



City of Madison

Proposed Demolition & Rezoning

Location

451 West Wilson Street &
315 South Bassett Street

Applicant

Lance T McGrath –
McGrath Associates, Inc

From: R6

To: PUD(GDP-SIP)

Existing Use

Two Multi-Unit Apartment Buildings

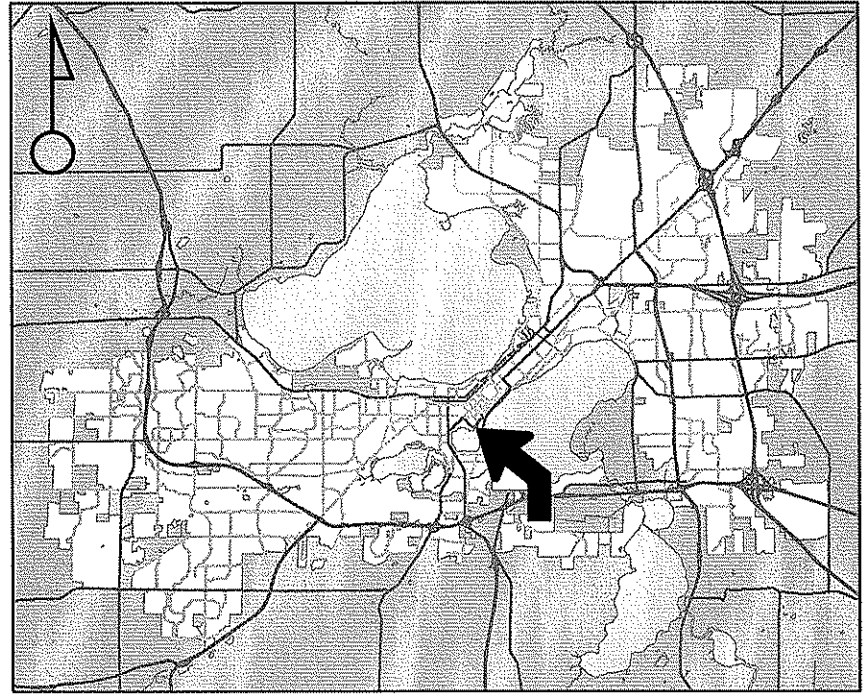
Proposed Use

Demolish Two Apartment Buildings and
Construct a New 40-Unit Apartment Building

Public Hearing Date

Plan Commission
07 April 2008

Common Council
22 April 2008

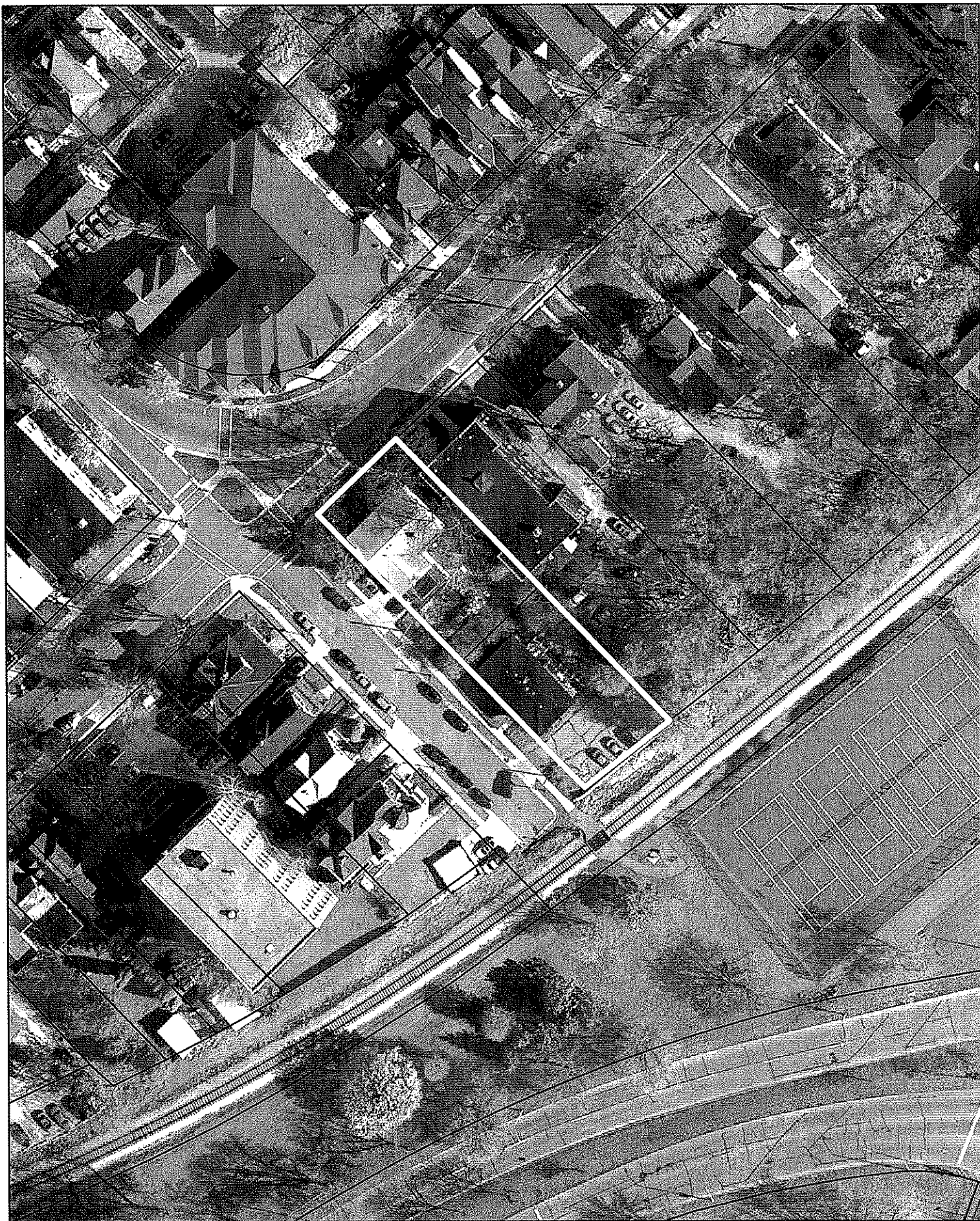


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 25 March 2008



LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid \$1250.00 Receipt No. 48663
 Date Received 2/6/08
 Received By JLK - 3020-0
 Parcel No. 0709-23-3019-3
 Aldermanic District 4 - Michael Verveer
 GQ Adj. to landmark / RR frontage
 Zoning District R6
For Complete Submittal
 Application Letter of Intent
 IDUP NA Legal Descript.
 Plan Sets Zoning Text
 Alder Notification Waiver _____
 Ngrbrd. Assn Not. Waiver _____
 Date Sign Issued 2/6/08

1. Project Address: 451 W. Wilson St. & 315 S. Bassett St. **Project Area in Acres:** 0.35

Project Title (if any): Lake Park Apartment Homes

2. This is an application for: (check at least one)

<input checked="" type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)	
<input type="checkbox"/> Rezoning from _____ to _____	<input checked="" type="checkbox"/> Rezoning from <u>R6</u> to PUD/PCD-SIP
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Demolition Permit
<input type="checkbox"/> Other Requests (Specify): _____	

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Lance T. McGrath, P.E. Company: McGrath Associates, Inc.

Street Address: 103 N. Hamilton St. City/State: Madison, WI Zip: 53703

Telephone: (608) 255-3976 x-225 Fax: (608) 255-1132 Email: lmcgrath@mcgrathprojects.com

Project Contact Person: Same as Applicant Company: _____

Street Address: _____ City/State: _____ Zip: _____

Telephone: () Fax: () Email: _____

Property Owner (if not applicant): McGrath-Bassett, LLC c/o Lance T. McGrath, McGrath Associates

Street Address: 103 N. Hamilton St. City/State: Madison, WI Zip: 53703

4. Project Information:

Provide a general description of the project and all proposed uses of the site: Demolish two existing rental buildings and construct a new 4-story, 40-unit apartment building over two levels of structured parking

Development Schedule: Commencement June 2008 Completion June 2009

CONTINUE →

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ 1,250.00 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of Bassett Neighborhood Master Plan Plan, which recommends:
Residential Infill Development for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Alder Mike Verveer (7/6/07), and Peter Ostlind, Bassett Neighborhood Association (7/6/07)

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Tim Parks Date 9/12/07 | Zoning Staff Matt Tucker Date 9/12/07

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name LANCE T. McGRATH Date 2/6/08
 Signature Lance T. McGrath Relation to Property Owner Owner
 Authorizing Signature of Property Owner Lance T. McGrath Date 2/6/08

|||
MCGRATH
Associates

REAL ESTATE INVESTMENTS
103 N. HAMILTON STREET, MADISON WI 53703
608-255-3976/FAX 255-1132
www.mcgrathprojects.com

February 6, 2008

Mr. Brad Murphy
Director of Planning
Department of Planning and Development
City of Madison
215 Martin Luther King Jr. Blvd.
Madison, WI 53701

RE: LETTER OF INTENT – LAKE PARK APARTMENT HOMES

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for Staff, Plan Commission and Common Council consideration and Approval.

Project: *Lake Park Apartment Homes*
451 W. Wilson and 315 S. Bassett Streets
Madison, WI 53703

Owner: McGrath-Bassett, LLC
c/o Lance McGrath
McGrath Associates, Inc
103 N. Hamilton St.
Madison, WI 53703

Developer: Lance T. McGrath, P.E.
McGrath Associates, Inc
103 N. Hamilton St.
Madison, WI 53703

Architect: SGN+A
1190 W. Druid Hills Dr., NE
Suite T-65
Atlanta, GA, 30329
Contact: Bruce Simonson
1-770-841-9977

**Landscape Architect/
Civil Eng.** Schreiber/Anderson Assoc.
717 John Nolen Drive
Madison, WI 53703
Contact: Chris Theil
1-608-255-0800

Project Summary:

McGrath Associates, Inc. proposes to develop the Lake Park Apartment Homes on a 15,349 square foot site located at 315 S. Bassett St. and 451 W. Wilson Streets in Downtown Madison. The site is currently zoned R6 and contains two residential rental buildings – containing a total of 9 apartments. These buildings (constructed in 1954 and 1962) will be demolished to allow for construction of 40 new residential rental units on four levels over two levels of structured parking. The residential levels step back at first level (rear only) and at the 4th floor at both ends of the building.

One of the goals of this project is to compliment and respect the adjacent Dowling Apartment building. We have successfully accomplished this by maintaining the 20-foot set back along Wilson Street, by complimenting the architecture of the street façade, and by stepping the building back at the 4th level to correspond to the parapet height of the Dowling. McGrath Associates has a long history of completing challenging infill projects that compliment/enhance adjacent historic properties (4th Ward Lofts/Doris House, Capitol Point/Parkside Building, Nolen Shore/Doty School, and Hancock Court/Kleuter Building) and this project has been designed and will be executed with the same level of care.

Site Description:

The site is comprised of two parcels located at the end of S. Bassett Street – where it terminates at the railroad tracks. The two parcels create an end-cap for the block. There is 16-feet of grade differential going from one end of the property to the other. This grade differential presents some challenges – but also allows for two distinct levels of parking - each accessed from different points along Bassett Street without having to create an internal parking ramp.

The proposed project is located in an area that is dominated by multifamily rental properties. The project is immediately surrounded by four homes to the South (on the other side of Bassett - two of which are owner-occupied), the railroad corridor to the East, the Dowling Apartment building to the North and the Wilson Bay Apartments to the West (on the other side of Wilson St.). There are several buildings in the area that are of comparable scale – primarily three-story apartment buildings with a pitched roof (like Wilson Bay) however immediately behind the 4 homes on the other side of Bassett street is the Diplomat Apartment building – which is 7 stories tall.

Building Description:

The proposed building is set back 20-feet from Wilson Street, 10.5 feet from the side yard, 7-13 feet at the railroad corridor (this steps back an additional 8.5-feet at the first residential level) and 1-foot from the Bassett St. Property Line. It should be noted that this property line is located approximately 8-feet from the existing sidewalk. Bassett Street is a standard 66-foot right-of-way street but it has been built 50-feet wide resulting

in an 8-foot wide portion of City property outside the sidewalk on both sides of the street. As discussed with Staff, we will be requesting an Encroachment Agreement with the City which will allow us to project balconies and landscape the area.

The base of the building consists of two levels of structured parking and will be constructed with a pre-cast block veneer and features translucent windows that allow natural light into the parking levels. At the East and North ends of the building the first residential level steps back from the base of the building an additional 8.5 feet (East) and 5.8 feet (North). The residential levels repeat going up for the first three levels and then step back again at the fourth residential level.

The exterior of the building has been designed to incorporate multiple building products. The front and rear elevation are clad with a brick veneer which wraps back around the side elevations and return into the building where it transitions to a synthetic stucco material. The building also features several vertical bay elements that are clad with a horizontal metal panel product. The entire fourth floor is also clad with the same metal panel material.

A unique architectural feature of the project will be the balconies that project out from the face of the building and are connected back to the building with diagonal tie rods. Additionally 25% of the units will have large outdoor terraces that range from approximately 125 to 500 square feet in size.

The project will contain 40 residential apartments: 28 one bedroom units and 12 two bedroom units. These units range in size from 604 to 1,271 square feet. The four residential levels total 41,362 square feet. The parking levels total 21,347 square feet and creates 49 parking stalls (1.2:1 parking ratio) along with 54 bike parking stalls and 33 storage units. Both parking levels are accessed from Bassett Street. The applicant is requesting a street loading zone on S. Bassett St.

Landscape Design:

The landscape design for the Lake Park Apartment project accents and compliments the architecture. Landscape plants were chosen and positioned to accent the lines of the building, integrating the building to the site. Two planters flank the stairs on the Wilson Street main entrance. The stairs and planters reduce the scale of the entrance to a pedestrian scale, making the entry inviting and comfortable for residents and visitors. The rear of the site incorporates two vine trellis structures to compliment the architecture and deter vandalism along the façade. Rainwater collected from approximately 1/3 of the roof area will be diverted from the City storm sewer collection system to the rear of the site where it will flow into a Rain Garden.

Sustainability and Energy Efficiency:

Sustainability is synonymous with infill development. Infill projects like Lake Park create high quality housing opportunities close to work/educational centers and promotes the use of mass-transit, pedestrian and bicycle transportation. This dramatically lessens sprawl and the impact on our infrastructure and municipal services.

Another project goal is to make this a very energy efficient building. We have been working with Focus on Energy to realize this goal. We will incorporate energy star windows, appliances and light fixtures. The HVAC system is being designed to meet a high level of energy efficiency not typically seen in apartment projects. The roof will be covered with a white EPDM membrane which reflects heat in Summer and water conserving plumbing fixtures will be installed. Stormwater management techniques that were previously discussed will be implemented.

Trash and Snow Removal:

Trash and snow removal from the building will be privately contracted. A separate trash collection room with garbage and recycling containers will be located at the lower parking level directly across from the garage entrance door for residents to dispose of their trash and recycling. The trash removal contractor will be able to collect these containers without impeding the flow of traffic.

Schedule:

Construction of Lake Park is planned to begin in June of 2008 with completion in the Summer of 2009. It is critical that we maintain this schedule in order to be ready for the 2009 Summer rental season.

Sincerely,

McGRATH ASSOCIATES,



Lance T. McGrath, P.E.
President

Lake Park Apartment Homes

SIP ZONING TEXT PLANNED UNIT DEVELOPMENT DISTRICT

February 6, 2008

Legal Description: The lands subject to this Planned Unit Development District shall include those described on Exhibit A, attached hereto.

I. Statement of Purpose

This Planned Unit Development District is established to allow for the construction of a 40-unit residential apartment building with structured parking on a 15,349 sq. ft. site, located in the Bassett Neighborhood - near the Capitol Square business district.

II. Permitted Uses

- A. Those that are stated as permitted uses in the R6 zoning District.
- B. Residential Dwellings: 40 New Residential Units, including:
 - 28 - One (1) Bedroom Units
 - 12 - Two (2) Bedroom Units
- C. Uses: Uses Accessory to permitted uses as listed above.

III. Lot Area

- A. 15,349 sq. ft., as stated in Exhibit A, attached hereto.

IV. Height, Yard, Usable Open Space and Landscaping Requirements

- A. As provided on the approved PUD plans.

V. Accessory Off-Street Parking & Loading

- A. Accessory off-street parking will be provided as shown on the approved plans.
- B. A street Loading Zone will be provided on S. Bassett Street.

VI. Lighting

- A. Site lighting will be provided as shown on the approved plans.

VII. Signage

- A. Signage will be allowed as per Chapter 31 of the Madison General Ordinances, as compared to the R-6 district, and/or signage will be provided as approved on the recorded plans.
- B. Temporary Construction/Marketing Signage that does not conform with the Chapter 31 of the Madison General Ordinances will be allowed on the building during construction to promote the project, developer and contractors. This signage will be removed upon receipt of a certificate of occupancy.

VIII. Family Definition

- A. For the purposes of this Planned Unit Development the family will be as defined in Chapter 28.03(2) of Madison General Ordinances for the R-6 District.

IX. Alterations and Revisions

- A. No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Plan Commission; however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the Alderperson of the district and are compatible with the concept approved by the City Plan Commission.

EXHIBIT A
LEGAL DESCRIPTION

Being Lot 1, Block 47, of the Original (Pritchette) Plat of Madison, recorded in Vol. A, Pg. 3 of Plats, located in Section 23, T07N, R09E, City of Madison, Dane County, Wisconsin more particularly described as follows;

Commencing at a meander corner north of the East 1/4 of said Section 23, said meander corner being South 00 degrees 30 minutes 09 seconds West, 1615.78 feet of a meander corner which is southerly of the Northeast corner of Section 23, thence West, 536.82 feet to a point on the southeasterly right-of-way line of West Wilson Street, and the northwesterly boundary line of said Block 47, Pritchette Plat of Madison; thence South 45 degrees 39 minutes 45 seconds West, 435.12 feet to the northeasterly corner of Lot 1, of said Block 47, said point being marked by a bent 1" iron pipe and being the point of beginning of this description; thence South 44 degrees 20 minutes 15 seconds East, along the northeastly boundary line of said Lot 1, Block 47, 235.30 feet to a point on the northwesterly right-of-way of the Chicago, Milwaukee, St. Paul & Pacific Railroad; thence South 51 degrees 06 minutes 20 seconds West, along said northwesterly railroad r.o.w. 66.42 feet; thence North 44 degrees 20 minutes 15 seconds West, along the southwesterly boundary line of Lot 1, Block 47, and northeasterly r.o.w. line of Bassett Street, 229.00 feet; thence North 45 degrees 39 minutes 45 seconds East, along the northwesterly boundary line of said Lot 1, Block 47 and the southeasterly r.o.w. line of West Wilson Street to the point of beginning.

|||
MCGRATH
Associates

REAL ESTATE INVESTMENTS
103 N. HAMILTON STREET, MADISON WI 53703
608-255-3976/FAX 255-1132
www.mcgrathprojects.com



March 26, 2008

Mr. Tim Parks
City of Madison
Department of Planning and Development
215 Martin Luther King, Jr. Boulevard
Madison, WI 53703

RE: LAKE PARK APARTMENT HOMES

Dear Tim,

As previously discussed I would like to provide some additional information relating to the proposed density of this project and why it is appropriate for our site and how the building design supports it, including:

1. **Efficient Site:** The site is very efficient – especially with respect to its geometry. It is a rectangular site which allows for a very efficient rectangular building design.
2. **End Cap:** The site is an “End Cap” of the block.
3. **Right of Way:** The site is bound by three public right-of-ways: Wilson St., Bassett St. and the railroad corridor.
4. **Grade Differential:** The site has a grade differential of 16-feet, which allows us to enter two parking levels with out ramping.
5. **Direct Access:** Due to the geometry and the grade differential of the site we are able to access the parking levels directly from Bassett Street with out the need for a driveway extending into the site.
6. **Parking:** The design provides for a 1.2 to 1 parking ratio – which is exceptionally good for a rental project and supports the proposed density.
7. **Vehicular Access:** The proposed design allows for ideal vehicular access. Both parking levels are accessed from Bassett Street which is a dead end street. Vehicles then proceed to the controlled intersection of Wilson/Bassett where they can go in either direction.
8. **Location:** The site is an excellent location for an apartment project. It is very close to the Capital Square, job centers (downtown, State and City Government, the University and several hospitals), public transportation, city parks, tennis courts, bike paths, and will provide lake views for several of the units.

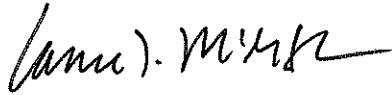
Density can often be misunderstood or misperceived. It is easy to calculate the density of a multi-family building (Units/Acre) - but what does it really mean? I have prepared a table (see attached) that summarizes the densities of several multi-family buildings in the neighborhood and downtown that are of similar scale. As this table shows the proposed density of our project falls roughly right in the middle of range. It also shows that there are seven (7) buildings with higher densities within 1 block of our project.

We believe very strongly that the proposed density of our project is very appropriate for the site and is in line with existing densities of the neighborhood.

Please let me know if you have any questions or if any additional information is required.

Sincerely,

McGRATH ASSOCIATES, INC

A handwritten signature in black ink, appearing to read "Lance T. McGrath".

Lance T. McGrath, P.E.
President

Cc: Alder Mike Verveer
Jonathan Cooper, Bassett Neighborhood Steering Committee Chair

LAKE PARK APARTMENTS
 Densities of Comparable
 Multi-Family Buildings

Building Address	Site Area (sf)	# of Units	# Units/Acre	Building Name
125 N. Hamilton St.	16,569	65	171	Capitol Point
420 W. Wilson	13,068	46	153	
431 W. Main St.	8,712	30	150	
427 W. Main St.	13,068	43	143	
437 W. Main St.	13,068	42	140	
121 N. Butler	12,012	38	138	Recently approved project - GDP (Cliff Fisher)
218 S. Bassett	8,712	27	135	
522 W. Wilson St.	8,712	27	135	
518 W. Wilson	13,068	40	133	
202 N. Hamilton St.	19,214	58	131	Hamilton Place - Osario
523 W. Wilson St.	8,382	25	130	
507 W. Wilson St.	17,424	50	125	Diplomat Apartments
301 N. Hamilton	23,520	67	124	Recently approved project - GDP (Alexander Company)
530 W. Wilson St.	8,712	24	120	
Lake Park	15,349	40	114	
544 W. Main St.	10,890	28	112	Bel Mora
510 W. Main St.	16,335	40	107	The Renaissance
444 W. Main St.	10,890	24	96	
325 S. Hamilton St.	19,658	33	73	Hamilton Point
448 W. Main St.	23,430	39	73	City Place - Keller
614 W. Doty St.	47,916	74	67	4th Ward Lofts
446 W. Wilson	24,929	35	61	Wilson Bay
335 W. Doty	13,068	18	60	City Gables Apartments
350 S. Hamilton St.	50,416	64	55	Nolen Shore

Proposed Project - Lake Park
 Comparable Multi-Family Buildings Located within 1 Block of Lake Park



McGrath Associates, Inc.
103 N. Hamilton St.
Madison, WI 53703
(608) 255-3976 phone
(608) 255-1132 fax

Project Name: Lake Park Apartment Homes
Project Address: 315 S Bassett & 451 W Wilson
Project Timeline: 2008-2009
Recycling Contact: Lance McGrath, McGrath Associates, Inc.

The following buildings are currently on site and will be scheduled for demolition starting in June 2008.

Site Summary		
#	ADDRESS	COMMON NAME/ BUILDING
1	315 S Bassett ST	5 unit apartment
2	451 W Wilson ST	4 unit apartment

Phase I: Demolition Recycling and Reuse

A. Building Inspection and Inventory

McGrath Associates has conducted preliminary site visits to both of the properties which collectively make up the site of the future Lake Park Apartment development. The site is made up of two multi-unit residential buildings. Additional site visits will be performed to inventory materials and find the highest reuse value for the items. Below is a list of materials we may identify as suitable for reuse and recycling.

a. Building Materials

- Interior & exterior doors
- Windows
- Paneling
- Built-in shelving
- Wood trim
- Wood flooring

b. Building Systems

- Furnaces

Air conditioners
Controls/thermostats
Water Heaters

c. Fixtures, Furniture and Appliances

Light fixtures, bathroom mirrors & accessories
Metal cabinets & other shelving units
Light bulbs
Appliances

d. Landscape Materials

Shrubs, small trees, rocks
Tools, garden hose, etc.

B. Recycling and Reuse

The following is an outline of potential markets identified and possible reuse and recycling activities to be coordinated by McGrath Associates and their sub-contractors. An inventory of materials removed for reuse and recycling will be made available.

a. High Value Building Materials

We will work with salvage crews such as Habitat for Humanity of Dane County ReStore and other experienced deconstruction contractors. The contractors will disassemble and remove building materials deemed by such crews to have value in reuse market.

**b. Heating and Cooling Equipment, Refrigerant and Mercury
Thermostats**

An HVAC contractor will be retained to decommission HVAC equipment. Refrigerant will be drained from existing air conditioner units and any mercury thermostats will be removed for recycling. HVAC units deemed reusable by the HVAC contractor will be reused on other projects or donated.

c. Fixtures, Furniture, Appliances and Landscaping Materials

McGrath Associates will conduct site visits to evaluate materials. Charitable and or non-profit organizations such as St. Vincent de Paul and Goodwill will be contacted to gauge their interest in the reuse of materials and items found on site. Materials deemed unwanted by the charitable/nonprofit groups may be put up for public sale/donation.

d. Florescent Light bulbs

Light bulbs will be removed for reuse. Used bulbs will be recycled by a local vendor such as Midwest Lamp Recycling, 3224 Kingsley Way.

e. Demolition Recycling and Reuse Efforts

During demolition the contractor will be encouraged to segregate building materials for reuse. These materials include, brick, metals & concrete.

Phase II: Recycling & Reuse During Construction

A. Construction Recycling and Reuse

Contractors involved in the project will be required to recycle their construction waste. The following materials will likely be recycled during construction.

a. Building Materials

Drywall

Metal

Wood

b. Miscellaneous Materials

Cardboard

Paper

Cans/Bottles/Glass

Specific-Implementation Plan

Lake Park Apartment Homes

A Residential Development at 451 W. Wilson Street and 315 S. Basset Street

Madison, Wisconsin

Owner/Developer

McCrath Associates, Inc.
103 N Hamilton Street
Madison, Wisconsin 53703
Telephone (608) 255-3976

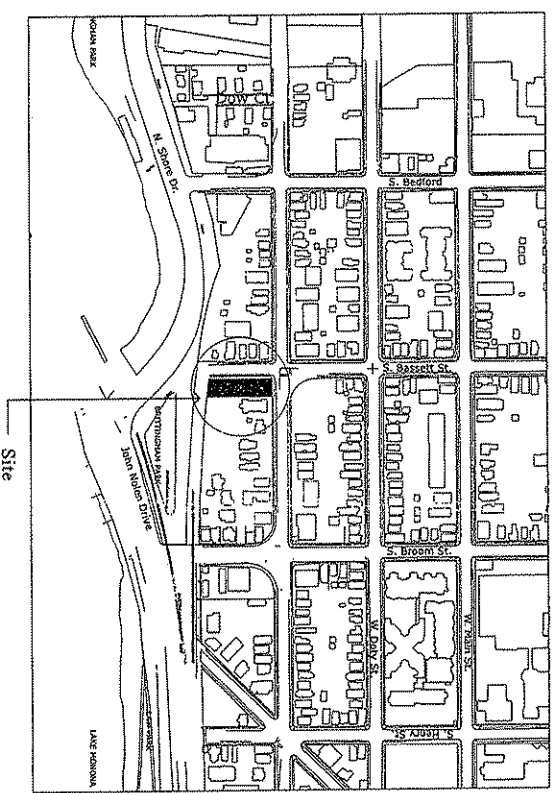
Architects

SIMONSON GERMANN NONEMAKER + ASSOCIATES, INC.
1190 West David Hills Drive, Suite T-65
Atlanta, Georgia 30329
Telephone (404) 634-4466

Landscape Architects/Civil Engineers

Schreiber/Anderson Associates
717 John Nolan Drive
Madison, Wisconsin 53713
Telephone (608) 255-0800

February 6, 2008



Building Data

Proposed New Construction: 42,700 s.f.
Parking: 21,247 square feet
Renditions: 41,240 square feet
Total Building Area: 46
Total No. of Buildings: 51

One Bedroom	Two Bedroom
404	511
402	510
403	512
404	511
28	24

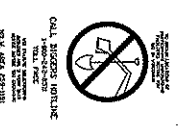
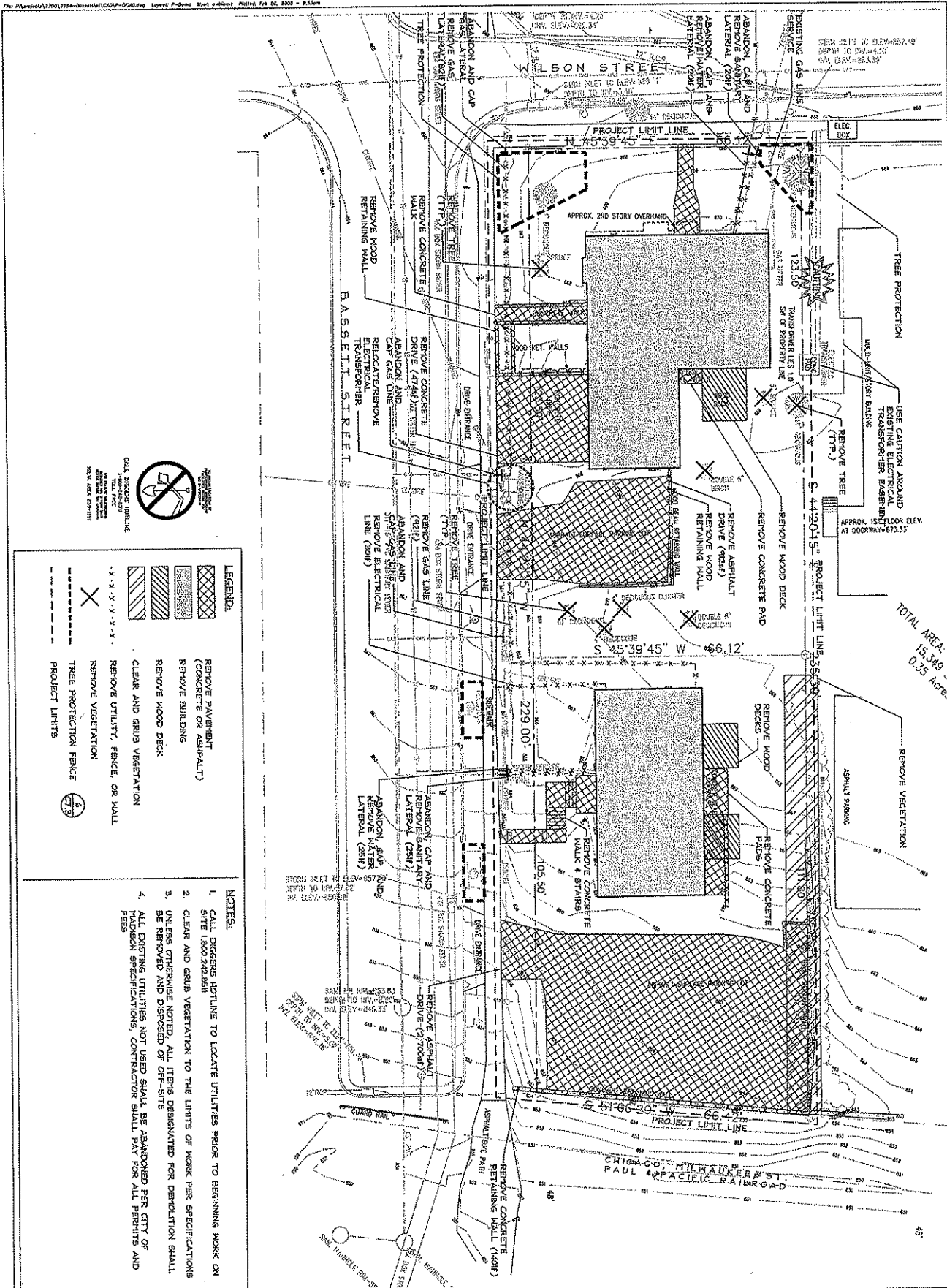
Site Data

Site Area: 15,349 s.f.
Site Area per Building: 295 square feet per building
Density: 4.332 units per acre
113.6 units per acre
Site Area per Unit: 533 square feet per unit

Total Usable Open Space: 4,831 s.f.
Usable Open Space per Unit: 170 s.f./unit
Total Usable Open Space per Building: 131 s.f./building
Parking Space: 49 units
Total Usable Open Space: 111,000 sq. ft. (approx.)
Bicycle Parking: 54
Total: 62

Index of Drawings

Sheet	Sheet	Sheet
A0	Over Sheet	A1
C10	Architectural Site Plan	A2
C10	Foundation Plan	A3
C10	Excavation/Concrete Plan	A4
C10	Utility Plan	A5
C10	Site Grading Plan	A6
C10	Site Layout Plan	A7
C10	Detail	A8
C10	Detail	A9
C10	Detail	A10
C10	Lighting Plan	A10
		A10
		Typical Wall Section



LEGEND:

	REMOVE PAVEMENT (CONCRETE OR ASPHALT)
	REMOVE BUILDING
	REMOVE WOOD DECK
	CLEAR AND GRUB VEGETATION
	REMOVE UTILITY, FENCE, OR WALL
	REMOVE VEGETATION
	TREE PROTECTION FENCE
	PROJECT LIMITS

- NOTES:**
1. CALL DIGGERS HOTLINE TO LOCATE UTILITIES PRIOR TO BEGINNING WORK ON SITE (800)3481681
 2. CLEAR AND GRUB VEGETATION TO THE LIMITS OF WORK PER SPECIFICATIONS
 3. UTILITIES OTHERWISE NOTED, ALL ITEMS DESIGNATED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF OFF-SITE
 4. ALL EXISTING UTILITIES NOT USED SHALL BE ABANDONED PER CITY OF MADISON SPECIFICATIONS, CONTRACTORS SHALL PAY FOR ALL PERMITS AND FEES

Lakes Park
Apartment Homes
 Madison
 Wisconsin

Drawn By: AW
 Checked By: CI
 File: P-Demo
 Issued For: SIP
 Issue Date: 02/06/2008
 Project No.: 2284

DEMOLITION PLAN

0 5 10 20
 Feet
 Scale

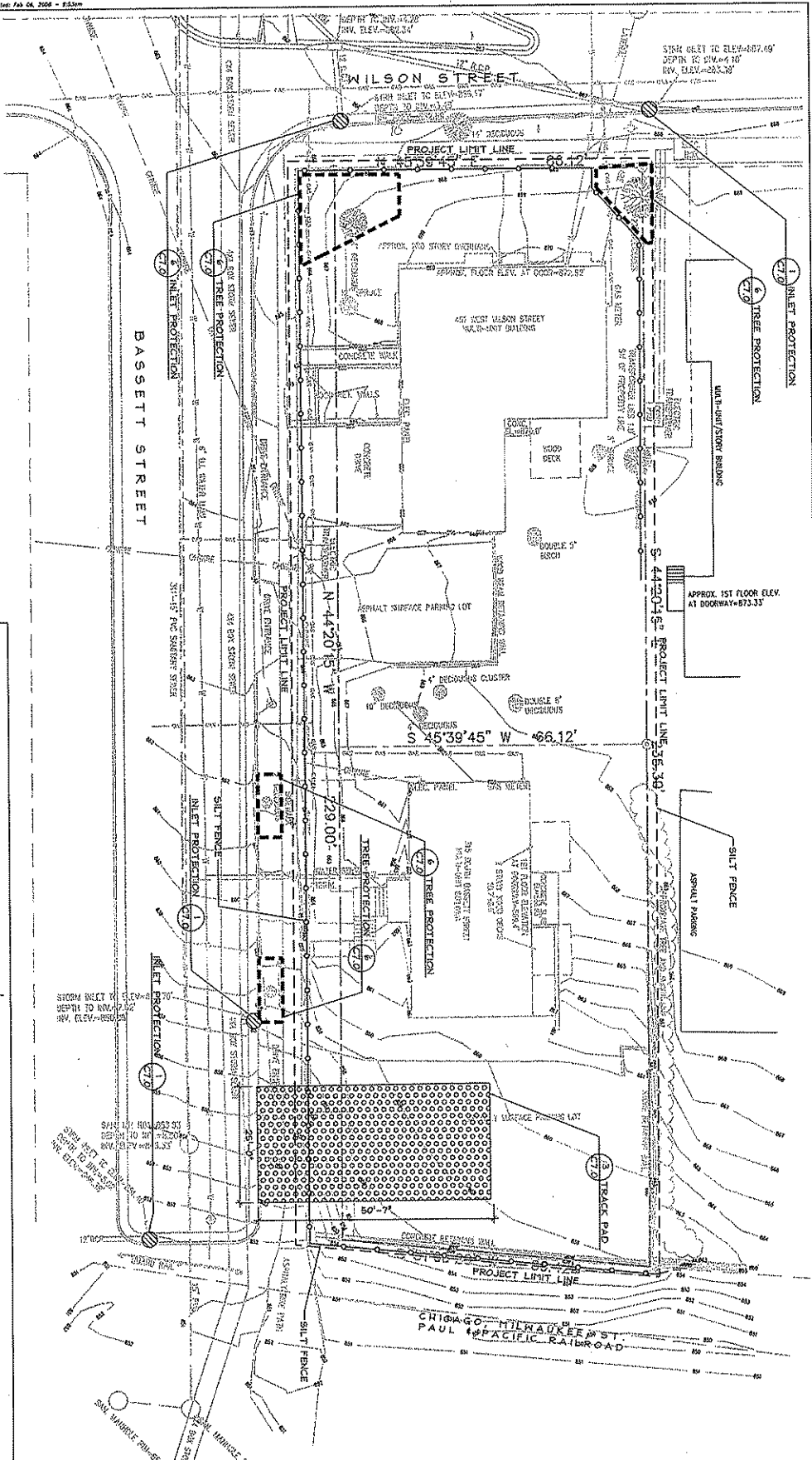
C1.0

Professional Seal

SCOTT W. ANDERSON
 ASSOCIATES, INC.
 1100 N. HAMILTON ST.
 MADISON, WI 53703
 (608) 261-1111
 FAX: (608) 261-1112

Project Name: **MCGRATH**
 McGrath Associates
 103 N. Hamilton St.
 Madison, WI 53703

Revision: D30



LEGEND

	TRACK PAD (3)
	SILT FENCE PROTECTION (2)
	INLET PROTECTION (1)
	TREE PROTECTION (1)
	PROJECT LIMITS
	TREE PROTECTION FENCE (1)

- NOTES:**
1. PROVISIONS TO PREVENT MUD-TRACKING OFF-SITE ONTO PUBLIC THOROUGHFARES DURING CONSTRUCTION SHALL BE TAKEN IN THE FORM OF A TRACK PAD
 2. ALL EROSION CONTROL PRACTICES SHALL BE INSPECTED DAILY AND MAINTAINED IN A WORKING CONDITION
 3. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BEHIND SEDIMENT FENCES AND BARRIERS BEFORE IT REACHES A DEPTH THAT IS EQUAL TO HALF THE BARRIER HEIGHT
 4. ALL EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS HAVE BEEN PROTECTED AND RESTORED TO ORIGINAL OR BETTER CONDITION. ALL EROSION CONTROL PRACTICES WILL BE REMOVED

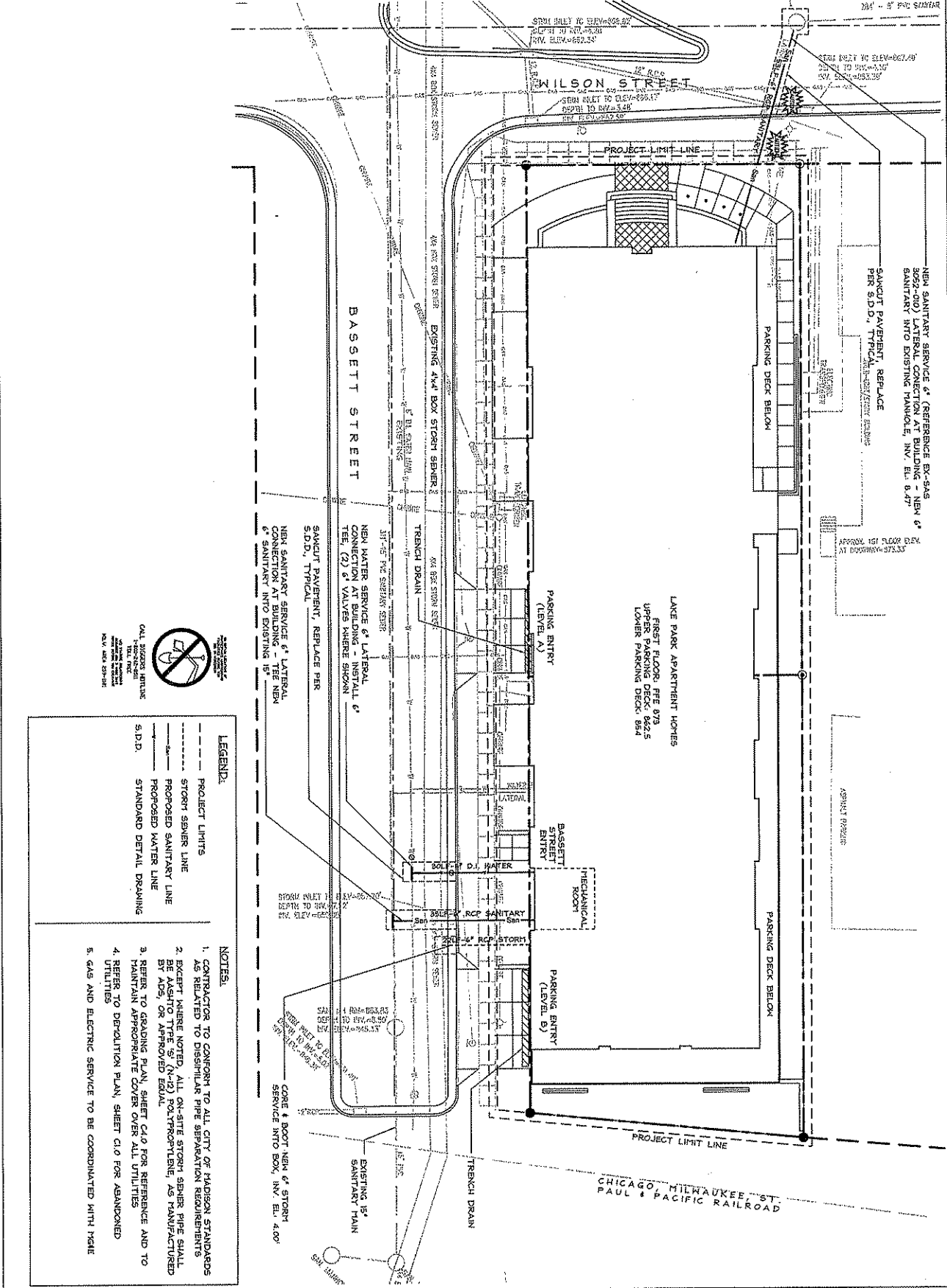
Lake Park
Apartment Homes
Madison
Wisconsin

McGrath
McGrath Associates
403 N. Hamilton St.
Madison, WI 53703

Professional Seal
SAA
Society of Professional Surveyors
1700 North Lincoln Street
Madison, WI 53706
Phone: 608.261.1100
Fax: 608.261.1102

Drawn By: AM
Checked By: CT
File: p-ec
Issue Date: 02/08/2008
Project No.: 2284

EROSION CONTROL PLAN
SHEET
0 5 10 20
Scale: 1" = 20'
C2.0



NEW SANITARY SERVICE & LATERAL CONNECTION AT BUILDING - NEW 6\"/>
SANITARY INTO EXISTING MANHOLE, INV. EL. 8.477

NEW SANITARY SERVICE & LATERAL CONNECTION AT BUILDING - NEW 6\"/>
SANITARY INTO EXISTING MANHOLE, INV. EL. 8.477

APPROX. 157.4000 1/2\"/>
AT DOORWAY - 157.375 1/2\"

PARKING DECK BELOW

PARKING DECK BELOW

LAKE PARK APARTMENT HOMES
FIRST FLOOR, FEE 878
UPPER PARKING DECK, 862.5
LOWER PARKING DECK, 854

PARKING ENTRY
(LEVEL A)

PARKING ENTRY
(LEVEL B)

MECHANICAL ROOM

MECHANICAL ROOM

BASSETT STREET ENTRY

BASSETT STREET ENTRY

TRUNK DRAIN

TRUNK DRAIN

BASSETT STREET

CHICAGO, MILWAUKEE, ST. PAUL & PACIFIC RAILROAD



CALL DESIGN INTENT
ON THIS PLAN
DATE: 08/11/08
BY: [Signature]

LEGEND:

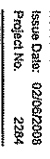
--- (dashed line)	PROJECT LIMITS
- - - - - (long dashed line)	STORM SEWER LINE
- . - . - . (dash-dot line)	PROPOSED SANITARY LINE
- . - . - . (dash-dot line)	PROPOSED WATER LINE
- - - - - (short dashed line)	STANDARD DETAIL DRAWING
S.D.D.	STANDARD DETAIL DRAWING

- NOTES:**
1. CONTRACTOR TO CONFORM TO ALL CITY OF MADISON STANDARDS AS RELATED TO DISSIPILAR PIPE SEPARATION REQUIREMENTS
 2. EXCEPT WHERE NOTED, ALL ON-SITE STORM SEWER PIPE SHALL BE ADRI, UNPERFORATED, 15' MANHOLE MANUFACTURED PARTS APPROPRIATE COVER OVER ALL UTILITIES
 3. REFER TO GRADING PLAN, SHEET C-1.0 FOR REFERENCE AND TO UTILITIES
 4. REFER TO DEPOSITION PLAN, SHEET C-1.0 FOR ABOARD UTILITIES
 5. GAS AND ELECTRIC SERVICE TO BE COORDINATED WITH P&E

APARTMENT HOMES
MADISON
WISCONSIN

Drawn By: RW
Checked By: CT
File: P-11
Issued For: SIP
Issue Date: 02/06/2008
Project No.: 2284

UTILITY PLAN



C3.0

SAA
Schaefer Associates, Inc.
11100 UNIVERSITY AVENUE
SUITE 100
MADISON, WI 53704
TEL: 608-777-9300
FAX: 608-777-9302

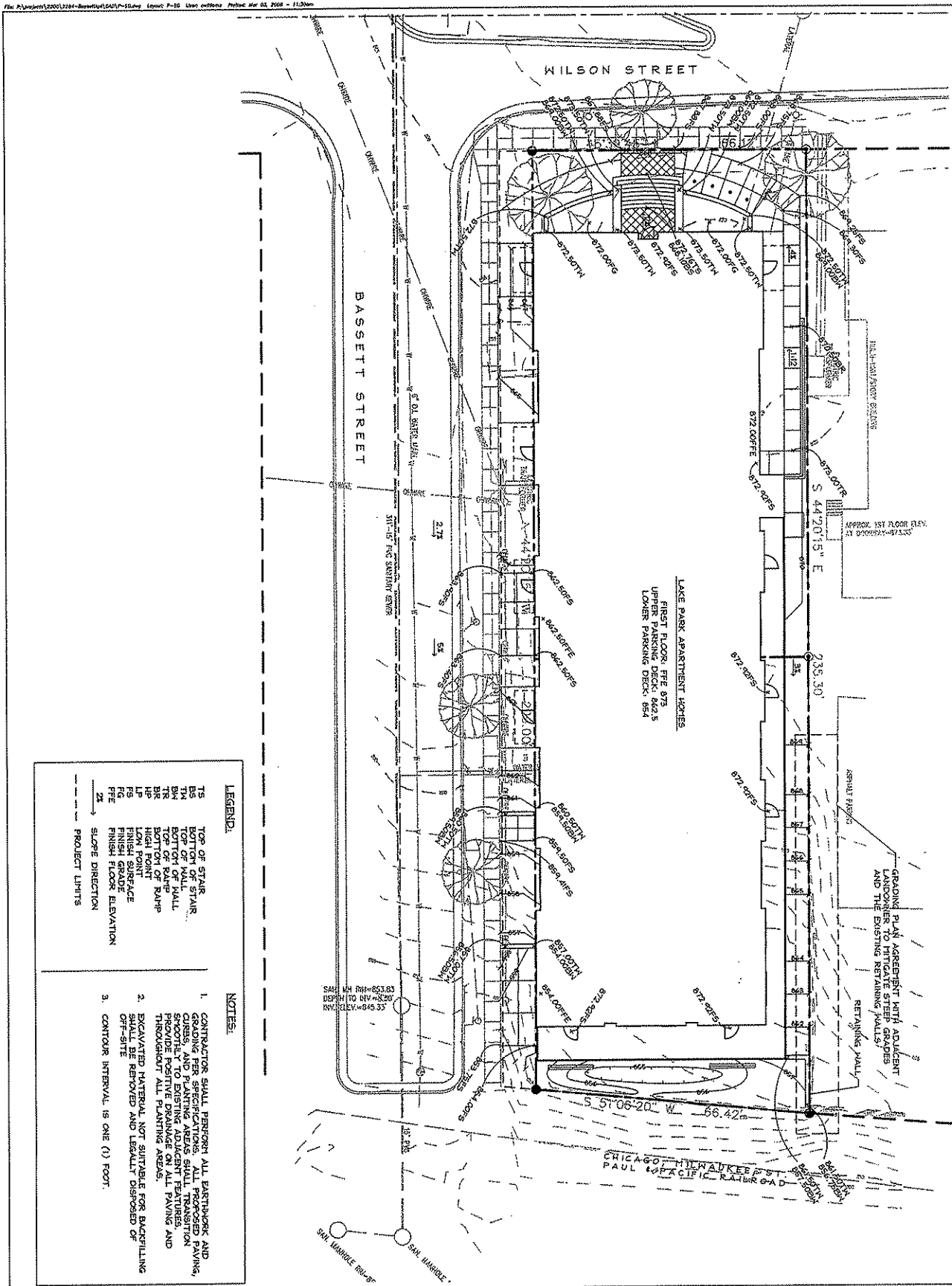
Professional Seal: [Blank]

Revision	Date

Project Name: [Blank]

McGrath
McGrath Associates
103 N. Hamilton St.
Madison, WI 53703

M



LAKE PARK APARTMENT HOMES
 FIRST FLOOR, FFE 873
 UPPER PARKING DECK 862.5
 LOWER PARKING DECK 854

GRADING PLAN AGREEMENT WITH ADJACENT
 LANDOWNER TO FITTIGATE STEEP GRADIES
 AND THE EXISTING RETAINING WALLS

LEGEND:

TS	TOP OF STAIR
TT	TOP OF TERRACE
TM	TOP OF MALL
BM	BOTTOM OF MALL
TR	TOP OF RAISE
TR	TOP OF RAMP
HP	HIGH POINT
LP	LOW POINT
FS	FINISH SURFACE
FE	FINISH FLOOR ELEVATION
2x	SLOPE DIRECTION
---	PROJECT LIMITS

- NOTES:**
1. CONTRACTOR SHALL PERFORM ALL EXISTING AND GRADING PER SPECIFICATIONS. ALL PROPOSED PAVING, CURBS, AND PLANTING AREAS SHALL TRANSITION SMOOTHLY TO EXISTING ADJACENT FEATURES. PROVIDE SLOPE TO EXISTING PAVING AND THROUGHOUT ALL PLANTING AREAS.
 2. EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILLING SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE.
 3. CONTOUR INTERVAL IS ONE (1) FOOT.

SAA
 SCHWABER ASSOCIATES
 ARCHITECTS INC.
 714 Lake Park Drive
 Madison, WI 53706
 Tel: 608.261.1111
 Fax: 608.261.1112
 www.schwaber.com

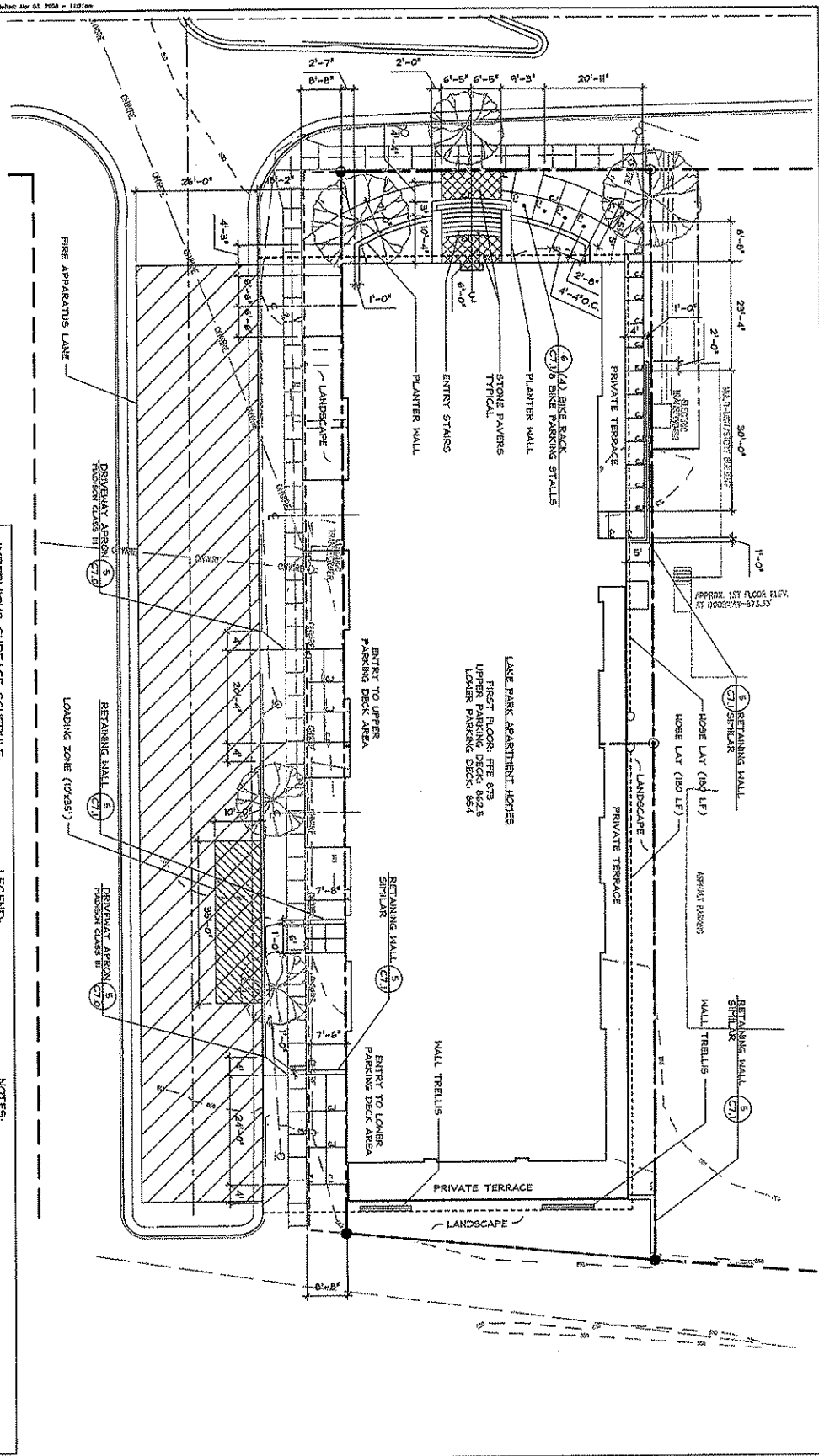
McGrath
 Professional Engineer
 103 N. Hamilton St.
 Madison, WI 53703

Lake Park Apartment Homes
 Madison
 Wisconsin

Drawn By: AW
 Checked By: CT
 File: P-S6
 Issued For: UDC
 Issue Date: 03/12/2006
 Project No: 2284

SHEET
 SITE GRADING
 PLAN

0 5 10 20
 Feet
 Scale
C4.0



IMPERVIOUS SURFACE SCHEDULE:

SITE AREA	20,098 SF
EXISTING IMPERVIOUS SURFACES:	9,644 SF
EXISTING ISR	0.48
PROPOSED IMPERVIOUS SURFACES:	9,624 SF
PROPOSED ISR	0.48

LEGEND:

---	PROJECT LIMITS
- - -	CONTROL JOINT
- · - · -	EXPANSION JOINT
▨	FIRE APPARATUS LAND
---	28'-0" WIDTH
---	HOSE LAY

- NOTES:**
1. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
 2. CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES
 3. (9) BIKE/PARKING STALLS HAVE BEEN LOCATED OUTSIDE ALONG MILSON STREET - REFER TO DETAIL SHEET FOR TYPE REFER TO RECENTLY ADOPTED CITY ORDINANCE 28.11
 4. MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS 1:20
 5. ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION MUST BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.

PROFESSIONAL SEAL

SCOTT A. ANDERSON
 ASSOCIATE, INC.
 714 MILSON STREET
 MADISON, WI 53703
 (608) 261-1111

PROJECT NAME
 Lake Park Apartment Homes

DATE
 04/03/2008

DESIGNER
 MCGRATH

PROJECT NUMBER
 0725-0002

McGrath Associates
 103 N. Hamilton St.
 Madison, WI 53703

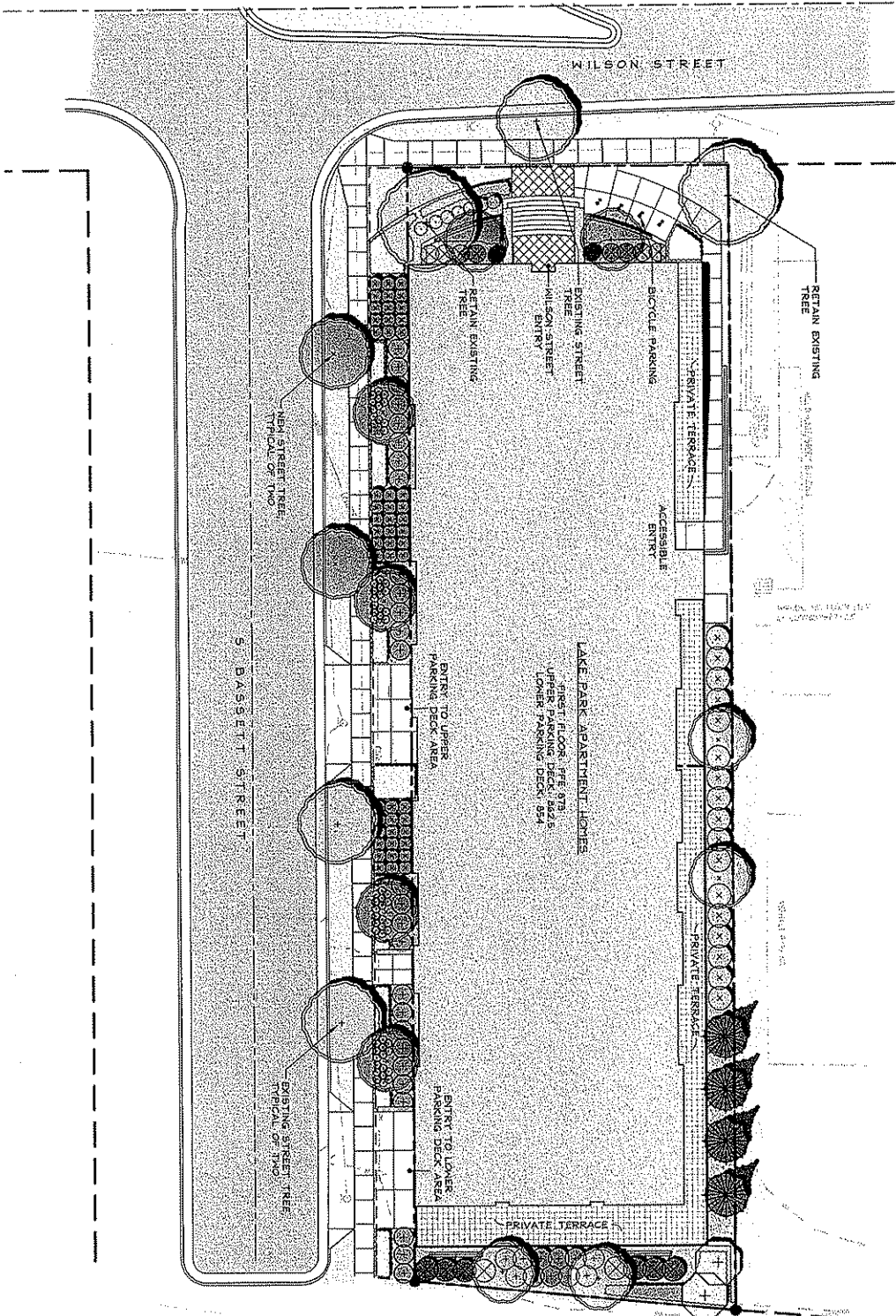
Drawn By: AV
Checked By: CT
File: P-SP
Issued For: UDC
Issue Date: 03/12/2008
Project No.: 2294

SHEET
1
SITE LAYOUT
PLAN

Scale:
 0 5 10 20
 Feet

North Arrow

C5.0



CHICAGO, MILWAUKEE, ST. PAUL, & PACIFIC RAILROAD

SAA
 SCHMIDT LANDSON ASSOCIATES, INC.
 1710 N. WISCONSIN ST.
 MADISON, WI 53703
 TEL: 608.261.1111
 FAX: 608.261.1112
 WWW.SAA-INC.COM

Revision	D23
Project Name	Lake Park Apartment Homes
Project No.	2284
Client	McGrath Associates
Architect	McGrath Associates
Engineer	McGrath Associates
Professional Seal	

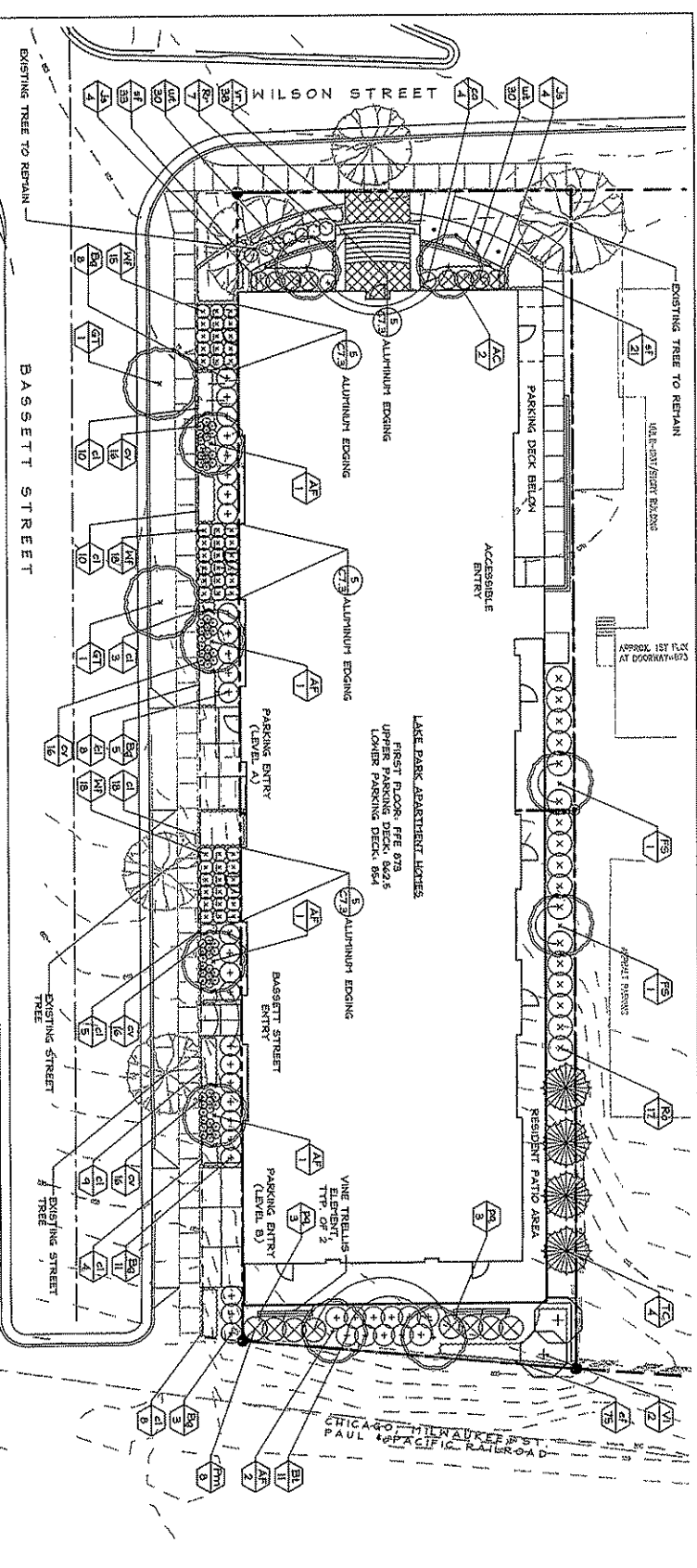
McGRATH ASSOCIATES
 103 N. HEALTON ST.
 MADISON, WI 53703

Lake Park
 Apartment Homes
 Madison
 Wisconsin

Drawn By	AW
Checked By	CS
File	P:\projects\2284
Issue Date	03/26/2008
Project No.	2284
SHEET	
ILLUSTRATIVE	
SITE PLAN	

0 5 10 20
 Feet
 0 5 10 20
 Meters

C5.1



Symbol	Botanical Name	Common Name	Size	Root	Quantity	Comments
AF	FERNATIUM G. & S. RUBRO-CASSIA VINES	Engelmann Vine	2 Gal.	Cont.	6	vertical climber
BA	Comarostaphylis occidentalis v. puberula	Avalanche Fuchsia	2 Gal.	Cont.	4	upright - multi form/size
BT	Chamaenerion lachnanthum	Northern Star Oats	1 Gal.	Cont.	71	soil indicator
CA	Chamaenerion lachnanthum	Northern Star Oats	1 Gal.	Cont.	64	soil yellow flowers - colorist
CF	Eurostachys foeniculifera 'Coloratus'	Prunella's Sillago	2 1/2 gal pots	Cont.	76	3 trays of 25 plants
CH	Solidago nemoralis	Fireweed	1 Gal.	Cont.	54	
CH	Veronica spicata 'Bicolor Blue'	Sunny Blue Speedwell	1 Gal.	Cont.	30	
CH	Hedera helix 'Variegata'	Barren Strawberry	2 1/2 gal pots	Cont.	40	yellow flowers-when blooming

LANDSCAPE POINTS

NUMBER OF TREES REQUIRED: 0 - ALL UNDERGROUND
 NUMBER OF PARKING STALLS: 0 - NO STORAGE AREA
 STORAGE AREA SQUARE FOOTAGE: 0 - NO TREES REQUIRED
 CANOPY TREES REQUIRED: 0 - NO TREES REQUIRED
 NUMBER OF LANDSCAPE POINTS REQUIRED: 0 - ALL UNDERGROUND
 POINTS REQUIRED PER PARKING STALL: 0 - NO BERTHS
 TOTAL POINTS REQUIRED: 0 - NO POINTS REQUIRED

Symbol	Botanical Name	Common Name	Size	Root	Quantity	Comments
AF	Amelanchier canadensis	Shadbowl Spicebush	3' Cal.	BMS	6	straight central leader
AC	Amelanchier canadensis	Shadbowl Spicebush	3' Cal.	BMS	2	multi-stem
ES	Fragaria virginiana 'Festiveland'	Upright European Beach	3' Cal.	BMS	2	straight central leader
GT	Gaultheria procumbens v. borealis	Thornless Honeysuckle	3' Cal.	BMS	2	

LANDSCAPE PLANT LEGEND

Symbol	Botanical Name	Common Name	Size	Root	Quantity	Comments
AF	More x. fremontii 'Variegated'	Fremont Tugao	3' Cal.	BMS	6	straight central leader
AC	Amelanchier canadensis	Shadbowl Spicebush	3' Cal.	BMS	2	multi-stem
ES	Fragaria virginiana 'Festiveland'	Upright European Beach	3' Cal.	BMS	2	straight central leader
GT	Gaultheria procumbens v. borealis	Thornless Honeysuckle	3' Cal.	BMS	2	

LANDSCAPE POINTS

NUMBER OF TREES REQUIRED: 0 - ALL UNDERGROUND
 NUMBER OF PARKING STALLS: 0 - NO STORAGE AREA
 STORAGE AREA SQUARE FOOTAGE: 0 - NO TREES REQUIRED
 CANOPY TREES REQUIRED: 0 - NO TREES REQUIRED
 NUMBER OF LANDSCAPE POINTS REQUIRED: 0 - ALL UNDERGROUND
 POINTS REQUIRED PER PARKING STALL: 0 - NO BERTHS
 TOTAL POINTS REQUIRED: 0 - NO POINTS REQUIRED

Symbol	Botanical Name	Common Name	Size	Root	Quantity	Comments
BA	Baccharis thymifolia v. Rosea	Rose Glow	3' Cal.	Cont.	11	horized variety
BA	Baccharis thymifolia	Prognosis Shrub	3' Cal.	Cont.	17	shrub substitution
BA	Baccharis thymifolia	Prognosis Shrub	3' Cal.	Cont.	7	multi form/size
BA	Baccharis thymifolia	Prognosis Shrub	3' Cal.	Cont.	2	multi form/size
BA	Baccharis thymifolia	Prognosis Shrub	3' Cal.	Cont.	51	multi form/size in groups

Lake Park
 Apartment Homes
 Madison
 Wisconsin

Drawn By: AW
 Checked By: CT
 Issued For: PLS
 Issue Date: 08/19/2006
 Project No.: 2284

Professional Seal

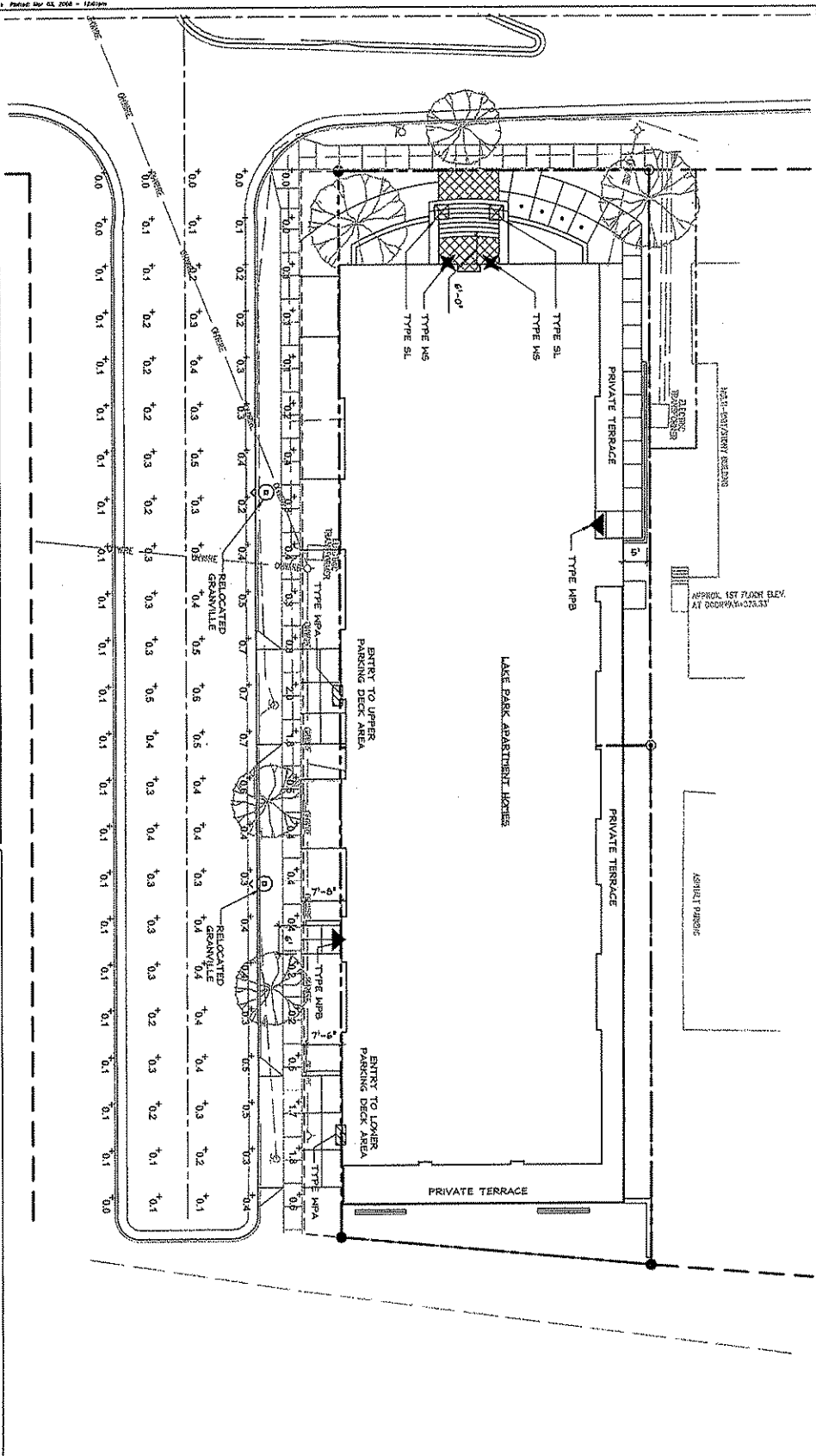
McGrath Associates
 103 N. Hamilton St.
 Madison, WI 53703

Professional Seal

Scale: 1" = 10'

Sheet Number: 28

CG 6.0



LUMINAIRE SCHEDULE				
Symbol	Qty	Label	Arrangement	Luminaire
①	2	(RELOCATED)	A	8500
⊞	2	B	4' CEILING MOUNT HT.	8500
NUMERICAL SUPPLEMENTARY				
Label	Avg	Hz	Min	
ASBL	3.95	2.0	0.1	

LIGHTING NOTES:	
①	RELOCATED GRANVILLE 2 TOTAL
⊞	MPA-WALL PACK (GARAGE) 2 TOTAL
▲	MPA-WALL PACK (DOORWAYS) 2 TOTAL
⊗	SI-STEP LIGHT 2 TOTAL
✱	MP-WALL SCONCE 2 TOTAL

NOTES:

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ELECTRICAL DISTRIBUTION FOR OUTDOOR LIGHTING SYSTEM.
2. LIGHTS IN TERRACE SHALL CONFORM WITH THE LUMINAIRE AND SHALL BE THE GRANVILLE SERIES BY HOLLAND.
3. ALL LIGHTS TO BE METAL HALIDE

Drawn By: **AV**
 Checked By: **CT**
 File: **P-Plan**
 Issue For: **UDC**
 Issue Date: **04/12/2008**
 Project No.: **2284**

Lake Park
 Apartment Homes
 Madison
 Wisconsin

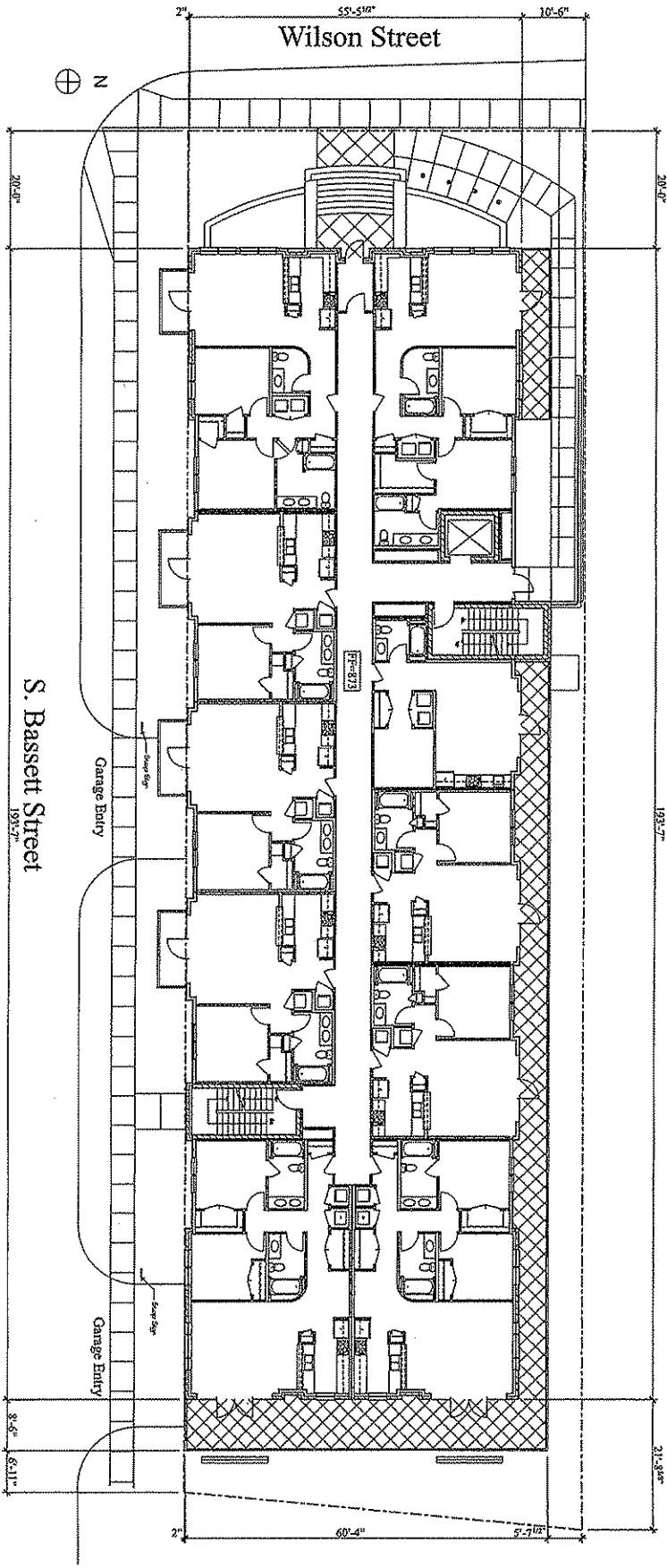
PROJECT NUMBER:
C8.0

Professional Seal:
SAA
 CONSULTING ARCHITECTS
 1725 Park Avenue East
 Madison, WI 53704
 Phone: 608.263.1234
 Fax: 608.263.1235
 www.saa.com

PROJECT NUMBER:
C8.0

Madison, WI 53703
 103 N. Hamilton St.
 McGRATH
 CONSULTANTS
 P.C.

9 5 10 20
 1" = 10'-0"
C8.0



McGrath Associates, Inc.
February 19, 2008

Architectural Site Plan

Scale: 1/8" = 1'-0"

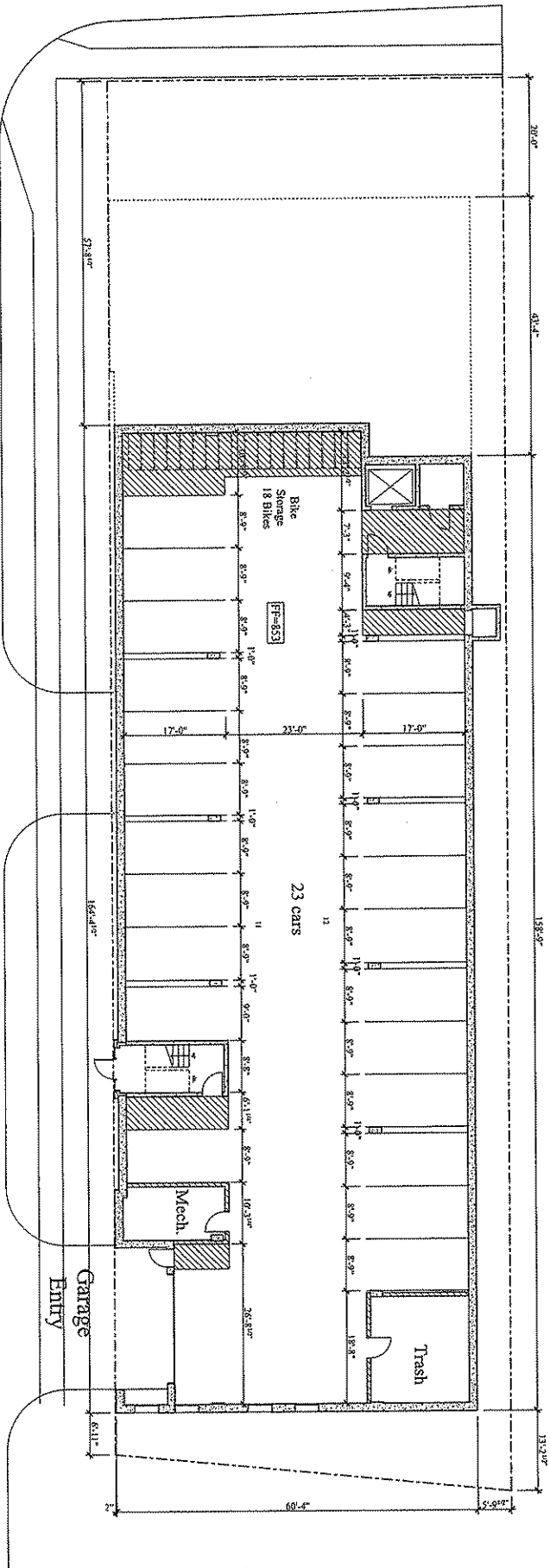


Lake Park Apartments

Madison, Wisconsin

SGN+A
Stinson Gernay Nomenaker + Associates, Inc.
Planning / Architecture / Landscape Architecture

Wilson Street



S. Bassett Street

Lower Parking Level

Scale: 1/8"=1'-0"



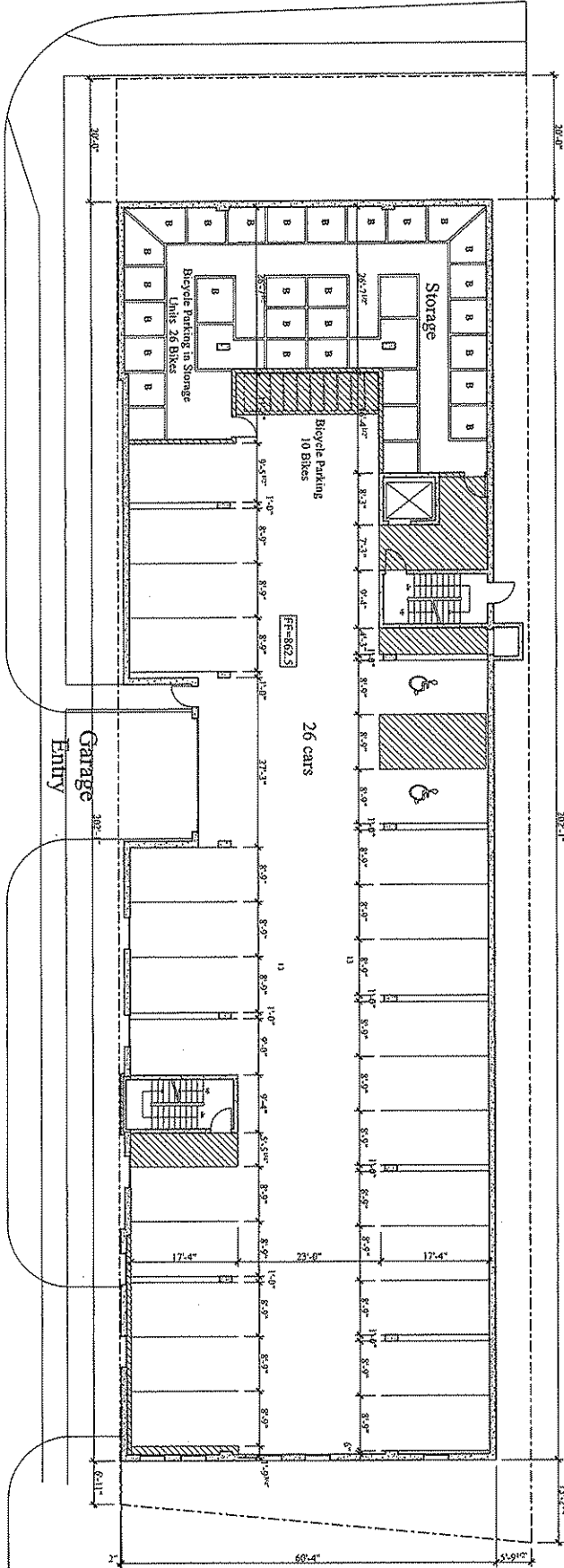
McGrath Associates, Inc.
February 6, 2008

SGN+A Sponsor: Garney, Nomenaker + Associates, Inc.
Planning Architecture Landscape Architecture

Bassett Street Apartments

Madison, Wisconsin

Wilson Street



S. Bassett Street

Upper Parking Level

Scale: 1/8"=1'-0"



SGN+A

Stinson Gannay Neasler + Associates, Inc.
Planning Architecture Landscape Architecture

McGrath Associates, Inc.

February 6, 2008

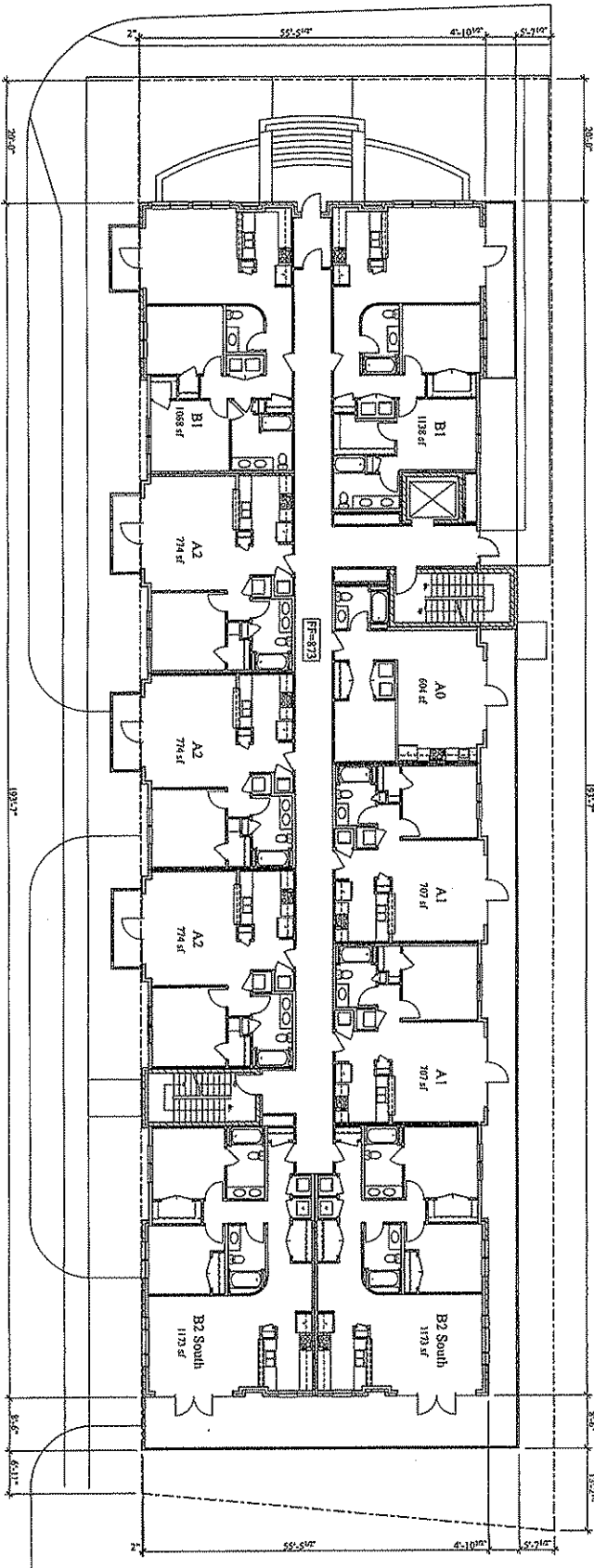
Bassett Street Apartments

Madison, Wisconsin

A2

M

Wilson Street



Level	Unit Mix	1BR	2BR
Res Level 1		6	4
Res Level 2		6	4
Res Level 3		6	4
Res Level 4		0	0
Total		28	12

S. Bassett Street

First Residential Level

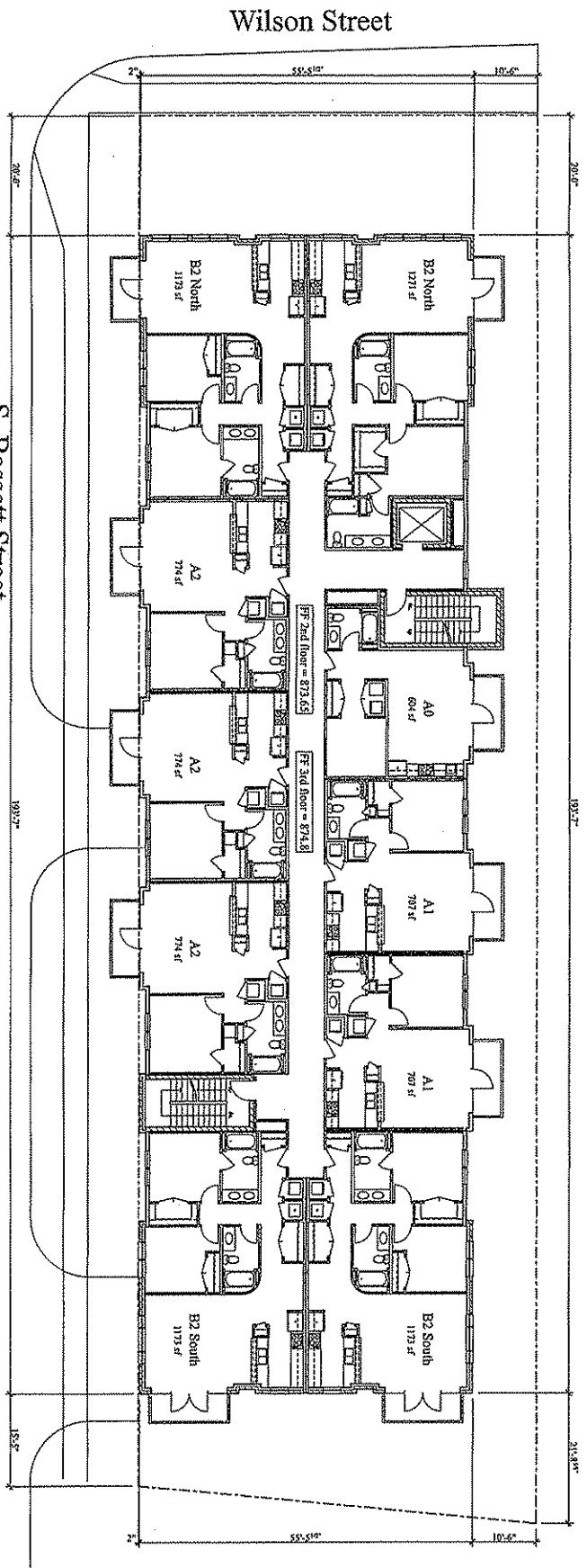
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McGrath Associates, Inc.
February 15, 2008

Lake Park Apartments
Madison, Wisconsin

SGN+A
Stoumen Germany Koenen + Associates, Inc.
Planning Architecture Landscape Architecture



Wilson Street

S. Bassett Street

2nd/3rd Residential Level

Second/Third Residential Level

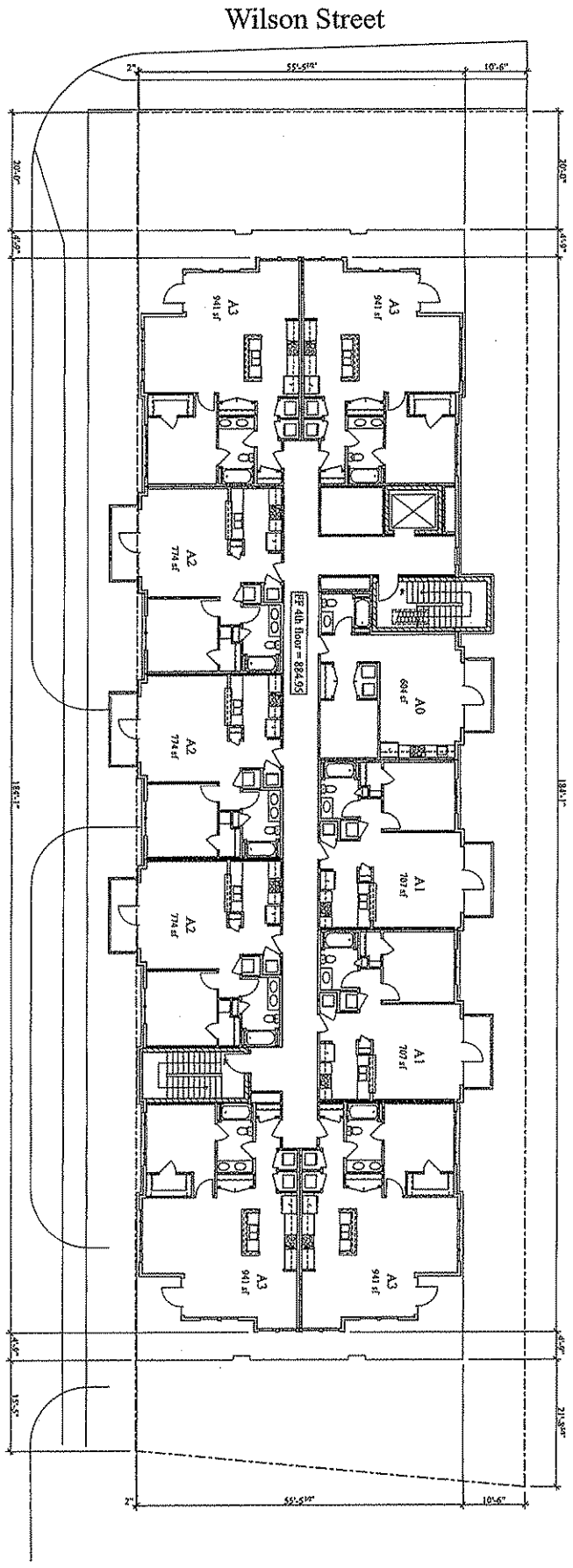
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McGrath Associates, Inc.
February 19, 2008

SGN+A
Stinson Germany Norenzaker & Associates, Inc.
Planning Architecture Landscape Architecture

Lake Park Apartments
Madison, Wisconsin



Wilson Street

S. Bassett Street

4th Residential Level

Fourth Residential Level

Scale: 1/8" = 1'-0"

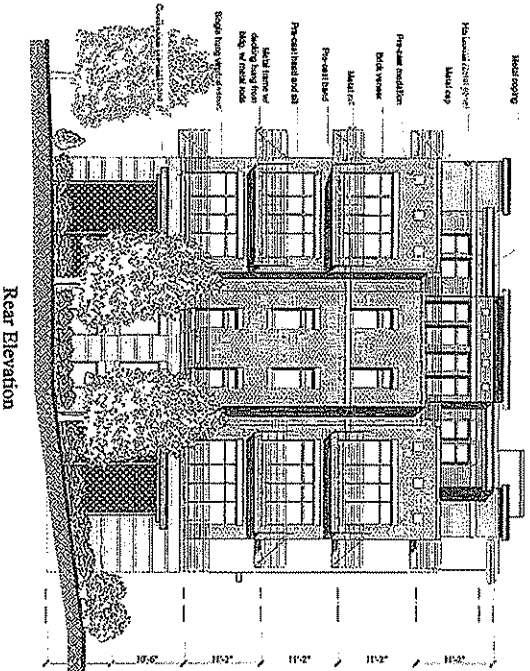
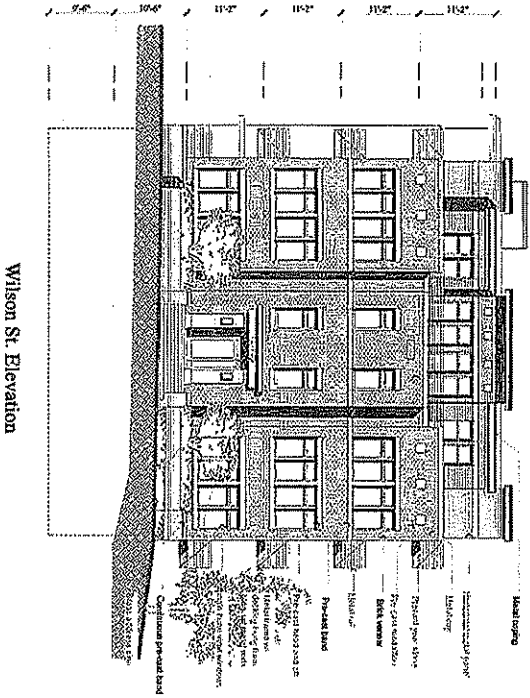


SGNHA
Simonson Gernomy Neuenhofer + Associates, Inc.
Planning Architecture Construction

McGrath Associates, Inc.
February 19, 2008

Lake Park Apartments

Madison, Wisconsin

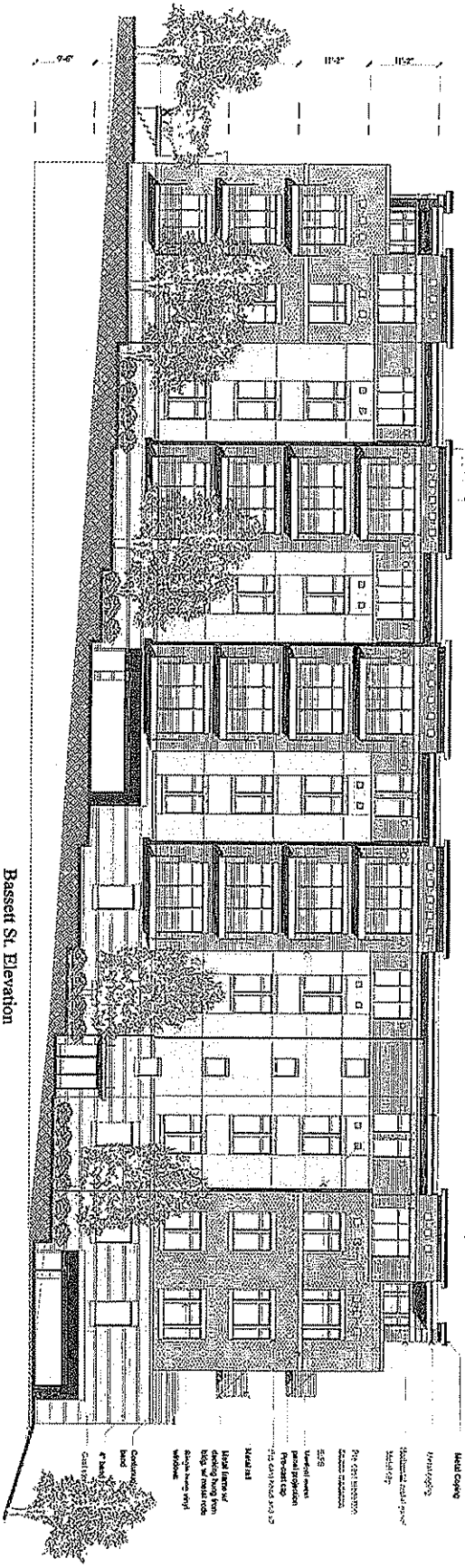


Wilson St. Elevation

Rear Elevation

Building Elevations

Scale: 1/8"=1'-0"



Bassett St. Elevation

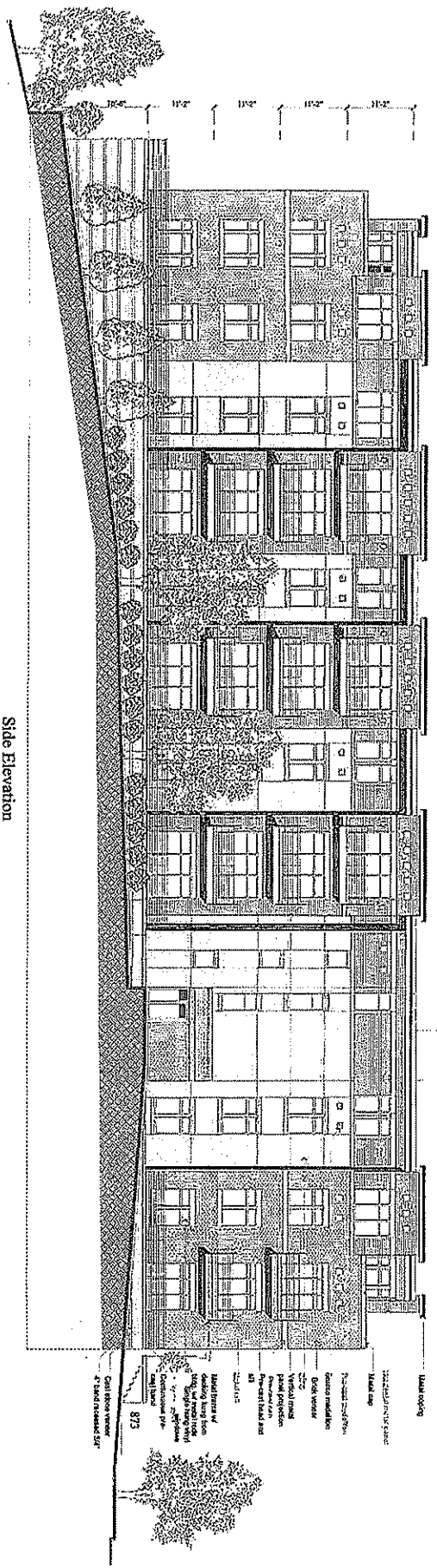
Building Elevations

Scale: 1/8"=1'-0"

McGrath Associates, Inc.
February 19, 2008

Lake Park Apartments
Madison, Wisconsin

SGN+A
Stinson Gentry Neundorfer + Associates, Inc.
Planning Architects Landscape Architects



Side Elevation

Building Elevations

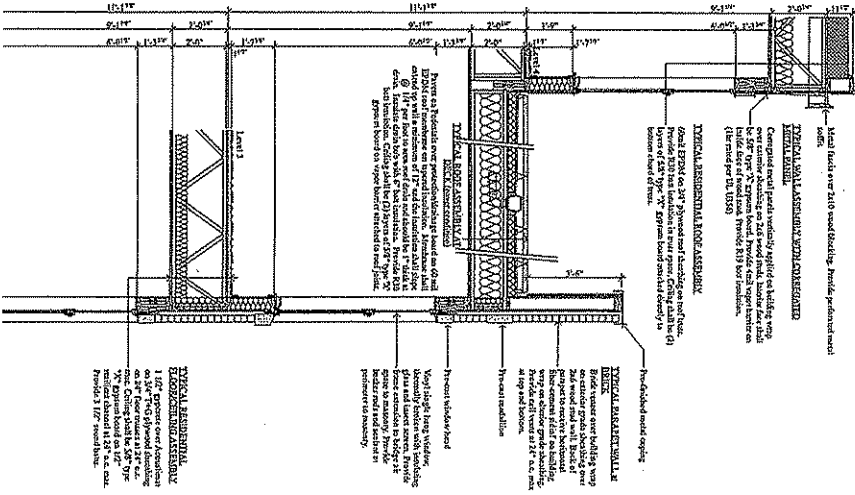
Scale: 1/8" = 1'-0"

McGrath Associates, Inc.
February 13, 2008

Lake Park Apartments
Madison, Wisconsin

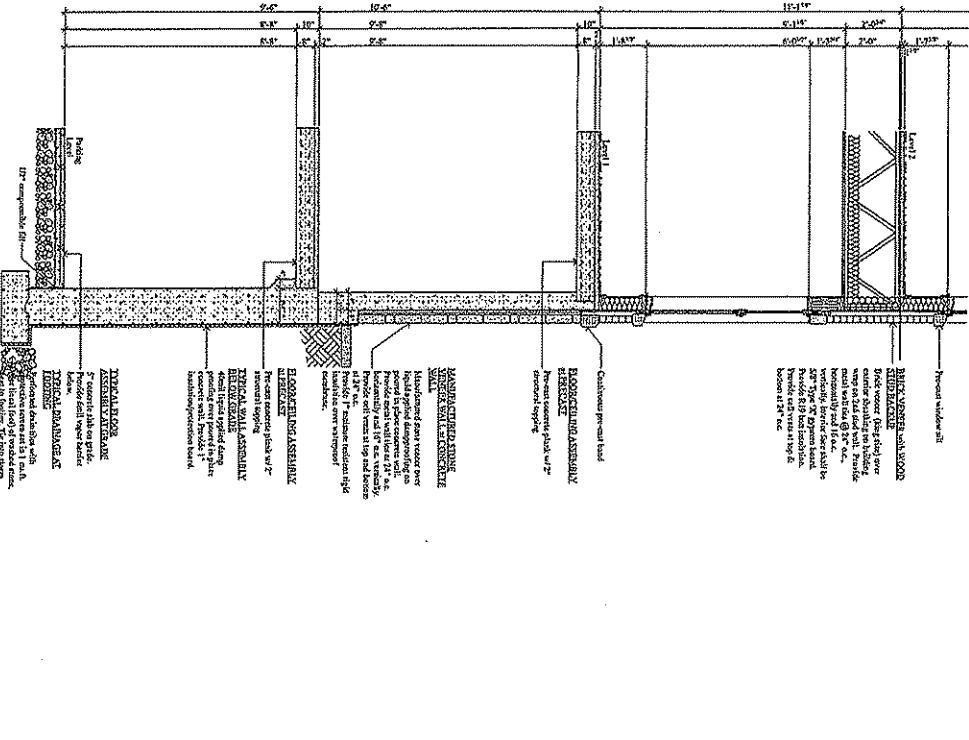
SGN+A
Shoemaker Gerny Nussmeier + Associates, Inc.
Planning Architecture Landscape Architecture

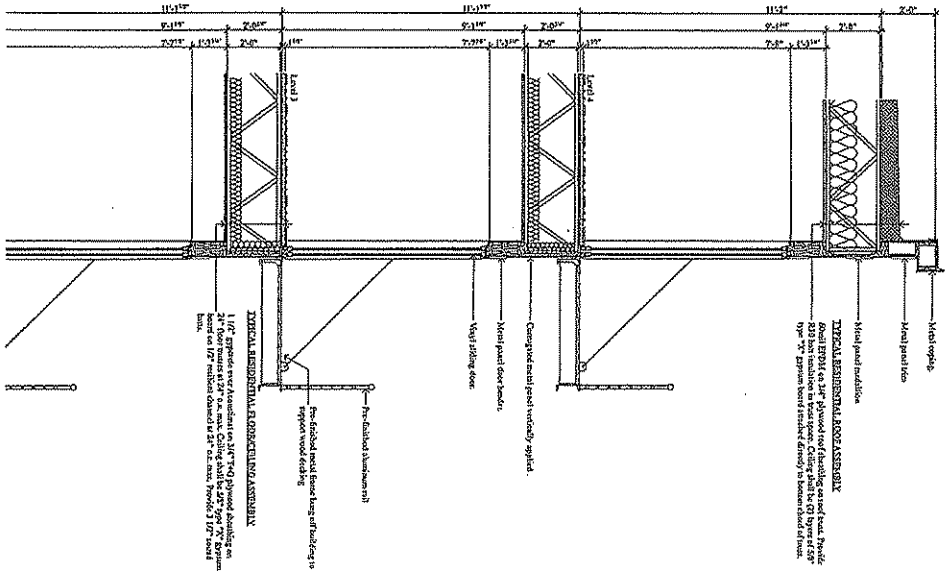
Lake Park Apartments
Madison, Wisconsin



Typical Wall Section at Brick Veneer

Scale: 1/2"=1'-0"



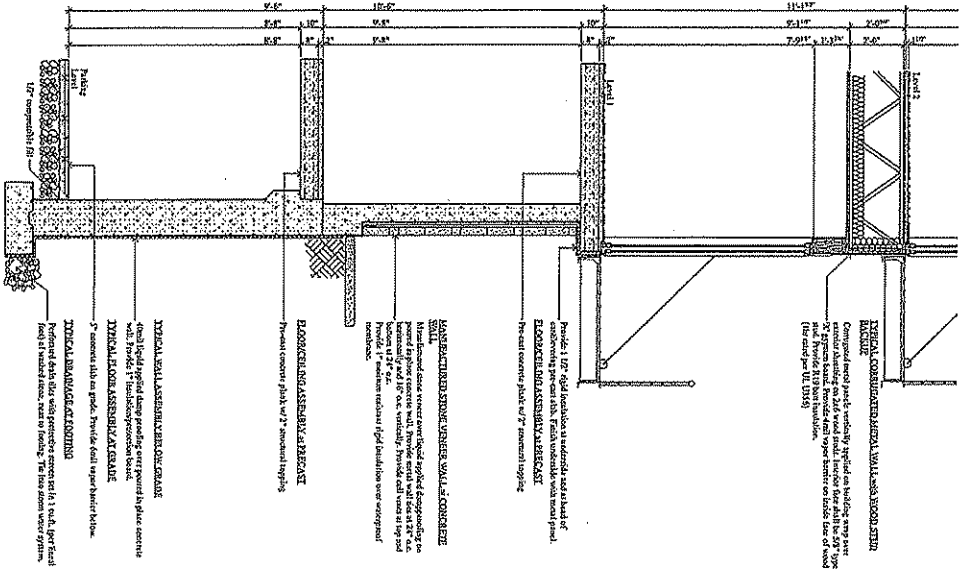


Wall Section at Bay Window

Scale: 1/2"=1'-0"

McGrath Associates, Inc.

February 19, 2008



SGN+H
Simonson Gemery Norenzaker + Associates, Inc.
Planning Architecture Landscape Architecture

Lake Park Apartments
Madison, Wisconsin

