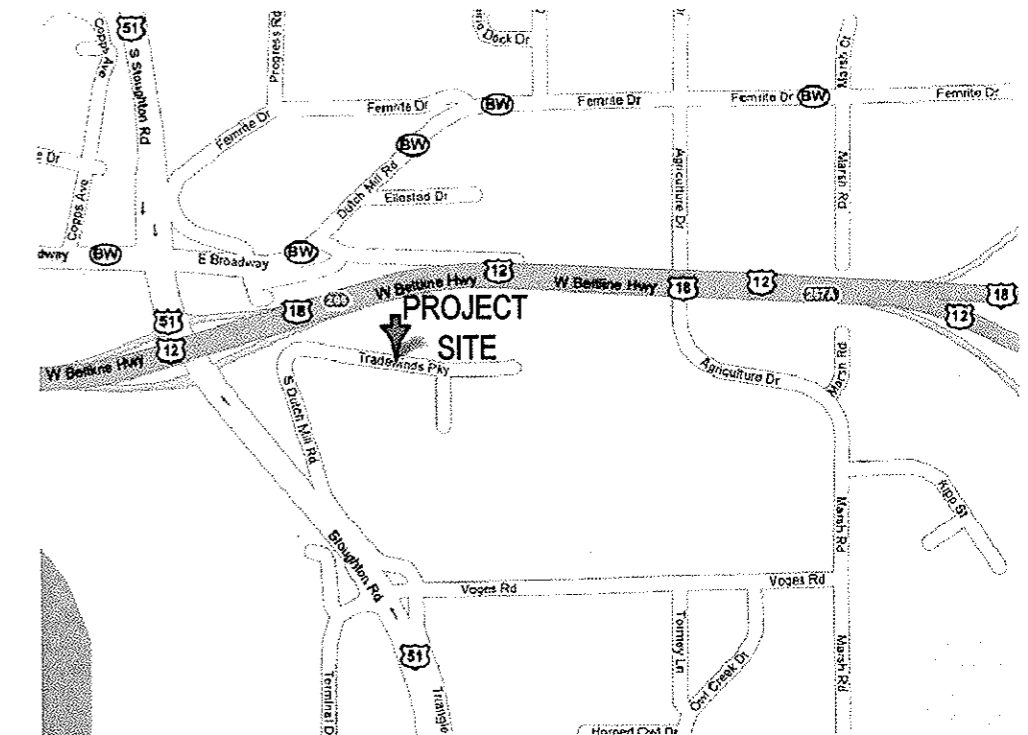
ARCHITECTURAL

A2.0 EXTERIOR BUILDING ELEVATIONS

A2.1 EXTERIOR BUILDING ELEVATIONS



STATE MAP



SITE LOCATION MAP

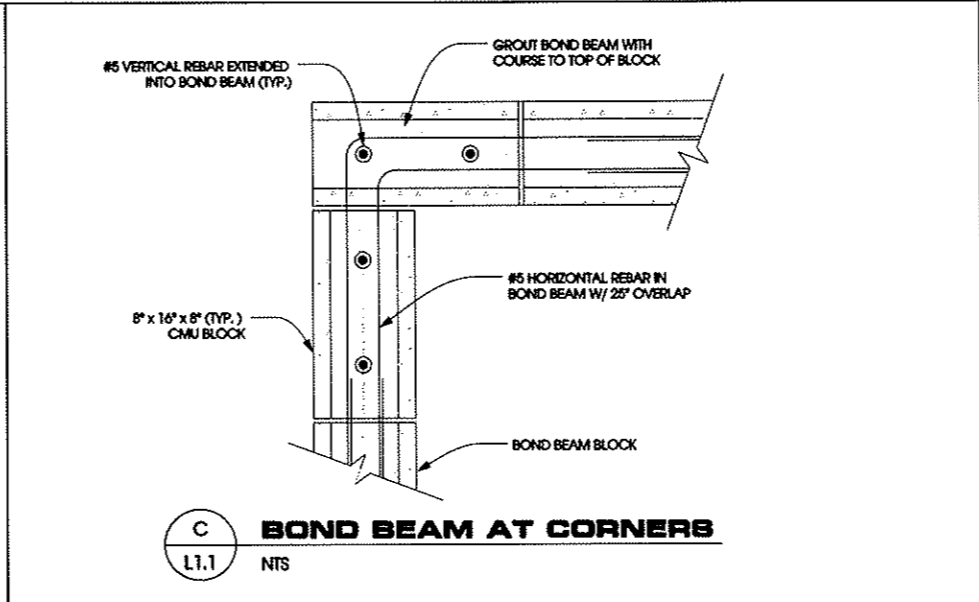
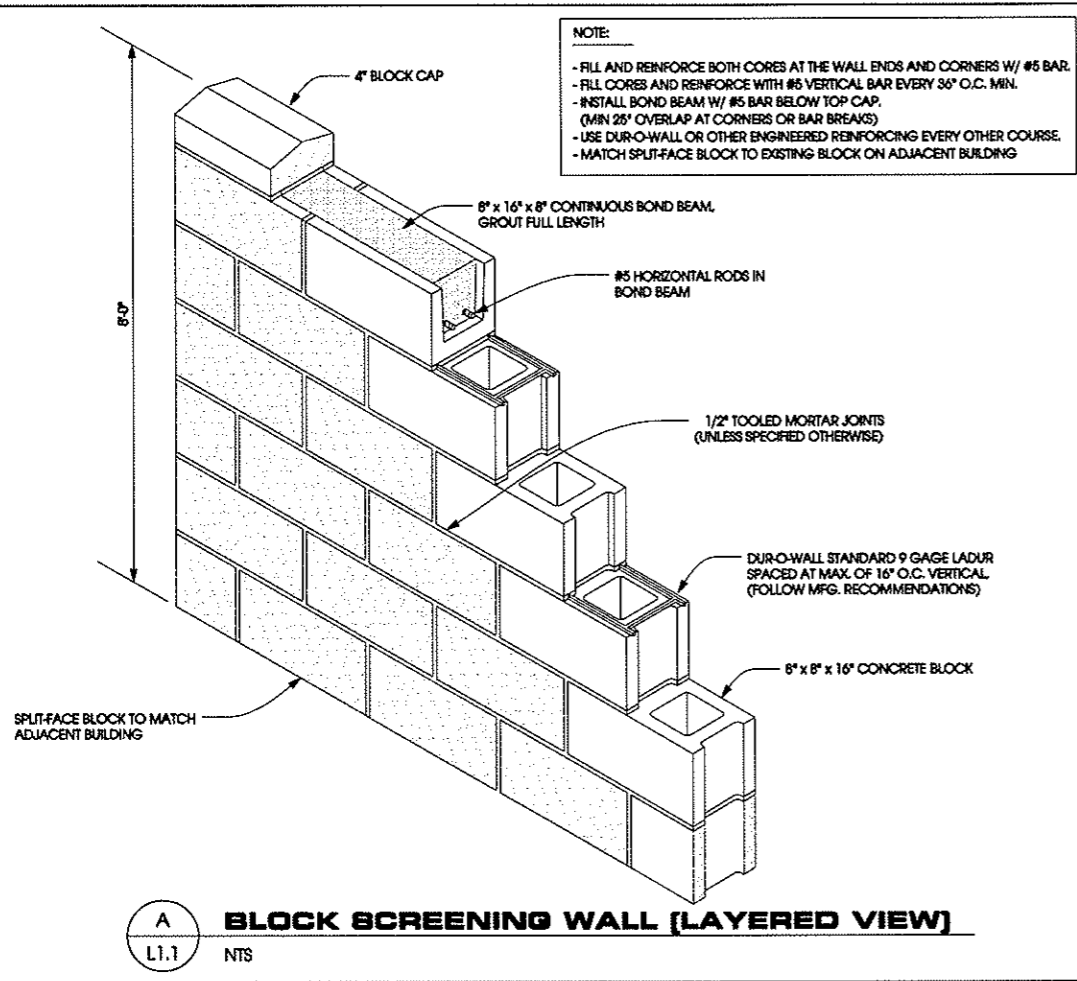
ROOM MIX

	LOBBY LEVEL	SECOND LEVEL	THIRD LEVEL	TOTAL
KING ROOMS	6	12	12	30
H.C. KING ROOMS	0	2	0	2
KING SUITES	3	4	4	11
H.C. KING SUITE	1	0	0	1
Q/Q ROOMS SINGLES	13	14	16	43
H.C. Q/Q ROOMS	0	0	2	2
TOTAL	23	32	34	89

BUILDING DESCRIPTION		SIZE
GROUND FLOOR	17,978 SQ.FT.	
2ND FLOOR	14,888 SQ.FT.	
3RD FLOOR	14,888 SQ.FT.	
DEVELOPER FLOOR	310 SQ.FT.	
TOTAL	47,664 SQ.FT.	

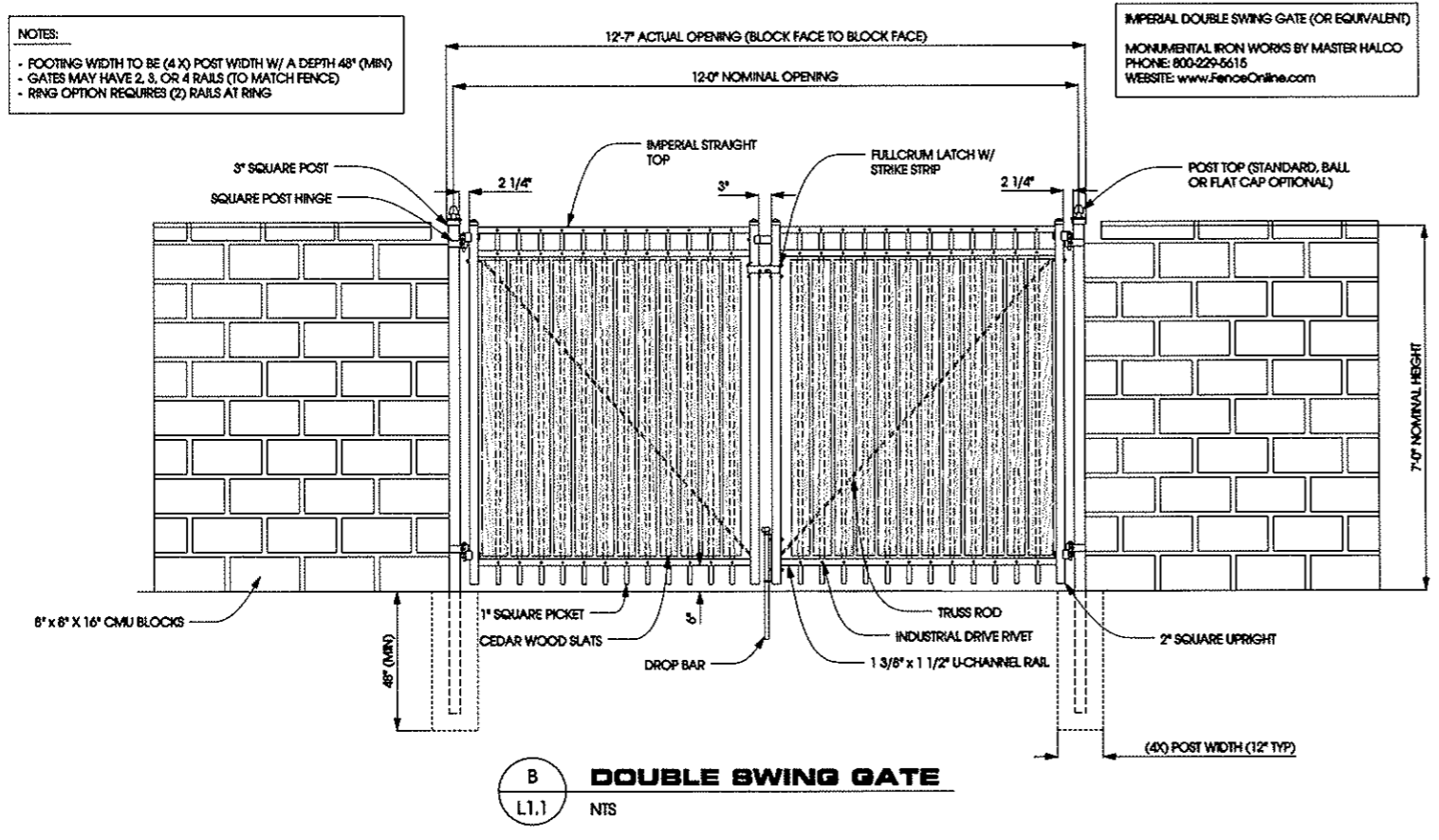
BUILDING DESCRIPTION		
OCCUPANCY	USE	SIZE
RESIDENT	GUEST ROOMS	21,778 SQ.FT.
	RESTAURANT	711 SQ.FT.
	BAR	188 SQ.FT.
	POOL	2,359 SQ.FT.
	LOBBY	231 SQ.FT.
	BIKINI ROOM	108 SQ.FT.
	CLUB ROOM	131 SQ.FT.
	LOBBY	131 SQ.FT.
	CLUB ROOM	131 SQ.FT.
	CLUB ROOM	131 SQ.FT.
BUSINESS	OFFICE	105 SQ.FT.
	MEETING ROOM	284 SQ.FT.
	STAIRS	58 SQ.FT.

BUILDING OCCUPANCY AND USE			
OCCUPANCY	USE	NUMBER OF PEOPLE	SQUARE FOOT
RESIDENT	RESTAURANT	30	711 SQ.FT.
	CLUB	15	188 SQ.FT.
	POOL	107	2,359 SQ.FT.
	LOBBY	15	231 SQ.FT.
	BIKINI ROOM	15	108 SQ.FT.
	CLUB ROOM	15	131 SQ.FT.
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	CLUB ROOM	15	131 SQ.FT.
	CLUB ROOM	15	131 SQ.FT.
	CLUB ROOM	15	131 SQ.FT.
BUSINESS	OFFICE	11	105 SQ.FT.
	MEETING ROOM	4	284 SQ.FT.
	STAIRS	4	58 SQ.FT.
TOTAL	RESIDENT	21,778	21,778 SQ.FT.
	BUSINESS	30	30 SQ.FT.

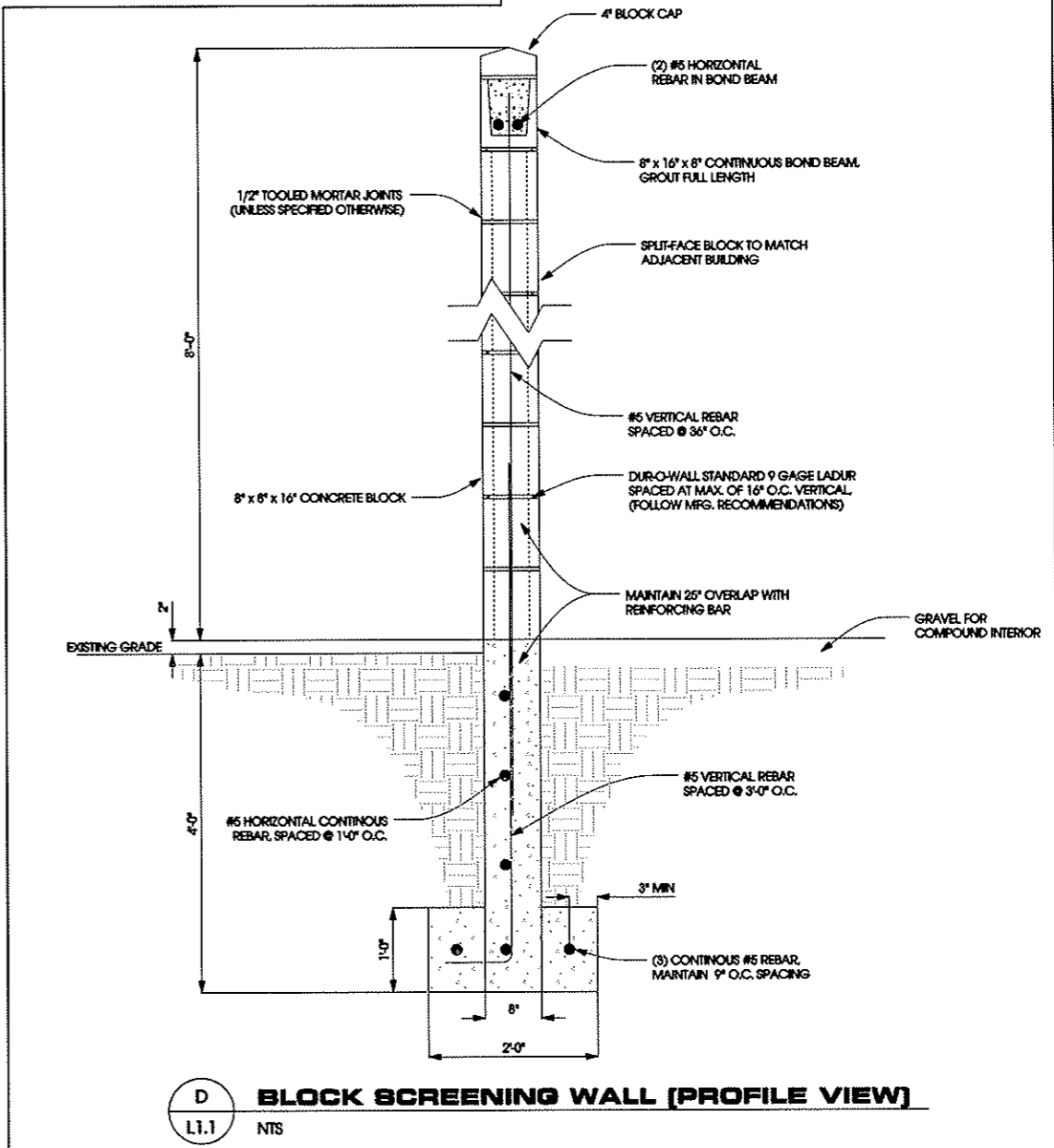


CONCRETE NOTES:

- ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE W/ LOCAL BUILDING CODE REQUIREMENTS AND MOST CURRENT VERSION OF ACI STANDARDS
- ALL CONCRETE UNLESS SPECIFICALLY NOTED SHALL BE NORMAL WEIGHT (145 PCF) AND SHALL ACHIEVE A 28-DAY COMPRESSIVE STRENGTH (F_c) OF 3,000 PSI
- ALL REINFORCING SHALL BE ASTM A615 GRADE 60 STEEL AND PLACED IN ACCORDANCE W/ ACI AND CONCRETE MASONRY STANDARDS W/ 3" MIN. COVERAGE



IMPERIAL DOUBLE SWING GATE (OR EQUIVALENT)
MONUMENTAL IRON WORKS BY MASTER HALCO
PHONE: 800-229-5615
WEBSITE: www.FenceOnline.com



TRASH ENCLOSURE DETAIL
- SCHEME 2 -
SLEEP INN & SUITES
MADISON, WISCONSIN

SHEET TITLE: _____

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DRAWN BY:	AMF
CHECKED BY:	AJO
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PROJECT NUMBER:	3245
FILE NAME:	L1.1.dgn
SHEET NUMBER:	L1.1

© EDGE CONSULTING ENGINEERS, INC.



Bauer & Raether Builders, Inc.

*4801 Tradewinds Parkway, Suite 200
Madison, WI 53718*

www.bauer-raether.com

Phone: 608-222-8941

Fax: 608-222-0862

March 5, 2008

City of Madison
Urban Design Commission
ATTN: Al Martin
215 Martin Luther King Jr. Blvd
Room LL-100
Madison, WI 53701-2985

RE: Initial/Final Application Sleep Inn & Suites

Dear Mr. Martin:

Enclosed is a packet for the initial/final consideration of Urban Design Commission. This project involves the construction of a 3 story "Sleep Inn & Suites" hotel to be built on Tradewinds Parkway, east of the intersection of Stoughton Road and the Beltline in southeast Madison, Wisconsin. It will be at 4802 Tradewinds Parkway. The building will contain 92 individual guest rooms, associated common spaces and an attached one-story swimming pool to the rear. A covered drive-up will provide access for guests.

The site will include 3 bicycle spaces and 100 parking spaces including 5 handicap stalls. The preliminary exterior design calls for a brick base and cementitious siding with stucco for accent areas. The signage will consist of the corporate logo featured on a roof top cupola. The roof is planned to be a hip design with architectural shingles. Appropriate landscaping will be provided to meet the City of Madison ordinances.

Sincerely,

Dennis Bauer, President

April 2, 2008

Al Martin
Urban Design Commission
Department of Planning
City of Madison
215 Martin Luther King, Jr. Blvd.
Madison, WI 53707

Reference: Urban Design
Sleep Inn and Suites
4802 Tradewinds Parkway
Madison, WI
Dimension IV-Madison Project No. 07081

Dear Mr. Martin:

Enclosed is our application for Urban Design review of final presentation of the proposed Sleep Inn and Suites.

We have addressed the items that were brought up in the previous UDC meeting:

- Extending the sidewalk on the west side of the building
- Enhancing the exterior south elevation
- Enhancing the pool building elevations with additional windows on three sides
- Revising the patio footprint to relate to the building

Thank you in advance for your review.

Please call me if you have any questions at 608.829.4444, ext. 24.

Sincerely,

Dimension IV – Madison, LLC

Jim Gersich, AIA

Enclosures: 14-11x17 sets

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719

p 608.829.4444

f 608.829.4445

PROJECT: Sleep Inn/AB20708 GROUP: Site - Revised II AREA: Site GRID: Grade
PREPARED BY: Dave - Visual Impact Lighting
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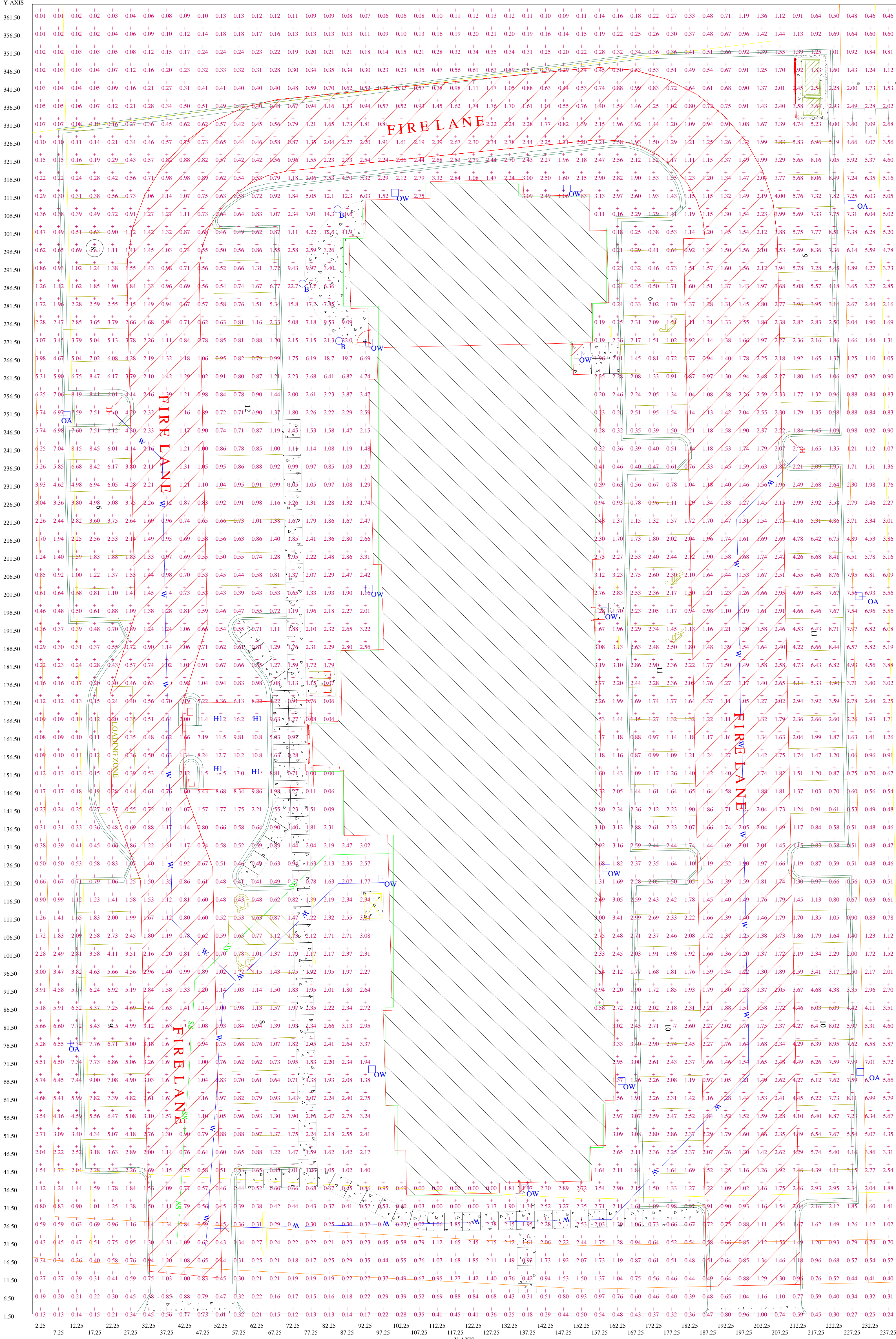
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OW	11	-----	Laredo, na, na (1) W1 <LMC-175H-CS>, LLF= 0.72;

Y-AXIS



X-AXIS





Mid Rise Monument Signage

Mid rise signage is an important sales tool by means of bringing the potential guest off the road and into your property. The ZI-144 Regent sign is the primary identification for a Sleep Inn. this sign is installed at a height of approximately 25 to 30 feet.

Model#	Size
ZI-144	12x11

Double-face cabinet, monument base.

Single Face Signage

The ZI-98 wall mounted Regent signs are an excellent means of using your building as primary or supplementary identification. The height of your building can work much in the same way pole-signage is used.

Model#	Size
ZI-98	10x9

Directional Signage

As a convenience to arriving guests, directional signage is available. These signs will clearly identify property entrances, exits as well as direct traffic flow. Directional signs can be installed at heights of 4 to 6 feet.

Model#	Size
ZI-7	2x3

Kevin G. Wilson
President

Office: 608.258.1893
 Fax: 608.258.9575
 Cell: 608.628.3239
 1602 W. Beltline Hwy.
 Madison, WI 53713



SUPER 8 MOTEL — MADISON
 1602 W. Beltline Hwy. • Madison, WI 53713
 Phone 608-258-8882 • Fax 608-258-9575
 E-mail generalmanager@super8madison.com
 www.super8madison.com

KEVIN G. WILSON, CHA
General Manager

See you along the way.

Reservations: 1-800-800-8000 • super8.com

Operated under a franchise agreement with SUPER 8 MOTELS, INC.

Site #: 3354