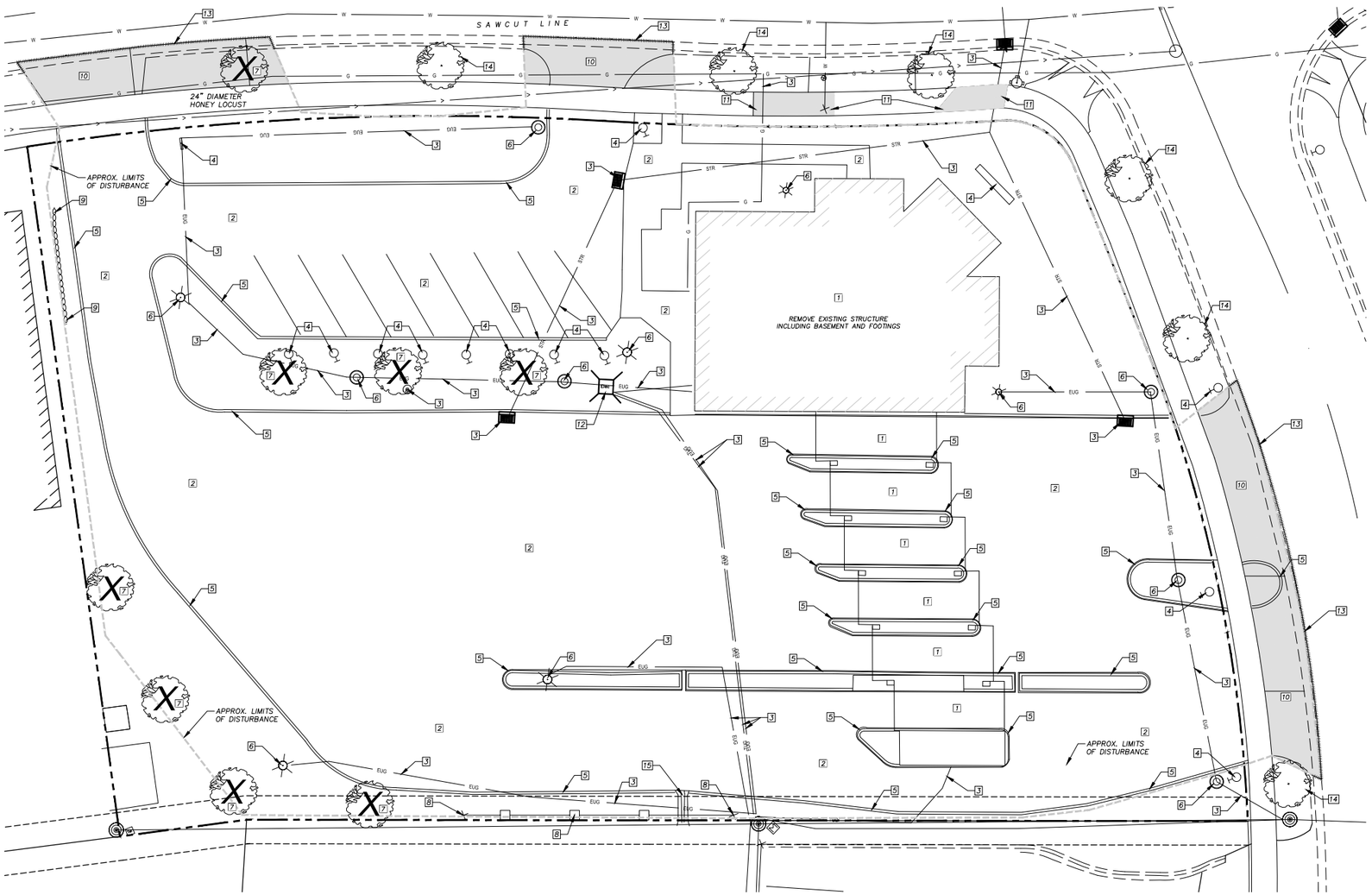


SITE PLAN KEYNOTES

1. EXISTING BUILDING / CANOPIES TO BE REMOVED. REMOVE STRUCTURE AND BASEMENT, FOOTINGS AND ASSOCIATED WALKS AND PAVEMENT. DISCONNECT EXISTING UTILITY SERVICE LINES PER CITY, COUNTY AND STATE SPECIFICATIONS.
2. EXISTING GRAVEL, CONCRETE AND BITUMINOUS TO BE REMOVED.
3. EXISTING UTILITY SERVICE LINES TO BE REMOVED: ELECTRIC, GAS, SANITARY, WATER. STUB TO PROPERTY LINE OR MAIN SERVICE LINE AS SPECIFIED BY CITY AND UTILITY SERVICE PROVIDER.
4. EXISTING SIGNS, POLES, BASES, FOUNDATIONS AND ELECTRICAL TO BE REMOVED IN ITS ENTIRETY.
5. EXISTING CURB TO BE REMOVED.
6. EXISTING SITE AMENITIES TO BE REMOVED: BOLLARDS, LIGHTING, ETC.
7. EXISTING TREES/STUMPS TO BE REMOVED.
8. EXISTING LANDSCAPING FENCE TO BE REMOVED.
9. EXISTING STONE WALL TO BE REMOVED, BOULDERS WILL BE REUSED IN FUTURE LANDSCAPING AREAS
10. EXISTING CONCRETE DRIVEWAYS TO BE REMOVED WITH CURB AND GUTTERS REPLACED AS NECESSARY.
11. SAWCUT AT NEAREST JOINT OF EXISTING SIDEWALK AS NECESSARY FOR UTILITY REMOVAL, ABANDONMENT OR INSTALLATION. ANY DAMAGED SIDEWALK TO BE REPLACED IN KIND BY CONTRACTOR PER CITY STANDARDS.
12. EXISTING TRANSFORMER TO BE RELOCATED AND REUSED IF POSSIBLE
13. SAWCUT EXISTING ASPHALT, CURB AND GUTTER FOR CLEAN MATCH IN WITH EXISTING PAVEMENT. SAWCUT SHALL BE AT EXISTING JOINT LINES WHENEVER POSSIBLE. ACTUAL REMOVALS AND SAWCUT LINES MAY BE ADJUSTED TO MATCH EXISTING FIELD CONDITIONS AS WARRANTED
14. CONTRACTOR SHALL PROVIDE TREE PROTECTION FOR TREES TO REMAIN.
15. EXISTING FLUME TO BE RETROFITTED TO PROPOSED STORM SEWER MANHOLE.

NOTES

1. EXISTING UTILITY SERVICE LINES TO BE ABANDONED IN PLACE OR REMOVED IF POSSIBLE: ELECTRIC, GAS, SANITARY, WATER. STUB TO PROPERTY LINE OR MAIN SERVICE LINE AS SPECIFIED BY CITY AND UTILITY SERVICE PROVIDER.
2. WHENEVER SAWCUTTING, CONTRACTOR SHALL SAWCUT THE ASPHALT OR CONCRETE AS THE NEAREST JOINTLINE AS NEEDED TO BLEND THE NEW AND EXISTING ASPHALT PAVEMENT AND CONCRETE AS NEEDED.
3. ALL FOUNDATIONS SHALL BE REMOVED IN THEIR ENTIRETY INCLUDING ANY FOR BUILDINGS, STOOPS, LIGHTPOLES, AND ANY OTHER STRUCTURES AS NOTED.
4. FOR ALL TREES IN THE TERRACE, THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTRACT CITY FORESTRY (26-4816) PRIOR TO EXCAVATION TO ACCESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
5. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

NORTH

0 10 20
SCALE: 1" = 10'

MARK	REVISION	DATE	BY

Engineer: SJA | Checked By: SJA | Scale: NOTED
Technician: MW | Date: 4/24/2019 | Field Bk: | Pg:

Project No: 118.1077.30

C 1.0

MADISON, WISCONSIN

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

BMO BANK - HILLDALE

EXISTING SITE & DEMOLITION PLAN

SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES

Project No: 118.1077.30

C 1.0

Massing Concept
Looking Southeast

EXTERIOR REDESIGN
April 22nd, 2019

BMO Bank - Hilldale, WI

GROTH
Design
Group

Massing Concept
Looking Southwest

EXTERIOR REDESIGN

April 22nd, 2019

BMO Bank - Hilldale, WI

GROTH
Design
Group

FLOOR PLAN GENERAL NOTES:

A. SEE WALL SCHEDULE FOR WALL ASSEMBLY INFORMATION. NOTE: SEE SECTIONS AND ELEVATIONS FOR CHANGES IN MATERIALS/WALL TYPES/ACCENT-ELEMENTS THAT MAY NOT BE INDICATED AT PLAN CUT.

B. SEE - / --- FOR TYPICAL DIMENSIONS OF DOOR OPENING FROM ADJACENT WALL.

C. PROVIDE BLOCKING AT ALL MILLWORK AND WALL HUNG ELEMENTS IN WALLS. CONTRACTOR TO COORDINATE W/ OWNER REPRESENTATIVE FOR FINAL LOCATIONS OF OWNER-FURNISHED EQUIPMENT. SEE DETAIL 6 / A002 . ALL WOOD BLOCKING TO BE FIRE-RETARDANT TREATED WOOD IN BUILDINGS OF NONCOMBUSTIVLE CONSTRUCTION (IBC TYPE I & II) AND IN RATED WALLS IN BUILDINGS OF COMBUSTIBLE CONSTRUCTION (IBC TYPE III, IV, & V).

D. PROVIDE CORNER GUARDS AS SHOWN GRAPHICALLY. SEE FINISH PLAN FOR COLORS & TYPES. ALL OUTSIDE CORNERS NOT SHOWN RECEIVING CORNER GUARDS ARE TO BE VERIFIED WITH ARCHITECT DURING BIDDING

E. PROVIDE GALVANIZED METAL STUDS AT ALL WET LOCATIONS.

F. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF THE GOVERNMENT AUTHORITIES HAVING JURISDICTION.

G. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS AND PROCEDURES OF ANY AND ALL AUTHORITIES HAVING JURISDICTION.

H. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND COORDINATES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.

I. CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY CONCERNS PRIOR TO STARTING WORK.

J. DO NOT SCALE THE DRAWINGS. IF A CONTRADICTION OCCURS WITHIN THE CONTRACT DOCUMENTS OR INFORMATION IS UNCLEAR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION.

K. CONTRACTOR & SUBCONTRACTORS SHALL COORDINATE WITH THE WORK OF OTHERS NOT INCLUDED IN THE CONTRACT AS DIRECTED BY THE OWNER.

L. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF INTERIOR FINISH OF WALL, U.N.O. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FINISHED FACE TO EXTERIOR FINISHED FACE, U.N.O.

M. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.

N. THE WORD ALIGN AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

O. ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.

P. A THERMAL BREAK IN THE CONCRETE FLOOR SLAB IS REQUIRED AT ALL EXTERIOR DOOR LOCATIONS: SEE DOOR DETAILS FOR MORE INFORMATION

Q. "TYPICAL" (OR TYP.) AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS U.N.O

R. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED TO MEET REQUIRED RATINGS. UTILIZE UL-APPROVED METHODS

S. PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES

T. ALL ROOMS TO RECEIVE ROOM AND NUMBER SIGNAGE ADJACENT TO DOOR, COORDINATE BLOCKING REQUIREMENTS WITH SIGN VENDOR.

U. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP. UNLESS NOTED OTHERWISE.

V. ALL GYPSUM BOARD INTERIOR SURFACES TO RECEIVE A LEVEL 4 FINISH AND PRIME COAT FOR FUTURE PAINTING APPLICATION

W. ALL PARTITIONS TO BE TYPE P1 AND EXTEND TO THE UNDERSIDE OF FLOOR/ROOF DECK UNLESS NOTED OTHERWISE

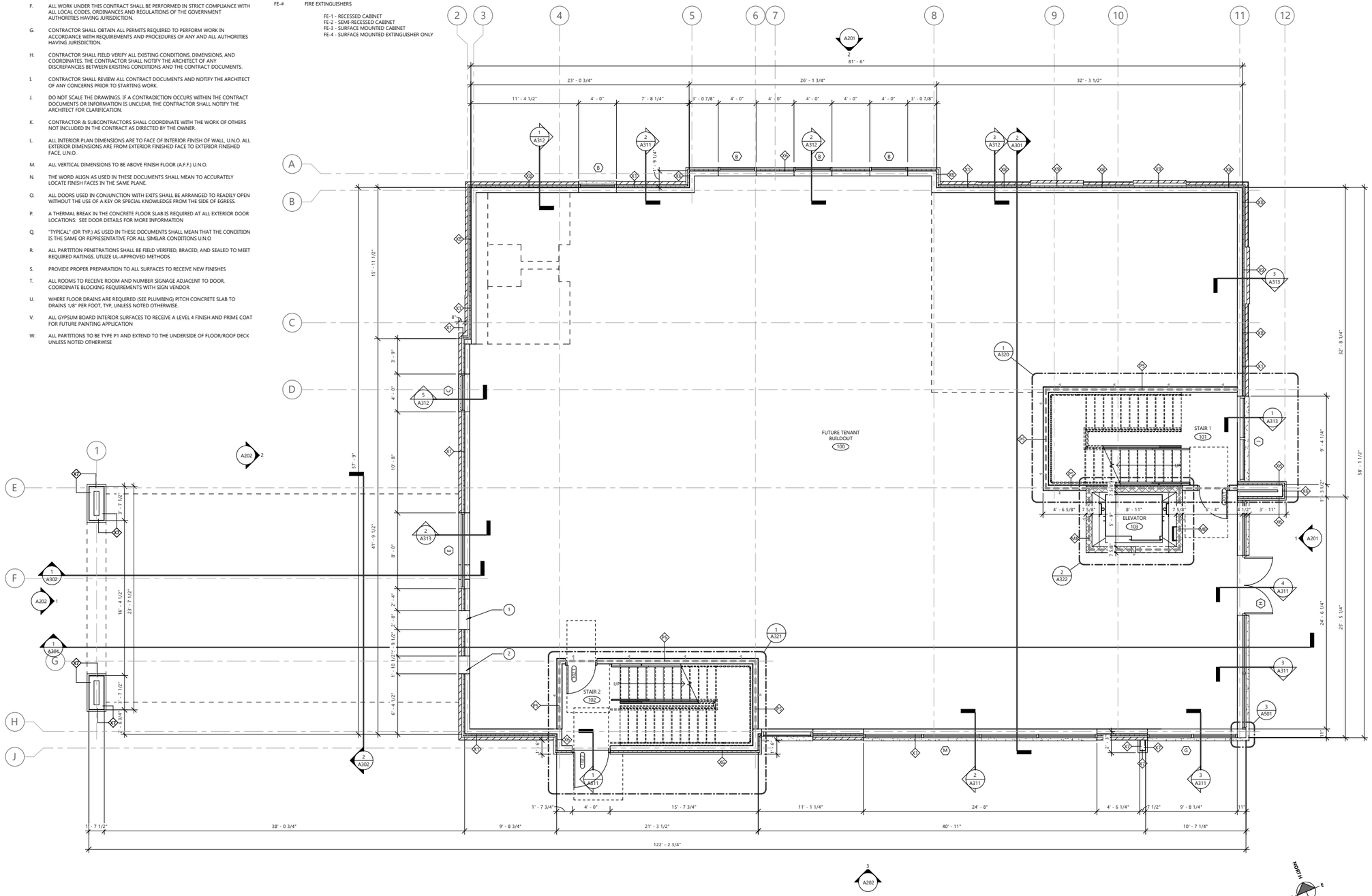
FLOOR PLAN - SYMBOL KEY

REMOVED WALL
EXISTING WALL TO REMAIN
NEW WALL
REMOVED DOOR
EXISTING DOOR TO REMAIN
NEW DOOR
WALL TYPE TAG. SEE WALL TYPES SHEET FOR ADDITIONAL INFORMATION
DOOR TAG
NEW MILLWORK. SEE INTERIOR ELEVATIONS AND DETAILS
FE-# FIRE EXTINGUISHERS

FE-1 - RECESSED CABINET
FE-2 - SEMI-RECESSED CABINET
FE-3 - SURFACE MOUNTED CABINET
FE-4 - SURFACE MOUNTED EXTINGUISHER ONLY

KEYED FLOOR PLAN NOTES - LEVEL 1

TAG #	DESCRIPTION
1	ATM ROUGH OPENING
2	NIGHT DROP ROUGH OPENING



1 A101 LEVEL 1 - FLOOR PLAN
1/4" = 1'-0"

GROTH Design Group

700 W VIRGINIA AVE
SUITE B105
MILWAUKEE, WISCONSIN 53204

PH. (414) 810-7613

PROJECT

NEW BUILDING FOR:
BMO - HILLDALE

4501 VERNON BOULEVARD
MADISON, WI 53705

ISSUE

NO.	REV. DATE	DESCRIPTION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFO

Date
02.08.2019

Project No.
18.129

SHEET TITLE
FLOOR PLAN - LEVEL 1

A101

OWNER REVIEW SET

4/22/2019 2:10:57 PM

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FLOOR PLAN GENERAL NOTES:

A. SEE WALL SCHEDULE FOR WALL ASSEMBLY INFORMATION. NOTE: SEE SECTIONS AND ELEVATIONS FOR CHANGES IN MATERIALS/WALL TYPES/ACCENT-ELEMENTS THAT MAY NOT BE INDICATED AT PLAN CUT.

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NEW MILLWORK. SEE INTERIOR ELEVATIONS AND DETAILS
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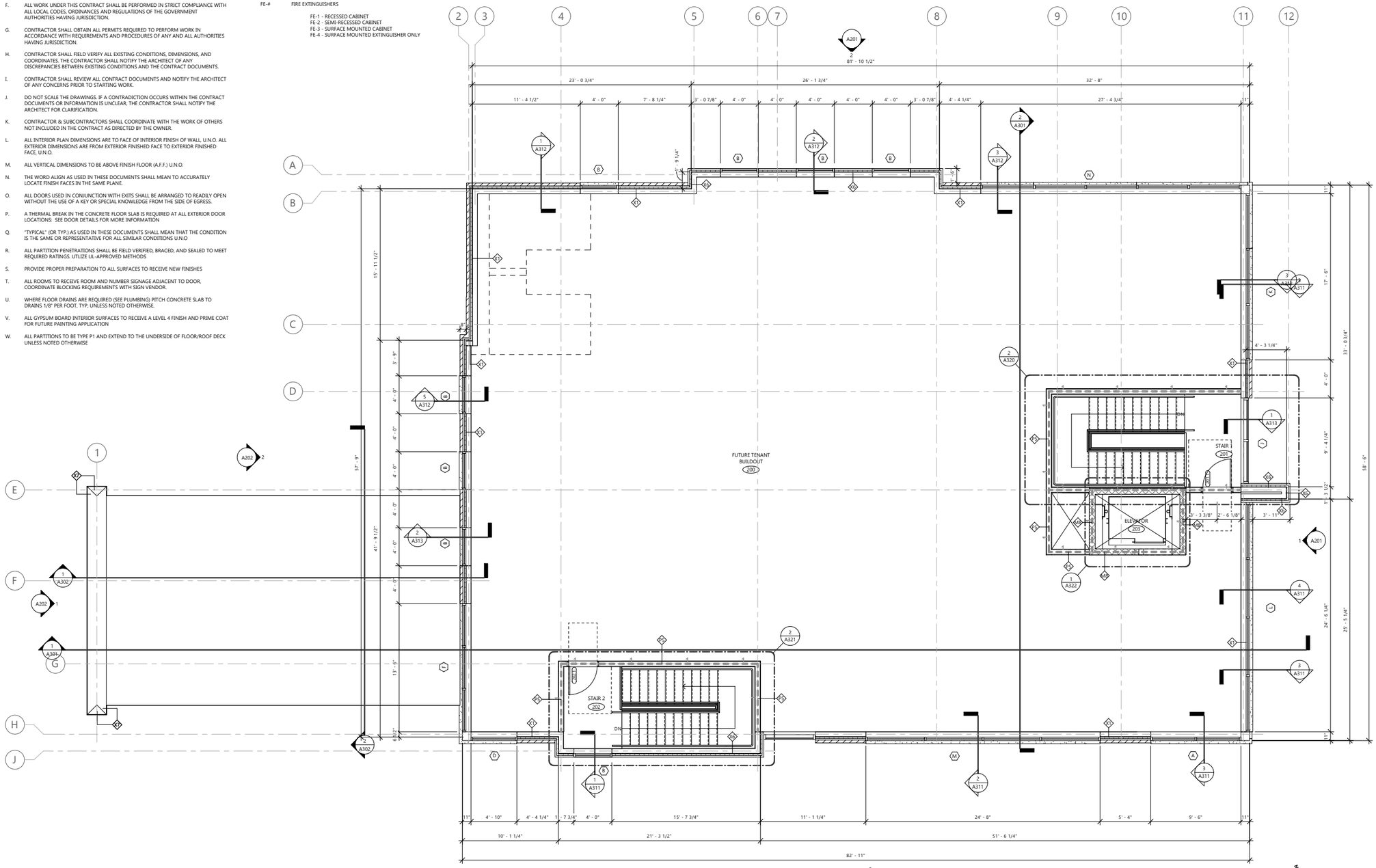
FE-1 - RECESSED CABINET
FE-2 - SEMI-RECESSED CABINET
FE-3 - SURFACE MOUNTED CABINET
FE-4 - SURFACE MOUNTED EXTINGUISHER ONLY

KEYED FLOOR PLAN NOTES - LEVEL 2

TAG #	DESCRIPTION



1 LEVEL 2 - FLOOR PLAN
A102
1/4" = 1'-0"

GROTH Design Group

700 W VIRGINIA AVE
SUITE 8-105
MILWAUKEE, WISCONSIN 53204

PH. (414) 810-7613

PROJECT

NEW BUILDING FOR:
BMO - HILLDALE

4501 VERNON BOULEVARD
MADISON, WI 53705

ISSUE

NO. REV. DATE DESCRIPTION

PROGRESS DOCUMENTS

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PROJECT INFO

Date
02.08.2019

Project No.
18.129

SHEET TITLE

FLOOR PLAN - LEVEL 2

A102

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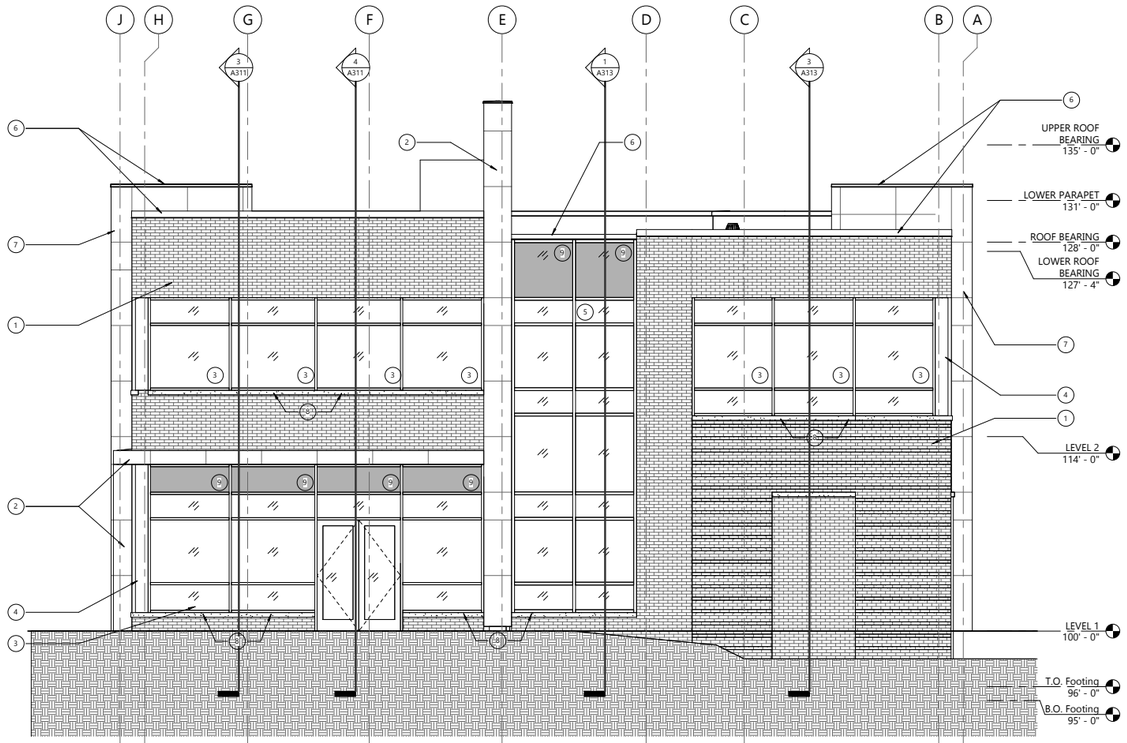
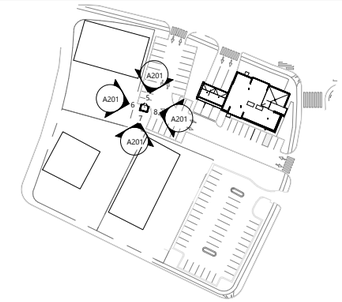
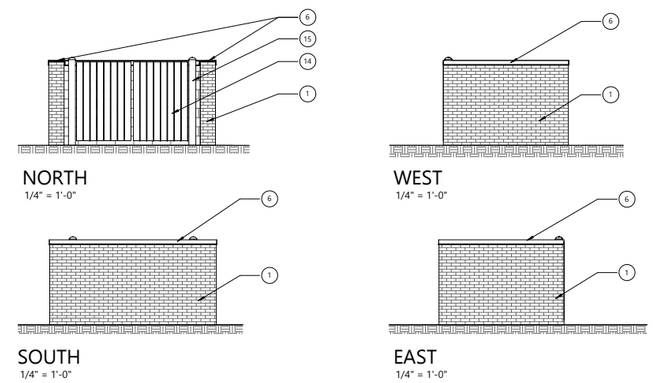


1 A101 A201 EAST
1/4" = 1'-0"



3 A201 A201 SITE PLAN-TRASH ENCLOSURE
1" = 80'-0"



4 A201 TRASH ENCLOSURE ELEVATIONS
1/4" = 1'-0"

KEYED EXTERIOR ELEVATIONS	
TAG #	DESCRIPTION
1	BRICK VENEER; BRAMPTON BRICK - ARCHITECTURAL SERIES COLOR: GRAY - FINISH: VELOUR
2	MWP-1: BLUE ACM PANEL - COLOR: MATCH BMO STANDARDS
3	THERMALLY BROKEN ALUMINUM STOREFRONT WINDOW SYSTEM - COLOR/FINISH: CLEAR ANNODIZED
4	PRE-FINISHED METAL WRAP COLUMN - COLOR: MATCH WINDOW SYSTEM
5	THERMALLY BROKEN ALUMINUM CURTAIN WALL SYSTEM - COLOR/FINISH: CLEAR ANNODIZED
6	PRE-FINISHED METAL FLASHING - COLOR: MATCH BMO STANDARDS
7	MWP-2: GREY ACM PANEL - COLOR: MATCH BMO STANDARDS
8	PRECAST CONCRETE SILL - COLOR: MATCH BMO STANDARDS
9	SPANDREL GLAZING PANEL - COLOR: MATCH BMO STANDARDS: HARMONY SOLEX 2-743
10	ATM ROUGH OPENING
11	NIGHT DROP ROUGH OPENING
12	TRANSACTION DRAWER ROUGH OPENING
14	1x6 GATE
15	6" DIAMETER POST W/ COVER

GROTH Design Group

700 W VIRGINIA AVE
SUITE B105
MILWAUKEE, WISCONSIN 53204

PH. (414) 810-7613

PROJECT

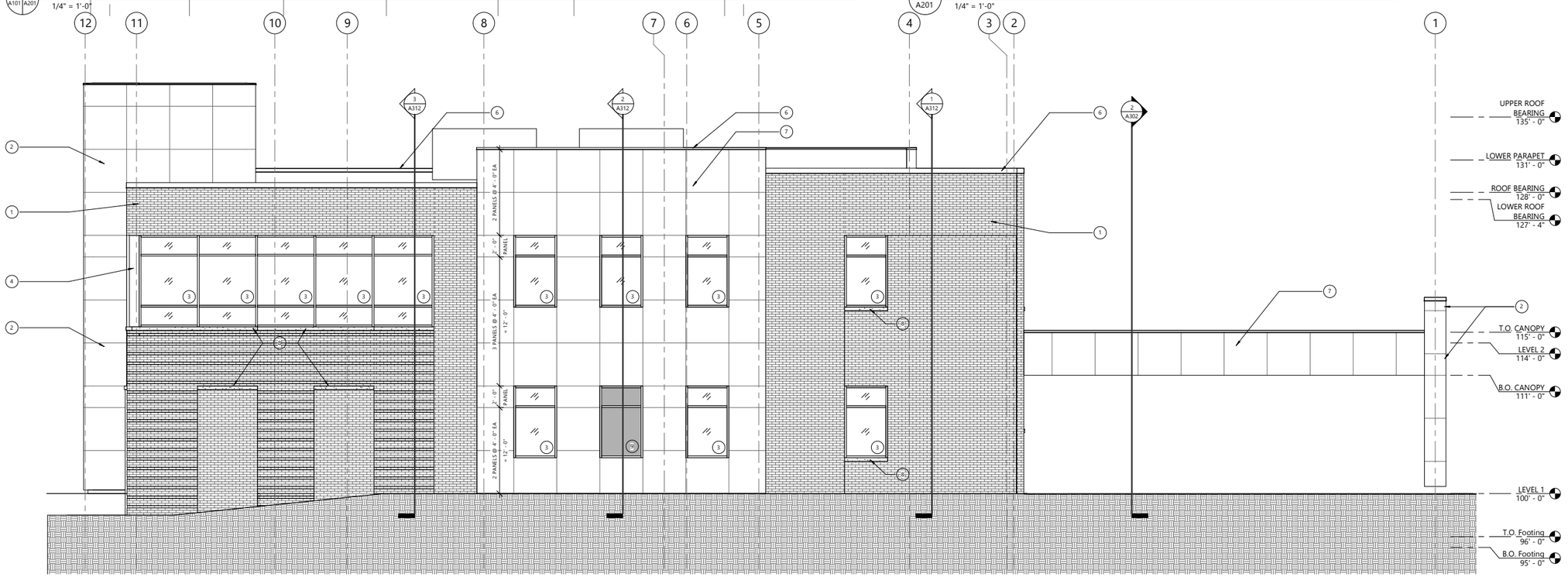
NEW BUILDING FOR:

BMO - HILLDALE

4501 VERNON BOULEVARD MADISON, WI 53705

ISSUE

NO.	REV. DATE	DESCRIPTION



2 A101 A201 NORTH
1/4" = 1'-0"

PROGRESS DOCUMENTS

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PROJECT INFO

Date
02.08.2019

Project No.
18.129

SHEET TITLE

BUILDING ELEVATIONS

A201

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4/22/2019 2:11:02 PM

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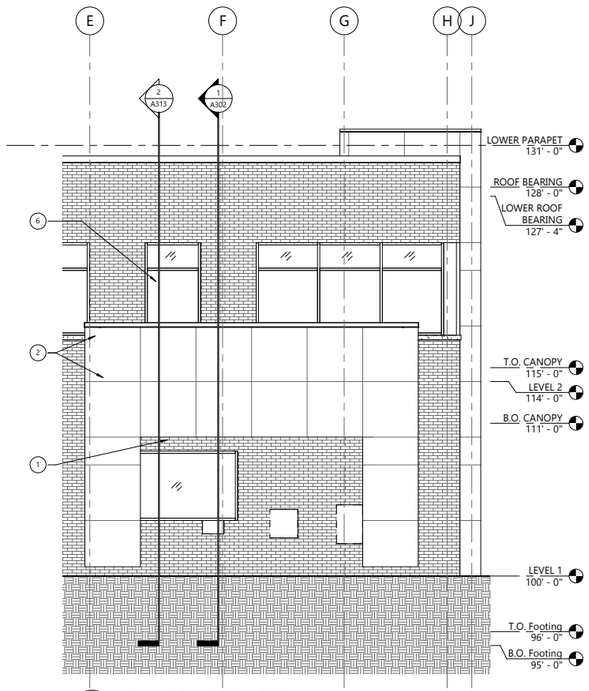
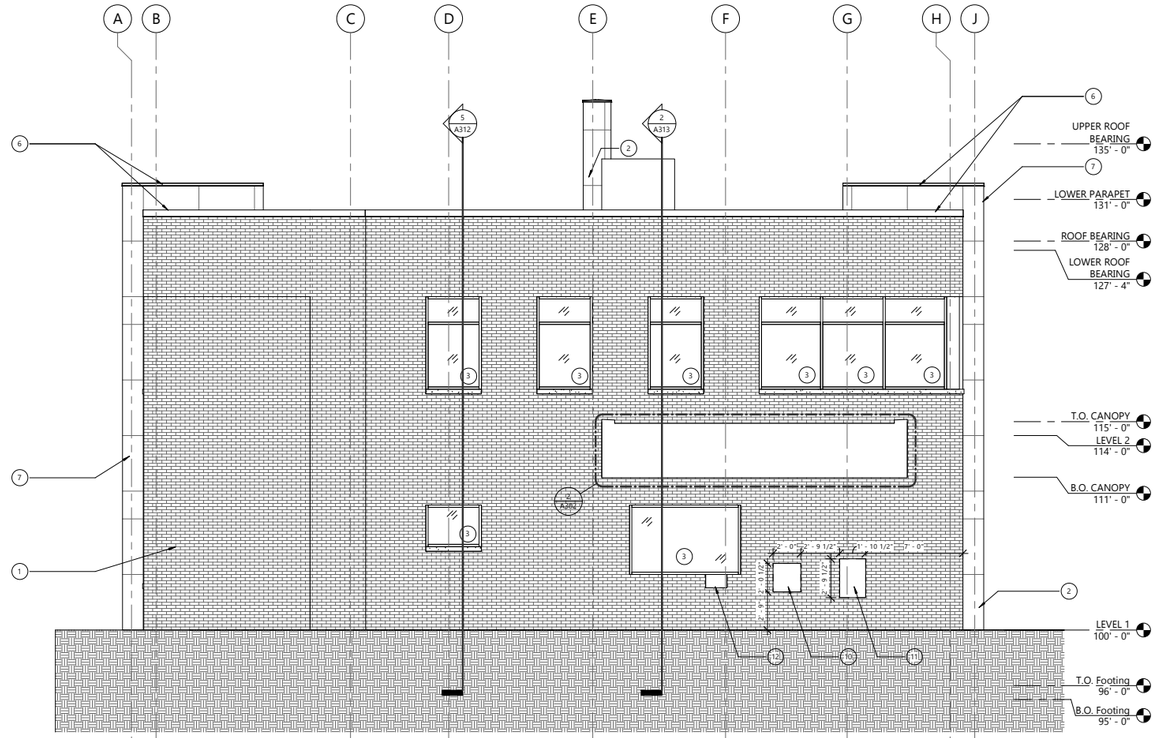
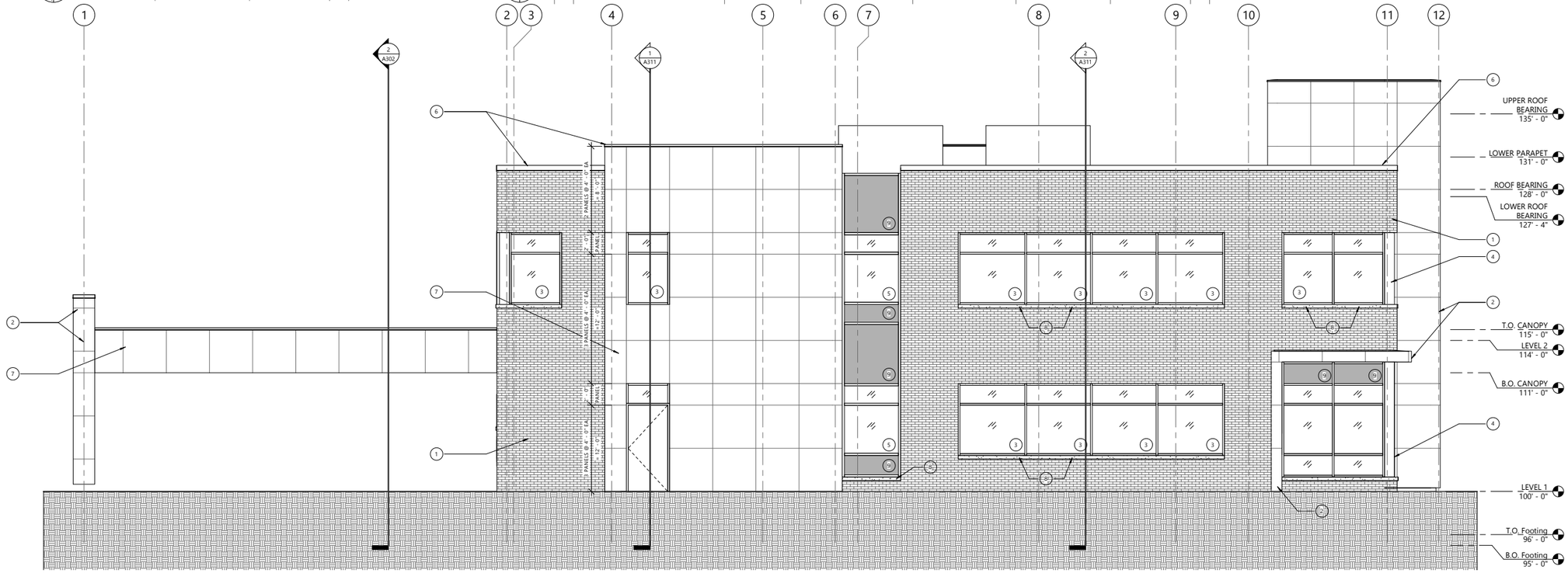


1 A101 A202 CANOPY ELEVATION
1/4" = 1'-0"



2 A101 A202 WEST
1/4" = 1'-0"



3 A101 A202 SOUTH
1/4" = 1'-0"

KEYED EXTERIOR ELEVATIONS	
TAG #	DESCRIPTION
1	BRICK VENEER; BRAMPTON BRICK - ARCHITECTURAL SERIES COLOR: GRAY - FINISH: VELOUR
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10	ATM ROUGH OPENING
11	NIGHT DROP ROUGH OPENING
12	TRANSACTION DRAWER ROUGH OPENING
14	1x6 GATE
15	6" DIAMETER POST W/ COVER

GROTH
Design
Group

700 W VIRGINIA AVE
SUITE B105
MILWAUKEE, WISCONSIN 53204

PH. (414) 810-7613

PROJECT

NEW BUILDING FOR:
BMO - HILLDALE

4501 VERNON BOULEVARD
MADISON, WI
53705

ISSUE

NO.	REV. DATE	DESCRIPTION

PROGRESS DOCUMENTS

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PROJECT INFO

Date
02.08.2019

Project No.
18.129

SHEET TITLE

BUILDING ELEVATIONS

A202

OWNER REVIEW SET

4/22/2019 2:11:09 PM

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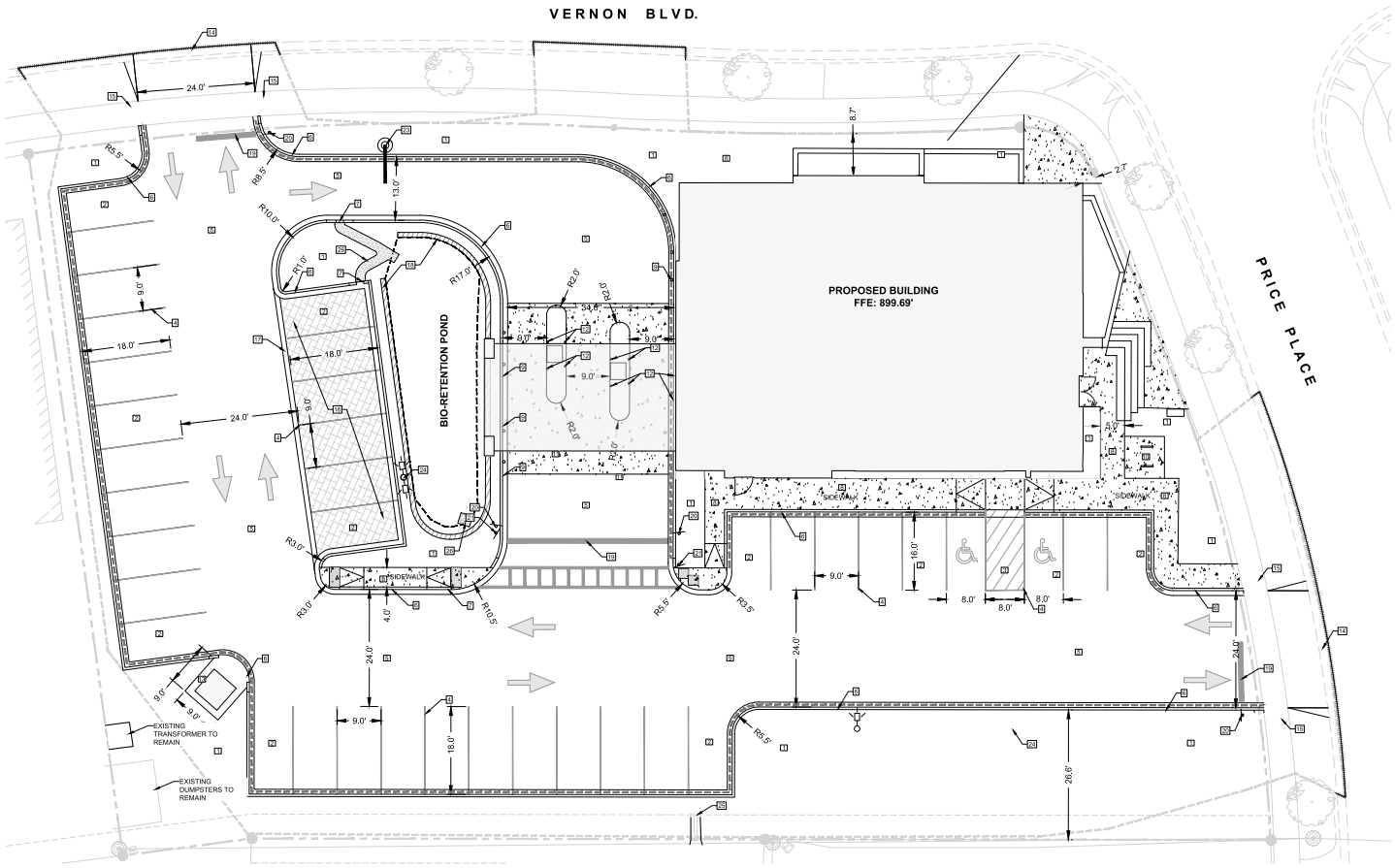


SITE INFORMATION

ZONING DISTRICT: SE – SUBURBAN EMPLOYMENT

TOTAL SITE AREA: 33,487 SF / 0.77 ACRES

TOTAL DISTURBED AREA: 33,156 SF / 0.76 ACRES

PAVED AREA: 15,202 SF

BUILDING AREA: 4,993 SF

CANOPY AREA: 852 SF

SIDEWALK AREA:1,720 SF

IMPERVIOUS AREA: 22,767 SF / 67.99% (LOT COVERAGE)

PERVIOUS AREA: 10,720 SF / 32.01% (LOT COVERAGE)

PARKING STALL COUNT

STANDARD PARKING:

9'x16' STALLS	7 STALLS
9'x18' STALLS	28 STALLS
ADA PARKING	2 STALLS WITH LOADING ZONE

TWO ADA PARKING STALL MUST BE PROVIDED.

TWO ADA PARKING STALLS ARE SHOWN ON THE PLANS.

BUILDING SETBACKS

FRONT: 0'
SIDE: 15' OR 20% OF BUILDING HEIGHT
REAR: 30'

UTILITY COMPANY INFORMATION

ELECTRICITY – MG&E – 608-252-7373

NATURAL GAS – MG&E – 608-252-7373

SANITARY SEWER – CITY MADISON – 608 266-4751

WATER SERVICE – CITY OF MADISON – 608 266-4651

FIRE LANE:

PRICE PLACE AND VERNON BOULEVARD WILL ACT AS THE FIRE LANE ACCESS TO THE BUILDING.

NOTE:

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON AND ADJACENT TO THE SITE PRIOR TO THE START OF THE PROJECT.

RADII ARE FROM FACE OF CURB

DIMENSIONS ARE FROM FACE OF CURB

SITE PLAN KEYNOTES

1. LANDSCAPE AREA.
2. OFF-STREET PARKING STALLS
   STRIPING – 4" WIDE STALL LINES, USE HIGH VISIBILITY WHITE PAINT.
   SPACES PROVIDED
   (7) 9'X16' GENERAL PARKING
   (2) 9'X16' ACCESSIBLE PARKING WITH
   (1) 9'X16 LOADING ZONE
   (28) 9'X18' GENERAL PARKING
3. A.D.A. ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS.
4. 4" WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS
   COLOR: WHITE
   PAINT SHALL BE SHERWIN WILLIAMS SETFAST PREMIUM ALKYD ZONE MARKING PAINT
5. 4" ASPHALT PAVING, SEE DETAIL ON SHEET C4.2
6. CONCRETE CURB AND GUTTER, SEE DETAIL ON SHEET C4.2
7. 18" WIDE CURB CUTS FOR STORMWATER ACCESS TO BIO-RETENTION AREA
8. 5" CONCRETE SIDEWALK, SEE DETAILS ON SHEET C4.2
9. 48" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD SEE DETAIL ON SHEET C4.2
10. 2 INVERTED-U BIKE RACKS WITH 5' CLEARANCE. BIKE RACKS WILL BE FRANCES ANDREW LOOPY SERIES 21 # L21-BK32 BOLT DOWN, SEE DETAIL ON SHEET C4.2.
11. 4-0"x 20'-0" CONCRETE ISLANDS W/ 6" EXPOSURE
12. 48" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD SEE DETAIL ON SHEET C4.2
13. EXTERNAL TRASH ENCLOSURE, SEE ARCHITECTURAL DETAILS.
14. MAINTAIN GUTTER FLOWLINE IN STREET WITH NEW DRIVEWAY SECTION
15. REPAIR AND REPLACE EXISTING SIDEWALK WITH TRUNCATED DOMES AT DRIVEWAY CROSSINGS
16. PERMEABLE PAVERS, SEE DETAILS ON C4.3
17. 12" CONCRETE RIBBON CURB
18. CAST IN PLACE CONCRETE RETAINING WALL (EXACT DESIGN TO BE DETERMINED)
19. PAINTED STOP BAR PER CITY OF MADISON STANDARDS
20. STOP SIGN PER DETAIL ON C4.3
21. DO NOT ENTER SIGN, SEE DETAIL ON C4.3
22. ADA PARKING STALLS AND SIGNAGE, SEE DETAIL ON C4.2
23. DRIVE-UP HEIGHT RESTRICTION BAR, SEE DETAIL ON C4.3
24. SITE LIGHT POLE LOCATION, SEE SHEET C5.0 FOR POLE & LIGHT INFORMATION
25. EXISTING CONCRETE FLUME TO BE DIRECTED TO NEW STORM INLET
26. 2" TO 6" ROCK MULCH, SEE LANDSCAPING PLANS

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON AND ADJACENT TO THE SITE PRIOR TO THE START OF THE PROJECT.
2. RADII ARE FROM FACE OF CURB, DIMENSIONS ARE FROM FACE OF CURB
3. EXISTING SURVEY PROVIDED BY OTHERS.
4. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

NORTH

0 10 20
SCALE: 1" = 10'

MARK	REVISION	DATE	BY

Engineer: SJA | Checked By: SJA | Scale: NOTED
Technician: MW | Date: 4/24/2019 | Field Bk: | Pg:

Project No: 118.1077.30

C 1.0

BMO BANK - HILLDALE

SITE PLAN

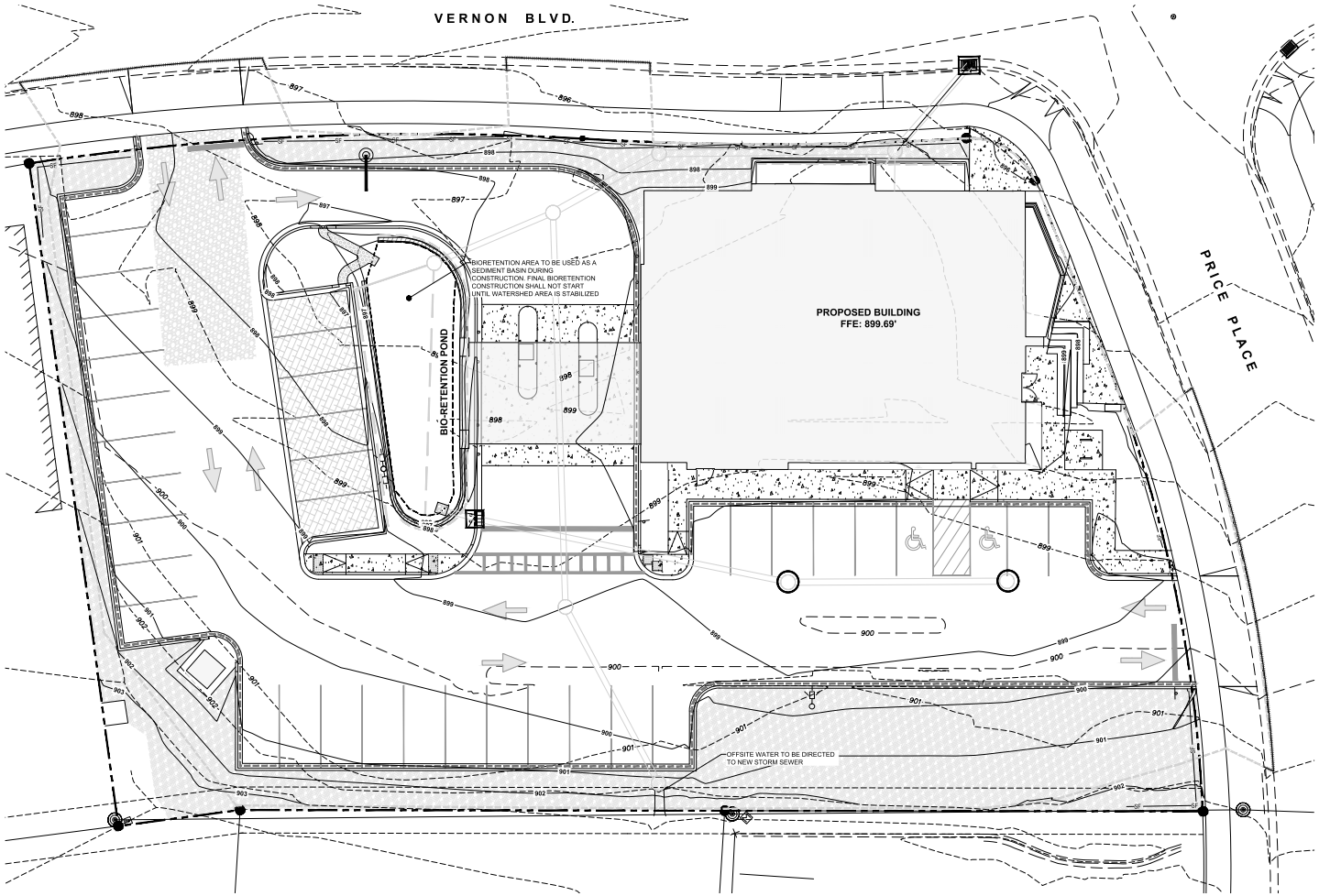
MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC.
5910 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 118.1077.30

C 2.0



EROSION CONTROL NOTES

1. BEFORE BUILDING DEMOLITION STARTS, ALL PERIMETER EROSION CONTROL SHALL BE INSTALLED. ONCE BUILDING FOOTINGS AND FOUNDATIONS ARE REMOVED, SEDIMENT BASIN SHALL BE INSTALLED AND SITE ROUGH GRADING SHALL DIRECT ALL STORMWATER TO IT.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WISCNR WPDES DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND LOCAL EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
4. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD, FOUND AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
5. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT.
6. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. REPAIRS SHALL BE MADE IMMEDIATELY TO EROSION CONTROL PRACTICES AS NECESSARY.
7. TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 10 DAYS. PERIMETER CONTROL ON THE DOWNHILL SIDE SHALL BE IN PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).
8. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
9. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
10. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF SEDIMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DAMPING SUPPRESSION IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
11. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
12. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL AND/OR SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
13. TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.
14. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
15. SEEDING SHALL BE COMPLETED BETWEEN APRIL 15 AND SEPTEMBER 15. ANY SEEDING NOT COMPLETED BY SEPTEMBER 15 MUST BE ACCOMPLISHED USING SOD BY NOVEMBER 15.
16. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
17. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THEIR ABSENCE ON THE DRAWINGS DOES NOT ALLEVIATE THE CONTRACTOR FROM PROVIDING THEM. ANY MEASURES AND FACILITIES SHOWN ON THE DRAWINGS ARE THE MINIMUM ACTIONS REQUIRED.
18. ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.
19. AFTER FINAL VEGETATION IS ESTABLISHED, REMOVE ALL EROSION CONTROL FACILITIES. RESTORE AREAS DISTURBED BY THE REMOVALS.
20. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
21. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARDS.
22. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
23. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I, TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S FAL; INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.
24. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

EROSION CONTROL KEY

- INLET PROTECTION TYPE D (FLEXSTORM)
- AREA TO RECEIVE GRASS SOD OR LANDSCAPE TREATMENT. SEE LANDSCAPE PLAN
- CONSTRUCTION ENTRANCE
- SILT FENCE

GENERAL NOTES

1. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
2. THE PROPOSED BIORETENTION BASIN WILL BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION.

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TOLL FREE

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NORTH

0 10 20
SCALE: 1" = 10'

MARK	REVISION	DATE	BY

Engineer: SJA | Checked By: SJA | Date: 4/24/2019 | Scale: NOTED | Field Bk: | Pg:

Project No: 118.1077.30

C 3.0

BMO BANK - HILLDALE

GRADING & EROSION CONTROL PLAN

SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

MADISON, WISCONSIN

SNYDER & ASSOCIATES

Project No: 118.1077.30

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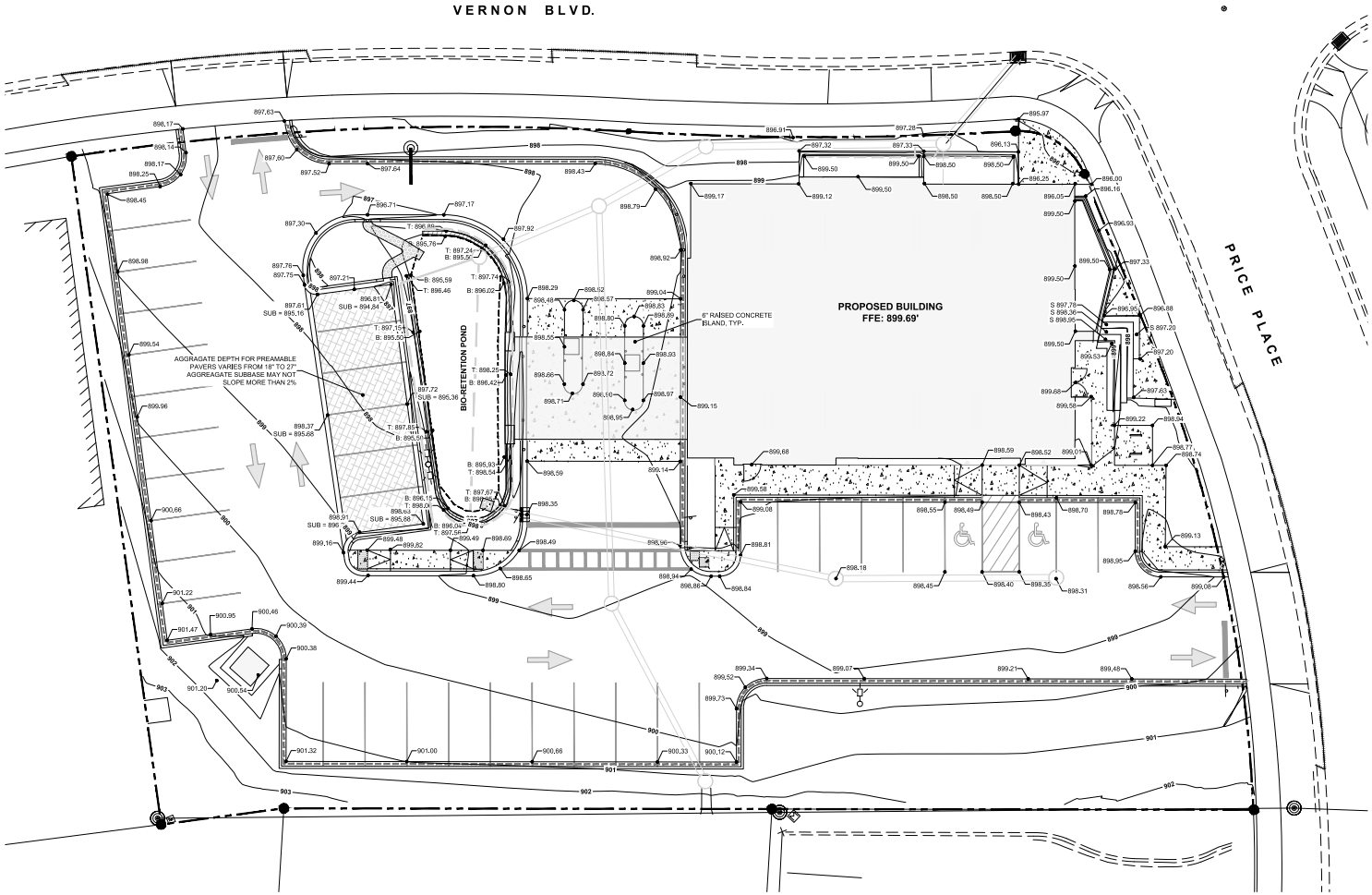

GRADING KEY NOTES

ALL SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE MARKED
T = TOP OF WALL
B = BOTTOM OF WALL
S = STAIR TREAD ELEVATION
SUB = BOTTOM OF GRANULAR FILL FOR PERMEABLE PAVERS

PROPOSED STAIRS IN FRONT OF BUILDING ARE ASSUMED 7" RISERS
SEE LANDSCAPE PLAN FOR MORE DETAILS

AREAS WITH REJECT CURB

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MADISON, WISCONSIN

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SPOT GRADING DETAIL

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SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES

Project No: 118.1077.30

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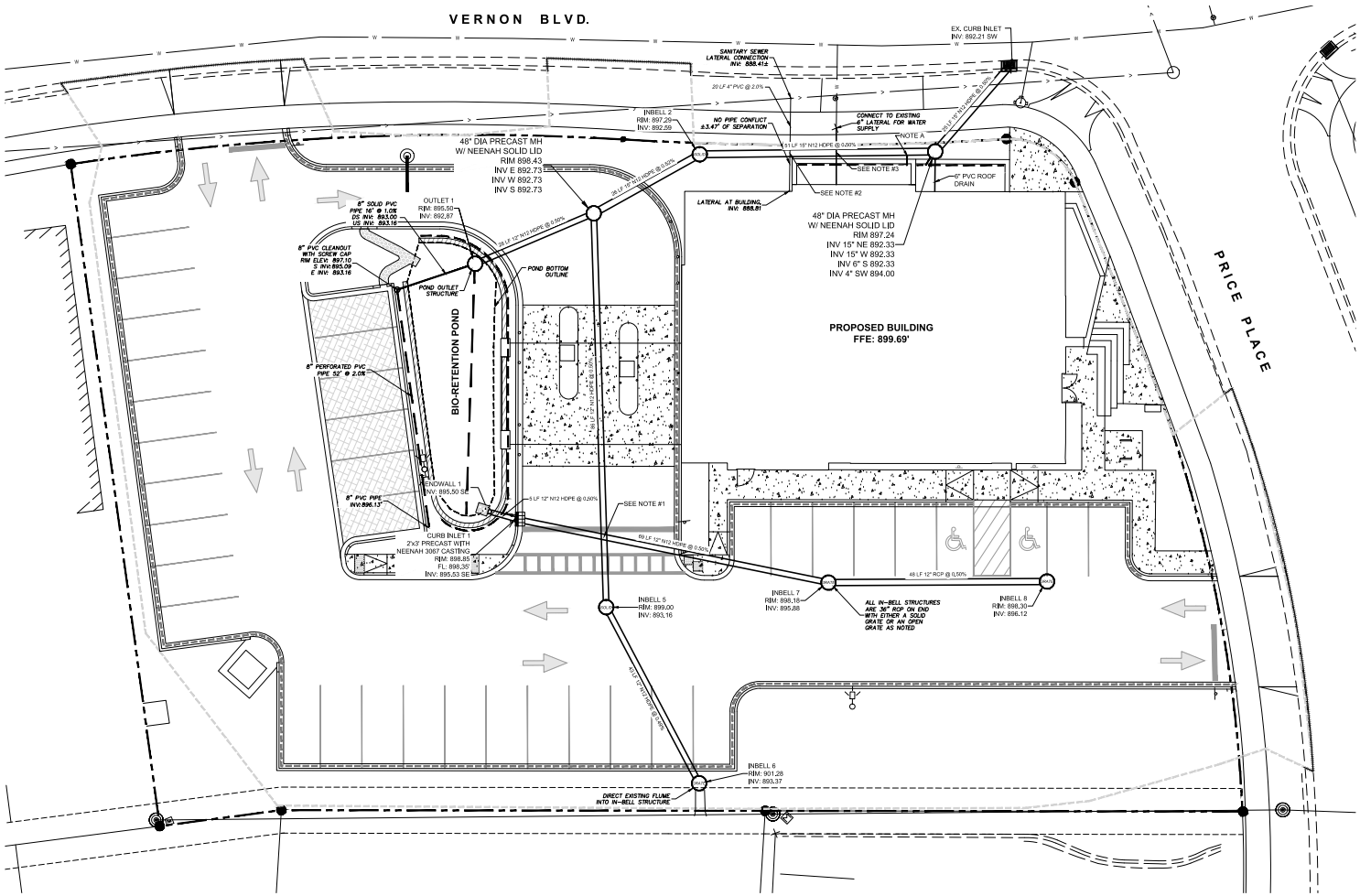

PIPE CROSSING CONFLICT CHECK

#1 BOTTOM OF 12" HDPE STORM SEWER PIPE = 895.62'
TOP OF 12" HDPE STORM SEWER PIPE = 894.20'

#2 BOTTOM OF 12" HDPE STORM SEWER PIPE = 892.50'
TOP OF 4" PVC SANITARY SEWER PIPE = 888.98'

#3 BOTTOM OF 12" HDPE STORM SEWER PIPE = 892.45'
TOP OF 6" D.I. WATER LATERAL SHALL BE = 890.95' MAX DEPTH OF EXISTING LATERAL UNKNOWN, CONTRACTOR TO FIELD VERIFY AND MAINTAIN 18" SEPARATION BETWEEN PIPES

GENERAL NOTES

A. TEE IN 4" DRAINTILE INTO PROPOSED 12" STORM PIPE.

B. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTRACT CITY FORESTRY (26-4816) PRIOR TO EXCAVATION TO ACCESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVAL THAT ARE NOT SPECIFICALLY IDENTIFIED IN THE CONSTRUCTION PLAN IS APPROVED. THE REQUIRE APPEAL ATTACHED TO THE PLAN. ANY TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

C. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

D. PROPOSED 32' LONG 6" PERFORATED UNDERDRAIN SET AT ELEVATION 1045.5'. 6" PVC CLEANOUT AT DRAINTILE END SHALL BE INSTALLED 18" ABOVE BOTTOM OF BASIN AT ELEVATION 1049.5' AND HAVE A SCREW ON CAP.

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TOLL FREE

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NORTH

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SCALE: 1" = 10'

MARK	REVISION	DATE	BY

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Technician: MW | Date: 4/24/2019 | Field Bk: | Pg:

Project No: 118.1077.30

C 3.2

BMO BANK - HILLDALE

UTILITY PLAN

MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 118.1077.30

C 3.2

Parking Lot Lighting
BMO Bank - Hilldale
Madison, WI

April 19, 2019

Assumptions:

Mounting height - 25 ft (All Fixtures) - 2 poles with 3 fixtures.
Analysis does not include canopy fixtures at bank drive-up.
Red Highlighted values are max values for either parking lot or property line.

Luminaire Schedule						
Symbol	Qty	Label	Lum. Watts	Lum. Lumens	LLF	Description
	3	et3p35-8014k	92.9	10306	0.850	ET3P35-8014K - Kim Lighting

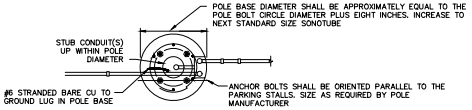
Illumination Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Fc	0.86	1.82	0.00	N.A.	N.A.
Property Line @ 4'	Fc	0.13	0.35	0.00	N.A.	N.A.
Property Line @ Ground Level	Fc	0.18	0.48	0.00	N.A.	N.A.

Isoline Legend

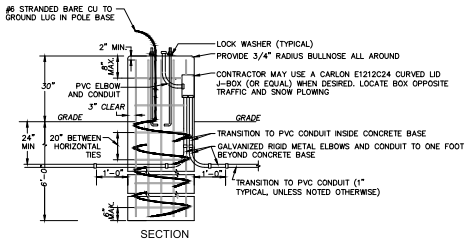
Value (Fc)	Color	Value (Fc)	Color	Value (Fc)	Color
0.01		0.75		3	
0.1		1		4	
0.25		1.5		5	
0.5		2		10	

SNYDER & ASSOCIATES

S&A Project No.: 118.1077.30



PLAN



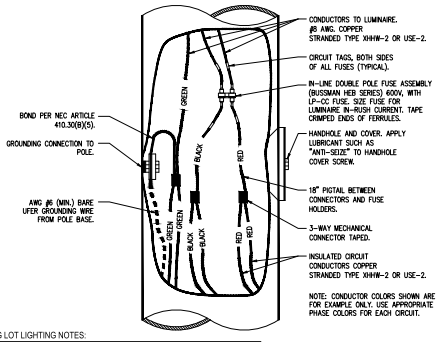
SECTION

CONCRETE AND HARDWARE NOTES:
1. USE ANCHOR BOLTS FURNISHED BY POLE MANUFACTURER. VERIFY BOLT CIRCLE DIAMETER WITH MANUFACTURER.
2. APPLY "ANTI-SEIZE" LUBRICANT TO ALL ANCHOR BOLT THREADS.
3. USE #4 REBAR (TYPICAL).
4. THE EXPOSED SIDES OF THE CONCRETE BASE SHALL HAVE THE FORMS REMOVED AND THE CONCRETE RUBBED OUT TO A SMOOTH FINISH.
5. THE TOP OF THE CONCRETE BASE SHALL HAVE A BRUSH FINISH.
6. PROVIDE 3/4" RADIUS BULLNOSE ON TOP EDGE OF CONCRETE.

CONDUIT AND BOX NOTES:
1. AT CONTRACTOR'S OPTION, CONTRACTOR MAY USE A CURVED LID J-BOX RECESSED IN THE POLE BASE FOR ROUTING MULTIPLE CONDUITS TO/FROM A POLE. OTHERWISE CONDUITS SHALL BE STUBBED OUT THE TOP OF THE CONCRETE BASE WITHIN THE POLE DIAMETER.
2. WHEN USED, JUNCTION BOX SHALL FACE OPPOSITE TRAFFIC AND SNOW PLOWING.
3. PROVIDE A SPARE CONDUIT STUB AT EACH END-OF-LINE FIXTURE. SEE PLANS FOR ADDITIONAL SPARE STUBS.
4. PROVIDE A BUSHING ON ALL EXPOSED CONDUIT ENDS.

CONCRETE ENCASED (UFER) GROUNDING SYSTEM NOTES:
1. PROVIDE ERICO EK16 DIRECT BURY CLAMP (OR EQUAL) AT TOP OF REBAR CAGE.
2. PROVIDE 23' OF #6 BARE COPPER STRANDED GROUNDING ELECTRODE CONDUCTOR.
3. EXTEND 3' OF CONDUCTOR OUT THE TOP OF POLE BASE FOR POLE GROUNDING.
4. SPIRAL 10' MINIMUM OF CONDUCTOR AROUND OUTSIDE OF REBAR CAGE.
5. LOOP REMAINING CONDUCTOR AROUND REBAR CAGE AT BOTTOM OF POLE BASE IN CONTACT WITH EARTH.

1 / C5.0 CONCRETE BASE DETAIL
SCALE: NTS



PARKING LOT LIGHTING NOTES:

1. ALL CONDUIT SHALL BE 1.5" DIA. AND EITHER RIGID PVC OR DIRECTIONAL BORED HDPE CONDUIT, UNLESS OTHERWISE SPECIFIED. CONDUIT MUST BE BORED INTO PLACE UNDERNEATH ALL EXISTING PAVEMENT. TRENCHING WILL BE ALLOWED IN ALL OTHER LOCATIONS. ALL CONDUIT SHALL BE INSTALLED AT LEAST 30" BELOW EXISTING OR FINAL GRADE. INSTALL SPARE CONDUIT STUB OUT OF EACH FOOTING.
2. SERVICE VOLTAGE TO THE POLES IS 208-VOLT. PROVIDE #8 A.W.G., XHHW OR USE, CABLE TO EACH POLE. INSTALL 2-#8 A.W.G. CABLES WITHIN EACH POLE FROM THE FIXTURE TO POLE BASE.
3. ALL SPLICING SHALL BE COMPLETED WITHIN AN IN-GRADE HANDHOLE OR POLE BASE. SPLICING WITHIN A PULL BOX MUST BE COMPLETED USING A WATERTIGHT CONNECTION. SPLICE INTO LIGHTING CIRCUIT AT IN-GRADE HANDHOLE AT THE EXTERIOR OF THE BUILDING NEAR THE PHOTOCELL.
4. ALL HOLES RESULTING FROM CONSTRUCTION ACTIVITIES BY THE CONTRACTOR, INCLUDING UTILITY LOCATING, SHALL BE FILLED AND CONSOLIDATED TO FINISH GRADE, AS APPROVED BY ENGINEER. THE HOLES SHALL BE FILLED AS SOON AS PRACTICAL, PREFERABLY THE DAY CREATED, BUT NO LATER THAN THE FOLLOWING DAY.
5. POLE SHALL BE ROUND, STRAIGHT, GALVANIZED STEEL. POLE SHALL BE 20' HEIGHT, 5" DIAMETER, AND 0.12" MINIMUM WALL THICKNESS.
6. FIXTURE SHALL BE A HUBBELL OUTDOOR LIGHTING, CIMARRON SERIES LED, TYPE II AND IV DISTRIBUTIONS.
7. IN-GRADE HANDHOLES SHALL BE 11"X18"X18" AND RATED TIER 15.

2 / C5.0 POLE CUTAWAY DETAIL - (208 VOLTS, 1 PHASE)
SCALE: NTS

MARK	REVISION	DATE	BY

Engineer: SJA | Checked By: SJA | Scale: NOTED
Technician: MW | Date: 4/24/2019 | Field Bk: Pg

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MADISON, WISCONSIN

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BMO BANK - HILLDALE

SITE LIGHTING

SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES

Project No: 118.1077.30

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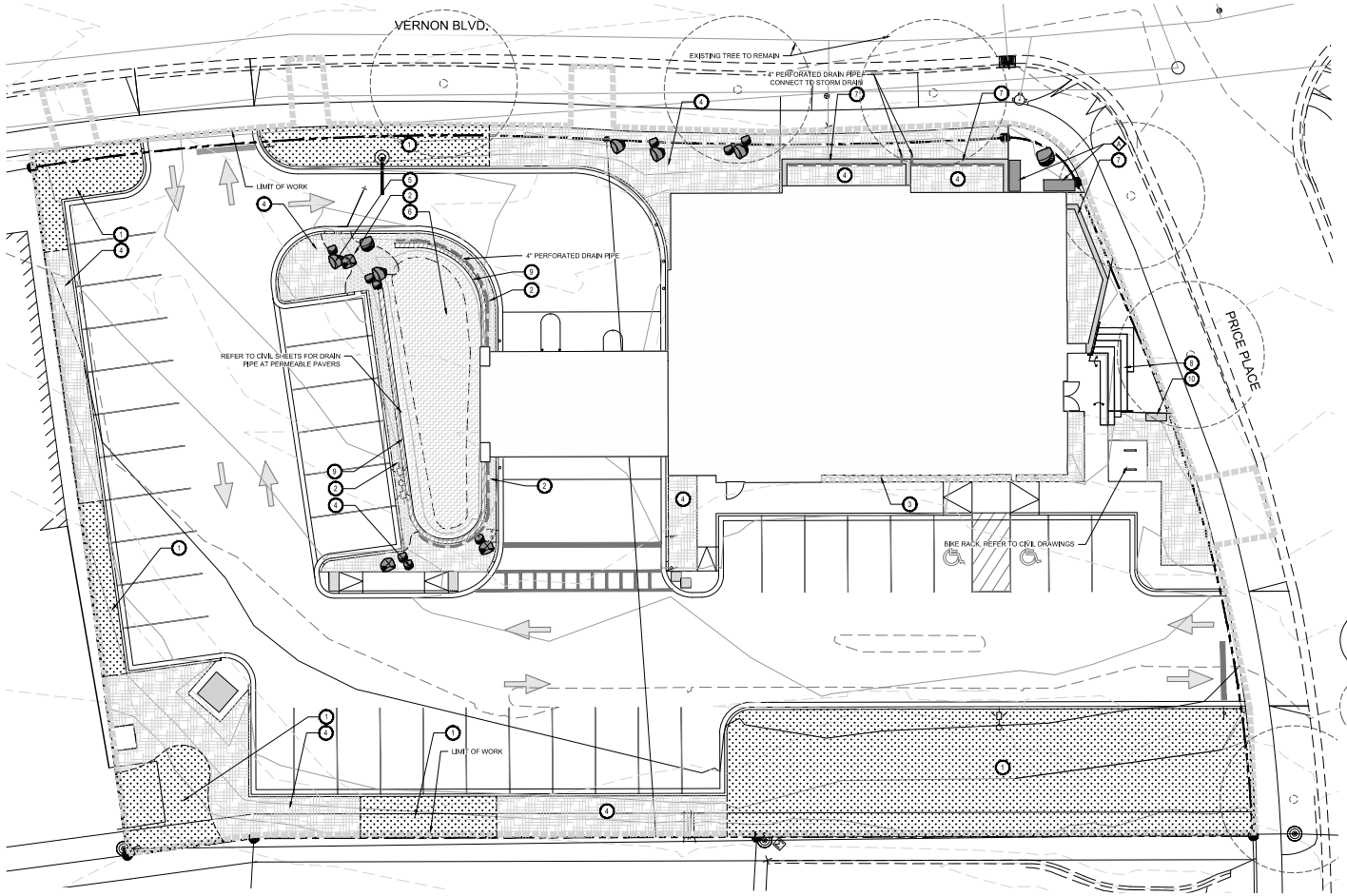

MATERIAL PLAN

LANDSCAPE CONSTRUCTION NOTES

1. SOD SHALL BE TFKB PROVIDED BY PAUL'S TURF AND TREE NURSERY SOD PRODUCTS (608.655.3600) OR APPROVED EQUAL 🌾 MIX OF TALL FESCUE AND KENTUCKY BLUEGRASS.
2. ROCK MULCH TYPE 1: 2-6" COBBLE MULCH PROVIDED BY MILESTONE MATERIALS OVER GEOTEXTILE WEED CONTROL FABRIC OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
3. ROCK MULCH TYPE 2: 3/4" DRESSER TRAP PROVIDED BY MILESTONE MATERIALS OVER GEOTEXTILE WEED CONTROL FABRIC OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
4. PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A 4" SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB.
5. BOULDERS RELOCATED FROM SITE. CONTACT LANDSCAPE ARCHITECT FOR BOULDER SELECTION AND PLACEMENT.
6. ALL BIORETENTION PLANTS SHALL BE INSTALLED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD CODE 1004 (BIORETENTION FOR INFILTRATION).
7. CMU RAISED PLANTER, REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH
8. STONE STAIRS WITH HANDRAIL, REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH
9. CAST IN PLACE WALL, REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH
10. CMU SEAT WALL, REFER TO L3.1 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH

MATERIAL & PLANTING LEGEND

- SOD (4,393 SF), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE
- NATIVE PLANT PLUGS AT 12" O.C.
- WOOD MULCH (34 CY - DOES NOT INCLUDE STAND-ALONE TREES OUTSIDE SHRUB BED AREAS). REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE
- BIORETENTION SHREDDED HARDWOOD MULCH PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES. STANDARD CODE 1004
- ROCK MULCH TYPE 1, REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE (3.50 CY)
- ROCK MULCH TYPE 2, REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE (.70 CY)
- SPADE CUT EDGER AT 4" DEPTH (190 LF)
- 4" PERFORATED DRAIN PIPE
- RELOCATED BOULDERS FROM SITE (19 TOTAL)
- OVERSTORY DECIDUOUS TREE
- EXISTING TREE TO REMAIN
- EVERGREEN TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- UPRIGHT EVERGREEN
- ORNAMENTAL GRASS

NORTH

0 5 10 20

SCALE 1" = 10'

WALL AND STAIR SCHEDULE (CONTRACTOR TO SUBMIT SAMPLES FOR ALL ITEMS IN MATERIAL SCHEDULE FOR OWNER / ARCHITECT REVIEW AND APPROVAL.)

DESCRIPTION	SIZE / DIMENSIONS	COLOR / FINISH	PROVIDER	NOTES
CAST IN PLACE CONCRETE WALL	REFER TO LANDSCAPE PLAN	STANDARD GRAY CONCRETE; PATTERN 18050	FITZGERALD FORMLINERS OR APPROVED EQUAL	CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL
CMU PLANTER BLOCK WALL & CMU SEAT WALL	5-5/8" X 7-5/8" X 15-5/8"	ECHELON VERASTONE; SUPERIOR COLOR	ECHELON BLOCK BY NORTHFIELD 262-338-5700	CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL. FULLY GROUTED CELLS
PRECAST CAP FOR CMU PLANTER BLOCK WALL	2-1/2" X 12" X 24"	WESTERN GOLD 5844 BY DAVIS COLORS	DAVIS COLORS (OR APPROVED EQUAL)	CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL
STONE STAIRS	A: 20" TREAD, 7" RISER, 48" LENGTH B: 20" TREAD, 7" RISER, 36" LENGTH	NATURAL BLUESTONE STEP	MADISON BLOCK AND STONE 608-249-5633	CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL

AMENITY SCHEDULE (CONTRACTOR TO SUBMIT SAMPLES FOR ALL ITEMS IN MATERIAL SCHEDULE FOR OWNER / ARCHITECT REVIEW AND APPROVAL.)

ITEM	DESCRIPTION	SIZE / DIMENSIONS	COLOR / FINISH	PROVIDER	NOTES
4	LEVIT BENCH	79" BENCH	CAST POLISHED STONE - GREY	LANDSCAPE FORMS (269-381-0396)	SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

MARK	REVISION	DATE	BY

Engineer: ATM | Checked By: SJA | Scale: 1" = 10'-0"
Technician: TECH | Date: 4/24/2019 | File No: | By:

Project No: 118.1077.30

L2.0

BMO BANK - HILLDALE

MADISON, WISCONSIN

MATERIAL PLAN

SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES

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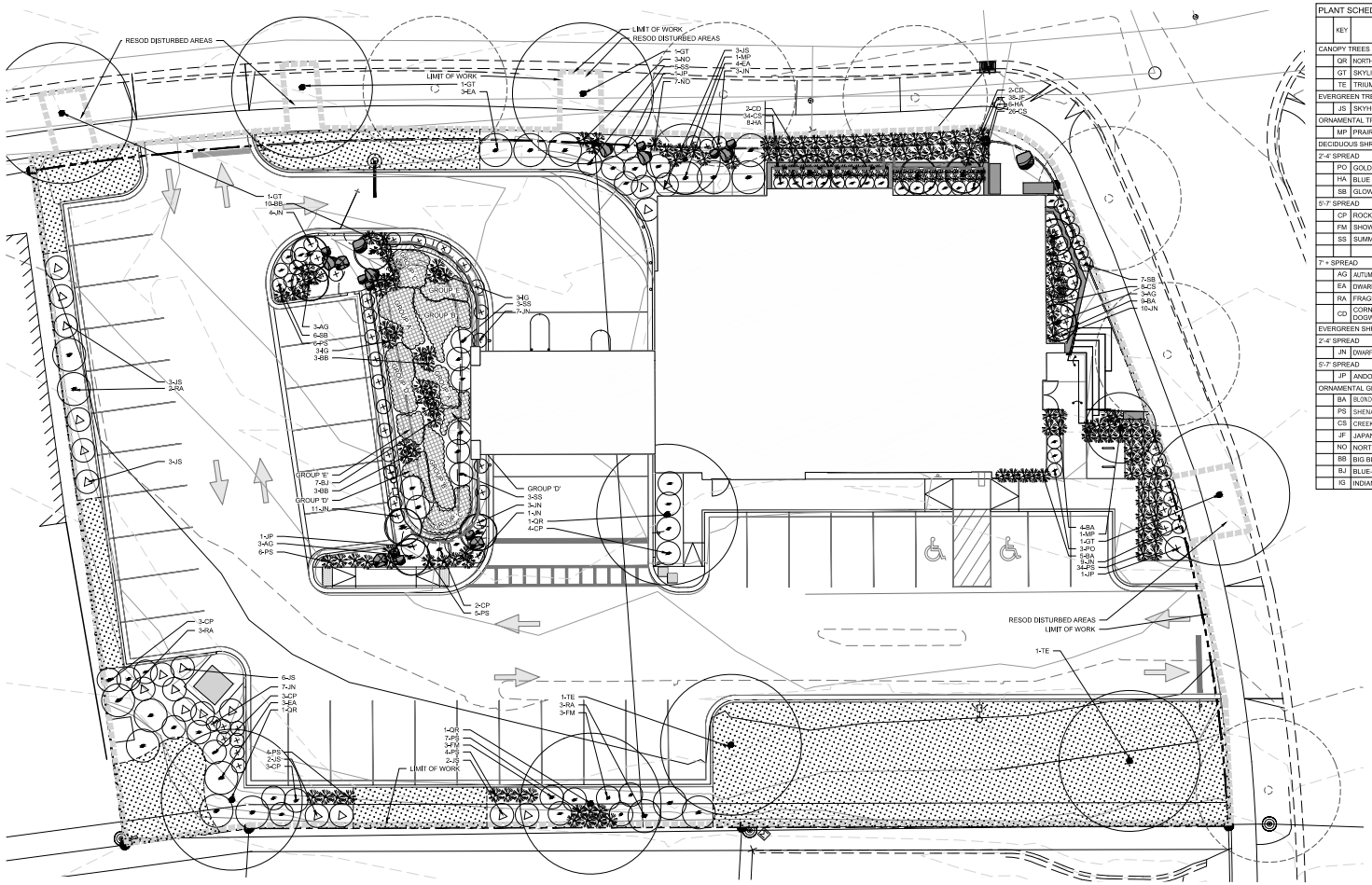

PLANTING PLAN

BIORETENTION PLANTING SCHEDULE

Group A

Common Name	Botanical Name	Percentage
Joe Pye Weed	Eupatorium maculatum	16
Dogtooth Daisy	Helenium autumnale	12
Culver's Root	Veronicastrum virginicum	10
Cardinal Flower	Lobelia cardinalis	16
Big bluestem	Andropogon gerardii	16
Indian Grass	Sorghastrum nutans	16
Bluejoint Grass	Calamagrostis canaensis	14
		100

Group B

Common Name	Botanical Name	Percentage
Iris, Blue Flag	Iris virginica shrevei	15
Ohio Goldenrod	Solidago ohioensis	12
Marsh Milkweed	Asclepias incarnata	18
Boneset	Eupatorium perfoliatum	11
Heavy Metal Switchgras	Panicum virgatum 'Heavy Metz	16
Canada Wild Rye Grass	Elymus candensis	14
Fringed Brome Grass	Bromus ciliatus	14
		100

Group C

Common Name	Botanical Name	Percentage
Tall Ironweed	*Vernonia altissima*	16
Culver's Root	Veronicastrum virginicum	13
Compass Plant	Silphium laciniatum	17
Prairie Blazingstart	Liatris pycnostachya	14
Wool Grass	Scirpus cyperinus	14
Big bluestem	Andropogon gerardii	12
Heavy Metal Switchgras	Panicum virgatum 'Heavy Metz	14
		100

Group D

Common Name	Botanical Name	Percentage
Mountain Mint	Pycnantheumum virginianum	15
Smooth Aster	Aster laevis	15
Butterfly Weed	Asclepias tuberosa	20
Fox Sedge	Carex vulpinoidea	16
Little Bluestem	Schizachyrium scoparium	20
Dark Green Bulrush	Scipus atrovirens	14
		100

Group E

Common Name	Botanical Name	Percentage
Heath Aster	Aster ericoides	15
Black-eyed Susan	Rudbeckia hirta	16
Common Spiderwort	Tradescantia ohiensis	16
June Grass	Koeleria macrantha	16
Side-Oats Grama	Bouteloua curtipendula	18
Little Bluestem	Schizachyrium scoparium	19
		100

BIORETENTION PLANTS NOTES:

PLANTING DENSITY AT 1 FOOT ON CENTER PER WISCONSIN DNR BIORETENTION FOR INFILTRATION SECTION 1004. PLUGS SHALL BE USED IN ESTABLISHING ALL BIORETENTION PLANTS.

BIORETENTION AREAS = 580 SF
BIORETENTION PLANTS = 580
GROUP A: 114 PLANTS
GROUP B: 158 PLANTS
GROUP C: 111 PLANTS
GROUP D: 128 PLANTS
GROUP E: 69 PLANTS

NORTH

0 5 10 20
SCALE 1" = 10'

PLANT SCHEDULE

KEY	COMMON NAME
CANOPY TREES	
QR	NORTHERN RED OAK
GT	SKYLINE HONEYLOCUST
TE	TRIUMPH ELM
EVERGREEN TREES	
JS	SKYHIGH JUNIPER
ORNAMENTAL TREES	
MP	PRAIRIFIRE CRABAPPLE
DECIDUOUS SHRUBS	
2'-4' SPREAD	
PO	GOLDFINGER POTENTILLA
HA	BLUE ANGEL PLANTAIN LILY
SB	GLOW GIRL SPIREA
5'-7' SPREAD	
CP	ROCK COTONEASTER
FM	SHOW OFF FORSYTHIA
SS	SUMMERSWEET
7' + SPREAD	
AG	AUTUMN BRILLIANCE SERVICEBERRY
EA	DWARF-WINGED BURNING BUSH
RA	FRAGRANT SUMAC
CD	CORNELIAN-CHERRY DOGWOOD
EVERGREEN SHRUBS	
2'-4' SPREAD	
JN	DWARF JAPANESE GARDEN JUNIPER
5'-7' SPREAD	
JP	ANDORRA JUNIPER
ORNAMENTAL GRASSES AND SEDGES	
BA	BLONDE AMBITION BLUE GRAMA GRASS
PS	SHENANDOAH SWITCH GRASS
CS	CREEK SEDGE
JF	JAPANESE FOREST GRASS
NO	NORTHERN SEA OATS
BB	BIG BLUESTEM
BJ	BLUE-JOINT GRASS
IG	INDIAN GRASS

LANDSCAPE CONSTRUCTION NOTES

1. SOD SHALL BE TFKB PROVIDED BY PAUL'S TURF AND TREE NURSERY SOD PRODUCTS (608.655.3600) OR APPROVED EQUAL. A MIX OF TALL FESCUE AND KENTUCKY BLUEGRASS.
2. ROCK MULCH TYPE 1: 2-6" COBBLE MULCH PROVIDED BY MILESTONE MATERIALS OVER GEOTEXTILE WEED CONTROL FABRIC OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
3. ROCK MULCH TYPE 2: 3/4" DRESSER TRAP PROVIDED BY MILESTONE MATERIALS OVER GEOTEXTILE WEED CONTROL FABRIC OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
4. PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A 4" SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB.
5. BOULDERS RELOCATED FROM SITE. CONTACT LANDSCAPE ARCHITECT FOR BOULDER SELECTION AND PLACEMENT.
6. ALL BIORETENTION PLANTS SHALL BE INSTALLED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD CODE 1004 (BIORETENTION FOR INFILTRATION).
7. CMU RAISED PLANTER, REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH
8. STONE STAIRS WITH HANDRAIL, REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH
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