GMP/SIP PACKAGE

MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

KAHLER SLATER PROJECT: 219143.00
NOVEMBER 17, 2020

ARCHITECTURAL SHEET INDEX

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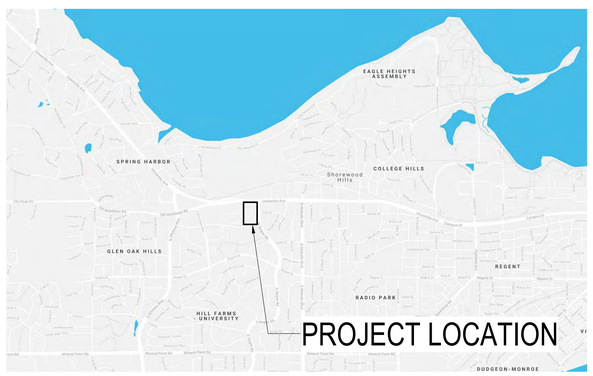
AS-A10	ARCHITECTURAL SITE PLAN
A1-A10	LOWER LEVEL PLAN
A1-A11	1ST FLOOR PLAN
A1-A12	2ND FLOOR PLAN
A1-A13	3RD FLOOR PLAN
A1-A14	4TH FLOOR & ROOF PLANS
A2-A10	EXTERIOR ELEVATIONS
A2-A10C	EXTERIOR ELEVATIONS
A2-A20	EXTERIOR PERSPECTIVES
A2-A21	EXTERIOR PERSPECTIVES
A3-A10	BUILDING SECTIONS
A3-A11	BUILDING SECTIONS
A3-A12	BUILDING SECTIONS



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Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
COVER SHEET

104 Shockoe Slip, Richmond, Virginia 23219
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Sheet No.
G0-A00

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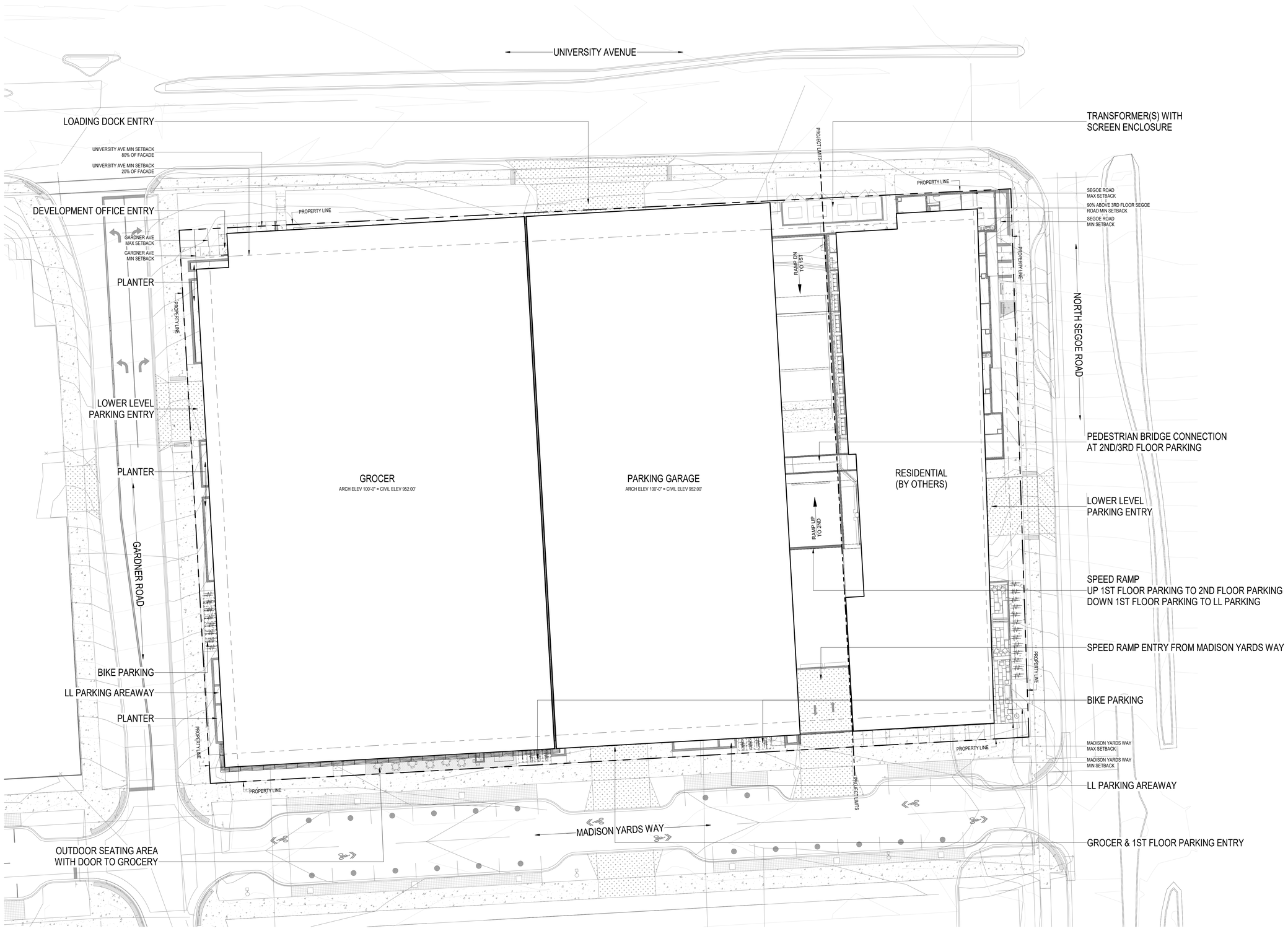

PLAN NORTH
TRUE NORTH

0 5 10 20 40
SCALE: 1" = 20' - 0"

1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

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Kahler Slater

SMITH Gilbane

MADISON YARDS
HILL FARMS

NOT FOR CONSTRUCTION

KEY PLAN

Revisions

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Drawing Date
NOVEMBER 17, 2020

MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
ARCHITECTURAL SITE PLAN

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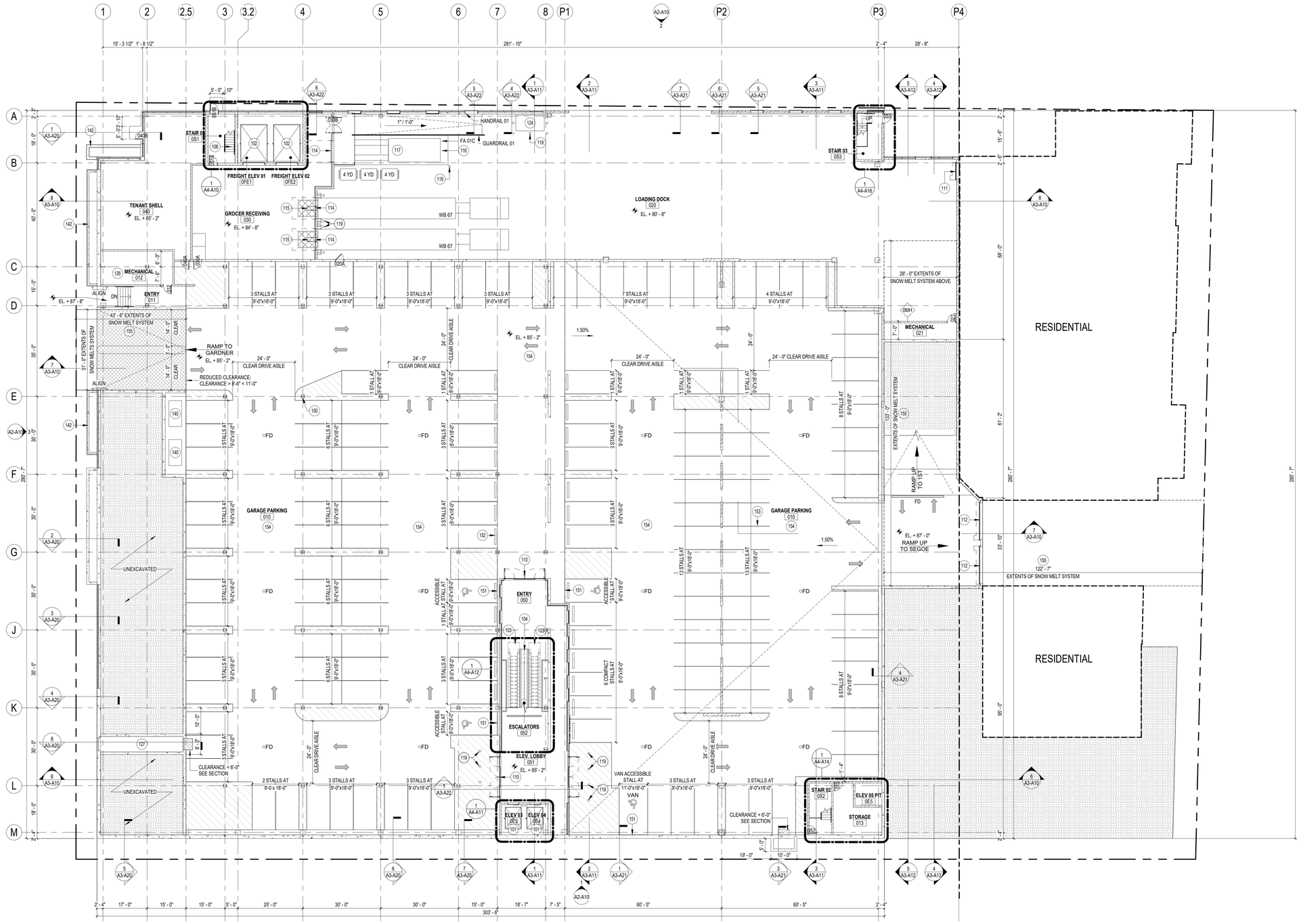
Sheet No.
AS-A10



1 00 - LOWER LEVEL OVERALL
1/16" = 1'-0"

PLAN NORTH

0 4 8 16 32
SCALE: 1/16" = 1' - 0"

KEYNOTES - FLOOR PLAN

101	MACHINE ROOM LESS PASSENGER/SERVICE ELEVATOR. 5000 LB CAPACITY, 200 FPM. BASIS OF DESIGN: OTIS GEN2
102	FREIGHT ELEVATOR. 12,000 LB CAPACITY. 10'W x 14'D x 10'H
103	ESCALATOR. BASIS OF DESIGN THYSSENKRUPP VELINO
104	CART CONVEYING SYSTEM, SINGLE DOWNWARD TRACK. BASIS OF DESIGN: CARTVEYOR BY PFLOW INDUSTRIES.
106	CONCRETE FILLED GALVANIZED STEEL STAIRS
110	16'-0" WIDE X 8'-8" HIGH AUTOMATIC SLIDING DOOR. BASIS OF DESIGN: BESAM
111	6'-0" x 8'-0" 3 HOUR RATED COILING FIRE DOOR
112	14'-0" x 8'-6" 3 HOUR RATED COILING FIRE DOOR
114	8'-0" X 10'-0" INSULATED SECTIONAL OVERHEAD DOOR. PROVIDE ELECTRONIC OPERATORS, MANUAL CHAIN HOIST OVERRIDE AND VISION PANELS.
116	RAISED CONCRETE PLATFORM WITH IMBEDDED GALVANIZED STEEL SKID PLATES FOR TRASH COMPACTOR. COORDINATE SIZE AND ELEVATION WITH TENANT.
117	TRASH COMPACTOR. COORDINATE REQUIRED SIZE AND PROVIDER WITH TENANT.

KEYNOTES - FLOOR PLAN

119	6" DIAMETER CONCRETE FILLED BOLLARD
124	GENERATOR - VERIFY REQUIRMENTS w/ELECTRICAL
126	ROOM TO INCLUDE FIRE PROTECTION RISERS, WATER METER, FIRE DEPARTMENT CONNECTION & BACKFLOW PREVENTER. VERIFY REQUIRMENTS w/ELECTRICAL
127	AREAWAY w/GRATE. VERIFY REQUIREMENTS w/MECHANICAL
140	GREASE TRAPS. CHAINLINK FENCE W/ GATE
142	BUILT IN PLANTER - LINE WITH SHEET WATERPROOFING AND 2" EXTRUDED POLYSTYRENE INSULATION. PROVIDE 12" GARVEL BASE AND FILTER FABRIC AT BOTTOM OF PLANTER. FILL REMAINER OF PLANTER WITH TOP SOIL. HOLD INSULATION 2" MIN BELOW GRADE
150	CONCRETE ENCASED STEEL COLUMN. 1 HOUR FIRE RATED MINIMUM. TYPICAL
151	HANDICAP STALL SIGNAGE
152	PARKING BUMPER. TYPICAL
153	4" HEAVY DUTY, DURABLE WHITE, 2 COAT STRIPING TYPICAL.
154	TRAFFIC BEARING MEMBRANE COATING
155	SNOW MELT SYSTEM - COORDINATE DESIGN BUILD MEP

PARKING MATRIX - GROCER

STALL TYPE	NO. OF STALLS
LOWER LEVEL (PARKING)	
ACCESSIBLE PARKING STALL	3
COMPACT PARKING STALL	6
STANDARD PARKING STALL	139
VAN ACCESSIBLE PARKING STALL	1
1ST FLOOR	
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	86
VAN ACCESSIBLE PARKING STALL	1
TOTAL STALLS	239

PARKING MATRIX - RESIDENTIAL

STALL TYPE	NO. OF STALLS
2ND FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	69
VAN ACCESSIBLE PARKING STALL	2
3RD FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	100
VAN ACCESSIBLE PARKING STALL	2
4TH FLOOR (PARKING)	
STANDARD PARKING STALL	105
4.5 FLOOR (PARKING)	
STANDARD PARKING STALL	30
TOTAL STALLS	313

FLOOR PLAN SYMBOL LEGEND

- ALIGN — ALIGN FACE OF INDICATED ELEMENTS
- (?) — PLAN KEYNOTE. SEE KEYNOTE LEGEND
- FEC — FIRE EXTINGUISHER CABINET (FEC)
- FE — FIRE EXTINGUISHER (FE)
- ROOF DRAIN
- FD — FLOOR DRAIN
- SKYLIGHT

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON G060 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE GHD U.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 4" INSULATION.

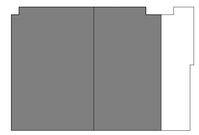
Kahler Slater

SMITH Gilbane

MADISON YARDS
HILL FARMS

NOT FOR CONSTRUCTION

KEY PLAN



Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
LOWER LEVEL PLAN

104 Shockoe Slip, Richmond, Virginia 23219
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Sheet No.
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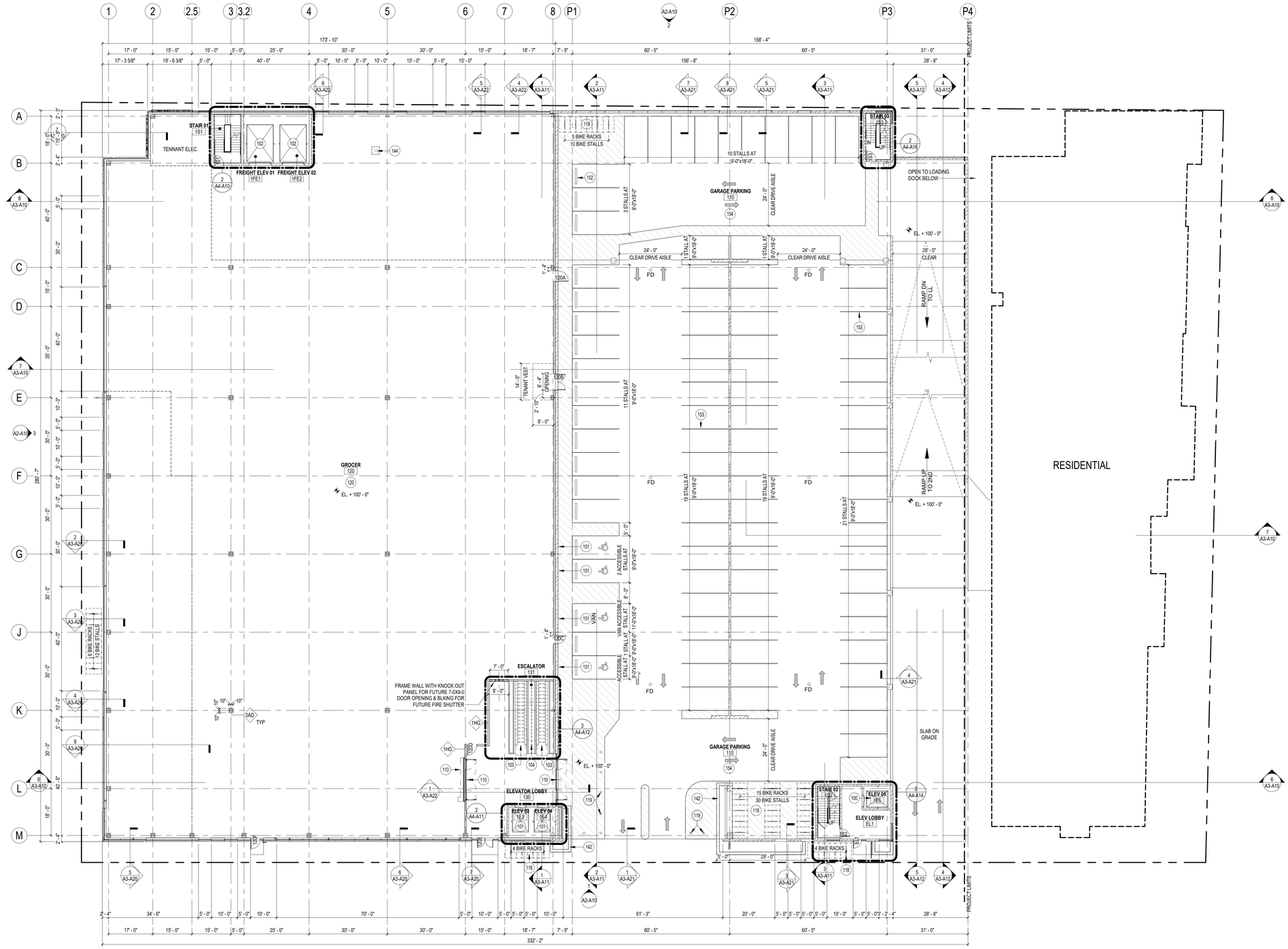

1 01 - 1ST FLOOR OVERALL
1/16" = 1'-0"

0 4 8 16 32
SCALE: 1/16" = 1' - 0"

PLAN NORTH

KEYNOTES - FLOOR PLAN

100	MACHINE ROOM LESS PASSENGER ELEVATOR, 3000 LB CAPACITY, 200 FPM. BASIS OF DESIGN: OTIS GEN2
101	MACHINE ROOM LESS PASSENGER/SERVICE ELEVATOR, 5000 LB CAPACITY, 200 FPM. BASIS OF DESIGN: OTIS GEN2
102	FREIGHT ELEVATOR, 12,000 LB CAPACITY, 10'W x 14'D x 10'H
103	ESCALATOR. BASIS OF DESIGN THYSSENKRUPP VELINO
104	CART CONVEYING SYSTEM, SINGLE DOWNWARD TRACK. BASIS OF DESIGN: CARTVEYOR BY PFLOW INDUSTRIES.
110	16'-0" WIDE X 8'-8" HIGH AUTOMATIC SLIDING DOOR. BASIS OF DESIGN: BESAM
113	16'-0" x 8'-8" 1 HOUR RATED COILING FIRE DOOR
118	BIKE RACK - VERIFY REQUIREMENTS WITH GROCER TENANT.
119	6" DIAMETER CONCRETE FILLED BOLLARD
120	TENANT FINISH FLOOR AT 100'-0". LANDLORD PROVIDED STRUCTURAL SLAB AT 99'-3"
142	BUILT IN PLANTER - LINE WITH SHEET WATERPROOFING AND 2" EXTRUDED POLYSTYRENE INSULATION. PROVIDE 12" GARVEL BASE AND FILTER FABRIC AT BOTTOM OF PLANTER. FILL REMAINER OF PLANTER WITH TOP SOIL. HOLD INSULATION 2" MIN. BELOW GRADE
144	LOCATION OF SLAB OPENING FOR TRASH CHUTE AT FIRST FLOOR GROCER. COORDINATE FINAL LOCATION W/ STRUCTURAL AND GROCER TENANT
151	HANDICAP STALL SIGNAGE
152	PARKING BUMPER, TYPICAL
153	4" HEAVY DUTY, DURABLE WHITE, 2 COAT STRIPING TYPICAL.
154	TRAFFIC BEARING MEMBRANE COATING

PARKING MATRIX - GROCER

STALL TYPE	NO. OF STALLS
LOWER LEVEL (PARKING)	
ACCESSIBLE PARKING STALL	3
COMPACT PARKING STALL	6
STANDARD PARKING STALL	139
VAN ACCESSIBLE PARKING STALL	1
1ST FLOOR	
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	86
VAN ACCESSIBLE PARKING STALL	1
TOTAL STALLS	239

PARKING MATRIX - RESIDENTIAL

STALL TYPE	NO. OF STALLS
2ND FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	69
VAN ACCESSIBLE PARKING STALL	2
3RD FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	100
VAN ACCESSIBLE PARKING STALL	2
4TH FLOOR (PARKING)	
STANDARD PARKING STALL	106
4.5 FLOOR (PARKING)	
STANDARD PARKING STALL	30
TOTAL STALLS	313

FLOOR PLAN SYMBOL LEGEND

ALIGN — ALIGN FACE OF INDICATED ELEMENTS

(?) — PLAN KEYNOTE. SEE KEYNOTE LEGEND

FEC — FIRE EXTINGUISHER CABINET (FEC)

FE — FIRE EXTINGUISHER (FE)

ROOF DRAIN

FD — FLOOR DRAIN

SKYLIGHT

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON G060 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE 0HD U.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 4" INSULATION.

104 Shockoe Slip, Richmond, Virginia 23219
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Kahler Slater
SMITH Gilbane
MADISON YARDS
HILL FARMS

NOT FOR CONSTRUCTION

KEY PLAN

Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

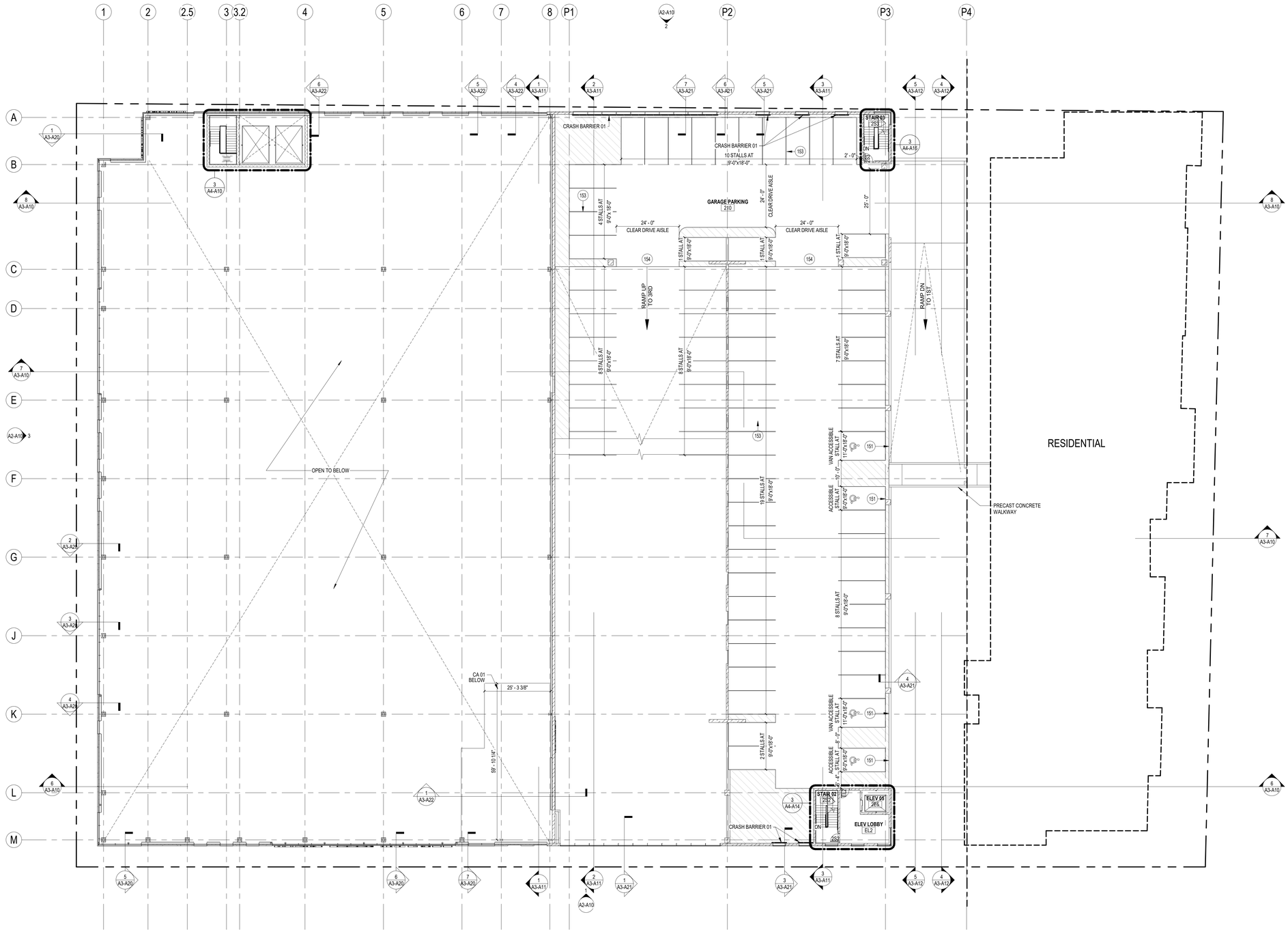
MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
1ST FLOOR PLAN

Sheet No.
A1-A11



1 02 - 2ND FLOOR OVERALL
1/16" = 1'-0"

PLAN NORTH

0 4 8 16 32
SCALE: 1/16" = 1' - 0"

ASSEMBLIES & COMPONENTS

CA 01	C-JOIST FLOOR / CEILING ASSEMBLY UL-G556
CRASH BARRIER 01	42" HIGH 11-STRAND HORIZONTAL CABLE VEHICLE CRASH BARIER GUARD - SEE STRUCTURAL

KEYNOTES - FLOOR PLAN

151	HANDICAP STALL SIGNAGE
153	4" HEAVY DUTY, DURABLE WHITE, 2 COAT STRIPING TYPICAL.
154	TRAFFIC BEARING MEMBRANE COATING

PARKING MATRIX - GROCER

STALL TYPE	NO. OF STALLS
LOWER LEVEL (PARKING)	
ACCESSIBLE PARKING STALL	3
COMPACT PARKING STALL	6
STANDARD PARKING STALL	139
VAN ACCESSIBLE PARKING STALL	1
1ST FLOOR	
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	86
VAN ACCESSIBLE PARKING STALL	1
TOTAL STALLS	239

PARKING MATRIX - RESIDENTIAL

STALL TYPE	NO. OF STALLS
2ND FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	69
VAN ACCESSIBLE PARKING STALL	2
3RD FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	100
VAN ACCESSIBLE PARKING STALL	2
4TH FLOOR (PARKING)	
STANDARD PARKING STALL	106
4.5 FLOOR (PARKING)	
STANDARD PARKING STALL	30
TOTAL STALLS	313

FLOOR PLAN SYMBOL LEGEND

ALIGN	ALIGN FACE OF INDICATED ELEMENTS
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FEC	FIRE EXTINGUISHER CABINET (FEC)
FE	FIRE EXTINGUISHER (FE)
	ROOF DRAIN
FD	FLOOR DRAIN
	SKYLIGHT

FLOOR PLAN GENERAL NOTES

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5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 4" INSULATION.

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Kahler Slater
SMITH Gilbane
MADISON YARDS
HILL FARMS

NOT FOR CONSTRUCTION

KEY PLAN

Revisions

GMP/SIP PACKAGE

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MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
2ND FLOOR PLAN

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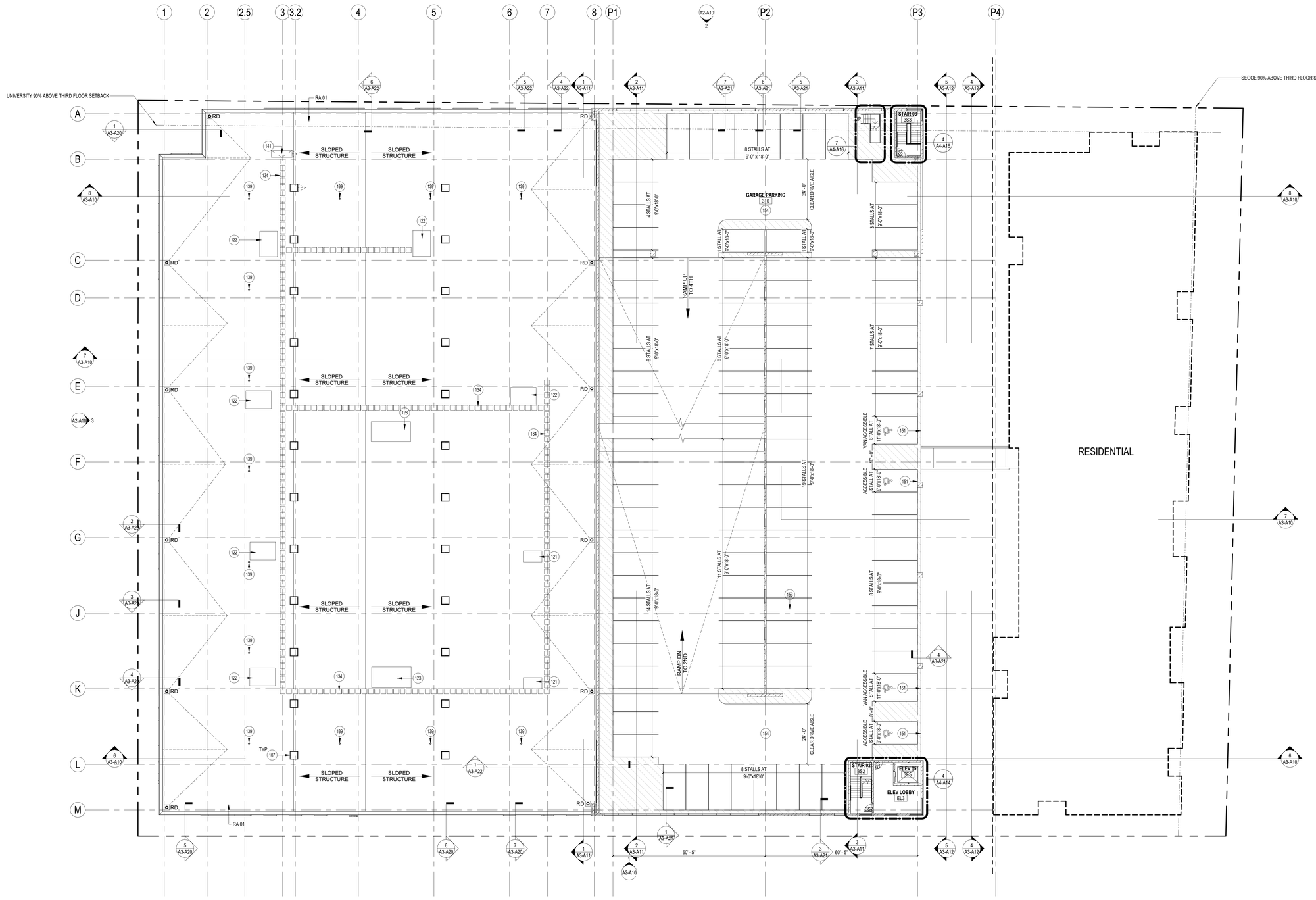
Sheet No.
A1-A12



1 03 - 3RD FLOOR OVERALL
1/16" = 1'-0"
SCALE: 1/16" = 1' - 0"

PLAN NORTH

ASSEMBLIES & COMPONENTS

RA 01	FULLY ADHERED TPO MEMBRANE ON RIGID INSULATION, VAPOR RETARDER, COVERBOARD, METAL DECK OVER STRUCTURAL STEEL JOISTS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING MINIMUM)

KEYNOTES - FLOOR PLAN

107	36" x36" DOUBLE DOME CLEAR ACRYLIC SKYLIGHT WITH INTERIOR SECURITY BARS. BASIS OF DESIGN: VELUX CT2 TRADITIONAL DOME SKYLIGHT WITH CRGA BB SECURITY BARS
121	ROOFTOP UNIT - 2.000 LBS
122	ROOFTOP UNIT - 2.000 LBS
123	ROOFTOP UNIT - 8.000 LBS
134	MANUFACTURERS STANDARD WALKWAY ROOF PADS. EXTEND FROM ROOF HATCH TO AND AROUND ALL ROOF TOP EQUIPMENT
139	ROOF TIE OFF POSTS SPACED 36' MAX AT PERIMETER OF ROOF. BASIS OF DESIGN: MILLER FUSION ROOF ANCHOR POST OR EQUAL
141	30"x96" LOCKABLE ROOF HATCH W/ SAEFTY EXTENSION POLE. BASIS OF DEISGN: BABCOCK DAVIS BRHP
151	HANDICAP STALL SIGNAGE
153	4" HEAVY DUTY, DURABLE WHITE, 2 COAT STRIPING TYPICAL.
154	TRAFFIC BEARING MEMBRANE COATING

PARKING MATRIX - GROCER

STALL TYPE	NO. OF STALLS
LOWER LEVEL (PARKING)	
ACCESSIBLE PARKING STALL	3
COMPACT PARKING STALL	6
STANDARD PARKING STALL	139
VAN ACCESSIBLE PARKING STALL	1
1ST FLOOR	
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	86
VAN ACCESSIBLE PARKING STALL	1
TOTAL STALLS	239

PARKING MATRIX - RESIDENTIAL

STALL TYPE	NO. OF STALLS
2ND FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	69
VAN ACCESSIBLE PARKING STALL	2
3RD FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	100
VAN ACCESSIBLE PARKING STALL	2
4TH FLOOR (PARKING)	
STANDARD PARKING STALL	105
4.5 FLOOR (PARKING)	
STANDARD PARKING STALL	30
TOTAL STALLS	313

FLOOR PLAN SYMBOL LEGEND

- ALIGN — ALIGN FACE OF INDICATED ELEMENTS
- ? — PLAN KEYNOTE. SEE KEYNOTE LEGEND
- FEC — FIRE EXTINGUISHER CABINET (FEC)
- FE — FIRE EXTINGUISHER (FE)
- ROOF DRAIN
- FD — FLOOR DRAIN
- SKYLIGHT

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
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MADISON YARDS
HILL FARMS

NOT FOR CONSTRUCTION

KEY PLAN

Revisions

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MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
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Sheet Title
3RD FLOOR PLAN

Sheet No.
A1-A13

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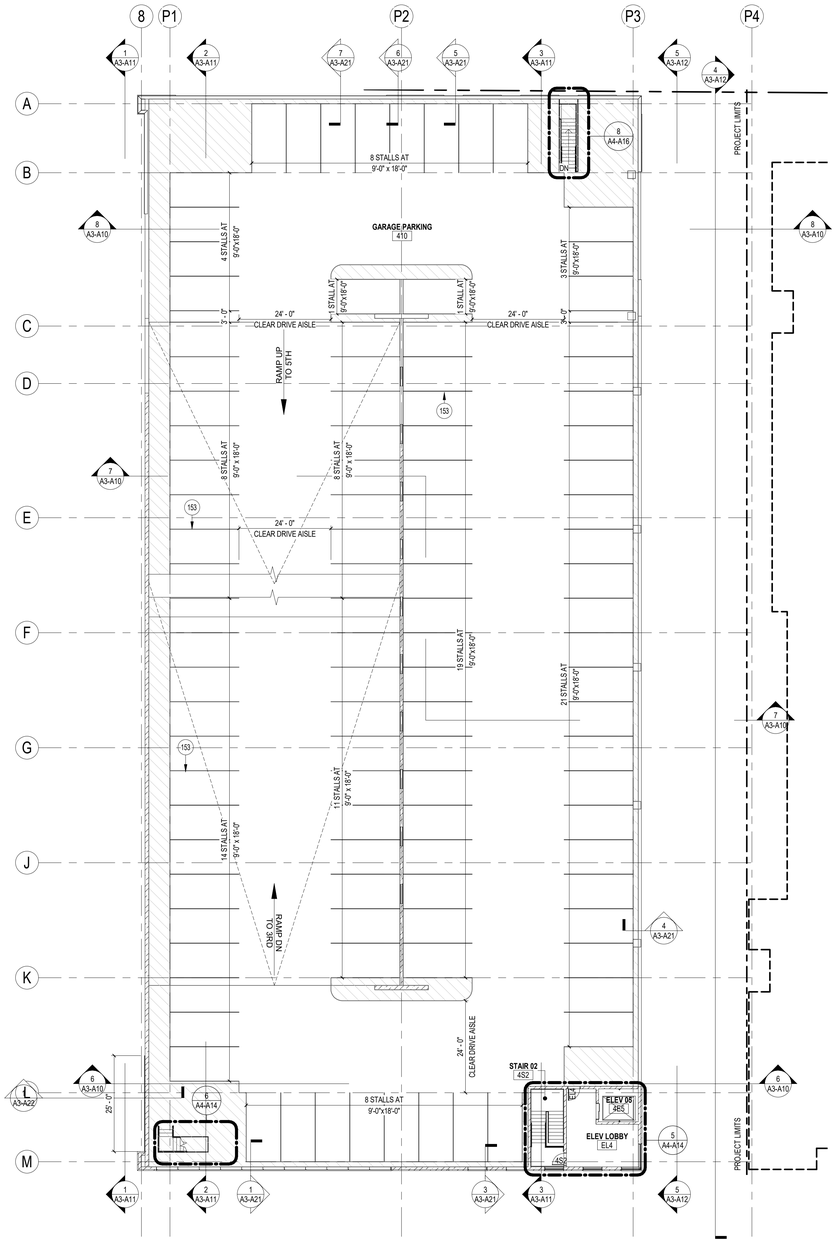
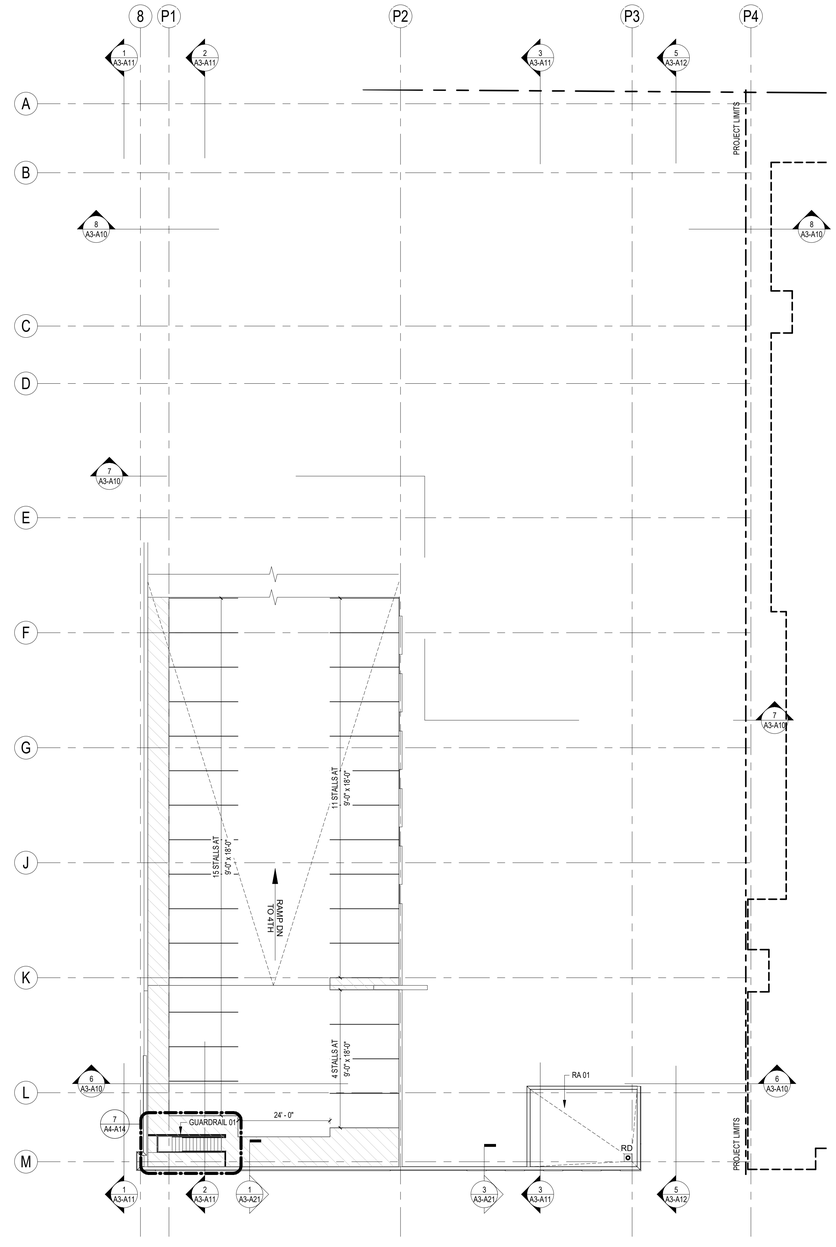


PLAN NORTH

0 4 8 16 32

SCALE: 1/16" = 1' - 0"

1 04 - 4TH FLOOR OVERALL
1/16" = 1'-0"



PLAN NORTH

0 4 8 16 32

SCALE: 1/16" = 1' - 0"

2 4.5 - 5TH FLOOR OVERALL
1/16" = 1'-0"

ASSEMBLIES & COMPONENTS

GUARDRAIL 01	PREFABRICATED PAINTED STEEL GUARDRAIL, 42", STRINGER MOUNTED, 12" EXTENSIONS AT BOTH ENDS
RA 01	FULLY ADHERED TPO MEMBRANE ON RIGID INSULATION, VAPOR RETARDER, COVERBOARD, METAL DECK OVER STRUCTURAL STEEL JOISTS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING MINIMUM)

KEYNOTES - FLOOR PLAN

153	4" HEAVY DUTY, DURABLE WHITE, 2 COAT STRIPING TYPICAL.

PARKING MATRIX - GROCER

STALL TYPE	NO. OF STALLS
LOWER LEVEL (PARKING)	
ACCESSIBLE PARKING STALL	3
COMPACT PARKING STALL	6
STANDARD PARKING STALL	139
VAN ACCESSIBLE PARKING STALL	1
1ST FLOOR	
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	86
VAN ACCESSIBLE PARKING STALL	1
TOTAL STALLS	239

PARKING MATRIX - RESIDENTIAL

STALL TYPE	NO. OF STALLS
2ND FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	69
VAN ACCESSIBLE PARKING STALL	2
3RD FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	100
VAN ACCESSIBLE PARKING STALL	2
4TH FLOOR (PARKING)	
STANDARD PARKING STALL	106
4.5 FLOOR (PARKING)	
STANDARD PARKING STALL	30
TOTAL STALLS	313

FLOOR PLAN SYMBOL LEGEND

- ALIGN — ALIGN FACE OF INDICATED ELEMENTS
- ? — PLAN KEYNOTE. SEE KEYNOTE LEGEND
- FEC — FIRE EXTINGUISHER CABINET (FEC)
- FE — FIRE EXTINGUISHER (FE)
- ROOF DRAIN
- FD — FLOOR DRAIN
- SKYLIGHT

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON G050 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE 0HD U.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 4" INSULATION.

Kahler Slater

SMITH Gilbane

MADISON YARDS
HILL FARMS

NOT FOR CONSTRUCTION

KEY PLAN

Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
4TH FLOOR & ROOF PLANS

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Sheet No.
A1-A14

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EXTERIOR ELEVATION GENERAL NOTES

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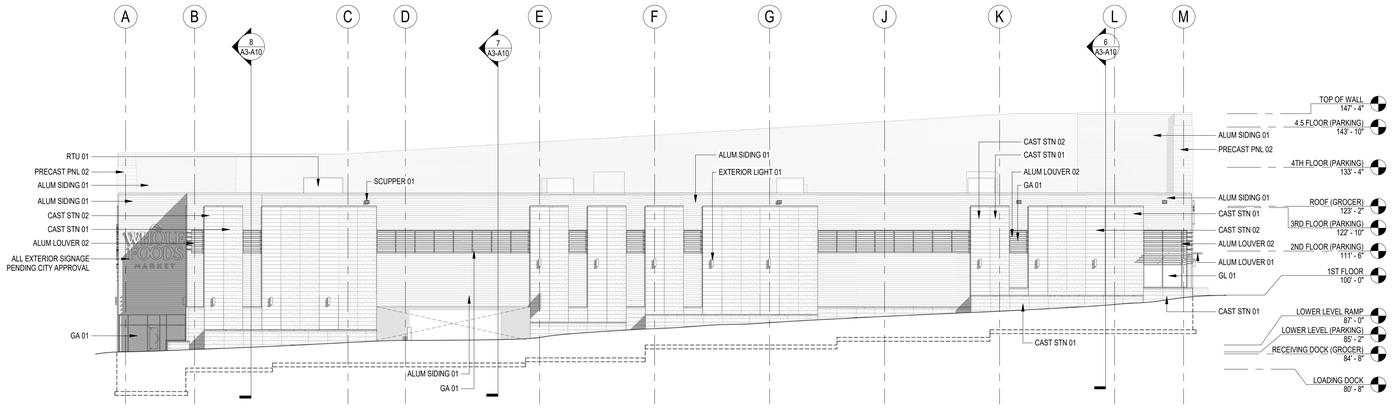
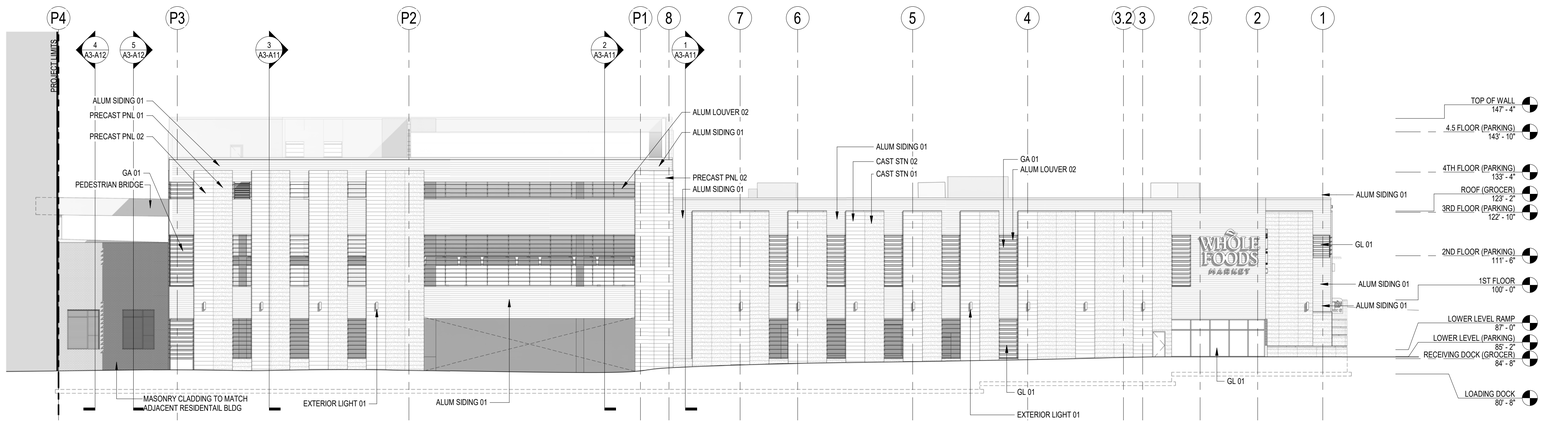
3. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.
4. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 25' SPACING.
5. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE.

ASSEMBLIES & COMPONENTS

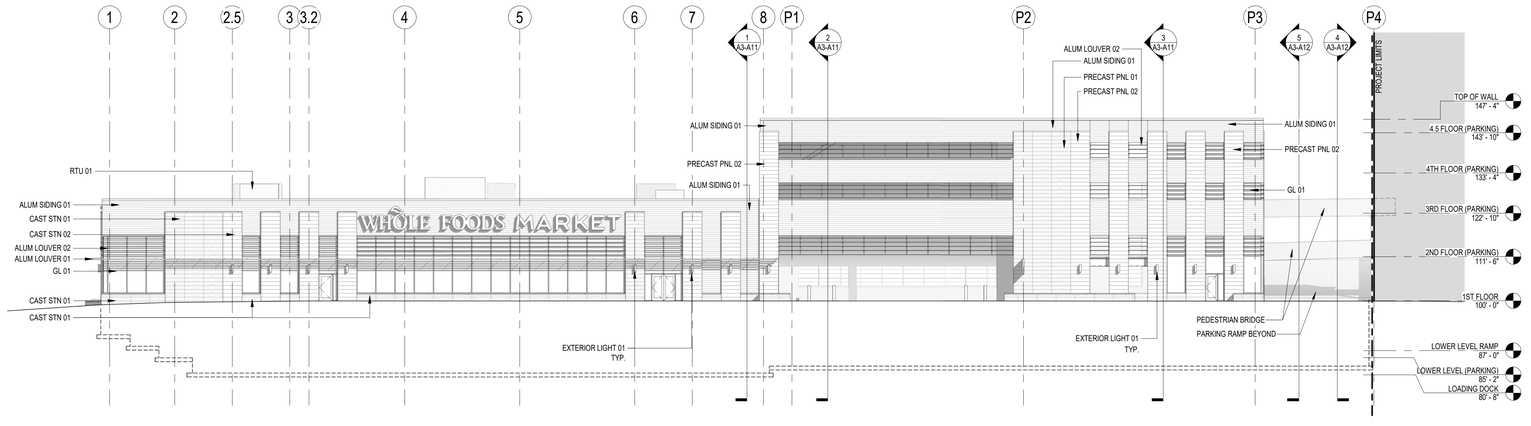
ALUM LOUVER 01	DECORATIVE HORIZONTAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM LOUVER 02	DECORITIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
CAST STN 01	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
CAST STN 02	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCONCE
GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
GL 01	GLAZING - VISION GLASS; 1" INSULATED GLAZING UNIT
PRECAST PNL 01	PRE-CAST PANEL 01 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 01
PRECAST PNL 02	PRE-CAST PANEL 02 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 02
RTU 01	ROOFTOP UNIT - COORDINATE w/MECHANICAL
SCUPPER 01	PREFINISHED ALUMINUM SCUPPER TO MATCH ALUM SIDING 01



3 WEST ELEVATION
1/16" = 1'-0"
0 4 8 16 32
SCALE: 1/16" = 1' - 0"



2 NORTH ELEVATION
1/16" = 1'-0"
0 4 8 16 32
SCALE: 1/16" = 1' - 0"



1 SOUTH ELEVATION
1/16" = 1'-0"
0 4 8 16 32
SCALE: 1/16" = 1' - 0"

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Kahler Slater

SMITH Gilbane

MADISON YARDS
HILL FARMS

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Revisions

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Drawing Date
NOVEMBER 17, 2020

MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
EXTERIOR ELEVATIONS

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Sheet No.
A2-A10

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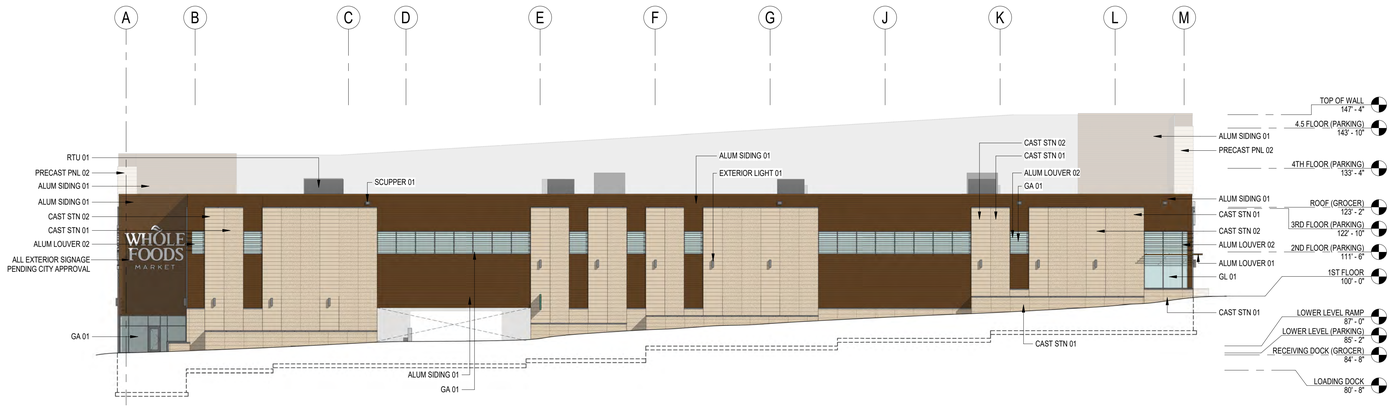
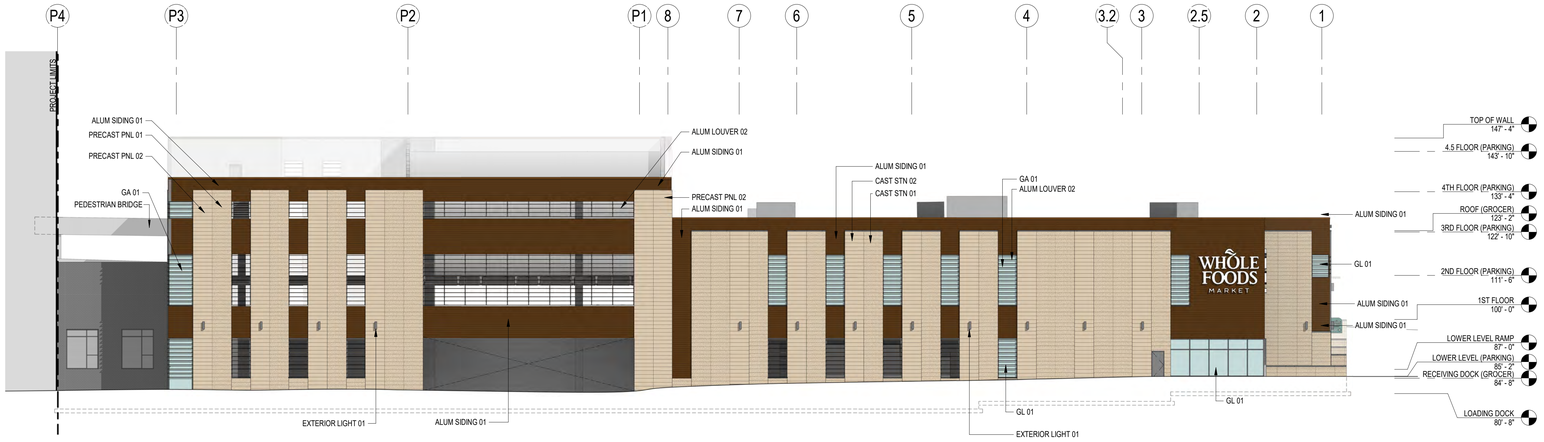
3. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.
4. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 25' SPACING.
5. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE.

ASSEMBLIES & COMPONENTS

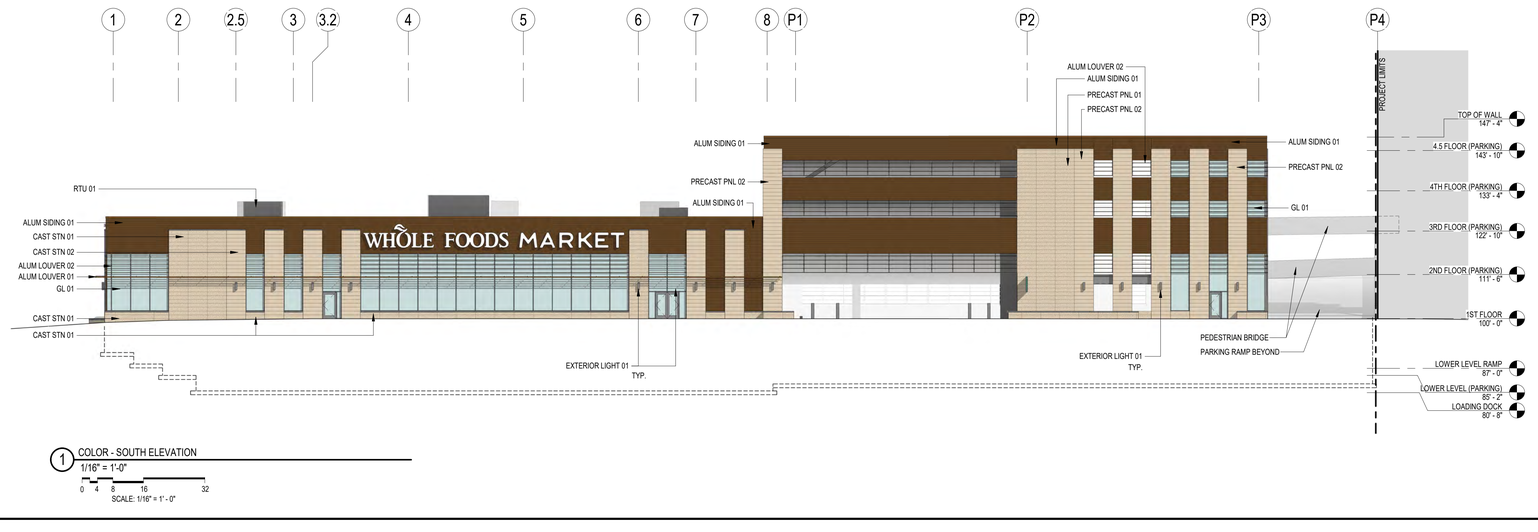
ALUM LOUVER 01	DECORATIVE HORIZONTAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM LOUVER 02	DECORITIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
CAST STN 01	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
CAST STN 02	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCONCE
GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
GL 01	GLAZING - VISION GLASS; 1" INSULATED GLAZING UNIT
PRECAST PNL 01	PRE-CAST PANEL 01 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 01
PRECAST PNL 02	PRE-CAST PANEL 02 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 02
RTU 01	ROOFTOP UNIT - COORDINATE w/MECHANICAL
SCUPPER 01	PREFINISHED ALUMINUM SCUPPER TO MATCH ALUM SIDING 01



3 COLOR - WEST ELEVATION
1/16" = 1'-0"
0 4 8 16 32
SCALE: 1/16" = 1' - 0"



2 COLOR - NORTH ELEVATION
1/16" = 1'-0"
0 4 8 16 32
SCALE: 1/16" = 1' - 0"



1 COLOR - SOUTH ELEVATION
1/16" = 1'-0"
0 4 8 16 32
SCALE: 1/16" = 1' - 0"

Kahler Slater

SMITH Gilbane

MADISON YARDS
HILL FARMS

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Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
EXTERIOR ELEVATIONS

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Sheet No.
A2-A10C

11/16/2020 2:40:49 PM

EXTERIOR ELEVATION GENERAL NOTES

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ASSEMBLIES & COMPONENTS

ALUM LOUVER 01	DECORATIVE HORIZONTAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM LOUVER 02	DECORITIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
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CAST STN 02	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCONCE
GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
ROOF EDGE 01	PREFINISHED METAL ROOF EDGE SYSTEM, COLOR TO MATCH MF-1

1 SOUTHWEST PERSPECTIVE
NOT TO SCALE

2 SOUTHEAST PERSPECTIVE
NOT TO SCALE

3 SOUTHEAST PERSPECTIVE 2
NOT TO SCALE

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SMITH Gilbane

MADISON YARDS
HILL FARMS

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Revisions

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Drawing Date
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MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

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Sheet No.
A2-A20

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ASSEMBLIES & COMPONENTS

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ALUM LOUVER 02	DECORITIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
CAST STN 01	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
CAST STN 02	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCONCE
GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
ROOF EDGE 01	PREFINISHED METAL ROOF EDGE SYSTEM. COLOR TO MATCH MF-1

3 NORTHWEST PERSPECTIVE
NOT TO SCALE

2 NORTHWEST PERSPECTIVE
NOT TO SCALE

1 SOUTHWEST PERSPECTIVE
NOT TO SCALE

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SMITH Gilbane

MADISON YARDS
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Sheet No.
A2-A21

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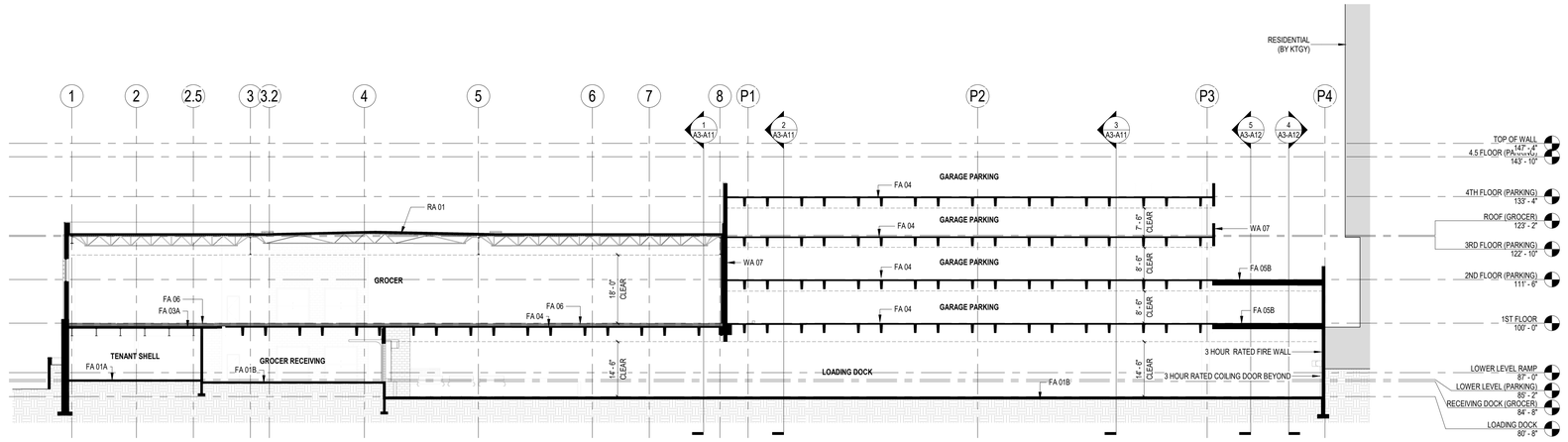
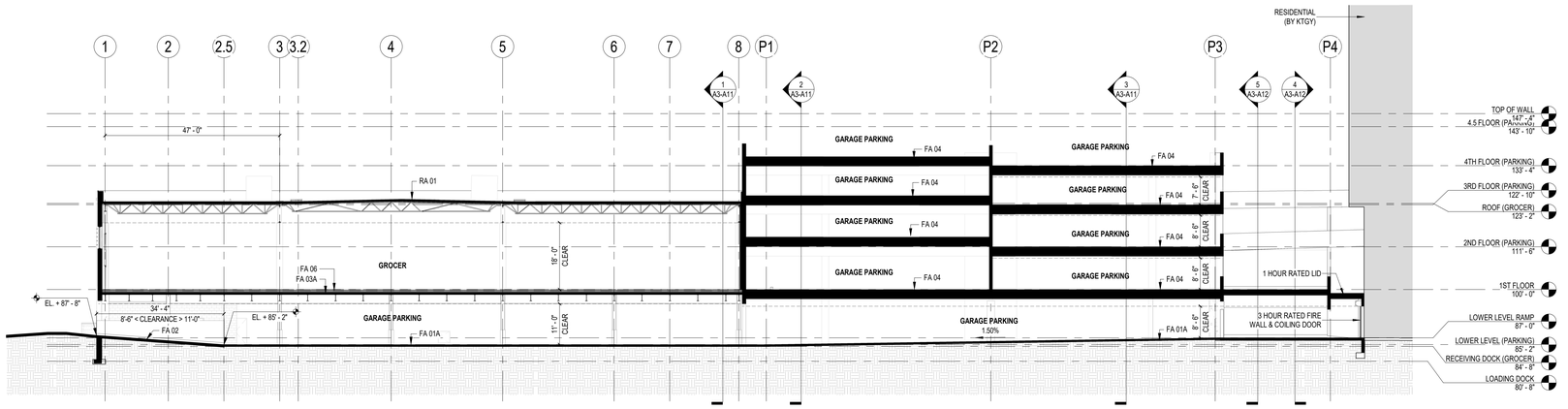
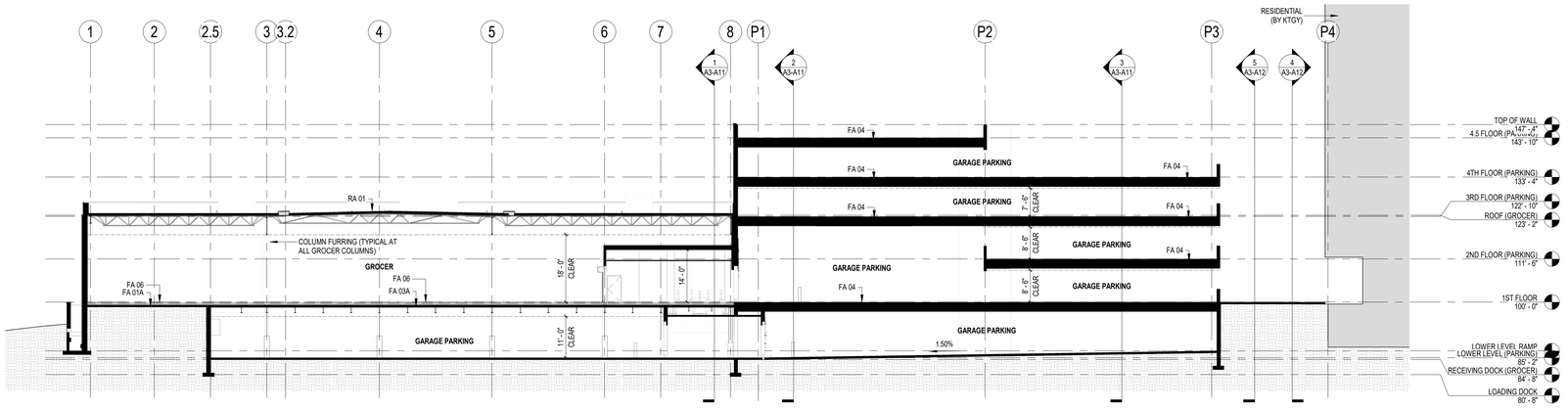


8 BUILDING SECTION 8 - E/W AT LOADING DOCK
1/16" = 1'-0"



7 BUILDING SECTION 7 - E/W AT ENTRY RAMPS
1/16" = 1'-0"



6 BUILDING SECTION 6 - E/W
1/16" = 1'-0"

ASSEMBLIES & COMPONENTS	
FA 01A	6" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 01B	8" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 02	6" CONCRETE SLAB ON GRADE ON 2" OF EXTRUDED POLYSTYRENE INSULATION WITH RADIENT HEAT SNOW MELT SYSTEM OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 03A	7" CONCRETE ON COMPOSITE METAL DECK ON STEEL BEAMS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING)
FA 04	PRECAST CONCRETE DOUBLE TEE - SEE STRUCTURAL
FA 05B	4" CONCRETE SLAB ON 2" OF EXTRUDED POLYSTYRENE INSULATION WITH RADIENT HEAT SNOW MELT SYSTEM ON PRECAST CONCRETE PLANK - SEE STRUCTURAL
FA 06	5" CONCRETE SLAB (BY TENANT) ON 4" OF 40 PSI EXTRUDED POLYSTYRENE INSULATION (R-20 MINIMUM) & WATERPROOFING MEMBRANE, OVER FLOOR ASSEMBLY 03A
RA 01	FULLY ADHERED TPO MEMBRANE ON RIGID INSULATION, VAPOR RETARDER, COVERBOARD, METAL DECK OVER STRUCTURAL STEEL JOISTS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING MINIMUM)
WA 07	PRECAST CONCRETE WALL - PAINTED - REFER TO ASSEMBLIES SHEET FOR MORE INFORMATION

Kahler Slater

SMITH Gilbane

MADISON YARDS
HILL FARMS

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MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

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Sheet Title
BUILDING SECTIONS

104 Shockoe Slip, Richmond, Virginia 23219
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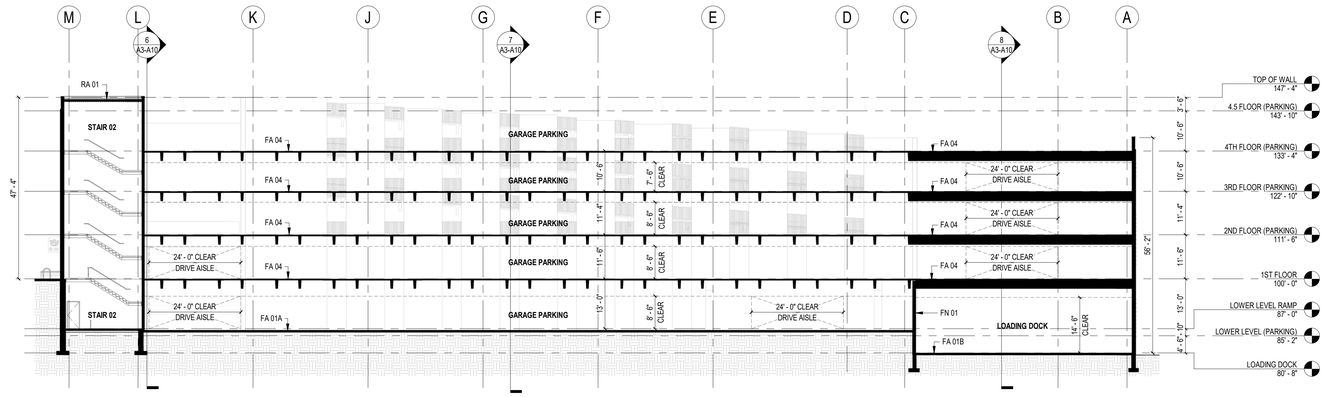
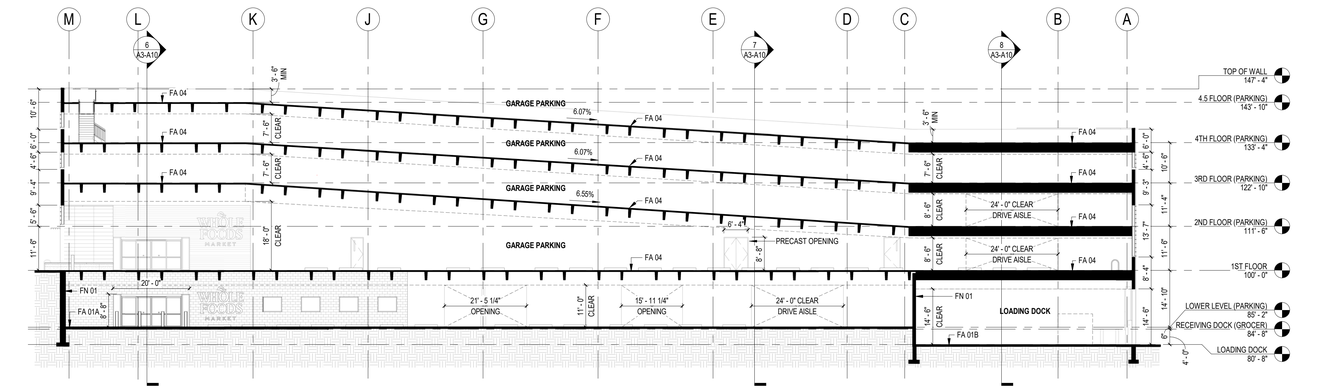
Sheet No.
A3-A10

11/16/2020 2:41:02 PM

ASSEMBLIES & COMPONENTS	
FA 01A	6" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 01B	8" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 03A	7" CONCRETE ON COMPOSITE METAL DECK ON STEEL BEAMS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING)
FA 04	PRECAST CONCRETE DOUBLE TEE - SEE STRUCTURAL
FA 06	5" CONCRETE SLAB (BY TENANT) ON 4" GI- 40 PSI EXTRUDED POLYSTYRENE INSULATION (R-20 MINIMUM) & WATERPROOFING MEMBRANE, OVER FLOOR ASSEMBLY 03A
FN 01	CAST-IN-PLACE CONCRETE FOUNDATION WALL - REFER TO ASSEMBLIES SHEET FOR MORE INFORMATION
RA 01	FULLY ADHERED TPO MEMBRANE ON RIGID INSULATION, VAPOR RETARDER, COVERBOARD, METAL DECK OVER STRUCTURAL STEEL JOISTS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING MINIMUM)



3 BUILDING SECTION 3 - N/S AT PARKING
1/16" = 1'-0"



2 BUILDING SECTION 2 - N/S AT PARKING
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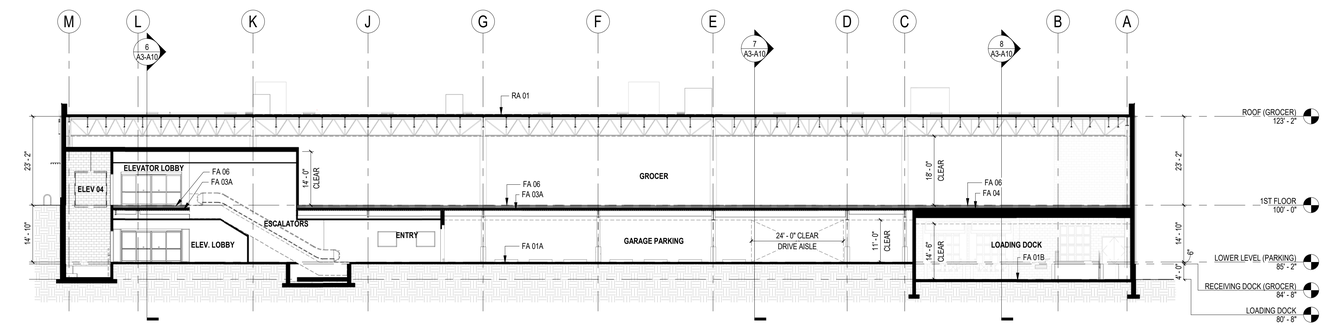

1 BUILDING SECTION 1 - N/S AT GROCER
1/16" = 1'-0"

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MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

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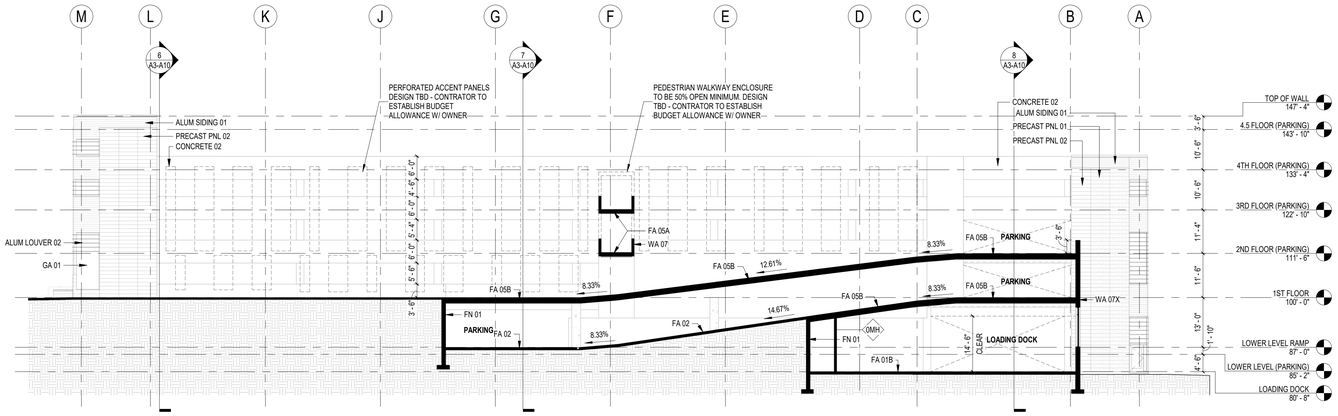
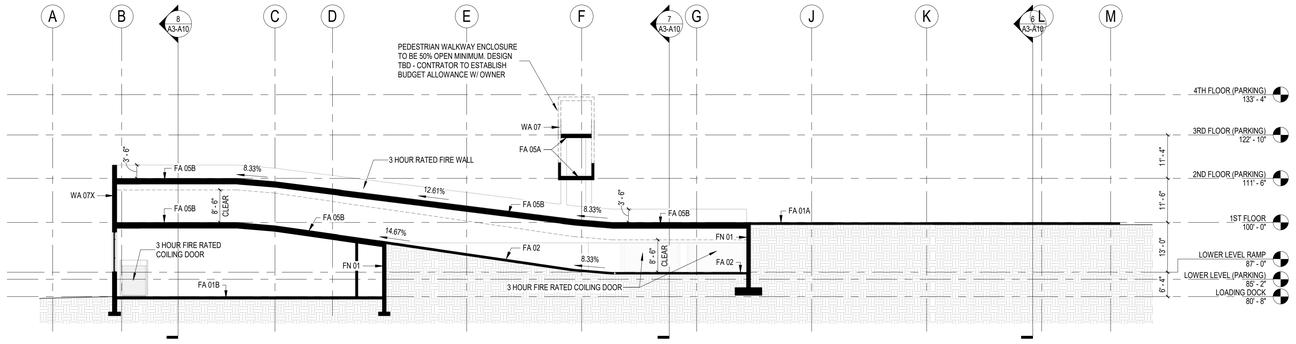
Sheet No.
A3-A11

11/16/2020 2:41:12 PM

ASSEMBLIES & COMPONENTS	
ALUM LOUVER 02	DECORITIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM – SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
CONCRETE 02	PRE-CAST CONCRETE
FA 01A	6" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 01B	8" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 02	6" CONCRETE SLAB ON GRADE ON 2" OF EXTRUDED POLYSTYRENE INSULATION WITH RADIENT HEAT SNOW MELT SYSTEM OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 05A	PRECAST CONCRETE PLANK - SEE STRUCTURAL
FA 05B	4" CONCRETE SLAB ON 2" OF EXTRUDED POLYSTYRENE INSULATION WITH RADIENT HEAT SNOW MELT SYSTEM ON PRECAST CONCRETE PLANK - SEE STRUCTURAL
FN 01	CAST-IN-PLACE CONCRETE FOUNDATION WALL - REFER TO ASSEMBLIES SHEET FOR MORE INFORMATION
GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 60IT GLAZING SYSTEM
PRECAST PNL 01	PRE-CAST PANEL 01 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 01
PRECAST PNL 02	PRE-CAST PANEL 02 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 02
WA 07	PRECAST CONCRETE WALL - PAINTED - REFER TO ASSEMBLIES SHEET FOR MORE INFORMATION
WA 07X	FULL DEPTH BRICK MASONRY VENEER (MATCH RESIDENTIAL BUILDING) ON PRECAST CONCRETE BACKUP WALL - REFER TO ASSEMBLIES SHEET FOR MORE INFORMATION



5 BUILDING SECTION 4 - N/S AT SPEED RAMP
1/16" = 1'-0"



4 BUILDING SECTION 5 - N/S AT SPEED RAMP
1/16" = 1'-0"

11/16/2020 2:41:21 PM

Kahler Slater

SMITH Gilbane

MADISON YARDS
HILL FARMS

NOT FOR CONSTRUCTION

Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
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Sheet No.
A3-A12

SITE MAP

VICINITY MAP

MADISON YARDS BLOCK 2
BUILDING B

NEW CONSTRUCTION
ISSUE FOR GMP
11//18/20

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MADISON YARDS
HILL FARMS

KTGY Project No: 20200326

Project Contact: Eric Lukacsik
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Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.

MADISON YARDS BLOCK 2
BUILDING B
UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
1	09/25/20	PRELIMINARY PRICING
2	11/17/20	ISSUE FOR SIP REVIEW
3	11/18/20	ISSUE FOR GMP

BUILDING B

COVER

A0-B00

Elevators (Section 3006)	Required	Provided	
Emergency Communication for hearing and speech impaired (Section 30001.2)	Yes	Yes	
Number of Elevator cars in a hoistway (Section 3002.2)	4	3	
Elevator Car to Accommodate Ambulance Stretcher (Section 3002.4)	Yes	Yes	
Elevator Lobbies and Hoistway Protection (Section 3006.1)	Yes	Yes	4. Where fire service access elevators are provided enclosed elevator lobbies shall comply with (Section 3007.6) 5. Where occupant evacuation elevators are provided, enclosed elevator lobbies shall comply with (Section 3008.6)
Rated Corridor (Section 3006.2.1)	Yes	Yes	Where corridors are required to be fire-resistance rated in accordance with Section 1020.1 elevator hoistway openings shall be protected in accordance with Section 3006.3
Hoistway Opening Protection (Section 3006.3)	No	No	Both a Fire Service Access Elevators and Fire Service Access Elevator Lobby are provided
Number of Evacuation Elevators (Section 3008.1.1)	2	2	Not less then two shall be provided in each occupant evacuation elevator lobby where more than one elevator opens into the lobby.
Fire Service Access Elevators Lobby (Section 3007.6)	Yes	Yes	Where Section 3006.2 requires protection of the elevator hoistway door opening, the protection shall be provided by: An enclosed elevator lobby or additional hoistway doors
Access to interior exit stairway	Yes	Yes	Direct access or access through a protected path (Section 3007.6.1)
Lobby Enclosure	Yes	Yes	(Section 3008.6.1) Direct access or access through a protected path (Section 3007.6.2) 1 HR rated Fire Partition (Section 3008.6.2) 1 HR rated Fire Partition (Section 708) Smoke Proof Partitions Enclosure not required at level of Exit Discharge
Lobby Doors	Yes	Yes	(Section 3007.6.3) (Section 716) 3/4HR Fire Doors Assembly (Section 3008.6.3) (Section 716) 3/4HR Fire Doors Assembly (Section 3008.6.3) (Section 716.2.2.1.1) Smoke And Daft Control Door Assembly
Lobby Size	150 sq. ft. 72 sq. ft.	256 sq. ft. 256 sq. ft.	(Section 3006.4) Fire service access elevator lobby shall not be less than 150 sq. ft. (Section 3008.6.4) 3 sq ft per Occupant or not less then 25% of the Occupant Load of floor 18,600 sq. ft. / 200 gross sq. ft. 93 Maximum Total Occupa...
Two-way Communication	Yes	Yes	(Section 3008.6.3.1) (Section 716) A vision panel shall be installed in each Door From Evacuation Lobby to Fire Command Center or alternate location approved by the Fire Department (Section 3008.6.6)
Protected Duct Penetrations	Yes	Yes	(Section 717.5.4.1) Protection of duct penetrations from corridor (Section 3006.3)
Automatic Sprinkler System	Yes	Yes	(Section 903.3.1.1) Automatic sprinkler system (Section 3006.3)
			(Section 3008.2) (Section 903.3.1.1) Automatic sprinkler system

Mean of Egress (Section 10)			
Occupant Load (Section 1004.5)	Allowable	Actual	
R2	200 Gross	T.B.D.	Refer to Plans for Actual Occupant Load
B	200 Gross	T.B.D.	Refer to Plans for Actual Occupant Load
A-3	150 Gross	T.B.D.	Refer to Plans for Actual Occupant Load
S-2	15 Net	T.B.D.	Refer to Plans for Actual Occupant Load

Spaces with one Exit / Exit Access Doorway Common path of Travel (Table 1006.2.1)	Occupancy Allowable	Occupancy Actual	Actual Travel	Building equipped throughout with sprinkler (Section 903.1.1) and (Section 403.3.3)
R2	49	T.B.D.	T.B.D.	125'-0" Maximum common path of travel
B	49	T.B.D.	T.B.D.	100'-0" Maximum common path of travel
A-3	49	T.B.D.	T.B.D.	75'-0" Maximum common path of travel
S-2	29	T.B.D.	T.B.D.	100'-0" Maximum common path of travel

Minimum Number of Exits per Story (Table 1006.3.2)	Required	Provided	1- 500 Occupants per Story
	2	2	

Remoteness of Exits (Section 1015) High-Rise (Section 403.5.1)	Allowable	Actual	30'-0" Minimum separation or not less than one forth the maximum overall diagonal dimension of the building area
	30'-0"	T.B.D.	

Length of Exit Axcess Travel (Table 1017.2)	Maximum Travel	Actual Travel	Building equipped throughout with sprinklers as per (Section 903.1.1) and (Section 403.3.3)
R2	250'-0"	T.B.D.	Refer to Plans for Travel Path Provided
B	250'-0"	T.B.D.	Refer to Plans for Travel Path Provided
A-3	250'-0"	T.B.D.	Refer to Plans for Travel Path Provided
S-2	400'-0"	T.B.D.	Refer to Plans for Travel Path Provided

Dead End Corridor (Section 1020.4) Exception 2.	Maximum	Actual	In Occupancies in Groups B, R-2, s where the building equipped throughout with sprinklers as per (Section 903.1.1) and (Section 403.3.3)
	50'-0"	T.B.D.	

Corridor Continuity (Section 1020.6) Exception 1. and 2	1. Foyers, lobbies or reception rooms constructed as required for Corridors shall not be construed as intervening rooms 2. Enclosed elevator lobbies as permitted by Item 1 of Section 1016.2 shall not be construed as intervening rooms
Egress through intervening Spaces (Section 1016.2)	1. Exit Access through an enclosed elevator lobby is permitted. Access to not less than one of the required Exits shall be provided without travel through the enclosed elevator lobbies required by Section 3006

Exit Discharge (Section 1028.1) Exceptions 1.	Not more then 50 percent of the number and minimum width or required capacity of interior exit stairways and ramps are permitted to egress through areas on the level of discharge, provided that ALL of the following conditions are met:
	Comply 1.1 Discharge shall be provided with a free and unobstructed path of travel to an exterior exit door and such exit is readily visible and identifiable from the point of termination of the enclosure.
	Comply 1.2 The entire area of level of exit discharge is separated from areas below by construction conforming to the fire-resistance rating for the enclosures.
	Comply 1.3. The egress path at the level of discharge and spaces with access to the egress path shall be equipped throughout by an automatic sprinklered system in accordance with Section 903.3.1.1
	Comply 1.4.When the termination of the Exit Accessed Stairway and Exit discharge door of the Interior Exit Stairway are at the same level of exit discharge, they shall be separated by a distance of not less then 30 feet or one-forth the length of the overall diagonal dimension of the building, which ever is less, when messaged in a straight line.

Accessible Means of Egress (Table 1006.3.2)	When more than one means of egress is required by Section 1006.2 or 1006.3 from any accessible space, each accessible portion of the space shall be served by not less than two accessible means of egress.

Stairs Accessible Requirements (Sections 1009.3)			In order to be considered part of an acceptable means of egress a stairway between stories shall comply with section 1009.3.1 to 1009.3.3
	Required	Provided	
Stair Width (Section 1009.3.2.) Exception 1.	No	No	Exception 1: The clear width of 48" between handrails is not required with an Automatic Sprinkler System installed in accordance with (Section 903.1.1.1)
Area of Refuge Stairs (Section 1009.4.2) Exceptions 1	No	No	Exception 1: Areas of refuge not required in buildings equipped throughout with an automatic sprinkler system installed in accordance with (Section 903.1.1)
Elevators Accessible Requirements (Section 1009.2.1)	Required	Provided	In buildings with an accessible floor, four or more stories above level of discharge one required accessible means of egress shall be an elevator as per (Section 1009.4)
Stand-by Power (Section 1009.4.1)	Yes	Yes	Stand-by power to be provide in accordance with Chapter 27 and Section 3003
Area of Refuge Elevators (Section 1009.4.2) Exceptions 1	No	No	Exception 1 Areas of refuge not required in buildings equipped throughout with an automatic sprinkler system installed in accordance with (Section 903.1.1)
Two-way Communication Elevators (Section 1009.4.2)	Yes	Yes	Two-way communication system shall be provided at each required location and the Fire Command Center or Central Location Approved by the Fire Department

Stairways (Section 1011)	Required	Provided		
Stairway Width	44"	44"	(Section 1011.2)	Measured from wall to wall
Stair Headroom	80"	80"	(Section 1011.3)	Measured vertically tread to nosing
Stair Treads and Risers	7"	T.B.D.	(Section 1011.5.2)	Maximum Riser
	4"	T.B.D.	(Section 1011.5.2)	Minimum Riser
	11"	T.B.D.	(Section 1011.5.2)	Minimum Tread
Height of Handrails	34" to 38"	34"	(Section 1014.2)	Height of grip surface
Height of Guardrails	42"	42"	(Section 1014.2)	
	4 1/2"		(Section 1014.8)	Maximum Projection
	1 1/2"		(Section 1014.8)	Clear space form wall to Rail
Stair to Roof	Yes	Yes	(Section 1011.12)	Refer to plans

Corridors (Section 1018)	Required	Provided		
Corridor Width	44"	5'-6"	(Table 1018.2)	Measured from wall to wall
Corridor Headroom	80"	T.B.D.	(Section 1011.3)	Measured vertically tread to nosing

Doors (Section 1010)	Required	Provided		
Door Headroom	80"	Yes	(Section 1010.1.1)	Minimum Height
	78"	Yes	(Section 1010.1.1.1)	Projections - Door Closer and Stops minimum clear
Door Width	32"	Yes	(Section 1010.1.1)	Minimum Width
	48"	Yes	(Section 1010.1.1)	Maximum Width of Swing door leaf
Door Swing	Yes	Yes	(Section 1010.1.2.1)	Swing in direction of egress where space has 50 or more...
Door Encroachment	Yes	Yes	(Section 1005.7.1)	Door in open position shall not reduce required width by more...
	Yes	Yes	(Section 1005.7.1)	Door in any position shall not reduce the required width by 50%
Door Hardware	Yes	Yes	(Section 1010.1.10	Serving rooms or spaces with 50 or more Occupants
Door Arrangement	Yes	Yes	(Section 1010.1.8)	Space between two doors in a series shall be 48" minimum plus the width of a door swinging into the spaces.

Project Name:	Madison Yards Block 2
Project Address:	1 Madison Yards Way, Madison, WI.
Project Description:	New Construction of a sixteen story, 290,000 sq. ft., cast-in-place concrete high-rise building with 270 units consisting of studios, one bedroom and two bedroom units. The project also contains 0000 sq ft of ground floor amenities with a residential lobby, leasing offices, fitness center and tenant bike storage. The penthouse level of the project also has residential amenities, including a 0000 sq. ft. lounge and 000 sq. ft. exterior roof terrace and trellis.
Applicable Code:	STATE OF WISCONSIN BUILDING CODE SPS 361-365 (IBC 2015) 2015 INTERNATIONL BUILDING CODE 2015 INTERNATIONL ENERGY CODE 2015 INTERNATIONL MECHANICAL CODE 2015 INTERNATIONL FUEL GAS CODE STATE WISCONSIN PLUMBING CODE SPS 380 -387 STATE WISCONSIN ELECTRICAL CODE SPS 316 STATE WISCONSIN ELEVATOR CODE SPS 318 NFPA 2012 FIRE CODE ANSI 2017 117.1 2010 FEDERAL ADA STANDARD ACCESSIBILITY REQUIERMNETS OF THE FAIR HOUSING ACT
Project is fully Sprinkled as per	Building equipped throughout with automatic sprinkler system NFPA13 (Section 903.1.1) and (Section 403.3.3)
Use and Occupancy (Section 302)	
Group Classification	**Residential R2** (Section 303.4) **Storage S-2** (Section 303.4) Low-Hazard **Business B** (Section 304.1) **Assembly A-3** (Section 303.3)
(Section 303.1.2.1) Small Assembly...	A room or spaces used for assembly with a occupant load of less than 50 people and accessary to another occupancy shall be classified as a Group B Occupancy.
High Rise Buildings (Section 403)	
Reduction in Fire resistance Rating (Section 403.2.1)	For building not greater then 420 feet in height the fire resistance rating of building elements in Type IA shall be permitted to be reduced to Type IB
Fire Service access elevators (Section 403.6.1)	In building with an occupied floor more then 120 feet above lowest level of fire department access not fewer than (2) fire service access elevators with a capacity of 3500lbs shall be provide. SPS 362.302.1.a.2 reduces qty of fire service elevators to (1) for R-2 buildings over four stories.
Remoteness of interior Exit stairways (Section 403.5.1)	30'-0" separation or not less than one forth the maximum overall diagonal dimension of the building area

Separations of Occupancies (Table 508.4)

Group	R2	S-2	B	A-3
R2		1HR	1HR	1HR
S-2	1HR		1HR	1HR
B	1HR	1HR		1HR
A-3	1HR	1HR	1HR	

S-2 Required separation for private or pleasure vehicles only

Types of Construction (Section 602)

	IA	IA	
General Building Heights and Areas	Allowable	Actual	
Allowable height (Table 504.3)	UL	160'-0"	For all Use and Occupancy Groups
Number of stories (Table 504.4)	UL	15	For all Use and Occupancy Groups
Allowable area (Table 506.2)	UL	T.B.D.	For all Use and Occupancy Groups

Fire Resistance rating requirements for building elements (Table 601)		
Primary Structural Frame		
Columns	3HR	(Table 601)
Girders, Beam and Trusses	3HR	(Table 601)
Bearing walls		
Exterior	3HR	(Table 601)
Interior	3HR	(Table 601)
Non-bearing walls		
Exterior		
X < 5'	1HR	(Table 602 Fire Distance)
5' ≤ X < 10'	1HR	(Table 602 Fire Distance)
10' ≤ X< 20'	1HR	(Table 602 Fire Distance)
X≥ 20'	0HR	(Table 602 Fire Distance)(Note "g")
Interior	0HR	
Floor construction	2HR	(Table 601) Associated Secondary Member
Roof construction	1.5HR	(Table 601) Associated Secondary Member
Fire Partitions		
Corridor	0.5HR	(Table 1018.1)
Fire Service Lobby	1HR	(Section 3007.6.2)
Dwelling Unit Separation	1HR	(Section 711.3) Horizontal Separation
Dwelling Unit Separation	1HR	(Section 709.3) Vertical Separation
Fire Barriers		
Enclosure of Exit Stair	2HR	(Section 1022.2)
Enclosure Elevations	2HR	(Section 708.4)
Enclosure Vertical Shaft	2HR	(Section 708.4)

Note "g": Where table 705.8 permits, non-load bearing exterior walls with unlimited area of unprotected openings, the required fire-resistance rating for the exterior wall is 0 HOUR.

Maximum area of Exterior Wall Opening Based on fire Distance (Table 705.8)	Allowable	Actual Distance	Actual Opening	A " Fire Separation Line" shall be Located and used between buildings for control of openings
3'-0" to 5'-0"	15%			
5'-0" to 10'-0"	25%	6'-6"	T.B.D.	Partial West Exposures
10'-0 to 15'-0"	45%	10'-4"	T.B.D.	Partial West Exposures
15'-0" to 20'-0"	75%	14'-8"	T.B.D.	Partial West Exposures
20'-0" to Greater	No Limit	Greater	No Limit	North, South and East Exposures

Vertical Exposure Separation of Openings (Section 705.8.5)...	This section shall NOT apply to buildings equipped throughout with an automatic sprinkler system in accordance with (Section 903.1.1).
Vertical Exposure Buildings on Same lot (Section 705.8.6) Exception 1	Open protectives are NOT required where the roof assembly of the adjacent buildings has a fire-resistance rating of not less then 1 hour for a minimum distance of 10 feet from the exterior wall facing the imaginary line and the entire length and span of the supporting elements for the roof assembly has a fire-resistance rating of not less the...

Fire Protection and Life Safety (Section 9)	YES	NO	
Automatic Sprinkler System (Section 903)	X		(Section 903.3) Required for Group R in accordance with (Section 403.3) Secondary water supply NOT required. Building is less than 420 feet
Standpipe System (Section 905)	X		(Section 403.4.3) as per (Section 905.3.1) Class I standpipes are allowed in buildings equipped with an automatic sprinkler system in accordance with Section 903.1.1 Required in Interior Exit Stairways with a maximum remote spacing of 200'-0"
Portable Fire Extinguishers (Section 906)	X		(Table 903.1) Maximum distance of travel 75'-0" As per City of Madison Requirements
Smoke Detection (Section 907)	X		(Section 403.4.1) as per (Section 907.2.12.1) Installed in immediate vicinity of bedroom. Installed in each room used for sleeping
Fire Alarm System (Section 907)	X		(Section 403.4.2) as per (Section 907.2.12) Manual fire alarm boxes are not required where building is equipped with an automatic sprinkler system in accordance with Section 903.3.1.1 (Section 907.5.2.3) Visible Alarm notification appliances shall be provided
Fire Command Center (Section 911)	X		(NFPA 72), Minimum size of 200 sq. ft. with a minimum dimension of 10'-0". (Section 3008.6.6) Two-Way Communication to Elevator lobbies with Manual Elevator Recall
Fire Department Connection (Section 912)	X		As per City of Madison Requirements

ktgy

MADISON YARDS
HILL FARMS

KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.

MADISON YARDS BLOCK 2
BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
1	09/25/20	PRELIMINARY PRICING
2	11/17/20	ISSUE FOR SIP REVIEW

BUILDING B

CODE MATRIX

A0-B10

Building Data

Floor	Stories	Dwelling Units/ Flr	Gross Area	Common Area	Net Rentable	Eff.
LL	1	6	14,615	9,210	5,405	37%
1st	1	10	19,477	11,048	8,429	43%
2nd	1	19	19,368	3,197	16,171	83%
3rd	1	19	18,510	2,448	16,062	87%
4th	1	19	18,510	2,258	16,252	88%
5th	1	19	18,510	2,258	16,252	88%
6th	1	19	18,510	2,258	16,252	88%
7th	1	19	18,510	2,258	16,252	88%
8th	1	19	18,510	2,258	16,252	88%
9th	1	19	18,510	2,258	16,252	88%
10th	1	19	18,510	2,258	16,252	88%
11th	1	19	18,510	2,258	16,252	88%
12th	1	19	18,510	2,258	16,252	88%
13th	1	19	18,510	2,258	16,252	88%
14th	1	19	18,510	2,258	16,252	88%
15th/Mech	1	10	15,946	7,192	8,754	55%
Total	**16**	**273**	**291,526**	**57,933**	**233,593**	80%

Average Unit Size: 855 SQFT

Unit Mix

Unit Type	Area SF		Quanity at LL	Quantity at 1st Flr	Quantity at 2nd Flr	Quantity at 3rd Flr	Quantity at 4th Flr	Quantity at 5th Flr	Quantity at 6th Flr	Quantity at 7th Flr	Quantity at 8th Flr	Quantity at 9th Flr	Quantity at 10th Flr	Quantity at 11th Flr	Quantity at 12th Flr	Quantity at 13th Flr	Quantity at 14th Flr	Quantity at 15th Flr	Total	Total SQFT	Average Unit Size SF	Percentage
STUDIO																						
B0-A	548					1	1	1	1	1	1	1	1	1	1	1	1		12	6576		
B0-B	547				1	1	1	1	1	1	1	1	1	1	1	1	1	1	14	7658		
B0-F	563		1	1															3	1689		
B0-G	572					1	1	1	1	1	1	1	1	1	1	1	1		12	6864		
Subtotal			**1**	**1**	**2**	**3**	**3**	**3**	**3**	**3**	**3**	**3**	**3**	**3**	**3**	**3**	**3**	**1**	**41**	**22787**	**556**	**15.0%**
ONE BEDROOM																						
B1-A	801					1	1	1	1	1	1	1	1	1	1	1	1		12	9612		
B1-B	697					1	1	1	1	1	1	1	1	1	1	1	1		12	8364		
B1-C	959				1		1	1	1	1	1	1	1	1	1	1	1	1	13	12467		
B1-D	850					1	1	1	1	1	1	1	1	1	1	1	1		12	10200		
B1-D.1	722				1														1	722		
B1-E	805					1	1	1	1	1	1	1	1	1	1	1	1		12	9660		
B1-E.1	701				1														1	701		
B1-F	736				1	1	1	1	1	1	1	1	1	1	1	1	1	1	14	10304		
B1-F.1	769					1													1	769		
B1-G	753			1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	15	11295		
B1-H	730			1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	15	10950		
B1-I	701			1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	15	10515		
B1-J	799					1	1	1	1	1	1	1	1	1	1	1	1		12	9588		
B1-J.1	923		1	1	1														3	2769		
B1-K	925		1	1	1														3	2775		
B1-L	835		1	1	1														3	2505		
B1-M	767				1														1	767		
B1-N	908		1	1	1														3	2724		
B1-O	799			1															1	799		
Subtotal			**4**	**8**	**12**	**10**	**10**	**10**	**10**	**10**	**10**	**10**	**10**	**10**	**10**	**10**	**10**	**5**	**149**	**117406**	**788**	**54.6%**
TWO BEDROOM																						
B2-A	1095					1	1	1	1	1	1	1	1	1	1	1	1		12	13140		
B2-B	1331					1	1	1	1	1	1	1	1	1	1	1	1		12	15972		
B2-C	1038				1	1	1	1	1	1	1	1	1	1	1	1	1	1	14	14532		
B2-D	1110					1	1	1	1	1	1	1	1	1	1	1	1	1	13	14430		
B2-D.1	1127				1														1	1127		
B2-E	1152					1	1	1	1	1	1	1	1	1	1	1	1	1	13	14976		
B2-F	1251		1	1	1														3	3753		
B2-H	1028				1	1	1	1	1	1	1	1	1	1	1	1	1	1	14	14392		
B2-I	957				1														1	957		
Subtotal			**1**	**1**	**5**	**6**	**6**	**6**	**6**	**6**	**6**	**6**	**6**	**6**	**6**	**6**	**6**	**4**	**83**	**93279**	**1124**	**30.4%**
Total			**6**	**10**	**19**	**19**	**19**	**19**	**19**	**19**	**19**	**19**	**19**	**19**	**19**	**19**	**19**	**10**	**273**			

MADISON YARDS BLOCK 2 - BUILDING B BIKE PARKING CALCULATIONS			
UNIT TYPE	#UNITS	BIKE PRKG REQD	# BIKE RACKS REQD
STUDIOS	42	1	42
1 BED	148	1	148
2 BED	83	1	83
	273		273
GUEST BIKES		1/10 UNITS	28.0
TOTAL BIKES			301
		TYPE	REQUIRED
GUEST		28	55
LONG TERM - INTERIOR REG	90% OF RES - VERT	273	171
LONG TERM - VERTICAL	25% OF TOTAL	0	75
		301	301

	BLDG B - BIKE PARKING PROVIDED				
	SITE	BUILDING A - PARKING GARAGE	BUILDING B - BIKE ROOM	BUILDING B - EXTERIOR	
SHORT TERM	55			0	
LONG TERM - REGULAR					
GROUND FLOOR		40	99	0	
SECOND FLR		20			
THIRD FLOOR		12			
LONG TERM VERTICAL					
GROUND FLOOR			75		
TOTAL	55	72	174	0	301

MADISON YARDS BLOCK 2 - BUILDING B		
OPEN SPACE CALCULATIONS		
# UNITS	**REQD AREA/ UNIT (SF)**	**OPEN SPACE REQD (SF)**
273	40	10920 SF

LEVEL	**TYPE**	**AREA**
GRADE		
LL	BALCONIES	284 SF
1	BALCONIES/ COMMON	1572 SF
2	BALCONIES	679 SF
3	BALCONIES	2042 SF
4	BALCONIES	688 SF
5	BALCONIES	688 SF
6	BALCONIES	688 SF
7	BALCONIES	688 SF
8	BALCONIES	688 SF
9	BALCONIES	688 SF
10	BALCONIES	688 SF
11	BALCONIES	688 SF
12	BALCONIES	688 SF
13	BALCONIES	688 SF
14	BALCONIES	688 SF
15	BALCONIES/ COMMON	3110 SF
TOTAL OPEN SPACE		**15255 SF**
	UNITS	**273**
OUTDOOR SPACE PER UNIT		56 SF

PROJECT NOTES

1. BUILDING A – RETAIL/ PARKING GARAGE STRUCTURE LOCATED ON THE WESTERN PORTION OF THE PROJECT SITE. SEE KAHLER SLATER DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
2. BUILDING B – 15 STORY (ABOVE GRADE PLANE) HIGH-RISE RESIDENTIAL BUILDING LOCATED ON THE EASTERN PORTION OF THE PROJECT SITE. SEE KTGY DRAWINGS FOR INFORMATION RELATED TO BUILDING B. SEE CODE ANALYSIS FOR HIGH-RISE CODE REQUIREMENTS RELATED TO BUILDING B.
   a. A FIRE SEPARATION LINE (FSL) IS UTILIZED TO CONTROL THE FIRE RESISTANCE RATING OF THE EXTERIOR WALLS ADJACENT TO THE FSL.
   b. OPENING PROTECTIVES ARE REQUIRED AT THE LOWER LEVEL BETWEEN BUILDINGS A AND B.
   c. EXTERIOR WALL FIRE RESISTANCE RATING IS REDUCED ABOVE GRADE PER SECTION 705.8.6, EXCEPTION 1. THE PARKING GARAGE RAMP CONSTRUCTION IS RATED TO AT LEAST 1-HOUR AND EXTENDS MORE THAN 10 FT HORIZONTALLY SUCH THAT OPENING PROTECTIVES IN BUILDING B ABOVE THIS RAMP ELEVATION ARE NOT REQUIRED AND THE RATING OF THE EXTERIOR WALL IS REDUCED TO 0-HOURS ABOVE GRADE OR THE ELEVATION OF THE RAMP.
3. EACH BUILDING SHALL BE SEPARATE AND HAVE A UNIQUE BUILDING ADDRESS FOR EMERGENCY RESPONSE.
4. PROVIDE MINIMUM 2" EXPANSION JOINT BETWEEN BUILDING A / B. TYPE OF EXPANSION JOINT SHALL BE AS REQUIRED TO PROVIDE WEATHERTIGHT JOINT AT ALL BUILDING EXTERIOR LOCATIONS.
5. PROJECT SHALL UTILIZE "FIRE SEPARATION LINE" TO CONTROL OPENINGS WITHIN BUILDINGS A / B. SEE DRAWINGS FOR LOCATION AND EXTENT OF THE FIRE SEPARATION LINE.
6. OPENINGS BETWEEN BUILDINGS A / B SHALL BE PROTECTED WITH A 3-HOUR RATED FIRE SHUTTER IN LOCATIONS INDICATED ON THE PLANS. FIRE SHUTTERS SHALL BE CONNECTED TO THE FIRE ALARM FOR EACH BUILDING.

ktgy

MADISON YARDS
HILL FARMS

KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.

MADISON YARDS BLOCK 2 BUILDING B

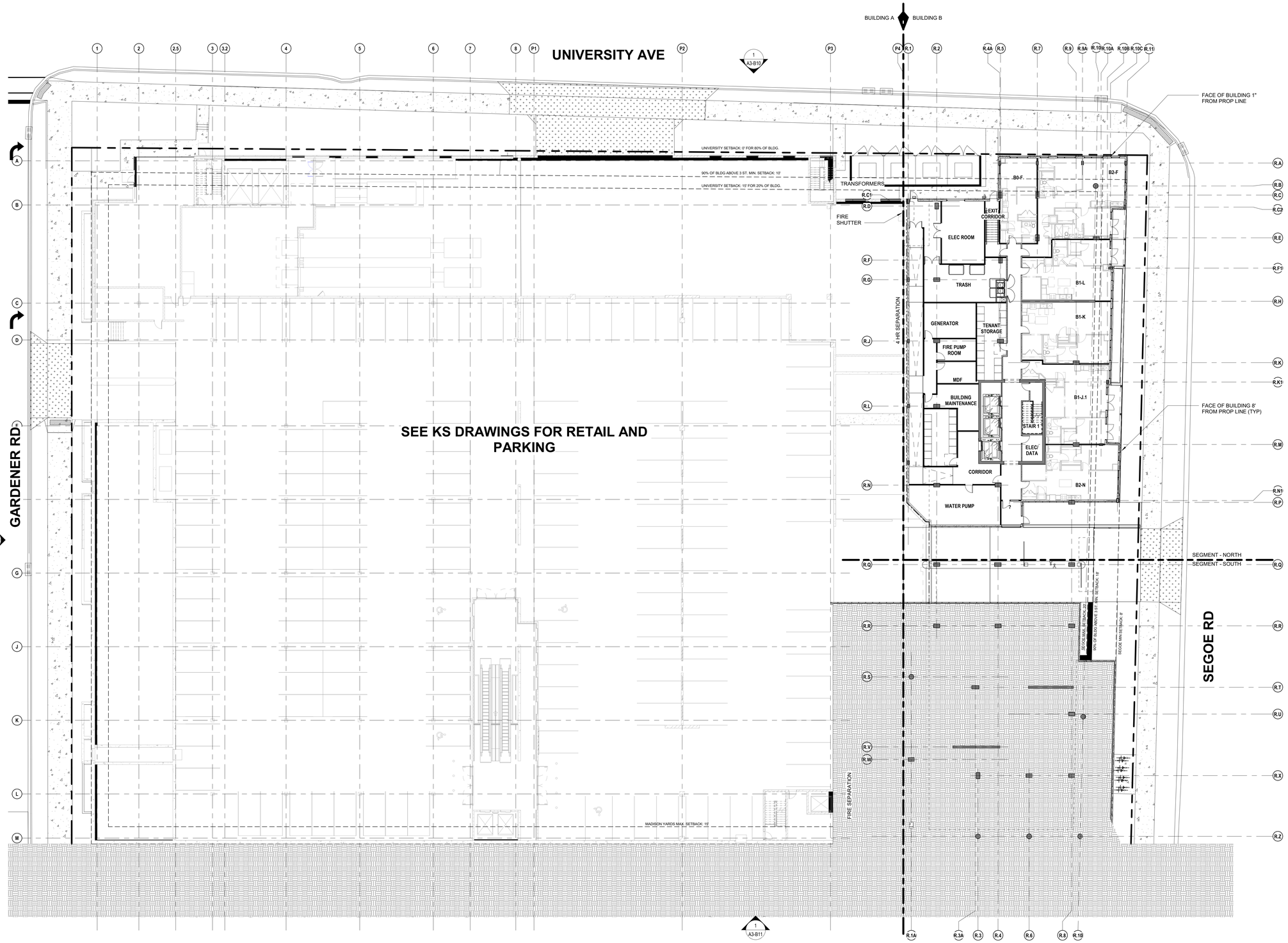
UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
2	11/17/20	ISSUE FOR SIP REVIEW

BUILDING B

PROJECT SUMMARY & AREAS

A0-B20



LOWER LEVEL BLOCK 2 OVERALL REFERENCE PLAN | 1/16" = 1'-0" | 1

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UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
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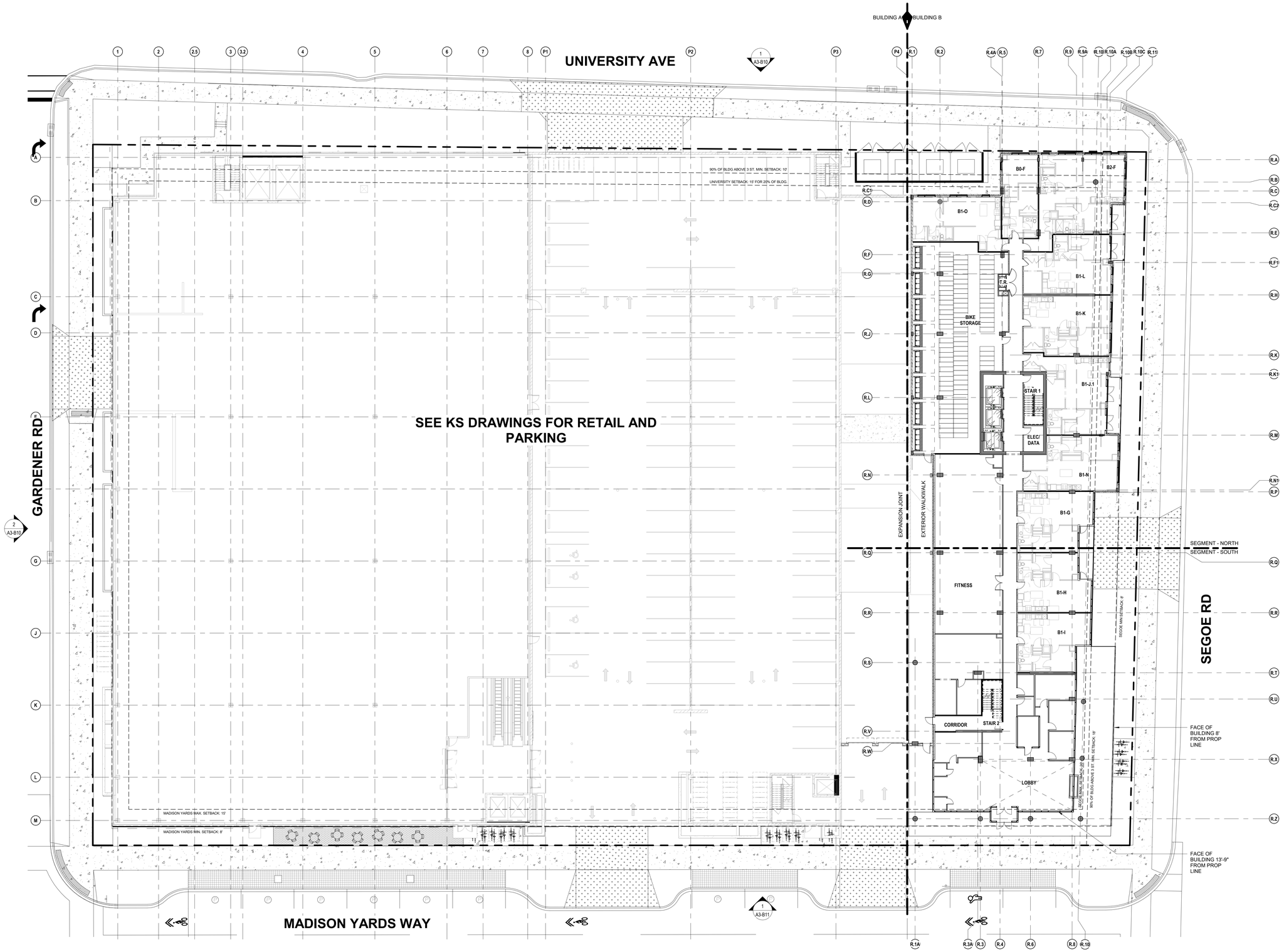
BUILDING B

OVERALL LOWER LEVEL PLAN (REFERENCE)

A2-00



FIRST FLOOR BLOCK 2 OVERALL REFERENCE PLAN | 1/16" = 1'-0" | 1

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MADISON YARDS BLOCK 2 BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

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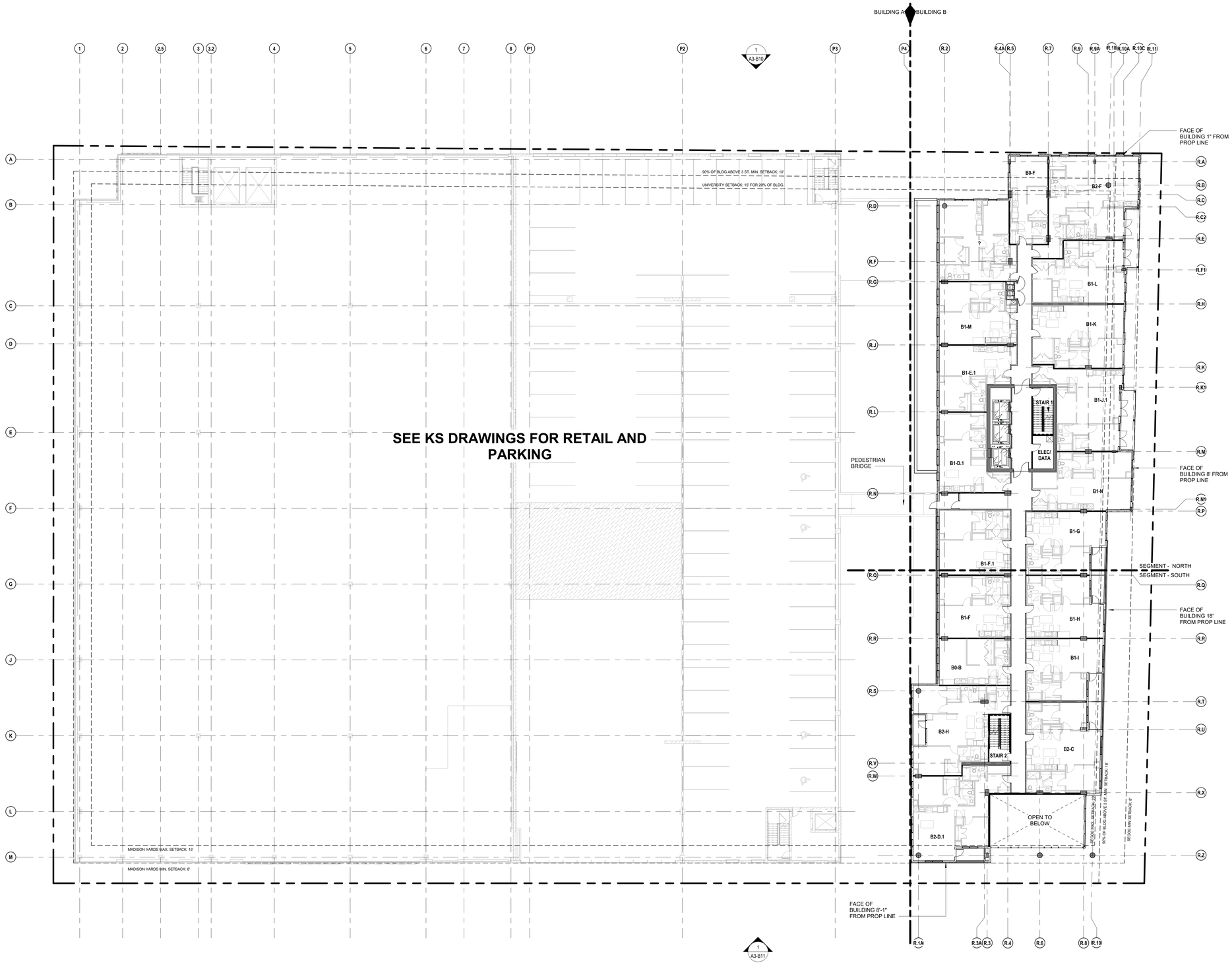
It is the client's responsibility prior to or during construction to notify the architect in writing of any discrepancies, errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

BUILDING B

OVERALL FIRST FLOOR PLAN (REFERENCE)

A2-01



SECOND FLOOR BLOCK 2 OVERALL REFERENCE PLAN | 1/16" = 1'-0" | 1

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MADISON YARDS BLOCK 2 BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

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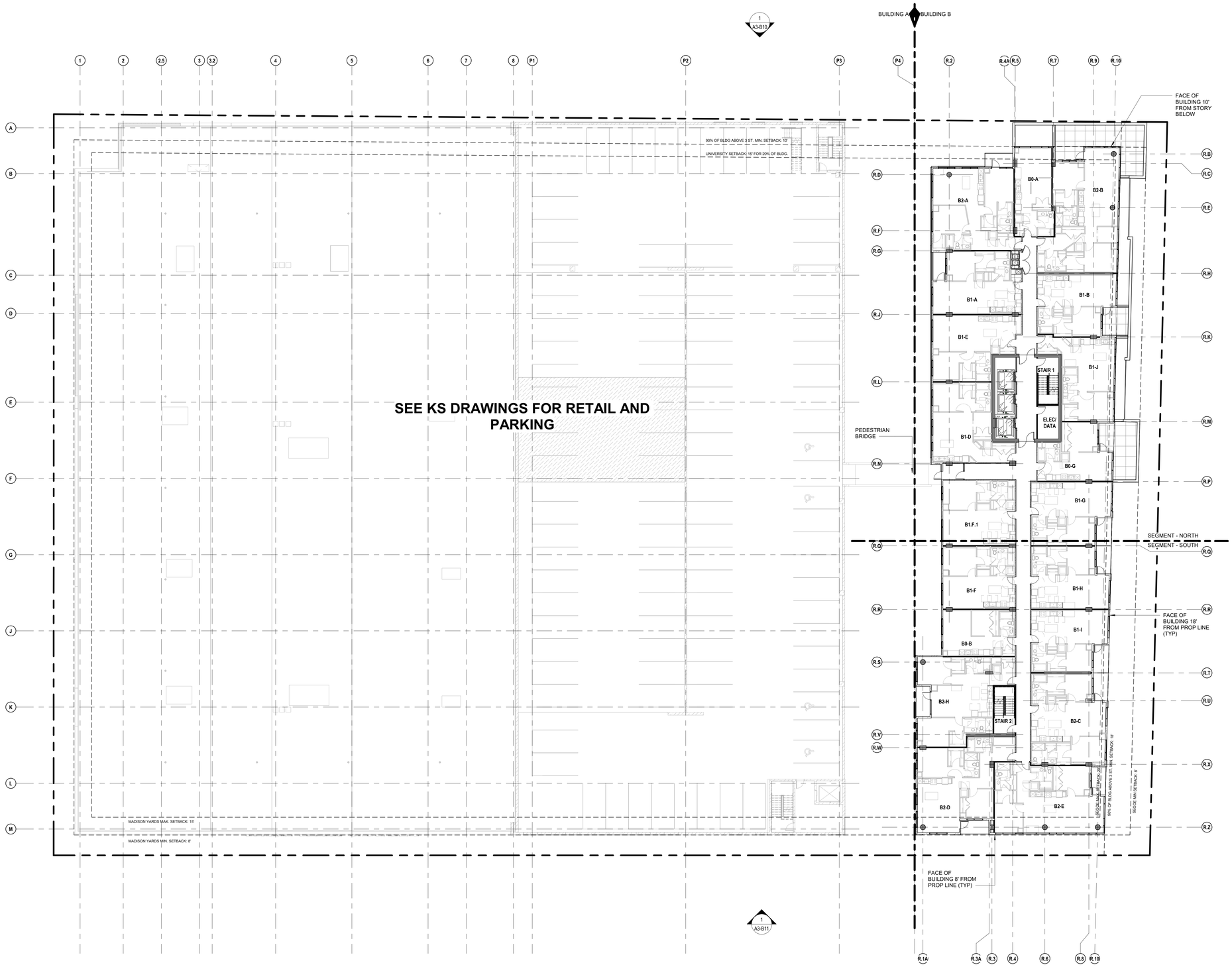
BUILDING B

OVERALL SECOND FLOOR PLAN (REFERENCE)

A2-02



THRID FLOOR BLOCK 2 OVERALL REFERENCE PLAN | 1/16" = 1'-0" | 1

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MADISON YARDS BLOCK 2
BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
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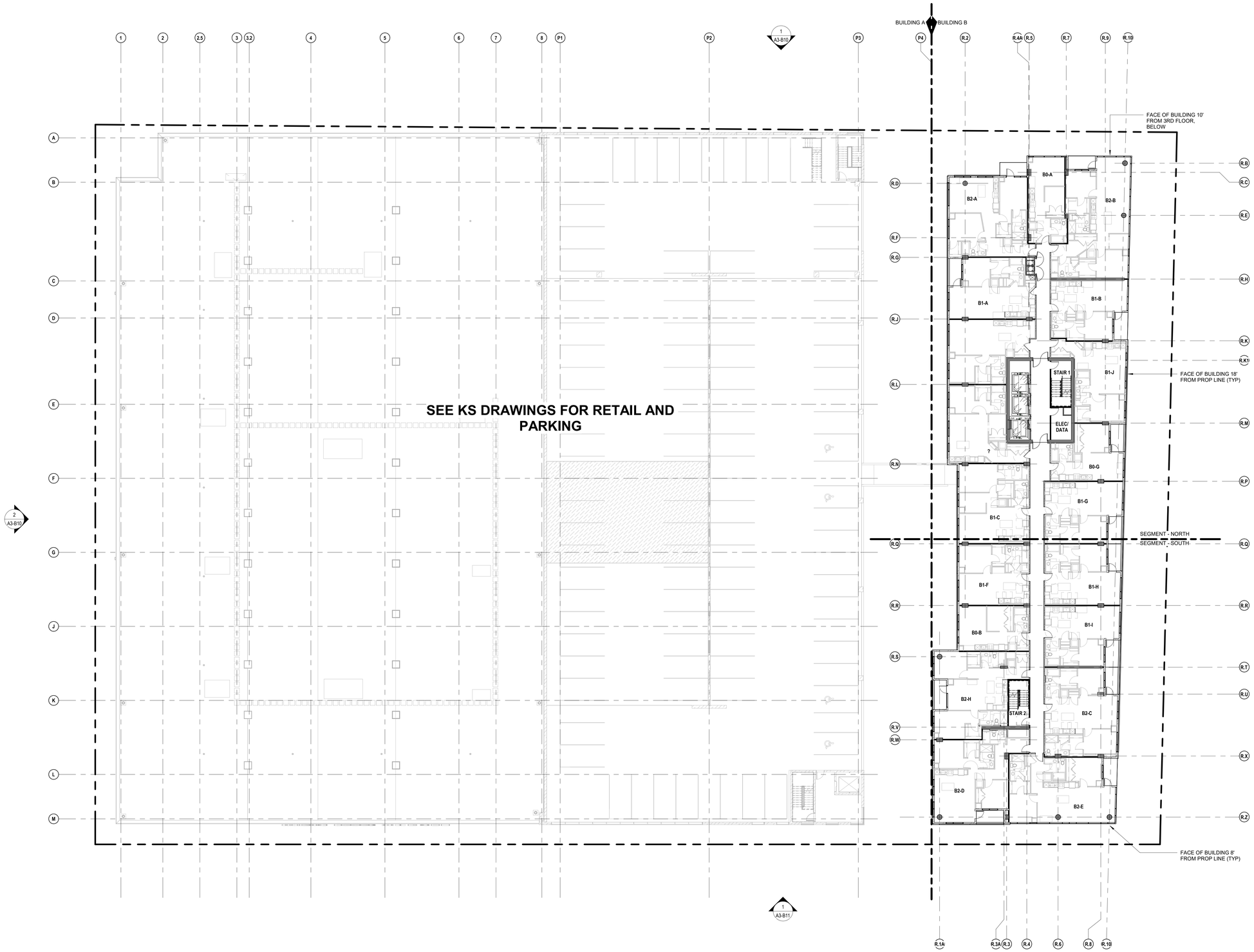
BUILDING B

OVERALL THIRD FLOOR PLAN (REFERENCE)

A2-03



FOURTH FLOOR BLOCK 2 OVERALL REFERENCE PLAN | 1/16" = 1'-0" | 1

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UNIVERSITY AVE AT SEGOE ROAD

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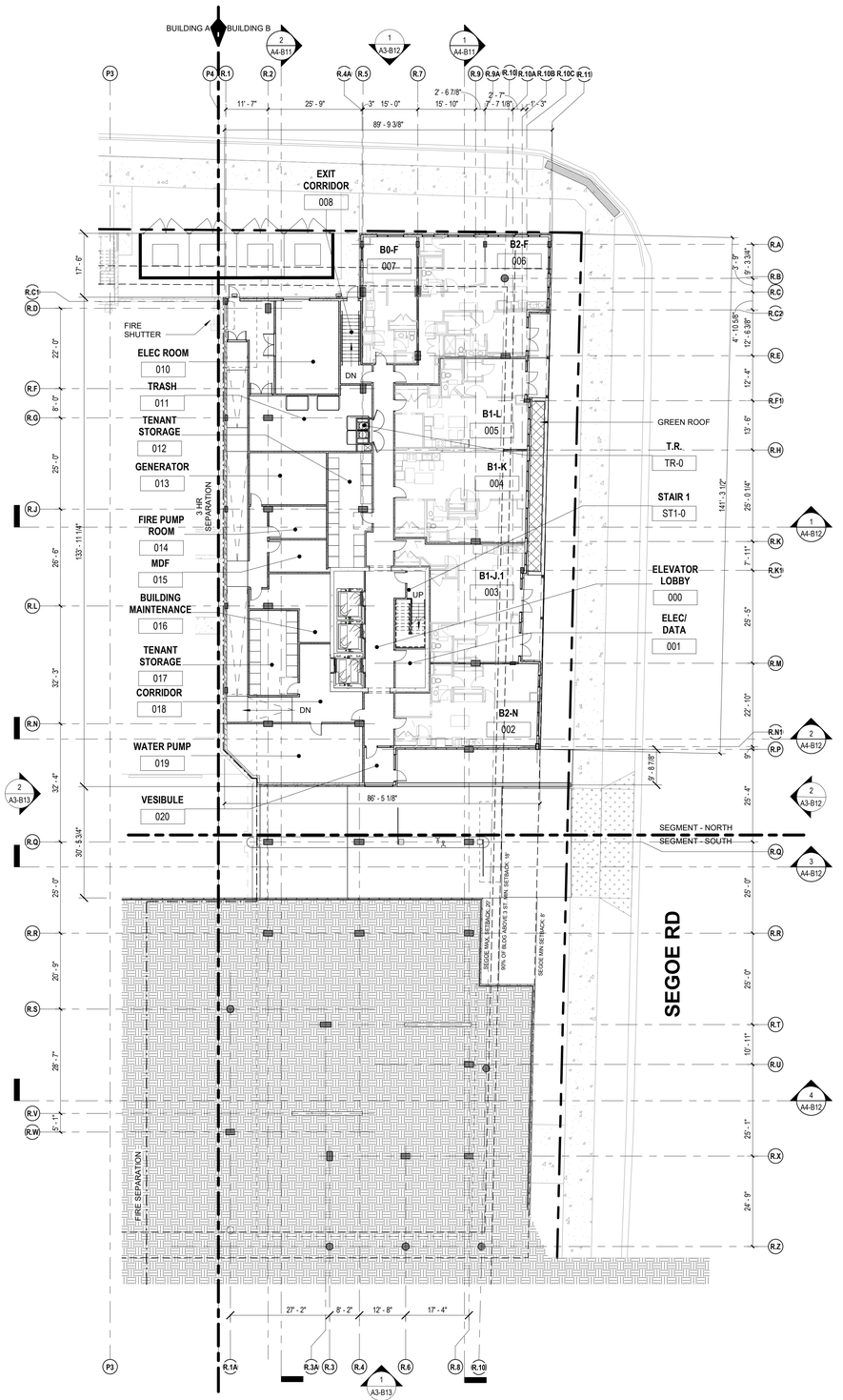
BUILDING B

OVERALL FOURTH FLOOR PLAN (REFERENCE)

A2-04



FLOOR PLAN GENERAL NOTES

1. SEE SEGMENT PLANS FOR ADDITIONAL DIMENSIONS, TARGETS AND NOTES.
2. ALL DIMENSIONS ARE TO THE FACE OF STUD (INTERIOR), FACE OF SHEATHING (EXTERIOR) OR FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
3. PROVIDE WATERPROOFING OF ELEVATOR PIT FOUNDATION WALLS AND INCLUDE SUMP PIT/ PUMPS FOR WATER DISHARGE.
4. PROVIDE R-10 RIGID INSULATION ON INTERIOR SURFACE OF PERIMETER CONCRETE FOUNDATION WALL. INSULATION SHALL EXTEND FROM THE BOTTOM OF INTERIOR CONCRETE SLAB TO THE TOP OF THE FOOTING BUT NOT LESS THAN 4 FT BELOW GRADE.
5. PROVIDE R-10 RIGID INSULATION AT THE PERIMETER OF ALL INTERIOR SLAB ON GRADE LOCATIONS AT THE EXTERIOR WALL FOR A HORIZONTAL DISTANCE NOT LESS THAN 4 FT FROM THE INTERIOR FACE OF THE EXTERIOR WALL.
6. PROVIDE BRICK LEDGE IN EXTERIOR FOUNDATION WALL AND STEP WITH EXTERIOR FINISH GRADE SO NO FOUNDATION WALL IS EXPOSED. USE SOLID BRICK AND FULLY MORTARED CAVITY BELOW GRADE AND FLASH/ WEEP MASONRY CAVITY ABOVE GRADE. STEP FLASHING WITH FINISHED GRADE.
7. FIRE ACCESS LOBBY NOT REQUIRED AT LOWER LEVEL (LEVEL OF EXIT DISCHARGE)
8. STAIR #1 TO DISCHARGE TO BUILDING ENTRANCE AT SOUTH END OF LOWER LEVEL. INTERIOR AND EXTERIOR WALLS OF VESTIBULE SHALL BE ALUM STOREFRONT TO ALLOW VISIBILITY TO THE EXTERIOR.
9. PROVIDE SUSPENDED ACOUSTICAL CEILING (9 FT MIN) IN CORRIDOR/ VESTIBULE AREAS OF LOWER LEVEL.
10. ALL DOOR FRAMES SHALL BE PAINTED.
11. ALL NON-RESIDENTIAL UNIT DOORS/FRAMES SHALL BE HOLLOW METAL PAINTED THIS LEVEL.
12. PROVIDE EMERGENCY LIGHTING AND EXIT LIGHTING PER CODE.
13. PROVIDE LED CORRIDOR LIGHTING ON OCCUPANCY SENSORS.
14. PROVIDE HARD TROWELLED SEALED CONCRETE FLOORING IN ALL "BACK OF HOUSE" AREAS THIS LEVEL.
15. PROVIDE STRUCTURED BIKE PARKING FOR UP TO 25% OF TOTAL BIKE STORAGE REQUIREMENTS. INSTALL WALL MOUNTED SYSTEM AS INDICATED ON THE PLANS.
16. PROVIDE (2) 3 YARD CAPACITY TRASH COMPACTORS/ WITH HOPPER. CHUTES TO HAVE OVERHEAD RATED DISCHARGE DOORS.
17. INTERIOR PAINTING;
    A. BACK OF HOUSE – PAINT ALL WALLS WITH SEMI-GLOSS/ FULL HEIGHT
    B. CORRIDORS – EGSHELL TO CEILING OR AS NOTED.
    C. UNITS – SEE INTERIOR DRAWINGS OR DESIGN NARRATIVE
18. WALL PROTECTION – PROVIDE CORNER GUARDS AT CORRIDOR IN BACK OF HOUSE AREA.
19. PROVIDE STL PIPE RAILING (PTD) ON BOTH SIDES OF INTERIOR RAMP IN BACK OF HOUSE AREA.
20. PROVIDE SUSPENDED LED LIGHTING IN ALL BACK OF HOUSE AREAS ON OCCUPANCY SENSORS.
21. PROVIDE METAL PANEL CEILING ABOVE GARAGE ENTRY DRIVE AND LOWER LEVEL RESIDENT ENTRY WITH RECESSED LED LIGHTING CENTERED ON EACH DRIVE AISLE AND ENTRANCE WALKWAY ON 10 FT CENTERS
22. EXPOSED CONCRETE COLUMNS, WALLS AT GARAGE ENTRY DRIVE SHALL BE PAINTED.

OVERALL LOWER LEVEL PLAN | 1/16" = 1'-0" | 1

ktgy

MADISON YARDS
HILL FARMS

KTGY Project No: 20200326

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Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.

MADISON YARDS BLOCK 2
BUILDING B

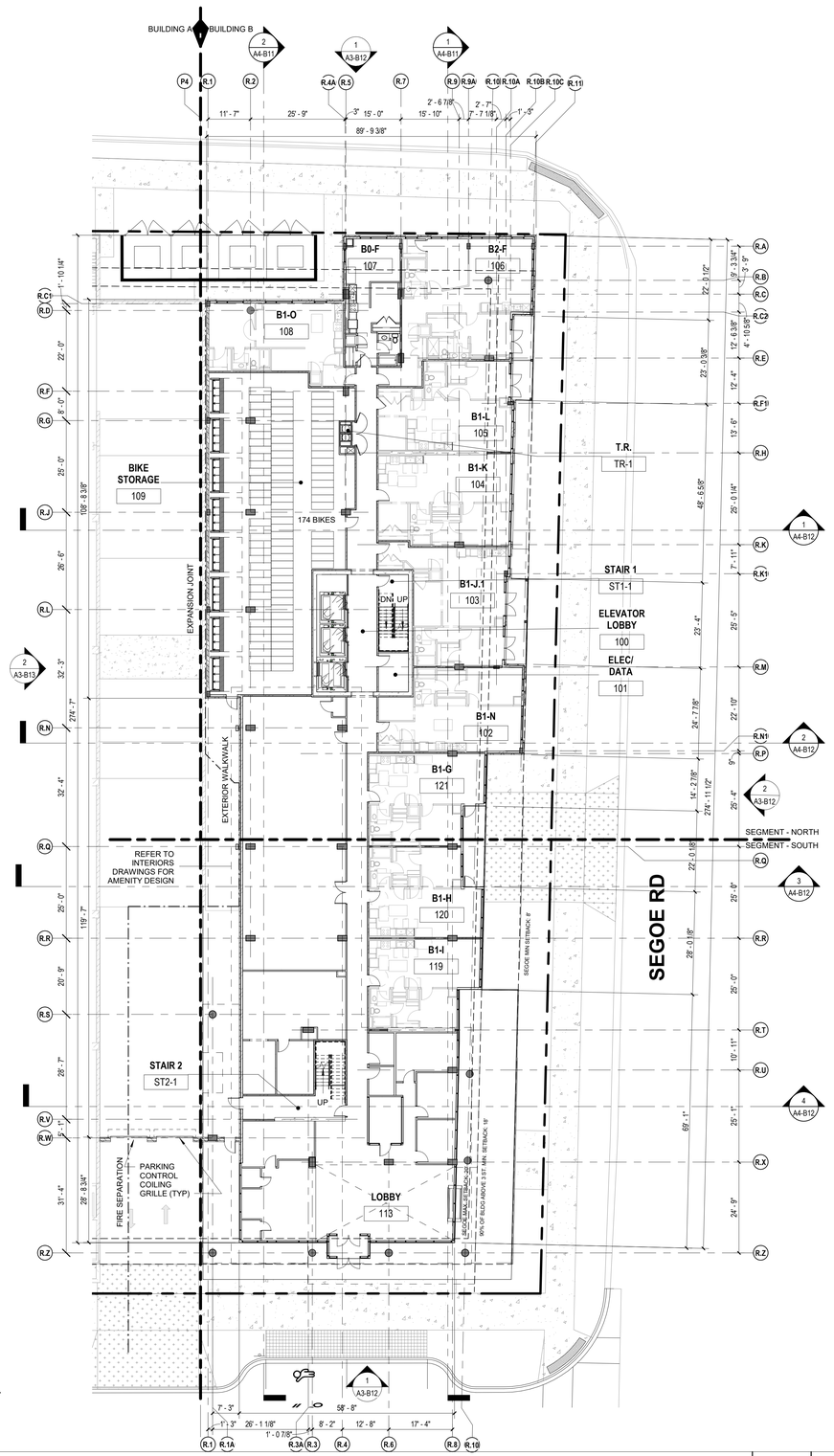
UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
1	09/25/20	PRELIMINARY PRICING
2	11/17/20	ISSUE FOR SIP REVIEW

BUILDING B

BUILDING B
LOWER LEVEL
PLAN

A2-B00



GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS AT BUILDING EXTERIOR AND AT CONNECTIONS TO EXISTING AREAS.
2. SEE CIVIL DRAWINGS FOR UTILITY CONNECTION LOCATIONS
3. SEE CIVIL DRAWINGS FOR SOIL EROSION CONTROL.
4. SEE KAHLER SLATER (KS) DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
5. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS, STRUCTURAL FRAME AND OTHER INFORMATION RELATED TO BUILDING B.
6. SEE INTERIOR DRAWINGS FOR INTERIOR SCOPE OF WORK AND FINISHES.
7. MATCH LINE FOR BUILDING A/ B IS LOCATED ON COLUMN LINE "P4" OF BUILDING A.
8. FOUNDATION OR OTHER BUILDING ELEMENTS SHALL NOT EXTEND PAST THE PROPERTY LINE UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAGING AND STORAGE AREAS AND SHALL NOT BE ON PUBLIC RIGHT-OF-WAY AREAS.
10. CONTRACTOR TO COORDINATE ELEVATION OF UTILITIES THAT PASS UNDER BUILDING B STRUCTURE AND SHALL NOTIFY ARCHITECT OF CONFLICTS. PROVIDE REQUIRED COVER AND FROST PROTECTION FOR ALL WATER/ SEWER SERVICES TO THE BUILDING.
11. COORDINATE ENTRANCE TO LOWER LEVEL PARKING GARAGE WITH PROPOSED CURB CUT ON N. SEGOE RD – SEE CIVIL DRAWINGS.
12. SEE CIVIL DRAWINGS FOR ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO BUILDING ENTRANCE. ACCESSIBLE ENTRANCE PROVIDED ON MADISON YARDS WAY.
13. SEE DESIGN NARRATIVE FOR ADDITIONAL SCOPE OF WORK, MATERIAL/ SYSTEMS DESCRIPTIONS.

OVERALL FIRST FLOOR PLAN | 1/16" = 1'-0" | 1

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MADISON YARDS BLOCK 2
BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
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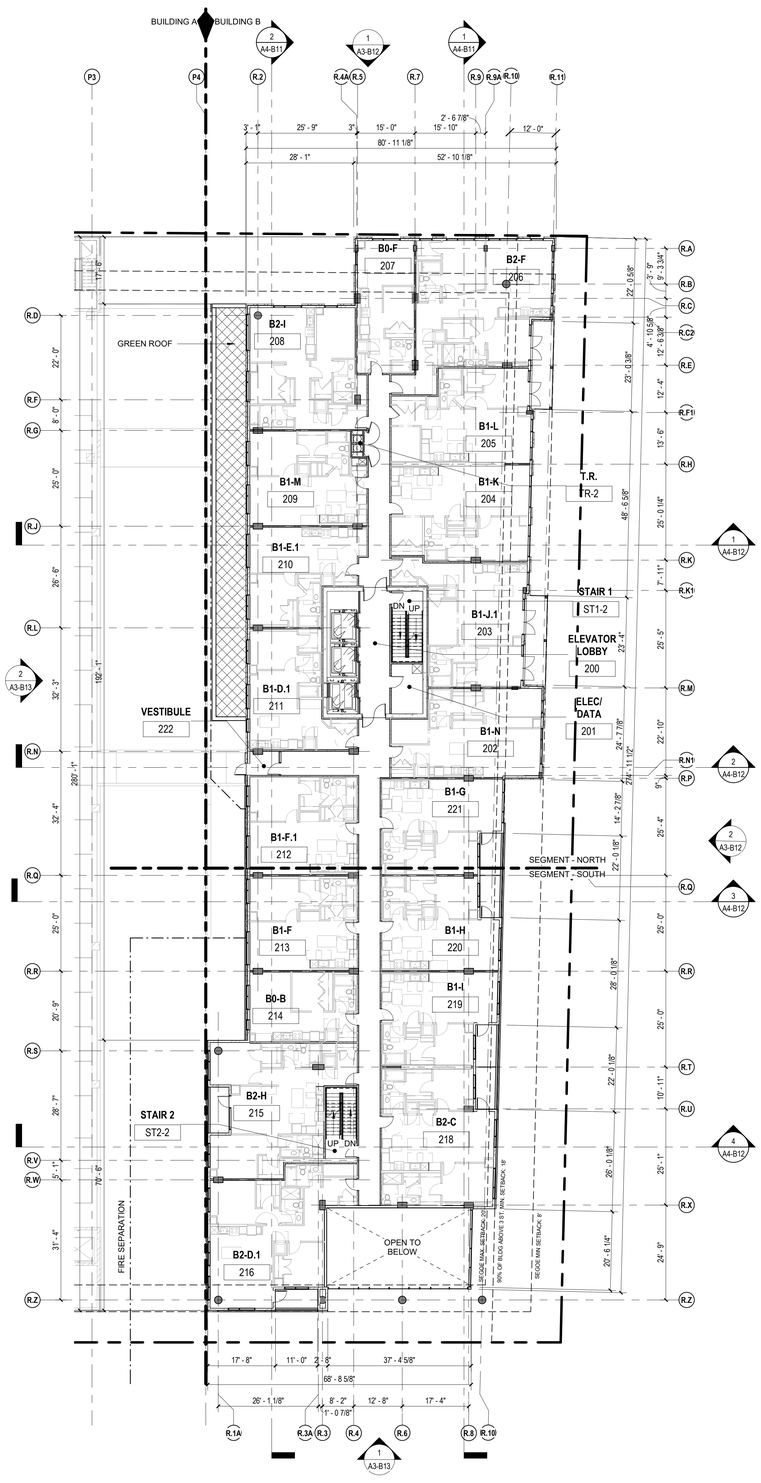
BUILDING B

BUILDING B FIRST FLOOR PLAN

A2-B10

GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS AT BUILDING EXTERIOR AND AT CONNECTIONS TO EXISTING AREAS.
2. SEE CIVIL DRAWINGS FOR UTILITY CONNECTION LOCATIONS
3. SEE CIVIL DRAWINGS FOR SOIL EROSION CONTROL.
4. SEE KAHLER SLATER (KS) DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
5. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS, STRUCTURAL FRAME AND OTHER INFORMATION RELATED TO BUILDING B.
6. SEE INTERIOR DRAWINGS FOR INTERIOR SCOPE OF WORK AND FINISHES.
7. MATCH LINE FOR BUILDING A/ B IS LOCATED ON COLUMN LINE "P4" OF BUILDING A.
8. FOUNDATION OR OTHER BUILDING ELEMENTS SHALL NOT EXTEND PAST THE PROPERTY LINE UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAGING AND STORAGE AREAS AND SHALL NOT BE ON PUBLIC RIGHT-OF-WAY AREAS.
10. CONTRACTOR TO COORDINATE ELEVATION OF UTILITIES THAT PASS UNDER BUILDING B STRUCTURE AND SHALL NOTIFY ARCHITECT OF CONFLICTS. PROVIDE REQUIRED COVER AND FROST PROTECTION FOR ALL WATER/ SEWER SERVICES TO THE BUILDING.
11. COORDINATE ENTRANCE TO LOWER LEVEL PARKING GARAGE WITH PROPOSED CURB CUT ON N. SEGOE RD – SEE CIVIL DRAWINGS.
12. SEE CIVIL DRAWINGS FOR ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO BUILDING ENTRANCE. ACCESSIBLE ENTRANCE PROVIDED ON MADISON YARDS WAY.
13. SEE DESIGN NARRATIVE FOR ADDITIONAL SCOPE OF WORK, MATERIAL/ SYSTEMS DESCRIPTIONS.



OVERALL SECOND FLOOR PLAN | 1/16" = 1'-0" | 1

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MADISON YARDS BLOCK 2
BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

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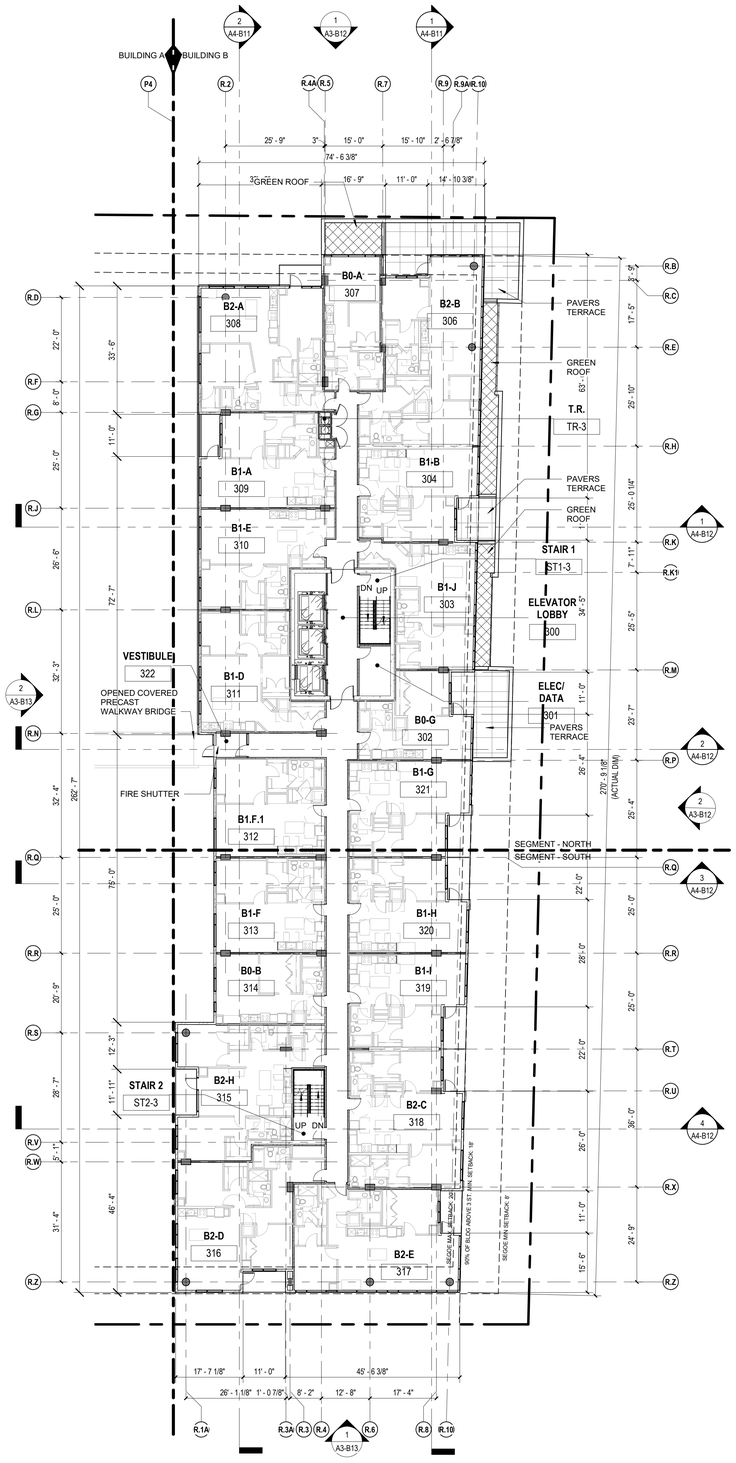
BUILDING B

BUILDING B
SECOND FLOOR
PLAN

A2-B20



OVERALL THIRD FLOOR PLAN | 1/16" = 1'-0" | 1

GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS AT BUILDING EXTERIOR AND AT CONNECTIONS TO EXISTING AREAS.
2. SEE CIVIL DRAWINGS FOR UTILITY CONNECTION LOCATIONS
3. SEE CIVIL DRAWINGS FOR SOIL EROSION CONTROL.
4. SEE KAHLER SLATER (KS) DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
5. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS, STRUCTURAL FRAME AND OTHER INFORMATION RELATED TO BUILDING B.
6. SEE INTERIOR DRAWINGS FOR INTERIOR SCOPE OF WORK AND FINISHES.
7. MATCH LINE FOR BUILDING A/ B IS LOCATED ON COLUMN LINE "P4" OF BUILDING A.
8. FOUNDATION OR OTHER BUILDING ELEMENTS SHALL NOT EXTEND PAST THE PROPERTY LINE UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAGING AND STORAGE AREAS AND SHALL NOT BE ON PUBLIC RIGHT-OF-WAY AREAS.
10. CONTRACTOR TO COORDINATE ELEVATION OF UTILITIES THAT PASS UNDER BUILDING B STRUCTURE AND SHALL NOTIFY ARCHITECT OF CONFLICTS. PROVIDE REQUIRED COVER AND FROST PROTECTION FOR ALL WATER/ SEWER SERVICES TO THE BUILDING.
11. COORDINATE ENTRANCE TO LOWER LEVEL PARKING GARAGE WITH PROPOSED CURB CUT ON N. SEGOE RD – SEE CIVIL DRAWINGS.
12. SEE CIVIL DRAWINGS FOR ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO BUILDING ENTRANCE. ACCESSIBLE ENTRANCE PROVIDED ON MADISON YARDS WAY.
13. SEE DESIGN NARRATIVE FOR ADDITIONAL SCOPE OF WORK, MATERIAL/ SYSTEMS DESCRIPTIONS.

ktgy

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MADISON YARDS BLOCK 2 BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
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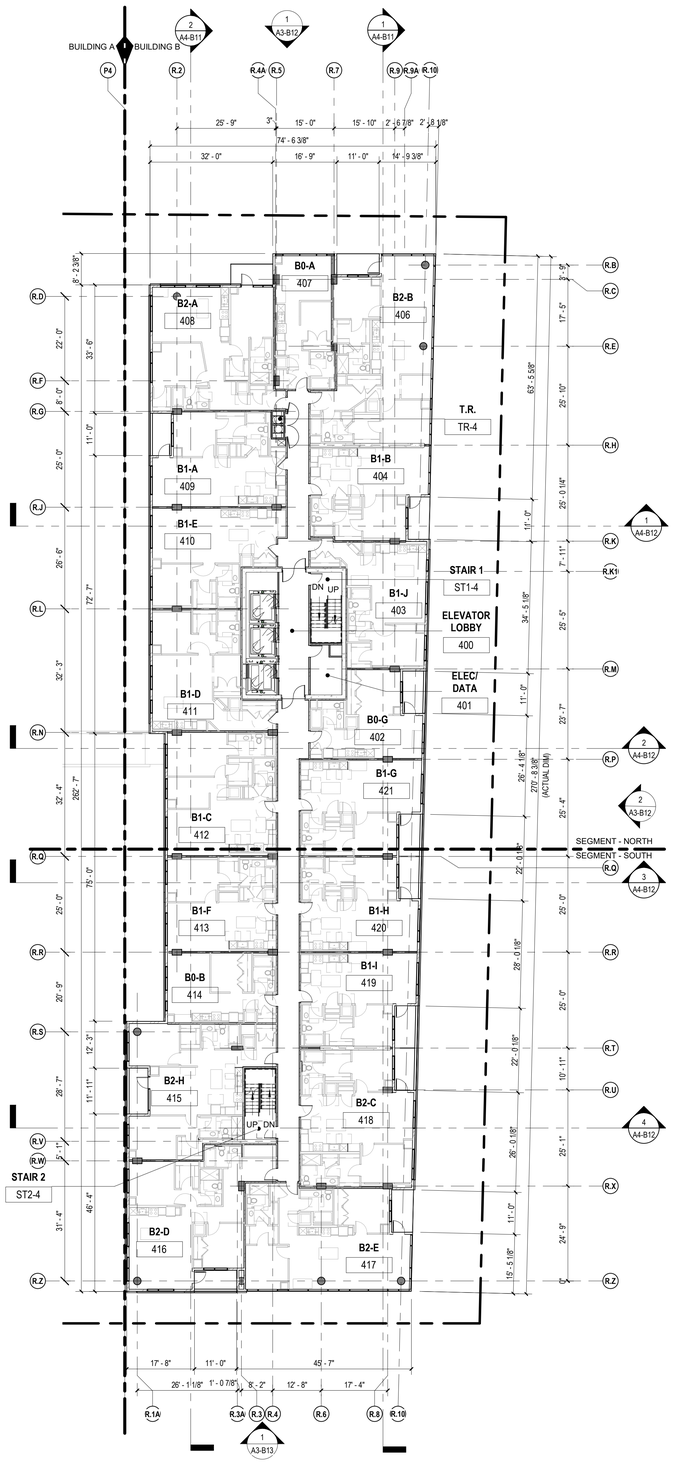
BUILDING B

BUILDING B THIRD FLOOR PLAN

A2-B30



OVERALL FOURTH THRU FOURTEENTH PLAN | 1/16" = 1'-0" | 1

GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS AT BUILDING EXTERIOR AND AT CONNECTIONS TO EXISTING AREAS.
2. SEE CIVIL DRAWINGS FOR UTILITY CONNECTION LOCATIONS
3. SEE CIVIL DRAWINGS FOR SOIL EROSION CONTROL.
4. SEE KAHLER SLATER (KS) DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
5. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS, STRUCTURAL FRAME AND OTHER INFORMATION RELATED TO BUILDING B.
6. SEE INTERIOR DRAWINGS FOR INTERIOR SCOPE OF WORK AND FINISHES.
7. MATCH LINE FOR BUILDING A/ B IS LOCATED ON COLUMN LINE "P4" OF BUILDING A.
8. FOUNDATION OR OTHER BUILDING ELEMENTS SHALL NOT EXTEND PAST THE PROPERTY LINE UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAGING AND STORAGE AREAS AND SHALL NOT BE ON PUBLIC RIGHT-OF-WAY AREAS.
10. CONTRACTOR TO COORDINATE ELEVATION OF UTILITIES THAT PASS UNDER BUILDING B STRUCTURE AND SHALL NOTIFY ARCHITECT OF CONFLICTS. PROVIDE REQUIRED COVER AND FROST PROTECTION FOR ALL WATER/ SEWER SERVICES TO THE BUILDING.
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12. SEE CIVIL DRAWINGS FOR ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO BUILDING ENTRANCE. ACCESSIBLE ENTRANCE PROVIDED ON MADISON YARDS WAY.
13. SEE DESIGN NARRATIVE FOR ADDITIONAL SCOPE OF WORK, MATERIAL/ SYSTEMS DESCRIPTIONS.

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MADISON YARDS BLOCK 2 BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
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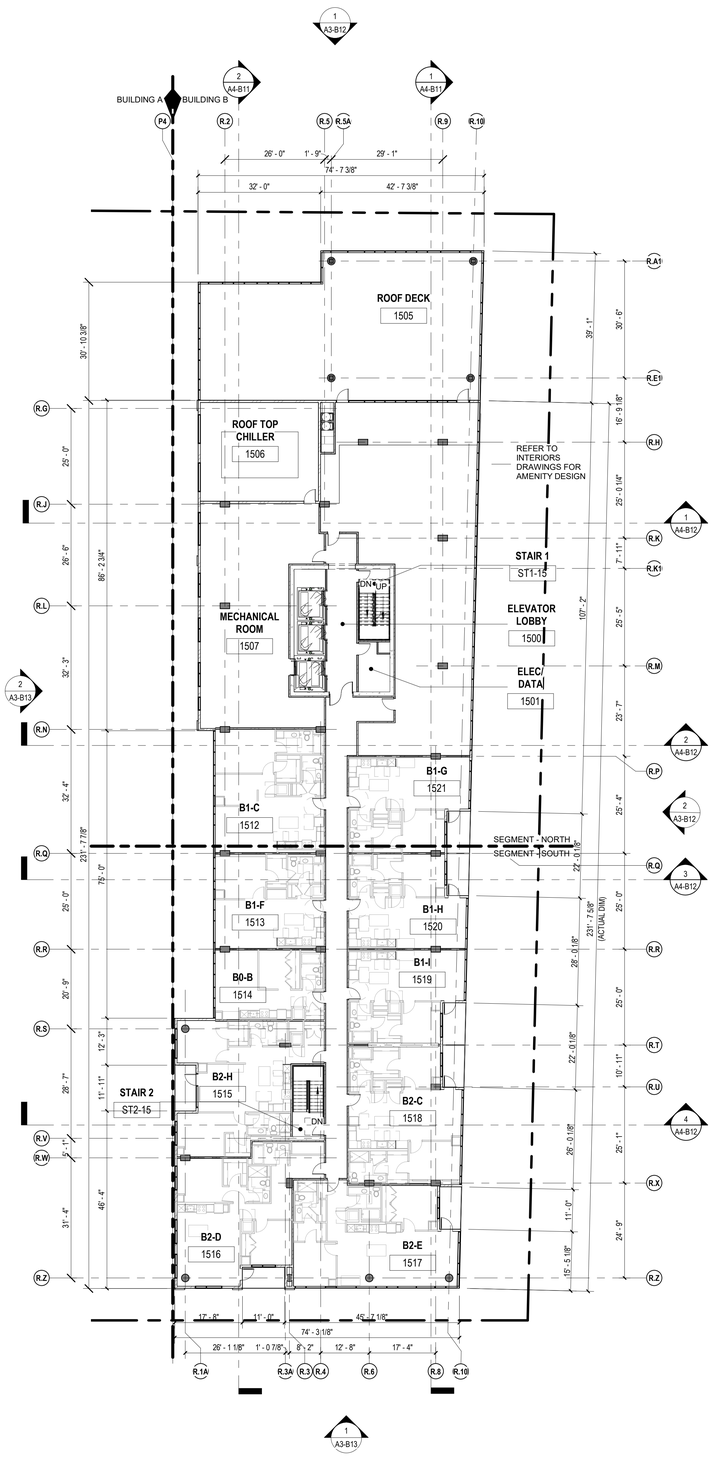
BUILDING B

BUILDING B 4-14 FLOOR PLAN

N

A2-B40



GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS AT BUILDING EXTERIOR AND AT CONNECTIONS TO EXISTING AREAS.
2. SEE CIVIL DRAWINGS FOR UTILITY CONNECTION LOCATIONS
3. SEE CIVIL DRAWINGS FOR SOIL EROSION CONTROL.
4. SEE KAHLER SLATER (KS) DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
5. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS, STRUCTURAL FRAME AND OTHER INFORMATION RELATED TO BUILDING B.
6. SEE INTERIOR DRAWINGS FOR INTERIOR SCOPE OF WORK AND FINISHES.
7. MATCH LINE FOR BUILDING A/ B IS LOCATED ON COLUMN LINE "P4" OF BUILDING A.
8. FOUNDATION OR OTHER BUILDING ELEMENTS SHALL NOT EXTEND PAST THE PROPERTY LINE UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAGING AND STORAGE AREAS AND SHALL NOT BE ON PUBLIC RIGHT-OF-WAY AREAS.
10. CONTRACTOR TO COORDINATE ELEVATION OF UTILITIES THAT PASS UNDER BUILDING B STRUCTURE AND SHALL NOTIFY ARCHITECT OF CONFLICTS. PROVIDE REQUIRED COVER AND FROST PROTECTION FOR ALL WATER/ SEWER SERVICES TO THE BUILDING.
11. COORDINATE ENTRANCE TO LOWER LEVEL PARKING GARAGE WITH PROPOSED CURB CUT ON N. SEGOE RD – SEE CIVIL DRAWINGS.
12. SEE CIVIL DRAWINGS FOR ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO BUILDING ENTRANCE. ACCESSIBLE ENTRANCE PROVIDED ON MADISON YARDS WAY.
13. SEE DESIGN NARRATIVE FOR ADDITIONAL SCOPE OF WORK, MATERIAL/ SYSTEMS DESCRIPTIONS.

OVERALL FIFTEENTH FLOOR | 1/16" = 1'-0" | **1**

ktgy

MADISON YARDS
HILL FARMS

KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.

MADISON YARDS BLOCK 2
BUILDING B

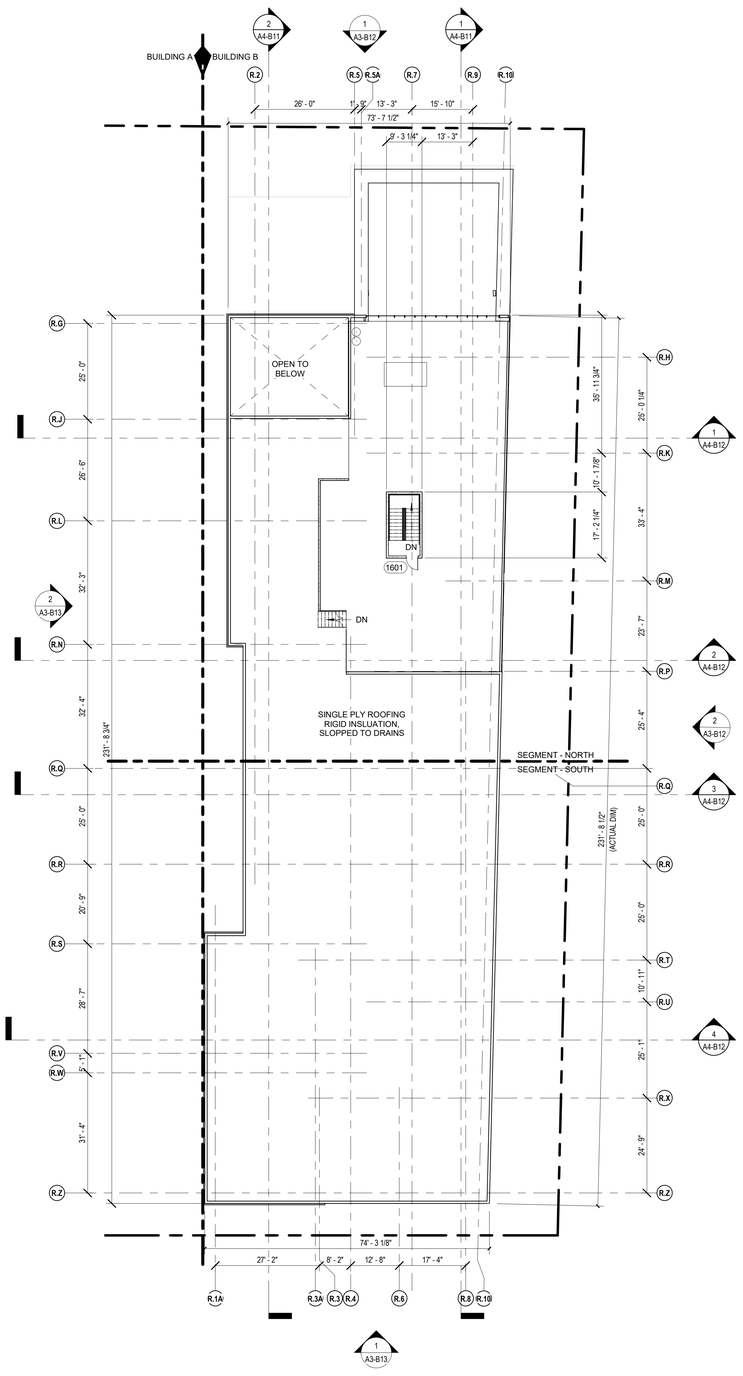
UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
1	09/25/20	PRELIMINARY PRICING
2	11/17/20	ISSUE FOR SIP REVIEW

BUILDING B

BUILDING B FIFTEENTH FLOOR PLAN

A2-B150



ROOF PLAN | 1/16" = 1'-0" | 1

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HILL FARMS

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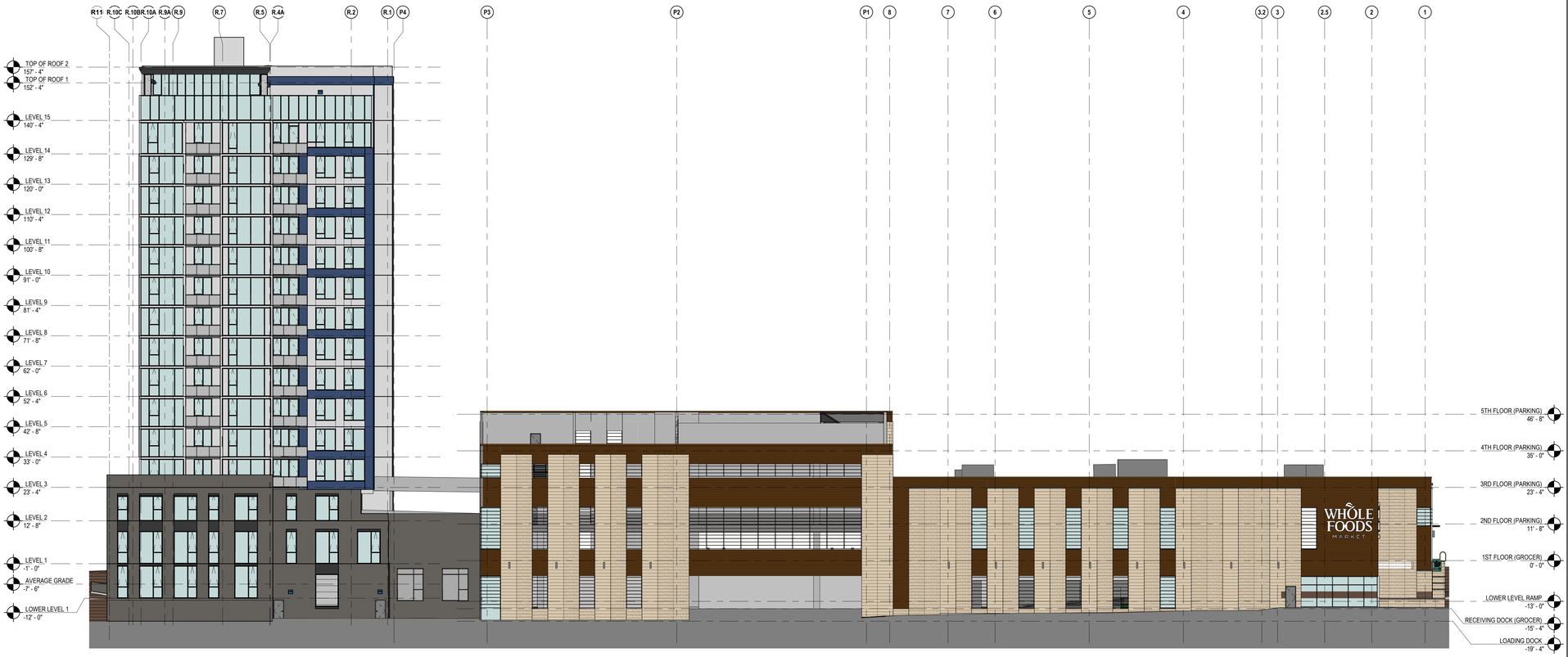
BUILDING B

BUILDING B ROOF AND PENTHOUSE PLANS

N

A2-B160

Overall West Elevation | 1/16" = 1'-0" | **2**



Overall North Elevation | 1/16" = 1'-0" | **1**

ELEVATION NOTES

1. SEE CIVIL DRAWINGS FOR FINISH GRADES.
2. SEE MATERIAL NOTES FOR DESCRIPTION OF MATERIALS PROPOSED. SEE DESIGN NARRATIVE FOR ADDITIONAL INFORMATION.
3. BUILDING B: EXTERIOR WALL RATINGS/ PROTECTED OPENINGS:
   A. NORTH WALL = 0-HOUR/ UNLIMITED OPENINGS
   B. EAST WALL = 0-HOUR/ UNLIMITED OPENINGS
   C. SOUTH WALL = 0-HOUR/ UNLIMITED OPENINGS
   D. WEST WALL
      a. 1ST FLOOR – SEE PLAN
      b. 2ND FLOOR – SEE PLAN
      c. 3RD FLR – 15TH FLR – 0-HOUR/ UNLIMITED OPENINGS (SECTION 705.8.6)
4. EXTERIOR WALL IS INTENDED TO BE A SINGLE SOURCE RESPONSIBILITY AND IS FURTHER DEFINED IN THE DESIGN NARRATIVE.
   A. WINDOW WALL SYSTEM – GLAZED WITH TINTED INSULATED GLASS PANELS INCLUDING OPERABLE WINDOWS. SEE DESIGN NARRATIVE/ DRAWINGS FOR SPECIFICATION.
   B. PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.
   C. WINDOW WALL SYSTEM – GLAZED WITH INSULATED METAL PANEL. SEE DESIGN NARRATIVE/ DRAWINGS FOR COLOR AND SPECIFICATION.
   D. IBC SECTION 1609.4.2 – SURFACE ROUGHNESS B
   E. IBC SECTION 1609.4.3 – EXPOSURE CATEGORY C
   F. DELEGATED DESIGN FOR EXTERIOR WALL ASSEMBLY FOR WIND LOAD REQUIREMENTS/ AIR AND WATER CONTINUITY DESIGN.
   G. TYPICAL EXTERIOR WALL TO BE INDEPENDENTLY LABARATORY TESTED FOR AIR INFILTRATION PER ASTM E283, WATER INFILTRATION PER ASTM E331 AND AAMA 501.1 AT 12 LB/SF.
   H. INCLUDE THREE FIELD VERIFICATION TESTS PER AAMA 502.
5. A VAPOR RESISTANT AIR AND WATER BARRIER WILL BE REQUIRED BEHIND ALL "CLADDING" MATERIALS CONSTRUCTED OVER EXTERIOR SHEATHINGS, MASONRY OR CONCRETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SUBMITTING TO THE ARCHITECT, THE TRANSITIONS OF ALL AIR AND WATER BARRIER CONDITIONS.
6. PROVIDE SEALANTS AT ALL CHANGE OF MATERIALS ON THE EXTERIOR WALL IN COLOR AS SELECTED BY THE ARCHITECT. PROVIDE COMPATABILTY TESTING WHERE REQUIRED.
7. PROVIDE COPING/ FLASHINGS AT ALL TOP OF WALL AREAS THAT ARE FULLY INTEGRATED WITH THE WALL MATERIAL/ SYSTEM TO PROVIDE A WATERTIGHT ASSEMBLY.
8. PROVIDE MATERIALS WITHIN THE EXTERIOR WALL ASSEMBLY THAT ARE COMPLIANT WITH NFPA 285 (MORE THAN 40 FT ABOVE THE GRADE PLANE).
9. PROVIDE FIRE RATED ASSEMBLIES THAT COMPLETE THE COMPARTMENTALIZED AREA FOR EACH FLOOR OF THE RESIDENTIAL BUILDING AT THE INTERSECTION OF THE FLOOR ASSEMBLY AND EXTERIOR WALL ASSEMBLY.
10. PROVIDE PRE-FINISH METAL BALCONY RAILINGS WITH PERFORATED METAL PANELS AND / OR GLASS AS INDICATED ON THE DRAWINGS. RAILINGS SHALL BE TOP MOUNTED TO THE BALCONY DECK AND SHALL BE DELEGATED DESIGN TO MEET CODE REQUIREMENTS.
11. ALL UNIT BALCONY DOORS SHALL HAVE ADA THRESHOLDS.
12. ALL SOFFITS SHALL BE PRE-FINISHED METAL PANEL SYSTEMS OVER SUPPLEMENTAL FRAMING AND INSULATION AS REQUIRED / NOTED.
13. PROVIDE SUPPLEMENTAL STEEL FRAMING SUPPORTS (PTD) AT WINDOW WALL WIND SCREEN ON 15TH FLOOR.
14. EXPOSED CONCRETE COLUMNS AT GROUND LEVEL SHALL BE SMOOTH FORM AND PREPARED FOR PAINT FINISH.
15. EXTERIOR SIGNAGE SHALL BE A SEPARATE CONTRACT BY OWNER
16. PROVIDE THRU WALL FLASHINGS IN ALL MASONRY VENEER WALLS AT EACH FLOOR WITH WEEPS (TOP/ BOTTOM).
17. HOLLOW METAL DOOR FRAMES SHALL BE PAINTED – GLOSS FINISH.
18. PROVIDE PRE-FINISHED ARCHITECTURAL METAL LOUVERS AS INDICATED. INTEGRATE LOUVERS INTO THE WINDOW WALL SYSTEM AND PROVIDE SUPPLEMENTAL SUPPORTS AS REQUIRED.
    A. PROVIDE INSECT SCREENS ON LOUVERS TO ENCLOSED SPACES OR CONNECTED TO DUCTWORK.
19. PROVIDE CORRUGATED METAL WALL PANELS AT ROOF LEVEL FOR MECHANICAL SCREENING AND AT STAIR TO ROOF. TERMINATE WALL PANELS INTO ROOFING SYSTEM TO PROVIDE WATERTIGHT ASSEMBLY.

ktgy

MADISON YARDS
HILL FARMS

KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.

MADISON YARDS BLOCK 2
BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
2	11/17/20	ISSUE FOR SIP REVIEW
3	11/18/20	ISSUE FOR GMP

BUILDING B

OVERALL ELEVATIONS

A3-B10

ELEVATION NOTES

1. SEE CIVIL DRAWINGS FOR FINISH GRADES.
2. SEE MATERIAL NOTES FOR DESCRIPTION OF MATERIALS PROPOSED. SEE DESIGN NARRATIVE FOR ADDITIONAL INFORMATION.
3. BUILDING B: EXTERIOR WALL RATINGS/ PROTECTED OPENINGS:
   A. NORTH WALL = 0-HOUR/ UNLIMITED OPENINGS
   B. EAST WALL = 0-HOUR/ UNLIMITED OPENINGS
   C. SOUTH WALL = 0-HOUR/ UNLIMITED OPENINGS
   D. WEST WALL
      a. 1ST FLOOR – SEE PLAN
      b. 2ND FLOOR – SEE PLAN
      c. 3RD FLR – 15TH FLR – 0-HOUR/ UNLIMITED OPENINGS (SECTION 705.8.6)
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   B. PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.
   C. WINDOW WALL SYSTEM – GLAZED WITH INSULATED METAL PANEL. SEE DESIGN NARRATIVE/ DRAWINGS FOR COLOR AND SPECIFICATION.
   D. IBC SECTION 1609.4.2 – SURFACE ROUGHNESS B
   E. IBC SECTION 1609.4.3 – EXPOSURE CATEGORY C
   F. DELEGATED DESIGN FOR EXTERIOR WALL ASSEMBLY FOR WIND LOAD REQUIREMENTS/ AIR AND WATER CONTINUITY DESIGN.
   G. TYPICAL EXTERIOR WALL TO BE INDEPENDENTLY LABARATORY TESTED FOR AIR INFILTRATION PER ASTM E283, WATER INFILTRATION PER ASTM E331 AND AAMA 501.1 AT 12 LB/SF.
   H. INCLUDE THREE FIELD VERIFICATION TESTS PER AAMA 502.
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8. PROVIDE MATERIALS WITHIN THE EXTERIOR WALL ASSEMBLY THAT ARE COMPLIANT WITH NFPA 285 (MORE THAN 40 FT ABOVE THE GRADE PLANE).
9. PROVIDE FIRE RATED ASSEMBLIES THAT COMPLETE THE COMPARTMENTALIZED AREA FOR EACH FLOOR OF THE RESIDENTIAL BUILDING AT THE INTERSECTION OF THE FLOOR ASSEMBLY AND EXTERIOR WALL ASSEMBLY.
10. PROVIDE PRE-FINISH METAL BALCONY RAILINGS WITH PERFORATED METAL PANELS AND / OR GLASS AS INDICATED ON THE DRAWINGS. RAILINGS SHALL BE TOP MOUNTED TO THE BALCONY DECK AND SHALL BE DELEGATED DESIGN TO MEET CODE REQUIREMENTS.
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12. ALL SOFFITS SHALL BE PRE-FINISHED METAL PANEL SYSTEMS OVER SUPPLEMENTAL FRAMING AND INSULATION AS REQUIRED / NOTED.
13. PROVIDE SUPPLEMENTAL STEEL FRAMING SUPPORTS (PTD) AT WINDOW WALL WIND SCREEN ON 15TH FLOOR.
14. EXPOSED CONCRETE COLUMNS AT GROUND LEVEL SHALL BE SMOOTH FORM AND PREPARED FOR PAINT FINISH.
15. EXTERIOR SIGNAGE SHALL BE A SEPARATE CONTRACT BY OWNER
16. PROVIDE THRU WALL FLASHINGS IN ALL MASONRY VENEER WALLS AT EACH FLOOR WITH WEEPS (TOP/ BOTTOM).
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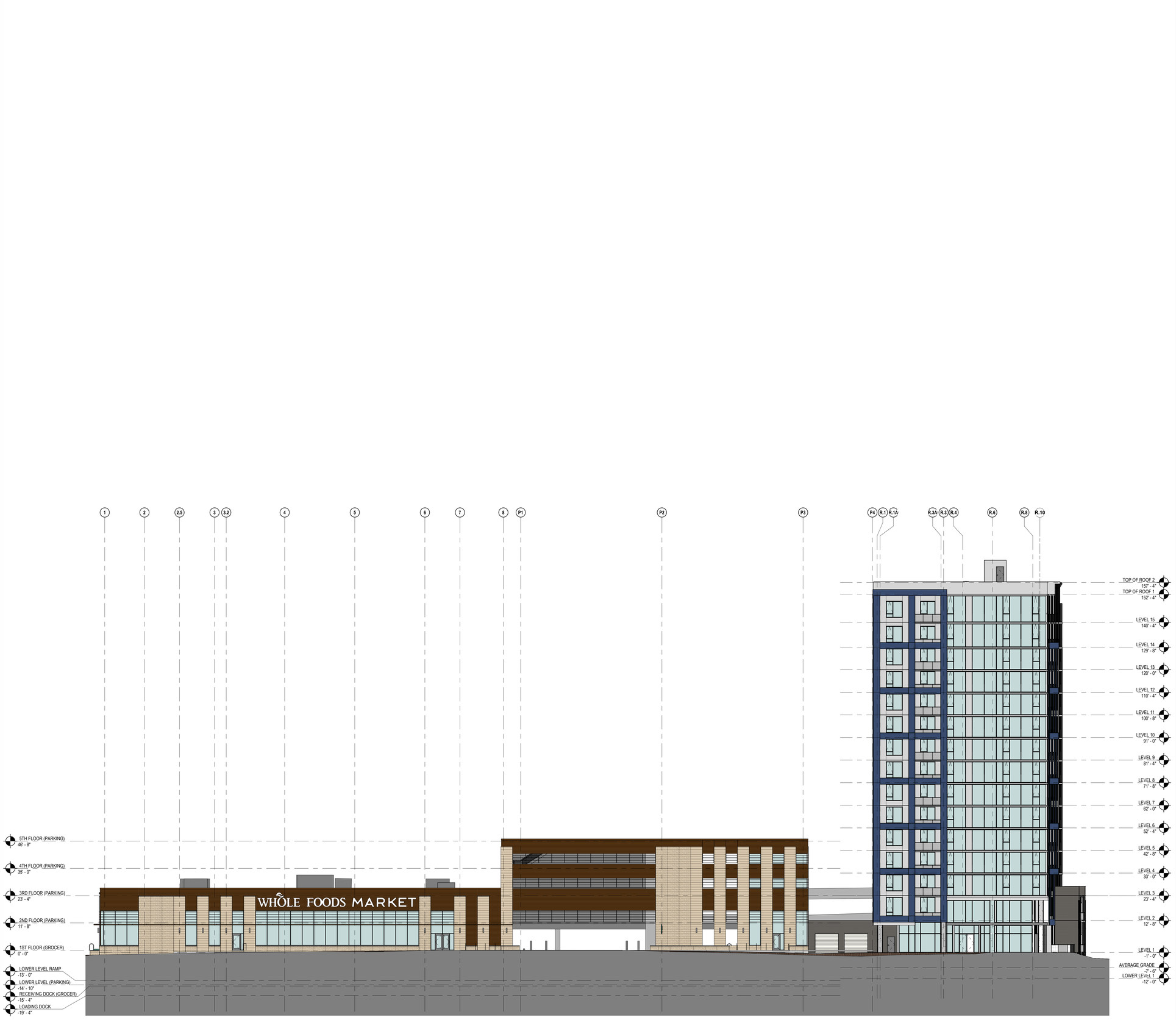
18. PROVIDE PRE-FINISHED ARCHITECTURAL METAL LOUVERS AS INDICATED. INTEGRATE LOUVERS INTO THE WINDOW WALL SYSTEM AND PROVIDE SUPPLEMENTAL SUPPORTS AS REQUIRED.
    A. PROVIDE INSECT SCREENS ON LOUVERS TO ENCLOSED SPACES OR CONNECTED TO DUCTWORK.
19. PROVIDE CORRUGATED METAL WALL PANELS AT ROOF LEVEL FOR MECHANICAL SCREENING AND AT STAIR TO ROOF. TERMINATE WALL PANELS INTO ROOFING SYSTEM TO PROVIDE WATERTIGHT ASSEMBLY.



Overall South Elevation | 1/16" = 1'-0" | **1**

ktgy

MADISON YARDS
HILL FARMS

KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.

MADISON YARDS BLOCK 2
BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
2	11/17/20	ISSUE FOR SIP REVIEW
3	11/18/20	ISSUE FOR GMP

BUILDING B

OVERALL ELEVATIONS

A3-B11

EAST ELEVATION | 1/16" = 1'-0" | 2

NORTH ELEVATION | 1/16" = 1'-0" | 1

EXTERIOR WALL SYSTEMS

EWS-1 - ALUM WINDOW WALL/ SLAB EDGE COVER
EWS-2 - INSULATED METAL PANEL/ ALUM WINDOWS (COLOR 1/ COLOR 2)
EWS-3 - BRICK VENEER
EWS-4 - METAL WALL PANEL

EXTERIOR WALL DESCRIPTIONS - SEE DESIGN NARRATIVE FOR ADDITIONAL INFORMATION

EWS-1; PRIMARY WALL SYSTEM CONSISTS OF THERMALLY BROKEN ALUMINUM WINDOW WALL WITH STRUCTURALLY GLAZED 1" INSULATED GLASS WITH VENTED UNITS AS INDICATED/ REQUIRED, PREFINISHED METAL SLAB EDGE COVERS AND FIRE STOP MATERIAL AT FLOORS. ALTERNATE; FULLY CAPTURED GLAZING SYSTEM.

EWS-2; PRIMARY WALL SYSTEM CONSISTS OF LIGHT GUAGE EXTERIOR WALL FRAMING (DELEGATED DESIGN), INTERIOR DRYWALL, VAPOR BARRIER, CAVITY WALL INSULATION, EXTERIOR SHEATHING, AIR BARRIER AND INSULATED METAL PANEL AS INDICATED TO MATCH THE WALL PANELS. SEE ELEVATIONS/ SECTIONS FOR LOCATIONS.

EWS-3; PRIMARY WALL SYSTEM CONSISTS OF LIGHT GUAGE EXTERIOR WALL FRAMING (DELEGATED DESIGN), INTERIOR DRYWALL, VAPOR BARRIER, CAVITY WALL INSULATION, EXTERIOR SHEATHING, AIR BARRIER, 2" CONTINUOUS INSULATION, AIR CAVITY AND 4" BRICK VENEER WITH STEEL LINTELS AS REQUIRED. BRICK VENEER SHALL BE SUPPORTED AT EACH FLOOR LEVEL OT THE STRUCTURAL SLAB. CONTROL JOINTS AS REQUIRED.

EWS-4; PRIMARY WALL SYSTEM CONSISTS OF LIGHT GUAGE FRAMING AND SHEATHING WITH CORRUGATED METAL WALL PANEL (MECHANICAL PENTHOUSE/ ROOF) INSTALED OVER 2" CONTINUOUS INSULATION.

ELEVATION NOTES

1. SEE CIVIL DRAWINGS FOR FINISH GRADES.
2. SEE MATERIAL NOTES FOR DESCRIPTION OF MATERIALS PROPOSED. SEE DESIGN NARRATIVE FOR ADDITIONAL INFORMATION.
3. BUILDING B: EXTERIOR WALL RATINGS/ PROTECTED OPENINGS:
   A. NORTH WALL = 0-HOUR/ UNLIMITED OPENINGS
   B. EAST WALL = 0-HOUR/ UNLIMITED OPENINGS
   C. SOUTH WALL = 0-HOUR/ UNLIMITED OPENINGS
   D. WEST WALL
      a. 1ST FLOOR – SEE PLAN
      b. 2ND FLOOR – SEE PLAN
      c. 3RD FLR – 15TH FLR – 0-HOUR/ UNLIMITED OPENINGS (SECTION 705.8.6)
4. EXTERIOR WALL IS INTENDED TO BE A SINGLE SOURCE RESPONSIBILITY AND IS FURTHER DEFINED IN THE DESIGN NARRATIVE.
   A. WINDOW WALL SYSTEM – GLAZED WITH TINTED INSULATED GLASS PANELS INCLUDING OPERABLE WINDOWS. SEE DESIGN NARRATIVE/ DRAWINGS FOR SPECIFICATION.
   B. PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.
   C. WINDOW WALL SYSTEM – GLAZED WITH INSULATED METAL PANEL. SEE DESIGN NARRATIVE/ DRAWINGS FOR COLOR AND SPECIFICATION.
   D. IBC SECTION 1609.4.2 – SURFACE ROUGHNESS B
   E. IBC SECTION 1609.4.3 – EXPOSURE CATEGORY C
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MATERIAL NOTES

Key	Material

ktgy

MADISON YARDS
HILL FARMS

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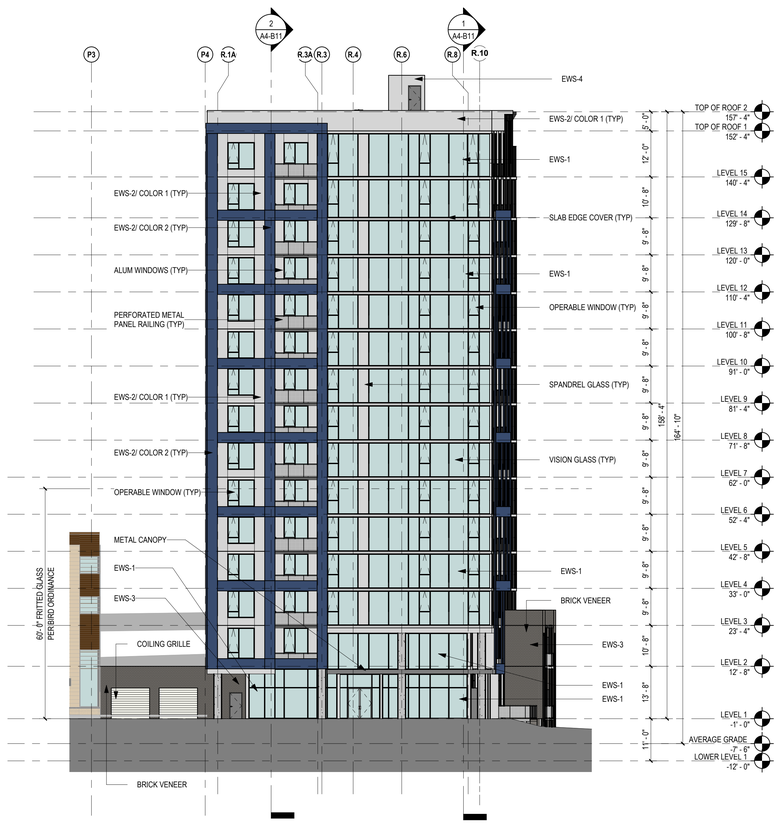
BUILDING B

EXTERIOR BUILDING ELEVATOINS

A3-B12

WEST ELEVATION 1/16" = 1'-0" 2



SOUTH ELEVATION 1/16" = 1'-0" 1

EXTERIOR WALL SYSTEMS

EWS-1 - ALUM WINDOW WALL/ SLAB EDGE COVER
EWS-2 - INSULATED METAL PANEL/ ALUM WINDOWS (COLOR 1/ COLOR 2)
EWS-3 - BRICK VENEER
EWS-4 - METAL WALL PANEL

EXTERIOR WALL DESCRIPTIONS - SEE DESIGN NARRATIVE FOR ADDITIONAL INFORMATION

EWS-1; PRIMARY WALL SYSTEM CONSISTS OF THERMALLY BROKEN ALUMINUM WINDOW WALL WITH STRUCTURALLY GLAZED 1" INSULATED GLASS WITH VENTED UNITS AS INDICATED/ REQUIRED, PREFINISHED METAL SLAB EDGE COVERS AND FIRE STOP MATERIAL AT FLOORS. ALTERNATE; FULLY CAPTURED GLAZING SYSTEM.

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EWS-3; PRIMARY WALL SYSTEM CONSISTS OF LIGHT GUAGE EXTERIOR WALL FRAMING (DELEGATED DESIGN), INTERIOR DRYWALL, VAPOR BARRIER, CAVITY WALL INSULATION, EXTERIOR SHEATHING, AIR BARRIER, 2" CONTINUOUS INSULATION, AIR CAVITY AND 4" BRICK VENEER WITH STEEL LINTELS AS REQUIRED. BRICK VENEER SHALL BE SUPPORTED AT EACH FLOOR LEVEL OT THE STRUCTURAL SLAB. CONTROL JOINTS AS REQUIRED.

EWS-4; PRIMARY WALL SYSTEM CONSISTS OF LIGHT GUAGE FRAMING AND SHEATHING WITH CORRUGATED METAL WALL PANEL (MECHANICAL PENTHOUSE/ ROOF) INSTALED OVER 2" CONTINUOUS INSULATION.

ELEVATION NOTES

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8. PROVIDE MATERIALS WITHIN THE EXTERIOR WALL ASSEMBLY THAT ARE COMPLIANT WITH NFPA 285 (MORE THAN 40 FT ABOVE THE GRADE PLANE).
9. PROVIDE FIRE RATED ASSEMBLIES THAT COMPLETE THE COMPARTMENTALIZED AREA FOR EACH FLOOR OF THE RESIDENTIAL BUILDING AT THE INTERSECTION OF THE FLOOR ASSEMBLY AND EXTERIOR WALL ASSEMBLY.
10. PROVIDE PRE-FINISH METAL BALCONY RAILINGS WITH PERFORATED METAL PANELS AND / OR GLASS AS INDICATED ON THE DRAWINGS. RAILINGS SHALL BE TOP MOUNTED TO THE BALCONY DECK AND SHALL BE DELEGATED DESIGN TO MEET CODE REQUIREMENTS.
11. ALL UNIT BALCONY DOORS SHALL HAVE ADA THRESHOLDS.
12. ALL SOFFITS SHALL BE PRE-FINISHED METAL PANEL SYSTEMS OVER SUPPLEMENTAL FRAMING AND INSULATION AS REQUIRED / NOTED.
13. PROVIDE SUPPLEMENTAL STEEL FRAMING SUPPORTS (PTD) AT WINDOW WALL WIND SCREEN ON 15TH FLOOR.
14. EXPOSED CONCRETE COLUMNS AT GROUND LEVEL SHALL BE SMOOTH FORM AND PREPARED FOR PAINT FINISH.
15. EXTERIOR SIGNAGE SHALL BE A SEPARATE CONTRACT BY OWNER
16. PROVIDE THRU WALL FLASHINGS IN ALL MASONRY VENEER WALLS AT EACH FLOOR WITH WEEPS (TOP/ BOTTOM).
17. HOLLOW METAL DOOR FRAMES SHALL BE PAINTED – GLOSS FINISH.
18. PROVIDE PRE-FINISHED ARCHITECTURAL METAL LOUVERS AS INDICATED. INTEGRATE LOUVERS INTO THE WINDOW WALL SYSTEM AND PROVIDE SUPPLEMENTAL SUPPORTS AS REQUIRED.
    A. PROVIDE INSECT SCREENS ON LOUVERS TO ENCLOSED SPACES OR CONNECTED TO DUCTWORK.
19. PROVIDE CORRUGATED METAL WALL PANELS AT ROOF LEVEL FOR MECHANICAL SCREENING AND AT STAIR TO ROOF. TERMINATE WALL PANELS INTO ROOFING SYSTEM TO PROVIDE WATERTIGHT ASSEMBLY.

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MADISON YARDS
HILL FARMS

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Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.

MADISON YARDS BLOCK 2 BUILDING B

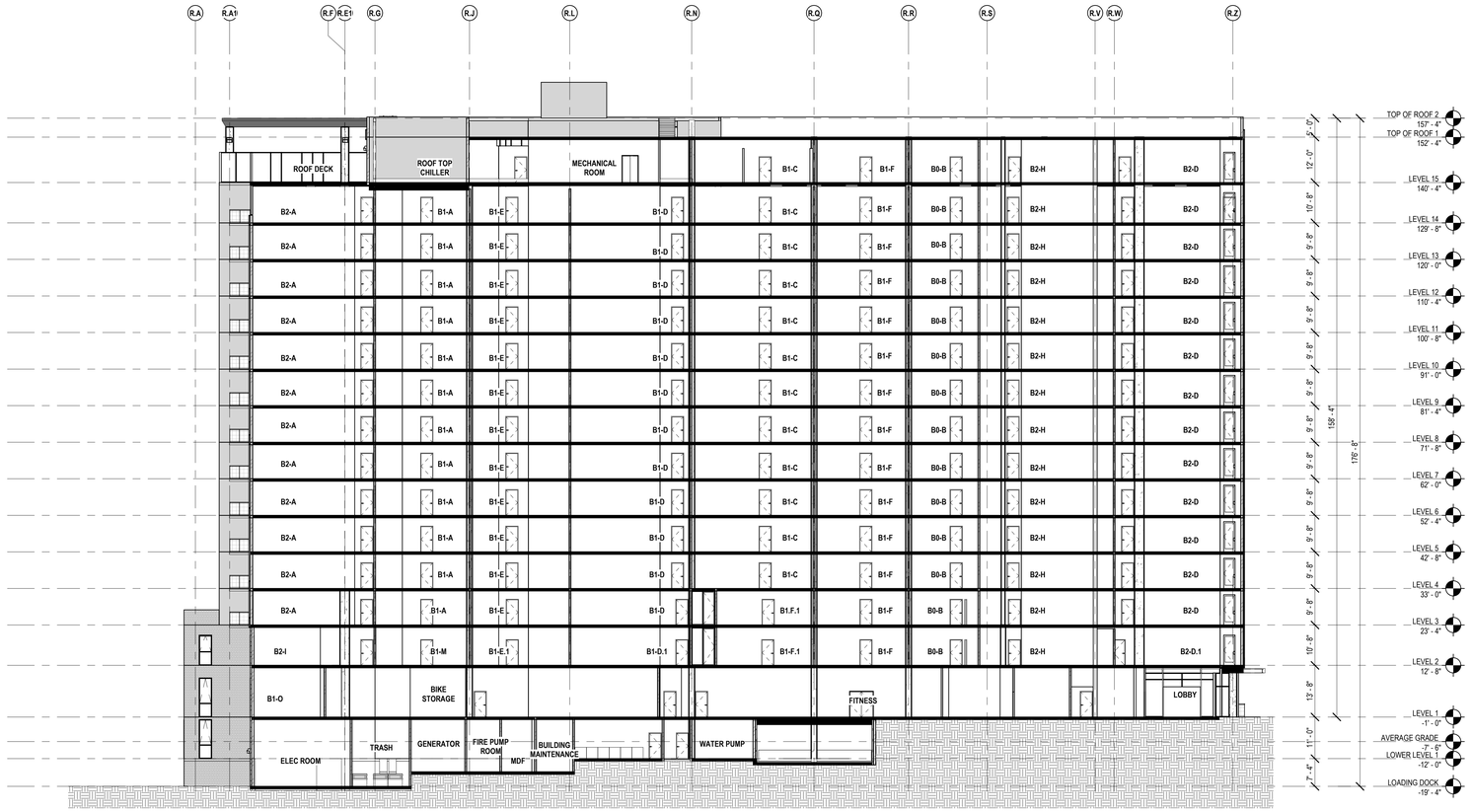
UNIVERSITY AVE AT SEGOE ROAD

No.	Date	Description
1	09/25/20	PRELIMINARY PRICING
2	11/17/20	ISSUE FOR SIP REVIEW
3	11/18/20	ISSUE FOR GMP

BUILDING B

EXTERIOR BUILDING ELEVATIONS

A3-B13



NORTH SOUTH SECTION 2 | 1/16" = 1'-0" | 2

NORTH SOUTH SECTION 1 | 1/16" = 1'-0" | 1

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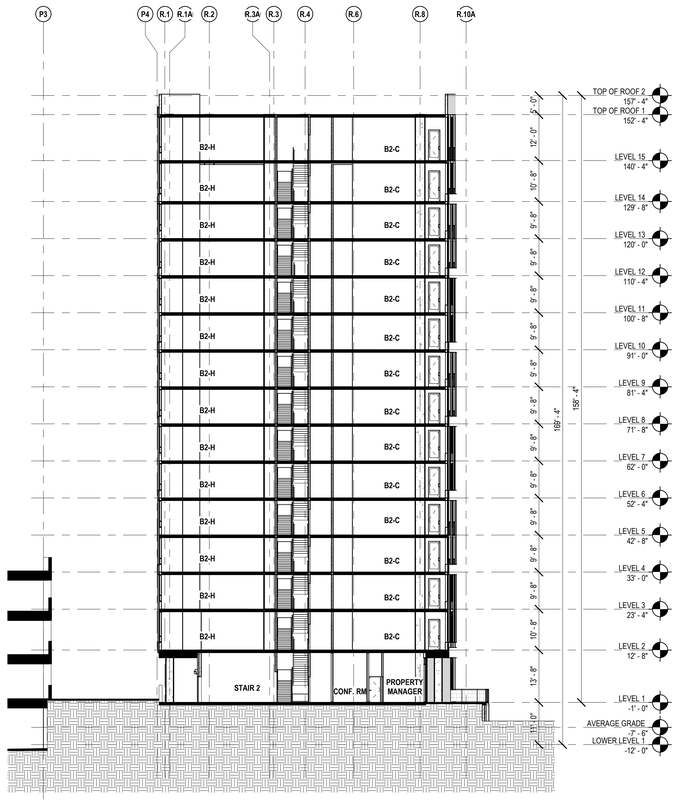
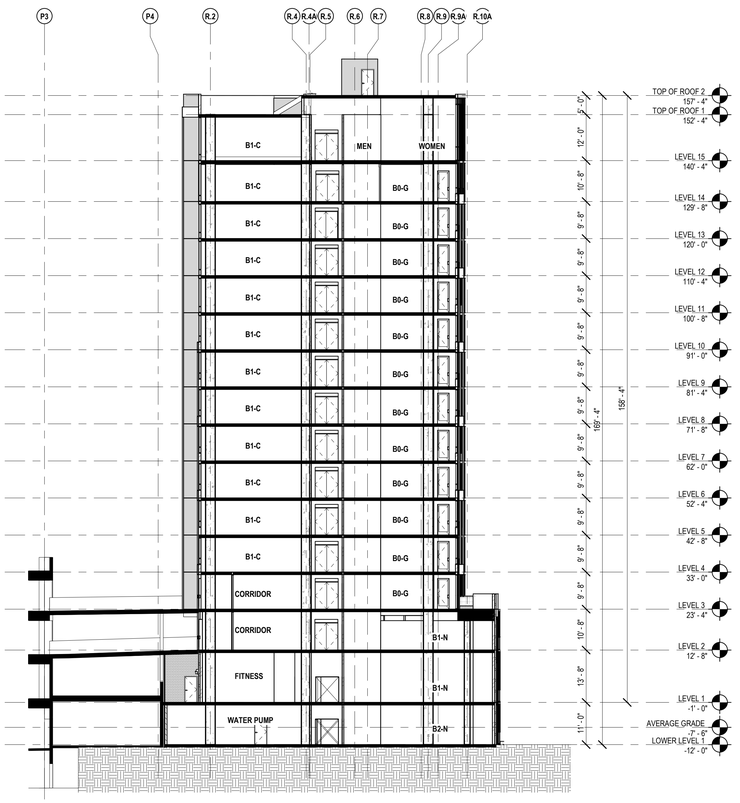
BUILDING B

BUILDING SECTIONS

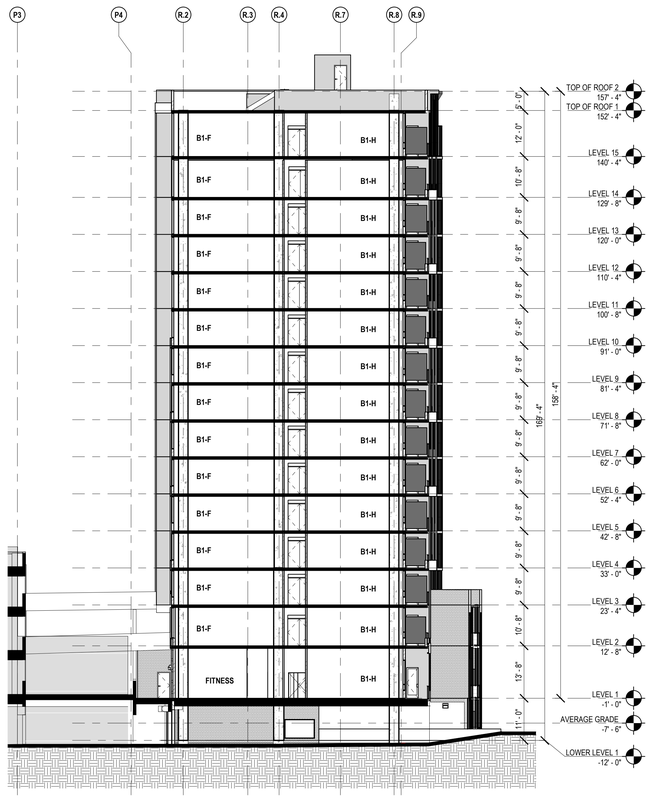
A4-B11



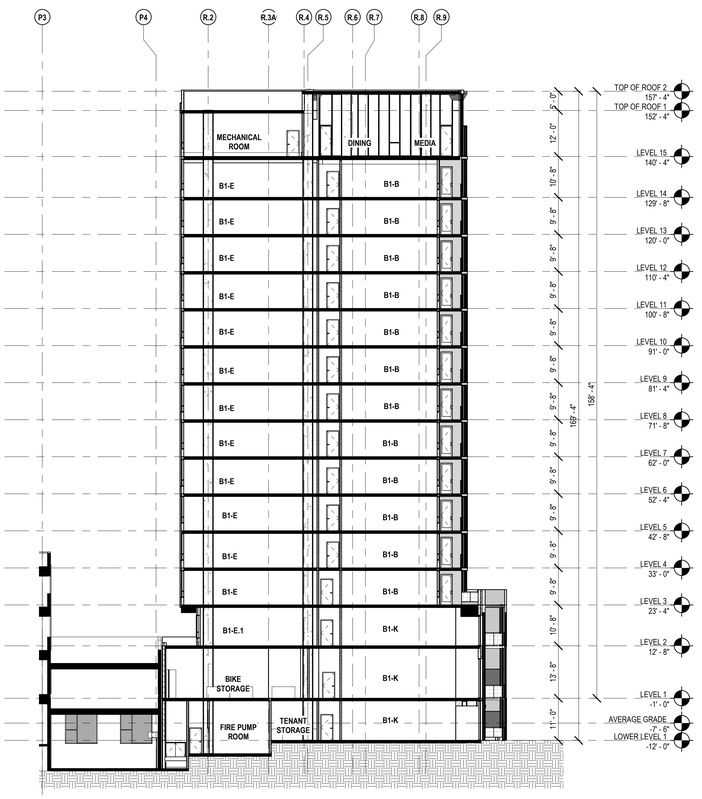
EAST WEST SECTION 4 | 1/16" = 1'-0" | 4



EAST WEST SECTION 2 | 1/16" = 1'-0" | 2



EAST WEST SECTION 3 | 1/16" = 1'-0" | 3



EAST WEST SECTION 1 | 1/16" = 1'-0" | 1

BUILDING SECTION LEGEND

- UNITS
- AMENITIES
- BUILDING SERVICES

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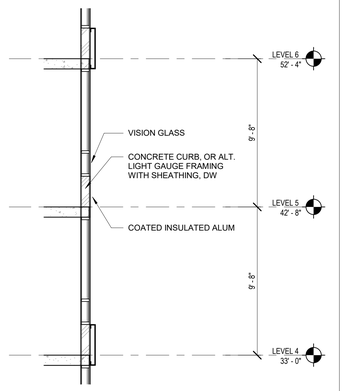
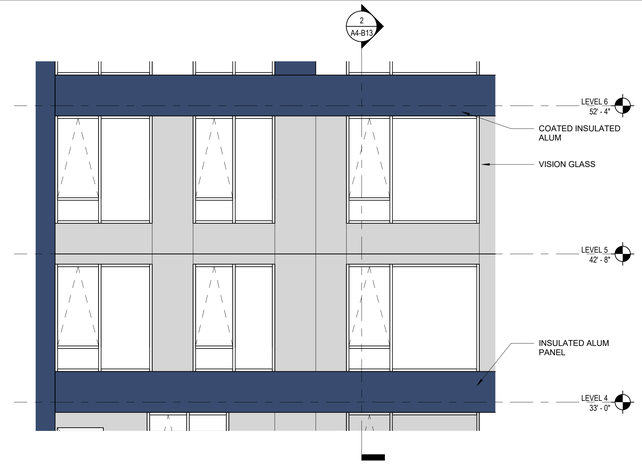
BUILDING B

BUILDING SECTIONS

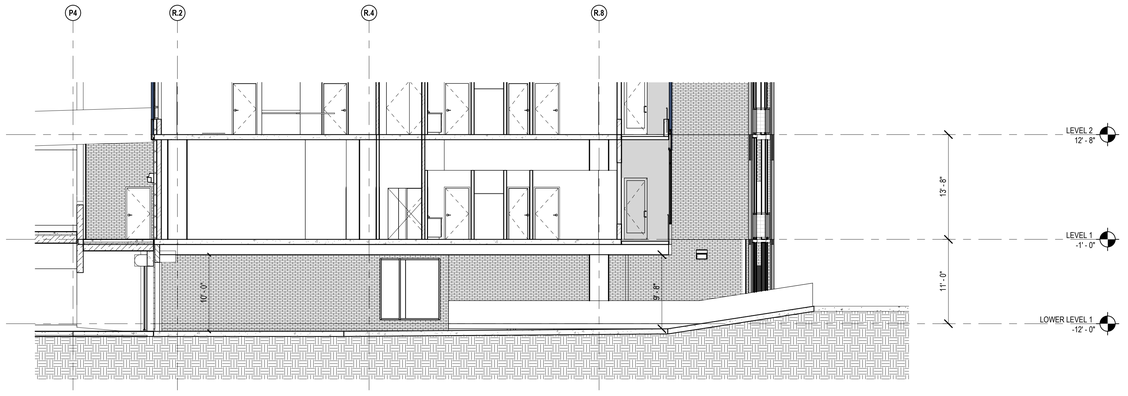
A4-B12



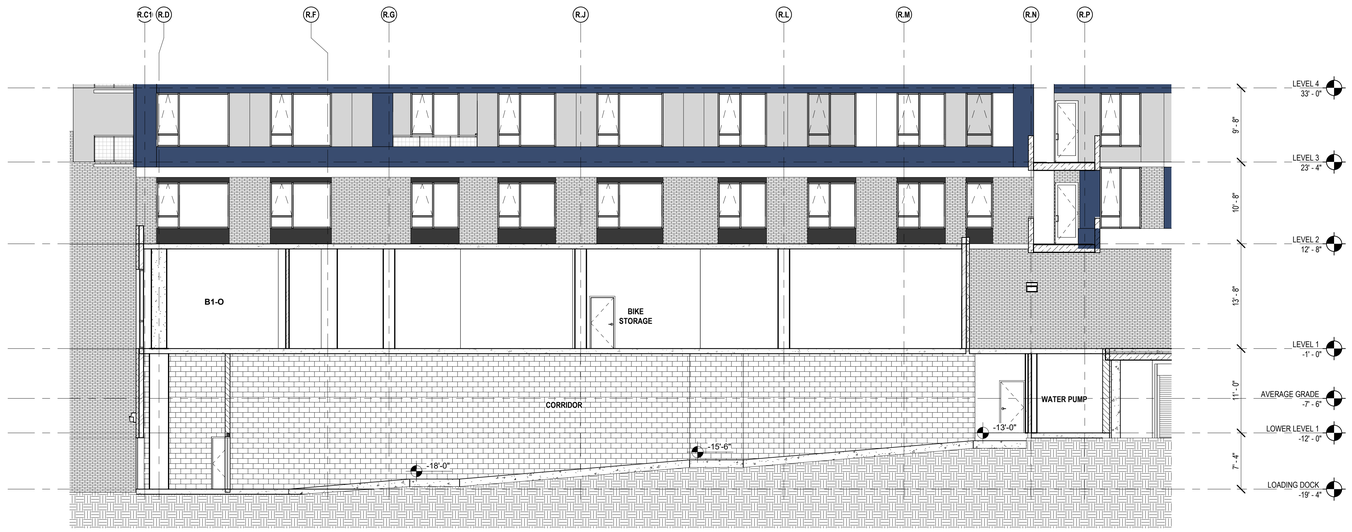
TYPICAL WALL SECTION AT WINDOWS | 1/4" = 1'-0" | 2



TYPICAL ELEVATION AT WINDOWS | 1/4" = 1'-0" | 3



ENLARGED BUILDING SECTION AT RAMP | 1/8" = 1'-0" | 4



ENLARGED BUILDING - NORTH SOUTH SECTION 1 | 1/8" = 1'-0" | 1

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BUILDING B

ENLARGED BUILDING SECTIONS & TYP WALL SECTIONS

A4-B13

3D PERSPECTIVE - SOUTHEAST CORNER | 12" = 1'-0" | **1**

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BUILDING B

3D PERSPECTIVES

A8-B10

3D PERSPECTIVE - NORTHEAST CORNER | 12" = 1'-0" | 1

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3D PERSPECTIVES

A8-B11

3D PERSPECTIVE | NTS | 1

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BUILDING B

3D PERSPECTIVES

A8-B12

3D PERSPECTIVE | NTS | 1

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BUILDING B

3D PERSPECTIVES

A8-B13

3D PERSPECTIVE | NTS | 1

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BUILDING B

3D PERSPECTIVES

A8-B14

3D PERSPECTIVE | NTS | 1

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BUILDING B

3D PERSPECTIVES

A8-B15

3D PERSPECTIVE | NTS | 1

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BUILDING B

3D PERSPECTIVES

A8-B16

3D PERSPECTIVE | 1" = 1'-0" | 1

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No.	Date	Description

BUILDING B

3D PERSPECTIVES

A8-B17

3D PERSPECTIVE | 1" = 1'-0" | 1

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MADISON YARDS BLOCK 2
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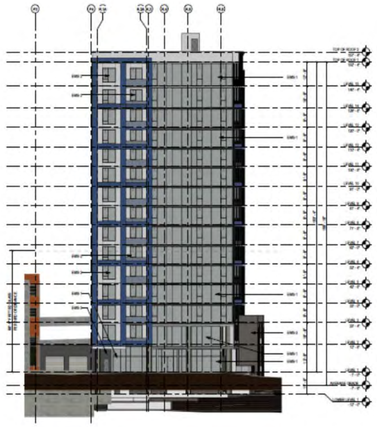
No.	Date	Description

BUILDING B

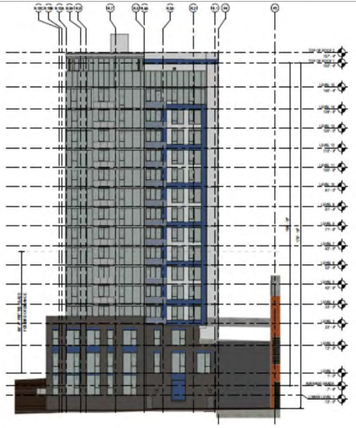
3D PERSPECTIVE

A8-B18

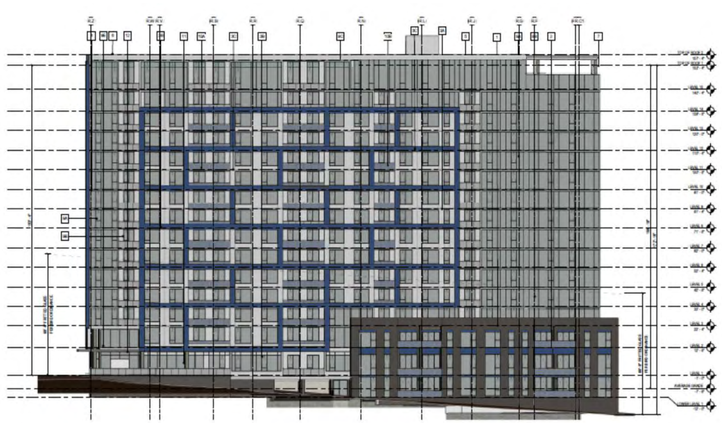


SOUTH ELEVATION

WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

EWS-1 ALUMINUM AND GLASS WINDOW WALL /SLAB EDGE COVER SYSTEM (SIM)

EWS-2 INSULATED METAL PANEL/ALUMINUM WINDOWS (SIM)

EWS-3 BRICK VENEER BASE DETAIL (SIM)

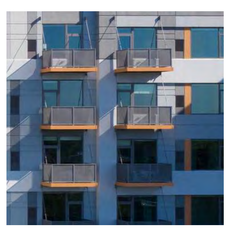
EWS-4 METAL WALL PANEL (SIM)

DECORATIVE LIGHT FIXTURE AT RESIDENTIAL BALCONY

GUARDIAN SunGuard - AG 43

GUARDIAN SunGuard - AG 50

ALUMINUM STOREFRONT AT RETAIL BASE



PREFINISHED PERFORATED METAL PANEL RAILING SYSTEM - DARK GRAY

CORRUGATED ARCHITECTURAL METAL PANEL - MEDIUM GRAY

MODULAR BRICK - GRAY BLEND

Architecture + Planning
888.456.5849
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MADISON YARDS - BLOCK 2
MADISON, WI

MATERIALS SAMPLE BOARD