


Note to Commission

Development proposal at 701 and 737 Lorillard Court, adjacent to the American Tobacco Co. Warehouses, a designated landmark

The developers are requesting your initial opinion of the proposed development of two office buildings to the south of the recently restored American Tobacco Co. warehouses. At this point, all they have for review is the massing, height and size of the two buildings and their placement on the lot.

It is my opinion that the location, height and massing of the two buildings as proposed will not adversely affect the historic character or the tobacco warehouses. I recommend that the motion include the wording that this is an initial opinion and the Commission will review the final proposal at a later date.

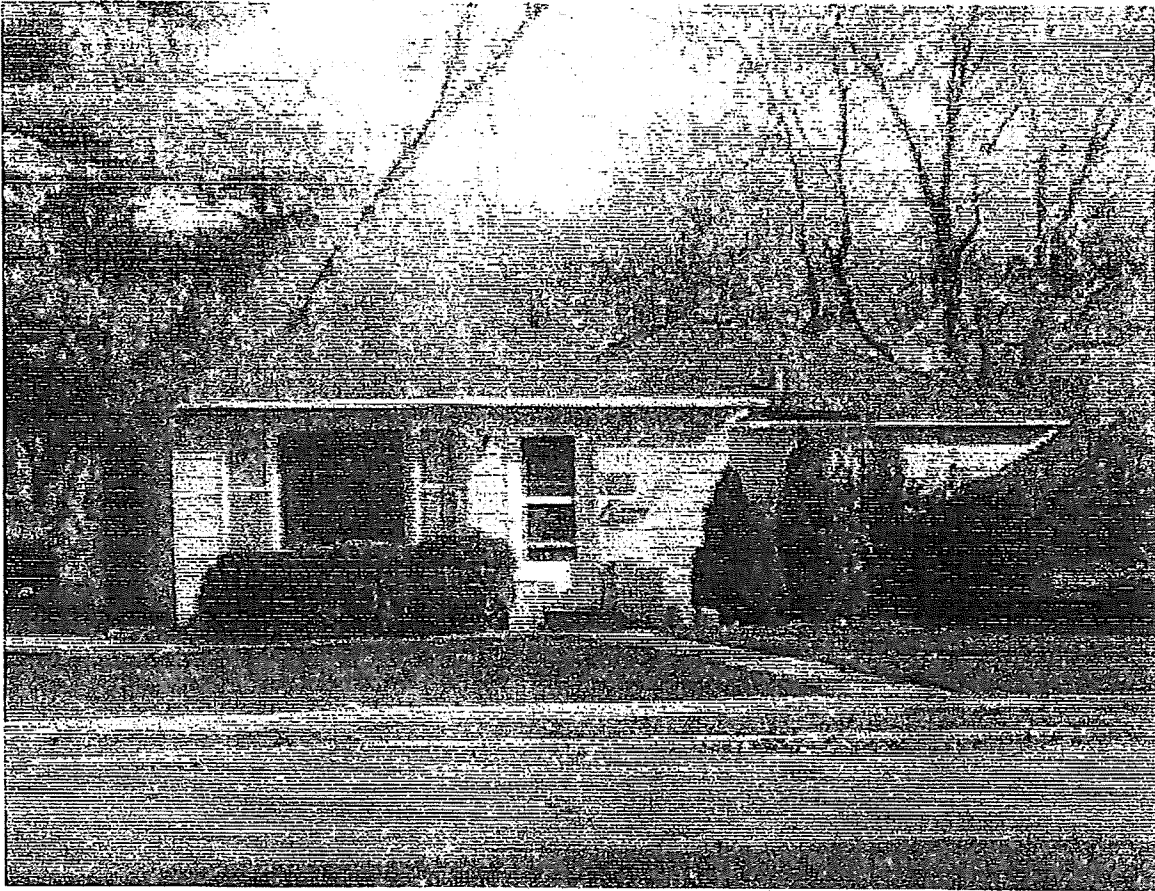
K. H. Rankin 
4/30/08



159 Proudfit Street

This house is proposed for demolition as part of a large redevelopment that has been taking place for several years; an office building is proposed for the site. It is a small (821 square feet), one-and-one-half story frame house with some stone veneer. It was built in 1939-1941 (building permits) for Christ Pedracine, builder. The architect line indicates it was built to private plans (a common notation). In 1955 it was relocated further back on its lot on a new foundation, for street widening purposes.

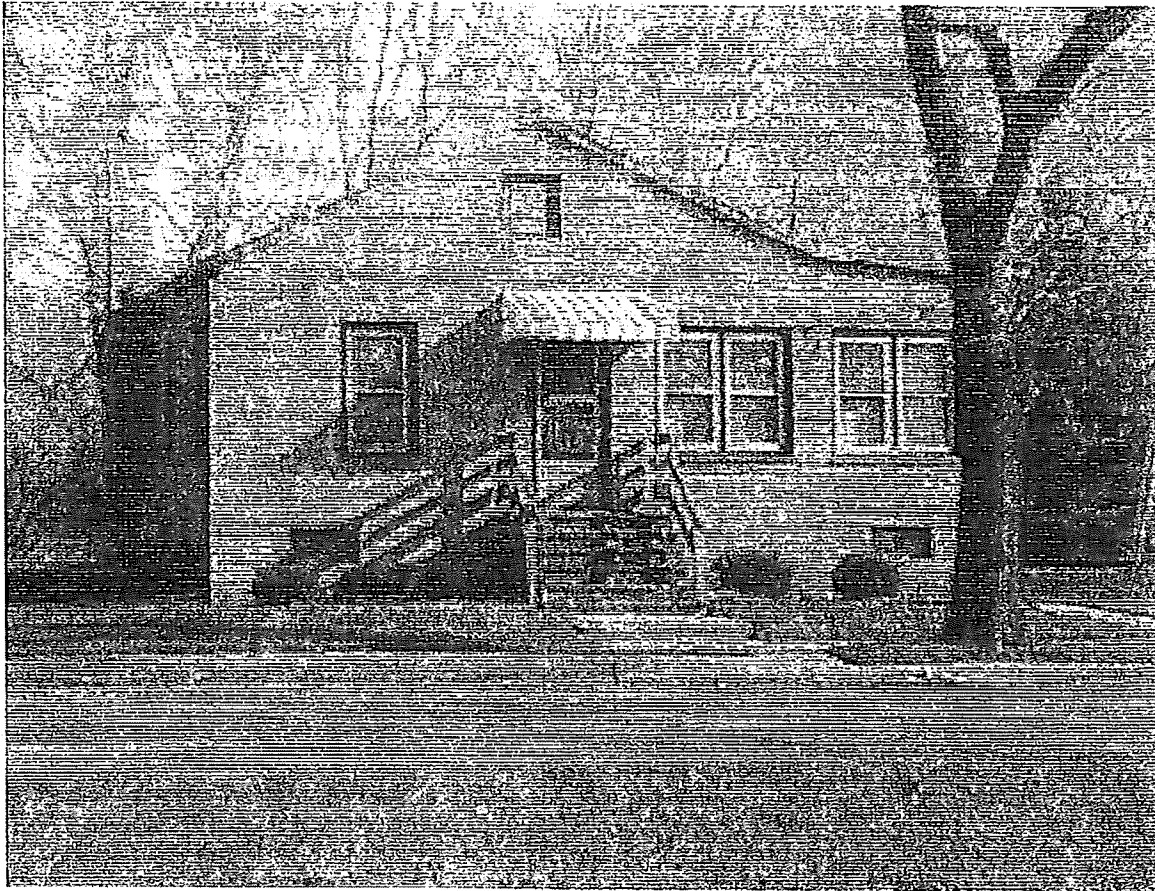
This house is not listed in our inventory of historic places and has no known architectural or historical interest.



167 Proudfit Street

This small (896 square feet), one-story frame house was built in 1946-1947. It is proposed for demolition as part of a large redevelopment that has been taking place for several years; an office building is proposed for the site. A permit for a garage to be built before a new house was taken out in 1946 by Joe Bruno. In 1947 a permit was taken out for plumbing a new house. Whether or not the garage was incorporated into the house is unknown, although the pattern of building a garage first and then turning it into a house was not uncommon in Madison at the time. In 1951 an addition was placed on the front and in 1952 the owner was informed that the house was non-conforming because it was set back too far on its lot. In 1972 Ann Bruno took out a permit for residing with aluminum.

This house is not listed in our inventory of historic places and has no known architectural or historical interest.



171 Proudfit Street

This house is proposed for demolition as part of a large redevelopment that has been taking place for several years; an office building is proposed for the site. It is a one-story house with brick siding and is fairly small (1273 square feet). This house may also have started out as a garage and then converted to a residence. In 1936, Joe Burtscher took out a permit for a garage. In 1938 he had a permit for adding onto the garage and in 1940 he took out a permit for completing a residence. In 1940 Tony Troia was awarded a permit for another addition, at which time the owner was warned by the City that there were plans to widen Proudfit Street. In 1955 a permit was issued for building a new foundation and moving the house back on the lot for the street work.

This house is not listed in our inventory of historic places and has no known architectural or historical interest.

727 LORILLARD

URBAN DESIGN & PLAN COMMISSION SUBMITTAL

LOCATION MAP



BUILDING INFORMATION

TOTAL GFA (SQ. FEET)	129,387 SF
BUILDING FOOTPRINT	22,937 SF
APPROXIMATE GROUND FLOOR AREA (SQ. FEET)	12,428 SF
APPROXIMATE TOTAL FLOOR AREA (SQ. FEET)	46,239 SF
APPROXIMATE TOTAL VOLUME (CU. FEET)	2,418,000
APPROXIMATE TOTAL FLOOR AREA (SQ. FEET)	2,418,000
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APPROXIMATE TOTAL VOLUME (CU. FEET)	2,418,000

BUILDING SUMMARY

BUILDING TYPE	APARTMENT - COND
APARTMENT TYPE	4-2 UNITS/2-4
CONSTRUCTION TYPE	4-2 UNITS/2-4
FINISHES	YES
MAXIMUM ALLOWED FLOOR FINISH	4-2 UNITS/2-4
MAXIMUM ALLOWED HEIGHT	72' 0" (MAX. 13' STORIES)
MAXIMUM ALLOWED SETBACK	4' 0" (MIN. 13' STORIES)

DRAWING SCHEDULE

NO.	DESCRIPTION	DATE
1	GENERAL NOTES	02/27/2012
2	FOUNDATION PLAN	02/27/2012
3	FLOOR PLAN	02/27/2012
4	SECTION	02/27/2012
5	ELEVATION	02/27/2012
6	EXTERIOR FINISHES	02/27/2012
7	INTERIOR FINISHES	02/27/2012
8	MECHANICAL	02/27/2012
9	ELECTRICAL	02/27/2012
10	PLUMBING	02/27/2012
11	PAINT	02/27/2012
12	LANDSCAPE	02/27/2012
13	CONCRETE	02/27/2012
14	STEEL	02/27/2012
15	WOOD	02/27/2012
16	GLASS	02/27/2012
17	MECHANICAL	02/27/2012
18	ELECTRICAL	02/27/2012
19	PLUMBING	02/27/2012
20	PAINT	02/27/2012
21	LANDSCAPE	02/27/2012
22	CONCRETE	02/27/2012
23	STEEL	02/27/2012
24	WOOD	02/27/2012
25	GLASS	02/27/2012

SITE MAP



UNIT MATRIX

LEVEL	TYPE	NO.	AREA (SQ. FT.)	TOTAL AREA (SQ. FT.)	TOTAL ROOMS
LEVEL 1	RESIDENTIAL	1	12,428	12,428	12
LEVEL 2	RESIDENTIAL	1	12,428	24,856	24
LEVEL 3	RESIDENTIAL	1	12,428	37,284	36
LEVEL 4	RESIDENTIAL	1	12,428	49,712	48
LEVEL 5	RESIDENTIAL	1	12,428	62,140	60
LEVEL 6	RESIDENTIAL	1	12,428	74,568	72
LEVEL 7	RESIDENTIAL	1	12,428	87,000	84
LEVEL 8	RESIDENTIAL	1	12,428	99,428	96
LEVEL 9	RESIDENTIAL	1	12,428	111,856	108
LEVEL 10	RESIDENTIAL	1	12,428	124,284	120
LEVEL 11	RESIDENTIAL	1	12,428	136,712	132
LEVEL 12	RESIDENTIAL	1	12,428	149,140	144
LEVEL 13	RESIDENTIAL	1	12,428	161,568	156
LEVEL 14	RESIDENTIAL	1	12,428	174,000	168
LEVEL 15	RESIDENTIAL	1	12,428	186,428	180
LEVEL 16	RESIDENTIAL	1	12,428	198,856	192
LEVEL 17	RESIDENTIAL	1	12,428	211,284	204
LEVEL 18	RESIDENTIAL	1	12,428	223,712	216
LEVEL 19	RESIDENTIAL	1	12,428	236,140	228
LEVEL 20	RESIDENTIAL	1	12,428	248,568	240
LEVEL 21	RESIDENTIAL	1	12,428	261,000	252
LEVEL 22	RESIDENTIAL	1	12,428	273,428	264
LEVEL 23	RESIDENTIAL	1	12,428	285,856	276
LEVEL 24	RESIDENTIAL	1	12,428	298,284	288
LEVEL 25	RESIDENTIAL	1	12,428	310,712	300
LEVEL 26	RESIDENTIAL	1	12,428	323,140	312
LEVEL 27	RESIDENTIAL	1	12,428	335,568	324
LEVEL 28	RESIDENTIAL	1	12,428	348,000	336
LEVEL 29	RESIDENTIAL	1	12,428	360,428	348
LEVEL 30	RESIDENTIAL	1	12,428	372,856	360
LEVEL 31	RESIDENTIAL	1	12,428	385,284	372
LEVEL 32	RESIDENTIAL	1	12,428	397,712	384
LEVEL 33	RESIDENTIAL	1	12,428	410,140	396
LEVEL 34	RESIDENTIAL	1	12,428	422,568	408
LEVEL 35	RESIDENTIAL	1	12,428	435,000	420
LEVEL 36	RESIDENTIAL	1	12,428	447,428	432
LEVEL 37	RESIDENTIAL	1	12,428	459,856	444
LEVEL 38	RESIDENTIAL	1	12,428	472,284	456
LEVEL 39	RESIDENTIAL	1	12,428	484,712	468
LEVEL 40	RESIDENTIAL	1	12,428	497,140	480
LEVEL 41	RESIDENTIAL	1	12,428	509,568	492
LEVEL 42	RESIDENTIAL	1	12,428	522,000	504
LEVEL 43	RESIDENTIAL	1	12,428	534,428	516
LEVEL 44	RESIDENTIAL	1	12,428	546,856	528
LEVEL 45	RESIDENTIAL	1	12,428	559,284	540
LEVEL 46	RESIDENTIAL	1	12,428	571,712	552
LEVEL 47	RESIDENTIAL	1	12,428	584,140	564
LEVEL 48	RESIDENTIAL	1	12,428	596,568	576
LEVEL 49	RESIDENTIAL	1	12,428	609,000	588
LEVEL 50	RESIDENTIAL	1	12,428	621,428	600
LEVEL 51	RESIDENTIAL	1	12,428	633,856	612
LEVEL 52	RESIDENTIAL	1	12,428	646,284	624
LEVEL 53	RESIDENTIAL	1	12,428	658,712	636
LEVEL 54	RESIDENTIAL	1	12,428	671,140	648
LEVEL 55	RESIDENTIAL	1	12,428	683,568	660
LEVEL 56	RESIDENTIAL	1	12,428	696,000	672
LEVEL 57	RESIDENTIAL	1	12,428	708,428	684
LEVEL 58	RESIDENTIAL	1	12,428	720,856	696
LEVEL 59	RESIDENTIAL	1	12,428	733,284	708
LEVEL 60	RESIDENTIAL	1	12,428	745,712	720
LEVEL 61	RESIDENTIAL	1	12,428	758,140	732
LEVEL 62	RESIDENTIAL	1	12,428	770,568	744
LEVEL 63	RESIDENTIAL	1	12,428	783,000	756
LEVEL 64	RESIDENTIAL	1	12,428	795,428	768
LEVEL 65	RESIDENTIAL	1	12,428	807,856	780
LEVEL 66	RESIDENTIAL	1	12,428	820,284	792
LEVEL 67	RESIDENTIAL	1	12,428	832,712	804
LEVEL 68	RESIDENTIAL	1	12,428	845,140	816
LEVEL 69	RESIDENTIAL	1	12,428	857,568	828
LEVEL 70	RESIDENTIAL	1	12,428	870,000	840
LEVEL 71	RESIDENTIAL	1	12,428	882,428	852
LEVEL 72	RESIDENTIAL	1	12,428	894,856	864
LEVEL 73	RESIDENTIAL	1	12,428	907,284	876
LEVEL 74	RESIDENTIAL	1	12,428	919,712	888
LEVEL 75	RESIDENTIAL	1	12,428	932,140	900
LEVEL 76	RESIDENTIAL	1	12,428	944,568	912
LEVEL 77	RESIDENTIAL	1	12,428	957,000	924
LEVEL 78	RESIDENTIAL	1	12,428	969,428	936
LEVEL 79	RESIDENTIAL	1	12,428	981,856	948
LEVEL 80	RESIDENTIAL	1	12,428	994,284	960
LEVEL 81	RESIDENTIAL	1	12,428	1,006,712	972
LEVEL 82	RESIDENTIAL	1	12,428	1,019,140	984
LEVEL 83	RESIDENTIAL	1	12,428	1,031,568	996
LEVEL 84	RESIDENTIAL	1	12,428	1,044,000	1,008
LEVEL 85	RESIDENTIAL	1	12,428	1,056,428	1,020
LEVEL 86	RESIDENTIAL	1	12,428	1,068,856	1,032
LEVEL 87	RESIDENTIAL	1	12,428	1,081,284	1,044
LEVEL 88	RESIDENTIAL	1	12,428	1,093,712	1,056
LEVEL 89	RESIDENTIAL	1	12,428	1,106,140	1,068
LEVEL 90	RESIDENTIAL	1	12,428	1,118,568	1,080
LEVEL 91	RESIDENTIAL	1	12,428	1,131,000	1,092
LEVEL 92	RESIDENTIAL	1	12,428	1,143,428	1,104
LEVEL 93	RESIDENTIAL	1	12,428	1,155,856	1,116
LEVEL 94	RESIDENTIAL	1	12,428	1,168,284	1,128
LEVEL 95	RESIDENTIAL	1	12,428	1,180,712	1,140
LEVEL 96	RESIDENTIAL	1	12,428	1,193,140	1,152
LEVEL 97	RESIDENTIAL	1	12,428	1,205,568	1,164
LEVEL 98	RESIDENTIAL	1	12,428	1,218,000	1,176
LEVEL 99	RESIDENTIAL	1	12,428	1,230,428	1,188
LEVEL 100	RESIDENTIAL	1	12,428	1,242,856	1,200

PROJECT TEAM

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CONTEXT PHOTOS





PROJECT NAME
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 RESIDENTIAL
 APARTMENT**
 PROJECT ADDRESS
**777 LORILLARD COURT
 MADISON, WISCONSIN 53703**



ARCHITECT
**LANDSCAPE THREAT LOG
 300 N. KOSCIUSKO STREET
 MADISON, WISCONSIN 53703
 TEL: 608.263.1234
 WWW.LTLOG.COM**
 PROJECT TEAM
 ARCHITECT FIRM

2018 PROJECT NUMBER
 11131 ID
 COMPANY NAME

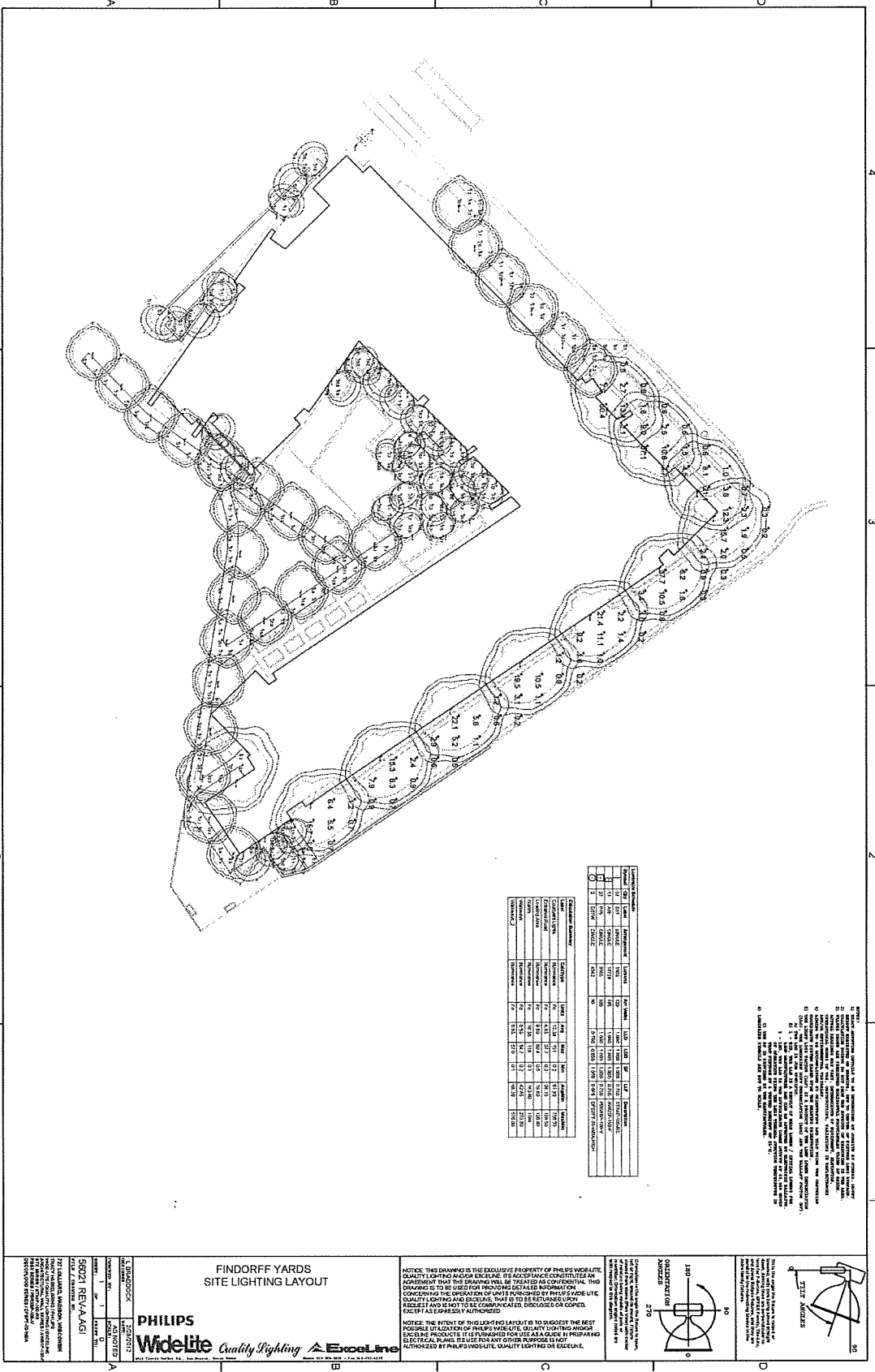
CONTRACT PROJECT NUMBER

NO.	ISSUED BY	DATE
1	ISSUED FOR PERICING	02.07.2012
2	PLAN CORRECTS	03.07.2012

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 SHEET TITLE
RENDERINGS

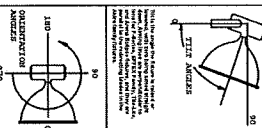


DATE QUANT
G2-01



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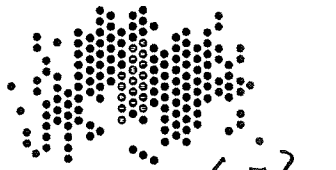
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PHILIPS WIDELITE
7277 LORILLARD
RESIDENTIAL
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7277 LORILLARD COURT
MADISON, WISCONSIN 53703

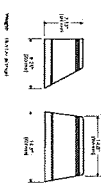
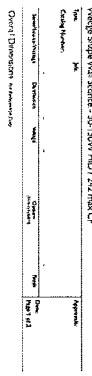


AGENCY: PHILIPS WIDELITE QUALITY LIGHTING AND/OR EXCELLE
PROJECT: 7277 LORILLARD COURT, MADISON, WISCONSIN
DATE: 03/27/2012
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CHECKED BY: [Name]
DATE: 03/27/2012

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PHILIPS WIDELITE QUALITY LIGHTING AND/OR EXCELLE
G3-01

AMX1 Series
 Wide Shape Wall Sconce - 30°/50W Hx/D/7.25 mm CF



Specifications:
 • Power: 30W
 • Voltage: 120V
 • Finish: White
 • Material: Aluminum
 • Dimensions: 30°/50W Hx/D/7.25 mm CF

PHILIPS
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Quality Styling

Low Level Lighting
 Landscape Accent
 Walkways
 Pools



STX4

Specifications:

- Power: 30W
- Voltage: 120V
- Finish: White
- Material: Aluminum
- Dimensions: 30°/50W Hx/D/7.25 mm CF

PHILIPS
 Mirella

Quality Styling

Low Level Lighting
 Landscape Accent
 Walkways
 Pools



PB3X8

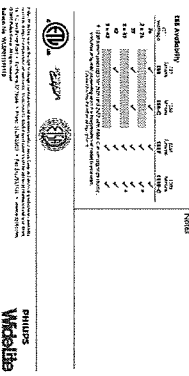
Specifications:

- Power: 30W
- Voltage: 120V
- Finish: White
- Material: Aluminum
- Dimensions: 30°/50W Hx/D/7.25 mm CF

PHILIPS
 Mirella

AMX1 Series
 Wide Shape Wall Sconce - 30°/50W Hx/D/7.25 mm CF

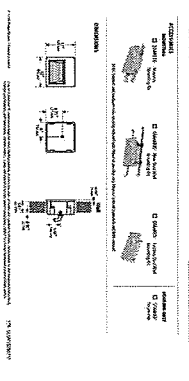
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White	Aluminum	30°/50W Hx/D/7.25 mm CF	0.5 kg
Black	Aluminum	30°/50W Hx/D/7.25 mm CF	0.5 kg
Brushed Nickel	Aluminum	30°/50W Hx/D/7.25 mm CF	0.5 kg



PHILIPS
 Mirella

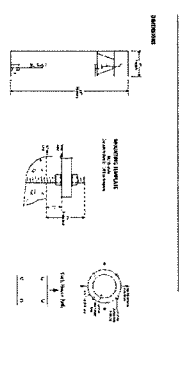
STX4

Finish	Material	Dimensions	Weight
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Black	Aluminum	30°/50W Hx/D/7.25 mm CF	0.5 kg
Brushed Nickel	Aluminum	30°/50W Hx/D/7.25 mm CF	0.5 kg

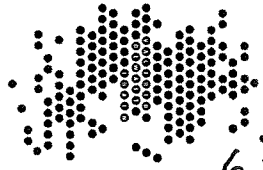


PB3X8

Finish	Material	Dimensions	Weight
White	Aluminum	30°/50W Hx/D/7.25 mm CF	0.5 kg
Black	Aluminum	30°/50W Hx/D/7.25 mm CF	0.5 kg
Brushed Nickel	Aluminum	30°/50W Hx/D/7.25 mm CF	0.5 kg



PROJECT NAME
727 LORILLARD
 RESIDENTIAL
 APARTMENT
 PROJECT ADDRESS
727 LORILLARD COURT
 MADISON, WISCONSIN 53703

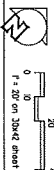
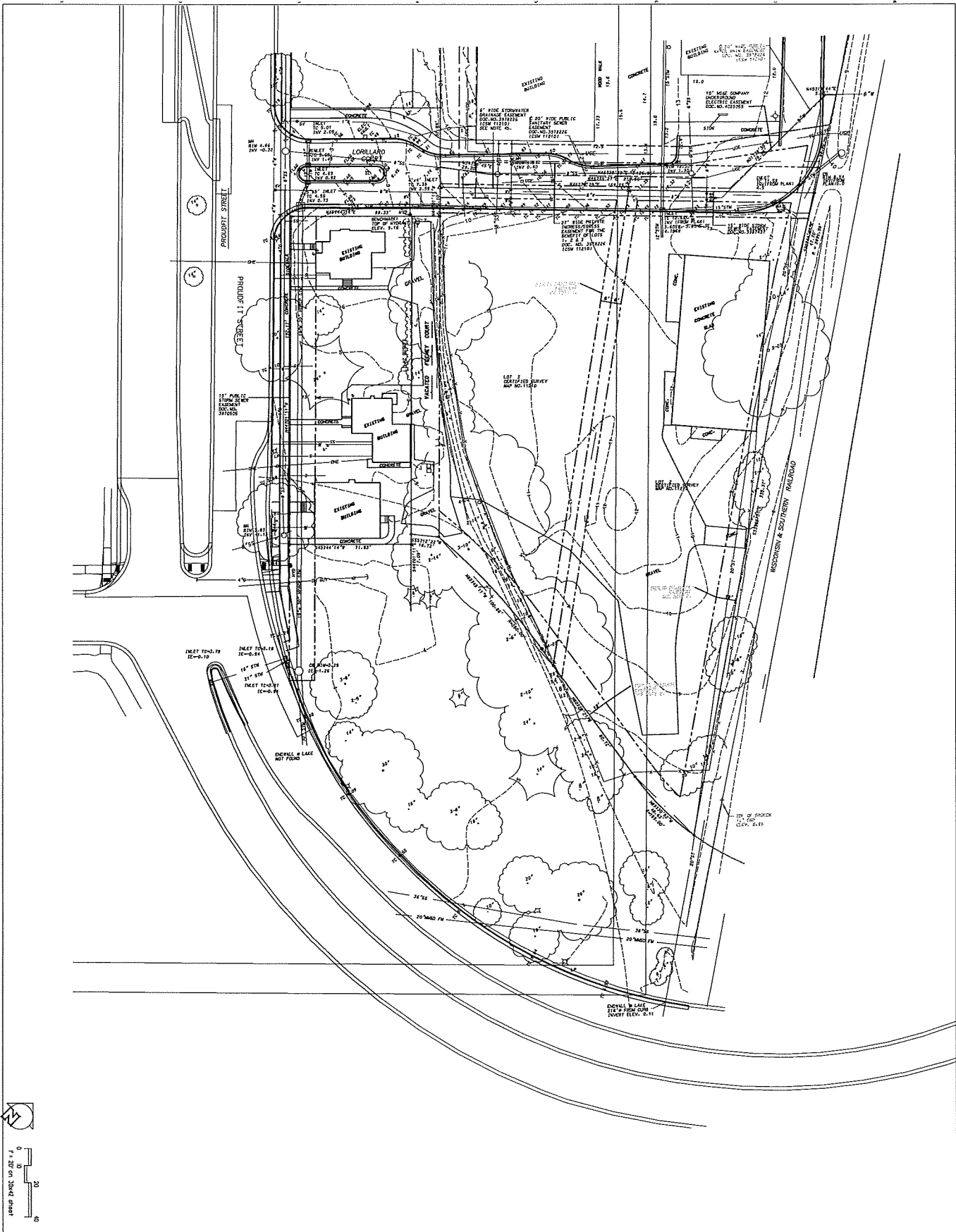


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 PHILIPS LIGHTING
 11100 00

NO.	REVISION	DATE
1	ISSUE FOR CONSTRUCTION	03/07/2013

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 PHILIPS LIGHTING CUT SHEETS

G3-02



L-000
 SHEET TITLE
Site Survey
 SHEET NAME
 68178 VANDERBILT TRAIL ASSOCIATES, INC.

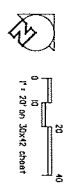
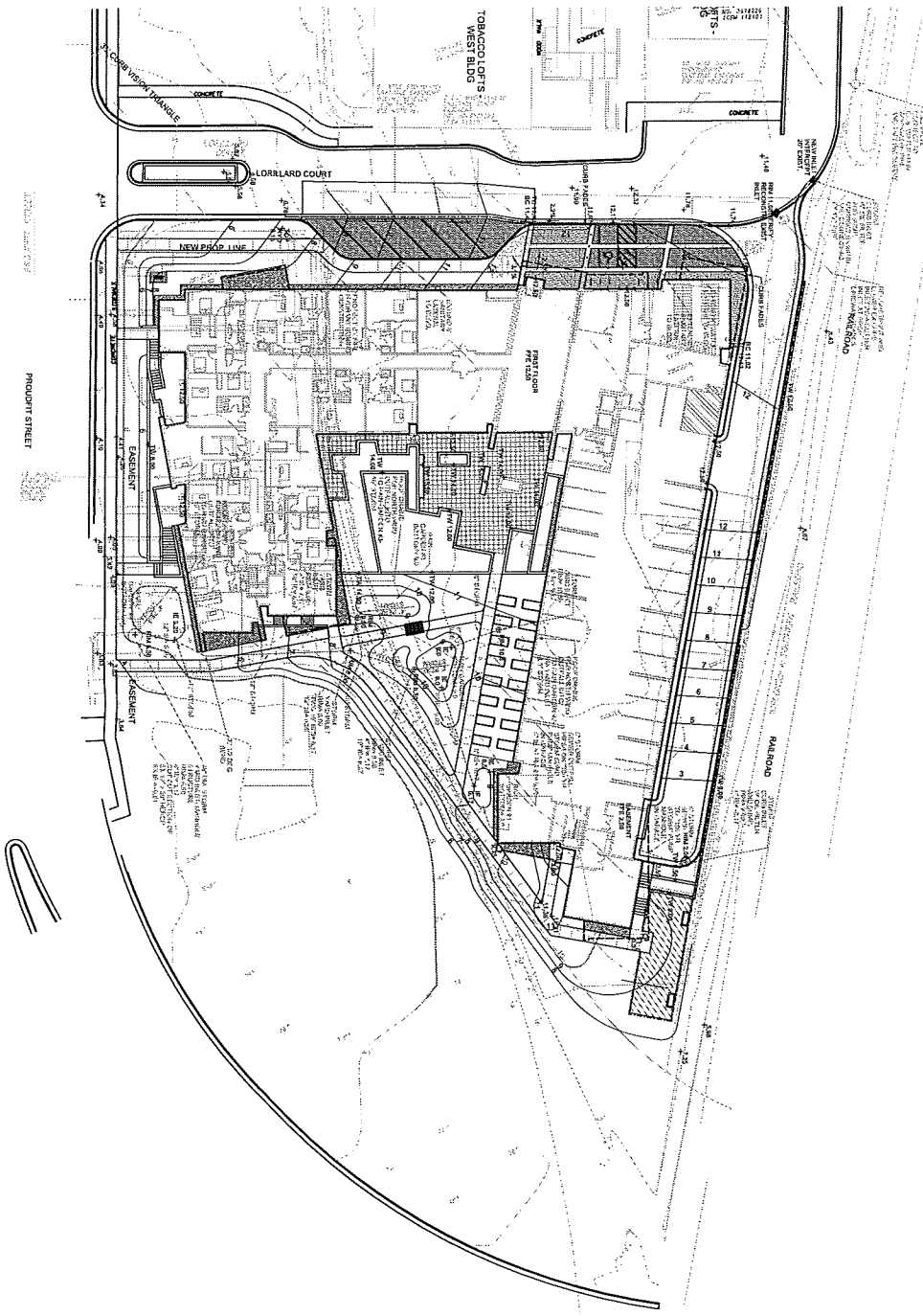
NO.	REVISION	DATE
1	ISSUED FOR PERMITS	02/21/2012
2	PLAN COMPLETE	03/07/2012

KEN SAIKI
 DESIGN INC.
 ARCHITECTS
 222 S. VAN DYKE
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 CHICAGO, IL 60605
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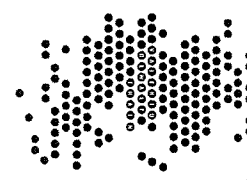
ADDRESS:
 727 CENTRAL AVENUE
 CHICAGO, IL 60640
 PROJECT NUMBER:
 1111110



PROJECT NAME:
FINDORFF YARDS
 RESIDENTIAL
 APARTMENT
 727 CENTRAL AVENUE
 CHICAGO, IL 60640



PROJECT NAME
FINDORFF YARDS
 RESIDENTIAL
 APARTMENT
 PROJECT ADDRESS
 127 LOCUST AND COURT
 MADISON, WI 53703



6-2

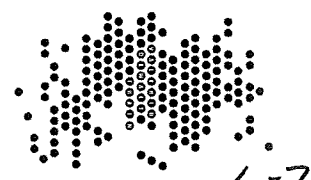
DATE
 11/10/20
 SHEET NUMBER
 11 OF 20

DESIGNED BY
KEN SAIKI
 DESIGN INC.
 1000 W. WASHINGTON AVENUE
 SUITE 200
 MADISON, WI 53703
 (608) 261-1111
 WWW.KENSAIKIDESIGN.COM

NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	03/21/2017
2	PERMIT COMPLIANCE	03/27/2017

DATE PLOTTED
 12/07/2019 09:14 AM
 SHEET NAME
Site Grading Plan

PROJECT NUMBER
L-200



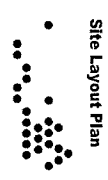
ARCHITECT
 MORGENTHAU TISHMAN
 1111 N. MICHIGAN, SUITE 1000
 ANN ARBOR, MI 48106
 PROJECT NAME
 ARCHITECT TITLE

SCALE AND PROJECT NUMBER
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 17-10-2012

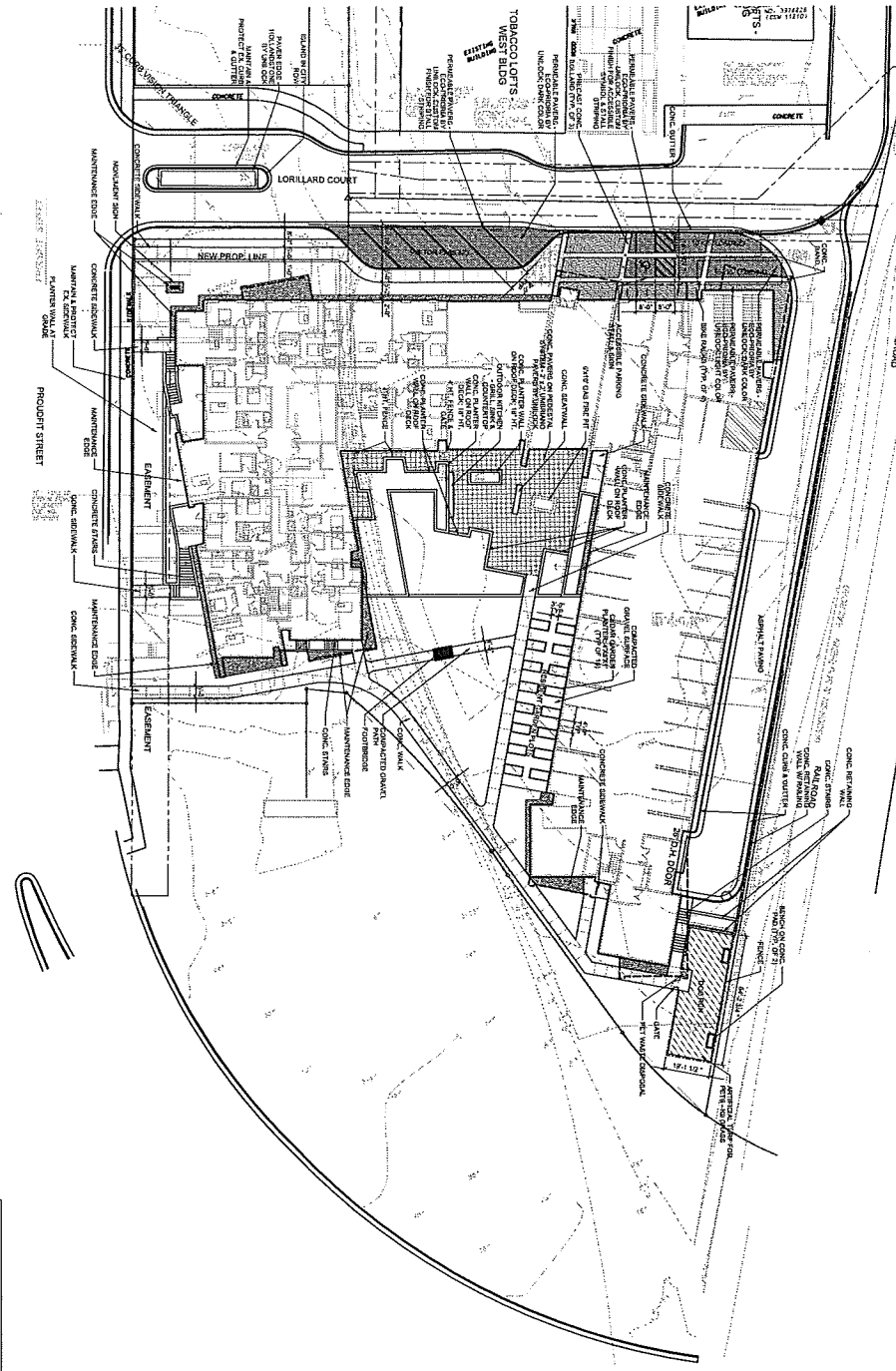
ARCHITECT
KEN SAIKI
 DESIGN INC.
 1000 W. WASHINGTON
 MADISON, WI 53703
 608.263.3333
 www.kensaiki.com

NO.	Issued For	Date
1	ISSUED FOR PERMITS	02.01.2012
2	PLAN EXAMINER	03.07.2012

DATE PLOTTED
 2/27/2012 10:24:21 AM
 SHEET NAME
Site Layout Plan



CONTACT
L-300



ACCESSIBLE PARKING

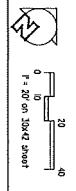
*CITY OF MADISON REQUIRES MIN. 5 ACC STALLS FOR 141 TOTAL PARKING STALLS (1 STALL MUST BE VAN ACCESSIBLE)

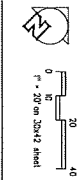
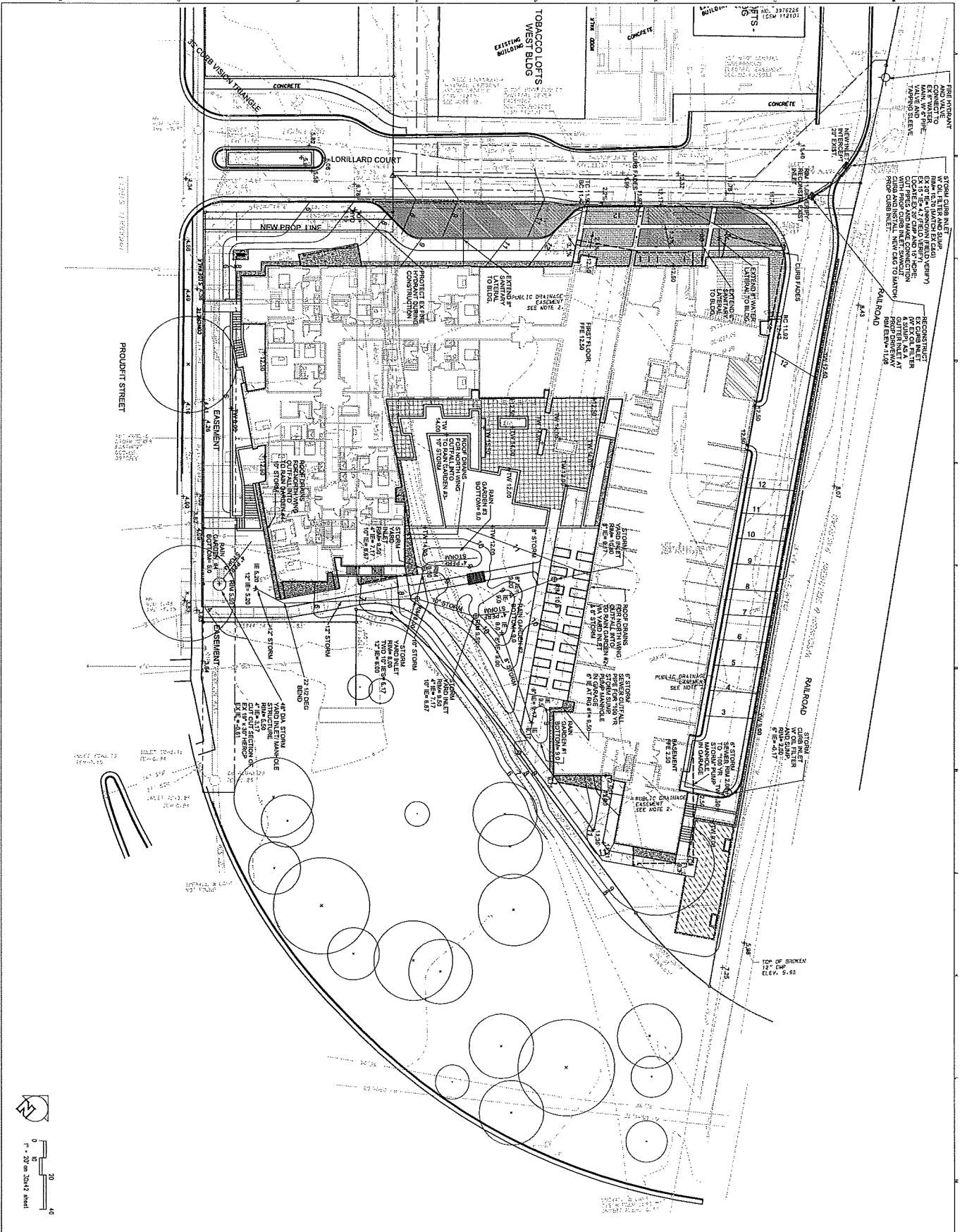
TOTAL STALLS	AT GRADE ACC. (BESIDE DRIVEWAY ACC.)	TOTAL ACC.
141	14	12

BICYCLE PARKING

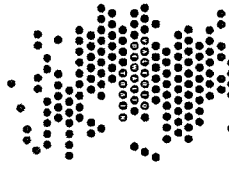
*CITY OF MADISON REQUIRES 1 BIKE PARKING STALL PER 10 VAN ACCESSIBLE PARKING SPACES

BIKE STALLS	BIKE STALLS	BIKE STALLS	BIKE STALLS
141	14	12	119 ROOM 101





PROJECT NAME
FINDORFF YARDS
 RESIDENTIAL
 APARTMENT
 722 LORILLARD COURT
 PHOENIX, ARIZONA
 ADAMSON, VAN SCHOYK



DATE: 03/27/2012
 TIME: 10:00 AM
 PROJECT: 722 LORILLARD COURT
 SHEET: 6-7
 DRAWN BY: [Name]
 CHECKED BY: [Name]



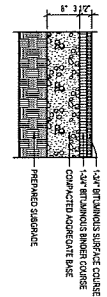
NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	02/27/2012
2	PLAN CORRECT	03/27/2012

SCALE: 1/8\"/>
 SHEET NAME
Site Utility Plan

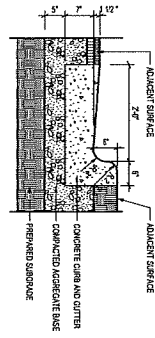
L-400

6-7

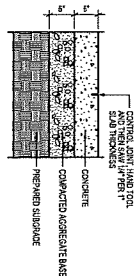
PROJECT NAME
FINDORFF YARDS
 RESIDENTIAL
 APARTMENT
 PROJECT ADDRESS
 777 GORHAM LAND COURT
 MADISON, WI 53705



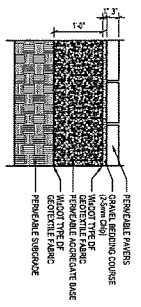
1-4 ASPHALT PAVEMENT
 DETAIL
 1:1.10



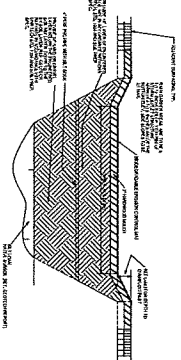
1-3 CONCRETE CURB AND GUTTER
 DETAIL
 1:1.10



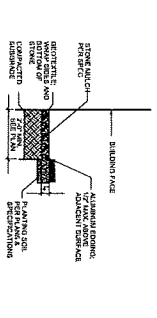
1-2 CONCRETE SIDEWALK
 DETAIL
 1:1.10



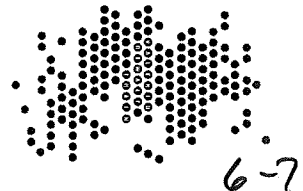
1-1 PERMEABLE PAVERS
 DETAIL
 1:1.10



1-6 RAIN GARDEN
 DETAIL
 1:1.10



1-5 MAINTENANCE EDGE
 DETAIL
 1:1.10



ARCHITECT
 KEN SAIKI DESIGN INC.
 1700 W. WISCONSIN AVENUE
 MADISON, WI 53705
 WWW.KENSAIKI.COM

DATE PLOTTED
 11/10/20



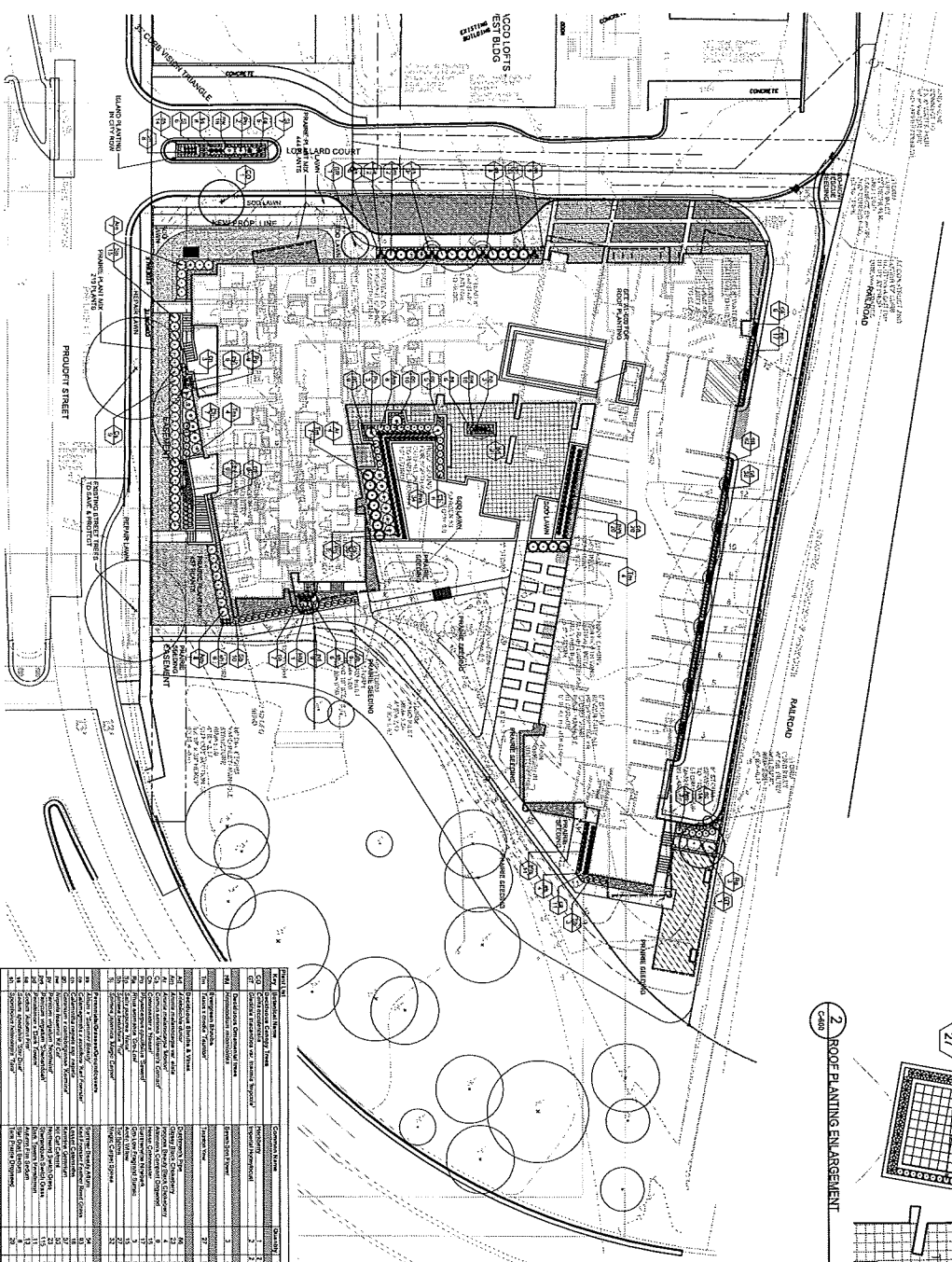
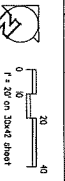
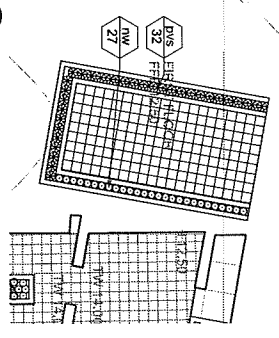
NO.	ISSUED FOR	DATE
1	ISSUED FOR PERMITS	02/21/2012
2	PLAN COMPLETE	03/27/2012

PROJECT TITLE
 SHEET NAME
Site Details



CONTACT NUMBER
L-500

- 2** ROOF PLANTING ENHANCEMENT DETAIL
- NOTED: Detail and notes apply shall have provided hardwood bark mulch unless otherwise noted.
 - All plant beds shall have storm-out edging unless otherwise noted.
 - All disturbed areas shall be reseeded with indicated seed.
 - Contractor (C/F) verify regarding any planting of existing trees.
 - All trees that are damaged or need to be removed to accommodate construction, the approved value of the tree includes all trunk and canopy removal.
 - All trees that are damaged or need to be removed to accommodate construction, the approved value of the tree includes all trunk and canopy removal.
 - Landscaper contractor shall contact City Forestry at 608-265-8611, D&E/Operations/Planning.



City of Madison - Landscapers Worksheet

Item #	Plant	Quantity	Points	Cost
1	Plant	1	10	10
2	Plant	2	20	20
3	Plant	3	30	30
4	Plant	4	40	40
5	Plant	5	50	50
6	Plant	6	60	60
7	Plant	7	70	70
8	Plant	8	80	80
9	Plant	9	90	90
10	Plant	10	100	100
11	Plant	11	110	110
12	Plant	12	120	120
13	Plant	13	130	130
14	Plant	14	140	140
15	Plant	15	150	150
16	Plant	16	160	160
17	Plant	17	170	170
18	Plant	18	180	180
19	Plant	19	190	190
20	Plant	20	200	200
21	Plant	21	210	210
22	Plant	22	220	220
23	Plant	23	230	230
24	Plant	24	240	240
25	Plant	25	250	250
26	Plant	26	260	260
27	Plant	27	270	270
28	Plant	28	280	280
29	Plant	29	290	290
30	Plant	30	300	300
31	Plant	31	310	310
32	Plant	32	320	320
33	Plant	33	330	330
34	Plant	34	340	340
35	Plant	35	350	350
36	Plant	36	360	360
37	Plant	37	370	370
38	Plant	38	380	380
39	Plant	39	390	390
40	Plant	40	400	400
41	Plant	41	410	410
42	Plant	42	420	420
43	Plant	43	430	430
44	Plant	44	440	440
45	Plant	45	450	450
46	Plant	46	460	460
47	Plant	47	470	470
48	Plant	48	480	480
49	Plant	49	490	490
50	Plant	50	500	500

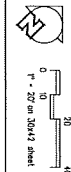
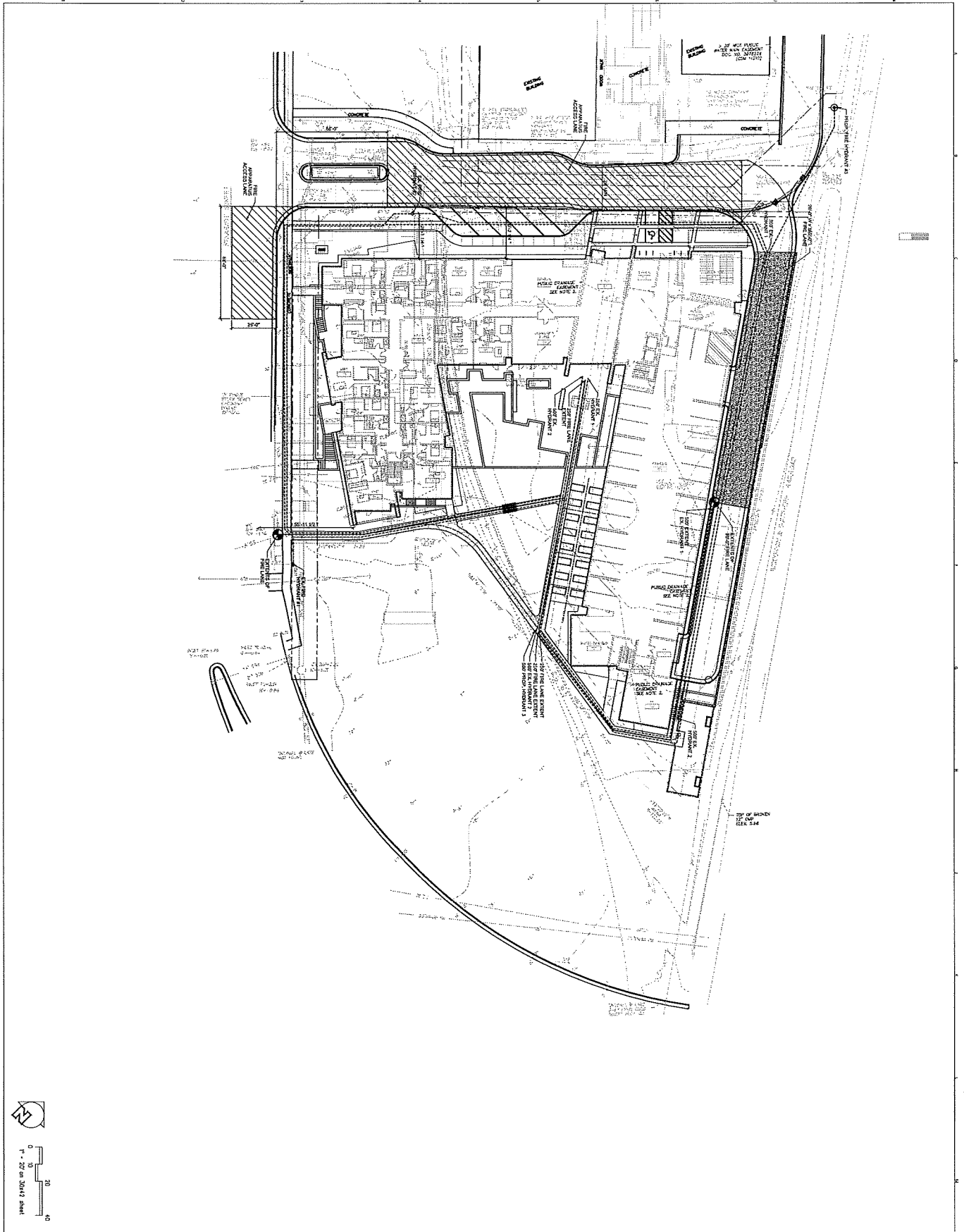
Item #	Plant	Quantity	Points	Cost
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2	Plant	2	20	20
3	Plant	3	30	30
4	Plant	4	40	40
5	Plant	5	50	50
6	Plant	6	60	60
7	Plant	7	70	70
8	Plant	8	80	80
9	Plant	9	90	90
10	Plant	10	100	100
11	Plant	11	110	110
12	Plant	12	120	120
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44	Plant	44	440	440
45	Plant	45	450	450
46	Plant	46	460	460
47	Plant	47	470	470
48	Plant	48	480	480
49	Plant	49	490	490
50	Plant	50	500	500

Sheet Name: Site Planting Plan
 L-600

Project: 2387 VANDERBILT TOWER-ADAPTIVE INC.
 Date: 02.27.2012

Ken Sasaki Design
 2387 Vanderbilt Tower - Adaptive Inc.
 2/27/2012

Architect: FINDORFF YARDS
 727 LORILLARD COURT
 MADISON, WI 53703



L-700

Sheet Name
Fire Access Plan

DATE
 02/11/2012

PROJECT
 FINDORFF YARDS RESIDENTIAL APARTMENT

CLIENT
 FINDORFF YARDS

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	02/11/2012
2	FINAL CORRECTIVE	03/07/2012

DESIGNER
KEN SAIKI DESIGN INC.
 1111 2ND ST. S. SUITE 100
 MADISON, WI 53703
 TEL: 608.261.1111
 FAX: 608.261.1112
 WWW.KENSAIKIDESIGN.COM

DATE
 02/11/2012

SCALE
 1/8" = 1'-0"

PROJECT NUMBER
 1111 2ND ST.

PROJECT NAME
 FINDORFF YARDS RESIDENTIAL APARTMENT

PROJECT ADDRESS
 1111 2ND ST. S. SUITE 100
 MADISON, WI 53703

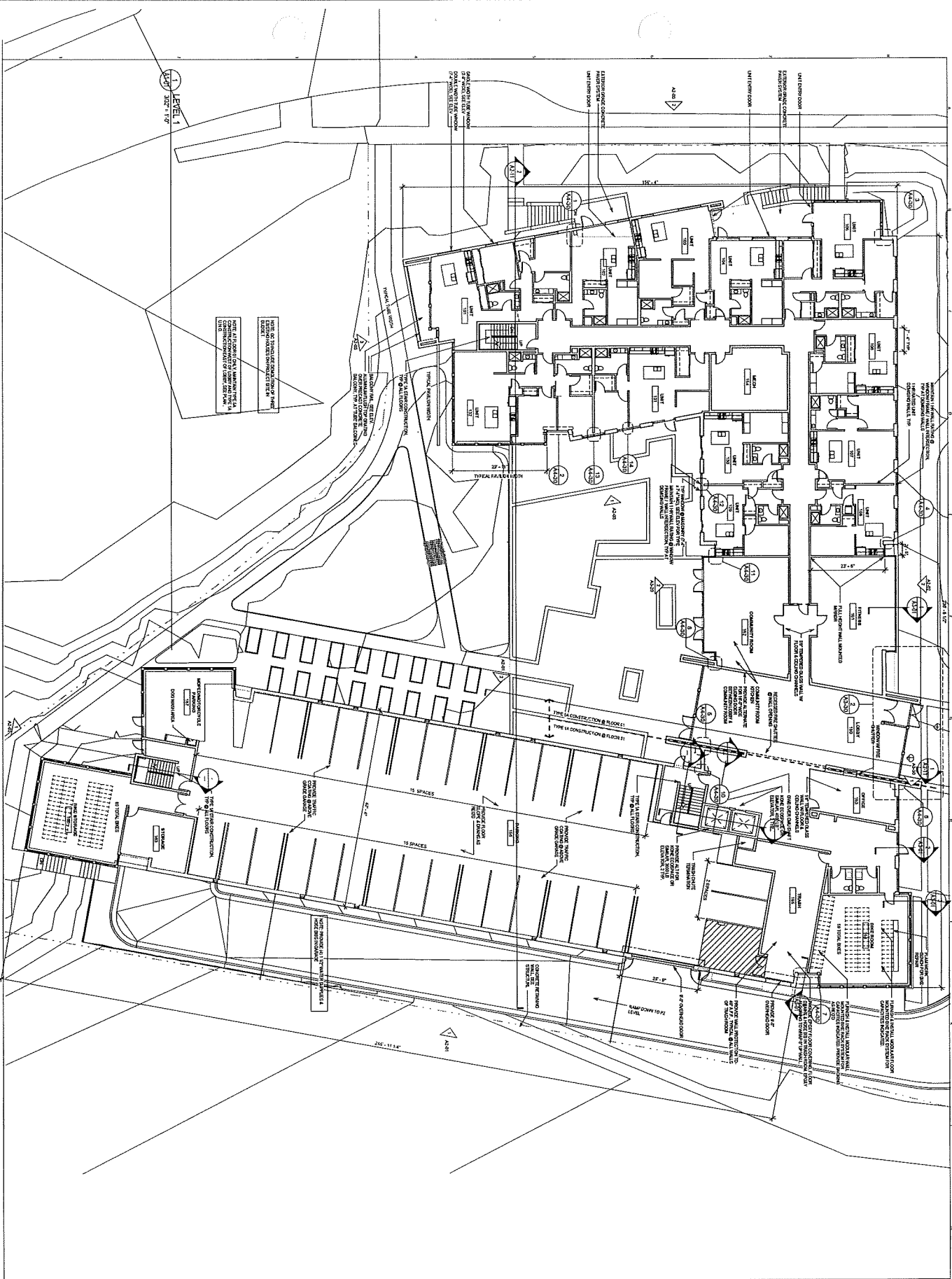
PROJECT CONTACT
 KEN SAIKI
 608.261.1111

PROJECT DATE
 02/11/2012

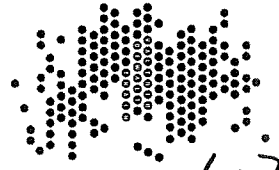
PROJECT SHEET
 L-700

PROJECT LOCATION
 FINDORFF YARDS RESIDENTIAL APARTMENT
 1111 2ND ST. S. SUITE 100
 MADISON, WI 53703

PROJECT NAME
FINDORFF YARDS
RESIDENTIAL APARTMENT
 PROJECT ADDRESS
 1111 2ND ST. S. SUITE 100
 MADISON, WI 53703



PROJECT NAME
777 LORILLARD
 RESIDENTIAL
 APARTMENT
 PROJECT ADDRESS
 777 LORILLARD COURT
 MADISON, WISCONSIN 53703



ARCHITECT
 WILSON TAYLOR PARTNERSHIP
 1000 W. MICHIGAN STREET
 SUITE 200
 ANN ARBOR, MI 48106
 734.769.1000
 WILSON-TAYLOR.COM
 ARCHITECT'S SCALE

DATE PLOTTED
 11/20/20
 VENDOR NAME
 11/20/20
 GENERAL NOTE

GENERAL NOTE
 GENERAL NOTE
 GENERAL NOTE

NO.	ISSUED FOR	DATE
1	ISSUED FOR PERMITS	02.01.2012
2	PLAN CORRECTIVE	03.07.2012

DATE PLOTTED
 11/20/20
 VENDOR NAME
 11/20/20
 GENERAL NOTE

DATE PLOTTED
 11/20/20
 VENDOR NAME
 11/20/20
 GENERAL NOTE



SECTION NAME
A1-01



Level 2
 1/8" = 1'-0"

NOTE: MANUFACTURING & CONSTRUCTION
 INFORMATION ON ELEVATION

A1-02



FLOOR PLAN - LEVEL 2

DATE: 11/01/12
 PROJECT: 777 LORILLARD RESIDENTIAL APARTMENT

NO.	ISSUED FOR	DATE
1	ISSUED FOR PERMITS	02.01.2012
2	PLAN CORRECTIONS	03.01.2012

GENERAL NOTES:
 1. REFER TO ALL OTHER SHEETS FOR COMPLETE INFORMATION.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

DATE: 11/01/12
 PROJECT: 777 LORILLARD RESIDENTIAL APARTMENT

DATE: 11/01/12
 PROJECT: 777 LORILLARD RESIDENTIAL APARTMENT

DATE: 11/01/12
 PROJECT: 777 LORILLARD RESIDENTIAL APARTMENT

DATE: 11/01/12
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DATE: 11/01/12
 PROJECT: 777 LORILLARD RESIDENTIAL APARTMENT

DATE: 11/01/12
 PROJECT: 777 LORILLARD RESIDENTIAL APARTMENT

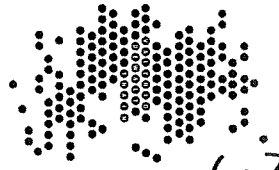
DATE: 11/01/12
 PROJECT: 777 LORILLARD RESIDENTIAL APARTMENT

DATE: 11/01/12
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DATE: 11/01/12
 PROJECT: 777 LORILLARD RESIDENTIAL APARTMENT

DATE: 11/01/12
 PROJECT: 777 LORILLARD RESIDENTIAL APARTMENT

PROJECT NAME:
 777 LORILLARD
 RESIDENTIAL
 APARTMENT
 777 LORILLARD COURT
 MADISON, WISCONSIN 53703



6-7

PROJECT NAME
**727 LORILLARD
 RESIDENTIAL
 APARTMENT**
 PROJECT ADDRESS
**727 LORILLARD COURT
 MADISON, WISCONSIN 53705**



ARCHITECT
 WILSON TAYLOR PARTNERSHIP
 1110 W. MOUNTAIN VIEW ROAD
 MADISON, WISCONSIN 53706
 PROJECT TEAM
 ARCHITECT OF RECORD

DATE PLOTTED
 11/01/12

GENERAL NOTE
 THIS FLOOR PLAN IS A GENERAL REPRESENTATION OF THE PROJECT AND IS NOT TO BE USED FOR CONSTRUCTION.

GENERAL NOTE
 CONSULT THE PROJECT MANUAL FOR MORE INFORMATION.

NO.	REVISION	DATE
1	ISSUED FOR PERMIT 03.01.2012	
2	PLAN COMPLETE 03.07.2012	

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PROJECT TITLE
FLOOR PLAN - LEVEL 3



SHEET NUMBER
A1-03



LEVEL 3
 305' x 150'

PROJECT NAME
**727 LORILLARD
 RESIDENTIAL
 APARTMENT**
 PROJECT ADDRESS
**727 LORILLARD COURT
 MADISON, WISCONSIN 53703**



ARCHITECT
 HALL AND PARTNERS ARCHITECTS
 1000 EAST WISCONSIN AVENUE
 SUITE 200, MADISON, WI 53703
 PHONE: 608.261.1111
 WWW.HALLPARTNERS.COM

DATE
 11/27/09

CONTRACT NO.

CONTRACT PROJECT NUMBER

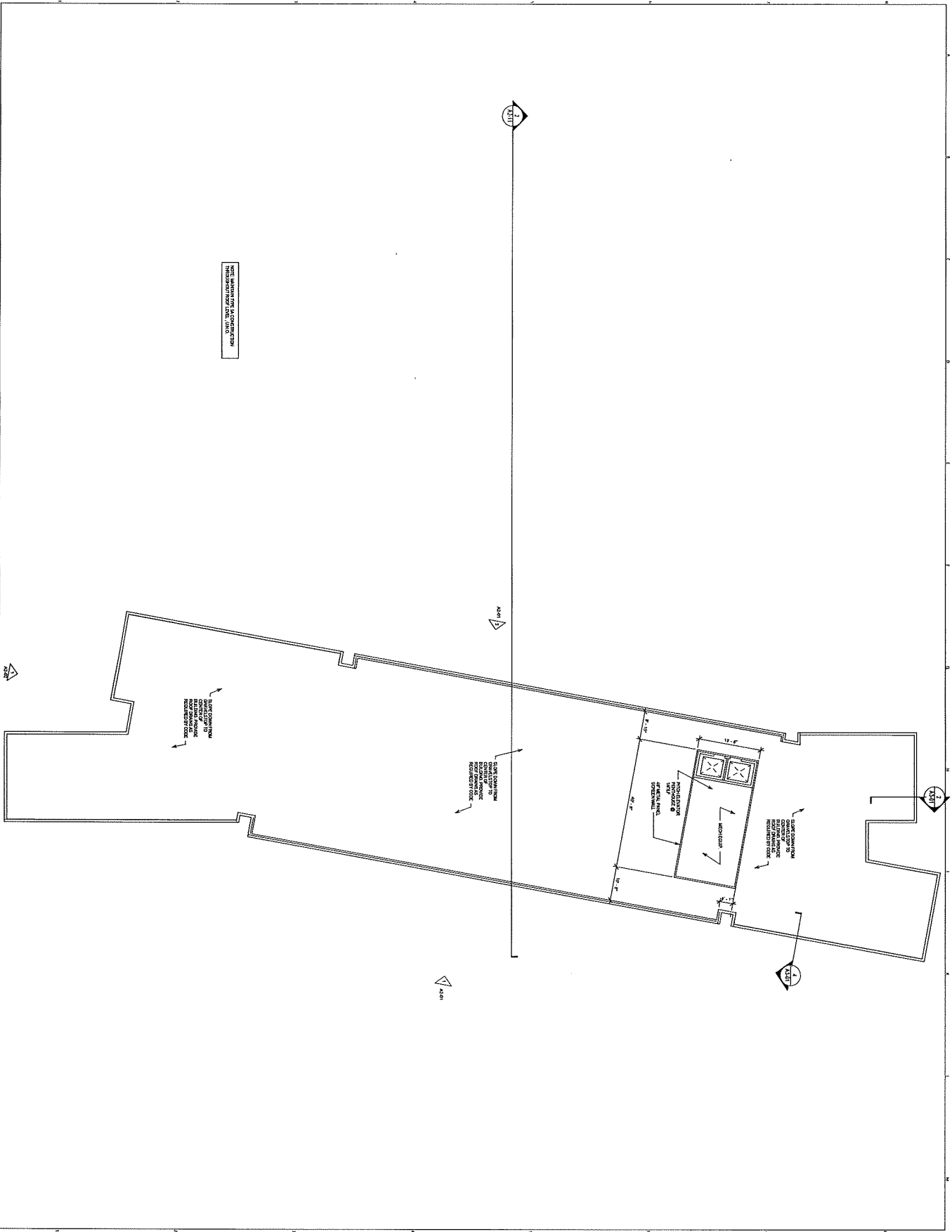
NO.	ISSUED FOR	DATE
1	ISSUED FOR PERMITS	02.21.2012
2	PLAN CORRECT	03.27.2012

0.500 WALSH DESIGN CONSULTANTS, INC.

DATE
 11/27/09



A1-06



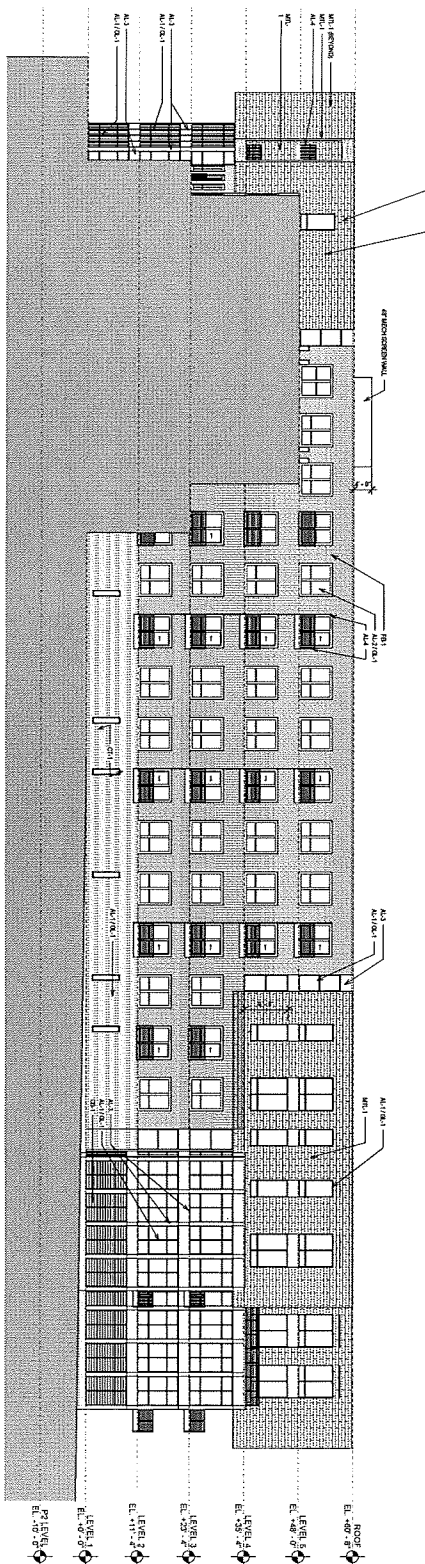
NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

GENERAL NOTES

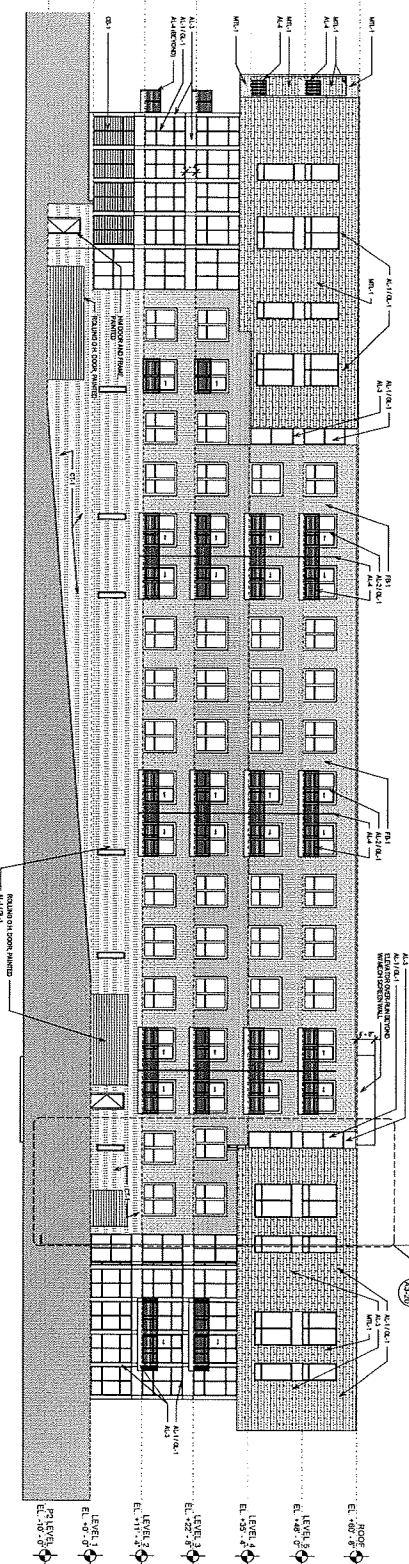
1. ALL EXTERIOR WALLS SHALL BE CONSTRUCTIONAL FINISH.
2. ALL EXTERIOR WALLS SHALL BE FINISHED WITH BRICK OR STONE OR STUCCO OR ALUMINUM CLADDING OR STAINLESS STEEL OR BRASS.
3. ALL EXTERIOR WALLS SHALL BE FINISHED WITH BRICK OR STONE OR STUCCO OR ALUMINUM CLADDING OR STAINLESS STEEL OR BRASS.
4. ALL EXTERIOR WALLS SHALL BE FINISHED WITH BRICK OR STONE OR STUCCO OR ALUMINUM CLADDING OR STAINLESS STEEL OR BRASS.
5. ALL EXTERIOR WALLS SHALL BE FINISHED WITH BRICK OR STONE OR STUCCO OR ALUMINUM CLADDING OR STAINLESS STEEL OR BRASS.

EXTERIOR MATERIAL LEGEND

AL-1	ALUMINUM CLADDING, TYPICAL
AL-2	ALUMINUM CLADDING, TYPICAL
AL-3	ALUMINUM CLADDING, TYPICAL
AL-4	ALUMINUM CLADDING, TYPICAL
AL-5	ALUMINUM CLADDING, TYPICAL
AL-6	ALUMINUM CLADDING, TYPICAL
AL-7	ALUMINUM CLADDING, TYPICAL
AL-8	ALUMINUM CLADDING, TYPICAL
AL-9	ALUMINUM CLADDING, TYPICAL
AL-10	ALUMINUM CLADDING, TYPICAL
AL-11	ALUMINUM CLADDING, TYPICAL
AL-12	ALUMINUM CLADDING, TYPICAL
AL-13	ALUMINUM CLADDING, TYPICAL
AL-14	ALUMINUM CLADDING, TYPICAL
AL-15	ALUMINUM CLADDING, TYPICAL
AL-16	ALUMINUM CLADDING, TYPICAL
AL-17	ALUMINUM CLADDING, TYPICAL
AL-18	ALUMINUM CLADDING, TYPICAL
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AL-20	ALUMINUM CLADDING, TYPICAL
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AL-50	ALUMINUM CLADDING, TYPICAL

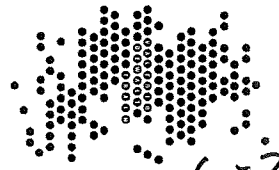


7 West Elevation (Railroad View)



1 East Elevation (Railroad View)

PROJECT NAME
**727 LORILLARD
 RESIDENTIAL
 APARTMENT**
 PROJECT ADDRESS
**727 LORILLARD COURT
 MADISON, WISCONSIN 53703**



ARCHITECT
 NAME
 ADDRESS
 PHONE
 FAX
 E-MAIL

DATE
 TIME
 COMMENTS

GENERAL NOTES

No.	Issued For	Date
1	ISSUED FOR PERICING	05/21/2012
2	PLAN CORRECTED	05/27/2012

SCALE
 EXTERIOR ELEVATIONS



A2-01

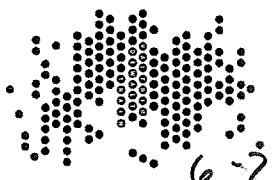
GENERAL NOTES

1. ALL EXTERIOR MATERIALS TO BE COMPLETED IN TIME.
2. ALL EXTERIOR WALLS TO BE FINISHED WITH EXTERIOR COUPLER OR EXTERIOR FINISH THAT PROVIDES PROTECTION FROM WEATHER AND IMPROVES APPEARANCE.
3. PROVIDE PROTECTION FOR ALL EXPOSED REINFORCING BARS.
4. PROVIDE PROTECTION FOR ALL EXPOSED REINFORCING BARS.
5. SEE PLAN FOR FLOOR FINISH AND CONCRETE.

EXTERIOR MATERIAL LEGEND

A-1	ALUMINUM FINISH FRAME WINDOW/DOOR (CONCRETE MOUNT)
A-2	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
A-3	BRICK (COMMON BRICK)
A-4	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
A-5	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
A-6	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
A-7	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
A-8	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
A-9	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
A-10	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
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A-13	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
A-14	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
A-15	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
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A-49	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)
A-50	ALUMINUM FINISH WINDOW/DOOR (WOOD FINISH MOUNT)

PROJECT NAME
**777 LORILLARD
 RESIDENTIAL
 APARTMENT**
 PROJECT ADDRESS
**777 LORILLARD COURT
 MADISON, WISCONSIN 53703**



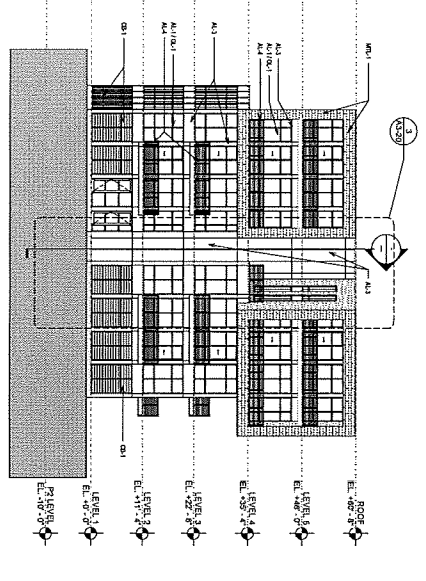
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 ARCHITECTURAL FIRM
 1111 N. KANAWHA, MADISON
 53703-1000
 PHONE: 608.261.1111
 WWW.A22.COM
 ARCHITECT SCALE
 1/8" = 1'-0"

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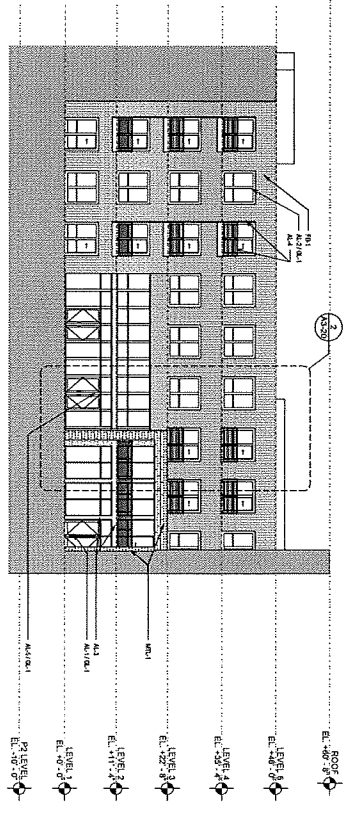
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2	PERMIT COMMENCEMENT	10.03.2013

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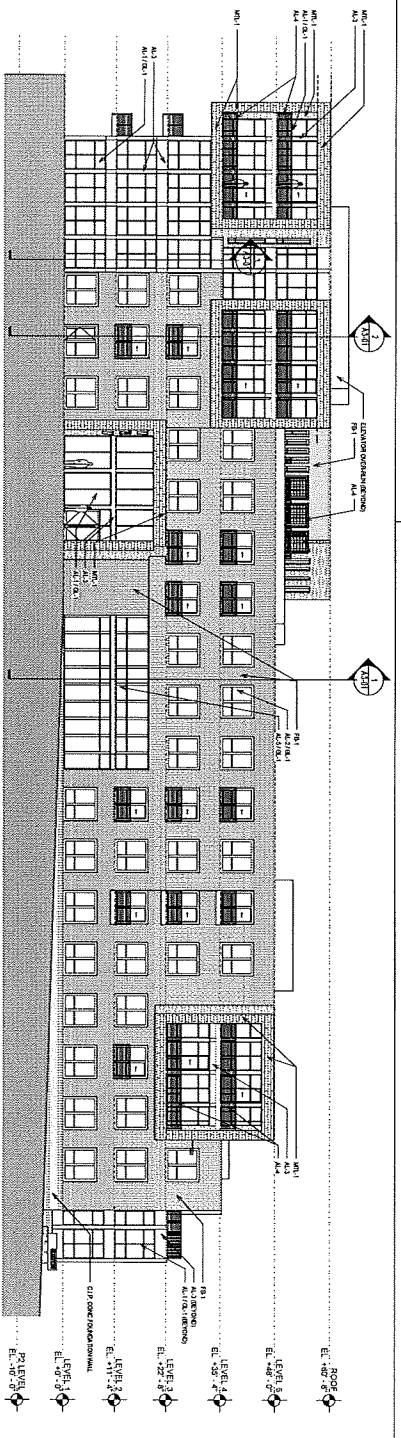
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1 South Elevation (Railroad View)
 SCALE: 1/8" = 1'-0"



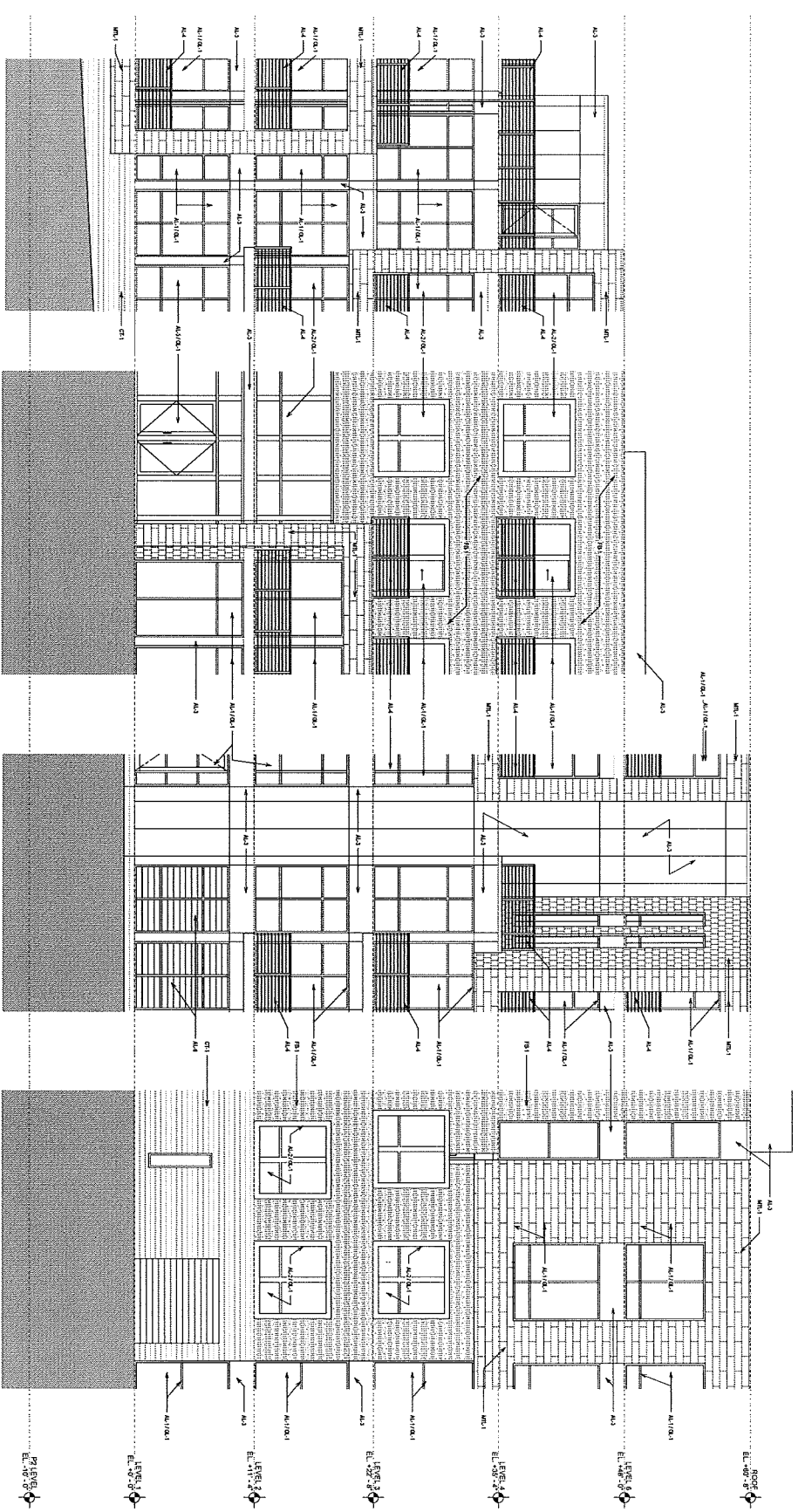
2 South Elevation (Lorillard View)
 SCALE: 1/8" = 1'-0"



2 North Elevation
 SCALE: 1/8" = 1'-0"

A2-02

GENERAL NOTES	EXTERIOR MATERIAL LEGEND
1. ALL EXTERIOR WALLS SHALL BE CONSTRUCTION GRADE FINISH.	A1.1 ALUMINUM CLADDING SYSTEM (ALUMINUM CLADDING SYSTEM OVER CONCRETE)
2. ALL EXTERIOR WALLS SHALL BE FINISHED WITH THE SAME MATERIALS AND FINISHES AS SHOWN ON SHEET EX-100-100-1-20.	A1.2 ALUMINUM CLADDING SYSTEM (ALUMINUM CLADDING SYSTEM OVER CONCRETE)
3. FINISHES SHALL BE AS SHOWN ON SHEET EX-100-100-1-20.	A1.3 BRICK (COMMON BRICK WITH MORTAR)
4. FINISHES SHALL BE AS SHOWN ON SHEET EX-100-100-1-20.	A1.4 BRICK (COMMON BRICK WITH MORTAR)
5. FINISHES SHALL BE AS SHOWN ON SHEET EX-100-100-1-20.	A1.5 BRICK (COMMON BRICK WITH MORTAR)
	A1.6 BRICK (COMMON BRICK WITH MORTAR)
	A1.7 BRICK (COMMON BRICK WITH MORTAR)
	A1.8 BRICK (COMMON BRICK WITH MORTAR)
	A1.9 BRICK (COMMON BRICK WITH MORTAR)
	A1.10 BRICK (COMMON BRICK WITH MORTAR)
	A1.11 BRICK (COMMON BRICK WITH MORTAR)
	A1.12 BRICK (COMMON BRICK WITH MORTAR)
	A1.13 BRICK (COMMON BRICK WITH MORTAR)
	A1.14 BRICK (COMMON BRICK WITH MORTAR)
	A1.15 BRICK (COMMON BRICK WITH MORTAR)
	A1.16 BRICK (COMMON BRICK WITH MORTAR)
	A1.17 BRICK (COMMON BRICK WITH MORTAR)
	A1.18 BRICK (COMMON BRICK WITH MORTAR)
	A1.19 BRICK (COMMON BRICK WITH MORTAR)
	A1.20 BRICK (COMMON BRICK WITH MORTAR)



1 Enlarged South Elevation (Proud Wing)

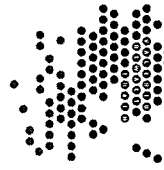
2 Enlarged South Elevation (Lumber Wing)

3 Enlarged South Elevation (Railroad Wing)

4 Enlarged East Elevation (Railroad Wing)

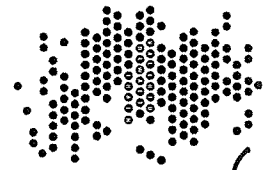
PROJECT NAME
727 LORILLARD
RESIDENTIAL
APARTMENT
PROJECT ADDRESS
727 LORILLARD COURT
MADISON, WISCONSIN 53703

ENLARGED ELEVATIONS
DATE: 03.07.2017
A3-20



6-2

PROJECT NAME
727 LORILLARD
RESIDENTIAL
APARTMENT
 PROJECT ADDRESS
 727 LORILLARD COURT
 MADISON, WISCONSIN 53703



ARCHITECT
 A3-30 ARCHITECTURE
 300 N. PARKWAY, SUITE 100
 MADISON, WISCONSIN 53703
 608.261.2300
 WWW.A3-30.COM
PROJECT NAME
 727 LORILLARD

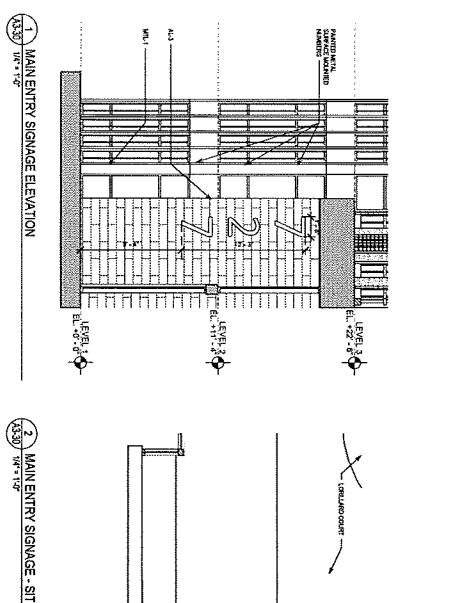
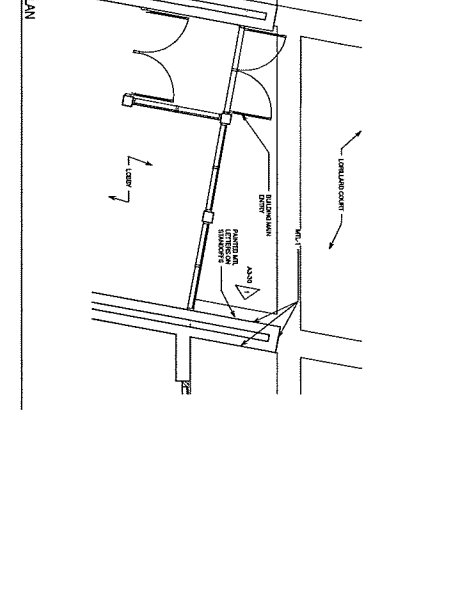
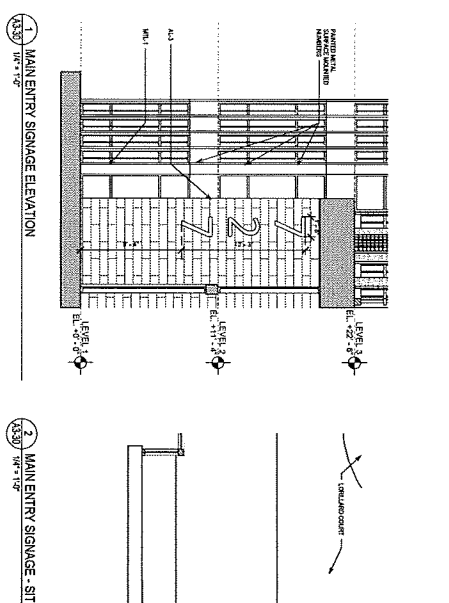
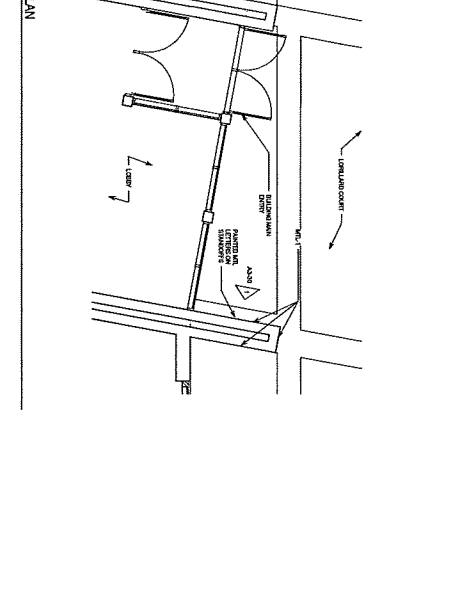
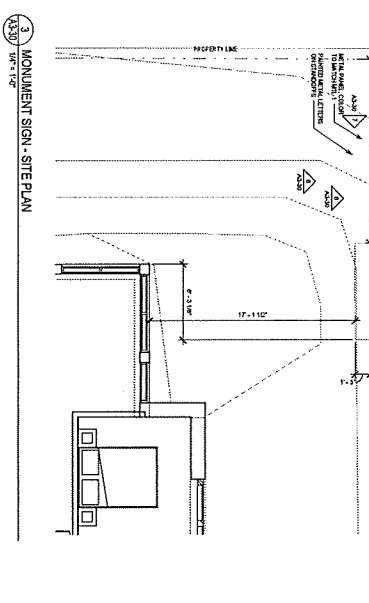
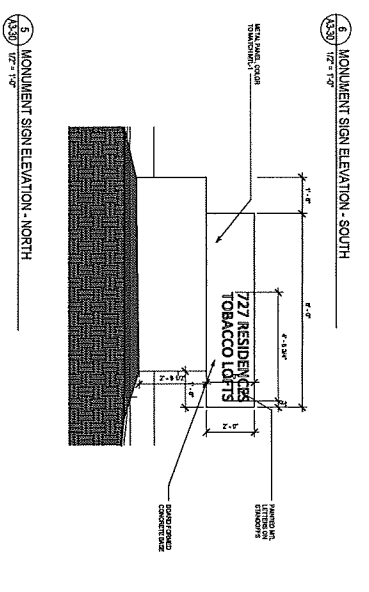
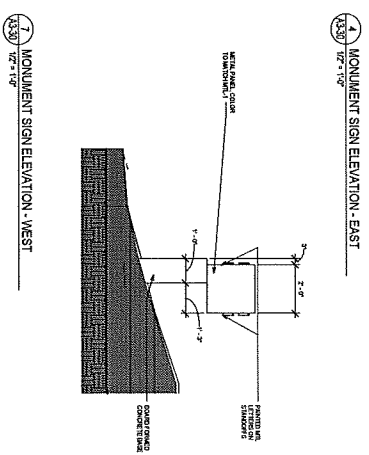
DATE PLOTTED
 11/19/20

SCALE
 1" = 1'-0"

No.	Revised By	Date
1	J.P. ANSCHUTZ	03/27/2012

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SIGNAGE PLANS AND ELEVATIONS

A3-30

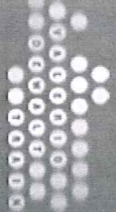


PROJECT RENDERINGS

LAND USE APPLICATION
Madison Plan Commission
727 Lorillard – 701/737 Lorillard Court & 159 – 171 Proudfit Street



6-7







Architectural rendering showing a modern building facade with a grid of windows and a landscaped foreground with a path and trees.

6-7



6-7



6-7

