

1301 East Washington Avenue  
01-17-2011

### Project Description

The project involves repurposing the existing industrial/office building at 1301 East Washington Avenue. The principle use of the building will be as a warehouse for consumer goods. Work will primarily be on the interior which will be thoroughly cleaned and include some remodeling of office areas. Proposed exterior work is limited to replacement of window insulating glass units where the seals have failed, replacement of some frosted window glazing with vision glass for day-lighting the warehouse, and on the backside service area of the building, the addition of three loading doors with a canopy to accommodate direct loading of trucks from the warehouse floor .

Drawings for the new loading area and canopy are included with this application. There are three aspects to the design.

First, a sloped apron needs to be created outside of the building and adjacent to it. There will be a retaining wall on either side with its top 1' above existing grades, and a guardrail on top of the wall. This all occurs outside the exterior of the building in the rear service area and is indicated on the Site Plan.

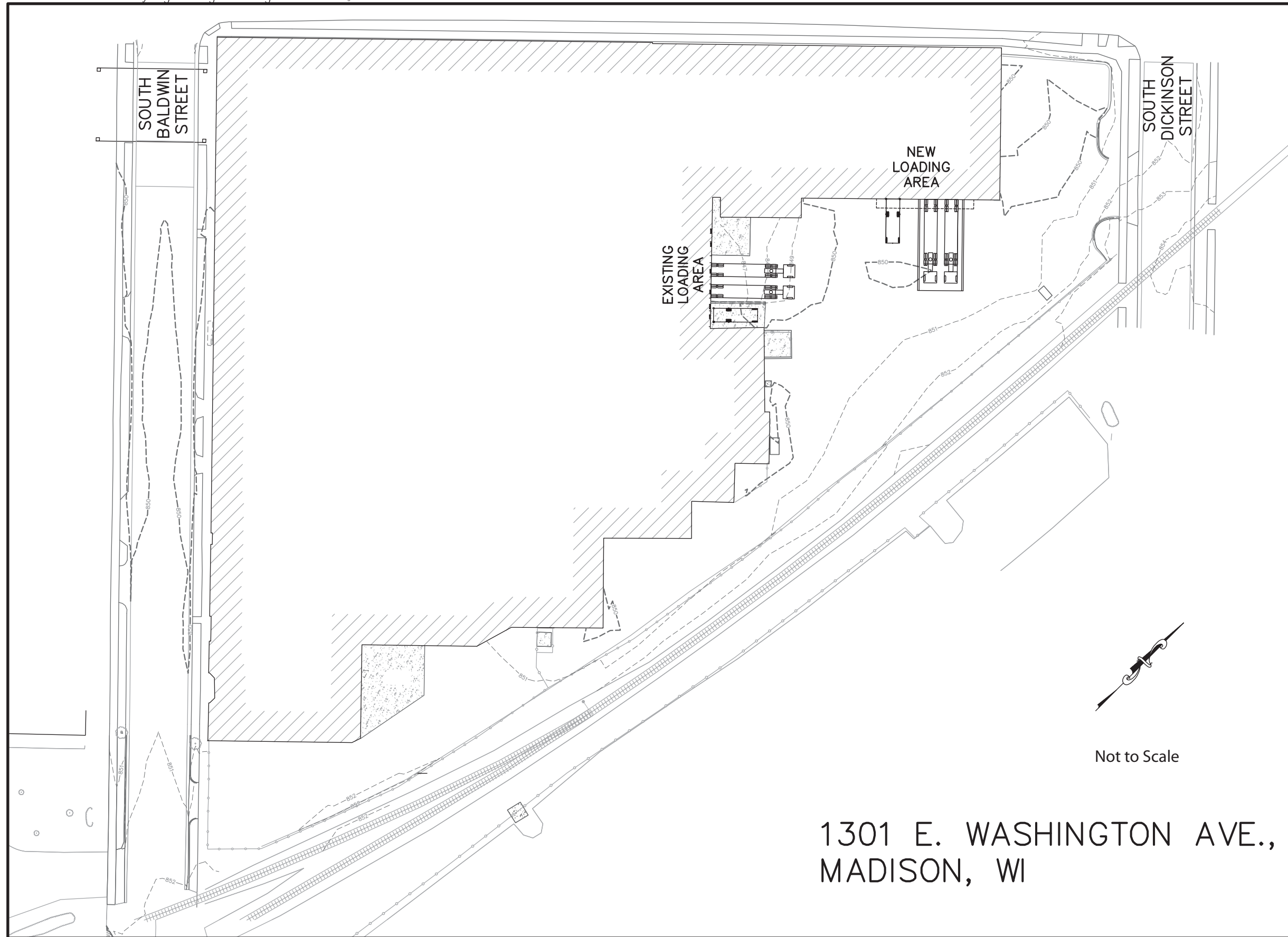
Second, openings need to be cut into the existing wall to accommodate larger doors. The existing window openings have been closed with concrete block and painted over; the outline of the original openings can still be seen on the existing elevation. The top of each opening is a double rowlock masonry course in the form of a shallow arch. Our design intent is to preserve this feature. Working within the rhythm of the existing window openings, we will need to remove an intermediate brick pier in each of the three new openings. As the intermediate masonry piers are removed, they will be replaced with a galvanized steel beam spanning the opening and with a short stub column at its center to pick up the load of the arches. The steel beam will be supported at each end by a galvanized steel channel. Within each of the three new openings, a garage sized door will be installed and will include metal panel infill on the sides of the doors. Both the doors and the metal panels will be painted in a dark green color to match the existing color of the building. We would like to have the galvanized steel structure remain unpainted, which will contrast less with the existing painted walls.

Our intention with this approach is to preserve the historic quality of the arched masonry construction, while installing new elements that maintain a structural look consonant with the factory setting.

Third, the new loading area needs a canopy, as the existing roof sheds water and snow onto the loading area. We are proposing a simple steel canopy with a steel channel edge and wide flange columns, again, consonant with the factory setting. At four points, the canopy will be attached to the existing building walls with 3" square steel tubes. We will make each of these connections to the wall at locations that intercept the infill concrete block, rather than the original brick. Each of the new

openings will be outfitted with dock seals. The canopy and dock seals are all removable, reducing the long term impact of this alteration.

Finally, photographs are included which show where the glass replacement is proposed. All of these windows were changed over 20 years ago to painted aluminum frames with insulation glass, both frosted and clear. Presently the first floor of the building has frosted glass along East Washington and along parts of Baldwin Street. Some of the lights are monolithic, with no intermediate openings. These are along the easterly portion of the building and they will not be altered. On the part of the building nearer to Baldwin Street, there are intermediate mullions on the windows. We would like to change the upper lights to clear glass on these windows, and on similar windows along Baldwin to provide day-lighting into the warehouse.

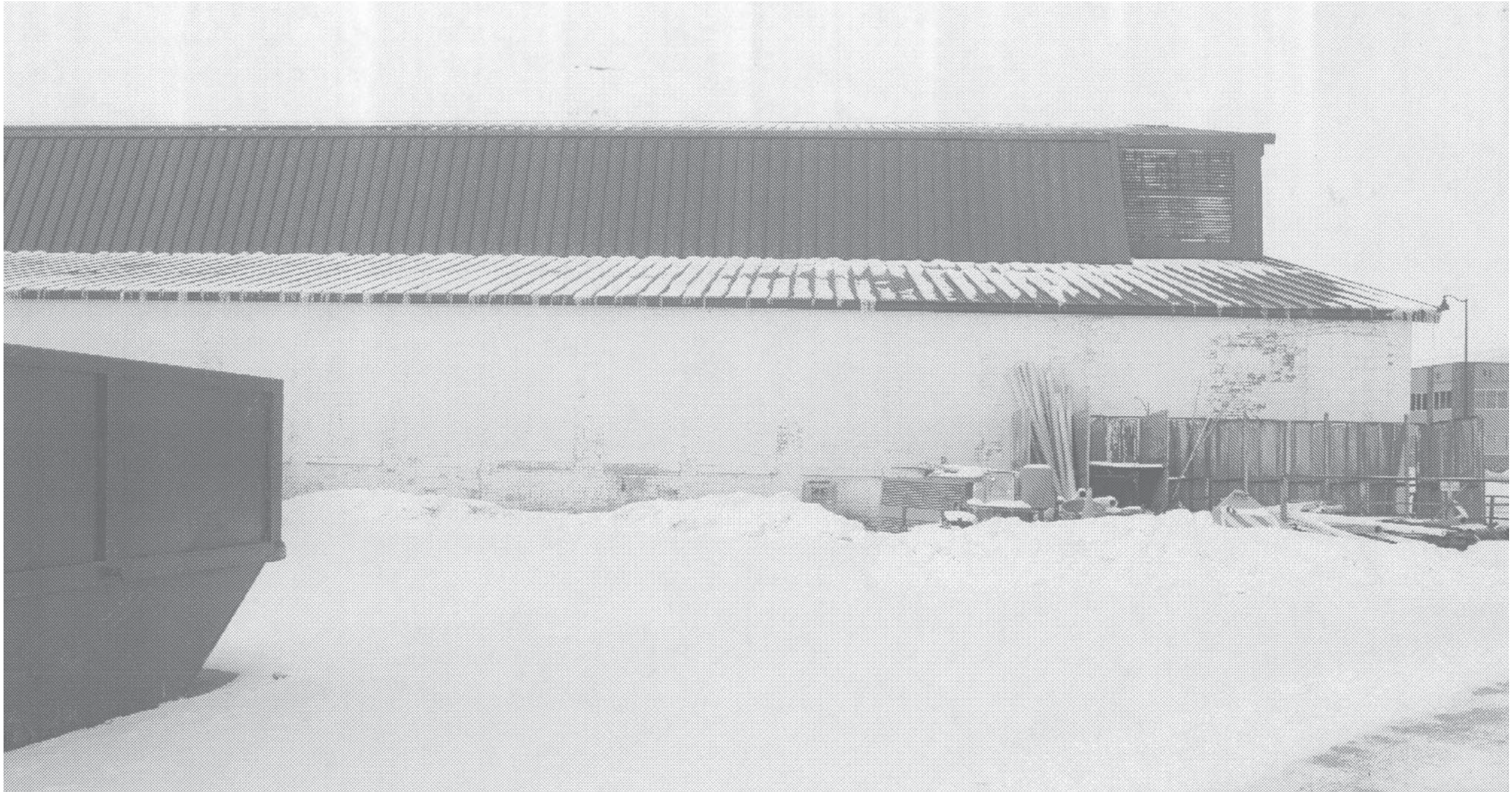


Not to Scale

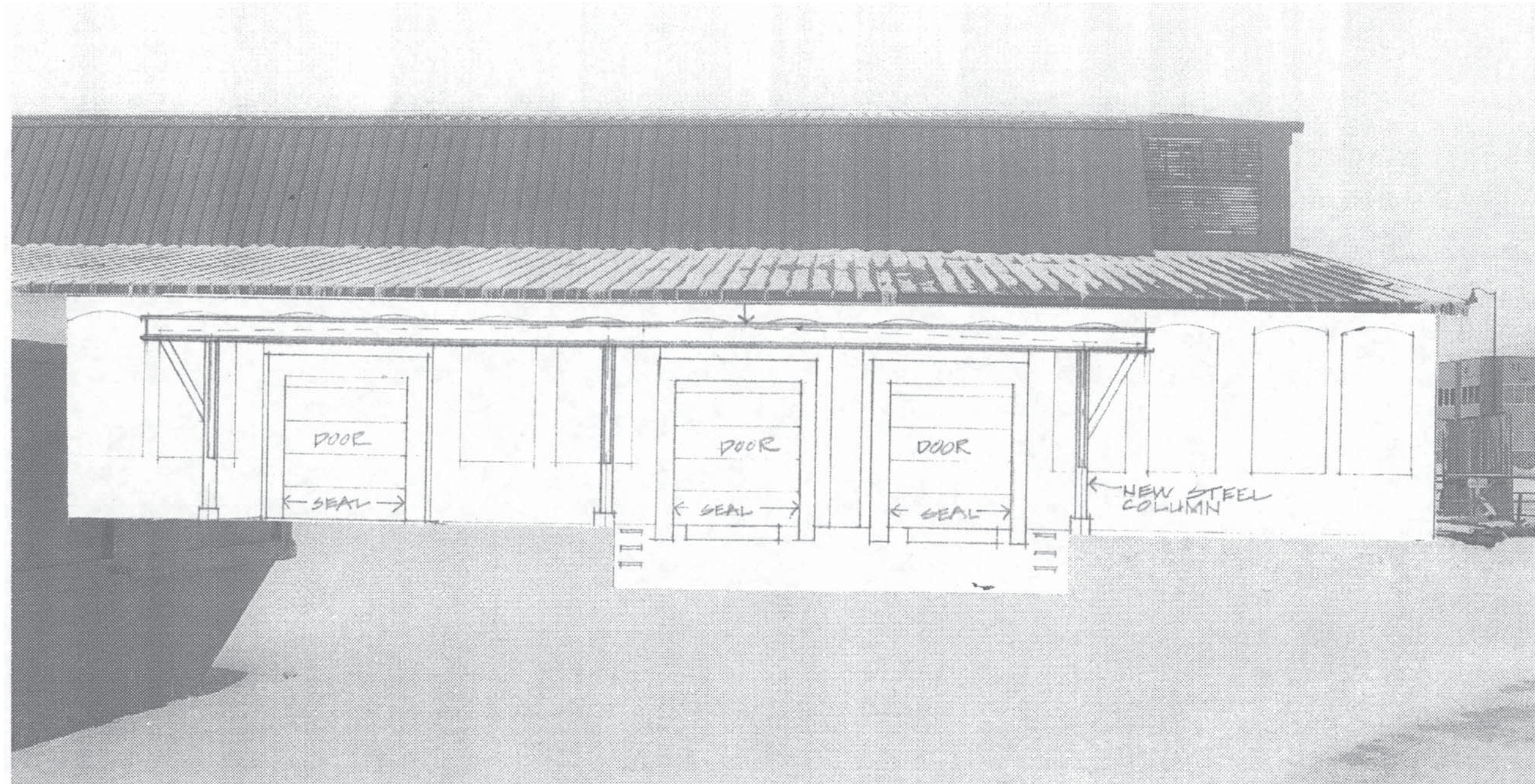
1301 E. WASHINGTON AVE.,  
MADISON, WI

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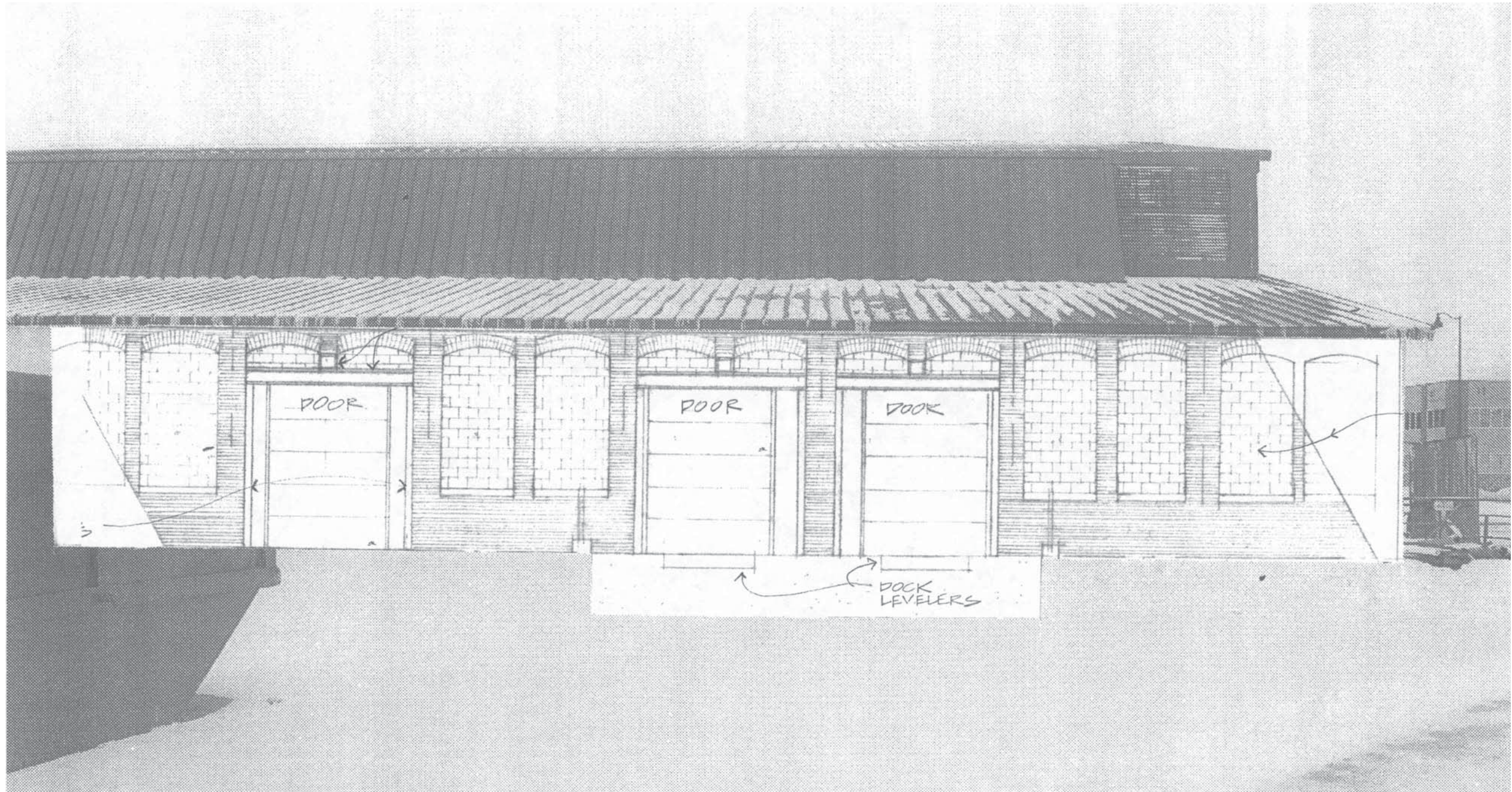
**KEE**  
architecture



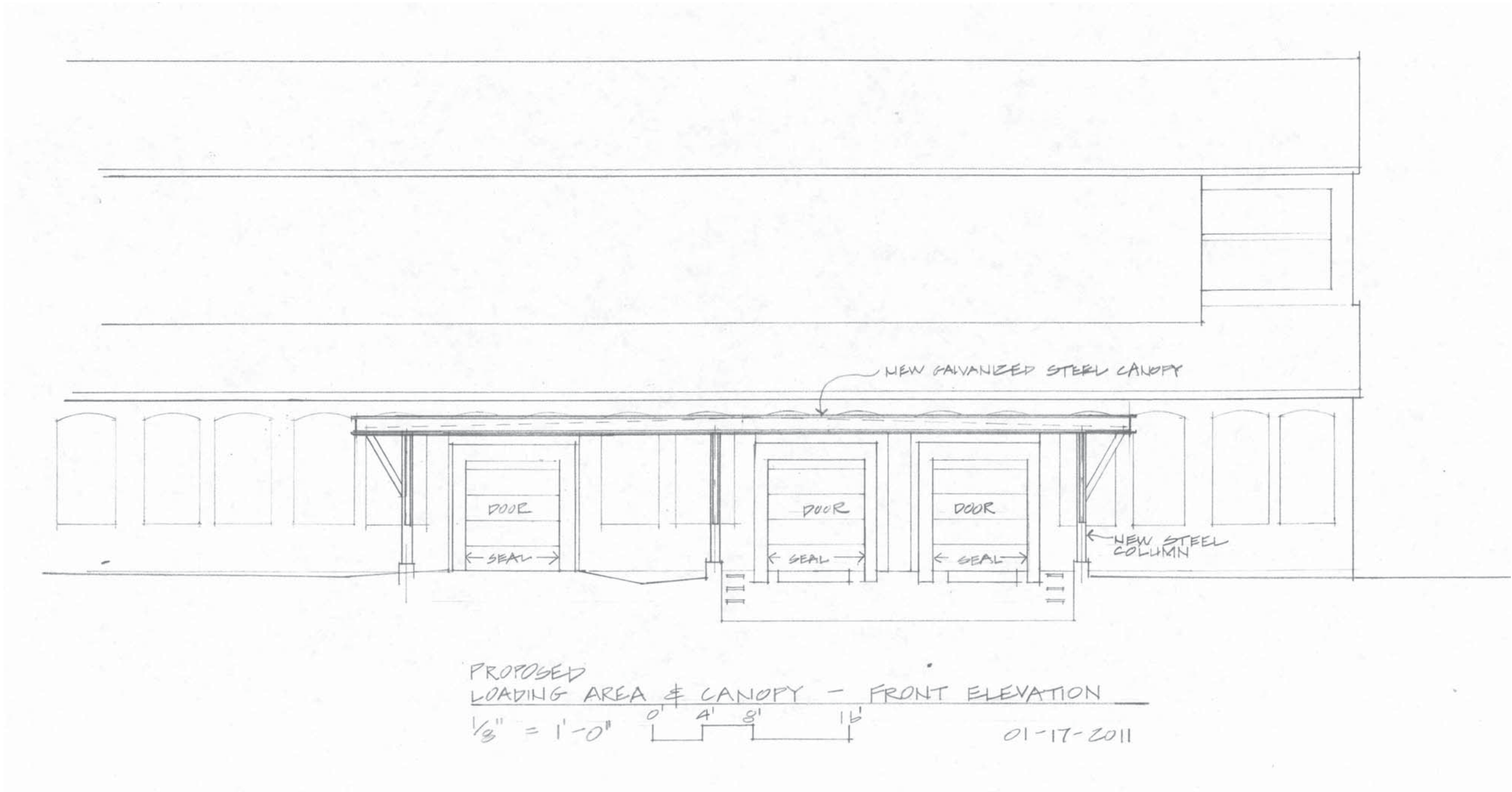
EXISTING ELEVATION

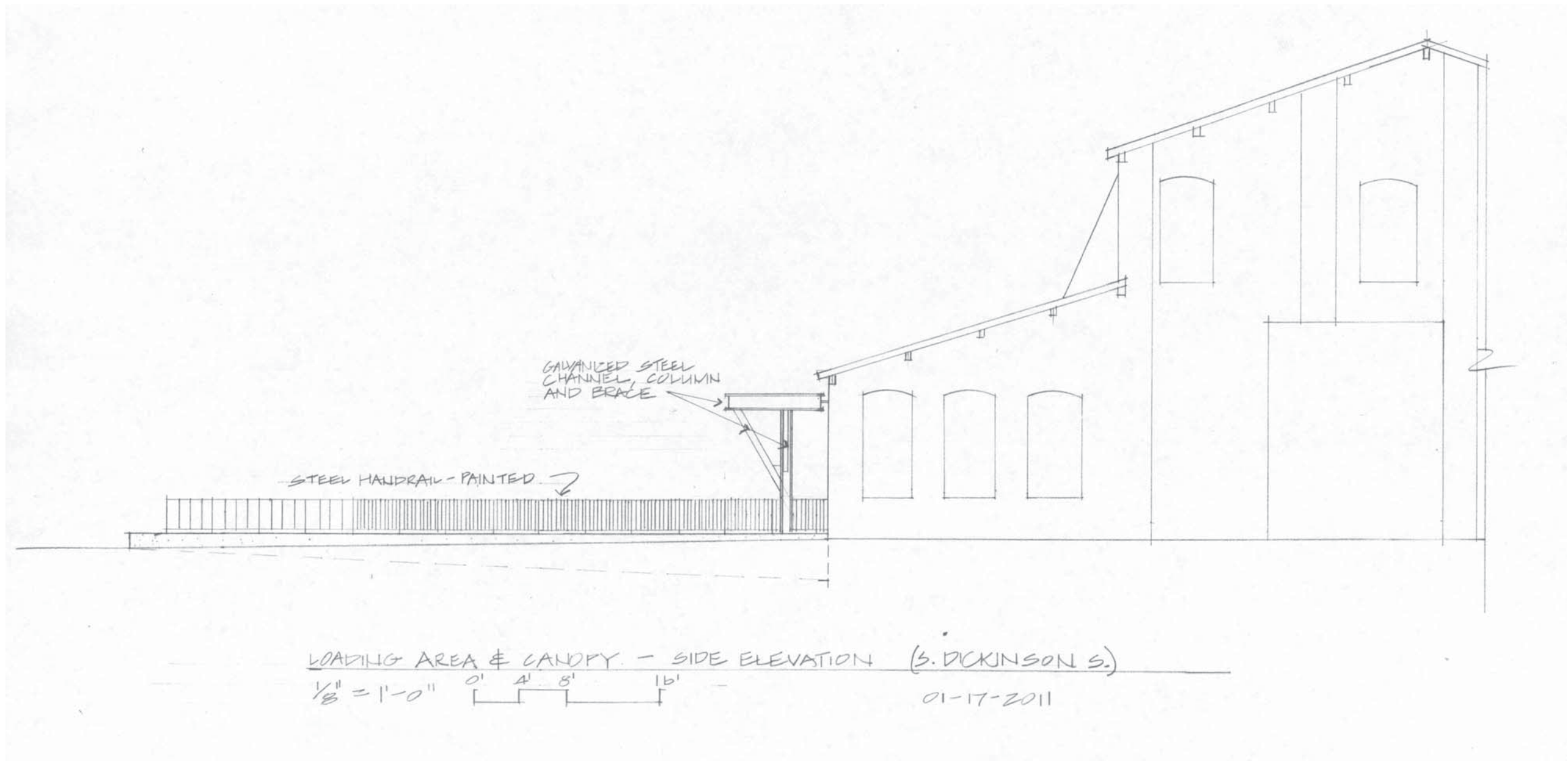


PROPOSED LOADING AREA & CANOPY - FRONT ELEVATION

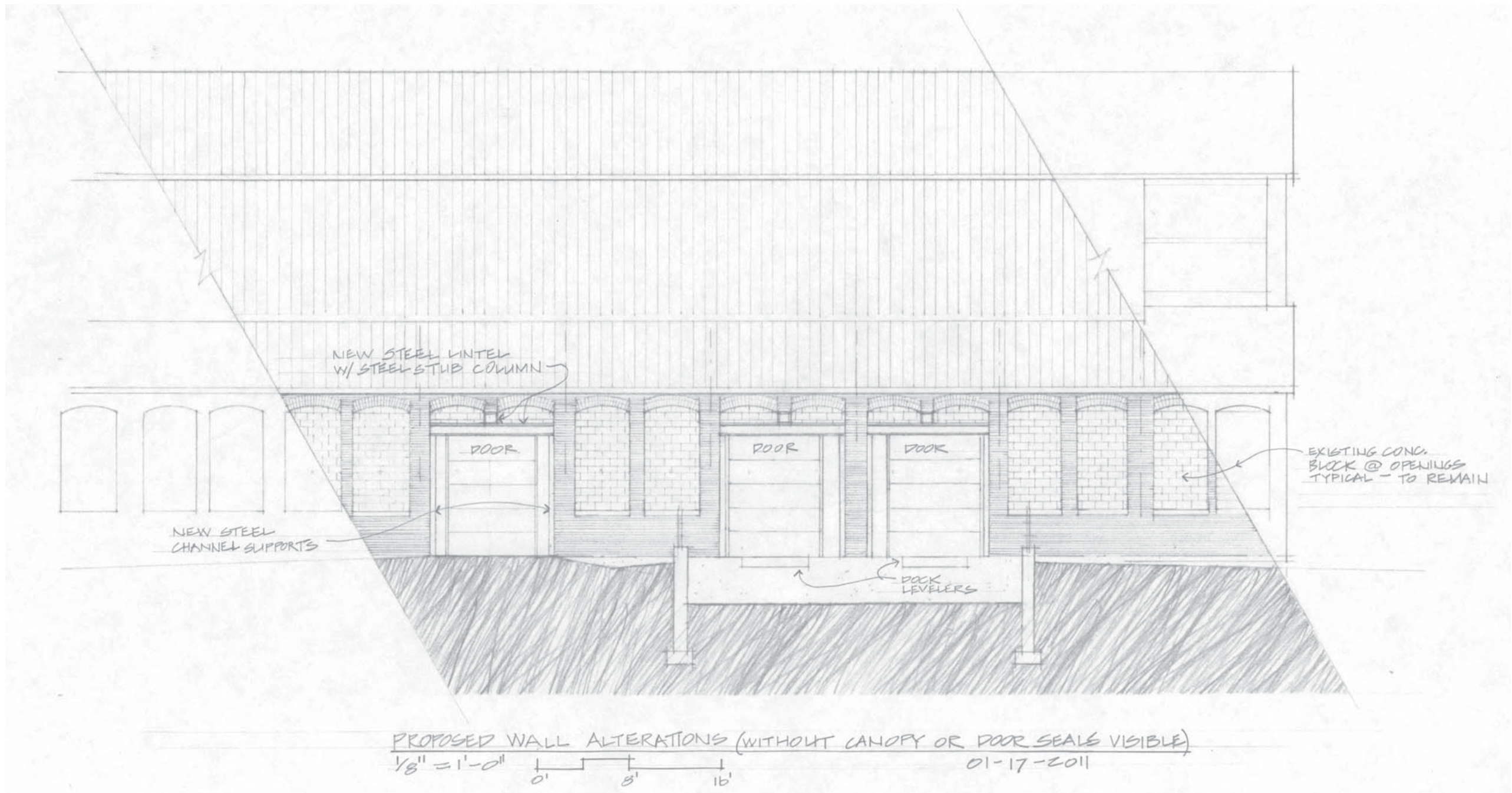


PROPOSED WALL ALTERATIONS (WITHOUT CANOPY OR DOOR SEALS VISIBLE)









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NORTH TO EAST WASHINGTON



EAST TO SOUTH DICKINSON



SOUTH TO RAILROAD TRACKS



AREA TO BE ALTERED



DETAIL OF EXISTING WALL





SOME CLEAR GLASS  
UNITS REPLACED DUE  
TO FOGGING

UPPER PANES TO BE REPLACED WITH CLEAR GLASS  
LOWER FROSTED PANES TO REMAIN

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621 Williamson Street, Madison WI 53703

FROSTED GLASS TO REMAIN



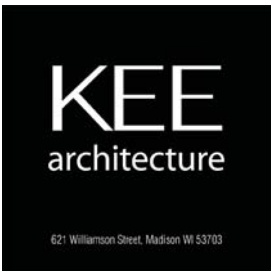
CHANGED TO CLEAR GLASS

FROSTED GLASS TO REMAIN



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