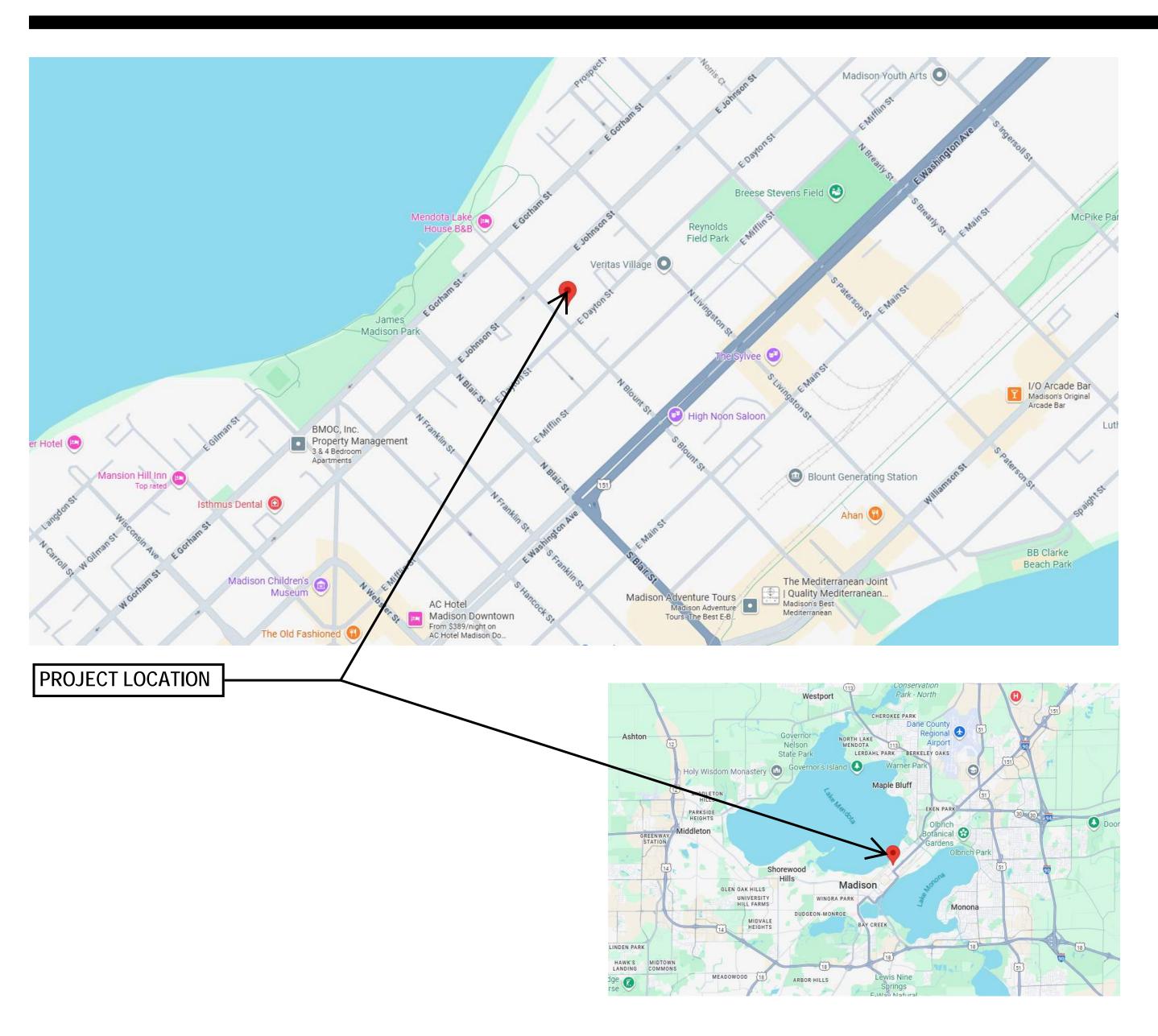
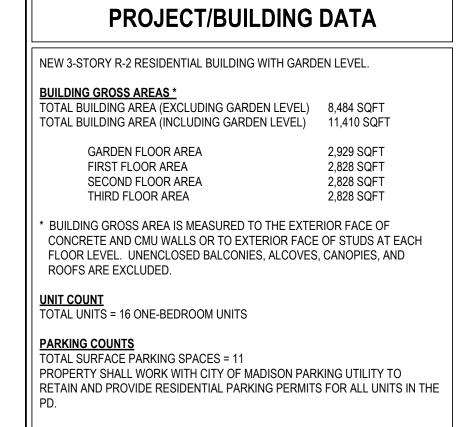


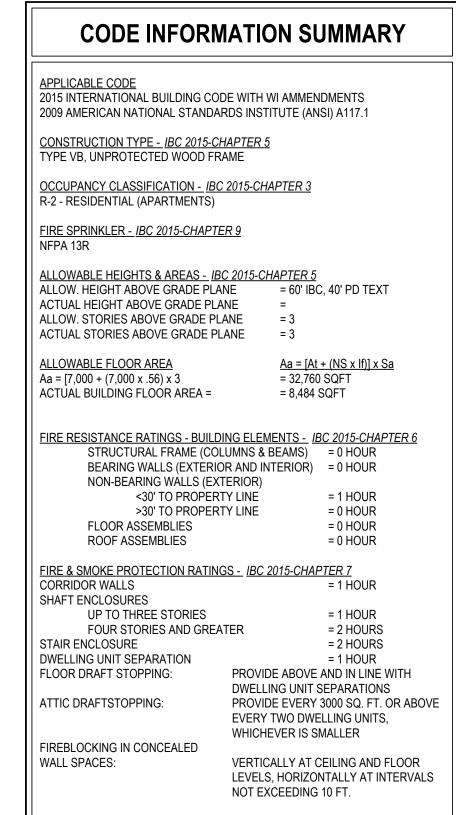
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NEW 16-UNIT MULTI-FAMILY

203 N BLOUNT STREET MADISON, WI 53703







Dimension IV - Madison Design Group Architecture:

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Civil Burse Surveying and Engineering, Inc.

Engineering: 2801 International Lane, Suite 101, Madison, WI 53704

p: 608.250.9263 www.bursesurveyengr.com

SHEET INDEX:

COVER SHEET SITE CONTEXT CODE COMPLIANCE PLANS CODE COMPLIANCE PLANS G1.1 EXISTING CONDITIONS C200 SITE PLAN C300 GRADING PLAN AND EROSION CONTROL PLAN C400 UTILITY PLAN C500 CIVIL DETAILS L1.01 LANDSCAPE PLAN PLANT SCHEDULE GARDEN LEVEL FLOOR PLAN FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN ROOF PLAN EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

PERSPECTIVE AND MATERIALS BOARD

PROJECT # 24016 GO 1

SITE CONTEXT: 215 & 213 N BLOUNT, 211 & 209 N BLOUNT, 207 N BLOUNT



SITE CONTEXT: 710 & 712 E DAYTON ST (RED)



SITE CONTEXT: 207 N BLOUNT NEXT TO PROJECT SITE

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NEW 16-UNIT **MULTI-FAMILY**

203 N BLOUNT STREET MADISON, WI 53703

DATE OF ISSUE:

10/20/2025

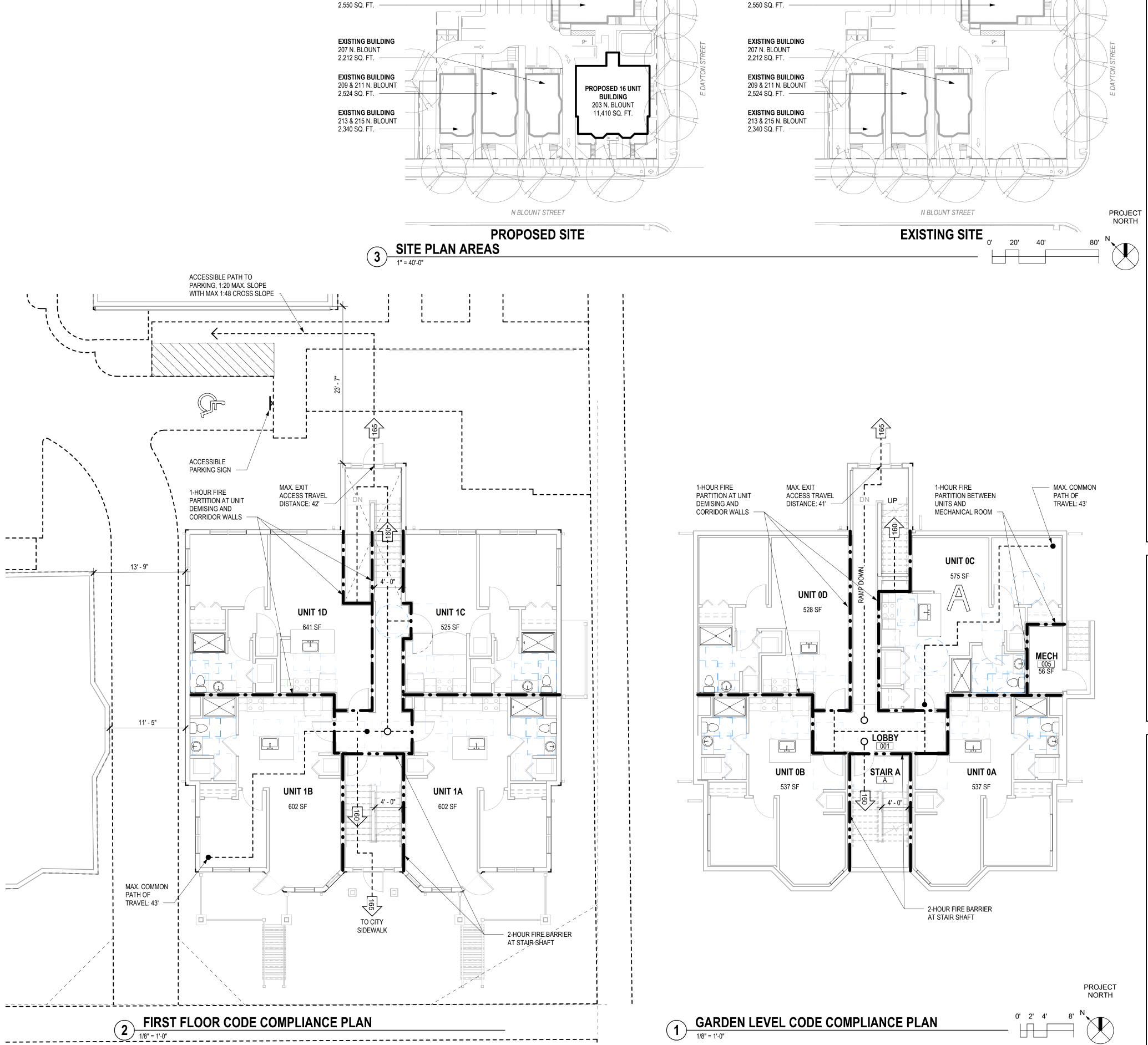
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PROJECT#

SITE CONTEXT

G0.2



EXISTING BUILDING

710 & 712 E. DAYTON

EXISTING BUILDING

710 & 712 E. DAYTON

CODE COMPLIANCE GENERAL NOTES

- ALL UNITS ARE TYPE "B" UNLESS NOTED OTHERWISE, REFER TO ENLARGED UNIT PLANS FOR INFORMATION AND REFERENCES TO ACCESSIBLE CRITERIA.
- ALL "TYPE A" UNITS ARE DESIGNED TO COMPLY WITH THE REQUIREMENTS OF IBC ACCESSIBLE UNIT.
- GRAB BARS: (PER 2009 ICC/ANSI A117.1) 6a) TYPE "B" UNITS PROVIDE: BLOCKING FOR FUTURE GRAB BARS IN SHOWERS BLOCKING FOR FUTURE SHOWER SEAT BLOCKING FOR FUTURE GRAB BARS AT TOILETS 6b) "TYPE A" UNITS PROVIDE: BLOCKING FOR FUTURE GRAB BARS IN SHOWERS
 - REFER TO SHEET G0.4 FOR ACCESSIBLE MOUNTING AND CLEARANCES INFORMATION.

BLOCKING FOR FUTURE SHOWER SEAT

BLOCKING FOR FUTURE GRAB BARS AT TOILETS

- ALL FIRE EXTINGUISHER CABINETS SHALL BE IN APPROVED LOCATIONS WITH A MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET PER I.F.C.
- COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 125' PER 1006.2.1.
- EXIT ACCESS TRAVEL DISTANCE IS 250' WITH SPRINKLERS PER TABLE 1017.2.
- FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN THE FIELD WITH SIGNS OR STENCILING PER IBC 703.7
- SMOKE ALARMS SHALL BE PROVIDED IN EACH ROOM USED FOR SLEEPING PURPOSES AND IN EACH ROOM IN THE IMMEDIATE VICINITY OF EACH BEDROOM PER IBC 907.2.11.2. IN-UNIT SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. ALARMS SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
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- FIRE ALARM PLANS SHALL BE SUBMITTED FOR REVIEW TO DSPS OR MADISON FIRE DEPARTMENT AS PART OF A DEFERRED SUBMITTAL.

ATTIC COMPLIANCE GENERAL NOTES

- DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE ATTIC SPACES, MANSARDS, OVERHANGS, OR OTHER CONCEALED ROOF SPACES. DRAFTSTOPPING SHALL BE INSTALLED ABOVE AND IN-LINE WITH DWELLING UNIT SEPARATION WALLS THAT DO NOT
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	INDICATES "TYPE A" UNIT
FEC	INDICATES FIRE EXTINGUISHER CABINET LOCATION
X	INDICATES OCCUPANCY TYPE AND CAPACITY
	INDICATES ADA ACCESSIBLE ROUTE

	XXX	INDICATES EXIT AND EXIT CAPACITY EGRESS WIDTH FACTOR STAIRWAYS = 0.3" PER OCCUPANT ALL OTHER EGRESS COMPONENTS = 0.2" PER OCCUPANT
I		INDICATES 1 HOUR FIRE RATED ASSEMBLY (SEC 709)

INDICATES THOSE THE TATES ASSEMBLE (SES 763)

	INDICATES 2 HOUR FIRE RATED ASSEMBLY (SEC 7)
0	EXIT ACCESS TRAVEL DISTANCE

● - - - - - ● COMMON PATH OF TRAVEL DISTANCE

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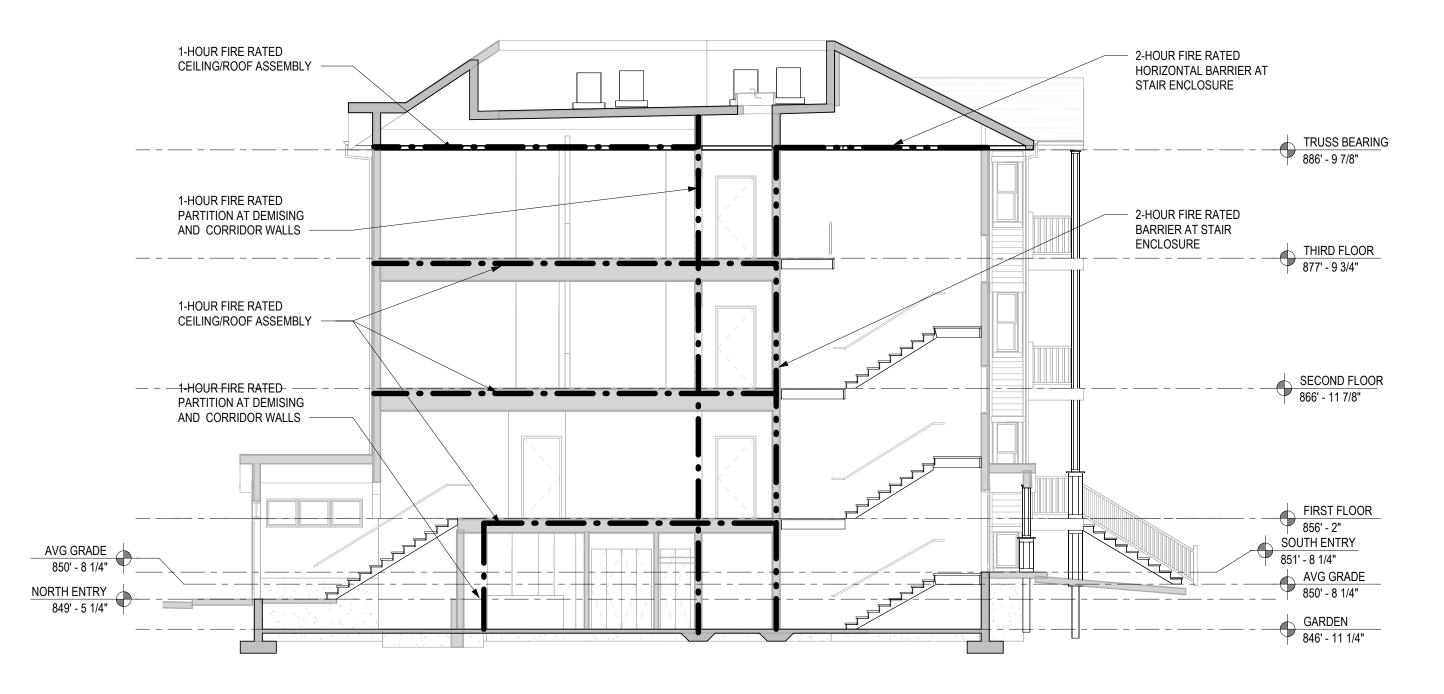
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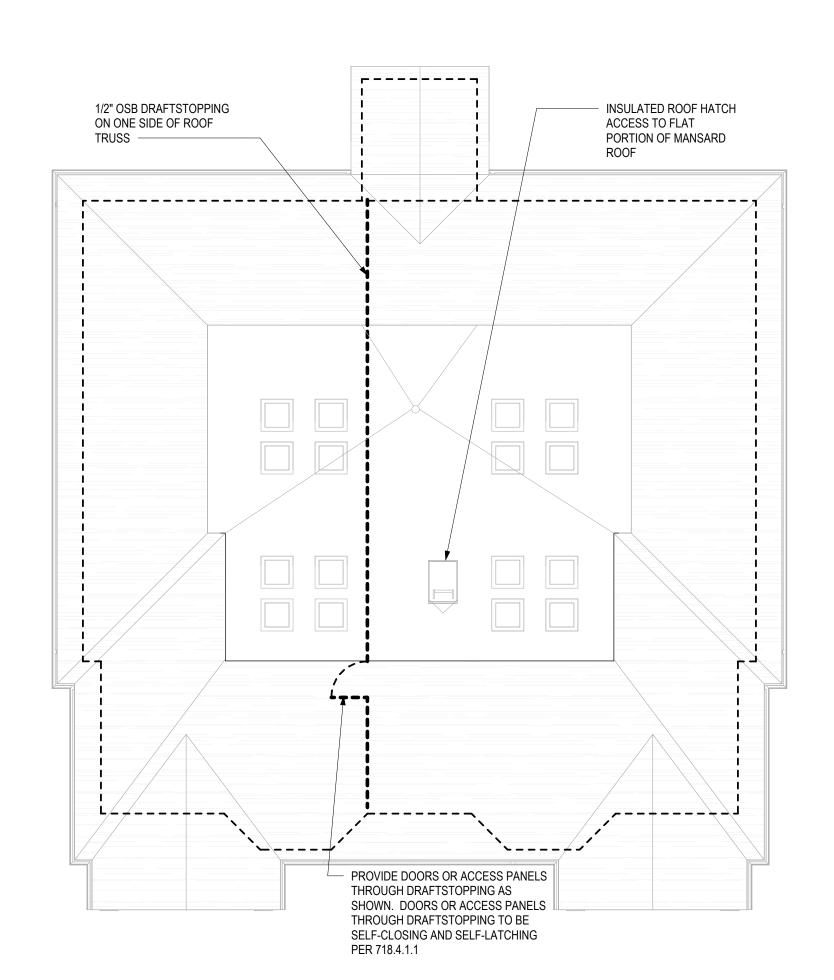
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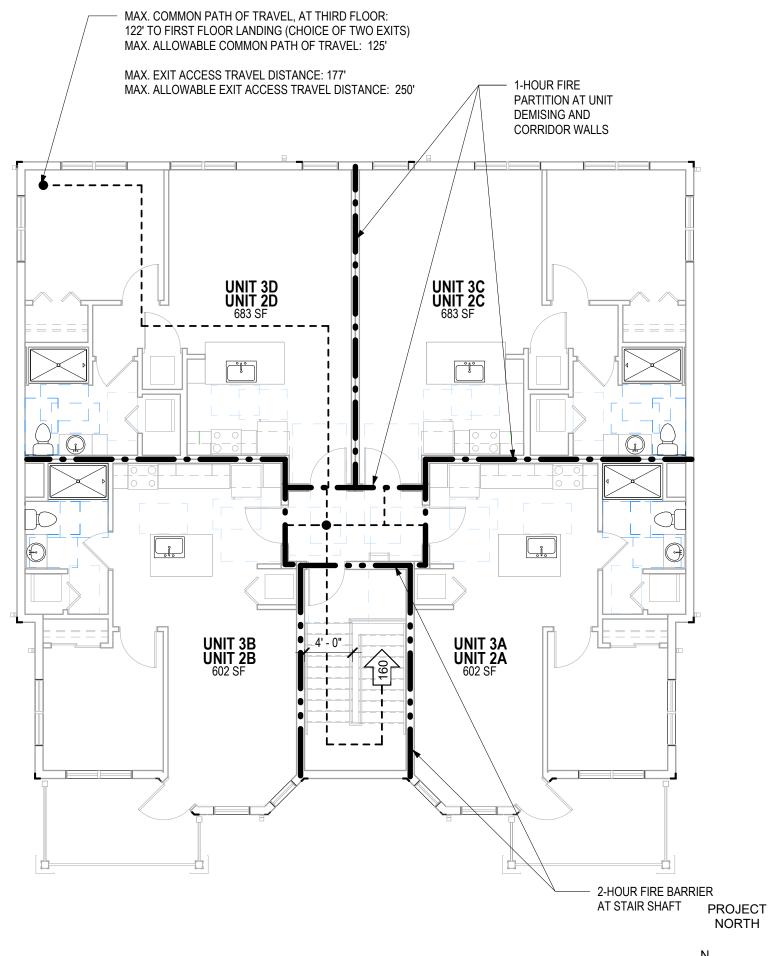
DATE OF ISSUE: 11/20/25 CODE COMPLIANCE SYMBOLS LEGEND **REVISIONS:** PROJECT#

CODE COMPLIANCE **PLAN**



CODE COMPLIANCE SECTION





ATTIC COMPLIANCE PLAN

3 SECOND AND THIRD FLOOR CODE COMPLIANCE PLAN

1/8" = 1'-0"

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● - - - - - ● COMMON PATH OF TRAVEL DISTANCE

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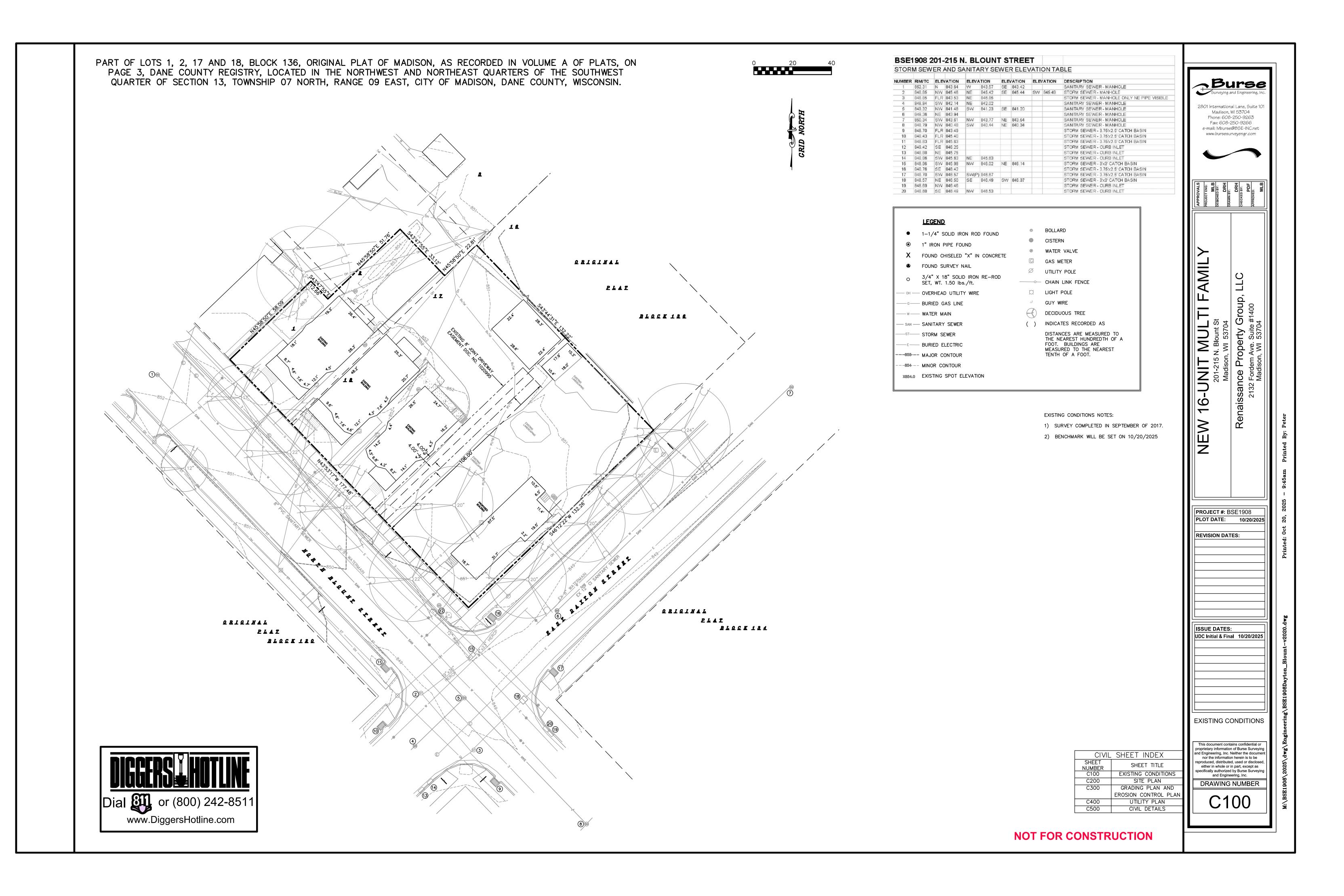
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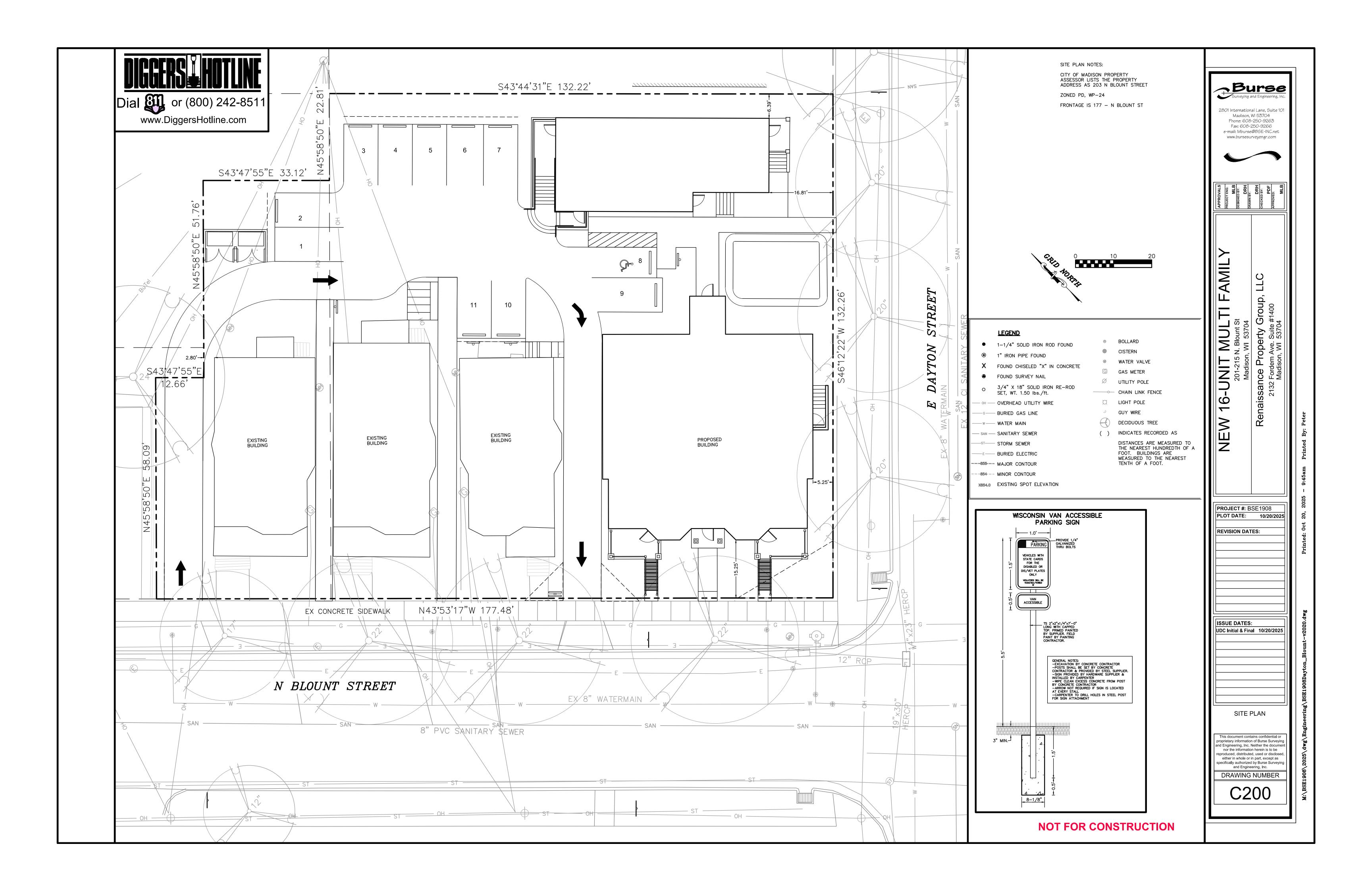
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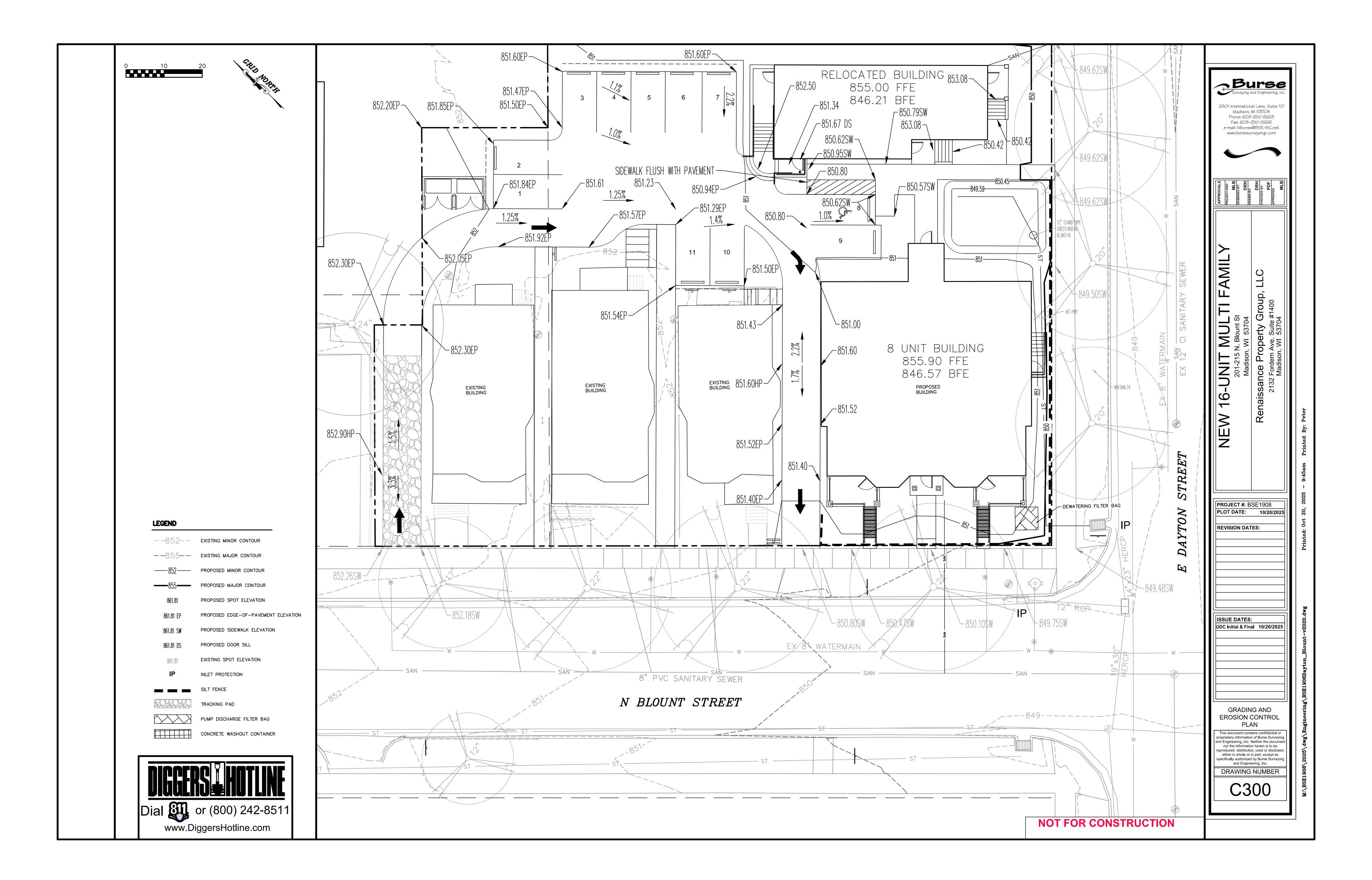
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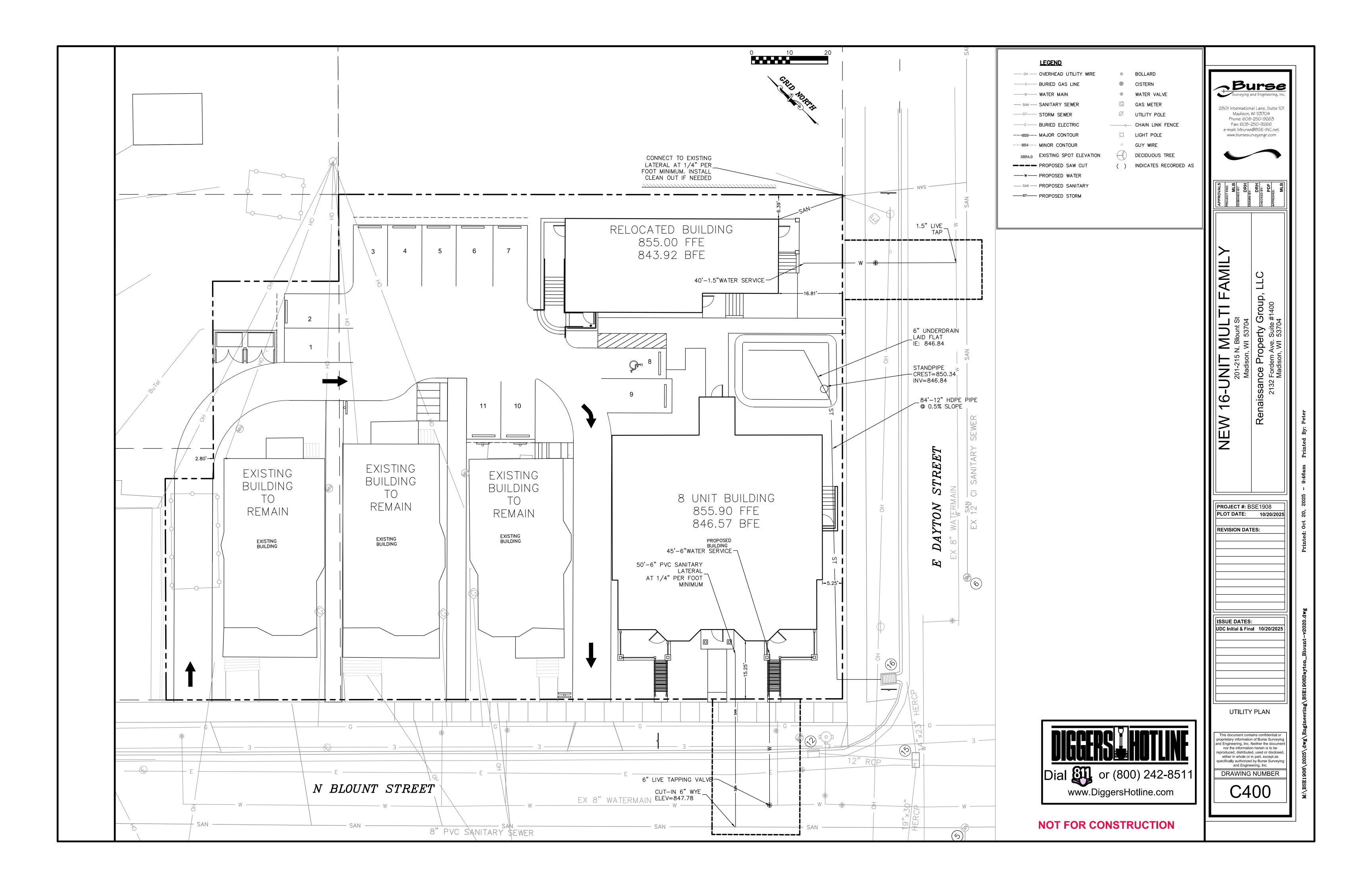
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24016









Erosion Control Notes/Specifications:

- 1. Erosion control devices and/or structures shall be installed prior to clearing and grubbing perations. These shall be properly maintained for maximum effectiveness until vegetation is re—established.
- 2. Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
- 3. All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
- 4. Construction Entrances Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057. Refer to WDNR's stormwater web page of technical standards at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. The Tracking Pad must be maintained in a condition that prevents the tracking of material onto the public street.
- 5. Soil Stockpiles A row of silt fence placed downslope and at least 10 feet away from the stockpile shall protect all stockpiles. Soil stockpiles that are inactive for more than 14 consecutive days shall be stabilized with seed & mulch, erosion mat, polymer, or covered with tarps or similar material. No stockpile shall be placed within 20 feet of a drainage way.
- 6. Dewatering Water pumped from the site shall be treated by using a geotextile bag. Sandy soil is expected to be found at the bottom of the excavation, therefore Geotextile Bags shall be Type I per DNR Technical Standard 1061. The following table identifies the size a bag required for a given sized pump. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.

Pump Size (Max GPM)	Type II Bag Size (sq-ft)
25`	17
50	34
75	51

- 7. Storm Sewer Inlets Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: http://www.dot.wisconsin.gov/business/engrserv/pal.htm. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until plat—level stabilization is complete.
- 8. Building and waste materials shall be prevented from running—off the site and entering waters of the state in conformance with NR151.12(6m).
- 9. No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
- 10. Erosion control devices shall adhere to the technical standards found at: http://dnr.wi.gov/runoff/stormwater/techstds.htm and comply with all City of Madison ordinances.
- 11. All debris tracked onto public streets shall be be swept or scraped clean by the end of each workday.
- 12. All building and waste material shall be handled properly to prevent runoff of these materials off of the site.
- 13. All disturbed areas shall be seeded immediately after grading activities have been completed.
- 14. All disturbed areas, except paved areas, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed, and mulch. Seed mixtures shall be selected appropriate to the intended function. A qualified Landscaping Contractor, Landscape Architect or Nursery can be consulted for recommendations. Seeding rates shall be based on pounds or ounces of Pure Live Seed per acre and shall be provided by the seed supplier. Fertilizer can be applied to help promote growth, but a soil test is recommended to determine the type and amount of fertilizer to be applied. All seeding and restoration shall be in conformance to WDNR Technical Standard 1059 found at http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. Seeding and sodding may only be used from May 1st to September 15th of any year. Temporary seed shall be used after September 15. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
- 15. For the first six (6) weeks after the initial stabilization of a disturbed area, watering shall be performed whenever more than seven (7) days of

Emergency Contact
Michael Matty
2132 Fordem Avenue Suite #1400
Madison WI 53704
608.301.0000
mmatty@rpgrentals.com

www.rpgrentals.com

Schedule:

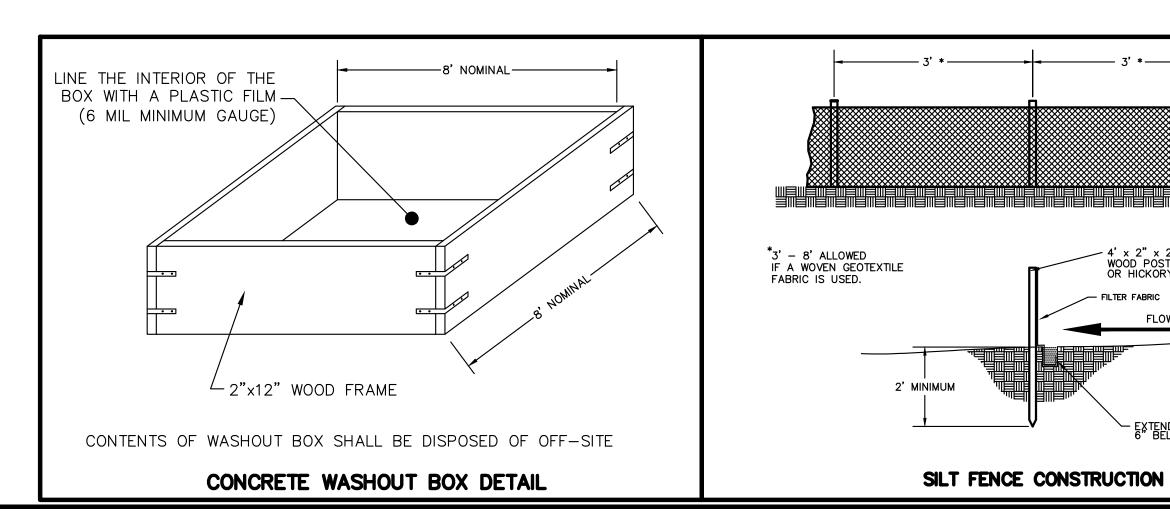
February 2, 2026 Install silt fence and construction entrance. Start demolition.

February 23, 2026 Begin construction of new building

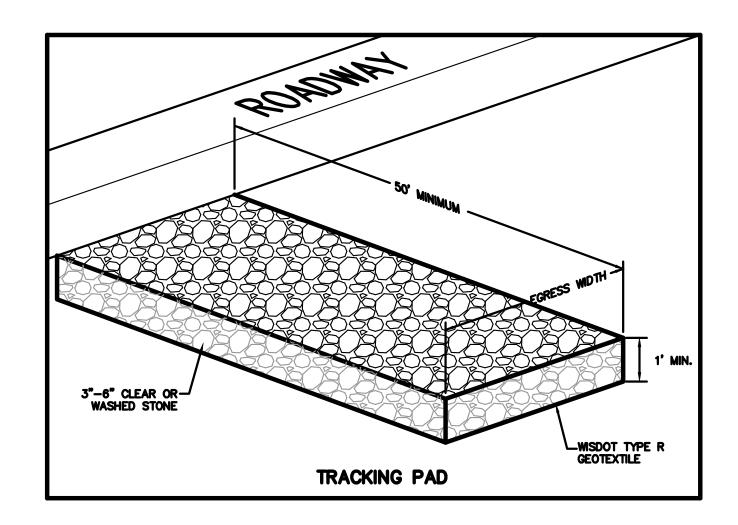
July 17, 2026 Building complete and all site work completed. Seed and mulch

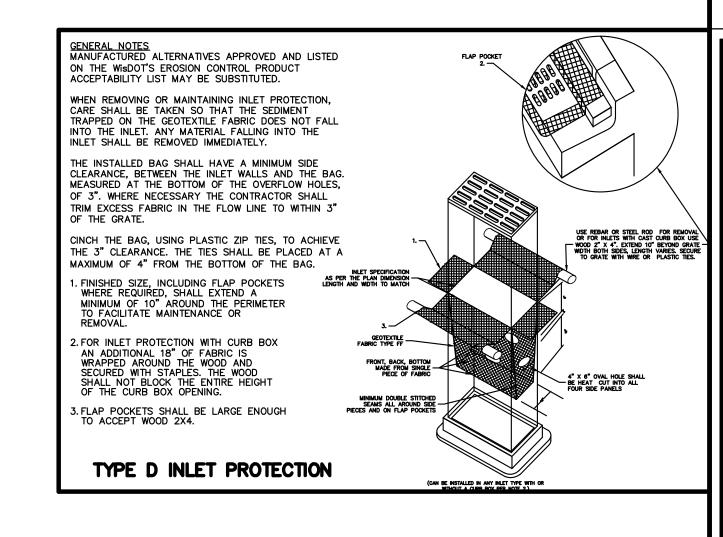
all disturbed area and/or install landscaping

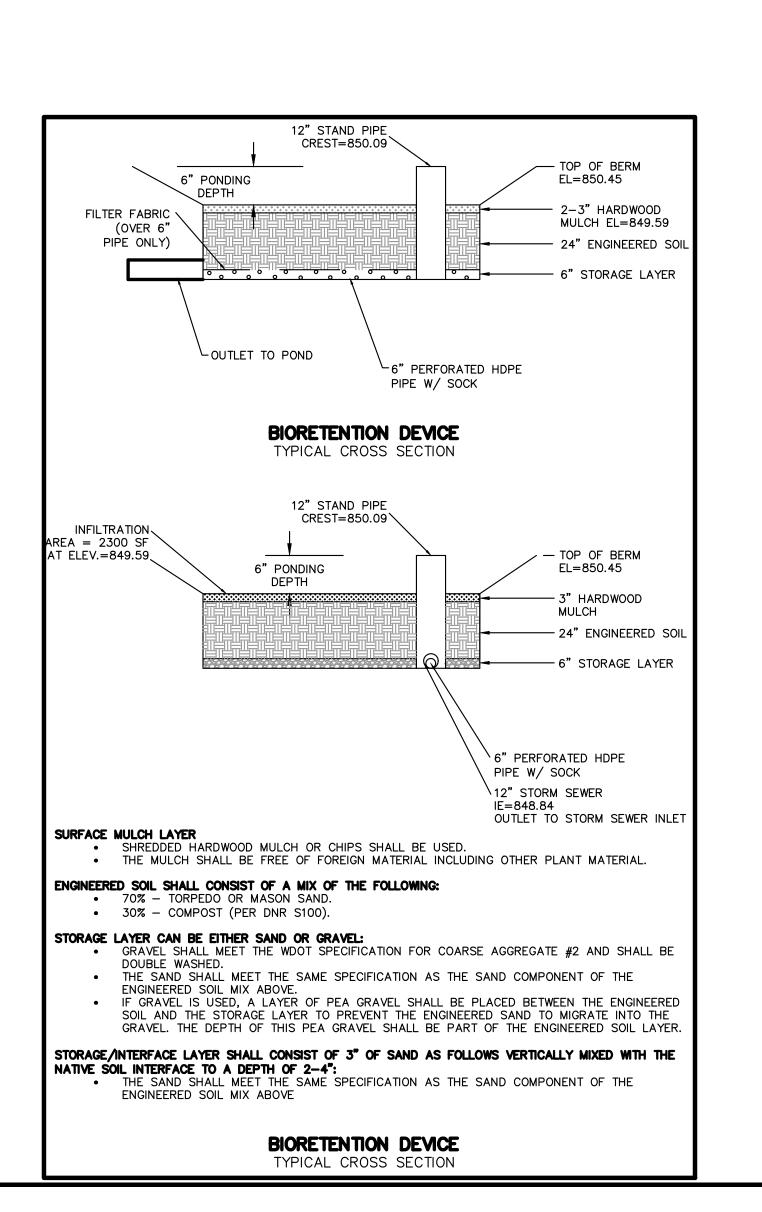
September 17, 2026 Vegetation established.



- EXTEND FABRIC TO 6" BELOW SURFACE



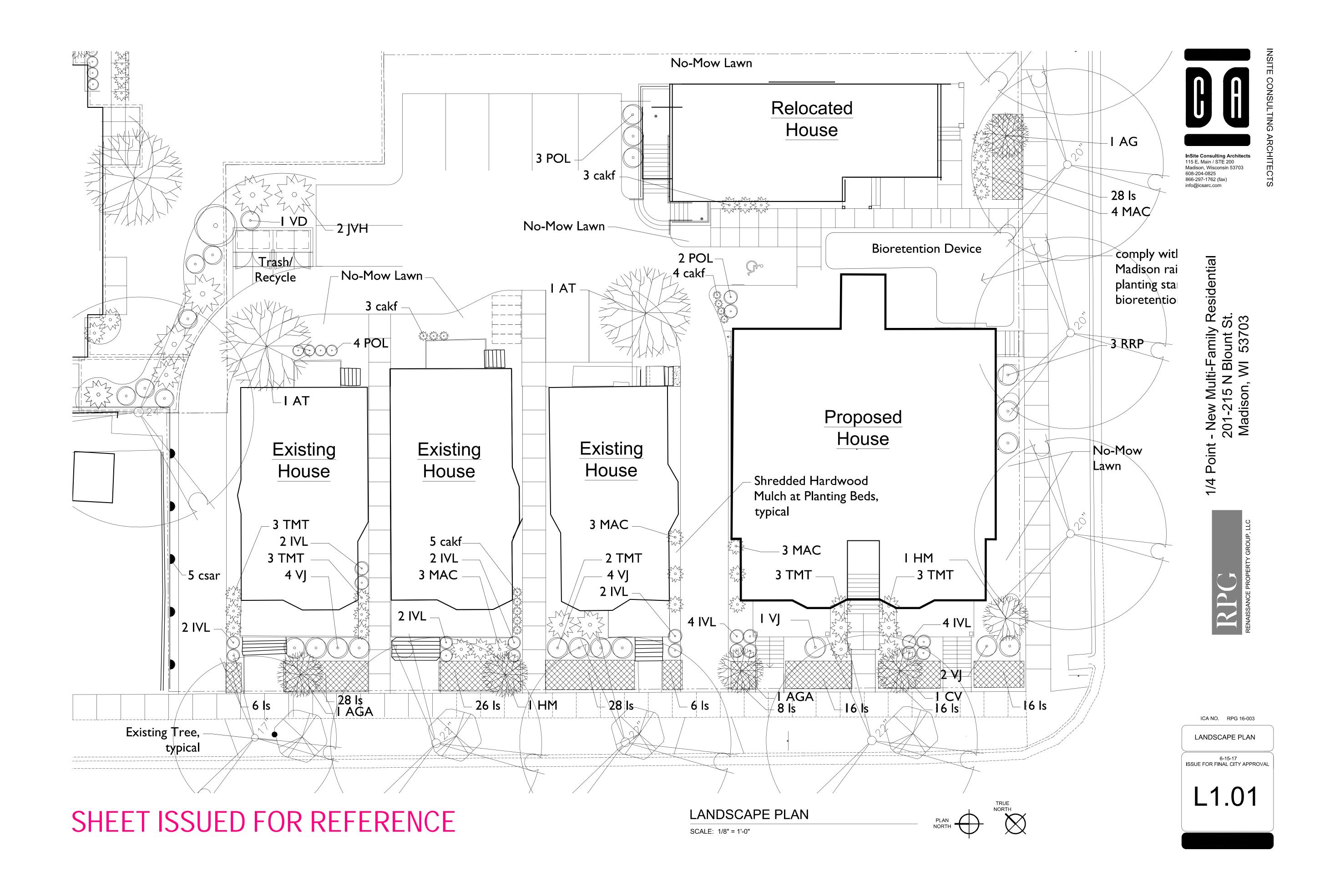




2801 International Lane, Suite 10 Madison, WI 53704 Phone: 608-250-9263 Fax: 608-250-9266 e-mail: Mburse@BSE-INC.net www.bursesurveyengr.com PROJECT #: BSE1908 PLOT DATE: 10/20/2025 REVISION DATES: ISSUE DATES: UDC Initial & Final 10/20/2025 CIVIL DETAILS This document contains confidential or proprietary information of Burse Surveying Engineering, Inc. Neither the docume nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as pecifically authorized by Burse Surveying and Engineering, Inc. DRAWING NUMBER

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PLANT SCHEDULE

L1.02

PD Plant Images



PD Plant Schedule

Key	Botanical Name	Common Name	Qty	Size	Spec	Remarks
Ove	rstory Deciduous Tree					
AT	Acer triflorum	Three-flowered Maple	1	2.5" Cal	в&в	
Tall	Evergreen Tree					
JVH	Juniperus virginiana 'Hetzii'	Hetz Red Cedar	3	5-6' Ht	B&B	Full plants, matched
Orn	amental Tree					
AG	Acer griseum	Paperbark Maple	1	1.5" Cal	B&B	
AGA	Amelanchier x grandifolia 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2	1.5" Cal	B&B	
CV	Chionanthus virginicus	Fringe Tree	1	1.5" Cal	B&B	
НМ	Heptacodium miconioides	Seven Son Flower Tree	2	1.5" Cal	в&в	
Dec	iduous Shrub					
IVL	Itea virginica 'Little Henry'	Little Henry Sweetspire	30	18" Ht	3 Gal	Full plants
RRP	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	4	18" Ht	3 Gal	Full plants, matched
POL	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	10	18" Ht	3 Gal	Matched
VD	Viburnum dentatum	Arrowwood Viburnum	1	18" Ht	3 Gal	Full plants
٧J	Viburnum x juddii	Judd Viburnum	8	18" Ht	3 Gal	Full plants, matched
Evei	rgreen Shrub					
MAC	Mahonia aquifolium 'Compactum'	Compact Oregon Grapeholly	22	15" Ht	3 Gal	Full plants, matched
TMT	Taxus x media 'Taunton'	Taunton Yew	14	18" Ht	3 Gal	Full plants, matched
Pere	ennial and Ornamental Grass					
cakf	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	15	18" Ht	1 Gal	Matched

PD Landscape Points Schedule

Plant Type	Pts	Qty	Sub-Total
Overstory Deciduous Trees	35	2	70
Tall Evergreen Trees	35	2	70
Ornamental Trees	15	6	90
Deciduous Shrubs	3	42	126
Evergreen Shrubs	4	27	108
Ornamental Grasses	2	15	30
Total Provided			494
Total Required (Developable Area	$a 13,298 \times 5 p$	oints/300 sf =	= 221.63 Say 22

- SEE SHEET A5.0 FOR LARGE SCALE PLANS.
- B. SEE SHEET A7.0 FOR INTERIOR ELEVATIONS.
- PROVIDE VERTICAL CONTROL JOINTS (CJ'S) WHERE STRUCTURAL SYSTEMS CHANGE, LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- D. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS.
 GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER,
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- E. GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
- F. GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL/EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).
- WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.

GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN

- H. PROVIDE VINYL CARPET EDGE AT TRANSITIONS FROM CARPET TO DISSIMILAR FLOOR MATERIALS, UNLESS NOTED OTHERWISE
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- ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.

NOTED OTHERWISE.

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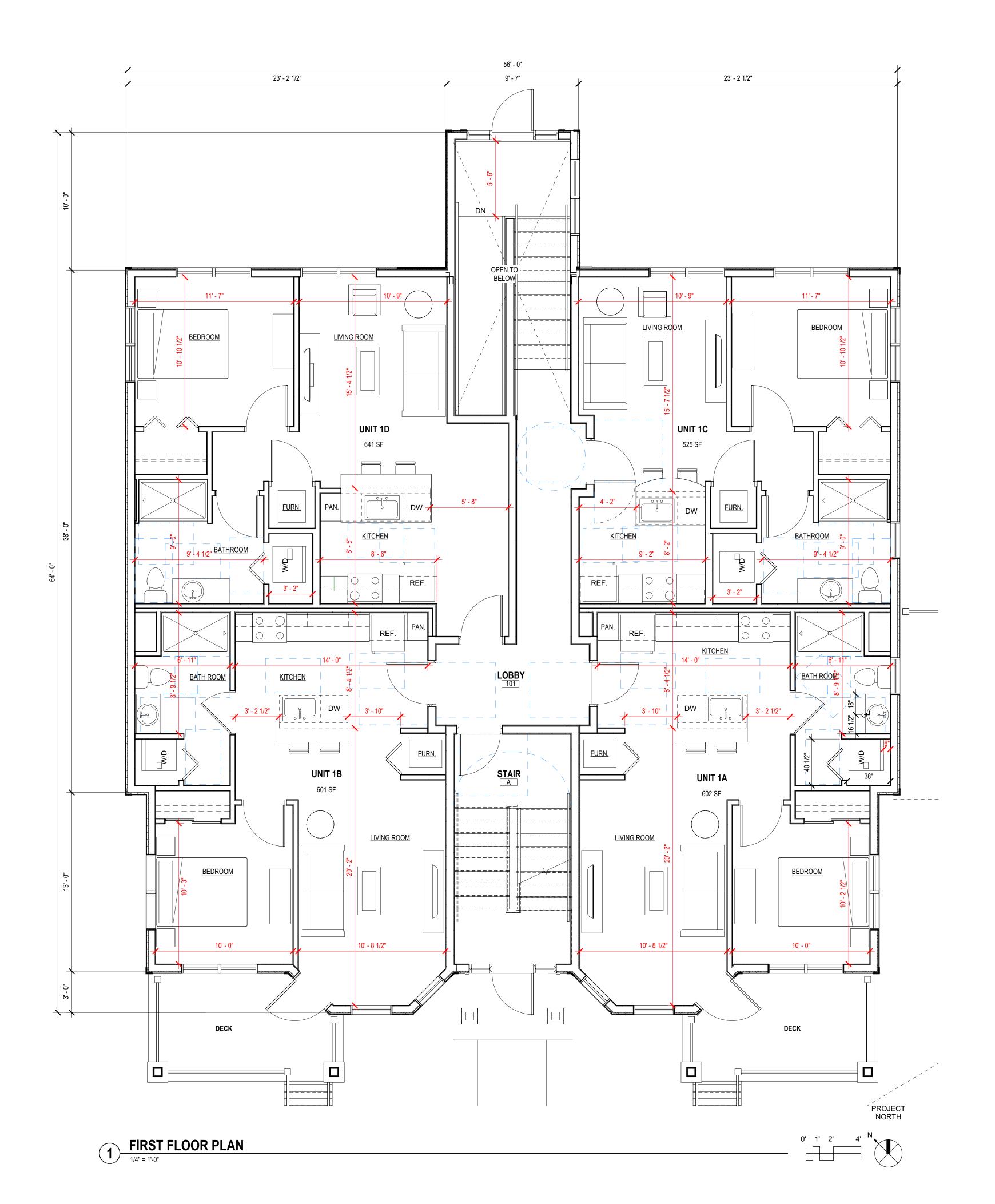
GARDEN LEVEL FLOOR PLAN

A1.0

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PROJECT NORTH

0' 1' 2' 4' N



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FIRST FLOOR PLAN

A1.1

- SEE SHEET A5.0 FOR LARGE SCALE PLANS.
- SEE SHEET A7.0 FOR INTERIOR ELEVATIONS.
- PROVIDE VERTICAL CONTROL JOINTS (CJ'S) WHERE STRUCTURAL SYSTEMS CHANGE, LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER,
- GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
- GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL/EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).

GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN

- WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
- PROVIDE VINYL CARPET EDGE AT TRANSITIONS FROM CARPET TO DISSIMILAR FLOOR MATERIALS, UNLESS NOTED OTHERWISE
- REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL
- VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
- ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.
- DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

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203 N BLOUNT STREET MADISON, WI 53703

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SECOND FLOOR PLAN

- SEE SHEET A5.0 FOR LARGE SCALE PLANS.
- SEE SHEET A7.0 FOR INTERIOR ELEVATIONS.
- PROVIDE VERTICAL CONTROL JOINTS (CJ'S) WHERE STRUCTURAL SYSTEMS CHANGE, LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER,
- GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
- GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL/EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).
- GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
- PROVIDE VINYL CARPET EDGE AT TRANSITIONS FROM CARPET TO DISSIMILAR FLOOR MATERIALS, UNLESS NOTED OTHERWISE
- REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL
- VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
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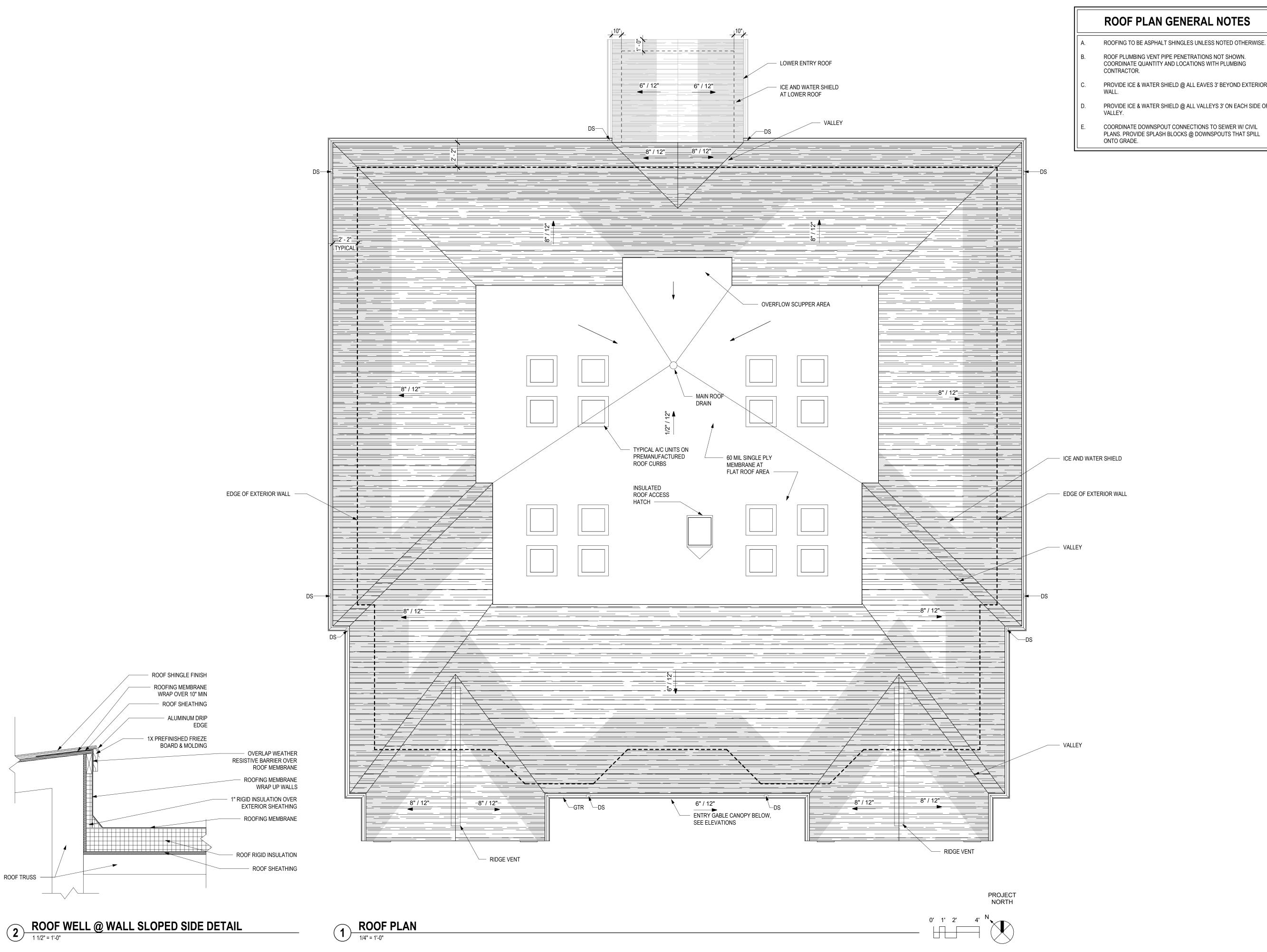
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THIRD FLOOR PLAN



- ROOF PLUMBING VENT PIPE PENETRATIONS NOT SHOWN. COORDINATE QUANTITY AND LOCATIONS WITH PLUMBING

PROVIDE ICE & WATER SHIELD @ ALL EAVES 3' BEYOND EXTERIOR

- PROVIDE ICE & WATER SHIELD @ ALL VALLEYS 3' ON EACH SIDE OF
- COORDINATE DOWNSPOUT CONNECTIONS TO SEWER W/ CIVIL PLANS. PROVIDE SPLASH BLOCKS @ DOWNSPOUTS THAT SPILL

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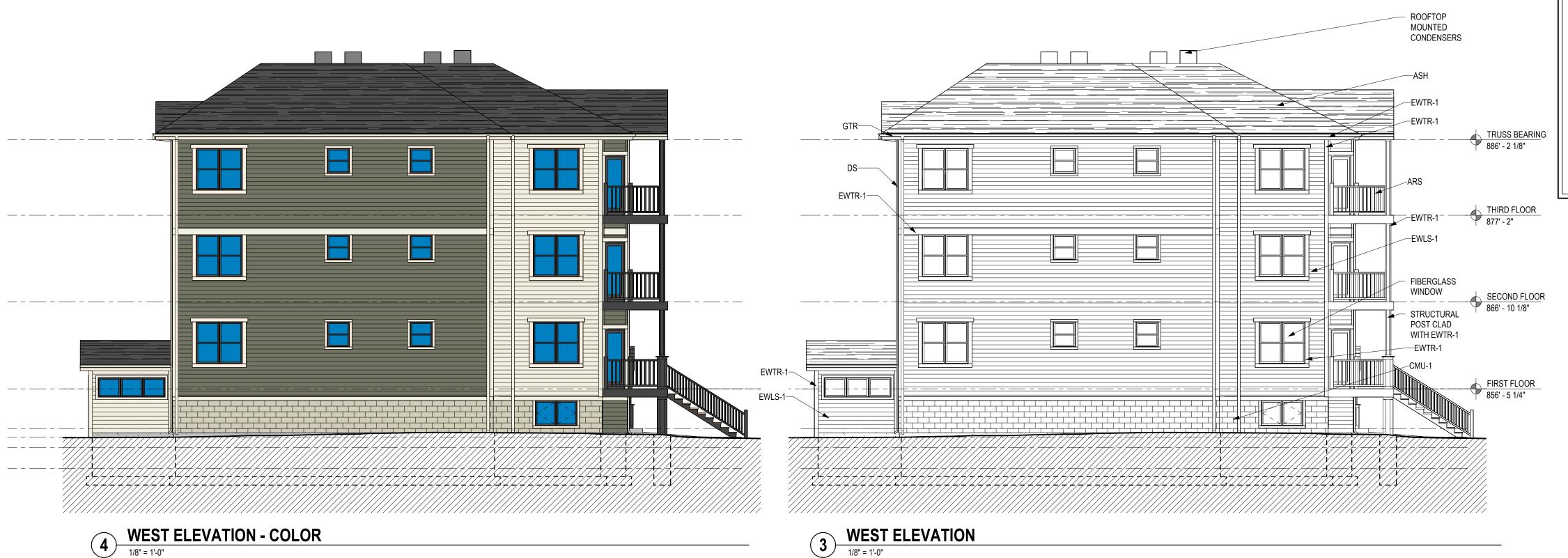
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ROOF PLAN



ELEVATION LEGEND & NOTES

MASONRY
CMU-1 SPLIT-FACE CMU VENEER COLOR BUFF SIDING & TRIM - LP SMART SIDE <u>COLOR</u> EWLS-1 ENGINEERED WOOD LAP SIDING - 6" EXP. GARDEN SAGE EWLS-2 ENGINEERED WOOD LAP SIDING - 6" EXP. SAND DUNES EWTR-1 ENGINEERED WOOD TRIM - SIZE VARIES SAND DUNES EWTR-2 ENGINEERED WOOD TRIM - SIZE VARIES GARDEN SAGE EWTR-3 ENGINEERED WOOD TRIM - SIZE VARIES PRIMED PAINT SW 7048 URBANE BRONZE **COLOR**

ALMOND

ALMOND ALMOND

PAINT TO MATCH SW 7048 URBANE **BRONZE**

PRE-FINISHED METAL DS DOWNSPO GTR GUTTER DOWNSPOUT SFT PLY GEM MASTIC

ARS ALUM. RAILING OR PT. LUMBER

<u>COLOR</u> WEATHERED WOOD MISCELLANEOUS
ASH ASPHALT SHINGLES FG FIBERGLASS WINDOWS DARK BRONZE

GENERAL NOTES

- NOT ALL SIDING PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.
- CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.
- LOUVERS AND VENTS PENETRATING WALLS TO MATCH ADJACENT
- VERIFY ALL MATERIAL COLOR/FINISH SELECTIONS WITH OWNER.

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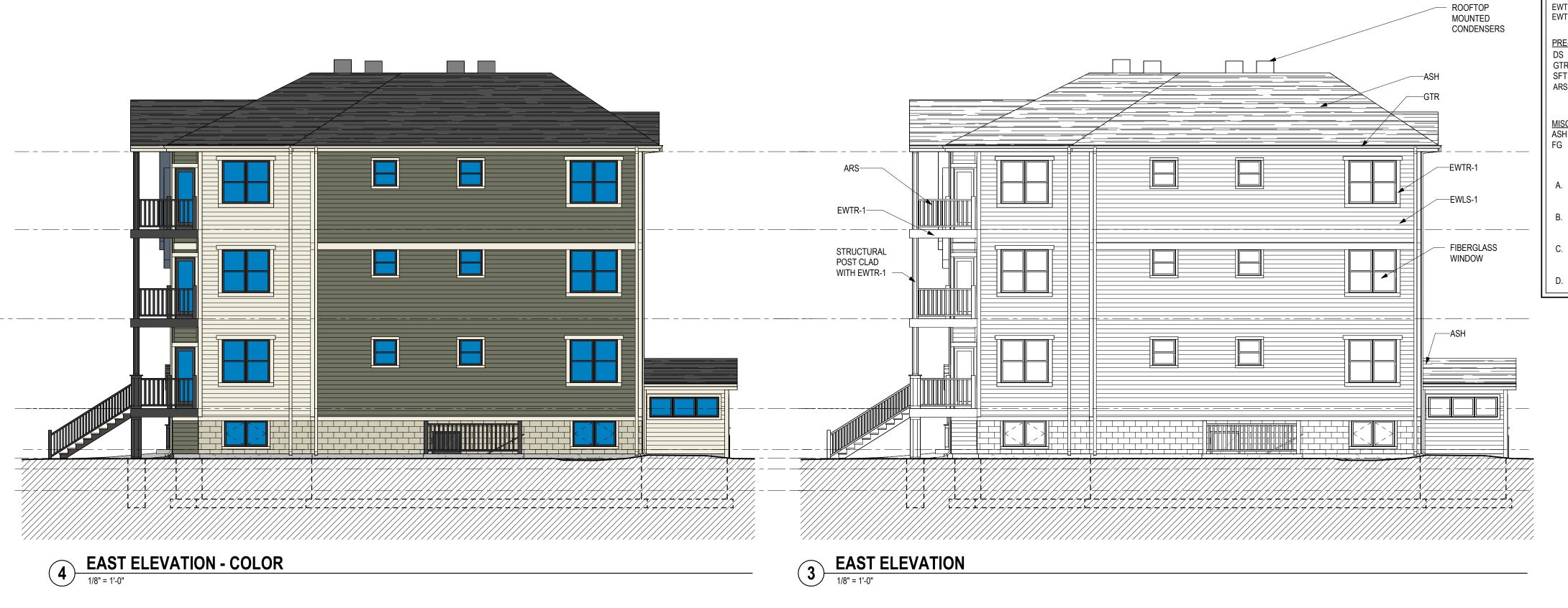
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ELEVATIONS





ELEVATION LEGEND & NOTES

MASONRY
CMU-1 SPLIT-FACE CMU VENEER

SIDING & TRIM - LP SMART SIDE
EWLS-1 ENGINEERED WOOD LAP SIDING - 6" EXP.

GOLOR
EWLS-1 GARDEN SAGE

EWLS-1 ENGINEERED WOOD LAP SIDING - 6" EXP. GARDEN SAGE EWLS-2 ENGINEERED WOOD LAP SIDING - 6" EXP. SAND DUNES EWTR-1 ENGINEERED WOOD TRIM - SIZE VARIES GARDEN SAGE EWTR-2 ENGINEERED WOOD TRIM - SIZE VARIES GARDEN SAGE EWTR-3 ENGINEERED WOOD TRIM - SIZE VARIES PRIMED PAINT SW 7048 URBANE BRONZE

PRE-FINISHED METAL

DS DOWNSPOUT

GTR GUTTER

SFT PLY GEM MASTIC

ARS ALUM. RAILING OR PT. LUMBER

MISCELLANEOUS
ASH ASPHALT SHINGLES
FG FIBERGLASS WINDOWS

S WEATHERED WOOD
OWS DARK BRONZE

<u>COLOR</u>

ALMOND

ALMOND

ALMOND

PAINT TO MATCH SW 7048 URBANE BRONZE

GENERAL NOTES

- NOT ALL SIDING PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.

 CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO
- TOP OF WALL.
- C. LOUVERS AND VENTS PENETRATING WALLS TO MATCH ADJACENT SIDING COLOR.
- D. VERIFY ALL MATERIAL COLOR/FINISH SELECTIONS WITH OWNER.

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203 N BLOUNT STREET MADISON, WI 53703

TRUSS BEARING
880' - 2 1/8"

THRD FLOOR
877' - 2"

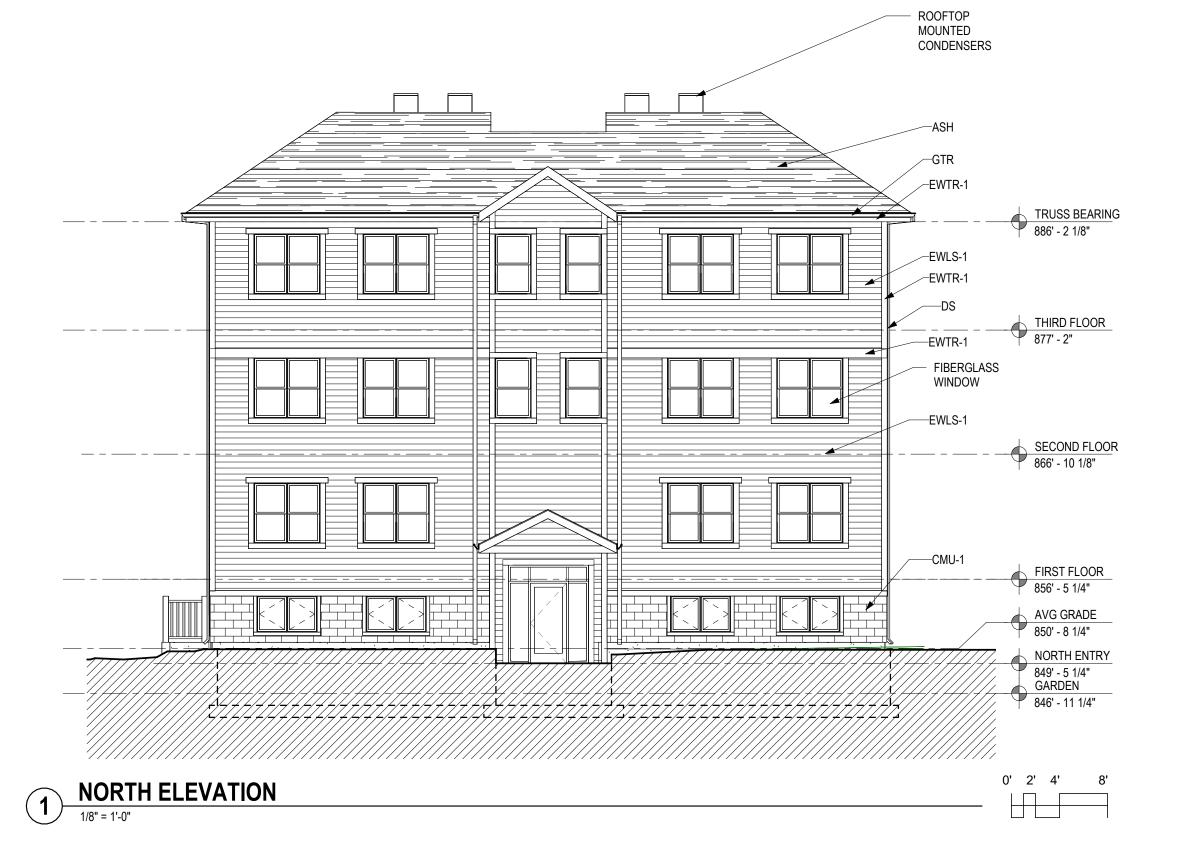
SECOND FLOOR
880' - 10 1/8"

FRST FLOOR
880' - 10 1/8"

ANG BADE
880' - 11114"

BRE' - 11114"

NORTH ELEVATION - COLOR



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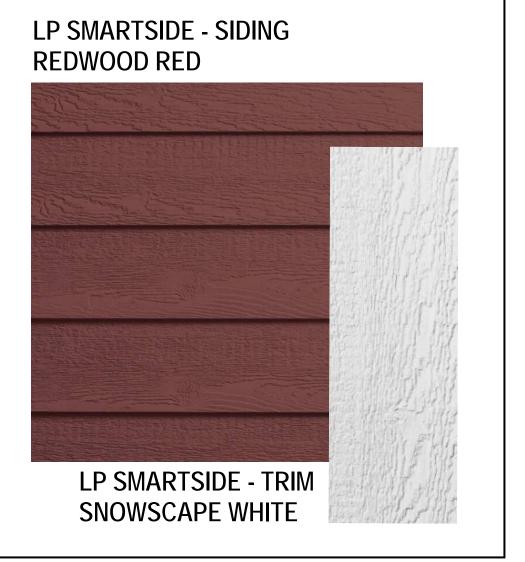
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ELEVATIONS

A2.1

AS PART OF THE PD TEXT, 710-12 E DAYTON STREET (EXISTING VINYL FACADE) TO GET RE-CLAD WITH ENGINEERED WOOD.



ELEVATION LEGEND & NOTES

MASONRY COLOR CMU-1 SPLIT-FACE CMU VENEER BUFF

SIDING & TRIM - LP SMART SIDE

GTR GUTTER

EWLS-1 ENGINEERED WOOD LAP SIDING - 6" EXP. GARDEN SAGE EWLS-2 ENGINEERED WOOD LAP SIDING - 6" EXP. SAND DUNES EWTR-1 ENGINEERED WOOD TRIM - SIZE VARIES GARDEN SAGE EWTR-2 ENGINEERED WOOD TRIM - SIZE VARIES GARDEN SAGE EWTR-3 ENGINEERED WOOD TRIM - SIZE VARIES PRIMED

EWTR-3 ENGINEERED WOOD TRIM - SIZE VARIE:
PAINT SW 7048 URBANE BRONZE

PRE-FINISHED METAL
DS DOWNSPOUT

SFT PLY GEM MASTIC
ARS ALUM. RAILING OR PT. LUMBER

MISCELLANEOUS
ASH ASPHALT SHINGLES
FG FIBERGLASS WINDOWS

PAINT TO MATCH SW 7048 URBANE BRONZE COLOR WEATHERED WOOD

DARK BRONZE

<u>COLOR</u> ALMOND

ALMOND

ALMOND

GENERAL NOTES

A. NOT ALL SIDING PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.

B. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.

C. LOUVERS AND VENTS PENETRATING WALLS TO MATCH ADJACENT SIDING COLOR

VERIFY ALL MATERIAL COLOR/FINISH SELECTIONS WITH OWNER.

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ASPHALT SHINGLES WEATHERED WOOD

710-712 E DAYTON STREET





PERSPECTIVE VIEW - LOOKING NORTHWEST

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EXTERIOR

ELEVATIONS

A2.2