

**Letter of Intent For:**

**Linden Park Elementary School**

801 Redan Drive  
Madison, WI

January 3, 2007

**Summary**

Linden Park Elementary will be a newly constructed school within the Veridian Homes Neighborhood Development of the same name. The school will be home to 650 students in five classes per grades K-5. This project will utilize sustainable energy in the form of cool daylighting, geothermal heating/cooling and wind generation that will contribute to a LEED Silver Certification.

<b>Legal Description of Property:</b>	Outlot 22 of Linden Park Development
<b>Construction Schedule:</b>	April 2007 thru August 2008
<b>Project Contacts:</b>	<i>Following Page</i>
<b>Building Use:</b>	New Elementary School
<b>Total Building Gross Sq. Ft.:</b>	
<i>First Floor</i>	50,141 s.f.
<i>Second Floor</i>	39,779 s.f.
<i>Total</i>	89,920 s.f.
<b>Total Building Occupants:</b>	
<i>Students</i>	650
<i>Staff</i>	90
<i>Total</i>	740
<b>Parking Spaces:</b>	
<i>Spaces Required</i>	45 (One parking space for every two (2) employees)
<i>Spaces Provided</i>	116
<i>Faculty/Staff</i>	95 (5 accessible, including 1 van)
<i>Visitor</i>	21 (1 accessible)
<b>Hours of Operation:</b>	M-F 6:00 a.m. to 10:00 p.m.
<b>Site Acreage:</b>	8.3 acres

Trash removal will be via garbage/recycling service.

Snow will be plowed and remain on site.

Maintenance equipment will be stored within the building proper.

**Project Contacts**

**Owner**

**Madison Metropolitan School District**  
545 West Dayton Street  
Madison, WI 53718

*Owner Representative*

Doug Pearson, CFM, CEM  
Director of Building Services  
4711 Pflaum Road  
Madison, WI 53718

*Owner Project Manager*

608.204.7909 fax 608.204.0373  
Rick Hopke, P.E.  
Coordinator of Facilities Engineering  
608.204.7912 fax 608.204.0373

**Surveyor**

**STS Consultants**  
2821 Dairy Drive, Suite 5  
Madison, WI 53718  
608.222.7231 fax 608.222.3765

*Project Engineer*

Matthew D.Emrick, P.E.

**Architect**

**Zimmerman Architectural Studios**  
7707 Harwood Avenue  
Milwaukee, WI 53213  
414.476.9500 fax 414.476.8582

*Project Architect*

Doug Barnes, AIA, REFP  
414.918.1461

*Project Manager*

Mark Wershay  
414.918.1331

*Landscape Architect*

Joe Pepitone, ASLA  
414.918.1475

**Engineer**

**Harwood Engineering Consultants, Ltd.**  
7420 W. State Street  
Wauwatosa, WI 53213  
414.475.5554 fax 414.475.5698

*Civil*

Thomas B. Olejniczak, P.E., LEED AP  
414.918.1240

*Structural*

Conrad Etmayer, P.E.  
414.918.1220

*Plumbing*

Patrick Geraghty, D.E., CIPE  
414.918.1232

*Mechanical*

Robert Bueches, D.E., LEED AP  
414.918.1237

*Electrical*

Tom Peterson, P.E.  
414.918.1225

# Zimmerman

ARCHITECTURAL STUDIOS, INC.

ARCHITECTURE | ENGINEERING | INTERIORS | PLANNING | LANDSCAPE ARCHITECTURE

7707 Harwood Avenue | Milwaukee, WI 53213 | [zastudios.com](http://zastudios.com)

TELEPHONE [414] 476-9500

FACSIMILE [414] 476-8582

## TRANSMITTAL

TO	<b>Secretary</b>
COMPANY	<b>Planning &amp; Development Office</b> 215 Martin Luther King Jr. Blvd Rm. LL-100 Madison, WI 53701
PROJECT NAME	Madison Metropolitan School District Linden Park Elementary School 801 Redan Drive Verona, WI 53593
PROJECT NUMBER	060092.00
DATE	January 3, 2007

URGENT   
FOR REVIEW   
FOR COMMENT   
FOR YOUR USE   
AS REQUESTED   
FOR YOUR FILES

### NOTES / COMMENTS

Secretary,

Please find attached our submittal for the Initial Approval and/or Recommendation for the January 10<sup>th</sup> UDC meeting. This submittal includes:

- (1) Copy - UDC Application Form
- (14) Copies - 11x17 Presentation drawings
- (14) Copies - Letter of Intent
- (1) Disk - Individual .PDF Files of the Above

VERY TRULY YOURS;  
Mark Wershay  
Project Manager

Direct Phone: 414.918.1331

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THE INFORMATION CONTAINED IN THIS FACSIMILE MESSAGE IS INTENDED ONLY FOR THE PERSONAL AND CONFIDENTIAL USE OF THE DESIGNATED RECIPIENTS NAMED ABOVE. THIS MESSAGE MAY BE AN ATTORNEY/CLIENT COMMUNICATION, AND AS SUCH IS PRIVILEGED AND CONFIDENTIAL. IF THE READER OF THIS MESSAGE IS NOT THE INTENDED RECIPIENT OR ANY AGENT RESPONSIBLE FOR DELIVERING IT TO THE INTENDED RECIPIENT, YOU ARE HEREBY NOTIFIED THAT YOU HAVE RECEIVED THE DOCUMENT IN ERROR, AND THAT ANY REVIEW, DISSEMINATION OR COPYING OF THIS MESSAGE IS STRICTLY PROHIBITED. IF YOU HAVE RECEIVED THIS COMMUNICATION IN ERROR, PLEASE NOTIFY US BY TELEPHONE AND RETURN THE ORIGINAL MESSAGE TO US BY MAIL. THANK YOU.

# Landscape Notes

## LANDSCAPE INSTALLATION NOTES

**NOTE: All landscaping to be installed and maintained per the Madison Metropolitan School District Standards.**

- All vertical dimensions supersede scaled dimensions.
- All dimensions are taken from face of curb, wall or existing building foundation.
- The Contractor shall verify location of all underground utilities and additional information prior to commencement of site construction.
- Rooting gridding and drainage is to be completed prior to Landscape Contractor's work. Verify all existing site and grading conditions prior to construction.
- All work shall be in conformance with all applicable local codes & ordinances.
- All areas disturbed by grading or site construction shall be fine graded and seeded. See plans for seed locations, see notes for appropriate seed mixes & installation.
- Contractor shall verify plant quantities shown on plan and provide a list to the Client identifying the species and seed to be used throughout the project. The Landscape Architect reserves the right to reject any substantial planting material. Such rejected material shall be removed from the project site immediately.
- All planting beds shall receive a blended topsoil mix to a depth of 6". Contractor shall provide positive drainage away from all buildings for a minimum of 10'. Remove existing city gravel & stones which would be detrimental to healthy plant growth. Install new topsoil mix existing soil.
- All perennial and groundcover areas shall receive a blend of organic soil amendments prior to planting. Rough the amendments into the existing soil to a depth of 2". Avoid damage to existing tree roots where applicable by tightly working amendments into soil with pitch fork.

Add per 100 square feet:	1.2-2.4 lbs. of Peat Moss
	1.2 lb. of 5-0-5 garden fertilizer (Ozmocone or Miragard)
	1.2 lb. of Super Seed
	1/4 cu. yd. of mushroom compost

- All shrubs and perennials areas shall be planted with groundcover. See plant schedule.
- Unless otherwise shown, all perennials & shrubs to be planted in a triangular arrangement. For plants not shown individually, refer to the spacing shown in the plant schedule.
- Before 60-day maintenance period ends, Contractor to install a 6" shoulder bed edge wherever noted.

### SEEDING INSTALLATION

- All seed and broadcast seeding shall conform with the specifications outlined in WDNR's Technical Document 1003 "Infiltration Basin".
- Confirm seeding dates with supplier prior to installation. Installations performed outside of acceptable seeding dates shall be the sole responsibility of the contractor.
- Seeds shall be planted in accordance with the specifications of the contractor.
- After seeding, the contractor shall be responsible for watering and maintenance of the seeded area.
- Seeds shall be planted in accordance with the specifications.
- Use seed straw (much shall be straw without seeds) and straw onto seeded at a rate of 55 bales per acre.
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- Identify and maintain areas of 6" or less being located at different seed types for identification & maintenance purposes.

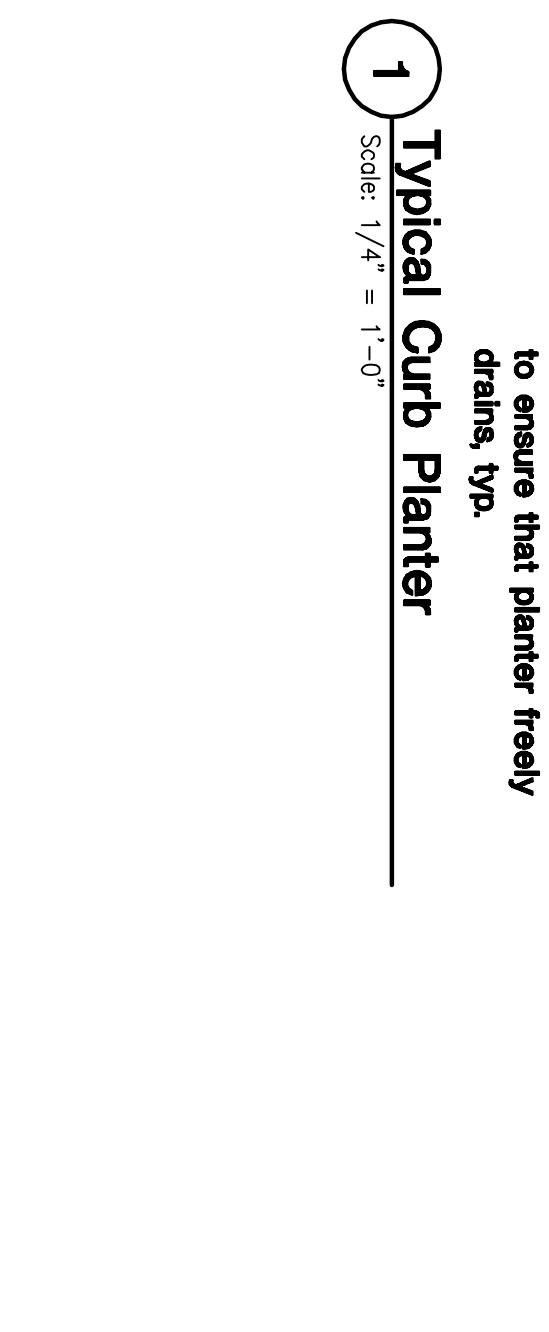
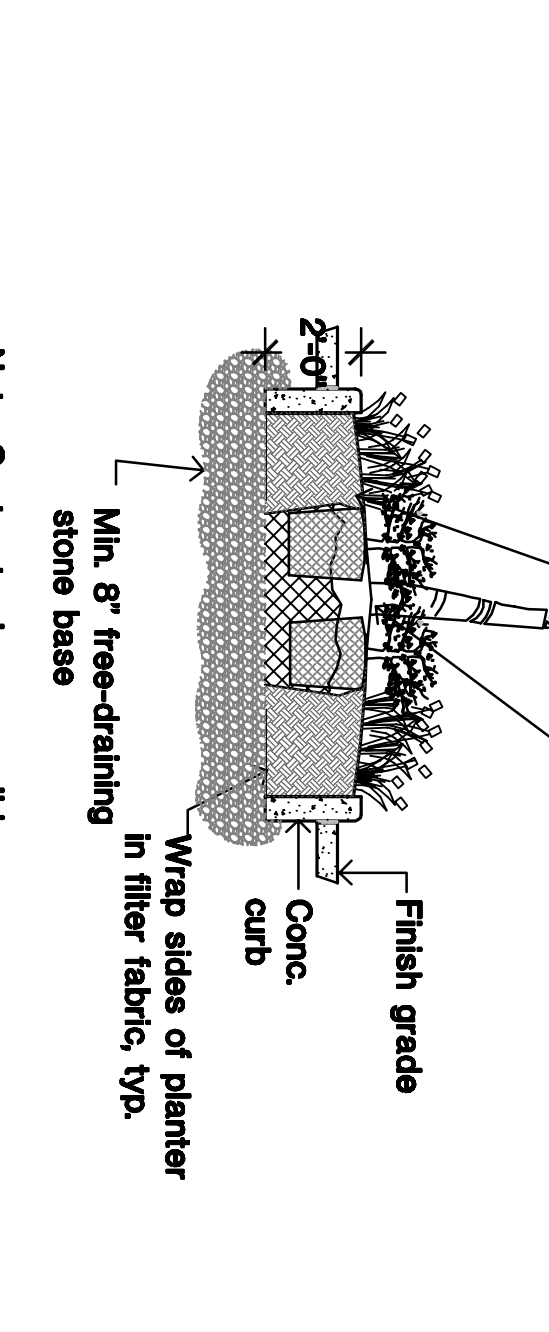
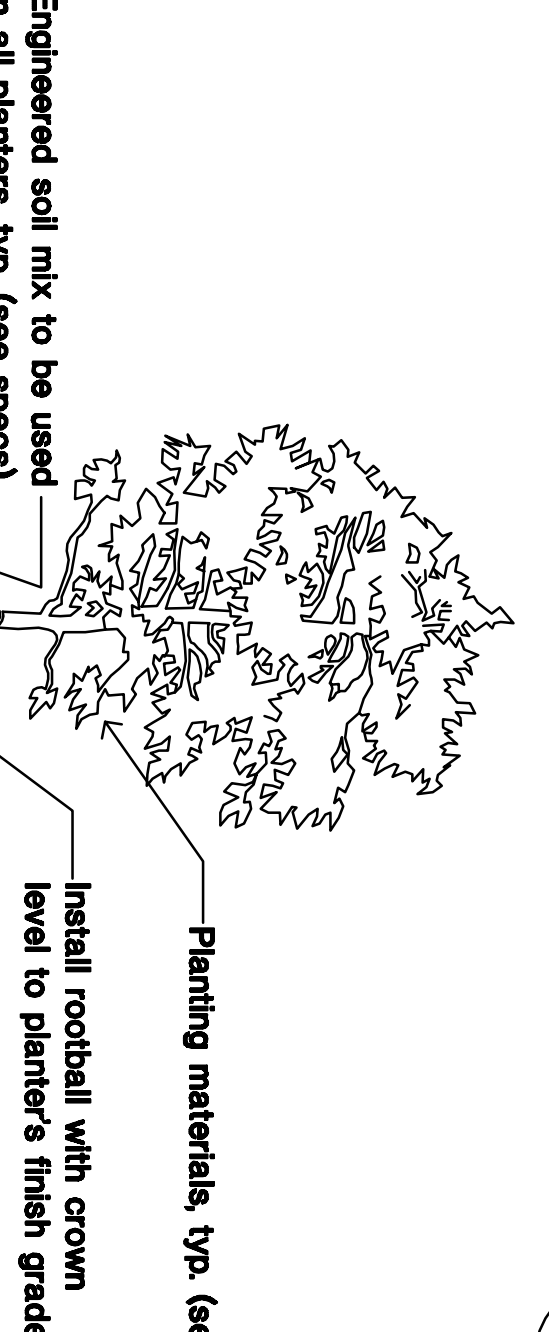
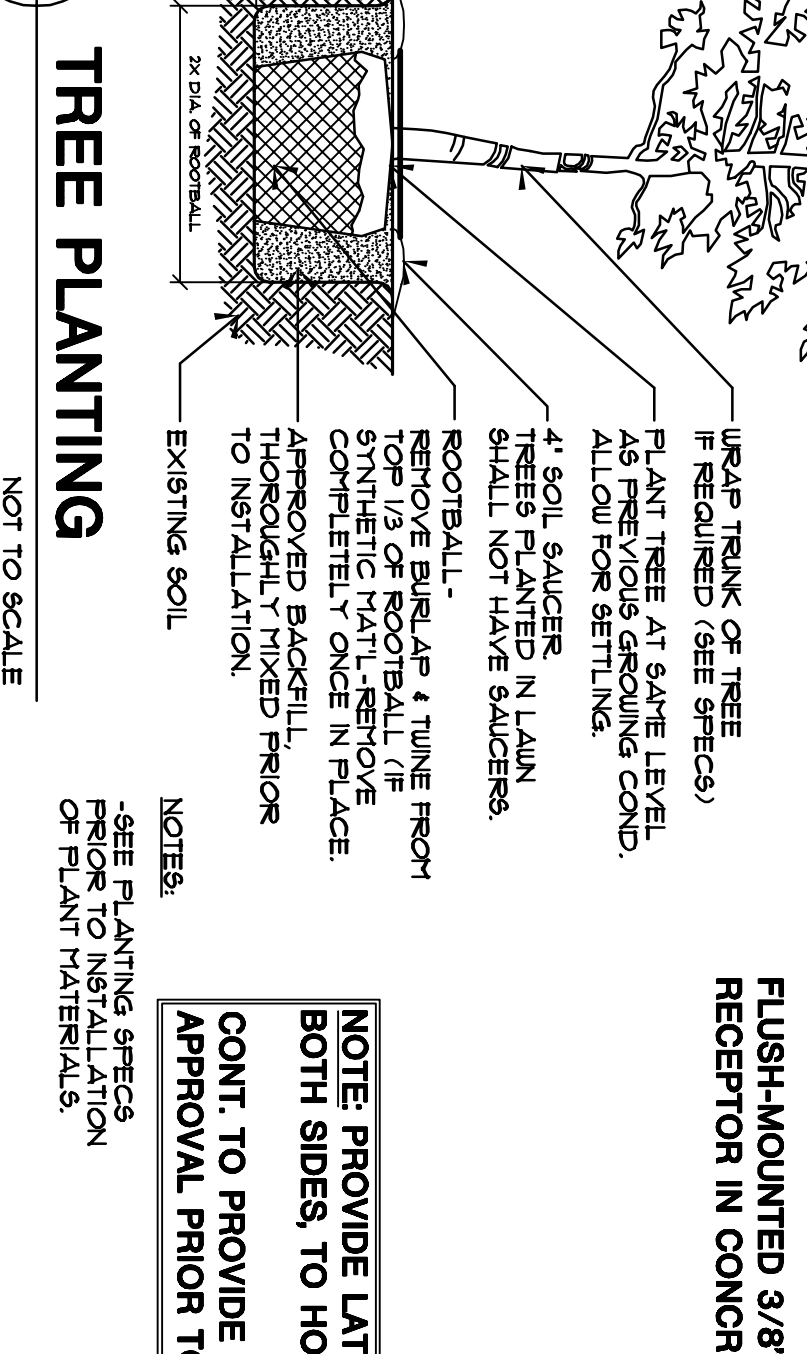
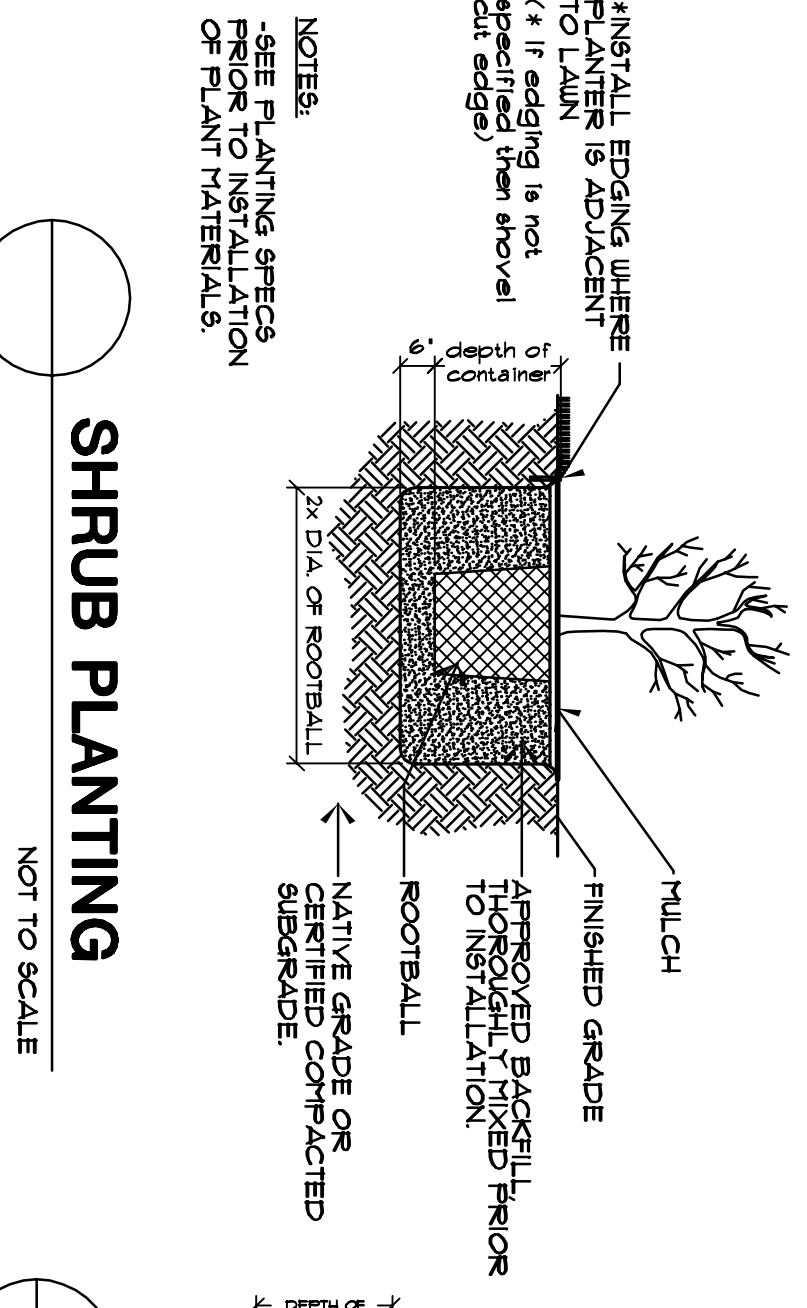
## SEED MIXES (See plans for locations)

SEEDED TURF:	SEEDING NOTES:
Blenwood Top Quality Lawn Seed Mix,*	1. The seeded shall be prepared for optimal native seed germination after placement of the landscape trees.
Available from Prime Seed Corp., Marshfield WI, 800-777-2486, © approved equal.	2. This work shall consist of preparing the seedbeds and furnishing, seeding and mulching the required seed on the various seeded turf areas, as outlined in the site plans or other areas designated by the Landscape Architect, all in accordance with the requirements of this specification.
100% Apollo Kentucky Bluegrass	3. Grading and seeding shall be completed before seeding the seed mix. The area to be seeded shall be worked with discs, harrows, or other appropriate equipment until a reasonably even and loose seedbed is obtained immediately in advance of the seeding.
100% Apollo Kentucky Bluegrass	4. The seed mixture shall be sown by means of equipment adapted to the purpose, or it may be scattered uniformly over the area to be seeded. Scattering seed by hand shall be done only with satisfactory hand seeders and only at such times when the soil is sufficiently calm to prevent seeds from blowing away.
20% Premier II Perennial Ryegrass	5. Clean straw, fine of debris and seeds, shall be applied as mulch on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre. Mulch material shall be dropped and blown into the seeded area.
15% Dasher Kentucky Bluegrass	
15% Dasher Kentucky Bluegrass	

Apply @ 6 lbs per 1000 SF.
CHANNEL ZONE MIX:
*Sommer Seed Mix* Available from JF New, Watertown N.J. 874-586-3446. © approved equal.
Apply @ \$5.25 lbs per AC, including cover crop.
FRINGE ZONE MIX:
*Swale Mix* Available from JF New, Watertown N.J. 874-586-3446. © approved equal.
Apply @ 27.5 lbs per AC, including cover crop.
UP AND BUFFER MIX:
Available from JF New, Watertown N.J. 874-586-3446. © approved equal.
To be installed & maintained per supplier's specifications.
Apply @ 33.33 lbs per AC, including cover crop.

### SEEDING NOTES

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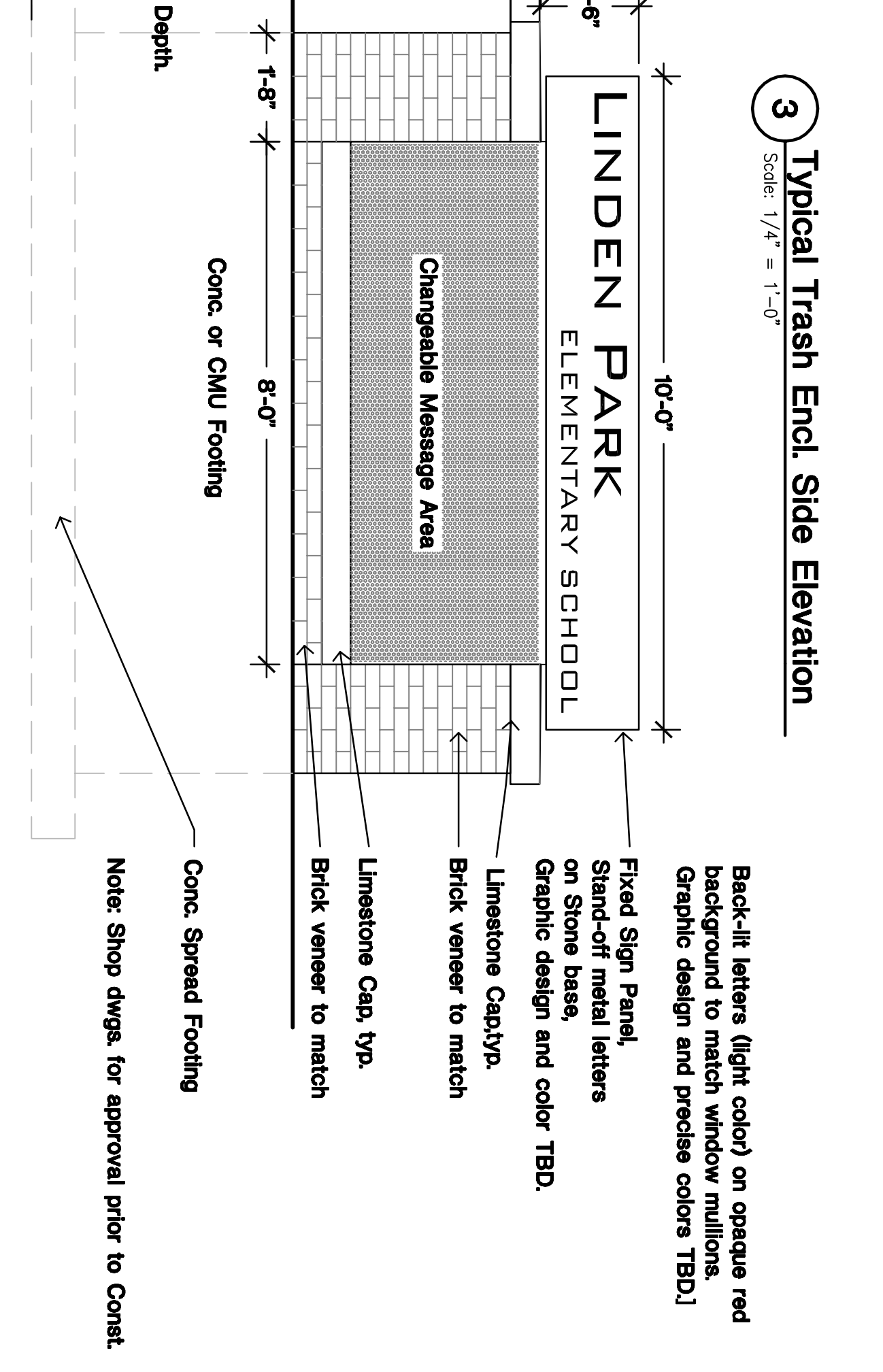
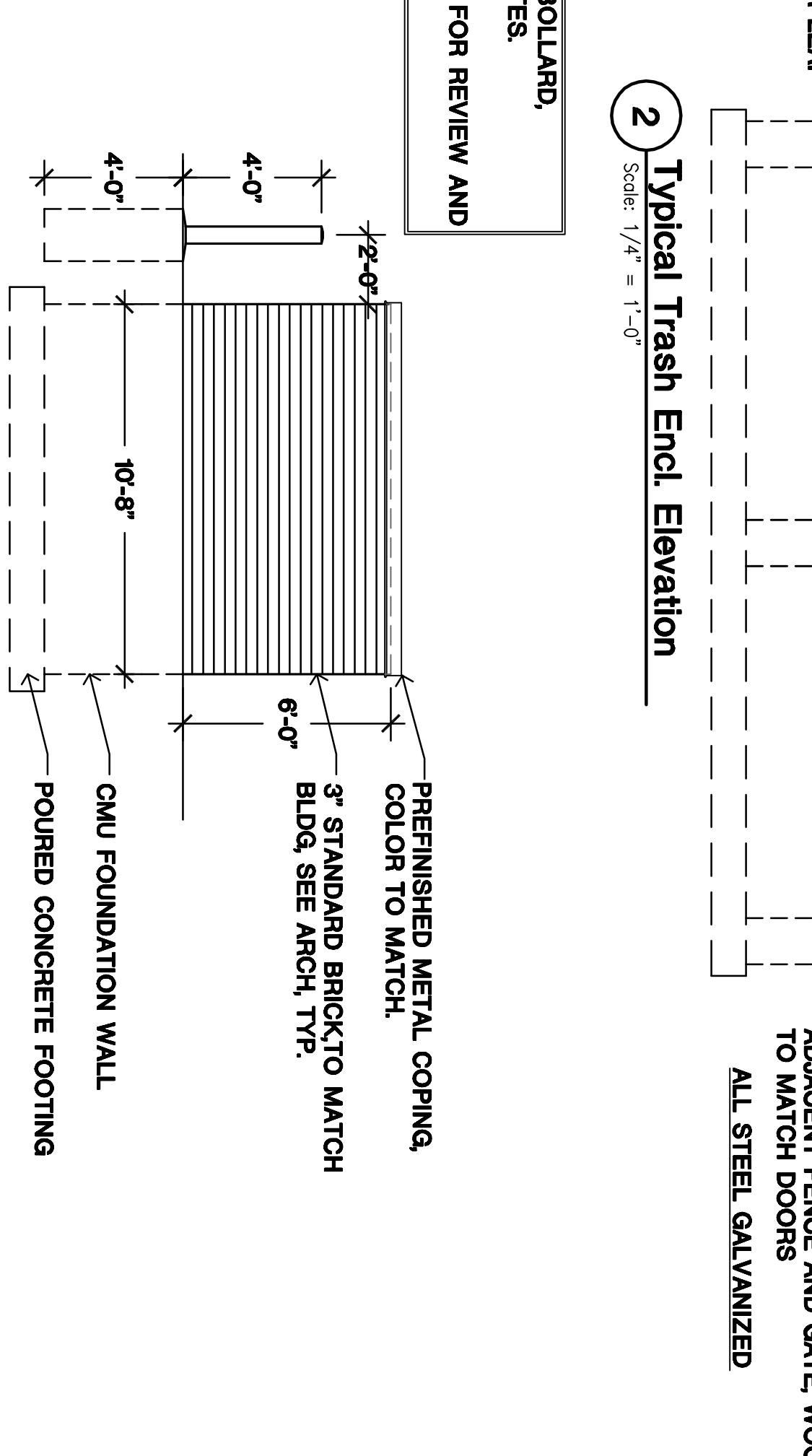
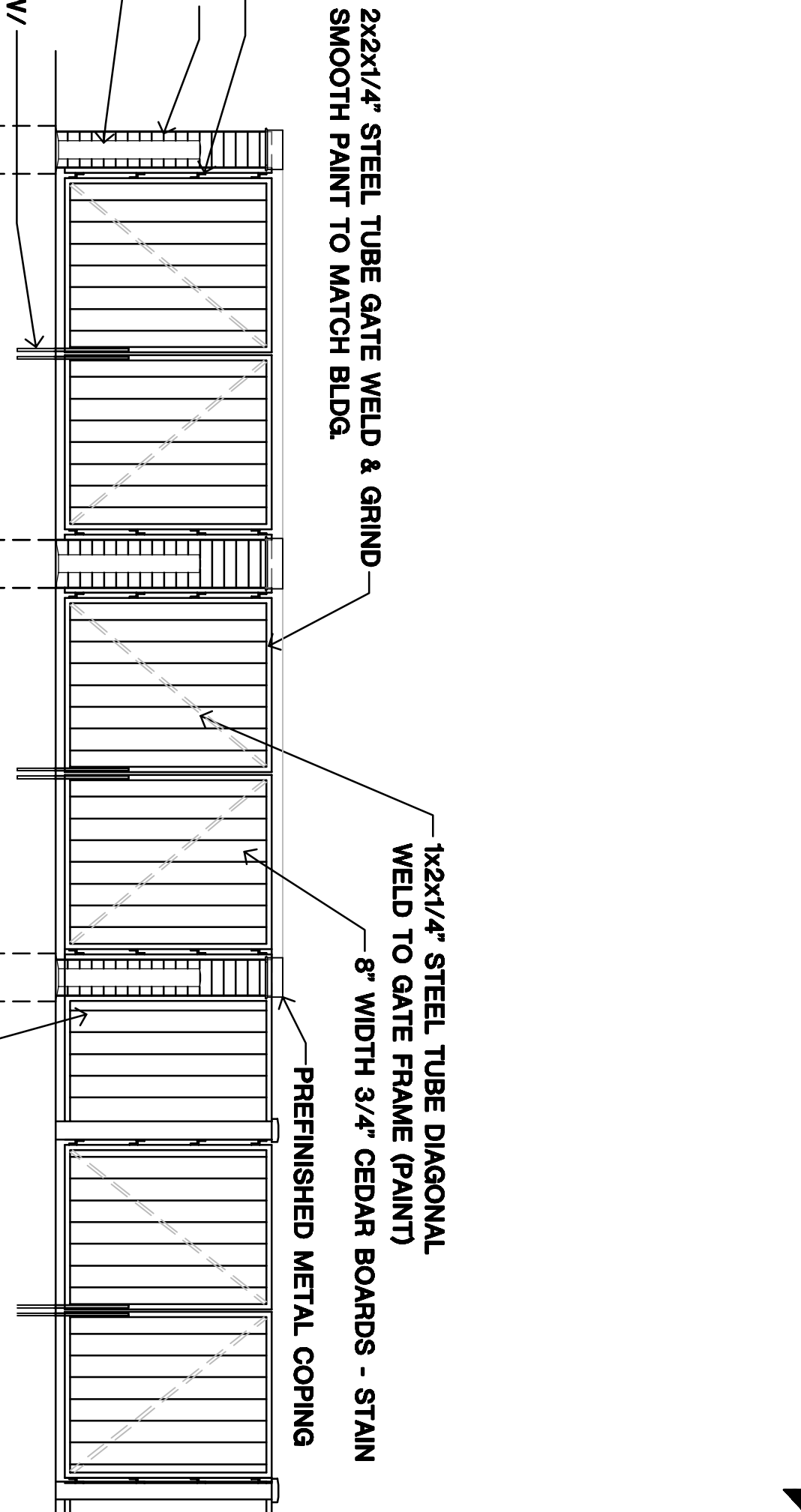


# Plant Schedule

SET	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>DECIDUOUS CANOPY TREES</b>						
1	1	Acer Fraxinifera	Field Maple	12\"/>		
2	1	Acer Rubrum	Red Maple	12\"/>		
3	1	Acer Spicatum	Sweetgum	12\"/>		
4	1	Aster Intermidialis	Intermidiate Aster	12\"/>		
5	1	Camptotheca Divaricata	Chinese Chestnut	12\"/>		
6	1	Castanea Sativa	Sweet Chestnut	12\"/>		
7	1	Quercus Bicolor	White Oak	12\"/>		
8	1	Quercus macrocarpa	Scarlet Oak	12\"/>		
9	1	Quercus prinus	Prickly Pear Oak	12\"/>		
10	1	Q. prinus	Prickly Pear Oak	12\"/>		
<b>PERENNIALS</b>						
11	1	Asplenium Platyneuron	Flat Rock Fern	12\"/>		
12	1	Asplenium Thelypteris	Female Fern	12\"/>		
13	1	Asplenium Trichomanes	Woods Fern	12\"/>		
14	1	Asplenium adnigrum	Black Rock Fern	12\"/>		
15	1	Asplenium platyneuron	Flat Rock Fern	12\"/>		
<b>GROUNDCOVER</b>						
16	1	Chlorophytum comosum	Spider Plant	12\"/>		
17	1	Cyperus tenuifolius	Slender Hairgrass	12\"/>		
18	1	Deschampsia flexuosa	Bottle Hairgrass	12\"/>		
19	1	Elymus tenuifolius	Slender Hairgrass	12\"/>		
20	1	Lythrum hyssagifolium	Red Tails	12\"/>		
21	1	Sparganium angustifolium	Narrow Leaf Sparganium	12\"/>		

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**Madison Metropolitan School District**

Linden Park Elementary School

7701 Harvard Avenue  
Milwaukee, WI 53213

305 W. Highland Avenue  
Suite 400  
Milwaukee, WI 53233

Tel: 414.783.8000  
Fax: 414.783.8200

Tel: 414.783.8999  
Fax: 414.783.8728

Location:  
801 Redden Drive  
Vernon, WI 53593

Scale:  
AS SHOWN

Sheet:  
Landscape Details, Schedules & Notes

Project No.: 060092.00

Date: January 3, 2007

No.	Date	Description
1/2/06	1/2/06	Initial Revision
1/2/07	1/2/07	Initial Revision
1/2/07	1/2/07	Initial Revision

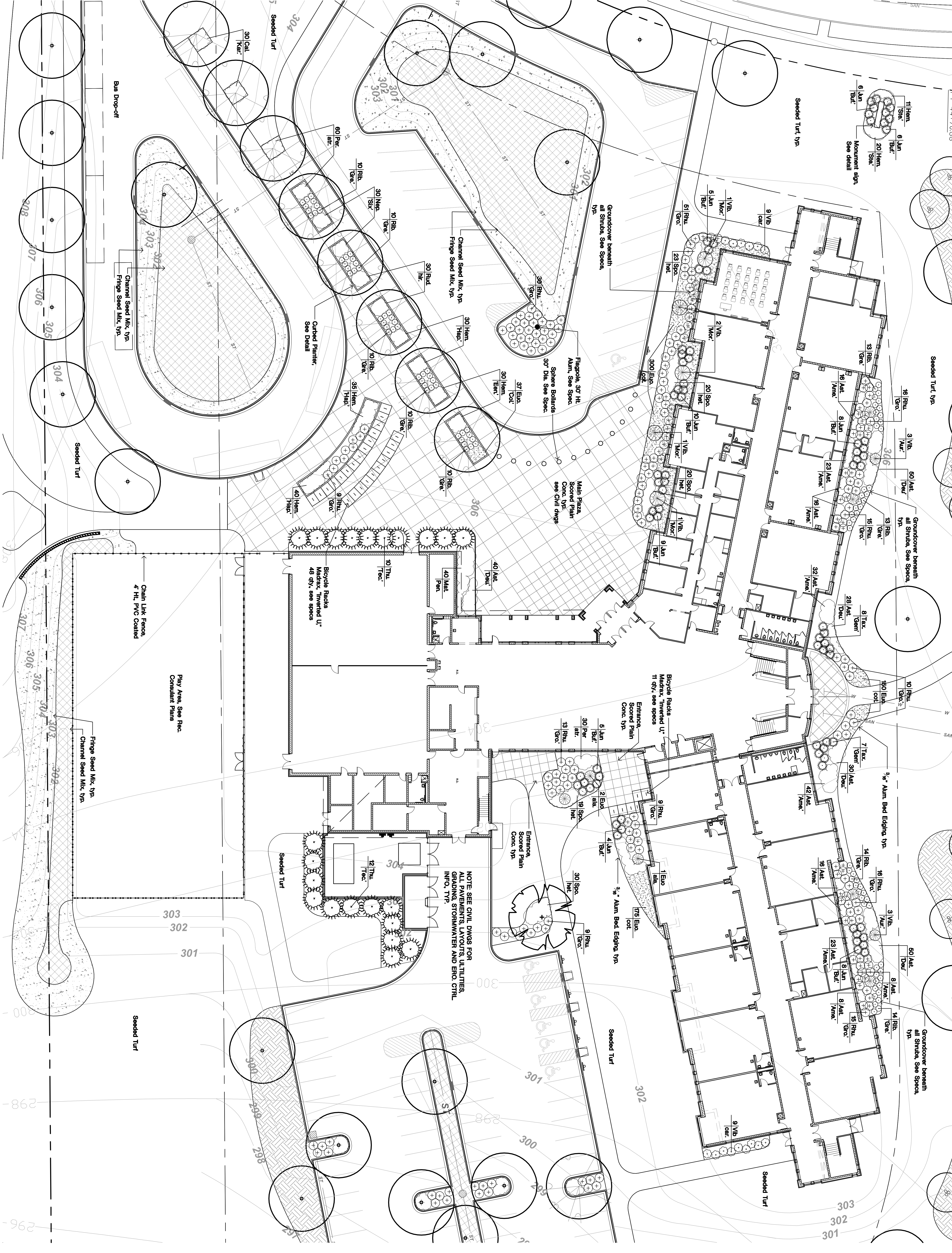
Author: [Name]

Reviewer: [Name]

Checker: [Name]

Plotted: [Date]

**L2.0**



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7707 Harvard Avenue  
Milwaukee, WI 53213  
Tel: 414.278.8200  
Fax: 414.278.8202

205 W. Highland Avenue  
Suite 400  
Milwaukee, WI 53223  
Tel: 414.278.1889  
Fax: 414.282.8278

Project: **adison** Metropolitan School District  
Linden Park Elementary School

Location:  
801 Redean Drive  
Verona, WI 53593

Date:  
January 3, 2007

Scale:  
1/16" = 1'-0"

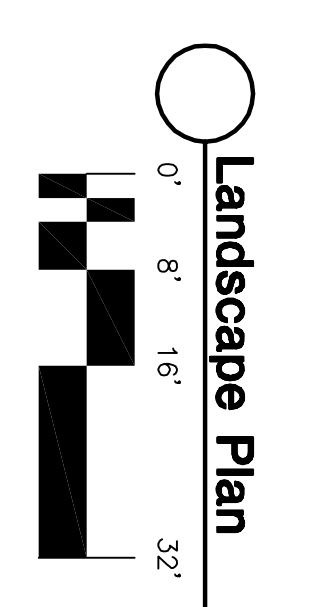
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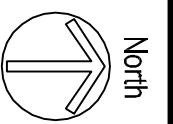
No.	Date	Description
1/1/06	Initial	100% Preliminary Schematic
1/2/07	Initial	100% Final Approval Schematic
1/3/07	Initial	Final Construction Schematic

Revisions:

Project No.: 060092.00

Date: January 3, 2007



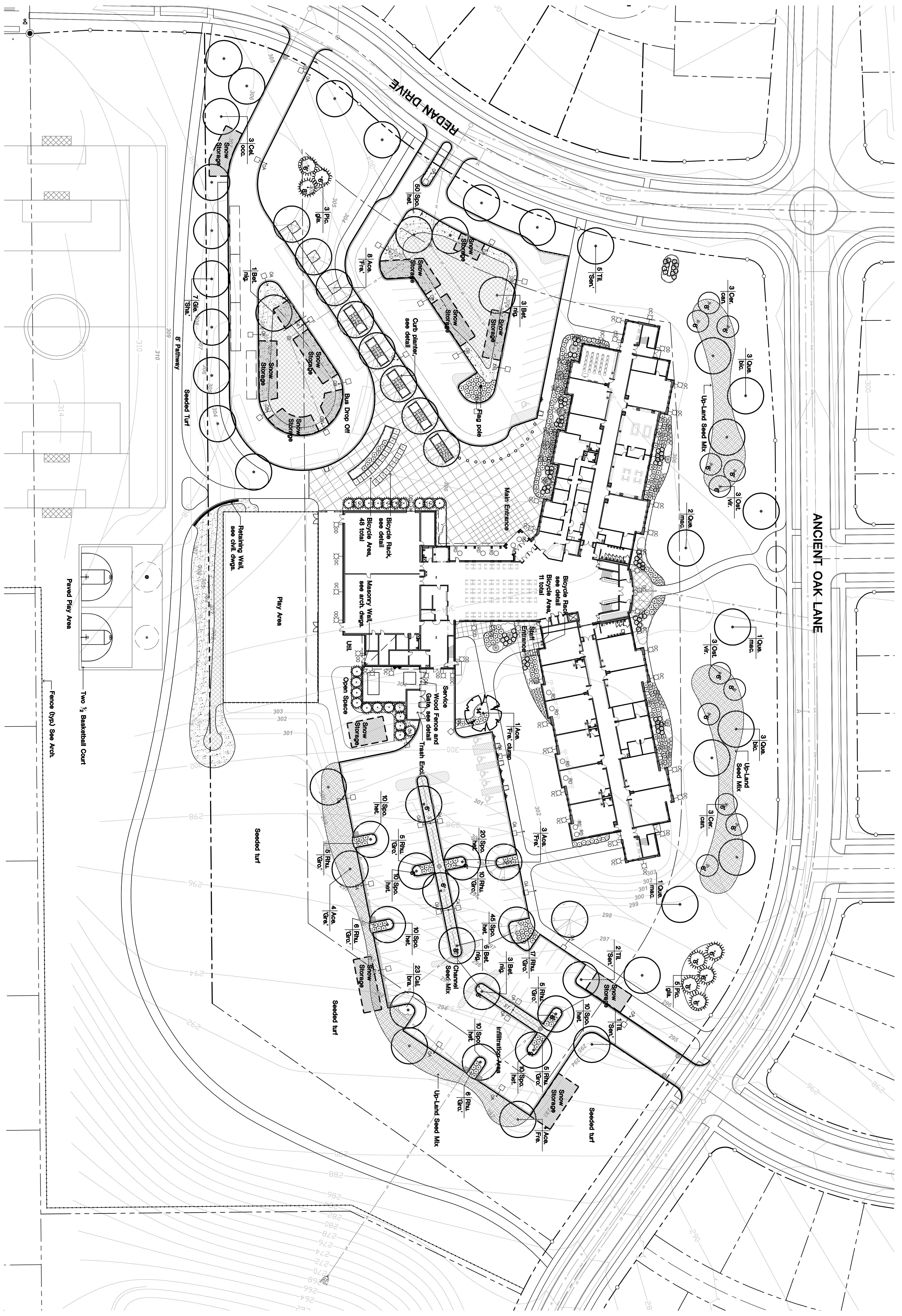
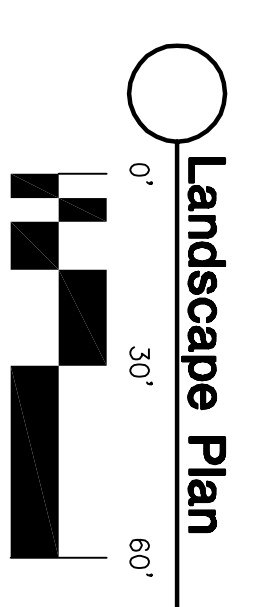


Scale: 1" = 30'-0"

Revisions:

No.	Date	Description
1/1/2006	Initial	100% International Standard
1/2/07	Initial	100% Final Approval Standard
1/3/07	Initial	100% Final Approval Standard

Date: January 3, 2007  
Project No.: 060092.00  
Sheet No.:



**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM #** \_\_\_\_\_  
**Project #** \_\_\_\_\_

DATE SUBMITTED: <u>1/3/07</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>1/10/07</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 801 REDAN DRIVE VERONA, WI 53593  
ALDERMANIC DISTRICT: 1

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
Madison Metro School District DOUG BARNES, AIA  
545 W. Dayton St. Zimmerman Architectural Studios  
Madison, WI 53703

CONTACT PERSON: DOUG BARNES  
Address: 7707 HARWOOD AVE.  
MILWAUKEE, WI 53213  
Phone: 414.918.1461  
Fax: 414.476.8582  
E-mail address: doug.barnes@zastudios.com

**TYPE OF PROJECT:**  
(See Section A for:)

- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required) LINDEN PARK ELEMENTARY SCHOOL
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

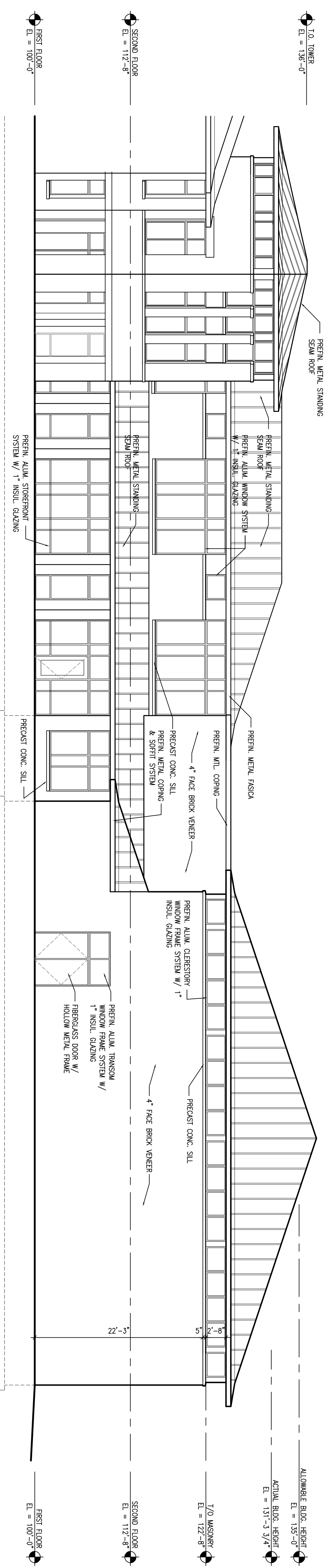
- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

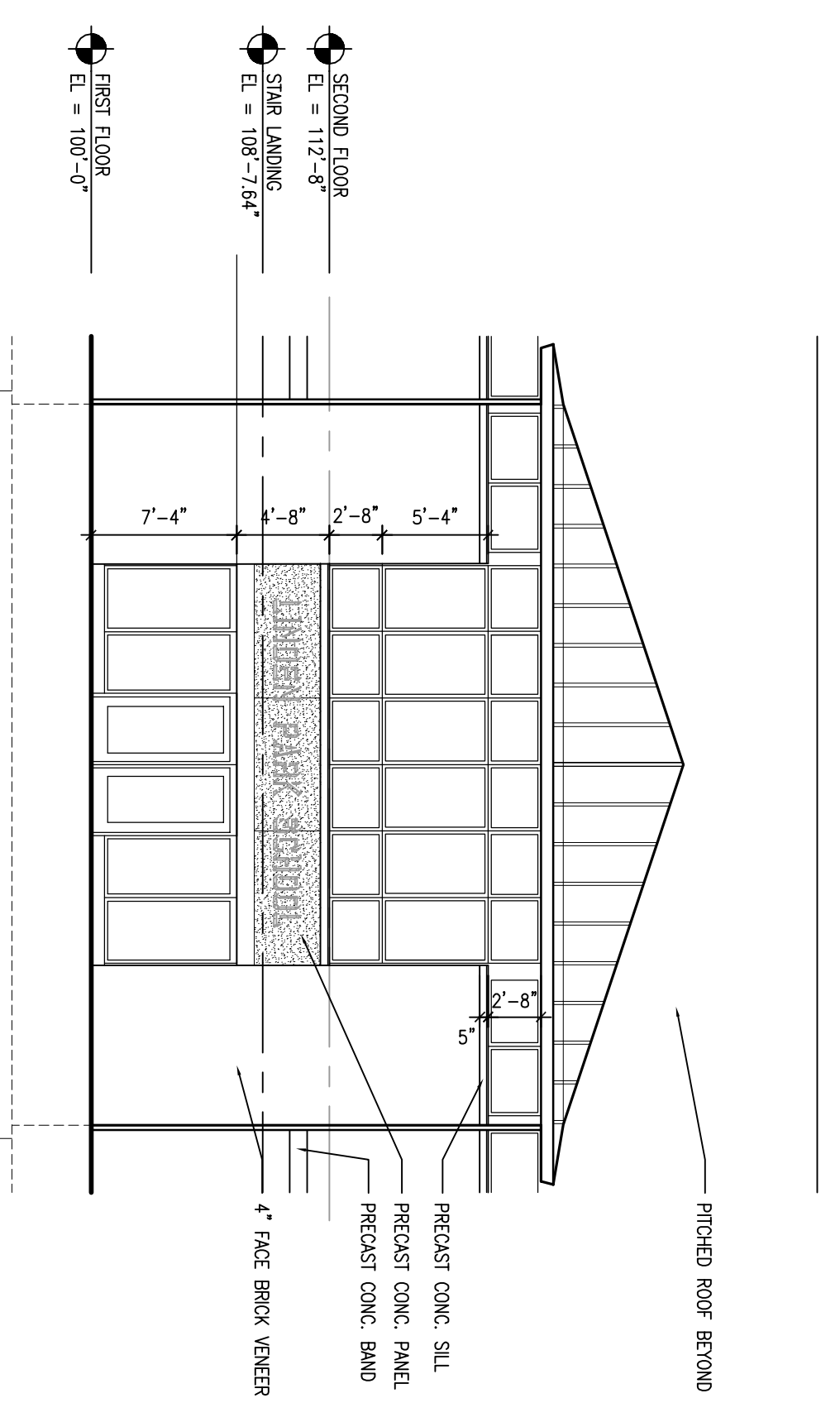
- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

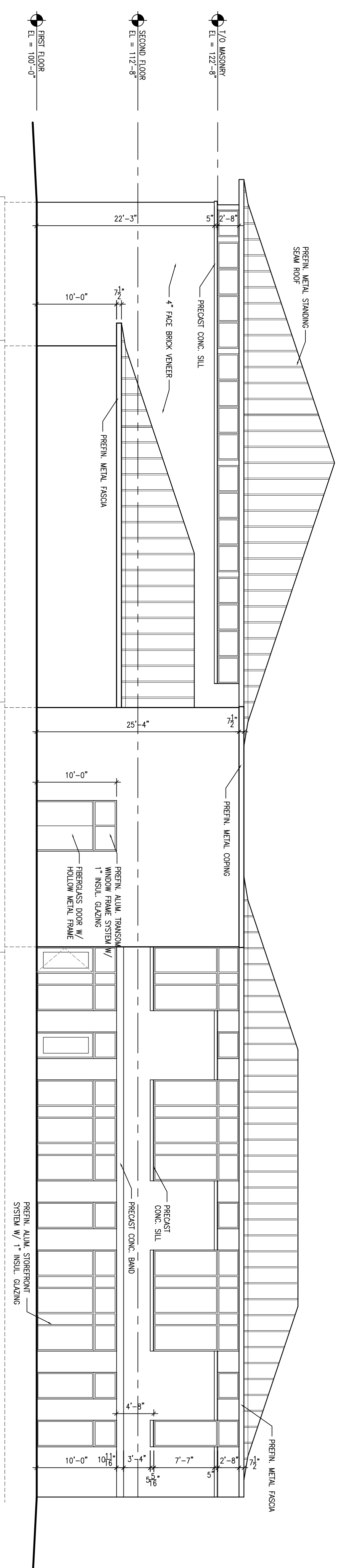
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



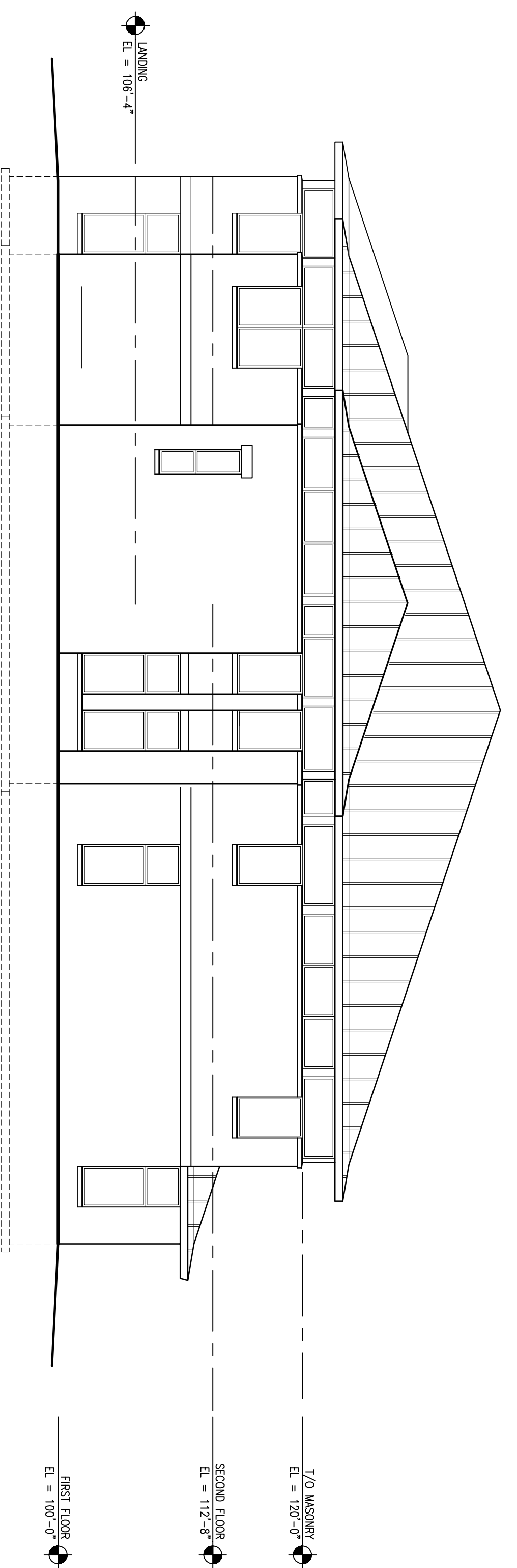
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1/8" = 1'-0"



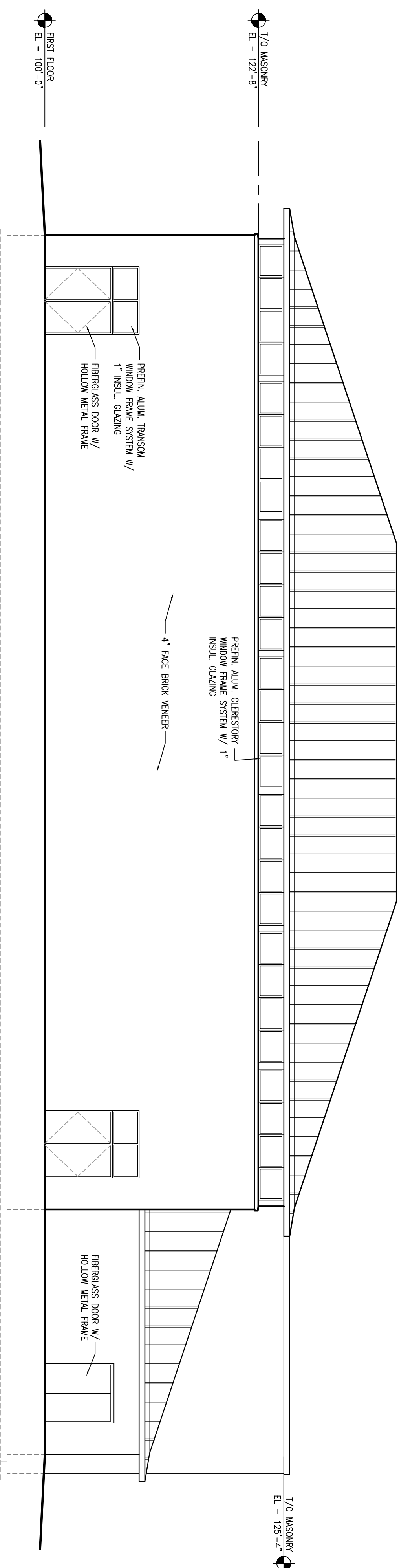
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1/8" = 1'-0"



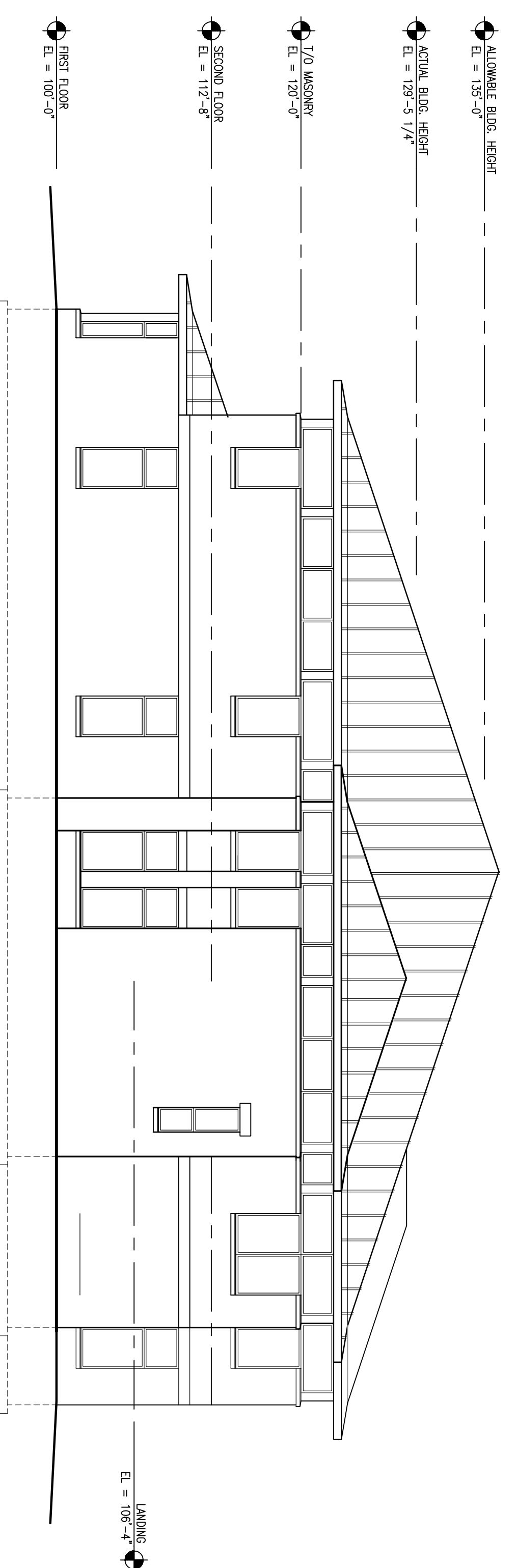
**2** Area 'A' & 'C' - East Elevation  
1/8" = 1'-0"



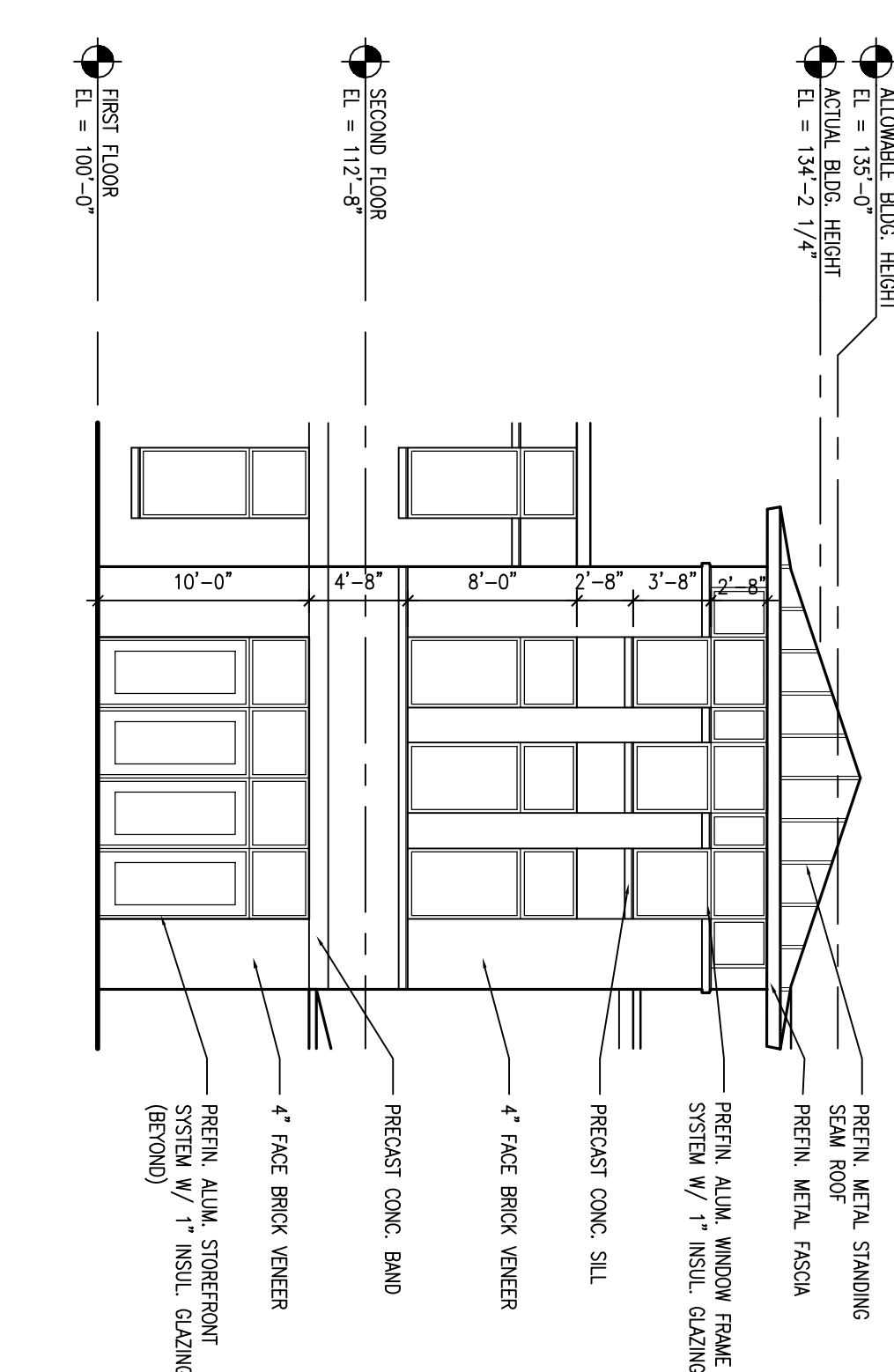
**6** Area 'A' - West Elevation  
1/8" = 1'-0"



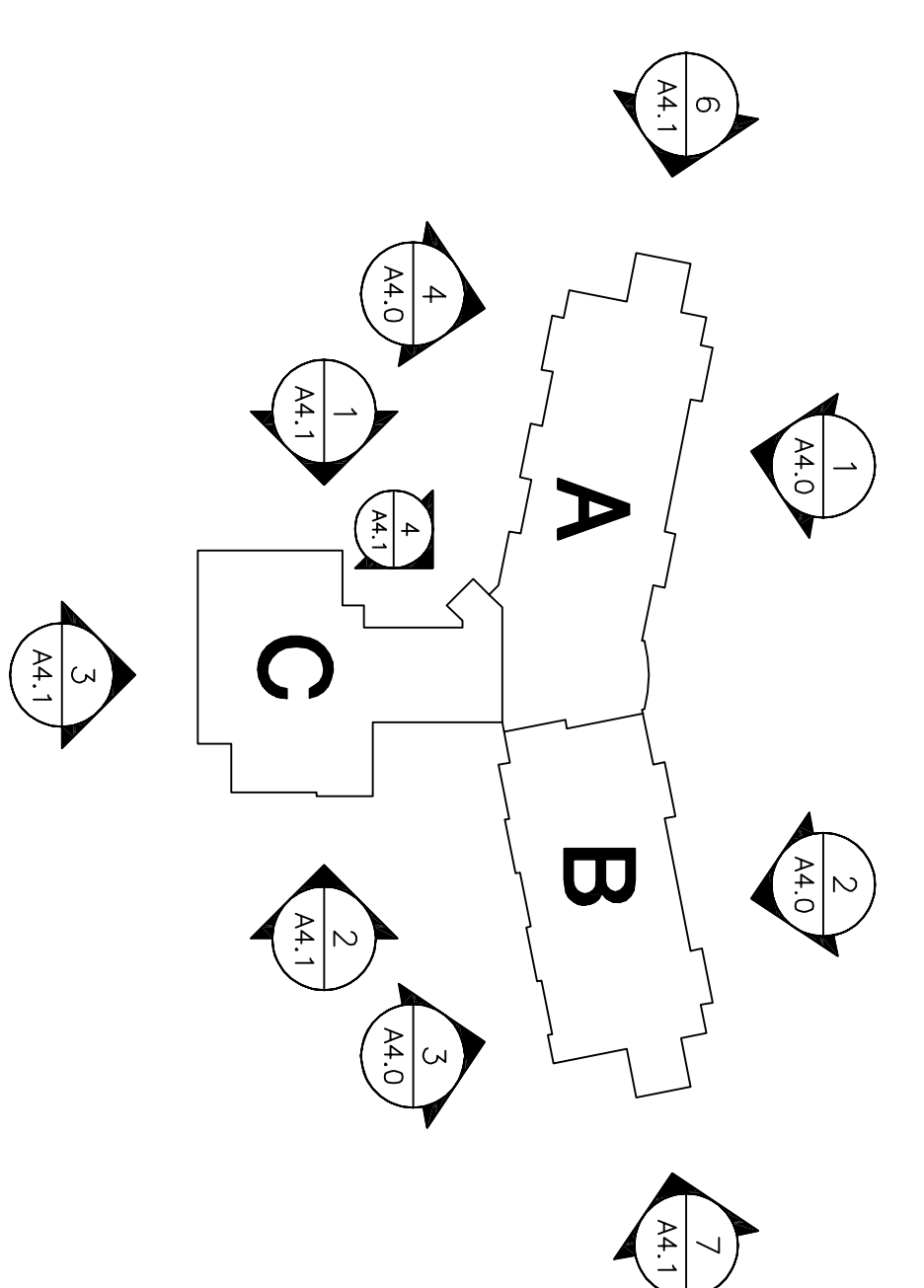
**3** Area 'C' - South Elevation  
1/8" = 1'-0"



**7** Area 'B' - East Elevation  
1/8" = 1'-0"



**4** Area 'C' - Entrance Tower Elevation  
1/8" = 1'-0"



**zimmerman**  
ARCHITECTURAL STUDIOS, INC.

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Milwaukee, WI 53213  
Telephone: (414) 426-8800  
Facsimile: (414) 426-8822  
7707 Howard Avenue  
Milwaukee, WI 53213  
Telephone: (414) 251-8800  
Facsimile: (414) 251-8899

**Madison Metropolitan District**  
Linden Park Elementary School

Project:  
Location:  
801 Redden Drive  
Verona, WI 53593

Scale:  
1/8" = 1'-0"

Revisions:  
No. Date Description:  
1/12/06 Update - IBC Mechanical Schedule  
1/26/07 Update - IBC Field Notes Schedule  
1/26/07 Update - New Committee Schedule

Date:  
January 3, 2007

Project No.:  
060092.00

Sheet No.:

North

Location:  
801 Redden Drive  
Verona, WI 53593

Key Plan:

Scale:  
1/8" = 1'-0"

Revisions:  
No. Date Description:  
1/12/06 Update - IBC Mechanical Schedule  
1/26/07 Update - IBC Field Notes Schedule  
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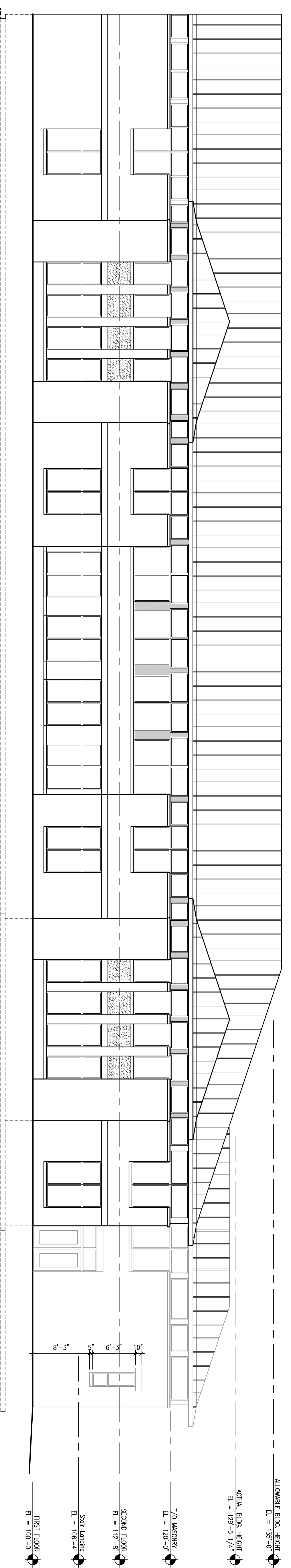
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January 3, 2007

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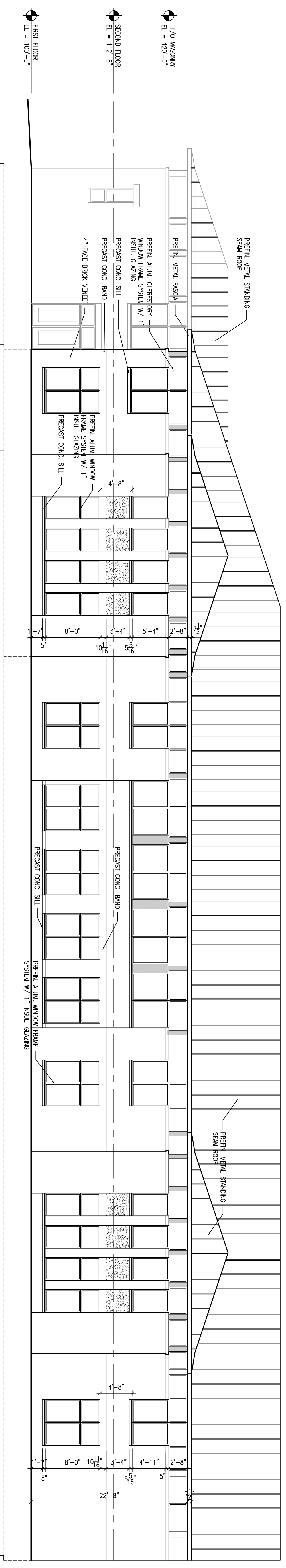
Sheet No.:

**A4.1**

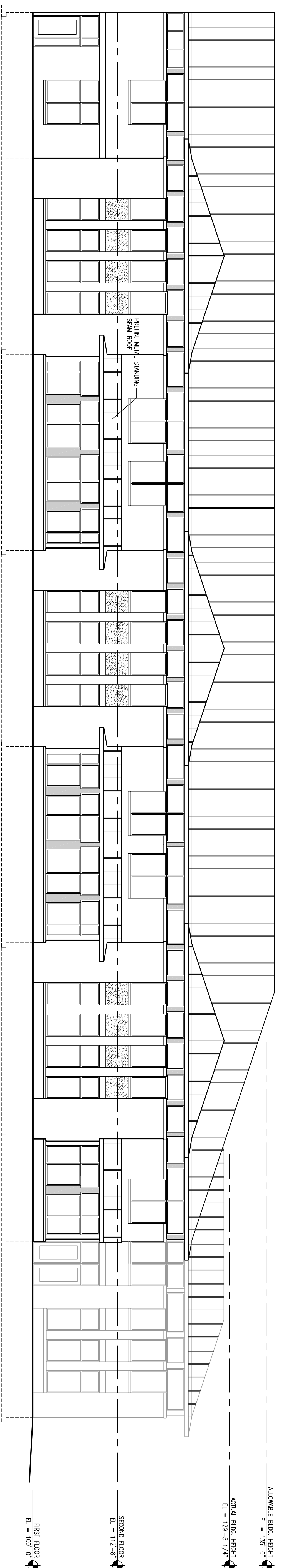




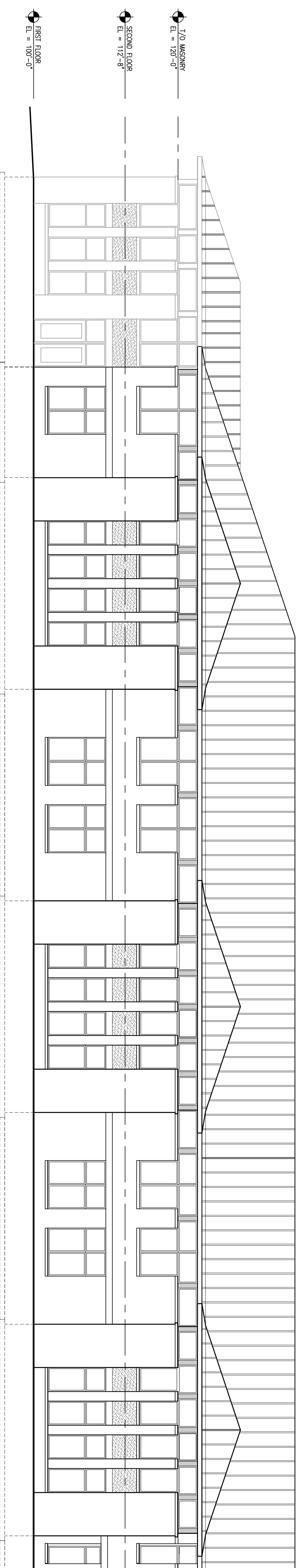
1 Area 'A' - North Elevation  
1/8" = 1'-0"



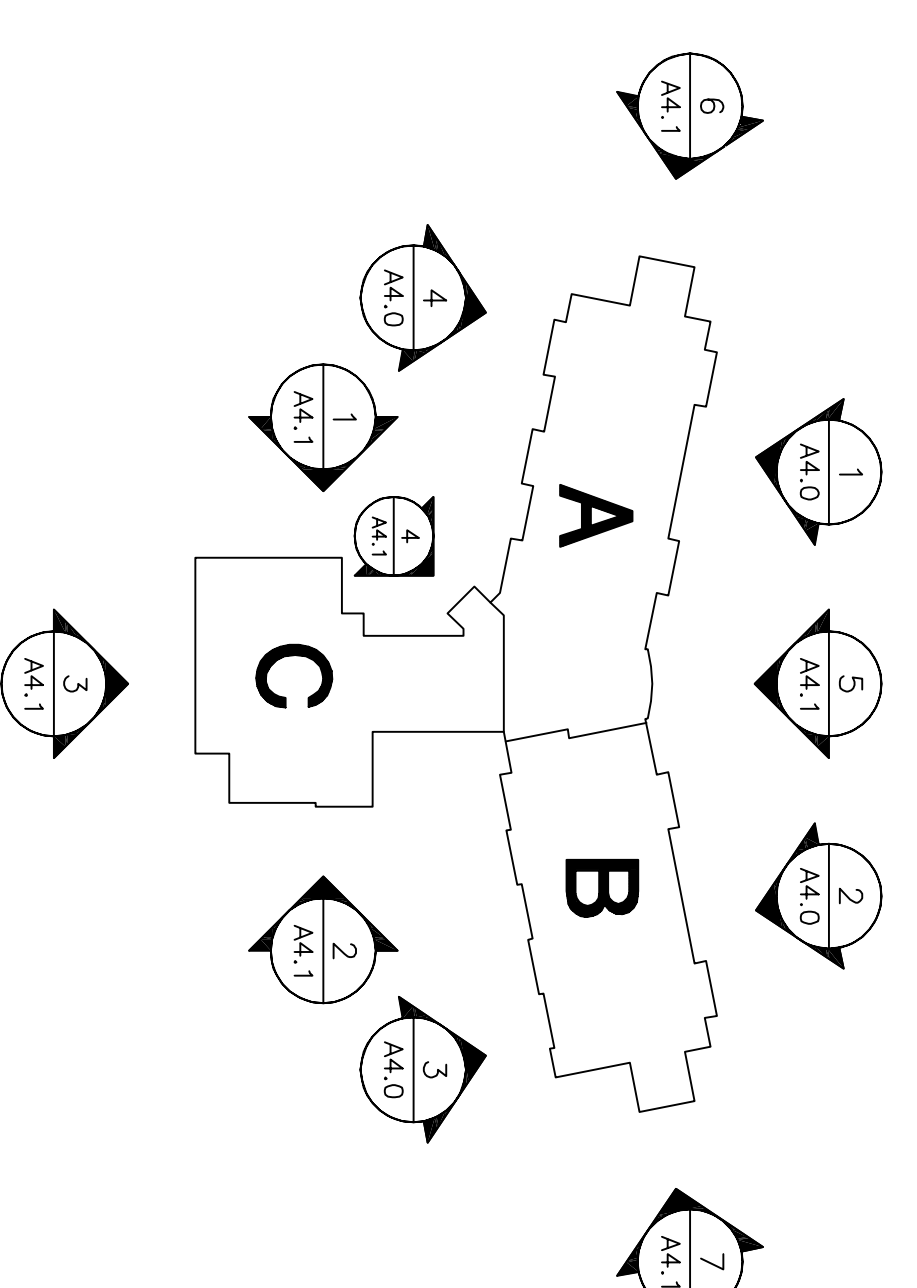
2 Area 'B' - North Elevation  
1/8" = 1'-0"



3 Area 'B' - South Elevation  
1/8" = 1'-0"



4 Area 'A' - South Elevation  
1/8" = 1'-0"



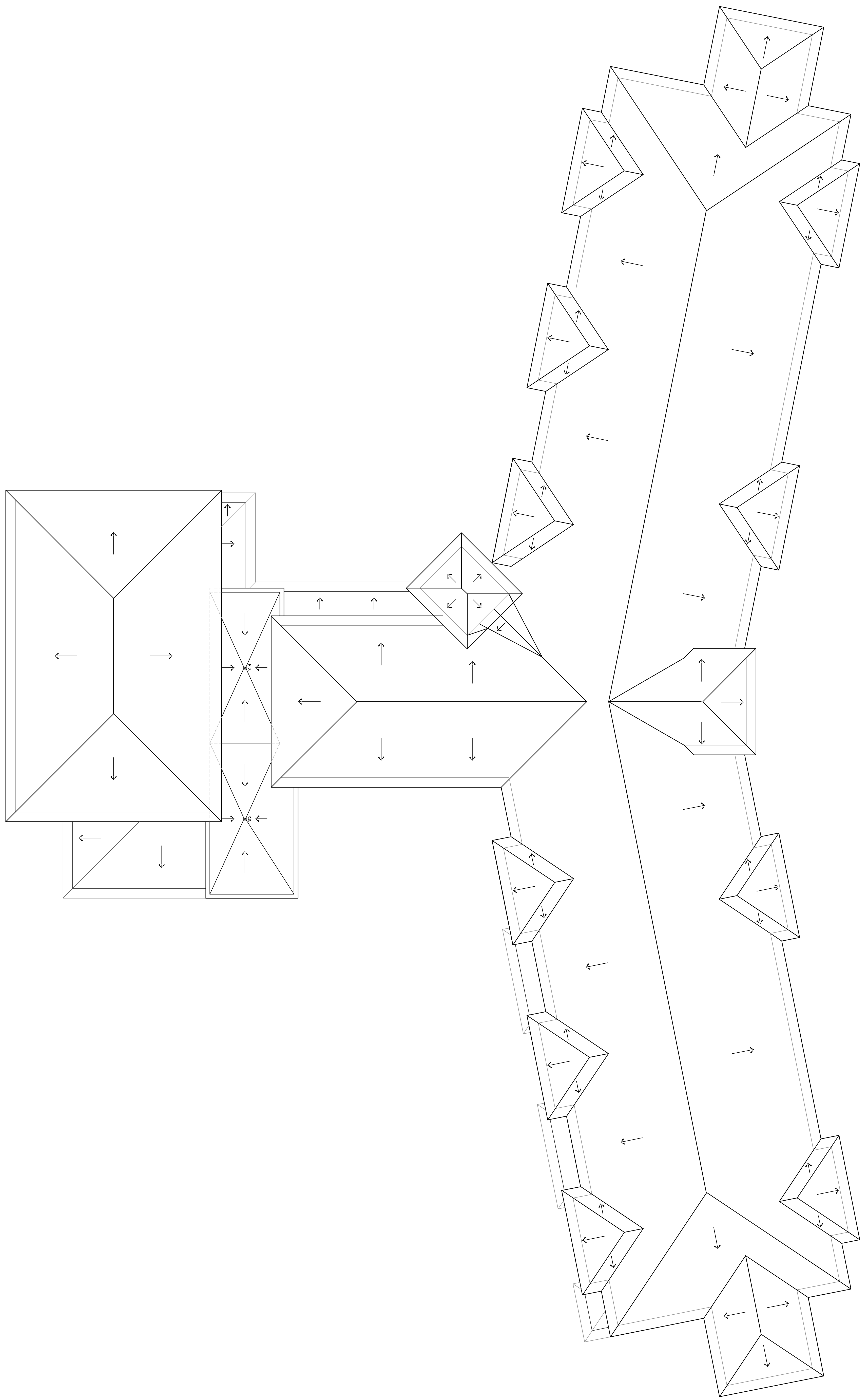
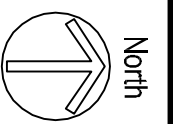
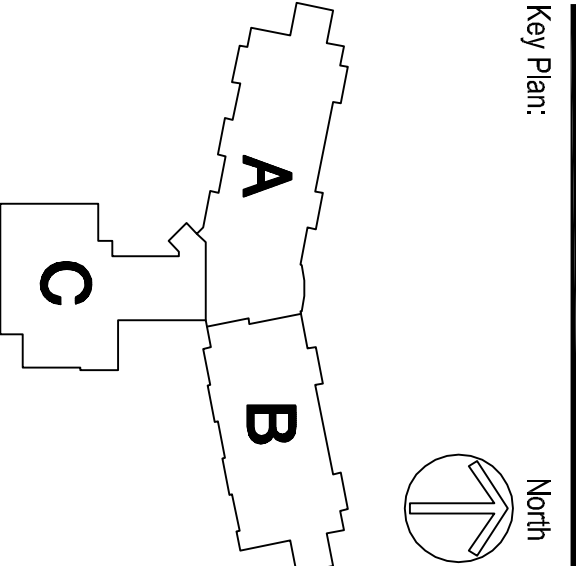
**Project:**

**Madison Metropolitan School District**  
Building Services

Linden Park Elementary School

**Location:**  
 801 Redden Drive Verona, WI 53593

**Key Plan:**



**1 Overall Roof Plan**  
 1/16" = 1'-0"

**Sheet:**  
 Overall Roof Plan

**Scale:**  
 1/16" = 1'-0"

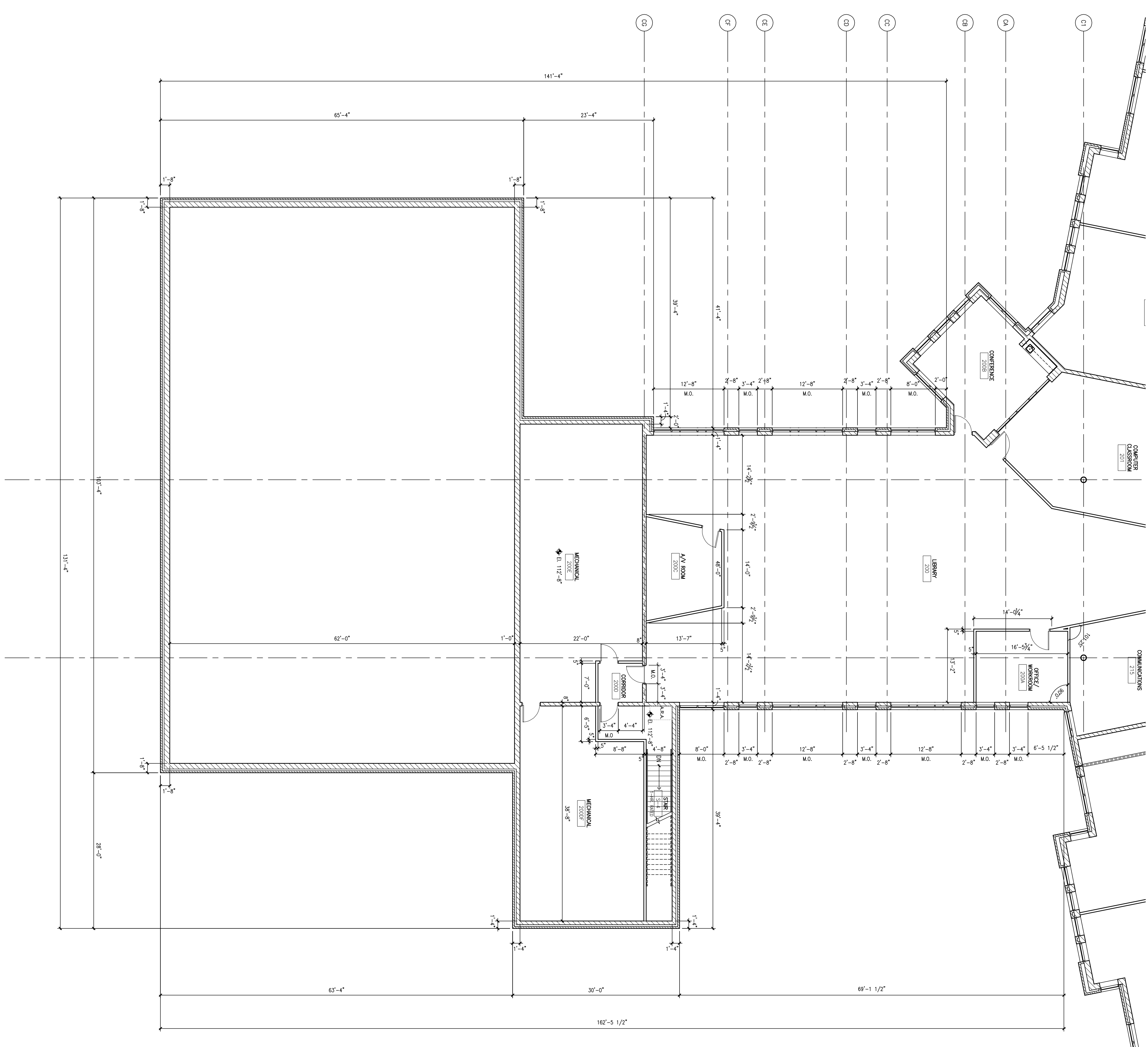
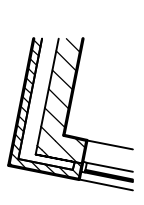
**Revisions:**

No.	Date	Description
1/1/06	Madison - DC	Revised Structural
1/2/07	Madison - DC	Final Approval Structural
1/3/07	Madison - PM	Construction Schedule

**Date:**  
 January 3, 2007

**Project No.:**  
 060092.00

**Sheet No.:**



**zimmerman**  
ARCHITECTURAL STUDIOS, INC.

7707 Harwood Avenue  
Milwaukee, WI 53213

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Telephone: (414) 782.8500  
Facsimile: (414) 782.8502

Telephone: (414) 782.8500  
Facsimile: (414) 782.8509

Consultant:

**edison**  
**metropolitan**  
**School**  
**District**

Building Services

Linden Park  
Elementary School

Location:  
801 Redden Drive  
Verona, WI 53593

Key Plan:

North

Sheet:  
Partial Second Floor Plan -  
Area C'

Scale:  
1/8" = 1'-0"

Revisions:

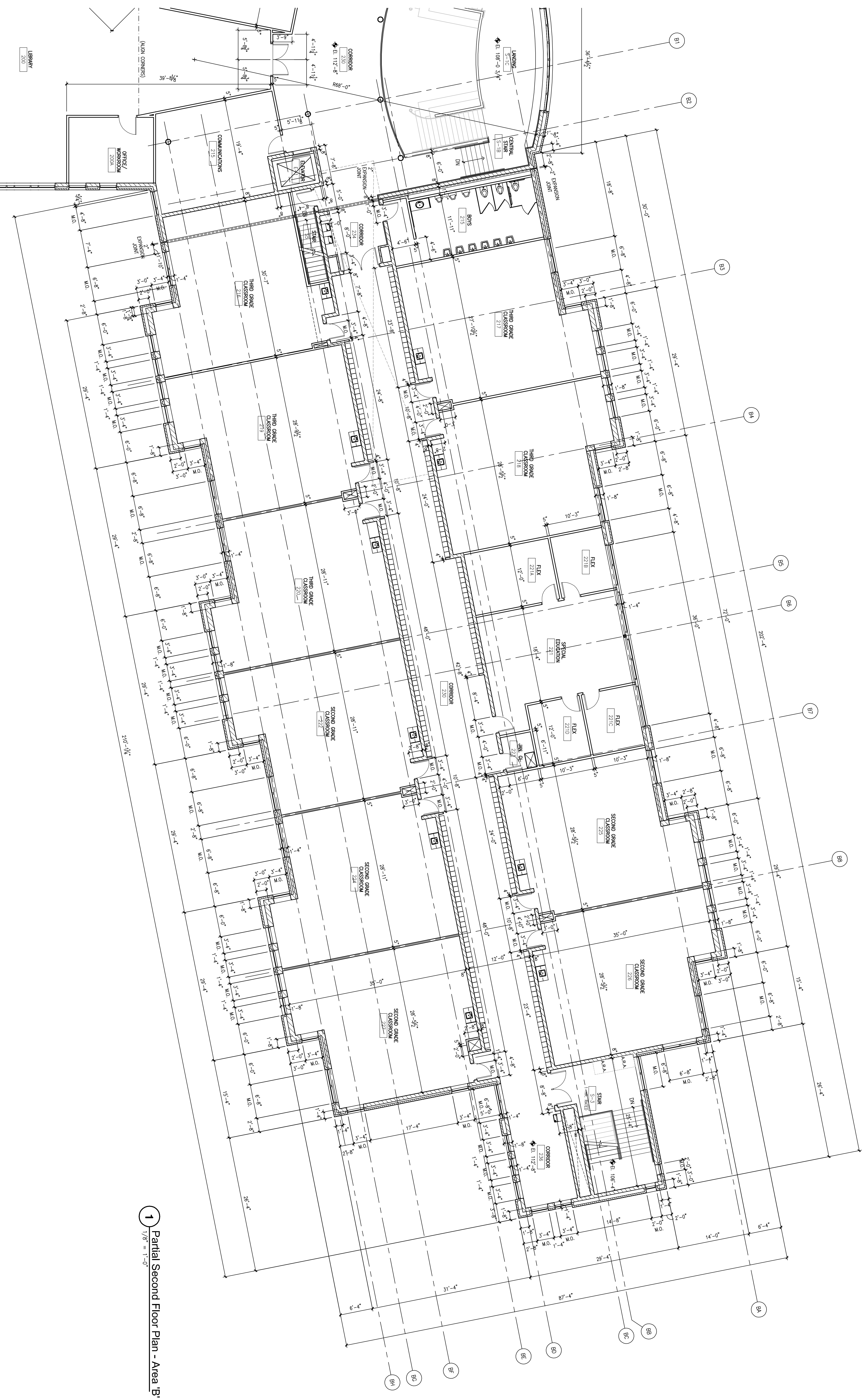
No.	Date	Description
1/2/06	Revised - 100% Preliminary Schematic	
1/2/07	Revised - 100% Final Approval Schematic	
1/2/07	Revised - Final Construction Schematic	

Date:  
January 3, 2007

Project No.:  
060092.00

Owner/Project No.:

Sheet No.:



**1** Partial Second Floor Plan - Area B.  
1/8" = 1'-0"

LIBRARY  
200

**zimmerman**  
ARCHITECTURAL STUDIOS, INC.

7707 Harvard Avenue  
Milwaukee, WI 53213

205 W. Highland Avenue  
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Milwaukee, WI 53203

Tel: 414.254.8800  
Fax: 414.254.8822

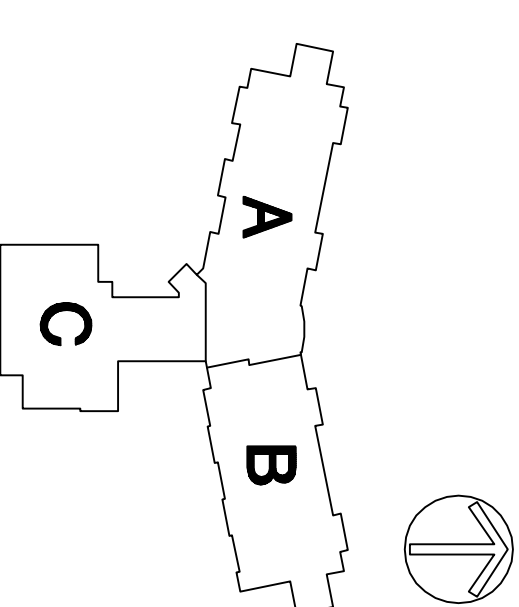
Tel: 414.254.8800  
Fax: 414.254.8822

**Madison Metropolitan District**  
Linden Park  
Elementary School

Project:  
adison Metropolitan District  
Linden Park  
Elementary School

Location:  
801 Reegan Drive  
Verona, WI 53593

Key Plan:  
North



Sheet:  
Partial Second Floor Plan -  
Area B'

Scale:  
1/8" = 1'-0"

Revisions:

No.	Date	Description
1/2/06	Initial - IBC Mechanical Summary	
1/2/07	Initial - IBC Field Approx Summary	
1/2/07	Initial - Pre-Construction Schedule	

Date:  
January 3, 2007

Project No.:  
060092.00

Owner/Project No.:

Sheet No.:  
**A2.1b**



1 Partial Second Floor Plan - Area 'A'  
 1/8" = 1'-0"

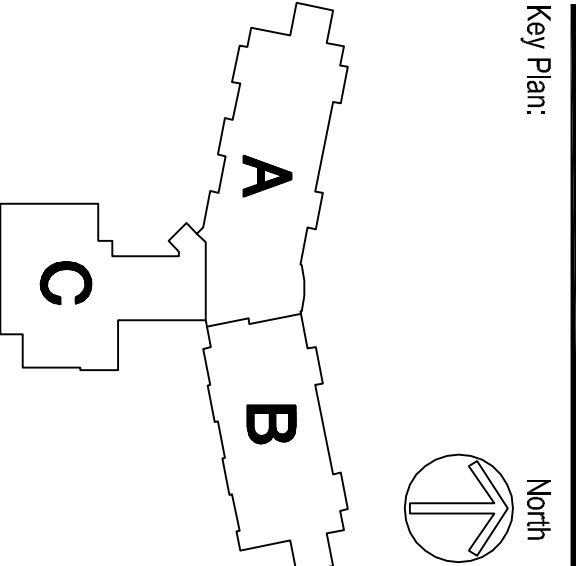
**zimmerman**  
 ARCHITECTURAL STUDIOS, INC.

7707 Harwood Avenue  
 Milwaukee, WI 53213  
 Telephone: (414) 278-8800  
 Facsimile: (414) 278-8822  
 Consultant

205 W. Highland Avenue  
 Suite 400  
 Milwaukee, WI 53203  
 Telephone: (414) 278-1889  
 Facsimile: (414) 278-8778

Project: **Madison Metropolitan School District**  
 Linden Park Elementary School

Location:  
 801 Redden Drive  
 Verona, WI 53583



Sheet:  
 Partial Second Floor Plan - Area 'A'

Scale: 1/8" = 1'-0"

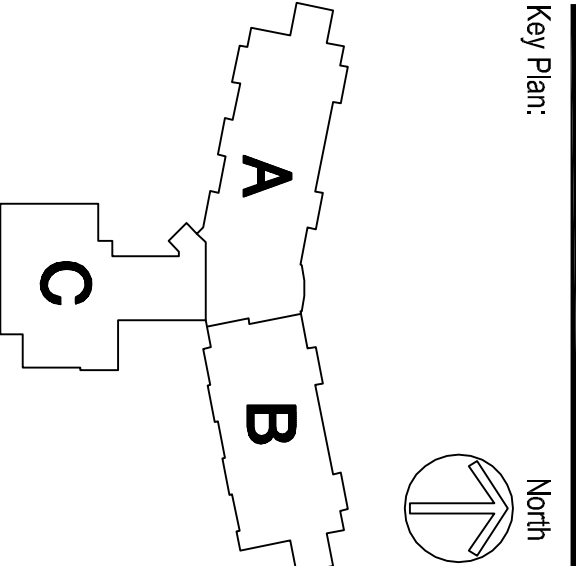
No.	Date	Description
11/2/06	Madison - 100 Milwaukee Summit	
1/2/07	Madison - 100 West Avenue Summit	
1/3/07	Madison - The Children's Center	

Date: January 3, 2007  
 Project No.: 060092.00  
 Owner/Project No.:  
 Sheet No.:  
**A2.1a**

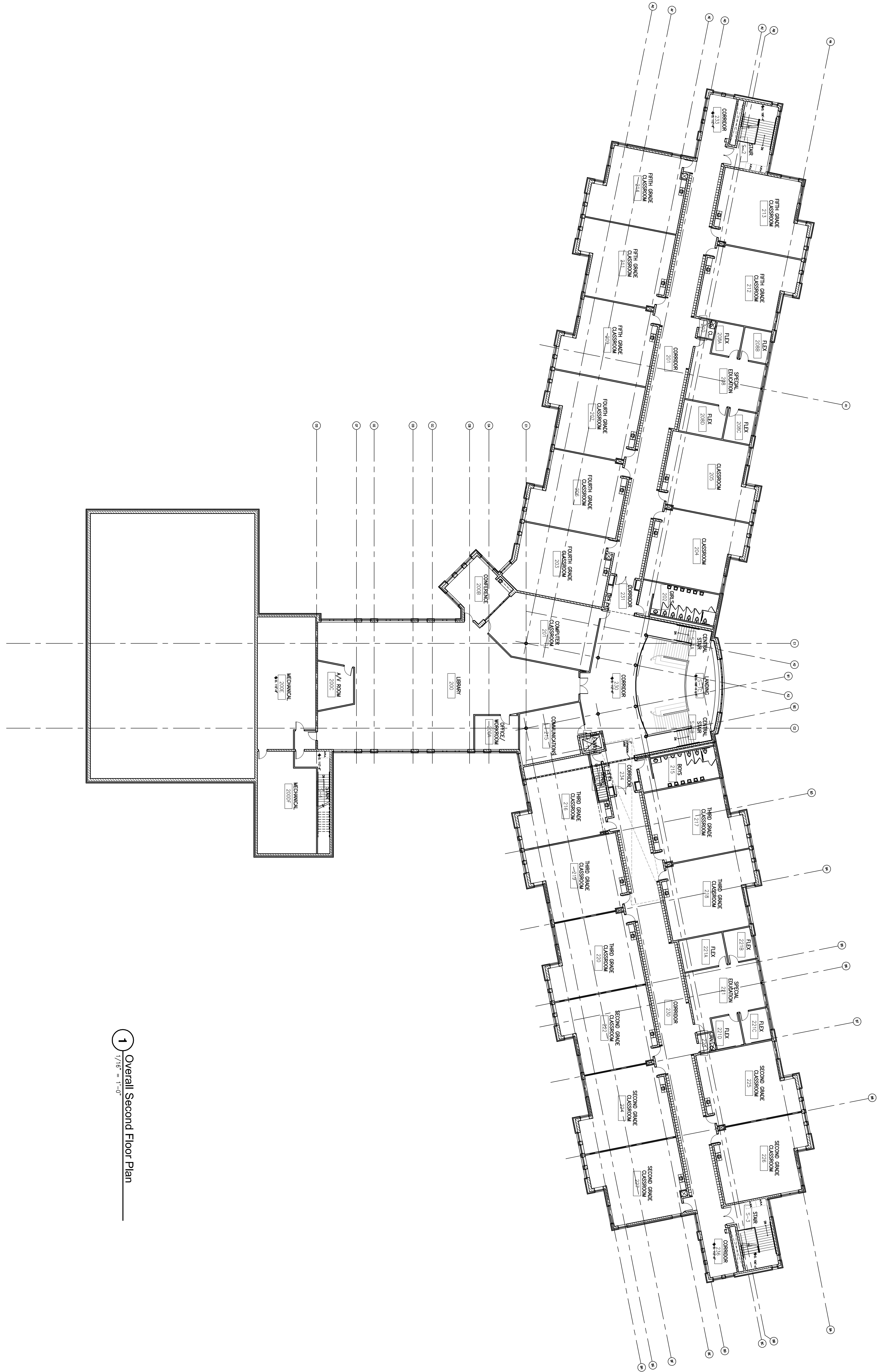
**Project:**

**Madison Metropolitan School District**  
Linden Park Elementary School

**Location:**  
801 Redden Drive  
Verona, WI 53593



**Sheet:**  
Overall Second Floor Plan



**1** Overall Second Floor Plan  
1/16" = 1'-0"

**Scale:**  
1/16" = 1'-0"

**Revisions:**

No.	Date	Description
1/1/06	Madison - IBC International Standard	
1/2/07	Madison - IBC 2003 International Building Code	
1/3/07	Madison - Wisconsin State Building Code	

**Date:**  
January 3, 2007

**Project No.:**  
060092.00

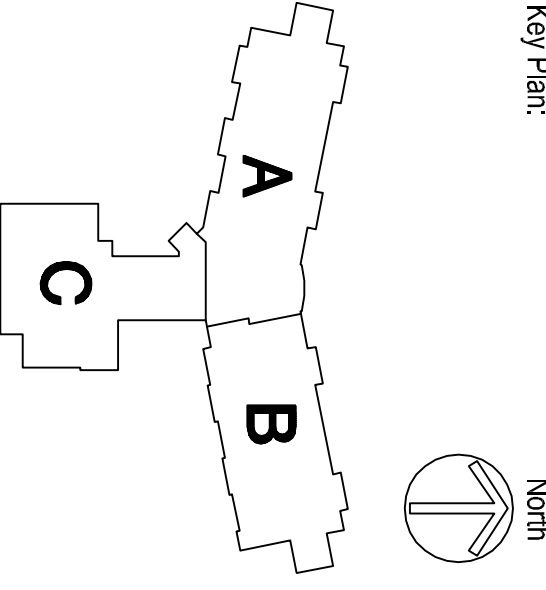
**Owner/Project No.:**

**Project:**

**Madison Metropolitan School District**  
Linden Park Elementary School

Location:  
801 Redan Drive  
Verona, WI 53593

Key Plan:  
North

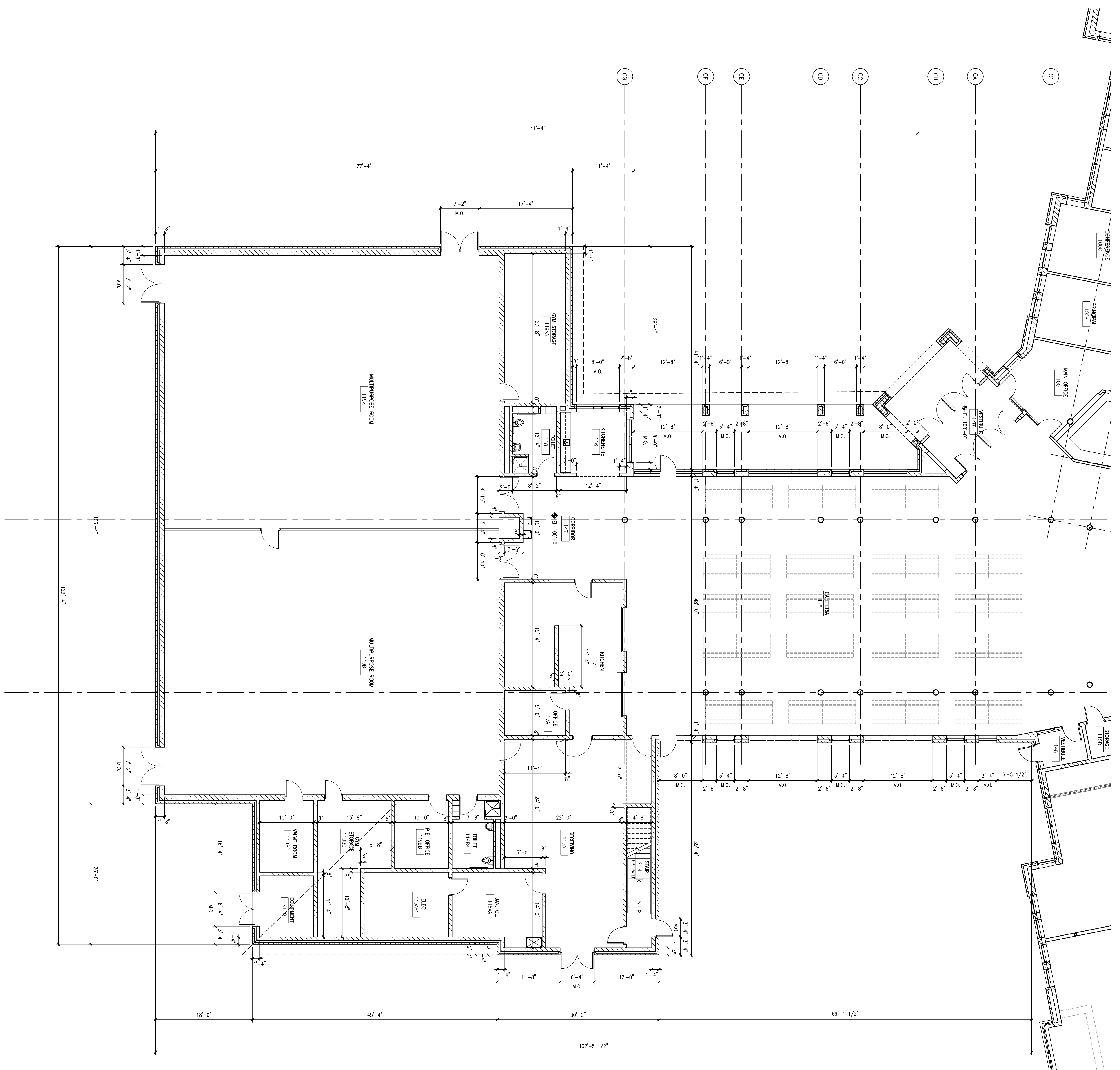


**Sheet:**  
Partial First Floor Plan - Area C

Scale:  
1/8" = 1'-0"

No.	Date	Description
11/2/06	Madison - 100 Milwaukee Street	Revisions
1/2/07	Madison - 100 Red Arrow Street	Revisions
1/3/07	Madison - The Children's Center	Revisions

Date: January 3, 2007  
Project No.: 060092.00  
Sheet No.:

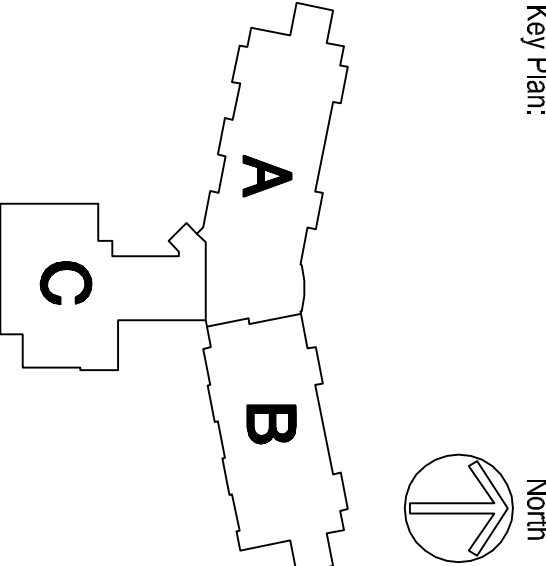


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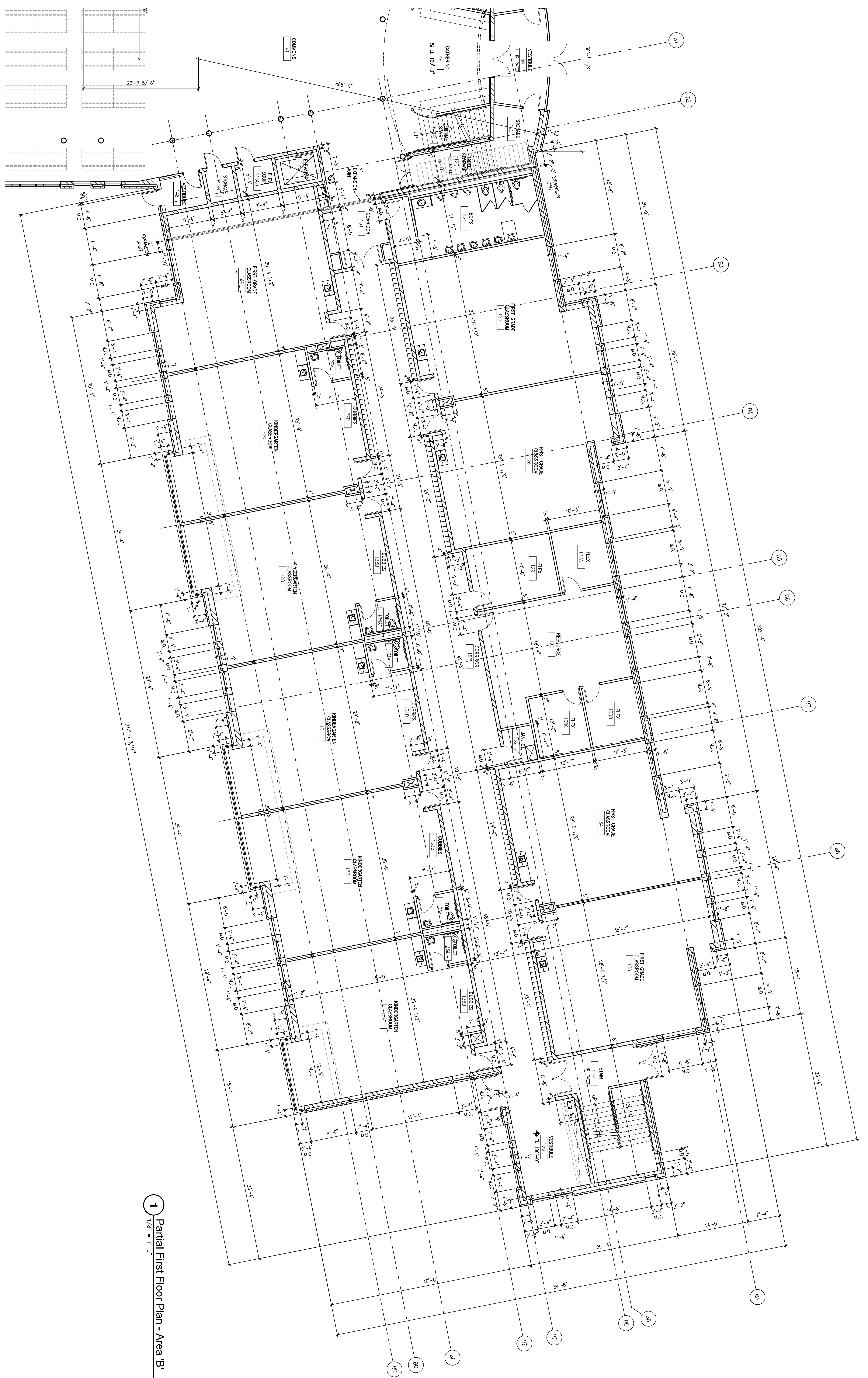
**Madison Metropolitan District**  
Linden Park  
Elementary School

Location:  
801 Redden Drive  
Verona, WI 53593

**Key Plan:**



**1** Partial First Floor Plan - Area B  
1/8" = 1'-0"



**Scale:**

1/8" = 1'-0"

**Revisions:**

No.	Date	Description
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1/2/07	Madison - 100 Red Arrow Summit	
1/3/07	Madison - The Children's School	

**Date:**

January 3, 2007

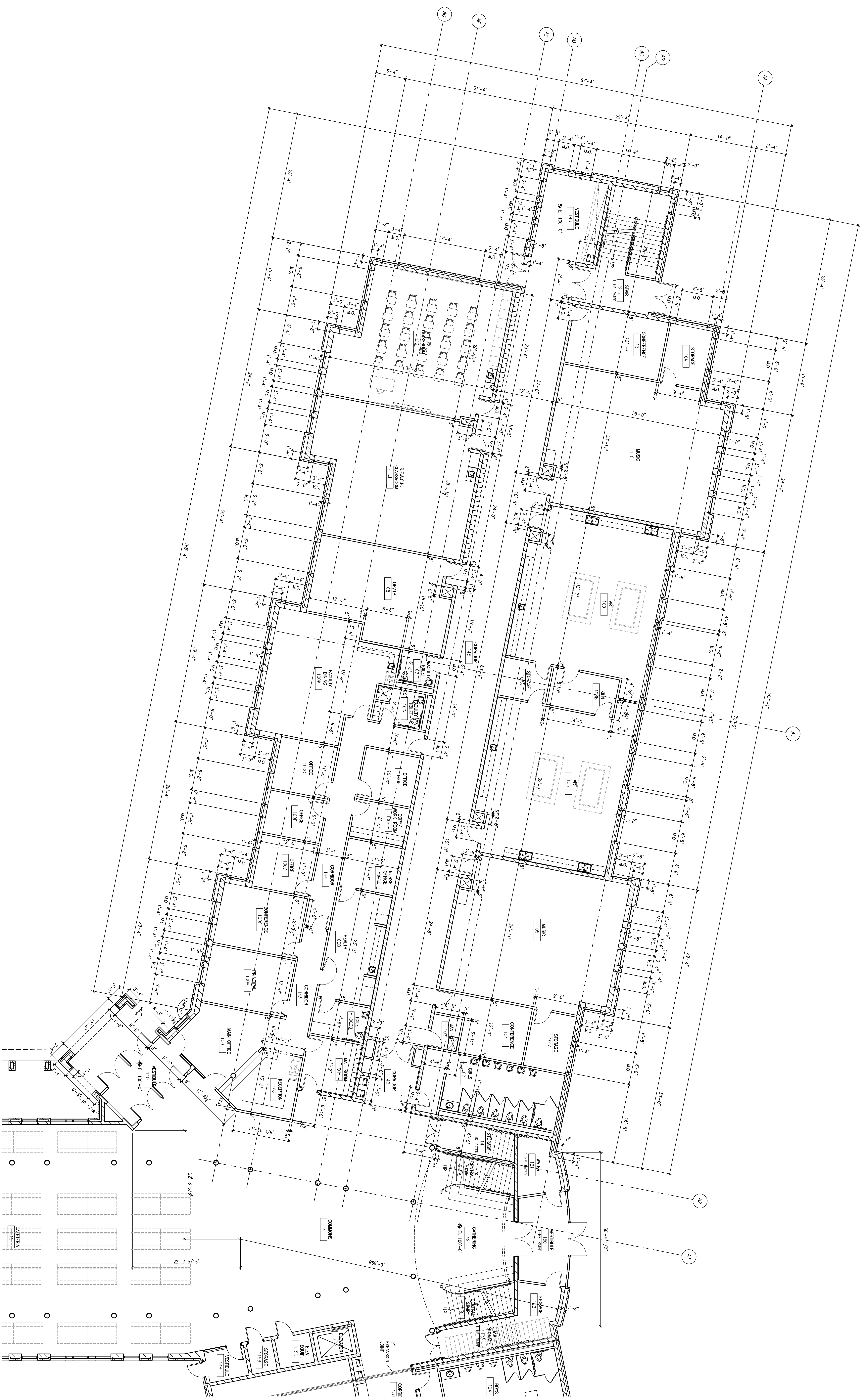
**Project No.:**

060092.00

**Sheet No.:**

**A2.0b**





1 Partial First Floor Plan - Area 'A'  
1/8" = 1'-0"

**zimmerman**  
ARCHITECTURAL STUDIOS, INC.

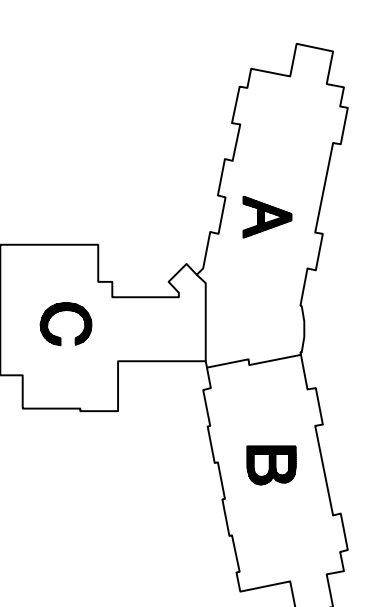
7707 Harwood Avenue  
Milwaukee, WI 53213  
Telephone: (414) 278-8300  
Facsimile: (414) 278-8322  
Consultant

205 W. Highland Avenue  
Suite 400  
Milwaukee, WI 53203  
Telephone: (414) 278-1899  
Facsimile: (414) 283-8728

Project:  
**Madison Metropolitan School District**  
Linden Park Elementary School

Location:  
801 Redgan Drive  
Verona, WI 53593

Key Plan:  
North



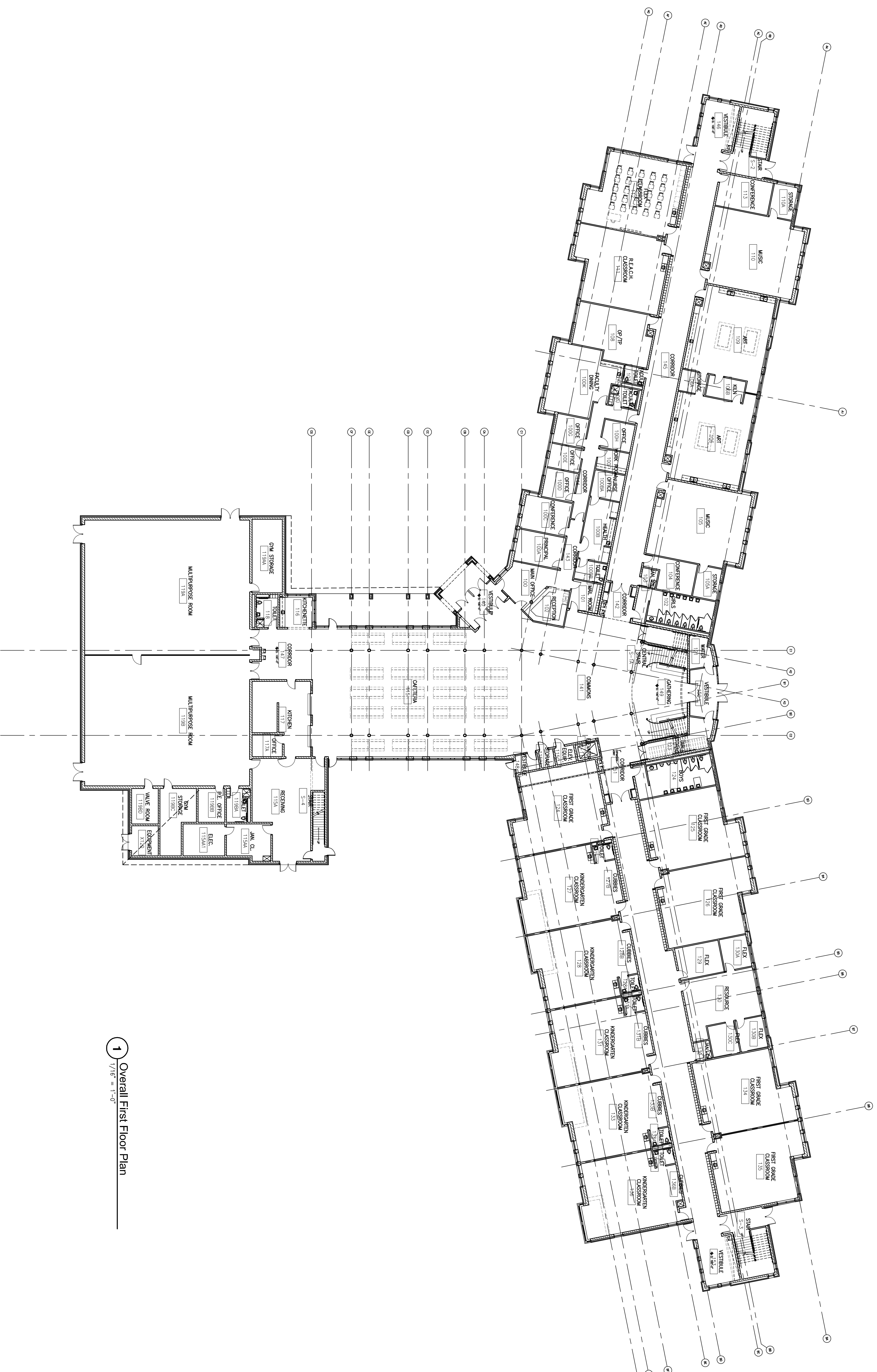
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Partial First Floor Plan - Area 'A'

Scale:  
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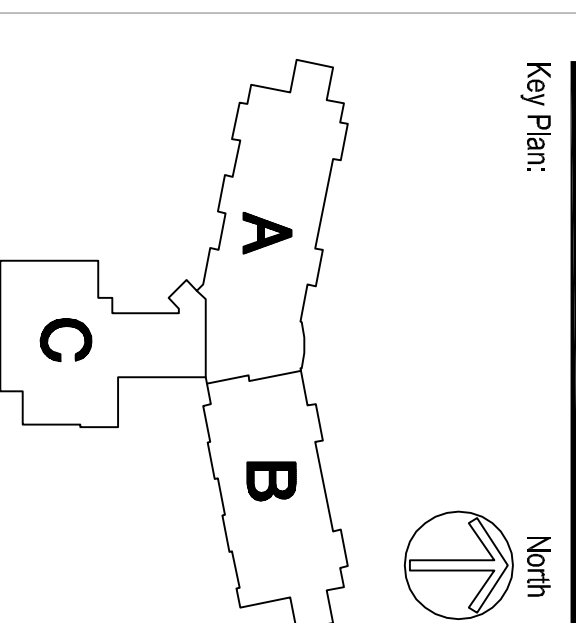
No.	Date	Description
11/2/06	Madison - 100 Milwaukee Summit	
1/2/07	Madison - 100 West Avenue Summit	
1/3/07	Madison - The Children's Shelter	

Date:  
January 3, 2007  
Project No.:  
060092.00  
Sheet No.:

**A2.0a**



1 Overall First Floor Plan  
1/16" = 1'-0"



No.	Date	Description
1/1/06	Madison - 100 Redden Drive	Site Plan
1/2/06	Madison - 100 Redden Drive	Site Plan
1/3/06	Madison - 100 Redden Drive	Site Plan
1/4/06	Madison - 100 Redden Drive	Site Plan
1/5/06	Madison - 100 Redden Drive	Site Plan
1/6/06	Madison - 100 Redden Drive	Site Plan
1/7/06	Madison - 100 Redden Drive	Site Plan
1/8/06	Madison - 100 Redden Drive	Site Plan
1/9/06	Madison - 100 Redden Drive	Site Plan
1/10/06	Madison - 100 Redden Drive	Site Plan
1/11/06	Madison - 100 Redden Drive	Site Plan
1/12/06	Madison - 100 Redden Drive	Site Plan
1/13/06	Madison - 100 Redden Drive	Site Plan
1/14/06	Madison - 100 Redden Drive	Site Plan
1/15/06	Madison - 100 Redden Drive	Site Plan
1/16/06	Madison - 100 Redden Drive	Site Plan
1/17/06	Madison - 100 Redden Drive	Site Plan
1/18/06	Madison - 100 Redden Drive	Site Plan
1/19/06	Madison - 100 Redden Drive	Site Plan
1/20/06	Madison - 100 Redden Drive	Site Plan
1/21/06	Madison - 100 Redden Drive	Site Plan
1/22/06	Madison - 100 Redden Drive	Site Plan
1/23/06	Madison - 100 Redden Drive	Site Plan
1/24/06	Madison - 100 Redden Drive	Site Plan
1/25/06	Madison - 100 Redden Drive	Site Plan
1/26/06	Madison - 100 Redden Drive	Site Plan
1/27/06	Madison - 100 Redden Drive	Site Plan
1/28/06	Madison - 100 Redden Drive	Site Plan
1/29/06	Madison - 100 Redden Drive	Site Plan
1/30/06	Madison - 100 Redden Drive	Site Plan
1/31/06	Madison - 100 Redden Drive	Site Plan

**Letter of Intent For:**

**Linden Park Elementary School**

801 Redan Drive  
Madison, WI

January 3, 2007

**Summary**

Linden Park Elementary will be a newly constructed school within the Veridian Homes Neighborhood Development of the same name. The school will be home to 650 students in five classes per grades K-5. This project will utilize sustainable energy in the form of cool daylighting, geothermal heating/cooling and wind generation that will contribute to a LEED Silver Certification.

<b>Legal Description of Property:</b>	Outlot 22 of Linden Park Development
<b>Construction Schedule:</b>	April 2007 thru August 2008
<b>Project Contacts:</b>	<i>Following Page</i>
<b>Building Use:</b>	New Elementary School
<b>Total Building Gross Sq. Ft.:</b>	
<i>First Floor</i>	50,141 s.f.
<i>Second Floor</i>	39,779 s.f.
<i>Total</i>	89,920 s.f.
<b>Total Building Occupants:</b>	
<i>Students</i>	650
<i>Staff</i>	90
<i>Total</i>	740
<b>Parking Spaces:</b>	
<i>Spaces Required</i>	45 (One parking space for every two (2) employees)
<i>Spaces Provided</i>	116
<i>Faculty/Staff</i>	95 (5 accessible, including 1 van)
<i>Visitor</i>	21 (1 accessible)
<b>Hours of Operation:</b>	M-F 6:00 a.m. to 10:00 p.m.
<b>Site Acreage:</b>	8.3 acres

Trash removal will be via garbage/recycling service.

Snow will be plowed and remain on site.

Maintenance equipment will be stored within the building proper.

**Project Contacts**

**Owner**

**Madison Metropolitan School District**  
545 West Dayton Street  
Madison, WI 53718

*Owner Representative*

Doug Pearson, CFM, CEM  
Director of Building Services  
4711 Pflaum Road  
Madison, WI 53718

*Owner Project Manager*

608.204.7909 fax 608.204.0373  
Rick Hopke, P.E.  
Coordinator of Facilities Engineering  
608.204.7912 fax 608.204.0373

**Surveyor**

**STS Consultants**  
2821 Dairy Drive, Suite 5  
Madison, WI 53718  
608.222.7231 fax 608.222.3765

*Project Engineer*

Matthew D.Emrick, P.E.

**Architect**

**Zimmerman Architectural Studios**  
7707 Harwood Avenue  
Milwaukee, WI 53213  
414.476.9500 fax 414.476.8582

*Project Architect*

Doug Barnes, AIA, REFP  
414.918.1461

*Project Manager*

Mark Wershay  
414.918.1331

*Landscape Architect*

Joe Pepitone, ASLA  
414.918.1475

**Engineer**

**Harwood Engineering Consultants, Ltd.**  
7420 W. State Street  
Wauwatosa, WI 53213  
414.475.5554 fax 414.475.5698

*Civil*

Thomas B. Olejniczak, P.E., LEED AP  
414.918.1240

*Structural*

Conrad Ettmayer, P.E.  
414.918.1220

*Plumbing*

Patrick Geraghty, D.E., CIPE  
414.918.1232

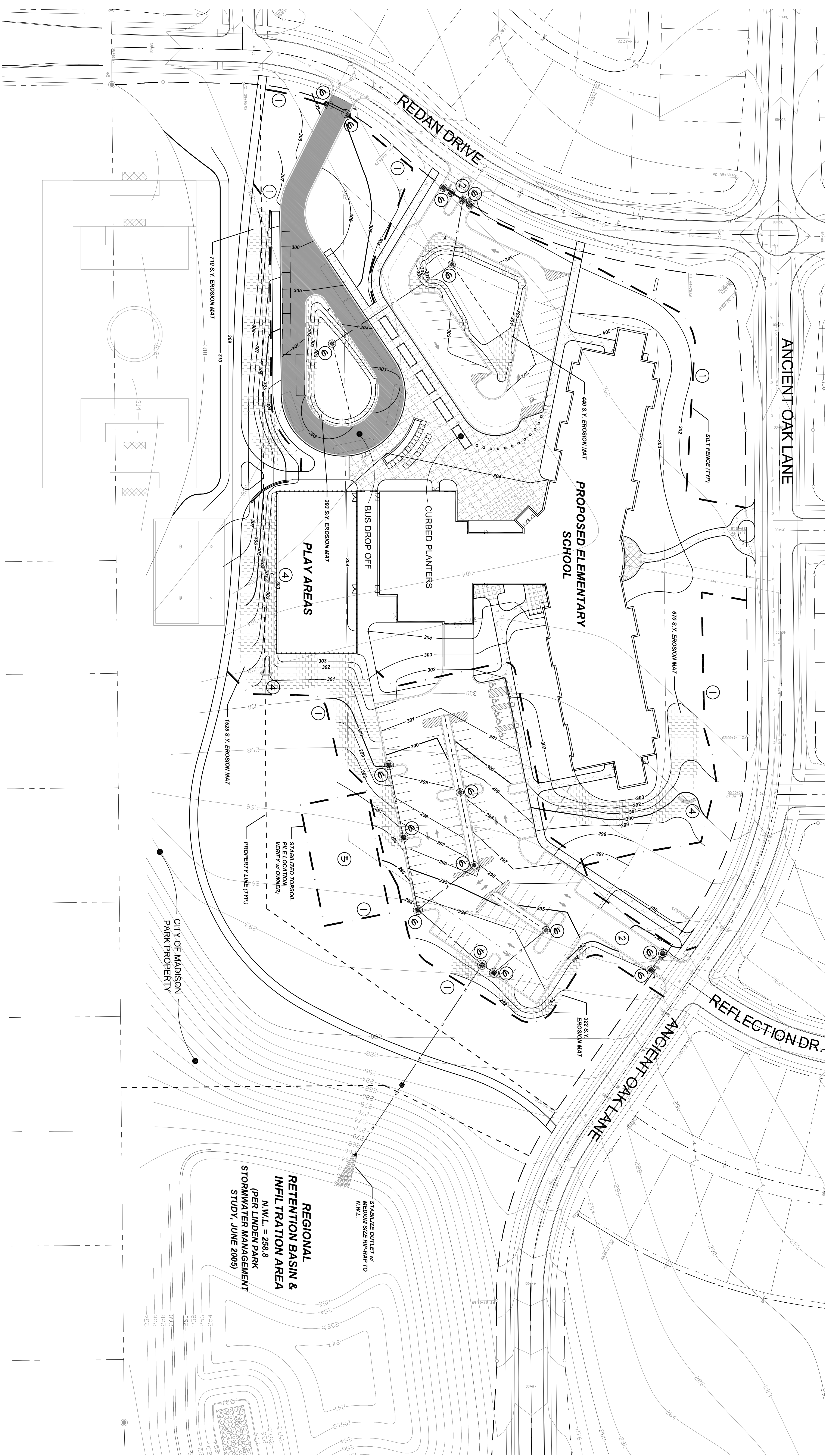
*Mechanical*

Robert Bueches, D.E., LEED AP  
414.918.1237

*Electrical*

Tom Peterson, P.E.  
414.918.1225





**EROSION CONTROL NOTES AND SPECIFICATIONS**

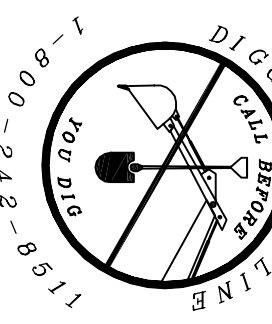
1. THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN A SITE SURVEY OF REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK.
2. ESTIMATED CONSTRUCTION TIMEFRAMES:  
 BEGIN EROSION CONTROL = APRIL 2007  
 BEGIN BUILDING CONSTRUCTION = APRIL 2007  
 BEGIN SITE RESTORATION = APRIL 2007  
 BEGIN SEEDING AND RESTORATION = JUNE 2007  
 BEGIN GRADING AND RESTORATION = MAY 2008  
 COMPLETE BUILDING CONSTRUCTION = JUNE 2008  
 ALL CHANGES TO THE ABOVE SCHEDULE SHALL BE REVIEWED AND APPROVED BY THE CITY.
3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCES AND SILT FENCE AT THE INDICATED LOCATIONS. THE THROUGHOUT THE PROJECT.
4. THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
5. ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE. UNLESS OTHERWISE DIRECTED BY THE OWNER.
6. ALL DISTURBED GRASS AREAS SHALL BE STABILIZED (PER OUR BEST MANAGEMENT PRACTICES) WITHIN 7 DAYS OF COMPLETION. DISTURBED GRASS AREAS SHALL BE TOPDRESSED, RESEED, FERTILIZED AND MULCHED. DISTURBED GRASS AREAS SHALL BE COVERED WITH AN EROSION FABRIC (CLASS 1, TYPE A) COVERED WITH AN EROSION FABRIC (CLASS 1, TYPE A).
7. RIP RAW SHALL BE PLACED AT STORM OUTFALLS WHERE INDICATED ON THE PLANS AT THE SAME TIME THE STORM SEWERS IS INSTALLED.
8. INLET FILTERS ARE TO BE PLACED NEW STRUCTURES AS SOON AS THEY ARE SET. FILTERS MUST BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE PROJECT.
9. STOCKPILED TOPSOIL PILES SHALL RECEIVE AN APPLICATION OF POLYMER WITH TEMPORARY SEED IF THEY ARE TO REMAIN LONGER THAN 14 DAYS.
10. THE CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE TO LIMIT THE AMOUNT OF OPEN AREA CREATING SEDIMENT RUNOFF (E.G. STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE BEFORE MOVING TO A NEW AREA).
11. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL RECOMMENDATIONS BY THE CITY TO CORRECT A CONCERN SHALL BE COMPLETED WITHIN 24 HOURS.
12. SITE INSPECTIONS SHALL BE COMPLETED AND DOCUMENTED WEEKLY OR AFTER ANY RAINFALL OF 0.5" OR GREATER. ALL REQUIRED REPAIRS SHALL BE MADE WITHIN 24 HOURS.
13. PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
14. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED FROM THE PROJECT AS SOON AS THE ENTIRE SITE HAS BEEN STABILIZED BY NATURAL GROWTH.

**SITE UTILITY LEGEND**

SYMBOL	DESCRIPTION
W	PROPOSED WATER MAIN
W	EXISTING WATER MAIN
E	PROPOSED ELECTRICAL LINE
E	EXISTING ELECTRICAL LINE
GAS	PROPOSED GAS MAIN
GAS	EXISTING GAS MAIN
SAN	EXISTING SANITARY SEWER
SAN	PROPOSED SANITARY SEWER
ST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
0'-10"	PROPOSED SILT FENCE
0'-10"	SANITARY MANHOLE
⊕	FIRE HYDRANT
⊕	EXISTING WATER VALVE
⊕	PROPOSED WATER VALVE
⊕	STORM STRUCTURE

**EROSION CONTROL LEGEND**

①	SILT FILTER FENCE
②	CONSTRUCTION ENTRANCE
③	EROSION MAT
④	DITCH CHECK
⑤	STABILIZED TOPSOIL PILE
⑥	INLET SEDIMENT GUARD



IN ACCORDANCE WITH WISCONSIN STATUTE 182.075, DAMAGE TO TRANSPORTATION FACILITIES, EXCAVATION SHALL BE SOLELY THE RESPONSIBILITY OF THE EXCAVATOR. THE EXCAVATOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON. THE EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THE CITY OF MADISON. THE EXCAVATOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MADISON.

**zimmerman**  
ARCHITECTURAL STUDIOS, INC.

205 W. Highland Avenue  
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Milwaukee, WI 53203  
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Facsimile: 414.278.8878

7707 Harwood Avenue  
Milwaukee, WI 53213  
Telephone: 414.278.8800  
Facsimile: 414.278.8822  
Consultant

**HARWOOD**  
ENGINEERING  
CONSULTANTS, LTD.

7720 West State Street, Milwaukee, Wisconsin 53213  
414.278.8800  
FEC Project Number: 04-009210

**adison**  
Metropolitan  
School District

Linden Park  
Elementary School

Location:  
801 Redan Drive  
Verona, WI 53593

Key Plan:  
North

**PROGRESS SET**  
NOT FOR CONSTRUCTION

DATE: 01-02-07

Sheet:  
**EROSION CONTROL PLAN**

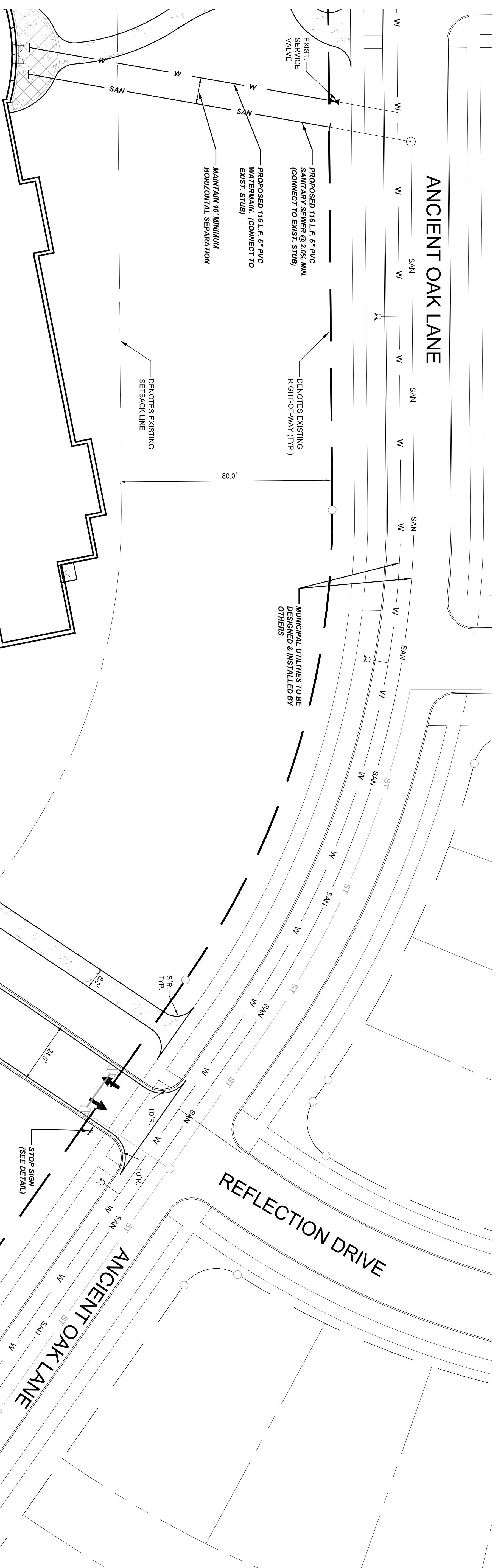
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No.	Date	Description
1/2/06	Initial	100% Development Standard
1/2/07	Initial	100% Final Approval Standard
1/2/07	Initial	100% Construction Standard

Project No.: 0600092.00  
Sheet No.: C1.3

Date: January 3, 2007

**ANCIENT OAK LANE**



**PROPOSED ELEMENTARY SCHOOL**

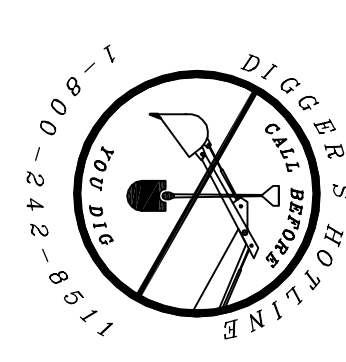


**GENERAL NOTES AND SPECIFICATIONS**

1. THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN AT THE SURVEY PROVIDED BY GORDON KOTTER AND ASSOCIATES, INC. THE ENGINEER MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED. THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND CONDITIONS INCLUDING UNDERGROUND UTILITIES (UNDERGROUND AND SURFACE) PRIOR TO COMMENCING WITH WORK. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK.
2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING UTILITY TO BE CONNECTED TO VERIFYING ELEVATION, LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
3. ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003) AS WELL AS THE CITY'S CONSTRUCTION STANDARDS AND THE DEPT. OF COMMERCE, SEC. 66.01.
4. ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES/STRUCTURES SHALL BE CORDED. ALL UTILITY PERMITS WILL NEED TO BE RECEIVED FROM THE CITY PRIOR TO THE START OF CONSTRUCTION.
5. NOTIFY THE CITY PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
6. BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO THE CITY'S STANDARDS (GOMAR) AND SHALL BE COMPLETED WITHIN 5 (FIVE) DAYS OF THE CITY'S SPECIFICATIONS. ALL EXCAVATIONS SHALL BE RESTORED TO ORIGINAL CONDITION. ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR CONSTRUCTION SHALL BE REMOVED FROM THE SITE. UNLESS OTHERWISE DIRECTED BY THE OWNER.
7. ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR CONSTRUCTION SHALL BE REMOVED FROM THE SITE. UNLESS OTHERWISE DIRECTED BY THE OWNER.
8. ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR CONSTRUCTION SHALL BE REMOVED FROM THE SITE. UNLESS OTHERWISE DIRECTED BY THE OWNER.
9. ALL PROPOSED WATERMAIN SHALL BE CLASS 55 DUCTILE IRON WITH ELASTOMERIC JOINTS (ASTM C-111) OR PVC SDR 18, CLASS 150, (AWWA C900) EAST/WEST JOINTS, GASKETED JOINTS CONFORMING TO ASTM D-3212.
10. PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
11. UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
12. SET FRIDGE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO CONSTRUCTION.
13. THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
14. ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR CONSTRUCTION SHALL BE REMOVED FROM THE SITE. UNLESS OTHERWISE DIRECTED BY THE OWNER.
15. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
16. ALL CONCRETE CURB AND GUTTER TO BE 18" VERTICAL FACE UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
17. ALL CURB RAIMS BE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
18. CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
19. REMOVAL OF CURB AND GUTTER SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
20. ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 3500 PSI.
21. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
22. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE RESPONSIBLE FOR TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
23. PROJECT SAFETY ON SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
24. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOils REPORT FOR WORKING INFO.
25. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (ASBUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

**SITE UTILITY LEGEND**

SYMBOL	DESCRIPTION
W	PROPOSED WATER MAIN
E	EXISTING WATER MAIN
E	PROPOSED ELECTRICAL LINE
E	EXISTING ELECTRICAL LINE
GAS	PROPOSED GAS MAIN
GAS	EXISTING GAS MAIN
SAN	PROPOSED SANITARY SEWER
SAN	EXISTING SANITARY SEWER
ST	PROPOSED STORM SEWER
ST	EXISTING STORM SEWER
UTW	OVERHEAD WIRES
(S)	SANITARY MANHOLE
(F)	FIRE HYDRANT
(V)	EXISTING WATER VALVE
(W)	PROPOSED WATER VALVE
(S)	STORM STRUCTURE



IN ACCORDANCE WITH WISCONSIN STATUTE 182.075, DAMAGE TO ROADWAY OR UTILITIES, EXCAVATION SHALL BE SOUGHT TO BE REPAIRED TO ORIGINAL CONDITION WITHIN 5 (FIVE) DAYS OF THE CITY'S SPECIFICATIONS. ALL EXCAVATIONS SHALL BE RESTORED TO ORIGINAL CONDITION. ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR CONSTRUCTION SHALL BE REMOVED FROM THE SITE. UNLESS OTHERWISE DIRECTED BY THE OWNER.

**zimmerman**  
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**HARWOOD**  
ENGINEERING  
CONSULTANTS, LTD.

7720 West State Street Milwaukee Wisconsin 53213  
414.224.8800  
Fax: 414.224.8888  
Project Number: 060092.00

**edison**  
Metropolitan  
School  
District

Linden Park  
Elementary School

Location:  
801 Redden Drive  
Viroqua, WI 53593

Key Plan:

North

**PROGRESS SET**  
NOT FOR CONSTRUCTION

DATE: 01-02-07

Sheet:  
**SITE AND UTILITY PLAN**  
- EAST AREA

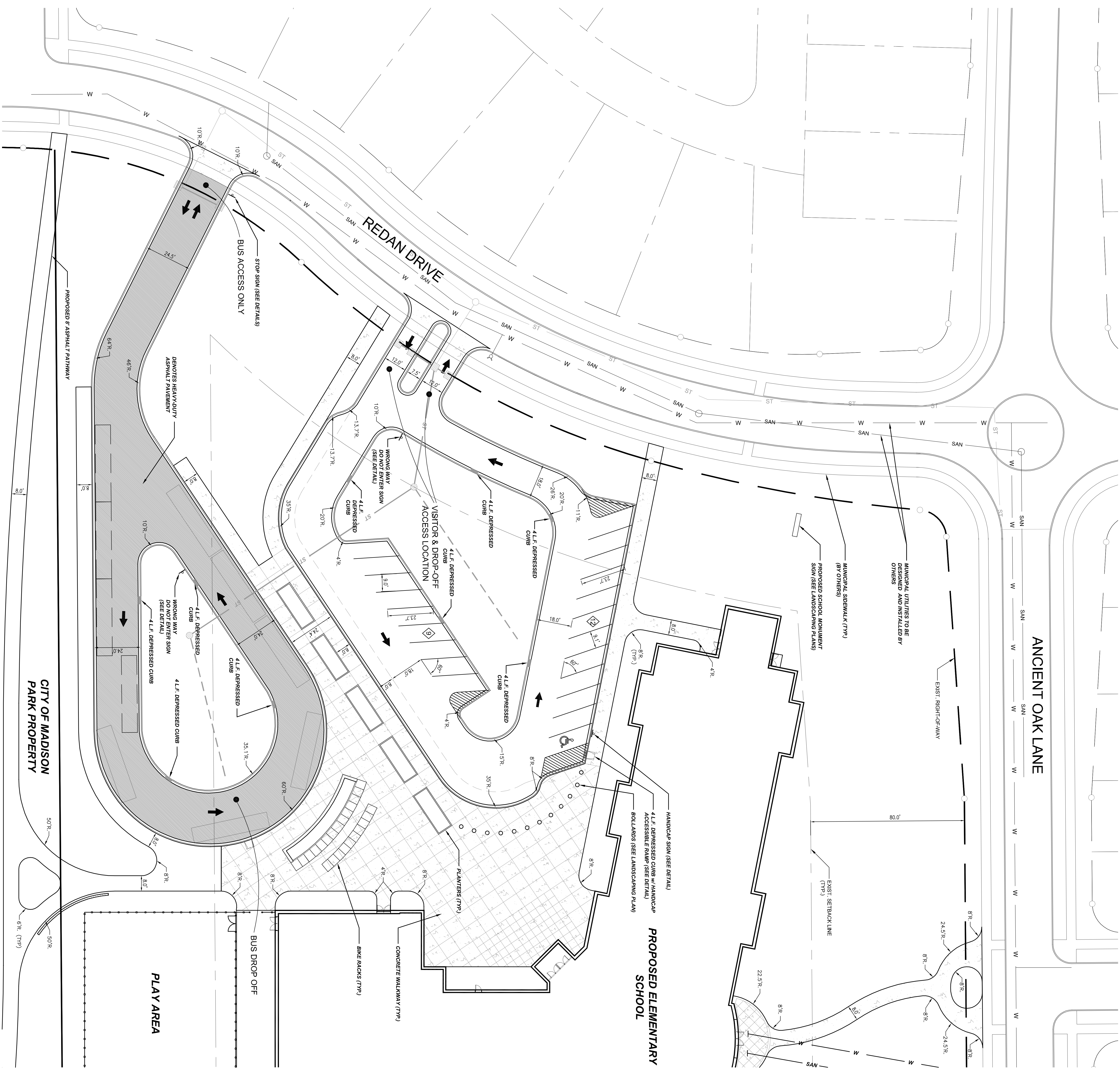
Scale: 1" = 20'-0"

Date: January 3, 2007

Project No.: 060092.00

Sheet No.: C1.22

No.	Date	Description
1/1/06	1/1/06	100% Development Standard
1/2/07	1/2/07	100% Final Approval Standard
1/3/07	1/3/07	100% Final Approval Standard



**GENERAL NOTES AND SPECIFICATIONS**

1. THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN A SITE SURVEY PROVIDED BY O'CONNOR KOTICE AND ASSOCIATES, INC., THE ENGINEER WAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED. THE ENGINEER HAS REVIEWED THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INQUIRE OF THE CITY ENGINEER AND UTILITY CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK.
2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO VERIFYING ELEVATION, LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
3. ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003) AS WELL AS THE CITY'S CONSTRUCTION STANDARDS AND THE DEPT OF COMMERCE SEC. 9.291.
4. ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES/STRUCTURES SHALL BE CORDED.
5. ALL UTILITY PERMITS WILL NEED TO BE RECEIVED FROM THE CITY PRIOR TO THE START OF CONSTRUCTION.
6. NOTIFY THE CITY PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
7. BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO THE CITY'S STANDARDS (CONCRETE SIDEWALK OR WITHIN 5' OF CURB) OR SHALL BE AS NOTED ON THE PLAN. (SEE DEPT. ENGINEERING - SURVEY DIVISION) SHALL BE REQUIRED IN PUBLIC ROADWAYS.)
8. ALL PUBLIC UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
9. ALL PROPOSED WATERMAIN SHALL BE CLASS 55 DUCTILE IRON WITH ELASTOMERIC JOINTS (ASTM C-111) OR PVC SDR 18, CLASS 150, (AWWA C900) EAST/WEST JOINTS, GAS/STEEL JOINTS CONFORMING TO ASTM D-3212.
10. PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
11. PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
12. UTILITY TRENCHES SHALL BE MECHANICALLY COMPLETED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
13. SET FRIDGE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO CONSTRUCTION.
14. THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT CLEAR.
15. ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR STREETS SHALL BE REMOVED TO NEARBY CLEAN STREETS.
16. ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR STREETS SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
17. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
18. ALL CONCRETE CURB AND GUTTER TO BE 1/2" VERTICAL FACE UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
19. ALL CURB RAIM ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
20. CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
21. REMOVAL OF CURB AND GUTTER SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
22. ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 3500 PSI.
23. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
24. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE RESPONSIBLE FOR TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
25. PRODUCT SAFETY ON SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
26. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS.
27. CONSTRUCTION MANAGER SHALL HAVE SOILS REPORT FOR WORKING TO.
28. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

SYMBOL	DESCRIPTION
W	PROPOSED WATER MAIN
E	EXISTING WATER MAIN
E	PROPOSED ELECTRICAL LINE
E	EXISTING ELECTRICAL LINE
G	PROPOSED GAS MAIN
G	EXISTING GAS MAIN
SM	PROPOSED SANITARY SEWER
SM	EXISTING SANITARY SEWER
ST	PROPOSED STORM SEWER
ST	EXISTING STORM SEWER
UT/1/4"	SANITARY MANHOLE
⊕	FIRE HYDRANT
⊕	EXISTING WATER VALVE
⊕	PROPOSED WATER VALVE
⊕	STORM STRUCTURE

SYMBOL	DESCRIPTION
W	PROPOSED WATER MAIN
E	EXISTING WATER MAIN
E	PROPOSED ELECTRICAL LINE
E	EXISTING ELECTRICAL LINE
G	PROPOSED GAS MAIN
G	EXISTING GAS MAIN
SM	PROPOSED SANITARY SEWER
SM	EXISTING SANITARY SEWER
ST	PROPOSED STORM SEWER
ST	EXISTING STORM SEWER
UT/1/4"	SANITARY MANHOLE
⊕	FIRE HYDRANT
⊕	EXISTING WATER VALVE
⊕	PROPOSED WATER VALVE
⊕	STORM STRUCTURE

**PROGRESS SET**  
NOT FOR CONSTRUCTION  
DATE: 01-02-07

**Scale:**  
1" = 20'-0"

**Revisions:**

No.	Date	Description
1/1/2006	Initial	100% Preliminary Submittal
1/2/07	Initial	100% Final Approval Submittal
1/3/07	Initial	Final Construction Submittal

**Project No.:** 0600092.00  
**Sheet No.:** C1.21

**Date:** January 3, 2007

**Scale:** 1" = 20'-0"

**Revisions:**

No.	Date	Description
1/1/2006	Initial	100% Preliminary Submittal
1/2/07	Initial	100% Final Approval Submittal
1/3/07	Initial	Final Construction Submittal

**Project No.:** 0600092.00  
**Sheet No.:** C1.21

**zimmerman**  
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7720 West State Street  
Milwaukee, Wisconsin 53213  
414.274.8800  
FAX: 414.274.8899  
H.C. Project Number: 060092.00

**edison**  
**Metropolitan**  
**School**  
**District**

Linden Park  
Elementary School

**Location:**  
801 Redan Drive  
Vernon, WI 53593

**Key Plan:**

**Site AND UTILITY PLAN**  
- WEST SIDE

**PROGRESS SET**  
NOT FOR CONSTRUCTION  
DATE: 01-02-07

**Scale:**  
1" = 20'-0"

**Revisions:**

No.	Date	Description
1/1/2006	Initial	100% Preliminary Submittal
1/2/07	Initial	100% Final Approval Submittal
1/3/07	Initial	Final Construction Submittal

**Project No.:** 0600092.00  
**Sheet No.:** C1.21

**Date:** January 3, 2007

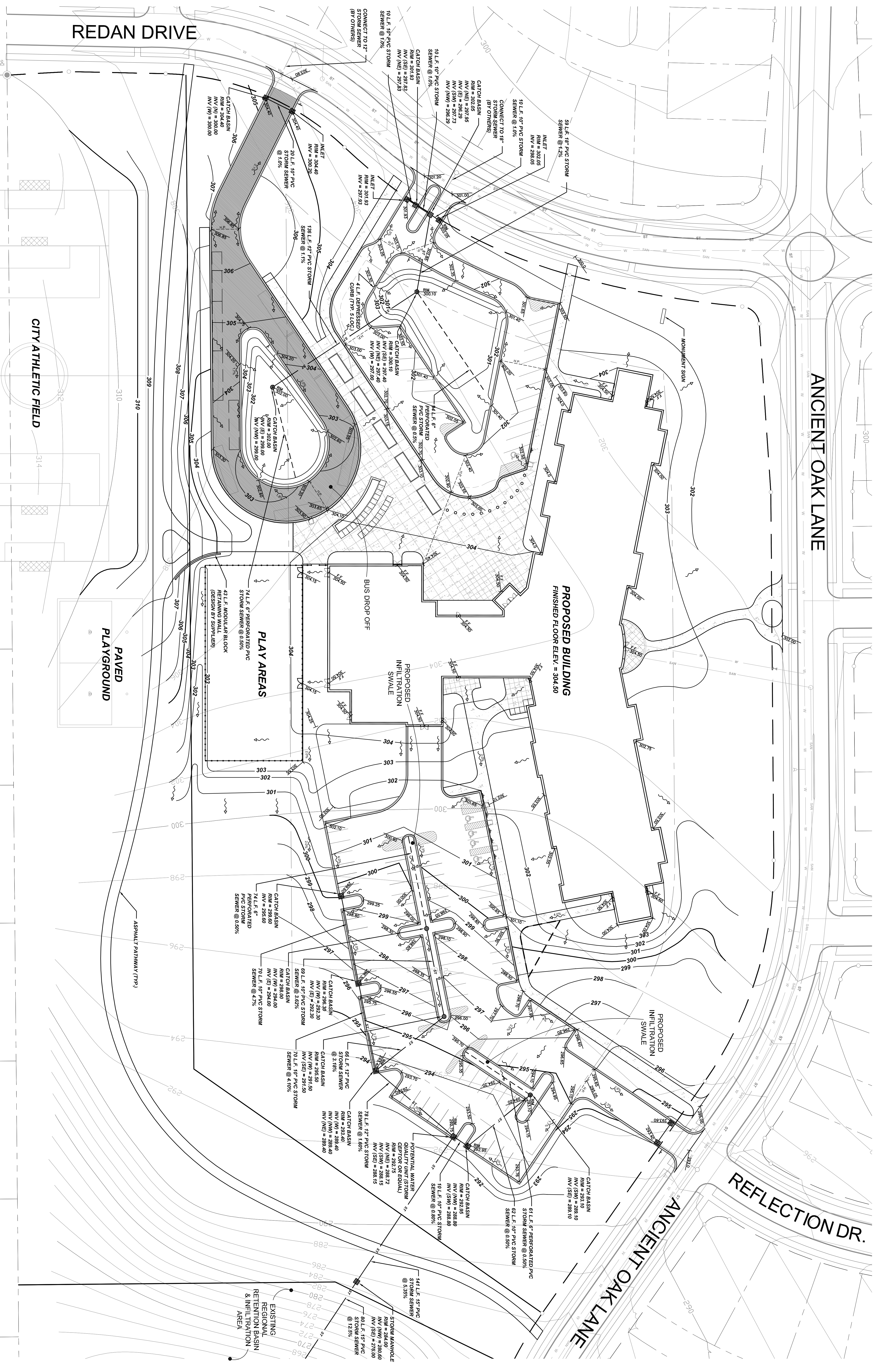




ANCIENT OAK LANE

REFLECTION DR.

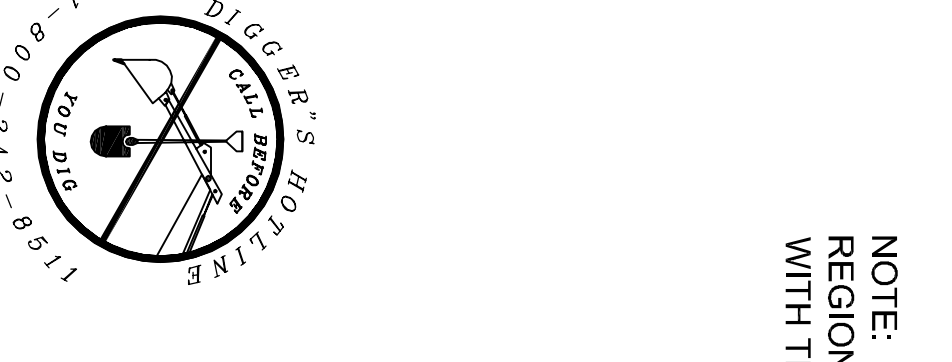
PROPOSED BUILDING  
FINISHED FLOOR ELEV. = 304.50



**GENERAL NOTES AND SPECIFICATIONS**

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN AS SHOWN BY SURVEY PROVIDED BY CONROCK PHOTO AND SURVEYING, INC. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING AND COMPILING THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING AND COMPILING THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING AND COMPILING THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXAMINE EACH EXISTING UTILITY TO BE CONNECTED TO OVERVIEWING ELEVATION, LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, MWCSSN (2003) AS WELL AS THE CITY'S CONSTRUCTION STANDARDS AND THE DEPT OF PUBLIC WORKS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES STRUCTURES SHALL BE COMED.
- NOTIFY THE CITY PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
- BACKFILL REQUIREMENTS AND ROADWAY/VEHICULAR RESTRICTIONS SHALL ADHERE TO THE CITY STANDARDS. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.
- ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ALL PROPOSED WATER MAIN SHALL BE CLASS 55 DUCTILE IRON WITH ELASTOMERIC JOINTS MWA C-111 OR PVC SDR 18, CLASS 501 MWA COVER ELASTOMERIC JOINTS.
- PROPOSED SANITARY SEWER PIPE SHALL BE PVC ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
- PROPOSED STORM SEWER SHALL BE PVC ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- SLIT FENCE AND ALL OTHER REVISION CONTROL METHODS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALSO, CONSTRUCTION IS RESPONSIBLE FOR REMOVING EROSION CONTROL METHODS SINCE THE SITE IS STABILIZED.
- THE EXISTING SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT OPEN FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
- ALL EXCAVATED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE. WASTES OR DEBRIS SHALL BE PROPERLY DISPOSED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
- ALL CONCRETE CURB AND GUTTER TO BE 18" VERTICAL FACE UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
- ALL CURB RADI ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL WATCH PROPOSED CONCRETE CURB AND GUTTER, SEWER, AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- REMOVAL OF CURB AND GUTTER, SEWER, AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
- ALL CONCRETE FOR CURB AND GUTTER, SEWER, AND PAVEMENTS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 3500 PSI.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
- CONTRACTOR IS RESPONSIBLE FOR REMAINING ANY DAMAGE RESPONSIBLE FOR TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- ALL CONCRETE ON SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOIL TESTS FOR BEARING CAPACITY.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

SYMBOL	DESCRIPTION
W	PROPOSED WATER MAIN
E	EXISTING WATER MAIN
E	PROPOSED ELECTRICAL LINE
E	EXISTING ELECTRICAL LINE
CS	PROPOSED GAS MAIN
CS	EXISTING GAS MAIN
ST	PROPOSED SANITARY SEWER
ST	EXISTING SANITARY SEWER
ST	PROPOSED STORM SEWER
ST	EXISTING STORM SEWER
OH-W	SANITARY MANHOLE
OH-W	FIRE HYDRANT
OH-W	EXISTING WATER VALVE
OH-W	PROPOSED WATER VALVE
OH-W	STORM STRUCTURE



NOTE: THIS ENTIRE SITE UTILIZES THE REGIONAL RETENTION BASINS ESTABLISHED WITH THE LINDEN PARK SUBDIVISION.

No.	Date	Description
1/1/2006	Initial	100% Preliminary Submittal
1/2/07	Initial	100% Final Approval Submittal
1/2/07	Initial	90% Construction Submittal

Date: January 3, 2007  
 Project No.: 060092.00  
 Sheet No.:

**PROGRESS SET**  
NOT FOR CONSTRUCTION

DATE: 01-02-07

Scale: 1" = 30'-0"

Site: GRADING AND DRAINAGE PLAN

Location: 801 Redan Drive, Verona, WI 53593

Key Plan:

**adison Metropolitan School District**

Linden Park Elementary School

7707 Harvard Avenue, Milwaukee, WI 53213

205 W. Highland Avenue, Suite 400, Milwaukee, WI 53203

7720 West Street, Milwaukee, Wisconsin 53213

414 West Wisconsin Ave., Suite 200, Milwaukee, WI 53233

Project: **adison Metropolitan School District**

Client: **adison Metropolitan School District**

Engineer: **Harwood Engineering Consultants, Ltd.**

7720 West Street, Milwaukee, Wisconsin 53213

414 West Wisconsin Ave., Suite 200, Milwaukee, WI 53233

Project: 060092.00

**zimmerman**  
ARCHITECTURAL STUDIOS, INC.

7707 Harvard Avenue, Milwaukee, WI 53213

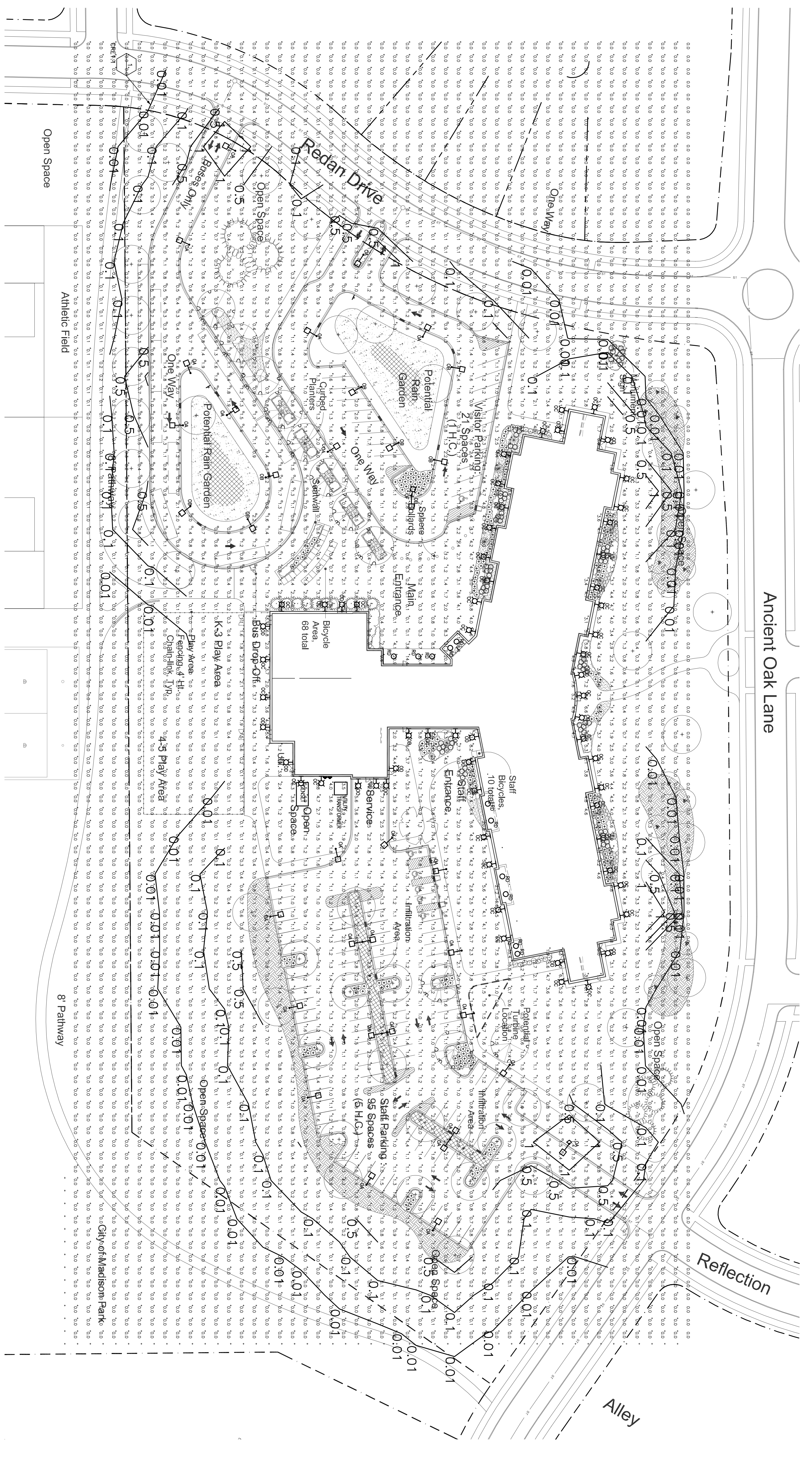
205 W. Highland Avenue, Suite 400, Milwaukee, WI 53203

7720 West Street, Milwaukee, Wisconsin 53213

414 West Wisconsin Ave., Suite 200, Milwaukee, WI 53233

Project: 060092.00

**C11**



1 Electrical Site Plan  
T = 40'-0"

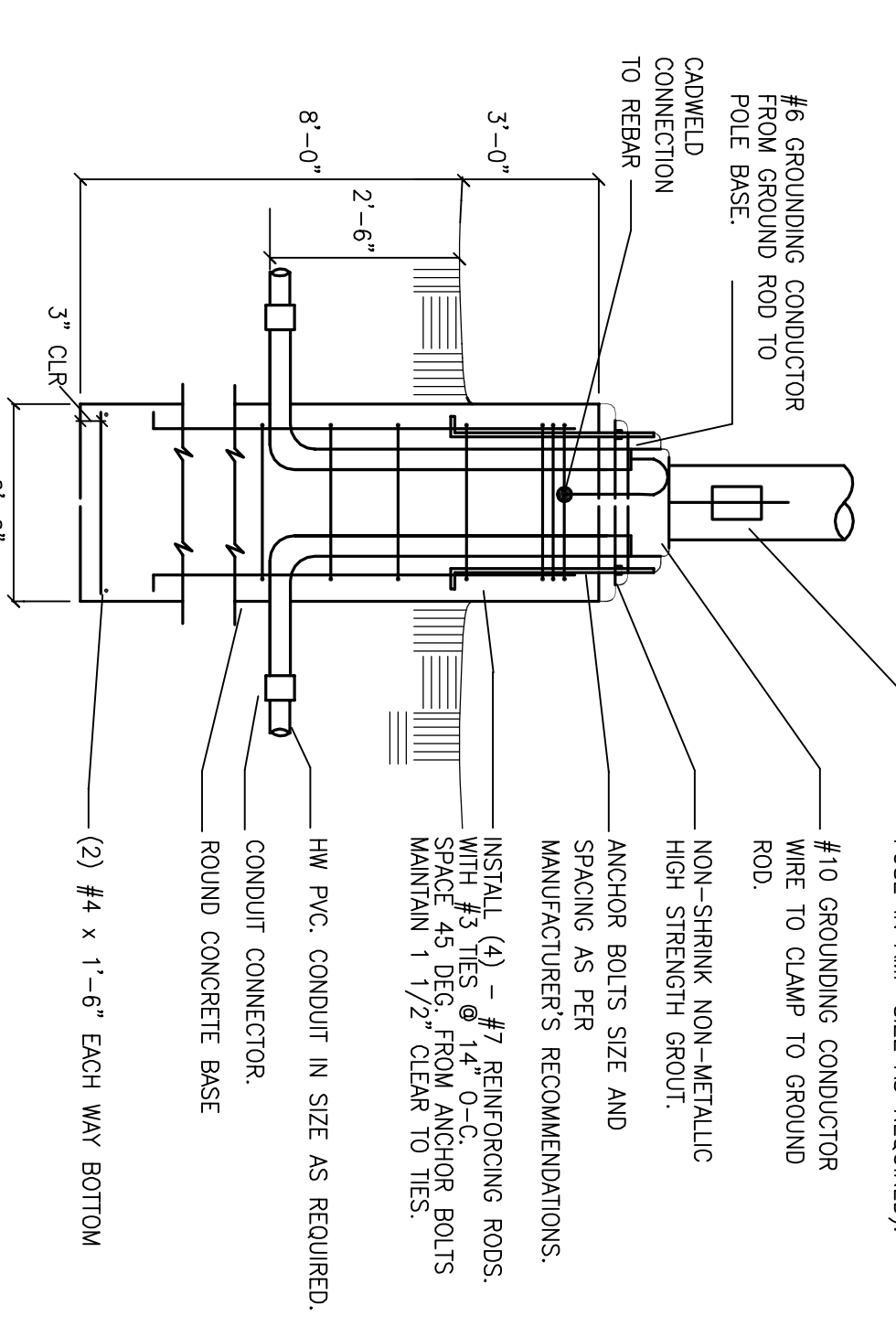
CRE1  
PLAN NOTES:  
1. CONTOUR LINES INDICATE ELEVATION DATA IN 4'-0" ABOVE FINISHED GRADE.

### LIGHTING FIXTURE SCHEDULE

DES.	DESCRIPTION	LAMP DATA	DEPTH	WFR	SERIES	OPTICS/ACCESSORIES	BUDGET	MFG.	NOTE
0A	HIGH CUT OFF HID TYPE, H.L. DIST.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0B	HIGH CUT OFF HID TYPE, H.L. DIST.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0C	FLUORESCENT HAWK/ADJUST	100/80/12	120	INWLE	ENFTG SERIES		E	WALL VERIFY	
0D	FLUORESCENT WALL MOUNT HAWK/ADJUST	F42TBX	120	INWLE	ENFTG SERIES		E	WALL VERIFY	
0E	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0F	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0G	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0H	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0I	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0J	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0K	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0L	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0M	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0N	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0O	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0P	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0Q	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0R	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0S	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0T	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0U	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0V	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0W	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0X	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0Y	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	
0Z	HID TYPE, H.L. DIST. HAWK/ADJUST FOR AEG.	175 MH	120	BEFA	BA SERIES		PS	POLE GND	

### LIGHTING STATISTICS

DESCRIPTION	AVG.	MIN.	AVG./MIN.
DRIVE EAST	0.9 fc	0.3 fc	5.0:1
DRIVE NORTHWEST	1.0 fc	0.2 fc	5.0:1
DRIVE SOUTHWEST	0.9 fc	0.4 fc	2.3:1
PARKING EAST	1.4 fc	0.2 fc	2.8:1
PARKING NORTHWEST	1.4 fc	0.4 fc	3.5:1
PARKING SOUTHWEST	1.0 fc	0.2 fc	5.0:1



2 POLE BASE DETAIL  
E1.1

NOTES:  
1. ALL LIGHTING FIXTURES SHALL BE ACCORDANCE WITH LOCAL SOIL AND WIND REDUCTION CONDITIONS.  
2. ALL LIGHTING POLE CONCRETE BASES SHALL BE LOCATED A MINIMUM OF 12 INCHES OFF THE FACE OF CURBS, TOWERS, FINAL LOCATIONS OF LIGHTING POLES MUST BE VERIFIED WITH THE ARCHITECT/ENGINEER PRIOR TO INSTALLATION.

**CRE11**

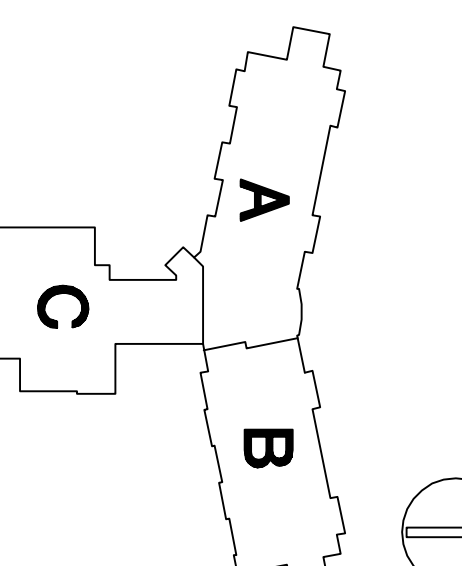
Scale:

Revisions:	No.	Date	Description
	1/2/07		Issue - 02 - Initial Approval Submitted
	1/3/07		Submit - Final Comments Submitted

Date: January 3, 2007

Sheet:  
Electrical Site Plan

Location:  
801 Redan Drive  
Verona, WI 53593



Key Plan:  
North

Project:  
adison  
etropolitan  
School  
District

Client:  
Linden Park  
Elementary School

Consultant:  
HARWOOD  
ENGINEERING  
CONSULTANTS, LTD.

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