



# City of Madison

## Proposed Rezoning & Conditional Use

Location  
601 Langdon Street

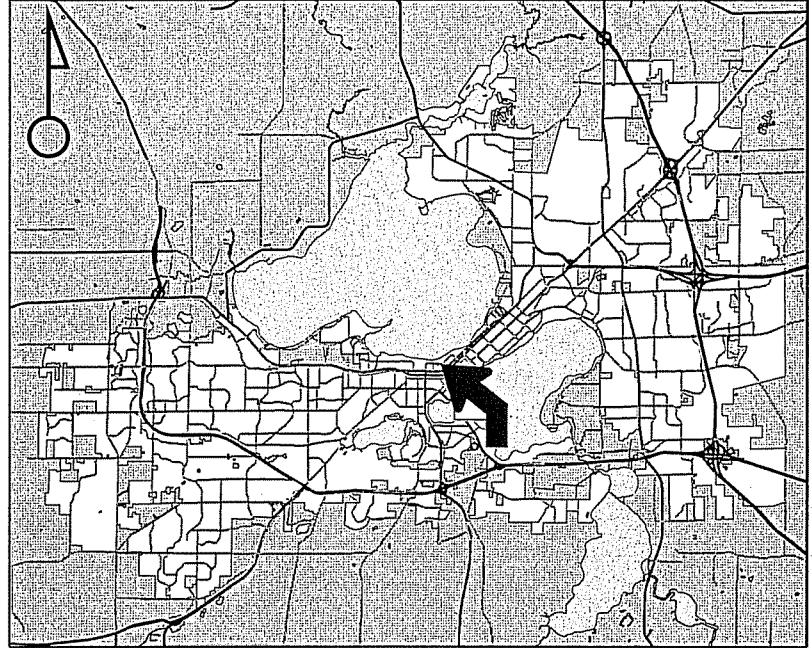
Applicant  
Graduate Madison Owner LLC/  
Bill Wellman - Graduate Madison

From: PD                      To: Amended  
PD(GDP-SIP)

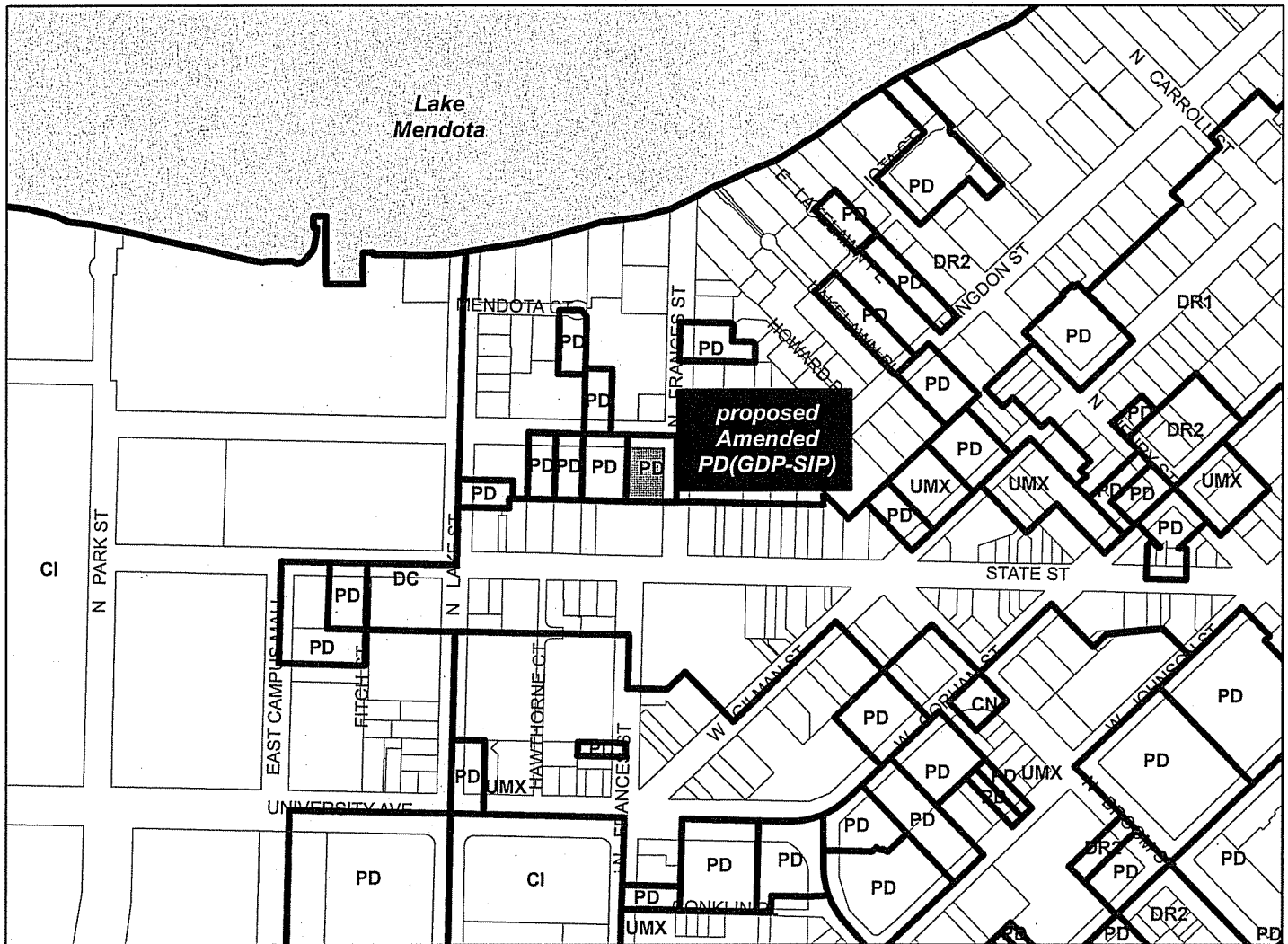
Existing Use  
Hotel, restaurant and bar

Proposed Use  
Construct rooftop mechanical screening  
and ground floor walk-up service window

Public Hearing Date  
Plan Commission  
13 June 2016  
Common Council  
21 June 2016



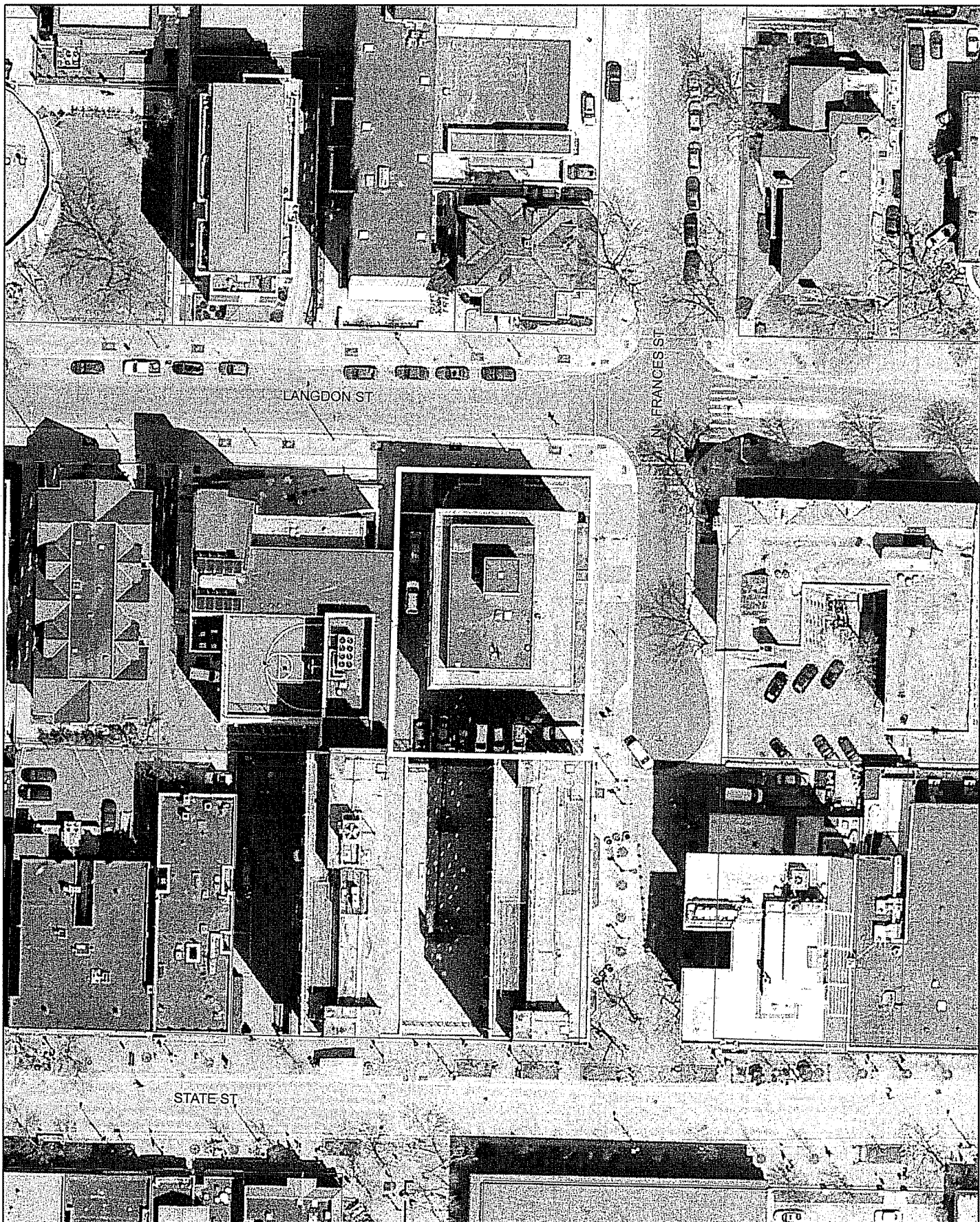
For Questions Contact: Kevin Firchow at: 267-1150 or [kfirchow@cityofmadison.com](mailto:kfirchow@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 07 June 2016

3-4





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at: [www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

FOR OFFICE USE ONLY:	
Amt. Paid: <u>1500</u>	Receipt No. <u>014456-002</u>
Date Received: <u>3/23/16</u>	
Received By: <u>JEM</u>	
Parcel No. <u>0709-143-0201-6</u>	
Aldermanic District <u>8- WOOD</u>	
Zoning District <u>PD</u>	
Special Requirements _____	
Review Required By:	
<input checked="" type="checkbox"/> Urban Design Commission	<input checked="" type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 601 Langdon Street, Madison, WI 53703  
**Project Title (if any):** Graduate Madison

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from PD to Amended PD
- Major Amendment to Approved PD-GDP Zoning       Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

3. **Applicant, Agent & Property Owner Information:**

**Applicant Name:** Joyce Ke      **Company:** AJ Capital Partners  
**Street Address:** 133 N. Jefferson St., 4th Floor      **City/State:** Chicago, IL      **Zip:** 60661  
**Telephone:** (312) 777-3129      **Fax:** (312) 275-1070      **Email:** jk@ajcpt.com

**Project Contact Person:** Bill Wellman      **Company:** Graduate Madison  
**Street Address:** 601 Langdon St.      **City/State:** Madison, WI      **Zip:** 53703  
**Telephone:** (608) 257-4391      **Fax:** (608) 257-2832      **Email:** bwellman@graduatemadison.com

**Property Owner (if not applicant):** GRADAUTE MADISON OWNER LLC  
**Street Address:** 133 N. Jefferson St., 4th Floor      **City/State:** Chicago, IL      **Zip:** 60661

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: HVAC and HVAC screening, walk-up window and conditional use for walk-up window service

Development Schedule: Commencement Upon receipt of City approvals Completion Summer 2016

**5. Required Submittal Information**

All Land Use applications are required to include the following:

**Project Plans including:**\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

**6. Applicant Declarations**

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:  
Zach Wood (1/27/16), Chris Hoffman, Neighborhood Association District 8 (1/27/16)

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Kevin Firchow, Al Martin Date: 3/14/16 Zoning Staff: Matt Tucker Date: 3/14/16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Graduate Madison Owner LLC Relationship to Property: Property owner / fee holder

Authorizing Signature of Property Owner [Signature] Date 3/18/2016



LETTER OF INTENT FOR LAND USE APPLICATION

Matthew Tucker  
Zoning Administrator  
Madison Municipal Building, LL 100  
215 Martin Luther King, Jr. Blvd.  
PO Box 2984  
Madison, WI 53701-2984

Re: Zoning Map Amendment for Planned Development (PD) Zoning  
Letter of Intent  
Graduate Madison  
601 Langdon St.

Dear Matt:

We are pleased to submit the Zoning Map Amendment application for Planned Development Zoning to Amended Planned Development Zoning for Graduate Madison, located at 601 Langdon Street.

The Graduate Madison currently operates as a 72-room hotel with rooftop restaurant and bar and a ground floor restaurant. The zoning change incorporates rooftop HVAC and HVAC screening, as well as a walk-up service window for the ground floor restaurant.

To the best of our knowledge, the HVAC system plans changed to relocate the HVAC to the roof at some point during construction and, due to an unfortunate oversight, revised approvals were not obtained. The individual overseeing the renovation for the building owner has since left the company, so exact details regarding the approval oversight are unknown.

Further details about the zoning change are as follows:

**Name of Project**

Graduate Madison/601 Langdon St., Madison, WI 53703

**Project Team**

Property Owner: Graduate Madison Owner LLC  
c/o AJ Capital Partners  
133 N. Jefferson St., 4th Floor  
Chicago, IL 60661

Architect: Dimension IV Madison Design Group  
6515 Grand Teton Plaza, Suite 120  
Madison, WI 53719  
Attn: Amy McNally  
Telephone: 608- 829-4460

General Contractor: KSW Construction Corporation  
807 Liberty Drive, Suite 106  
Verona, WI 53593  
Attn: Dan Crow  
Telephone: 608-845-2290

Attorney: Reinhart Boerner Van Deuren s.c.  
22 E. Mifflin Street, Suite 600  
Madison, WI 53703  
Attn: Melanie Lee/Nathan Wautier/Maya Zahn Rhine  
Telephone: 608-229-2212

### **Description of Existing Conditions**

The property currently operates as Graduate Madison, a 7-story, 72-room hotel with a rooftop restaurant and bar (The Madison Blind) and ground floor restaurant (Portage Pi). The lot comprising the hotel parcel totals approximately 12,173 square feet or 0.2794 acres, with the building comprising 50,109 square feet. The parcel includes 37 underground parking stalls, 1 stall on grade, and 4 bike parking stalls.

### **Project Schedule**

Construction schedule would include begin upon receipt of City approvals, with anticipated completion in Summer 2016.

### **Proposed Uses of All Areas**

The hotel and restaurants are currently operational. We are seeking a zoning change to a Planned Development to incorporate rooftop HVAC and HVAC screening and a walk-up window for the ground floor restaurant (Portage Pi), along with a conditional use permit for food and beverage service through the walk-up window. There will be no changes to building square footage or parking.

### **Hours of Operation**

The hours of operation are as follows:

- Hotel: 24 hours a day/365 days a year.
- The Madison Blind: Monday through Thursday 4:30 p.m. – 12:00 a.m.; Friday 3:00 p.m. – 2:00 a.m.; Saturday 11:00 a.m. – 2:00 a.m.; Sunday 11:00 a.m. – 12:00 a.m.
- Portage Pi: Daily 6:30 a.m. – 8:00 p.m.
  - Walk-up window service: Daily 6:30 a.m. – 8:00 p.m.

### **Lot Coverage and Usable Open Space Calculations**

N/A – Existing Planned Development.

**Number of Employees/Construction Jobs**

N/A.

**Value of Land/Estimated Project Cost**

The current value of the land and building according to City of Madison tax records is \$6,910,000.00. The cost of HVAC screening and walk-up window installation is under development.

**Public Subsidy Requested**

None.

**Signage**

Any signage depicted on the enclosed plans is for informational purposes. A separate Alteration to an Approved & Recorded Specific Implementation Plan related to the signage was recorded March 2, 2016, with the Dane County Register of Deeds as Document No. 5218061.

**Zoning Text**

***Legal Description:*** Lot Seven (7), and the East 25 feet of Lot Six (6), Block Seven (7), Original Plat of the City of Madison, Dane County, Wisconsin.

Parcel No. 60-0709-143-0201-6

Common Address: 601 Langdon Street, Madison, WI 53703

***Statement of Purpose:*** This zoning district is established to stabilize and protect the essential characteristics of an existing high density residential area located in the central part of the City of Madison, and to promote and encourage, insofar as compatible with the intensity of land uses, a suitable environmental for a predominantly adult population, and in those central areas located in close proximity to the central campus of the University of Wisconsin, to promote and encourage a suitable environmental for uses complimentary to University of Wisconsin functions.

***Permitted Uses:***

1. Those that are stated as permitted in the [NMX] District. **[NOTE: CONFIRM. Current zoning text references R6 zoning designation.]**
2. Uses accessory to those permitted uses listed above.
3. Hotel, inn, motel.
4. Restaurants and bars integral to hotels.
5. Roof-top restaurant and terrace.

***Conditional Uses:*** Accessory outdoor eating areas for accessory restaurants or restaurant-taverns. Walk-up window food and beverage service related to ground floor restaurant.

**Lot Area:** As shown on the approved plans.

**Height Regulations:** As shown on the approved plans.

**Yard Regulations:** As shown on the approved plans.

**Landscaping:** Site landscaping shall be provided as shown on the approved plans.

**Useable Open Space Requirements:** Usable open space shall be provided as shown on the approved plans.

**Parking & Loading:** Off-street parking and loading shall be provided as shown on the approved plans.

**Lighting:** Site lighting shall be provided as shown on the approved plans.

**Signage:** Signage shall be allowed as provided by M.G.O. and as approved by the Urban Design Commission and Zoning Administrator.

**Family Definition:** The family definition shall coincide with the definition given by M.G.O. for the [NMX] District.

**Alterations and Revisions:** No alterations or revisions to this Planned Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.



## THE GRADUATE MADISON - ADDITION AND ALTERATIONS

601 LANGDON STREET  
 MADISON, WI 53703



**PROJECT PERSPECTIVE**

**LIST OF DRAWINGS**

- G0.1 COVER SHEET
- G1.1R CODE COMPLIANCE PLANS
- C1.0 SITE & LANDSCAPE APPROVED
- C1.0R SITE & LANDSCAPE REVISED
- C1.1 GRADING & UTILITY APPROVED
- C1.1R GRADING & UTILITY REVISED
- A1.1 FIRST FLOOR PLAN APPROVED
- A1.1R FIRST FLOOR PLAN REVISED
- A1.8R ROOF PLAN
- A5.2R ENLARGED CAFE/PATIO PLAN
- A2.0 ELEVATIONS APPROVED
- A2.0CR ELEVATIONS REVISED
- A2.1 ELEVATIONS APPROVED
- A2.1CR ELEVATIONS REVISED
- A2.2CR BUILDING PERSPECTIVES
- A2.3CR BUILDING PERSPECTIVES

**Architecture :**

**Dimension IV Madison Design Group**

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719  
 p: 608.829.4444 www.dimensionivmadison.com

**Structural Engineering:**

**Oneida Total Integrated Enterprises (OTIE)**

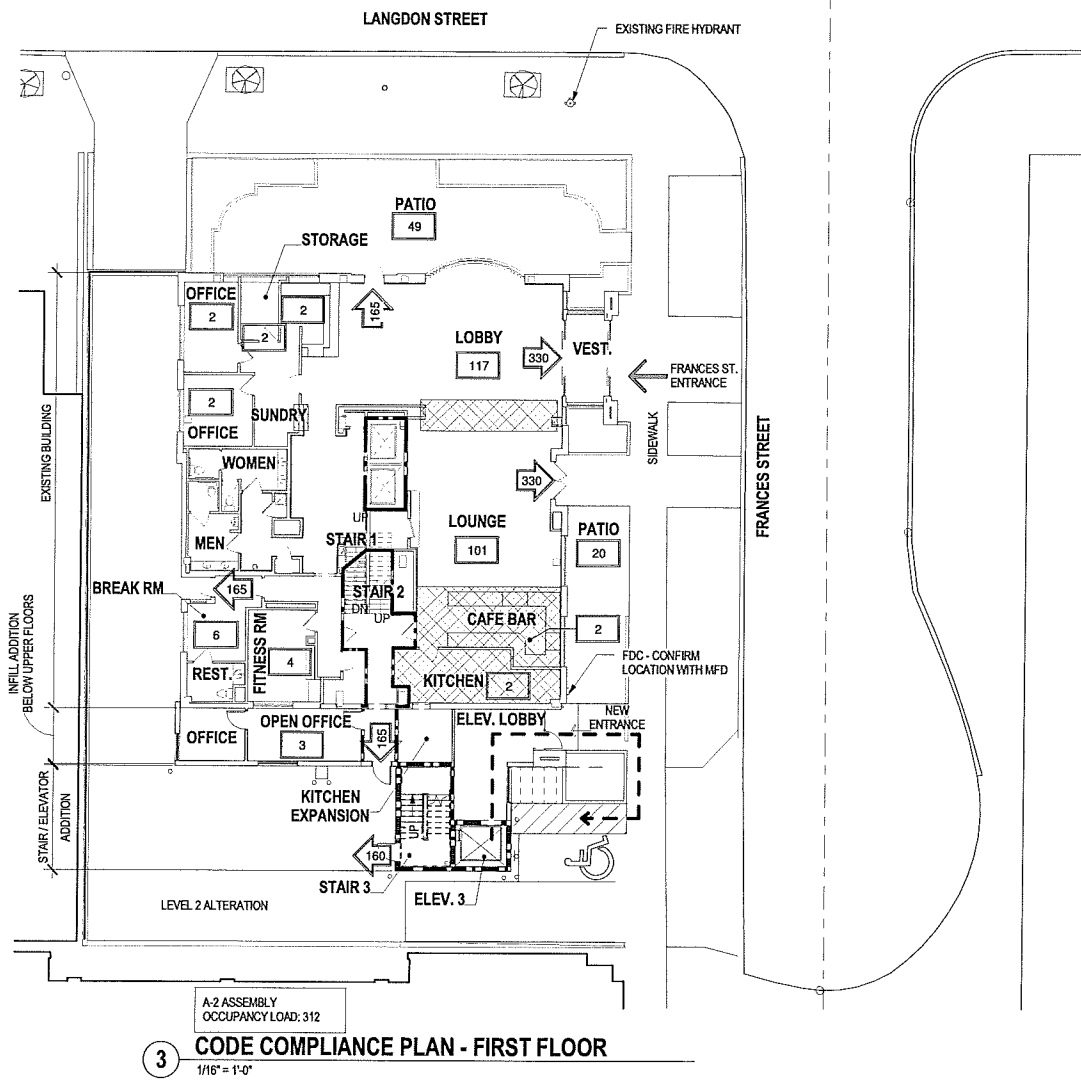
5100 Eastpark Boulevard, Suite 200, Madison, WI 53718  
 p: 608.243.6470 www.otie.com

**LIST OF DRAWINGS**

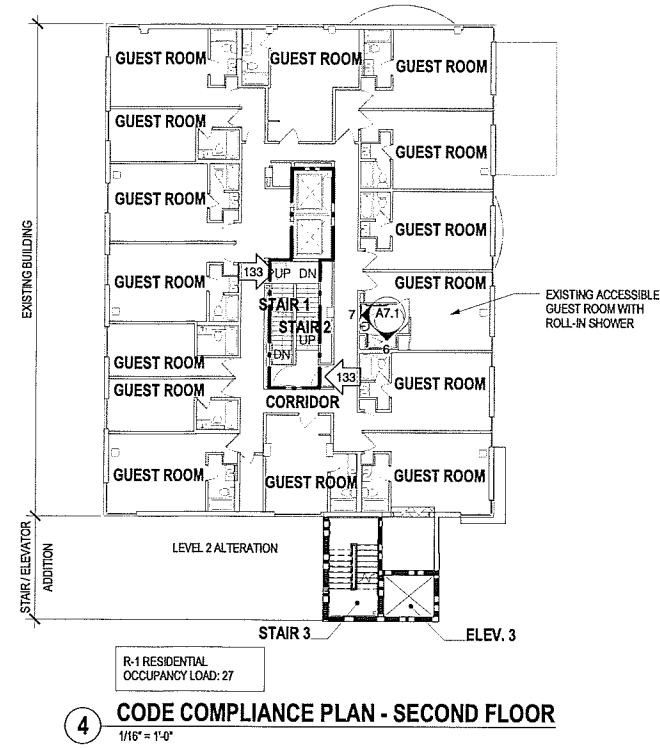
- GENERAL
- G0.1 COVER SHEET
- G0.2 PROJECT INFORMATION
- G1.1R CODE COMPLIANCE PLANS
- G1.2R CODE COMPLIANCE PLANS
- CIVIL
- SURVEY
- C1.0R SITE AND LANDSCAPE PLAN
- C1.1R GRADING AND UTILITY PLAN
- DEMOLITION
- D1.1R FIRST FLOOR DEMOLITION PLAN
- D1.2R SECOND FLOOR AND SEVENTH FLOOR DEMOLITION PLAN
- STRUCTURAL
- S0.1 STRUCTURAL NOTE SHEET
- S1.0 BASEMENT, 1ST FLOOR, 2ND THRU 6TH FLOOR FRAMING PLANS & DETAILS
- S1.1 7TH FLOOR/ROOF FRAMING PLANS
- S8.0 STRUCTURAL DETAILS
- ARCHITECTURAL
- A1.0 BASEMENT FLOOR PLAN
- A1.1R FIRST FLOOR PLAN
- A1.2 SECOND THROUGH FIFTH FLOOR PLANS
- A1.6R SIXTH & SEVENTH FLOOR PLANS
- A1.8R ROOF PLAN
- A2.0R EXTERIOR ELEVATIONS
- A2.1R EXTERIOR ELEVATIONS
- A3.0 BUILDING SECTION

**LIST OF DRAWINGS**

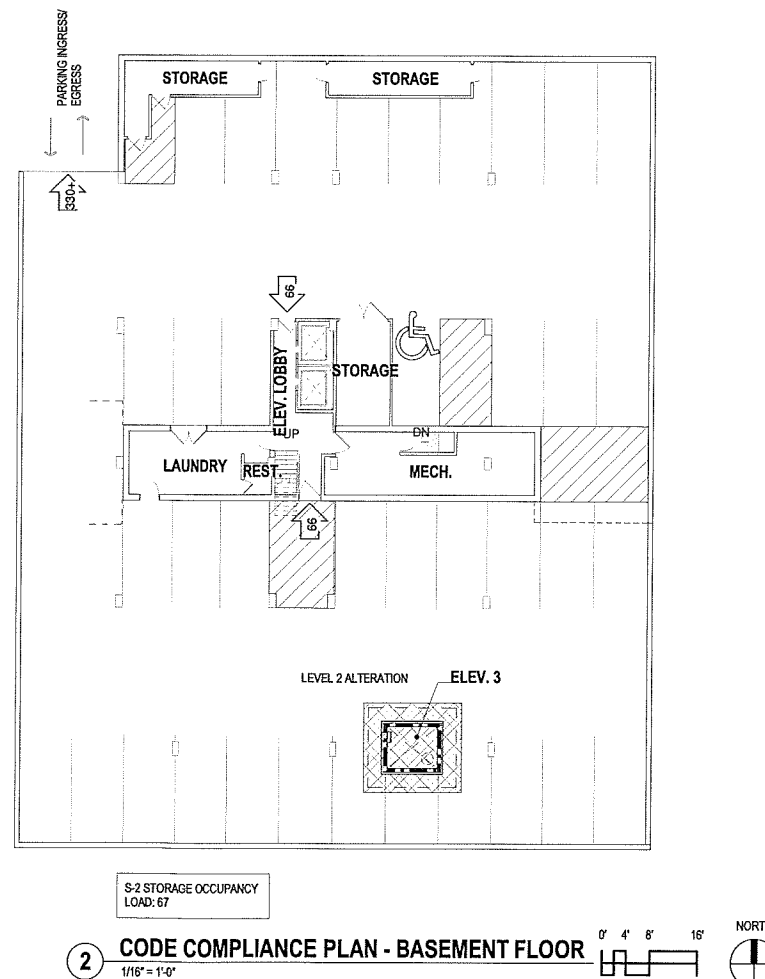
- A3.1R STAIR AND ELEVATOR SECTIONS
- A3.2R BUILDING SECTIONS
- A3.3R BUILDING AND WALL SECTIONS
- A4.1R REFLECTED CEILING PLANS
- A5.0R ENLARGED STAIR AND RESTROOM PLANS
- A6.0R WALL AND PARTITION TYPES
- A6.1 FLOOR, CEILING, AND ROOF TYPES
- A6.2R DOOR & WINDOW SCHEDULES, TYPES, & ELEVATIONS
- A6.3R DOOR & WINDOW DETAILS
- A7.0 INTERIOR ELEVATIONS
- A7.1 GUEST ROOM ADA BATHROOMS
- A8.0R DETAILS
- A8.1R DETAILS
- A8.2R DETAILS
- A8.3R DETAILS
- A8.4 DETAILS
- A8.5 DETAILS
- FOODSERVICE
- FS1.0 FOODSERVICE EQUIPMENT FLOOR PLAN
- FS2.0 FOODSERVICE EQUIPMENT SCHEDULE
- FS3.0 FOODSERVICE ELECTRICAL ROUGH-IN PLAN
- FS4.0 FOODSERVICE PLUMBING ROUGH-IN PLAN
- FS5.0 FOODSERVICE MECHANICAL PLAN
- FS5.1 FOODSERVICE HOOD SHOP DRAWING
- FS5.2 FOODSERVICE HOOD SHOP DRAWING
- FS6.0 FOODSERVICE SPECIAL CONDITIONS PLAN
- FS6.1 WALK-IN COOLER MANUFACTURER SHOP DRAWING
- FS7.0 FOODSERVICE ELEVATIONS
- FS7.1 FOODSERVICE ELEVATIONS
- FS8.0 FOODSERVICE GENERAL NOTES



**3** CODE COMPLIANCE PLAN - FIRST FLOOR  
1/16" = 1'-0"



**4** CODE COMPLIANCE PLAN - SECOND FLOOR  
1/16" = 1'-0"



**2** CODE COMPLIANCE PLAN - BASEMENT FLOOR  
1/16" = 1'-0"

**CODE COMPLIANCE GENERAL NOTES**

A. REFER TO SHEET A7.0 FOR ACCESSIBLE MOUNTING AND CLEARANCES INFORMATION.

B. ALL FIRE EXTINGUISHER CABINETS SHALL BE IN APPROVED LOCATIONS WITH A MINIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET PER I.F.C. - SEE PLANS FOR LOCATIONS.

C. EXIT ACCESS TRAVEL DISTANCE IS 250' FEET MAXIMUM WITH SPRINKLERS PER TABLE 1016.1.

D. COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75' PER 1014.3 (RESIDENTIAL AND ASSEMBLY WITH FEWER THAN 50 OCCUPANTS).

E. EVERY ASSEMBLY OCCUPANCY ROOM OR SPACE TO HAVE SIGNAGE POSTING OCCUPANT LOAD NEAR THE DOOR/EXIT FROM THE ROOM OR SPACE.

**CODE COMPLIANCE SYMBOLS LEGEND**

XXX INDICATES OCCUPANCY LOAD

--- INDICATES ADA ACCESSIBLE ROUTE

XXX INDICATES EXIT AND EXIT CAPACITY

--- INDICATES 1 HOUR FIRE RATED WALL (SEC 709)

--- INDICATES 2 HOUR FIRE RATED WALL (SEC 709)

--- EXISTING RATED WALL

--- INDICATES AREA OF ALTERATIONS

**DIMENSION**  
Madison Design Group  
architecture · engineering · interior design

6515 Grand Teton Plaza, Suite 120  
Madison, Wisconsin 53719  
p608.829.4444 f608.829.4445

dimensionivmadison.com

**THE GRADUATE  
MADISON - ADDITION  
AND ALTERATIONS**

601 LANGDON STREET  
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

REVISIONS:


PROJECT # 14043

**CODE COMPLIANCE  
PLANS**

**G1.1R**



**THE DAHLMAN  
 CAMPUS INN -  
 ADDITION AND  
 ALTERATIONS**  
 601 LANGDON STREET  
 MADISON, WI 53703

**APPROVED  
 DRAWING**

**PLAN  
 COMMISSION  
 SUBMITTAL**

DATE OF ISSUE: 7/16/2014

REVISIONS:

1	PLAN COMMISSION REVISIONS	10-9-14
2	PLAN COMMISSION REVISIONS	11-26-14

PROJECT # 14043

**SITE AND  
 LANDSCAPE PLAN**

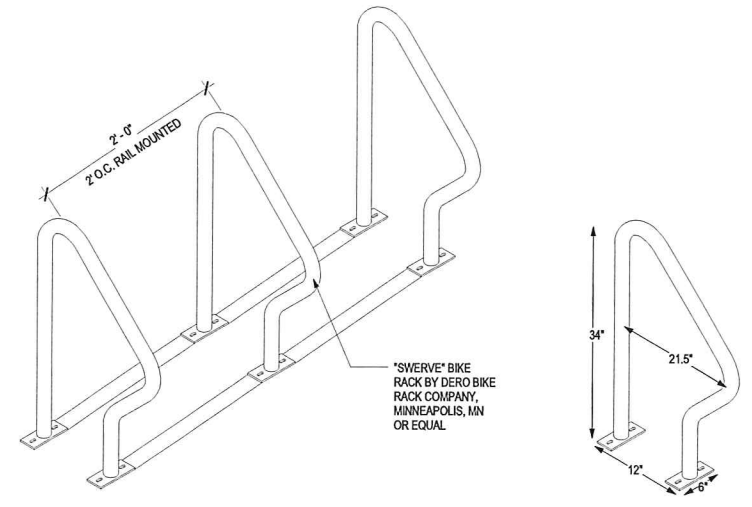
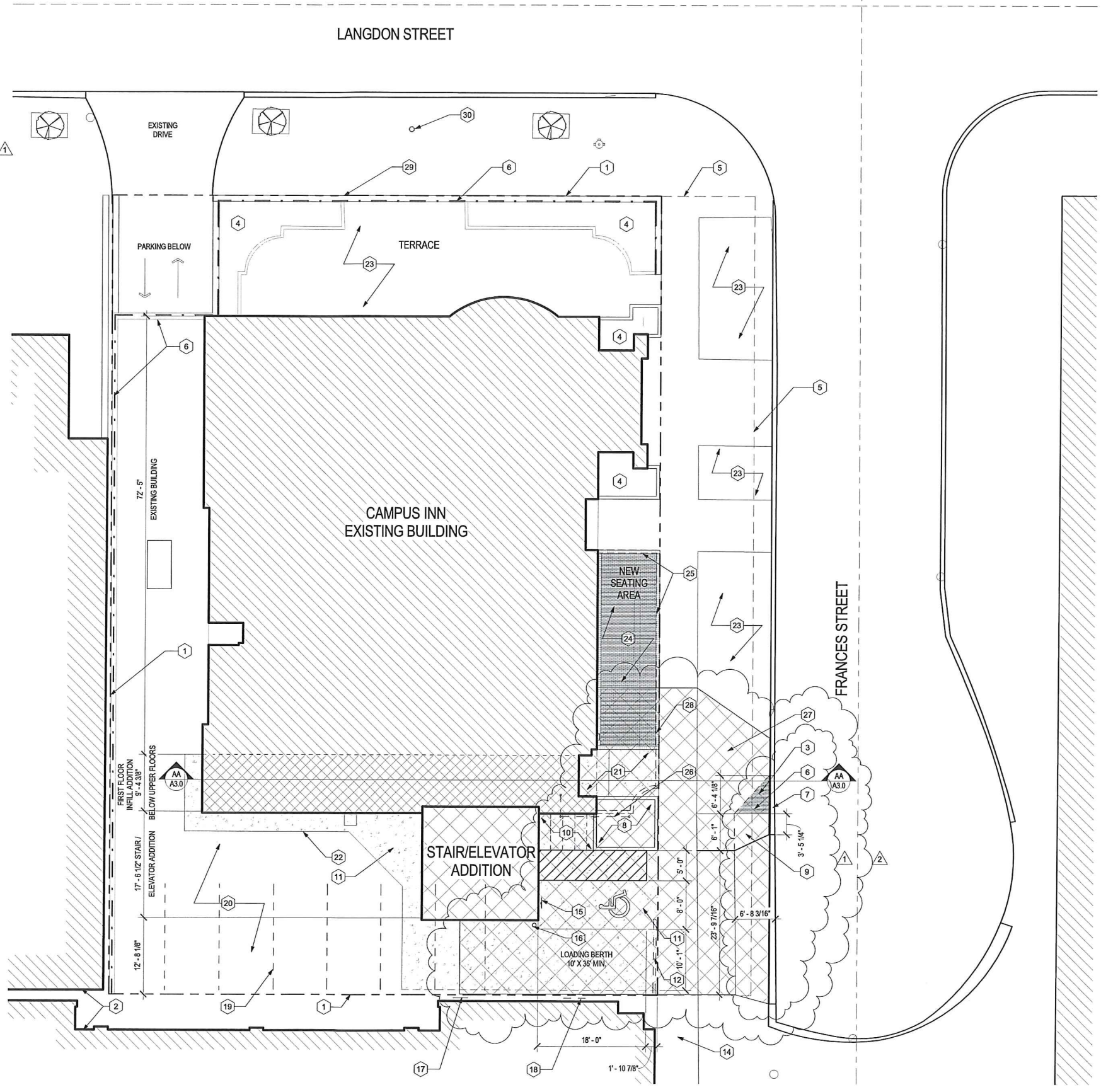
**C1.0**

**FLOOR PLAN KEYNOTES**

- 1 PROPERTY LINE
- 2 ADJACENT BUILDING
- 3 REMOVE EXISTING CURB CUT AND PORTION OF DRIVE. INFILL AND INTEGRATE WITH PAVERS TO MATCH EXISTING TO EDGE OF EXISTING PAVERS.
- 4 EXISTING PLANTER BED
- 5 PARKING BASEMENT BELOW
- 6 EXISTING RAILING TO REMAIN
- 7 CURB AND GUTTER TO MATCH EXISTING, BLEND WITH EXISTING DRIVEWAY APPROACH
- 8 PLANTER BED TO BE CONSTRUCTED WITH SALVAGED STONE CURB. PLANTINGS TO BE ANNUALS AND PERENNIALS, TYP. - SELECTIONS VARY
- 9 FILL IN REMAINING EXCAVATION WITH CONCRETE TO MATCH EXISTING SIDEWALK AND TO CREATE NEW EDGE OF DRIVEWAY APPROACH
- 10 4 BIKE PARKING STALLS 2'-0" X 6'-0" SEE DETAIL 2 / C1.0
- 11 CONCRETE PAVEMENT - TAPER SURFACE TO MATCH EXISTING GRADES/ SURFACES
- 12 REMOVE EXISTING CONCRETE CURB
- 13 NOT USED
- 14 EXISTING CONCRETE SIDEWALK TO REMAIN
- 15 ADA PARKING STALL SIGNAGE
- 16 STEEL BOLLARD
- 17 REMOVE EXISTING ADA PARKING SIGN
- 18 REMOVE EXISTING SIGN AND INSTALL "LOADING ZONE - NO PARKING" SIGN
- 19 EXISTING PARKING TO BE REMOVED
- 20 EXISTING PAVEMENT TO REMAIN
- 21 CONCRETE WALK, MAX SLOPE 1:20
- 22 SAW CUT AND REMOVE EXISTING PAVEMENT. STRUCTURAL CONCRETE DECK BELOW TO REMAIN
- 23 EXISTING BRICK PAVERS TO REMAIN
- 24 BRICK PAVERS TO MATCH EXISTING COLORS AND PATTERN
- 25 PROVIDE MOVABLE FENCE - TO MATCH EXISTING RAILING
- 26 REMOVE EXISTING BOLLARDS AND RAILS
- 27 SHADED AREA TO BE REGRADED AS SHOWN ON C1.1. EXISTING LANDSCAPE CURB AND PAVERS TO BE SAVED FOR RE-USE.
- 28 EXISTING PLANTER TO BE REMOVED - SALVAGE STONE CURB FOR REUSE
- 29 EXISTING RETAINING WALL
- 30 EXISTING STREET LIGHT

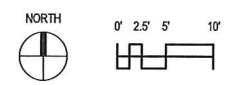
**SITE PLAN GENERAL NOTES**

- A. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
- B. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- C. CONTRACTOR TO FILED VERIFY DIMENSION AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
- D. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
- E. CONTRACTOR SHALL RESTORE ALL PAVEMENT CURB & GUTTER, SIDEWALK, AND PAVER AREAS ON PROPERTY OR IN RIGHT OF WAY DAMAGED DURING CONSTRUCTION.
- F. ALL DISTURBED PAVEMENT, CURB AND GUTTER IN THE RIGHT OF WAY FOR FRANCES STREET AND LANGDON STREET TO BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.



**2 BIKE STALL DETAIL**  
 1" = 1'-0"

**1 SITE AND LANDSCAPE PLAN**  
 1" = 10'-0"



**THE GRADUATE  
MADISON - ADDITION  
AND ALTERATIONS**

601 LANGDON STREET  
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

REVISIONS:	
1	CONSTRUCTION BULLETIN #1 4/16/15

PROJECT # 14043

**SITE AND  
LANDSCAPE PLAN**

**C1.0R**

**SITE PLAN KEYNOTES**

- 1 PROPERTY LINE
- 2 ADJACENT BUILDING
- 3 REMOVE EXISTING CURB CUT AND PORTION OF DRIVE
- 4 EXISTING PLANTER BED
- 5 LINE OF PARKING BASEMENT BELOW
- 6 EXISTING RAILING TO REMAIN
- 7 CURB AND GUTTER TO MATCH EXISTING, BLEND WITH ADJACENT CURB AND GUTTER
- 8 PLANTER BED TO BE CONSTRUCTED WITH SALVAGED STONE CURB. PLANTINGS TO BE ANNUALS AND PERENNIALS, TYP. - SELECTIONS VARY
- 9 REPLACE / FILL IN REMAINING EXCAVATION WITH EXISTING PAVERS TO MATCH EXISTING AND TO CREATE NEW EDGE OF DRIVEWAY APPROACH
- 10 4 BIKE PARKING STALLS 2'-0" X 6'-0" SEE DETAIL 2 / C1.0R
- 11 CONCRETE PAVEMENT INFILL - TAPER SURFACE TO MATCH EXISTING GRADES/ SURFACES
- 12 REMOVE EXISTING CONCRETE CURB
- 13 EXISTING TREES TO REMAIN - PROTECT DURING CONSTRUCTION
- 14 EXISTING CONCRETE SIDEWALK TO REMAIN
- 15 ADA PARKING STALL SIGNAGE - MOUNT ON STEEL BOLLARD CENTERED ON PARKING STALL
- 16 STEEL BOLLARD
- 17 REMOVE EXISTING ADA PARKING SIGN
- 18 REMOVE EXISTING SIGN AND INSTALL "LOADING ZONE - NO PARKING" SIGN
- 19 EXISTING PARKING STRIPING TO BE REMOVED
- 20 EXISTING PAVEMENT TO REMAIN
- 21 CONCRETE WALK, MAX SLOPE 1:20
- 22 SAW CUT AND REMOVE EXISTING PAVEMENT. STRUCTURAL CONCRETE DECK BELOW TO REMAIN
- 23 EXISTING BRICK PAVERS TO REMAIN
- 24 NEW PAVERS BY OWNER
- 25 NOT USED
- 26 REMOVE EXISTING BOLLARDS AND RAILS
- 27 HATCHED AREA TO BE REGRADED AS SHOWN ON C1.1. EXISTING LANDSCAPE CURB AND PAVERS TO BE SAVED FOR RE-USE.
- 28 EXISTING PLANTER TO BE REMOVED - SALVAGE STONE CURB FOR REUSE
- 29 EXISTING RETAINING WALL
- 30 EXISTING STREET LIGHT
- 31 EXISTING FIRE HYDRANT
- 32 REMOTE CONDENSING UNIT - SEE FOODSERVICE DRAWINGS
- 33 GENERATOR WITH CONCRETE PAD
- 34 5'-0" LANDING AT ENTRY DOOR

**SITE PLAN GENERAL NOTES**

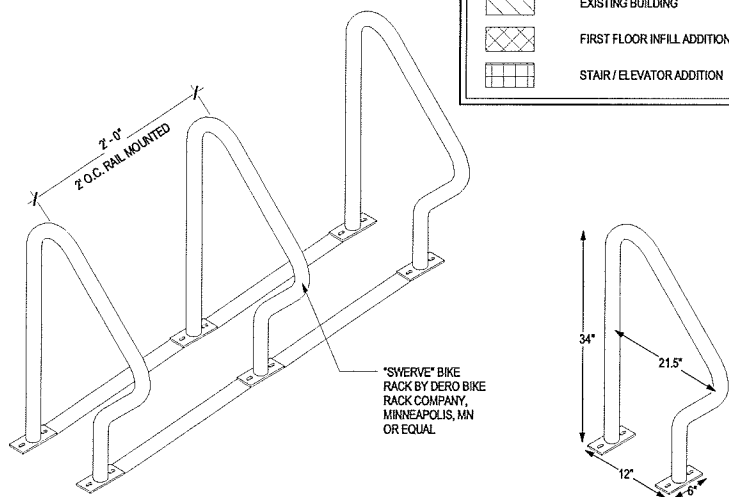
- A. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
- B. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- C. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
- D. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
- E. CONTRACTOR SHALL RESTORE ALL PAVEMENT CURB & GUTTER, SIDEWALK, AND PAVER AREAS ON PROPERTY OR IN RIGHT OF WAY DAMAGED DURING CONSTRUCTION.
- F. ALL DISTURBED PAVEMENT, CURB AND GUTTER IN THE RIGHT OF WAY FOR FRANCES STREET AND LANGDON STREET TO BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- G. PROTECT EXISTING STRUCTURES, FINISHES, SITE IMPROVEMENTS, AND ADJACENT BUILDINGS DURING CONSTRUCTION.

**DEMOLITION GENERAL NOTES**

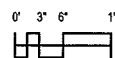
- A. MAINTAIN ALL EXIT DOORS IN UNOBSTRUCTED OPERABLE CONDITION WITH SAFE PASSAGE WAY FROM THE BUILDING. COORDINATE WITH THE LOCAL FIRE MARSHAL.
- B. PROVIDE AND MAINTAIN BARRICADES, GATES, OR OTHER MEANS OF MAINTAINING PUBLIC SAFETY AT ALL AREAS OF CONSTRUCTION OR DEMOLITION.
- C. COORDINATE STORAGE LOCATIONS FOR SALVAGED EQUIPMENT WITH OWNER.
- D. ALL STRUCTURES SHOWN DASHED ON THIS PLAN SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF BY THE THIS CONTRACT UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE ALL ELECTRICAL, MECHANICAL, OR PLUMBING WITHIN THE REMOVED STRUCTURE. TERMINATE MEP AS REQUIRED. VERIFY EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING AND COMMENCING WORK.
- E. PREPARATION FOR NEW FINISHES SHALL INCLUDE REMOVAL OF FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS, ETC. PATCHING OF HOLES AND CRACKS, AND UP TO 1" OF LEVELER COMPOUND IF REQUIRED TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING, ETC. REQUIRED FOR REMOVAL WORK. WORK TO BE CERTIFIED BY STRUCTURAL ENGINEER IF REQUIRED.
- G. WORK WHICH RENDERS THE EXISTING BUILDING NON-WEATHER TIGHT SHALL BE FITTED TO PROVIDE WEATHER TIGHT STRUCTURE PRIOR TO NEW WORK BEING INSTALLED WITHIN.
- H. COORDINATE REMOVAL AND PATCHING REQUIRED BY MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION AND NEW WORK.
- I. OWNER WILL REMOVE LOOSE FURNISHINGS FROM THE WORK AREAS PRIOR TO START OF CONSTRUCTION.
- J. DIMENSIONS FOR REMOVAL SHOWN FOR INFORMATION ONLY. GENERAL CONTRACTOR TO VERIFY EXACT DIMENSIONS AND LOCATIONS OF REMOVAL AS REQUIRED TO INSTALL NEW WORK.

**SITE PLAN LEGEND**

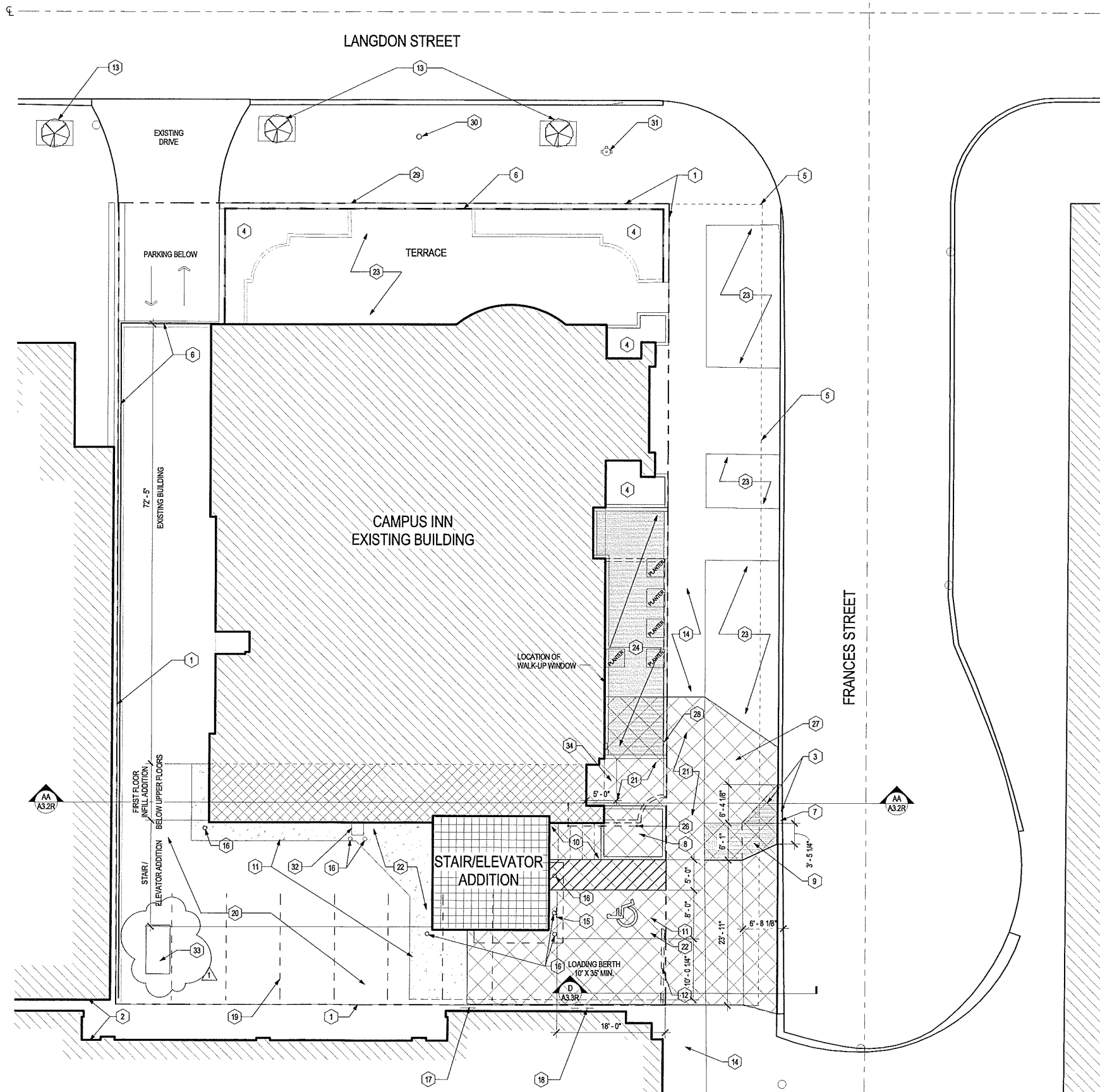
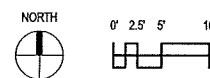
- BRICK PAVERS 9 24
- AREA TO BE REGRADED 27
- CONCRETE 11 22
- INDICATES ITEMS TO BE REMOVED
- EXISTING BUILDING
- FIRST FLOOR INFILL ADDITION
- STAIR/ ELEVATOR ADDITION



**2 BIKE STALL DETAIL**  
1" = 1'-0"



**1 SITE AND LANDSCAPE PLAN**  
1" = 10'-0"





**EROSION CONTROL NOTES**

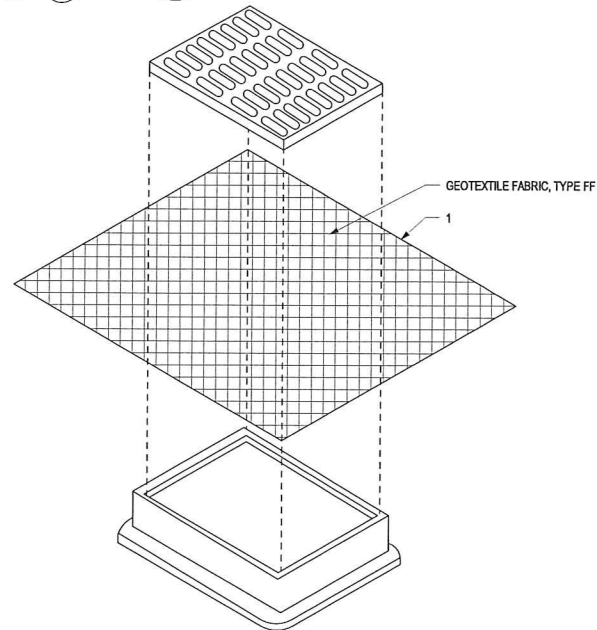
- A. THIS PROJECT SITE IS COMPLETELY COVERED BY AN EXISTING BUILDING AND PARKING BASEMENT. NO SOIL DISTURBING ACTIVITIES ARE ANTICIPATED.
- B. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF CONSTRUCTION ACTIVITIES UNTIL THE FINAL STABILIZATION OF THE CONSTRUCTION SITE AND COMPLETION OF EXTERIOR CONSTRUCTION.
- C. ALL EROSION CONTROL MEASURE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- D. CLEANING, RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- E. INSPECTION, THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE, AND THE CONSTRUCTION SITE PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- F. INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH WISCONSIN DOT TYPE B OR C INLET PROTECTION OR APPROVED EQUAL. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE A.E.
- G. TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- H. GENERAL CONTRACTOR TO PROVIDE TRACKING CONTROL AND SWEEPING AS NEEDED.

**INLET PROTECTION NOTES**

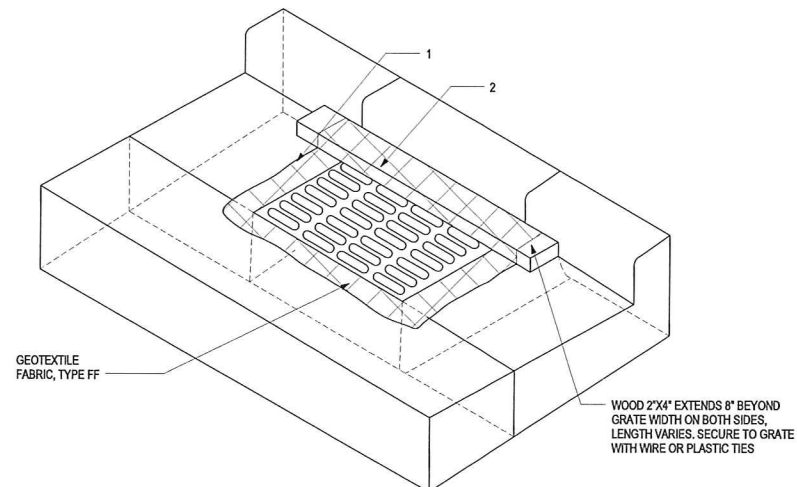
- A. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- B. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAT, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- C. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENTS EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- D. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- 1. FINISHED SIZE INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- 2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 16" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

**SITE LEGEND**

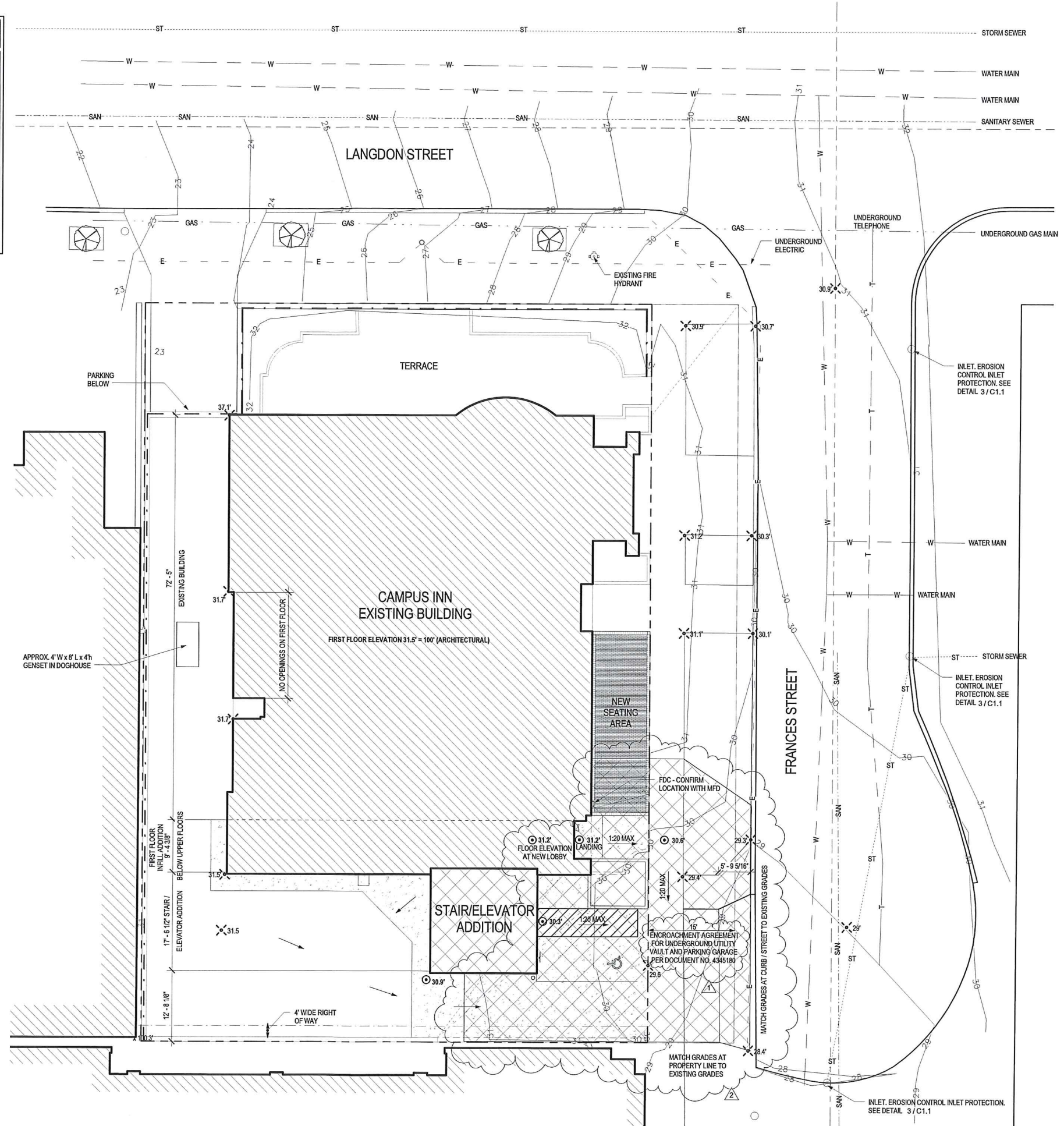
- ⊗ EXISTING SPOT ELEVATION
- ⊙ PROPOSED SPOT ELEVATION
- DRAINAGE



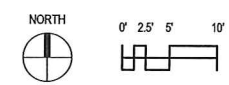
**2 INLET PROTECTION TYPE B (WITHOUT CURB BOX)**  
N.T.S.



**3 INLET PROTECTION TYPE C (WITH CURB BOX)**  
N.T.S.



**1 GRADING AND UTILITY PLAN**  
1" = 10'-0"



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**THE DAHLMAN  
CAMPUS INN -  
ADDITION AND  
ALTERATIONS**  
601 LANGDON STREET  
MADISON, WI 53703

**APPROVED  
DRAWING**

**PLAN  
COMMISSION  
SUBMITTAL**

DATE OF ISSUE: 7/16/2014

REVISIONS:

1	PLAN COMMISSION REVISIONS	10-9-14
2	PLAN COMMISSION REVISIONS	11-26-14

PROJECT # 14043

**GRADING AND  
UTILITY PLAN**

**C1.1**

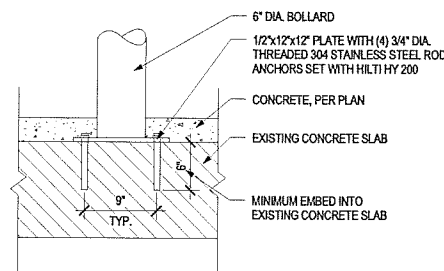


**EROSION CONTROL NOTES**

- A. THIS PROJECT SITE IS COMPLETELY COVERED BY AN EXISTING BUILDING AND PARKING BASEMENT. NO SOIL DISTURBING ACTIVITIES ARE ANTICIPATED.
- B. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF CONSTRUCTION ACTIVITIES UNTIL THE FINAL STABILIZATION OF THE CONSTRUCTION SITE AND COMPLETION OF EXTERIOR CONSTRUCTION.
- C. ALL EROSION CONTROL MEASURE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
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- H. GENERAL CONTRACTOR TO PROVIDE TRACKING CONTROL AND SWEEPING AS NEEDED.

**SITE LEGEND**

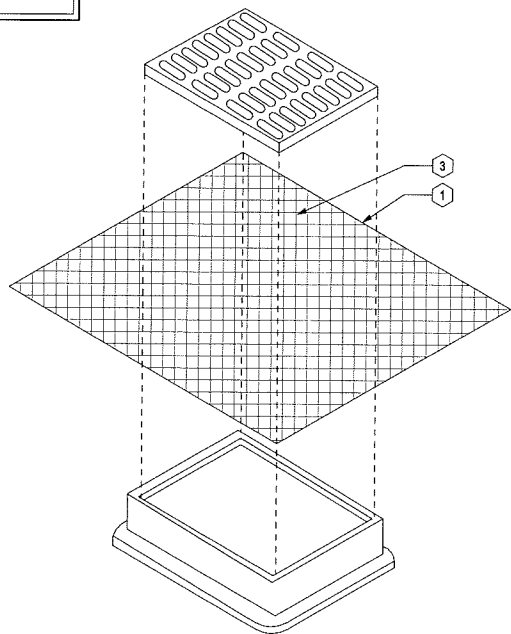
- ✕ EXISTING SPOT ELEVATION
- ⊙ PROPOSED SPOT ELEVATION
- DRAINAGE



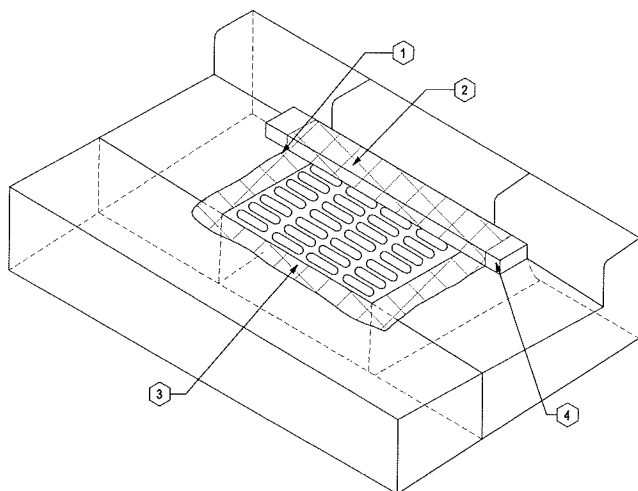
**4 BOLLARD BASE**  
N.T.S.

**INLET PROTECTION NOTES**

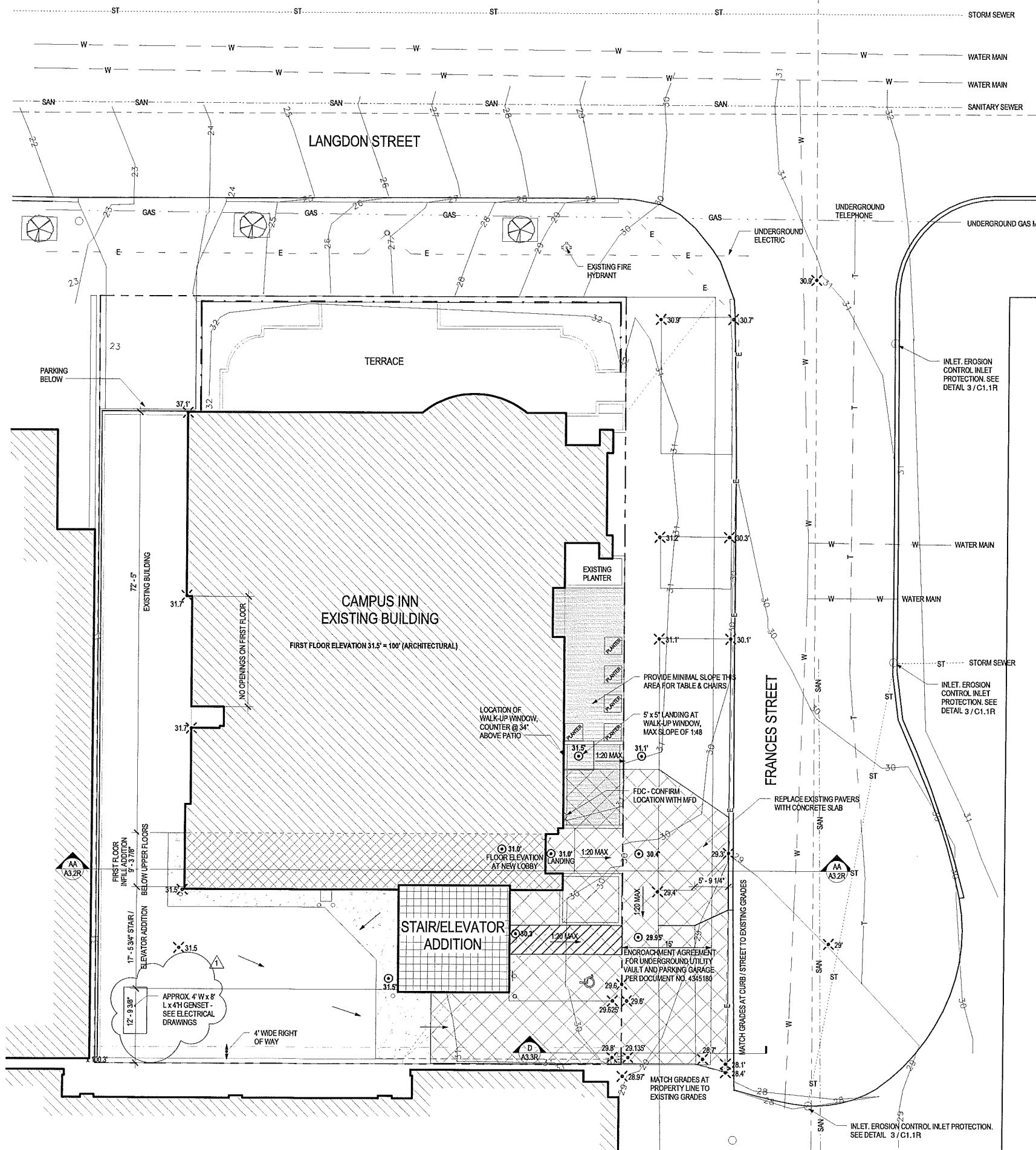
- A. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
  - B. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEVEN FLAT, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
  - C. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENTS EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
  - D. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- 1 FINISHED SIZE INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
  - 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
  - 3 GEOTEXTILE FABRIC, TYPE FF.
  - 4 WOOD 2"x4" EXTENDS 8" BEYOND GRATE WIDTH ON BOTH SIDES, LENGTH VARIES. SECURE TO GRATE WITH WIRE OR PLASTIC TIES.



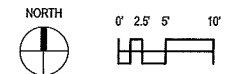
**2 INLET PROTECTION TYPE B (WITHOUT CURB BOX)**  
N.T.S.



**3 INLET PROTECTION TYPE C (WITH CURB BOX)**  
N.T.S.



**1 GRADING AND UTILITY PLAN**  
1" = 10'-0"



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**THE GRADUATE  
MADISON - ADDITION  
AND ALTERATIONS**

601 LANGDON STREET  
MADISON, WI 53703

**ISSUED FOR  
CONSTRUCTION**

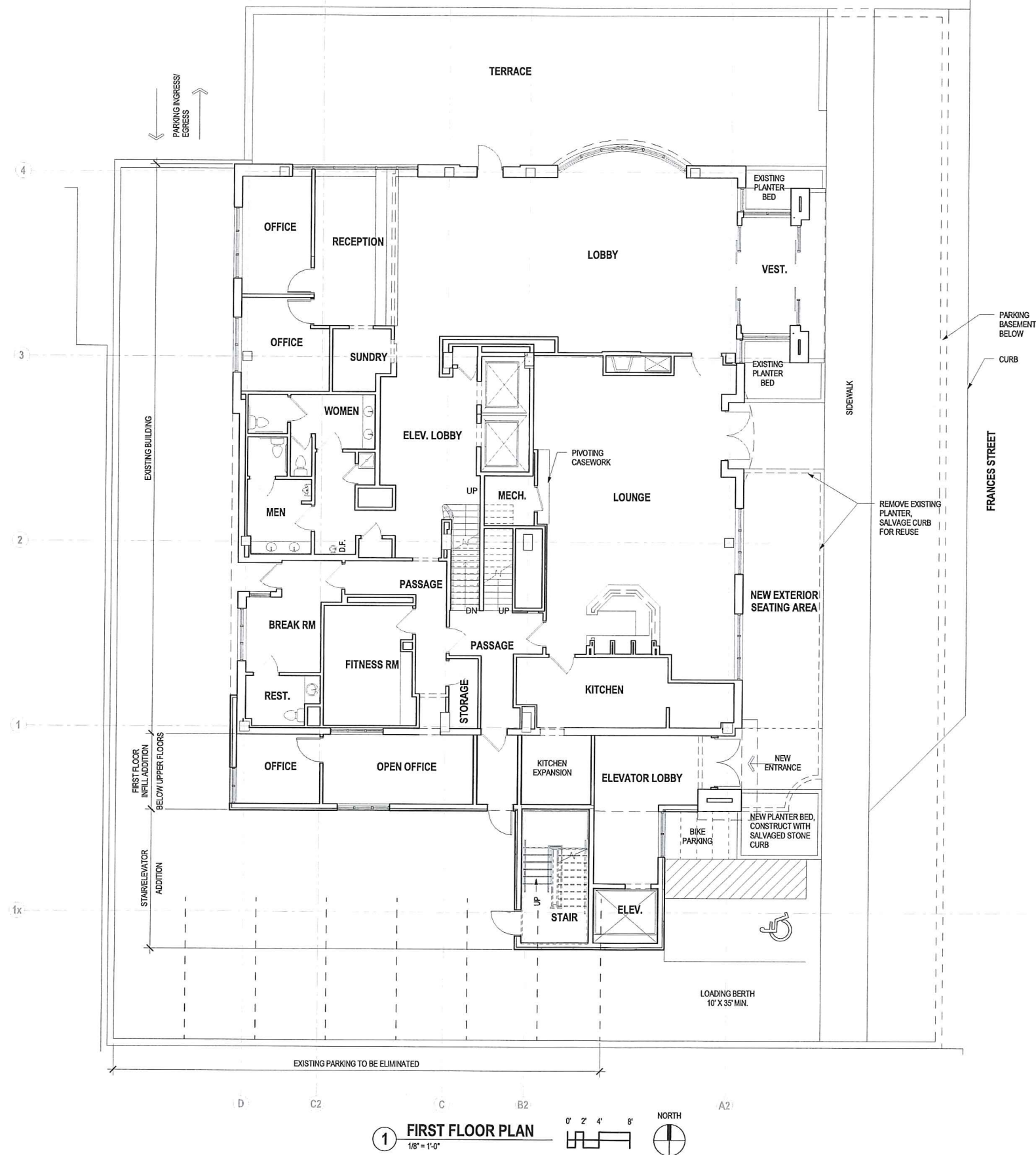
DATE OF ISSUE: 01/15/2015

REVISIONS:	
1	CONSTRUCTION BULLETIN #1 4/16/15

PROJECT # 14043

**GRADING AND  
UTILITY PLAN**

**C1.1R**



**THE CAMPUS INN -  
ADDITION AND  
ALTERATIONS**

601 LANGDON STREET  
MADISON, WI 53703

**APPROVED  
DRAWING**

**PLAN  
COMMISSION  
SUBMITTAL**

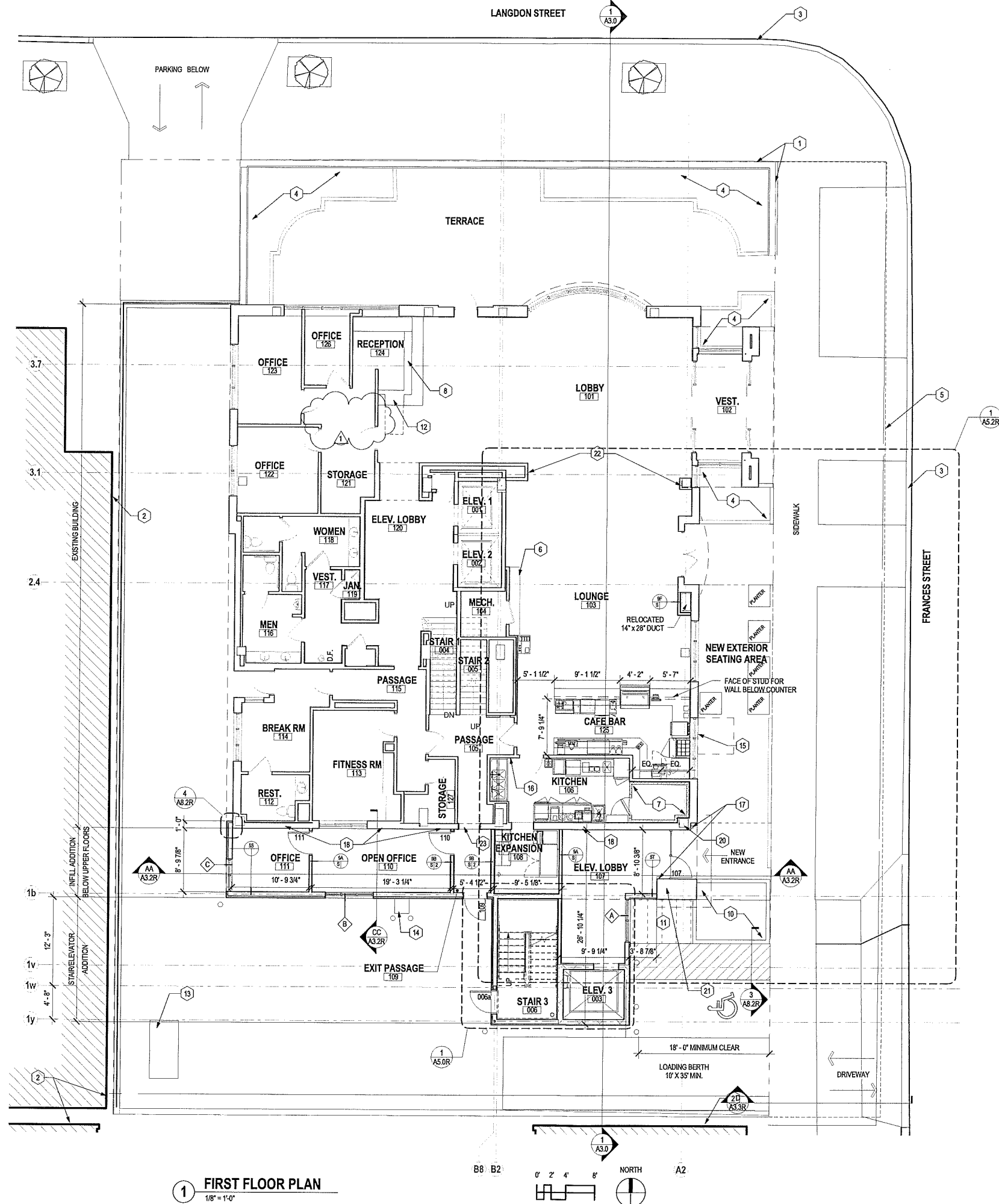
DATE OF ISSUE: 07/16/2014

REVISIONS:


PROJECT # 14043

FIRST FLOOR PLAN

**A1.1**



1 FIRST FLOOR PLAN  
1/8" = 1'-0"

### FLOOR PLAN GENERAL NOTES

A. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.

B. PROVIDE VERTICAL CONTROL JOINTS (CJS) WHERE STRUCTURAL SYSTEMS CHANGE, LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURER'S INSTALLATION RECOMMENDATIONS.

C. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.

D. GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.

E. GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING. COORDINATE WITH OWNER'S FINISHES, FIXTURES AND EQUIPMENT MOUNTING REQUIREMENTS.

F. SEE FOODSERVICE DRAWINGS FOR CAFE AND KITCHEN EQUIPMENT, COUNTER HEIGHTS, AND LAYOUTS.

G. SEE FOOD SERVICE DRAWINGS FOR KITCHEN AND BAR EQUIPMENT

### LEGEND

EXISTING DOOR TO REMAIN

NEW DOOR

EXISTING WALL TO REMAIN

NEW WALL

### FLOOR PLAN KEYNOTES

- PROPERTY LINE
- ADJACENT BUILDING
- EXISTING CURB
- EXISTING PLANTER BED
- PARKING BASEMENT BELOW
- EXISTING PIVOTING CASEWORK
- WALK-IN COOLER - SEE FOODSERVICE DRAWINGS
- RECEPTION COUNTER AND DESK, WITH ADA TRANSACTION COUNTER 30" WIDE (MIN) AND 38" HIGH, COORDINATE WITH OWNER
- INFILL WALL TO MATCH ADJACENT CONSTRUCTION
- PLANTER BED, CONSTRUCT WITH SALVAGED STONE CURB
- BIKE PARKING
- ADA COUNTER AT RECEPTION DESK
- PROVIDE CONCRETE PAD AT GENERATOR - COORDINATE SIZE WITH MANUFACTURER.
- WALL-MOUNTED REMOTE CONDENSING UNIT - SEE FOODSERVICE DRAWINGS
- LOCATION OF WALK-UP WINDOW
- BRACKET-MOUNTED FIRE EXTINGUISHER, COORDINATE WITH FOOD SERVICE DRAWINGS - CLASS K - 1.5 GAL (BL) MIN. CAP.
- ADA PUSH-BUTTON DOOR OPERATOR, BOLLARD MOUNTED AT EXTERIOR
- EXISTING BRICK TO REMAIN
- OPENING CENTERED IN WALL - SEE FOODSERVICE DRAWINGS
- KNOX BOX - VERIFY EXACT LOCATION WITH FIRE DEPARTMENT
- EXISTING MASONRY CLAD COLUMN
- PATCH/REPAIR WALL TO MATCH EXISTING
- PROVIDE CASED OPENING IN PLACE OF DOOR AND FRAME
- NOT USED

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## THE GRADUATE MADISON - ADDITION AND ALTERATIONS

601 LANGDON STREET  
MADISON, WI 53703

DATE OF ISSUE: 02/12/2015

REVISIONS:		
A	ISSUED FOR CONSTRUCTION	2/27/15
1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

## FIRST FLOOR PLAN

# A1.1R

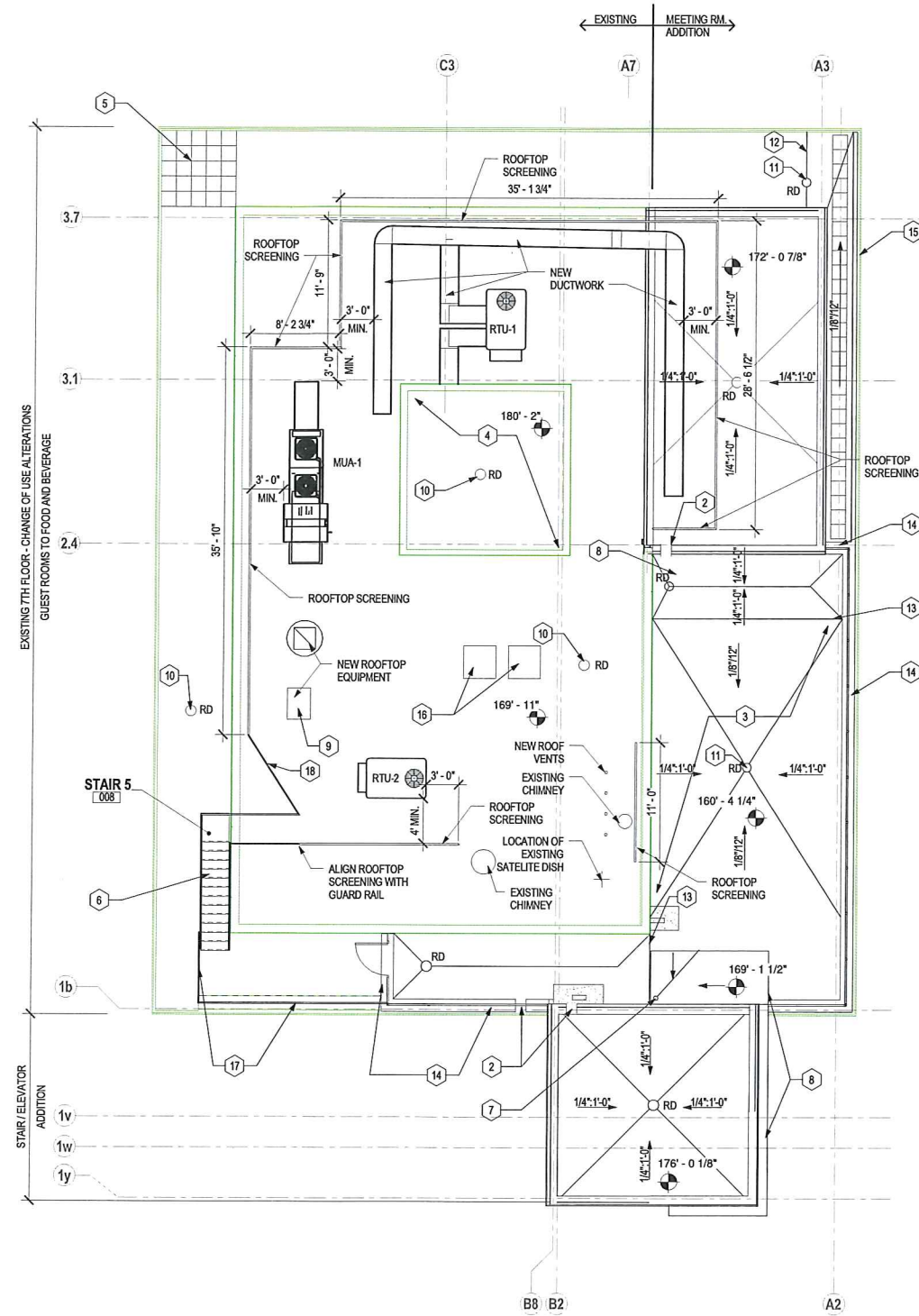


**FLOOR PLAN GENERAL NOTES**

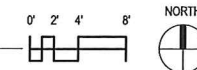
- A. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.  
B. REFER TO MEP DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS, ROOF CURBS AND ROOF MOUNTED EQUIPMENT. COORDINATE EQUIPMENT AND CURBS WITH ROOF DRAINAGE AND PROVIDE INSULATION SADDLES AS REQUIRED FOR DRAINAGE.

**ROOF PLAN KEYNOTES**

- 1 AWNING BELOW
- 2 OVERFLOW SCUPPER
- 3 TERRACE BELOW, SEE 7TH FLOOR PLAN
- 4 EXISTING ROOF
- 5 EXISTING PAVERS TO REMAIN
- 6 RELOCATED STAIR, SEE 7TH FLOOR PLAN
- 7 DOWNSPOUT TO END ON UNDERSIDE OF PAVERS
- 8 ROOF CANOPY
- 9 FOODSERVICE EQUIPMENT - SEE FOODSERVICE DRAWINGS, COORDINATE WITH HVAC
- 10 EXISTING ROOF DRAIN TO REMAIN. LOCATION TO BE VERIFIED IN FIELD
- 11 ROOF DRAIN, VERIFY IN FIELD
- 12 MATCH NEW ROOF TO EXISTING ROOF
- 13 HIGH POINT OF ROOF INSULATION
- 14 CONCRETE CURB TO SUPPORT RAILING
- 15 ROOF CURB FOR TAPERED INSULATION
- 16 EXISTING SKYLIGHTS
- 17 BOLT RAILING TO EXISTING BEAM, WATERPROOF WHERE RAILING ANCHORS TO BEAM.
- 18 GUARDRAILS AT RELOCATED STAIR PER OSHA REQUIREMENTS



1 **ROOF PLAN**  
1/8" = 1'-0"



**THE GRADUATE  
MADISON - ADDITION  
AND ALTERATIONS**

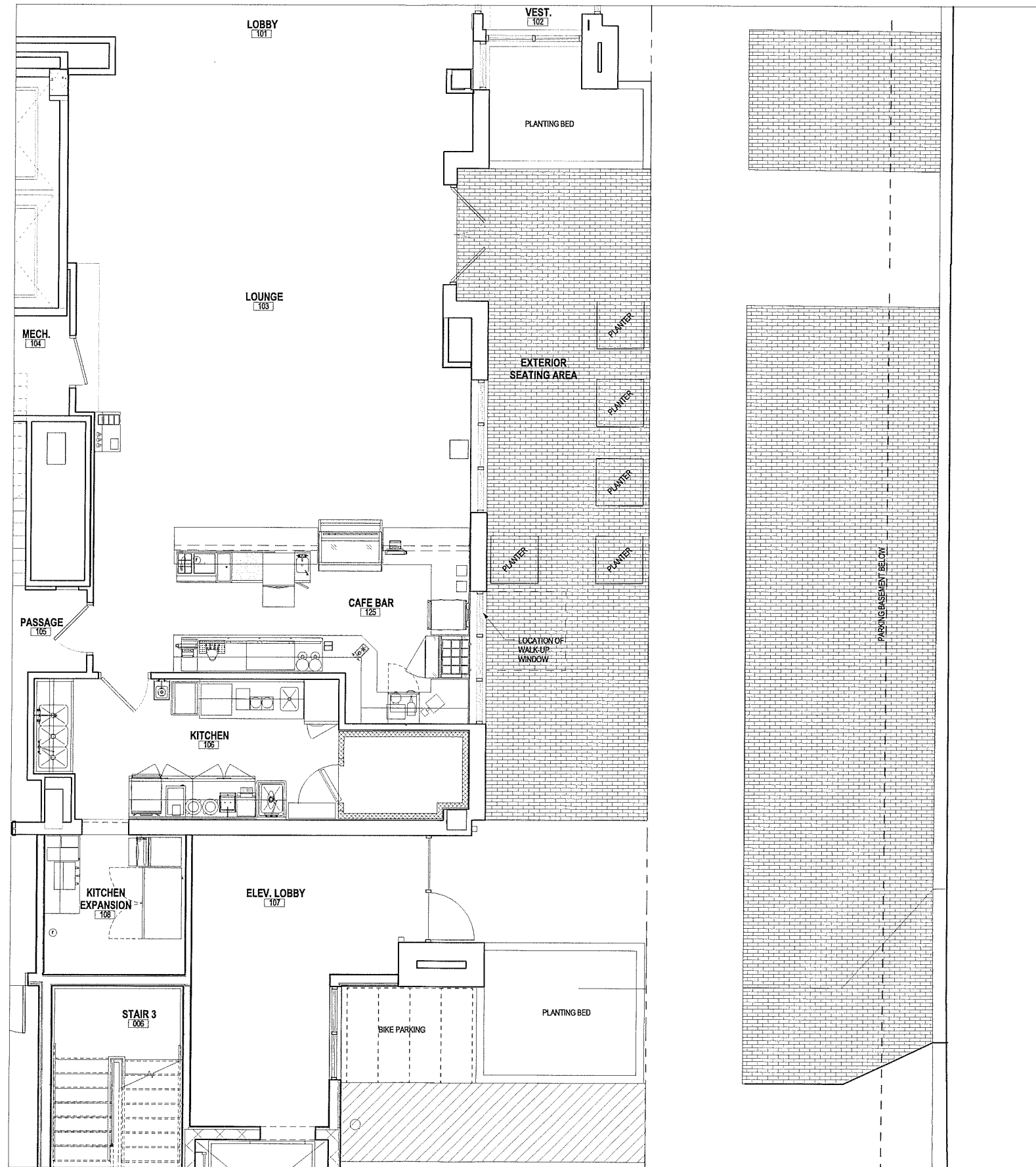
601 LANGDON STREET  
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

REVISIONS:		
A	ISSUED FOR CONSTRUCTION	2/27/15
1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

**ROOF PLAN**



**THE GRADUATE  
 MADISON - ADDITION  
 AND ALTERATIONS**

601 LANGDON STREET  
 MADISON, WI 53703

DATE OF ISSUE: 03/15/2016

REVISIONS:


PROJECT # 14043

**ENLARGED CAFE/  
 PATIO PLAN**

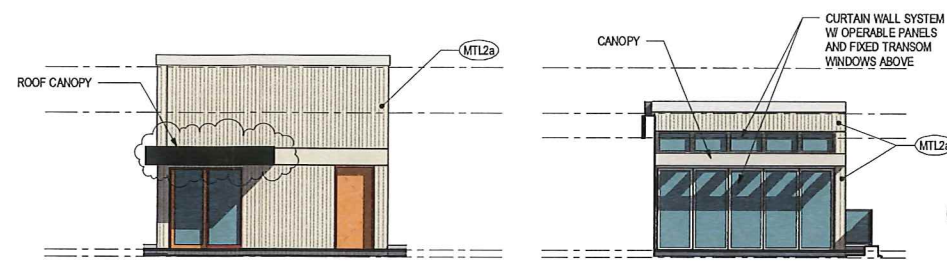
**1 ENLARGED CAFE/PATIO PLAN**  
 1/4" = 1'-0"



**EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND**

- LEGEND**
- (MTL1a) CORRUGATED METAL SIDING / PANEL  
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73  
FINISH: SMOOTH
  - (MTL1b) INTERLOCKING METAL PANEL  
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73  
SIZE: 16"H x 48"W
  - (MTL2a) CORRUGATED METAL SIDING / PANEL  
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95  
FINISH: SMOOTH
  - (MTL2b) INTERLOCKING METAL PANEL  
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95  
FINISH: SMOOTH  
SIZE: 16"H x 48"W
  - (MTL2c) INTERLOCKING METAL PANEL  
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95  
SIZE: 12"H x 24"W
  - (AGR1) ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION DETAIL 8 / A8.0
  - (STL1) PAINTED STEEL PIPE GUARDRAIL
- ROOF CANOPY / AWNING  
COLOR: BENJAMIN MOORE, BLACK, PM-9
- CJ CONTROL JOINT
- PMC PRE FINISHED METAL CORNICE
- GENERAL NOTES**

- A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.
- B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.
- C. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE WALL SECTIONS FOR DIMENSIONS
- D. COMPONENT/CLADDING WIND LOADS FOR 7TH FLOOR ARE: ZONE 4 (21.9 PSF FOR 10 SF, 20.2 PSF FOR 50 SF), ZONE 5 (CORNERS - 40.2 PSF FOR 10 SF, 35.6 PSF FOR 50 SF)



**4 STAIR ELEVATOR HIDDEN ELEVATION**  
1/8" = 1'-0"

**3 SOUTH HIDDEN ELEVATION**  
1/8" = 1'-0"

**THE GRADUATE  
MADISON INN -  
ADDITION AND  
ALTERATIONS**

601 LANGDON STREET  
MADISON, WI 53703

**APPROVED  
DRAWING**

**PLAN  
COMMISSION  
SUBMITTAL**

DATE OF ISSUE: 07/16/2014

REVISIONS:		
2	PLAN COMMISSION REVISIONS	11-26-14
3	ELEVATION UPDATES	12-22-14

PROJECT # 14043

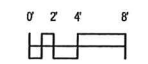
**EXTERIOR  
ELEVATIONS**

**A2.0**

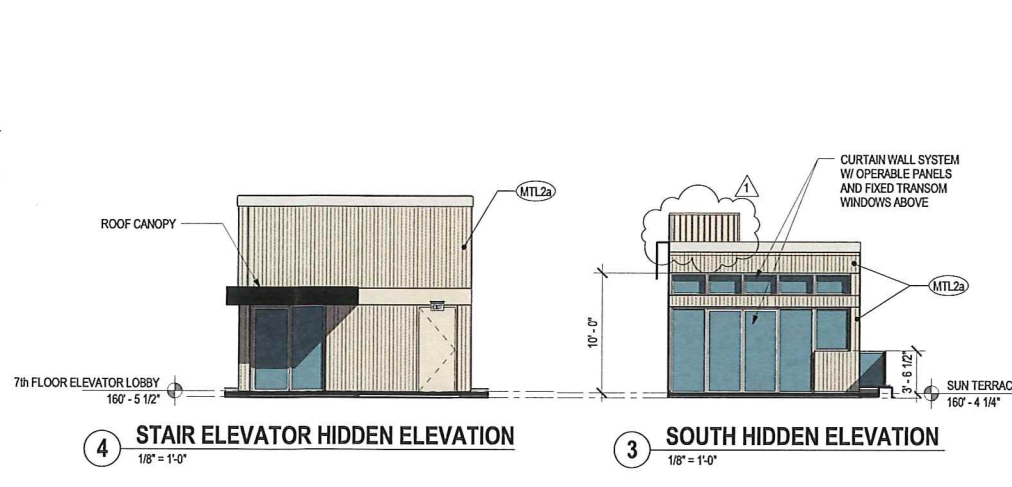
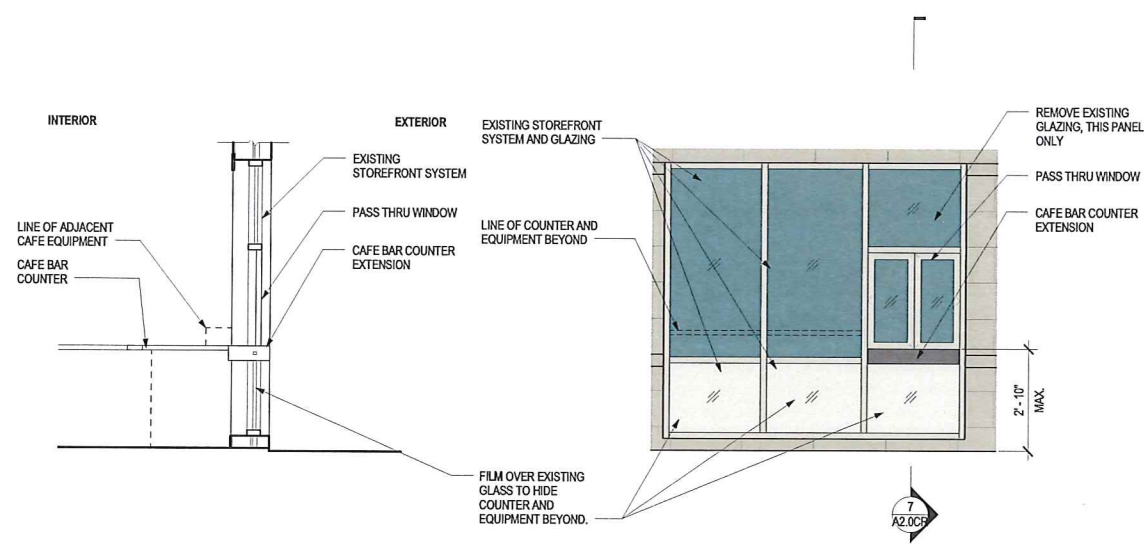


**2 SOUTH ELEVATION**  
1/8" = 1'-0"

**1 EAST ELEVATION**  
1/8" = 1'-0"







### EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND

**LEGEND**

- (MTL1a) CORRUGATED METAL SIDING / PANEL  
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73  
FINISH: SMOOTH
- (MTL1b) INTERLOCKING METAL PANEL  
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73  
FINISH: SMOOTH  
SIZE: 16'H x 48'W
- (MTL2a) CORRUGATED METAL SIDING / PANEL  
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95  
FINISH: SMOOTH
- (MTL2b) INTERLOCKING METAL PANEL  
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95  
FINISH: SMOOTH  
SIZE: 16'H x 48'W
- (MTL2c) INTERLOCKING METAL PANEL  
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95  
FINISH: SMOOTH  
SIZE: 12'H x 24'W  
8 / A8.0R
- (AGR1) ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION DETAIL
- (STL1) PAINTED STEEL PIPE GUARDRAIL

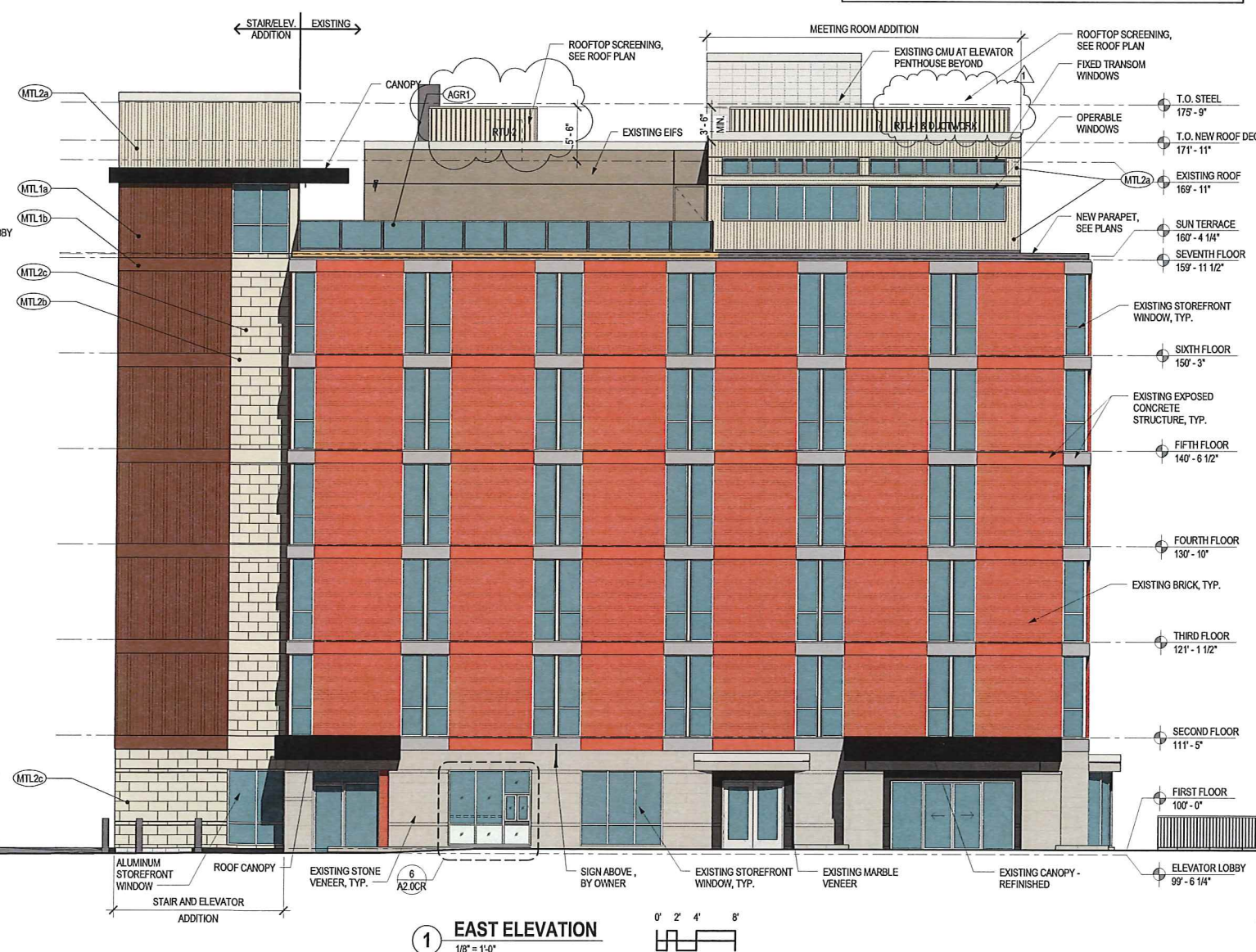
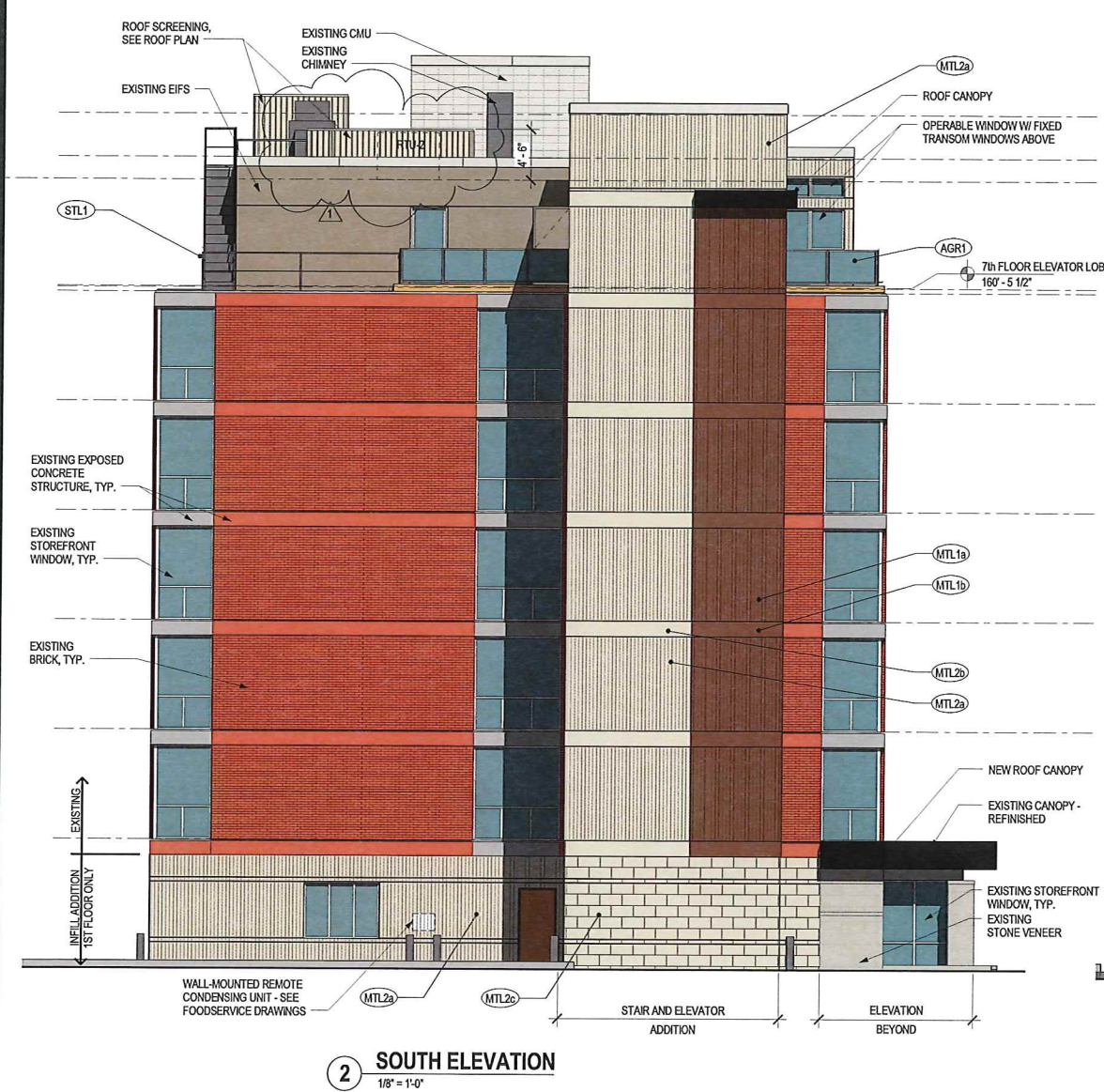
**GENERAL NOTES**

A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.

B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.

C. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE WALL SECTIONS FOR DIMENSIONS.

D. COMPONENT/CLADDING WIND LOADS FOR 7TH FLOOR ARE: ZONE 4 (21.9 PSF FOR 10 SF, 20.2 PSF FOR 50 SF), ZONE 5 (CORNERS - 40.2 PSF FOR 10 SF, 35.6 PSF FOR 50 SF)



**THE GRADUATE  
MADISON - ADDITION  
AND ALTERATIONS**

601 LANGDON STREET  
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

**REVISIONS:**

1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

**EXTERIOR  
ELEVATIONS**



**THE GRADUATE  
MADISON INN -  
ADDITION AND  
ALTERATIONS**

601 LANGDON STREET  
MADISON, WI 53703

**APPROVED  
DRAWING**

**PLAN  
COMMISSION  
SUBMITTAL**

DATE OF ISSUE: 01/05/2014

REVISIONS:		
2	PLAN COMMISSION REVISIONS	11-26-14
3	ELEVATION UPDATES	12-22-14

PROJECT # 14043

**EXTERIOR  
ELEVATIONS**

**A2.1**

**EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND**

**LEGEND**

- (MTL1a) CORRUGATED METAL SIDING / PANEL  
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73  
FINISH: SMOOTH
- (MTL1b) INTERLOCKING METAL PANEL  
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73  
SIZE: 16'H x 48'W
- (MTL2a) CORRUGATED METAL SIDING / PANEL  
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95  
FINISH: SMOOTH
- (MTL2b) INTERLOCKING METAL PANEL  
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95  
FINISH: SMOOTH  
SIZE: 16'H x 48'W
- (MTL2c) INTERLOCKING METAL PANEL  
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95  
SIZE: 12'H x 24'W
- (AGR1) ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION DETAIL 8 / A8.0
- (STL1) PAINTED STEEL PIPE GUARDRAIL

ROOF CANOPY / AWNING  
COLOR: BENJAMIN MOORE, BLACK, PM-9

CJ CONTROL JOINT

PMC PRE FINISHED METAL CORNICE

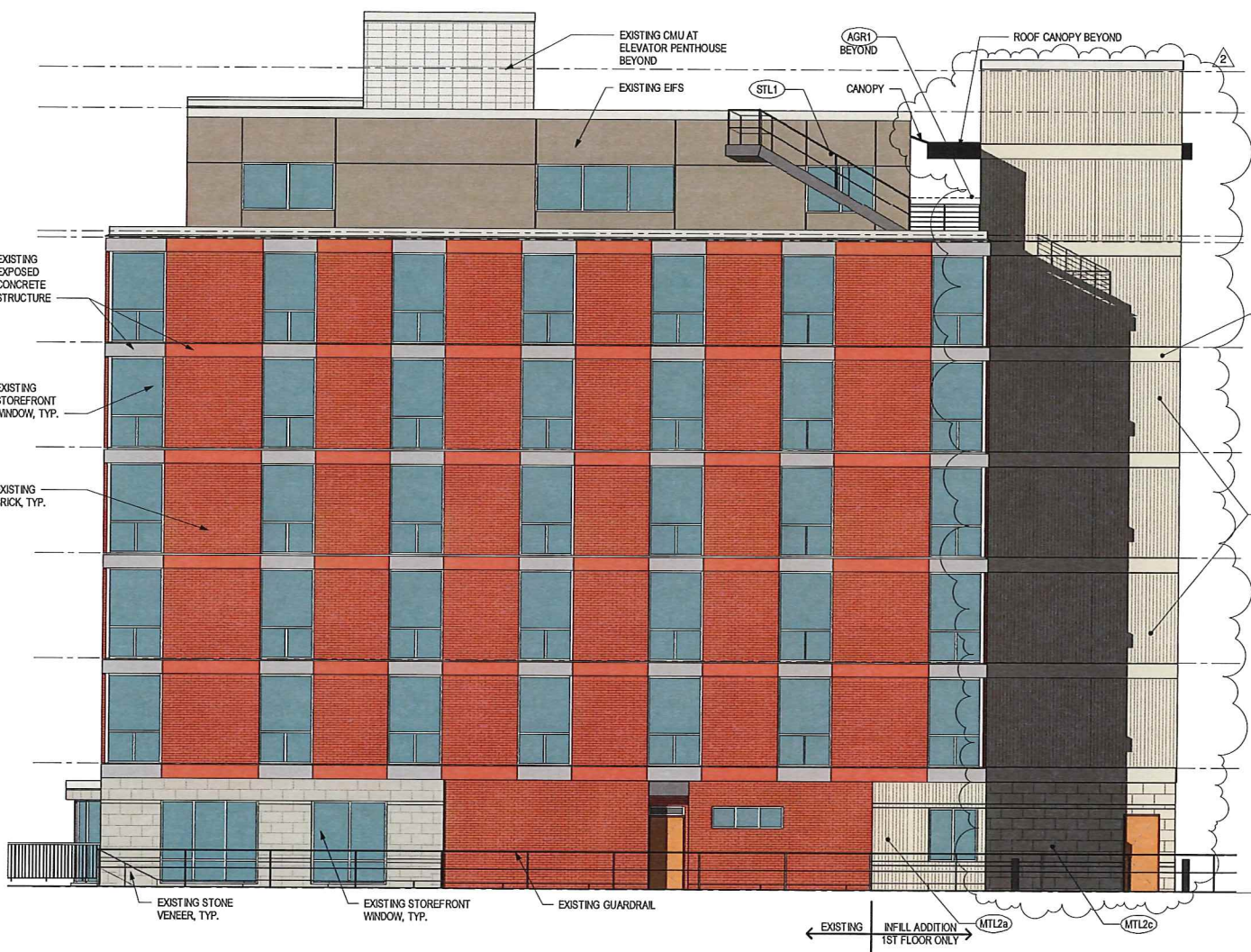
**GENERAL NOTES**

A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.

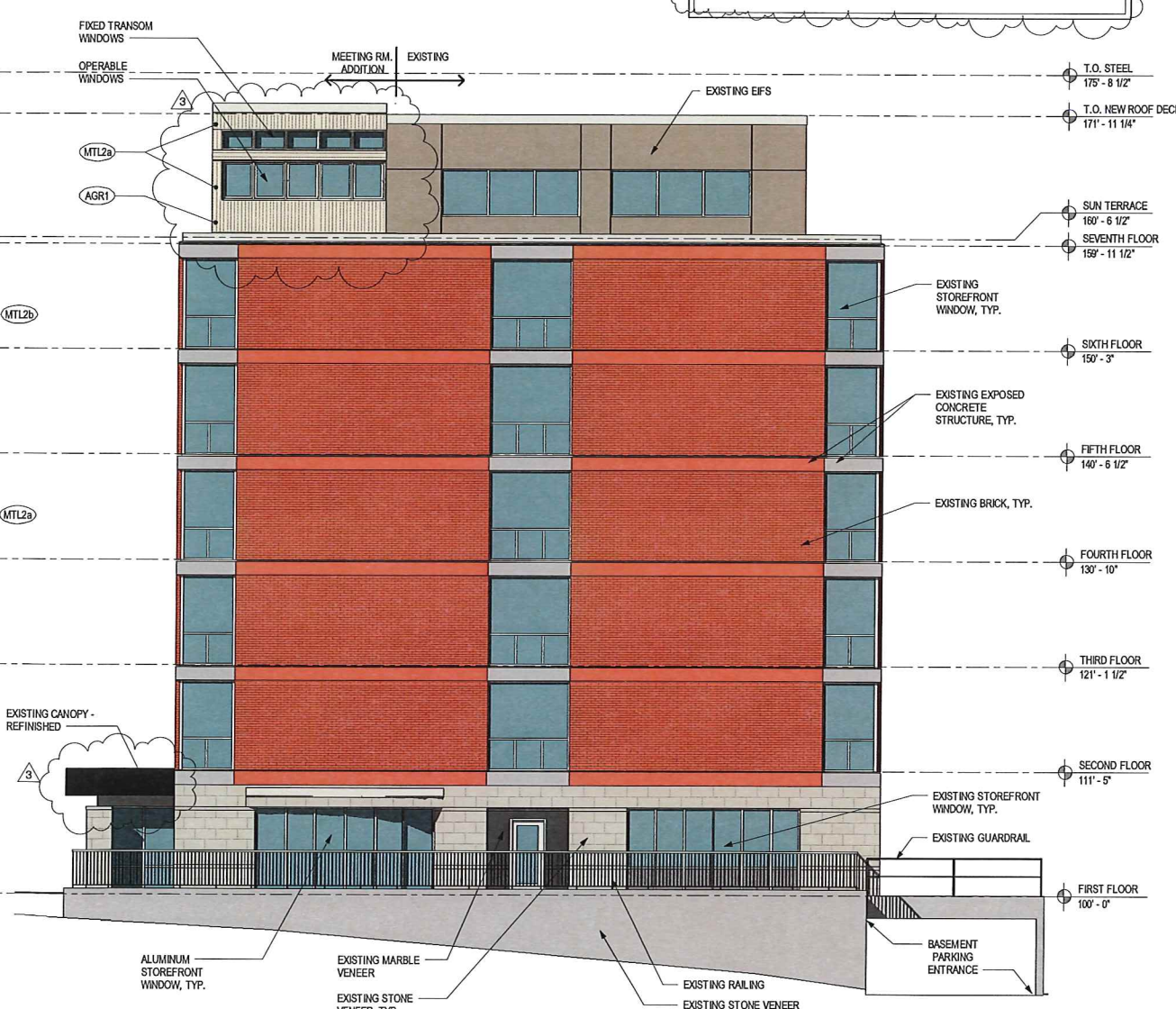
B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.

C. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE WALL SECTIONS FOR DIMENSIONS

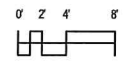
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**2 WEST ELEVATION**  
1/8" = 1'-0"



**1 NORTH ELEVATION**  
1/8" = 1'-0"





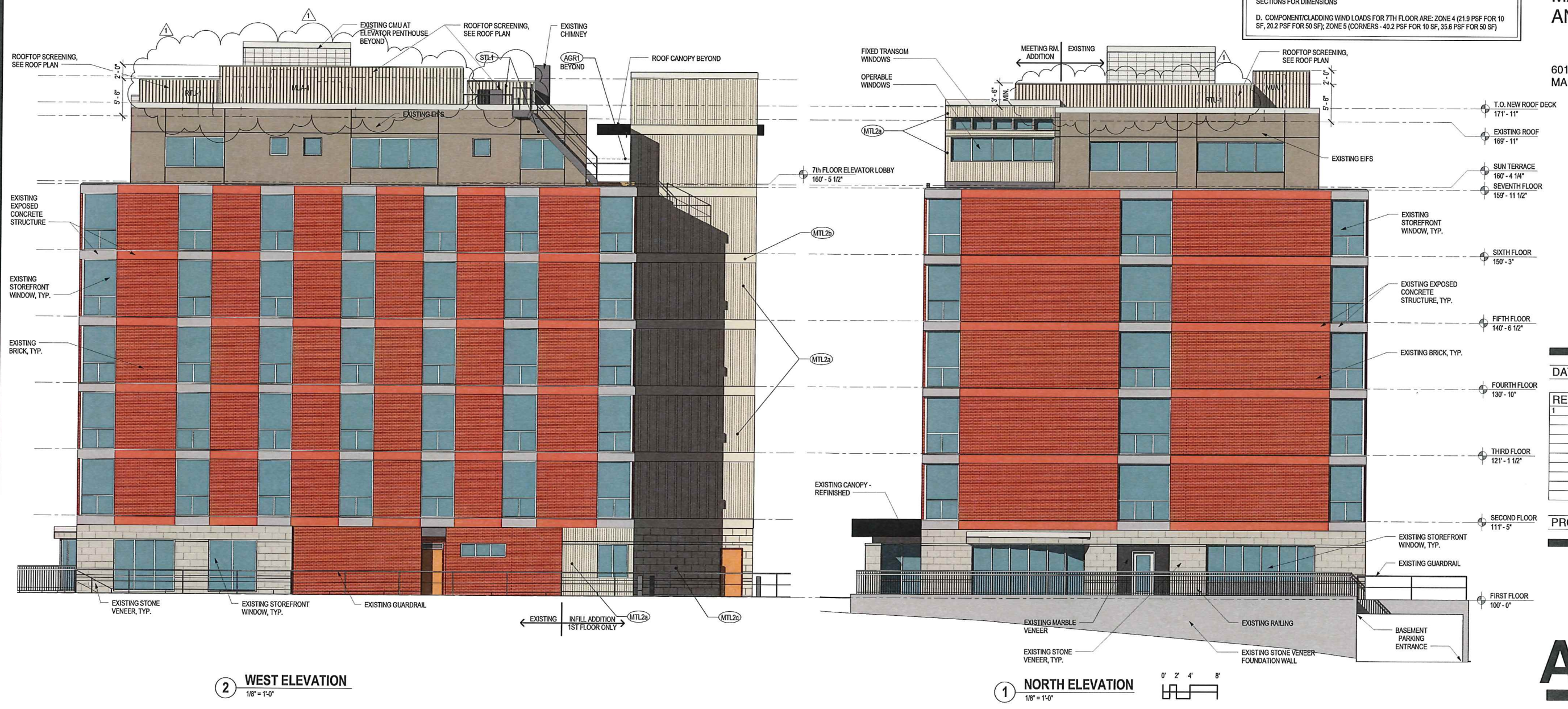
**EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND**

- LEGEND**
- (MTL1a) CORRUGATED METAL SIDING / PANEL  
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73  
FINISH: SMOOTH
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  - (MTL2b) INTERLOCKING METAL PANEL  
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SIZE: 16"H x 48"W
  - (MTL2c) INTERLOCKING METAL PANEL  
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95  
FINISH: SMOOTH  
SIZE: 12"H x 24"W  
9 / AS, OR
  - (AGR1) ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION DETAIL
  - (STL1) PAINTED STEEL PIPE GUARDRAIL
- ROOF CANOPY / AWNING  
COLOR: BENJAMIN MOORE, BLACK, PM-9
- CJ CONTROL JOINT
- PMC PRE FINISHED METAL CORNICE

- GENERAL NOTES**
- A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.
  - B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.
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**THE GRADUATE  
MADISON - ADDITION  
AND ALTERATIONS**

601 LANGDON STREET  
MADISON, WI 53703



**2 WEST ELEVATION**  
1/8" = 1'-0"

**1 NORTH ELEVATION**  
1/8" = 1'-0"

DATE OF ISSUE: 01/15/2015

**REVISIONS:**

1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

**EXTERIOR  
ELEVATIONS**

**A2.1CR**

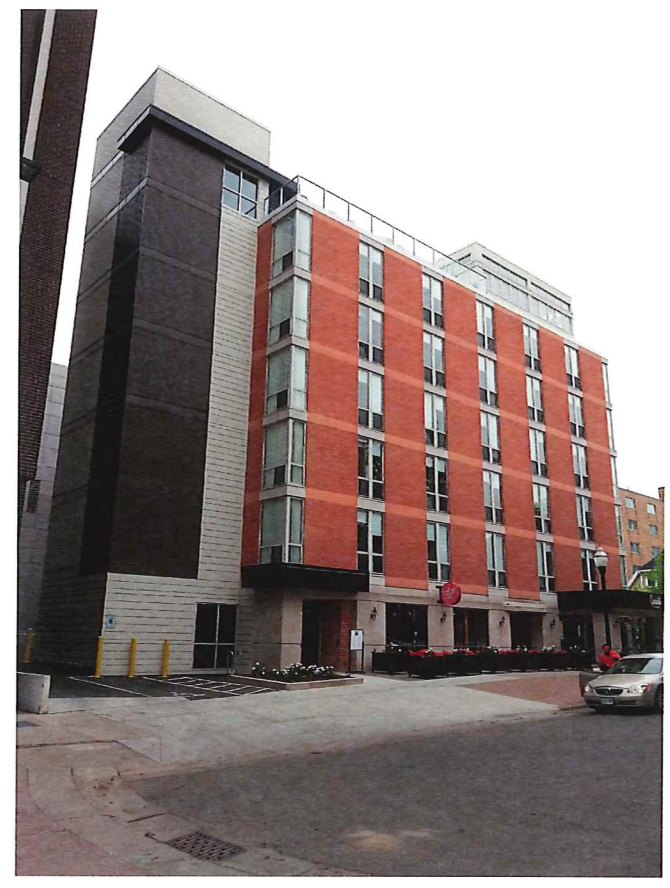


**THE GRADUATE  
 MADISON - ADDITION  
 AND ALTERATIONS**

601 LANGDON STREET  
 MADISON, WI 53703



② PERSPECTIVE FROM FRANCES ST



CURRENT PHOTO



CURRENT PHOTO



① PERSPECTIVE FROM LANGDON ST

DATE OF ISSUE: 05/23/2016

REVISIONS:


PROJECT # 14043

BUILDING  
 PERSPECTIVE



**THE GRADUATE  
 MADISON - ADDITION  
 AND ALTERATIONS**

601 LANGDON STREET  
 MADISON, WI 53703

DATE OF ISSUE: 05/23/2016

REVISIONS:


PROJECT # 14043

**BUILDING  
 PERSPECTIVE**

**A2.3CR**



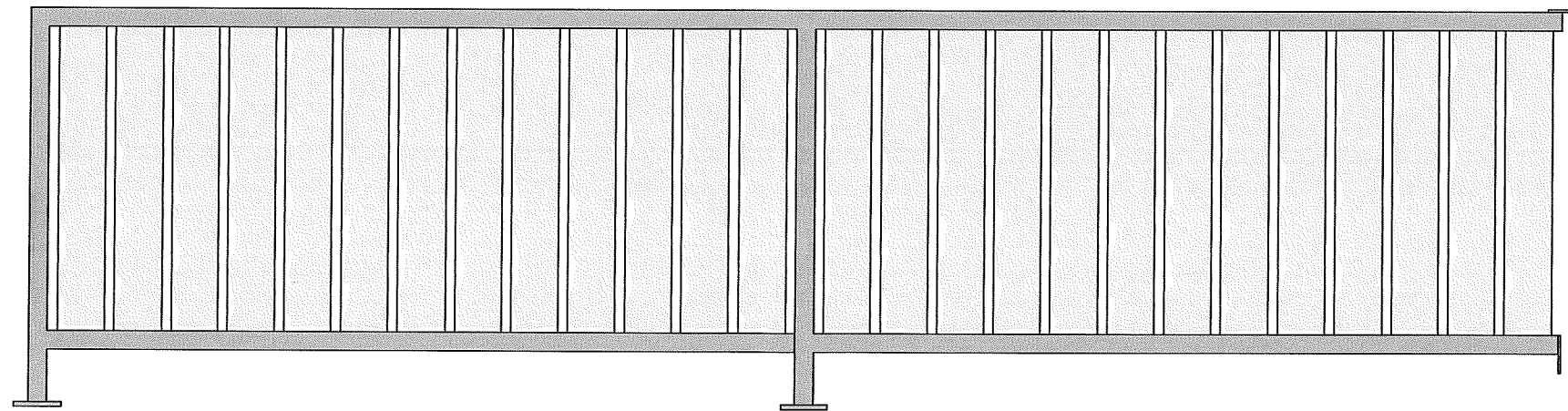
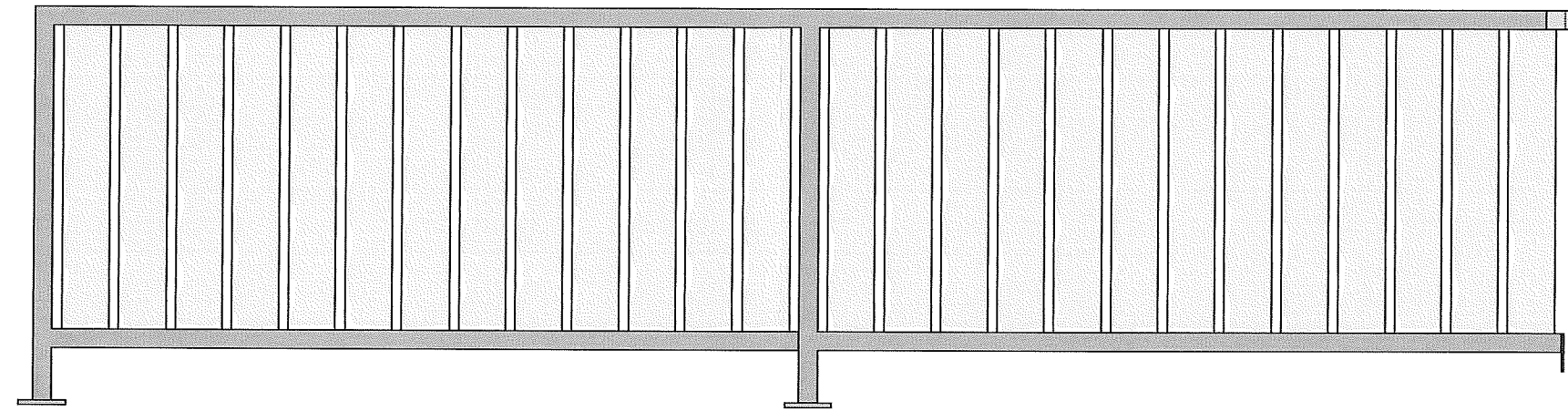
**CURRENT PHOTO**



**① PERSPECTIVE FROM LANGDON STREET WEST**

PROPOSED HVAC SCREENING  
SAMPLE LAYOUT  
COLOR TO MATCH EXISTING EXTERIOR COLOR  
(BENJAMIN MOORE, NAVAJO BEIGE, OC-95)

2" Sq. Tube Top/Bottom Rail & Posts  
1" x 5" Rectangular Tube Infill w/ 1" Space Between Panels  
1/2" x 5" Bases  
Mechanical connections @ Rail Ends to Next Fence Section - Top or Side @ Top Rail Connections



Typical Surface Mounted Rail Configuration:  
2" Sq. Posts, Top & Bottom Rails  
1"x5" Rect. Tube Infill  
1/2" Base Plates w/ Holes for 3/8" Anchors

PROPOSED HVAC SCREENING  
SAMPLE LAYOUT  
COLOR TO MATCH EXISTING EXTERIOR COLOR  
(BENJAMIN MOORE, NAVAJO BEIGE, OC-95)

