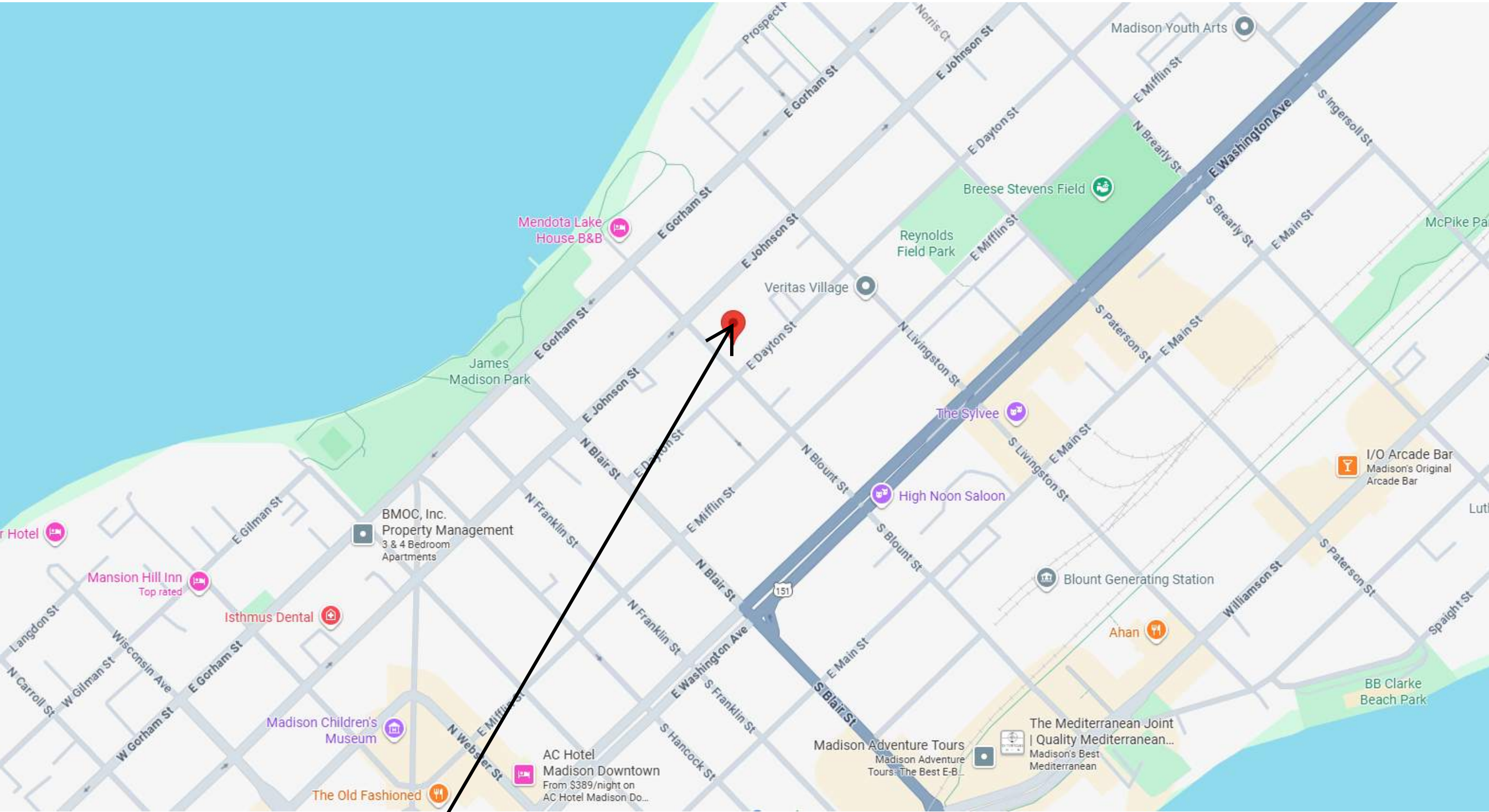
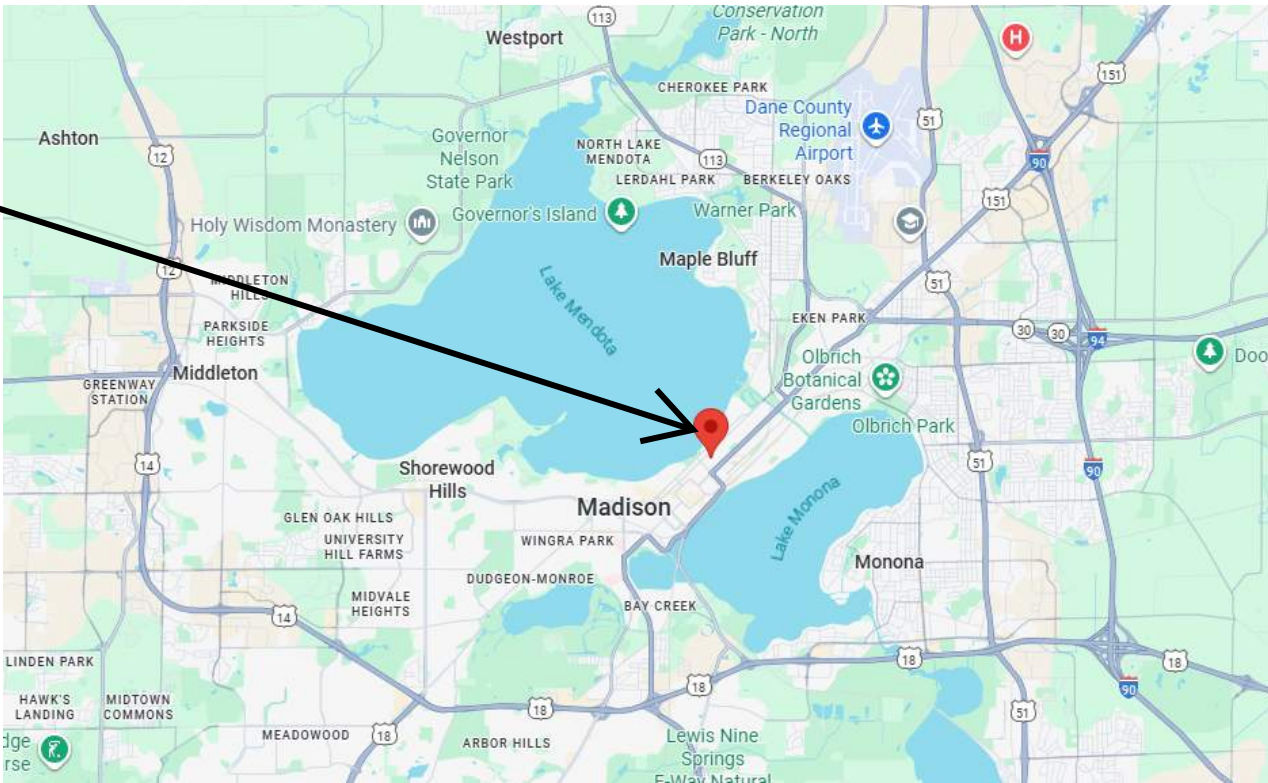


NEW 16-UNIT MULTI-FAMILY

203 N BLOUNT STREET
MADISON, WI 53703



PROJECT LOCATION



PROJECT/BUILDING DATA	
NEW 3-STORY R-2 RESIDENTIAL BUILDING WITH GARDEN LEVEL.	
BUILDING GROSS AREAS *	
TOTAL BUILDING AREA (EXCLUDING GARDEN LEVEL)	8,484 SQFT
TOTAL BUILDING AREA (INCLUDING GARDEN LEVEL)	11,410 SQFT
GARDEN FLOOR AREA	2,929 SQFT
FIRST FLOOR AREA	2,828 SQFT
SECOND FLOOR AREA	2,828 SQFT
THIRD FLOOR AREA	2,828 SQFT
* BUILDING GROSS AREA IS MEASURED TO THE EXTERIOR FACE OF CONCRETE AND CMU WALLS OR TO EXTERIOR FACE OF STUDS AT EACH FLOOR LEVEL. UNENCLOSED BALCONIES, ALCOVES, CANOPIES, AND ROOFS ARE EXCLUDED.	
UNIT COUNT	
TOTAL UNITS	= 16 ONE-BEDROOM UNITS
PARKING COUNTS	
TOTAL SURFACE PARKING SPACES	= 11
PROPERTY SHALL WORK WITH CITY OF MADISON PARKING UTILITY TO RETAIN AND PROVIDE RESIDENTIAL PARKING PERMITS FOR ALL UNITS IN THE PD.	

Architecture :

Civil
Engineering:

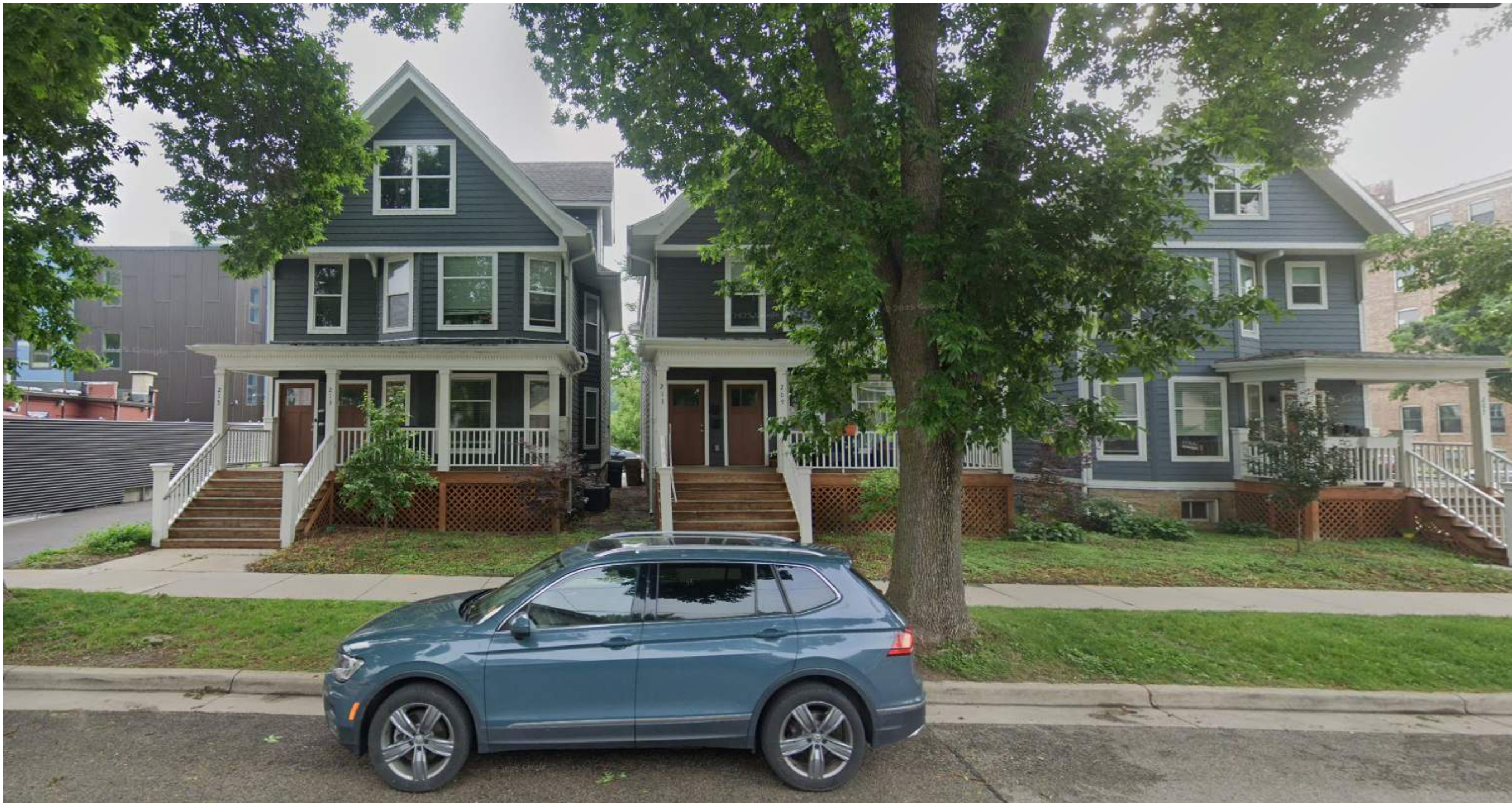
Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

Burse Surveying and Engineering, Inc.
2801 International Lane, Suite 101, Madison, WI 53704
p: 608.250.9263 www.bursesurveyengr.com

CODE INFORMATION SUMMARY	
APPLICABLE CODE 2015 INTERNATIONAL BUILDING CODE WITH WI AMENDMENTS 2009 AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A117.1	
CONSTRUCTION TYPE - IBC 2015-CHAPTER 5 TYPE VB, UNPROTECTED WOOD FRAME	
OCCUPANCY CLASSIFICATION - IBC 2015-CHAPTER 3 R-2 - RESIDENTIAL (APARTMENTS)	
FIRE SPRINKLER - IBC 2015-CHAPTER 9 NFPA 13R	
ALLOWABLE HEIGHTS & AREAS - IBC 2015-CHAPTER 5 ALLOW. HEIGHT ABOVE GRADE PLANE = 60' IBC, 40' PD TEXT ACTUAL HEIGHT ABOVE GRADE PLANE = 3 ALLOW. STORIES ABOVE GRADE PLANE = 3 ACTUAL STORIES ABOVE GRADE PLANE = 3	
ALLOWABLE FLOOR AREA Aa = (7,000 + (7,000 x .56) x 3 = 32,760 SQFT ACTUAL BUILDING FLOOR AREA = 8,484 SQFT	
FIRE RESISTANCE RATINGS - BUILDING ELEMENTS - IBC 2015-CHAPTER 6 STRUCTURAL FRAME (COLUMNS & BEAMS) = 0 HOUR BEARING WALLS (EXTERIOR AND INTERIOR) = 0 HOUR NON-BEARING WALLS (EXTERIOR) <30' TO PROPERTY LINE = 1 HOUR >30' TO PROPERTY LINE = 0 HOUR FLOOR ASSEMBLIES = 0 HOUR ROOF ASSEMBLIES = 0 HOUR	
FIRE & SMOKE PROTECTION RATINGS - IBC 2015-CHAPTER 7 CORRIDOR WALLS = 1 HOUR SHAFT ENCLOSURES UP TO THREE STORIES = 1 HOUR FOUR STORIES AND GREATER = 2 HOURS STAIR ENCLOSURE = 2 HOURS DWELLING UNIT SEPARATION = 1 HOUR FLOOR DRAFT STOPPING: ATTIC DRAFTSTOPPING: FIREBLOCKING IN CONCEALED WALL SPACES:	
PROVIDE ABOVE AND IN LINE WITH DWELLING UNIT SEPARATIONS PROVIDE EVERY 3000 SQ. FT. OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER VERTICALLY AT CEILING AND FLOOR LEVELS, HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT.	

SHEET INDEX:	
G0.1	COVER SHEET
G0.2	SITE CONTEXT
G1.0	CODE COMPLIANCE PLANS
G1.1	CODE COMPLIANCE PLANS
C100	EXISTING CONDITIONS
C200	SITE PLAN
C300	GRADING PLAN AND EROSION CONTROL PLAN
C400	UTILITY PLAN
C500	CIVIL DETAILS
L1.01	LANDSCAPE PLAN
L1.02	PLANT SCHEDULE
A1.0	GARDEN LEVEL FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	PERSPECTIVE AND MATERIALS BOARD

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SITE CONTEXT: 215 & 213 N BLOUNT, 211 & 209 N BLOUNT, 207 N BLOUNT



SITE CONTEXT: 710 & 712 E DAYTON ST (RED)



SITE CONTEXT: 207 N BLOUNT NEXT TO PROJECT SITE

NEW 16-UNIT MULTI-FAMILY

203 N BLOUNT STREET
MADISON, WI 53703

DATE OF ISSUE: 10/20/2025

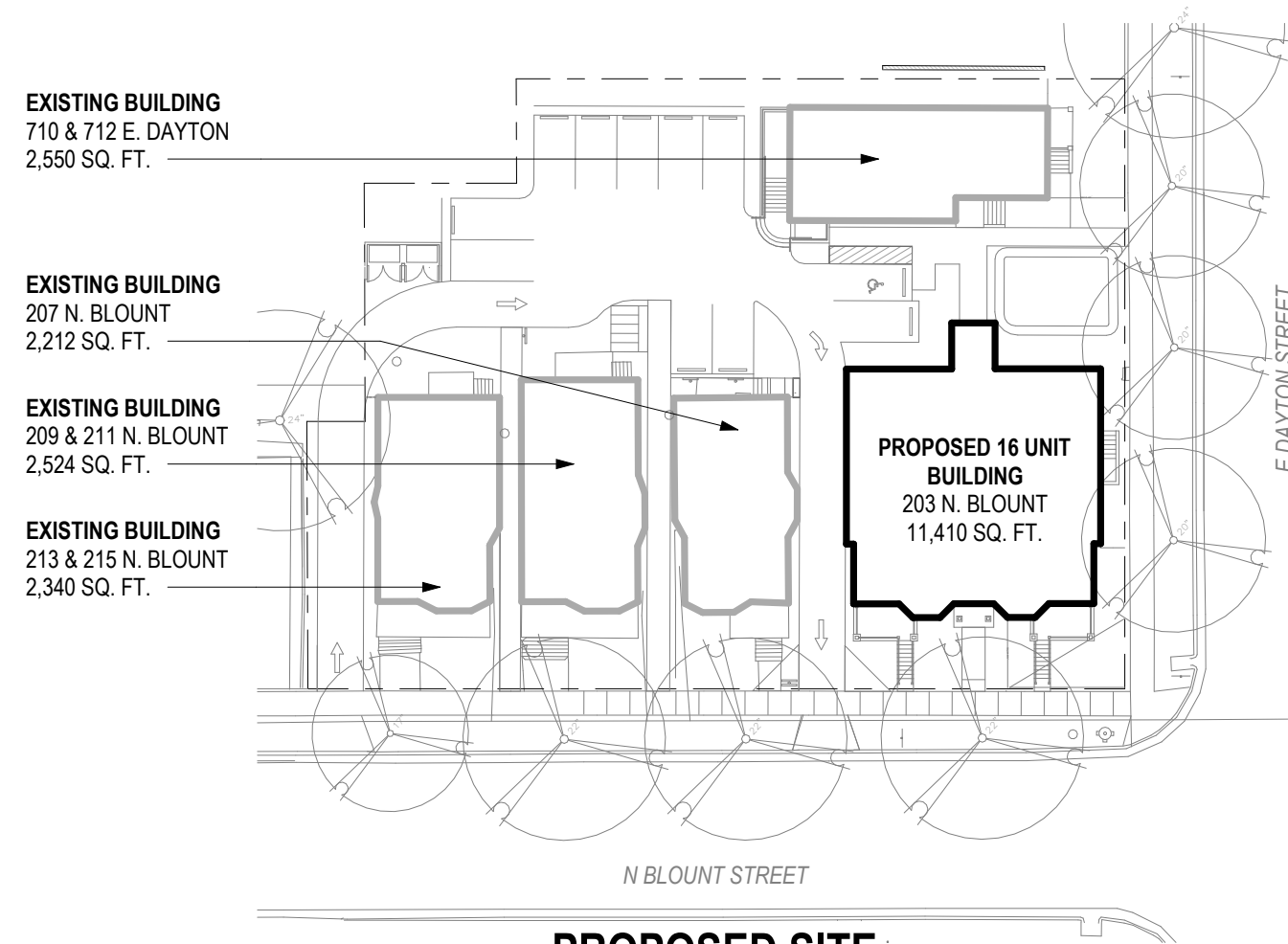
PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT # 24016

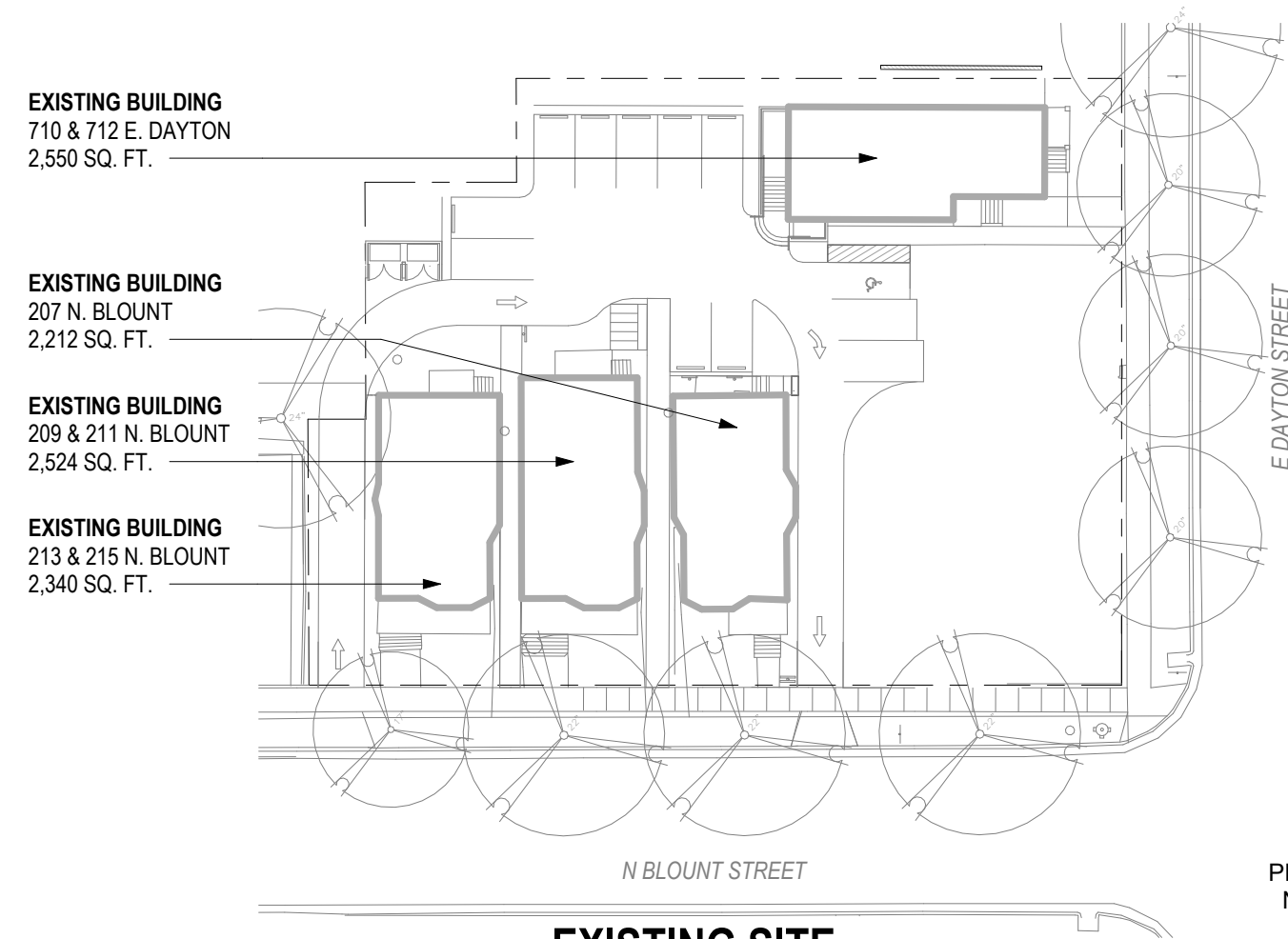
SITE CONTEXT

G0.2

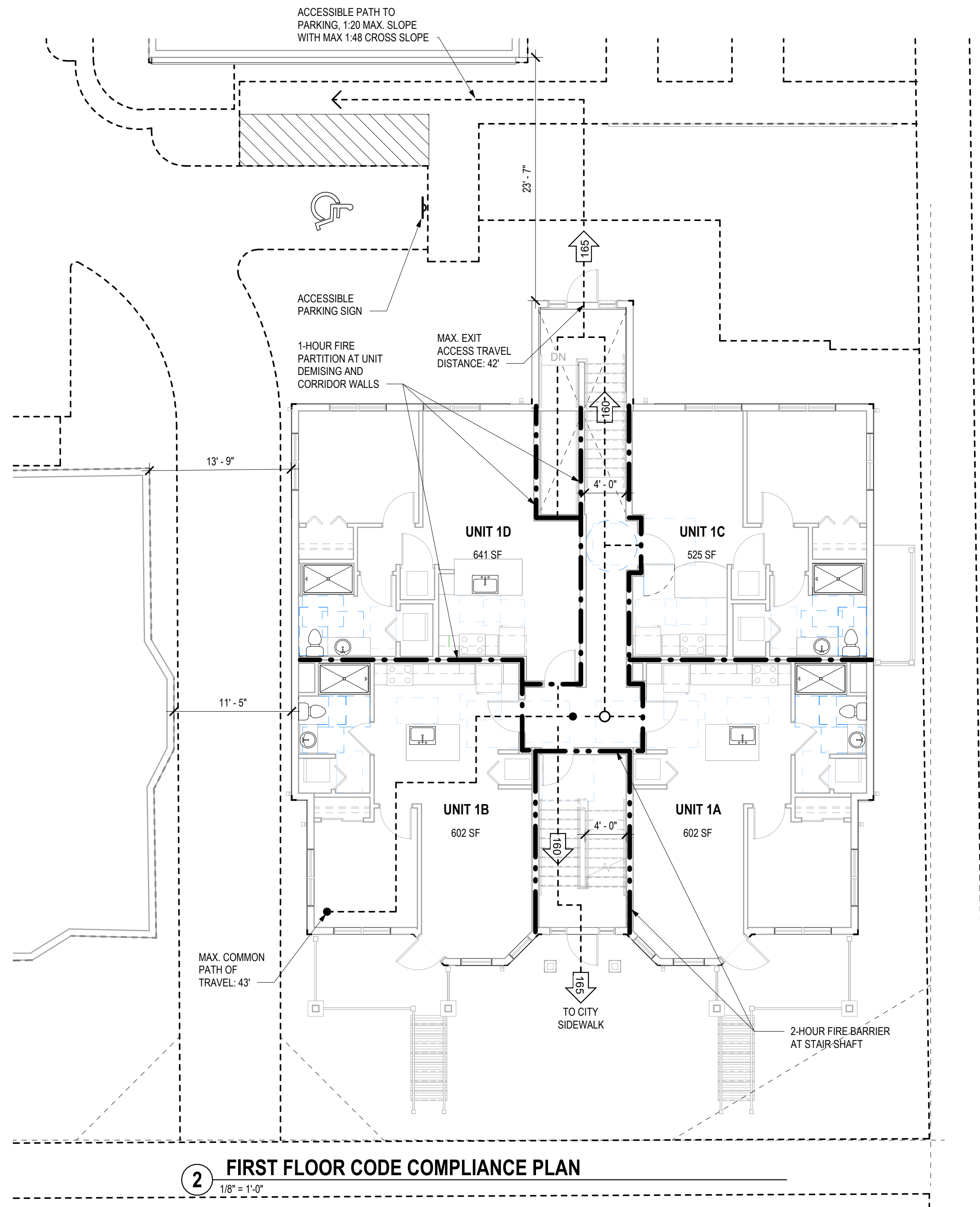
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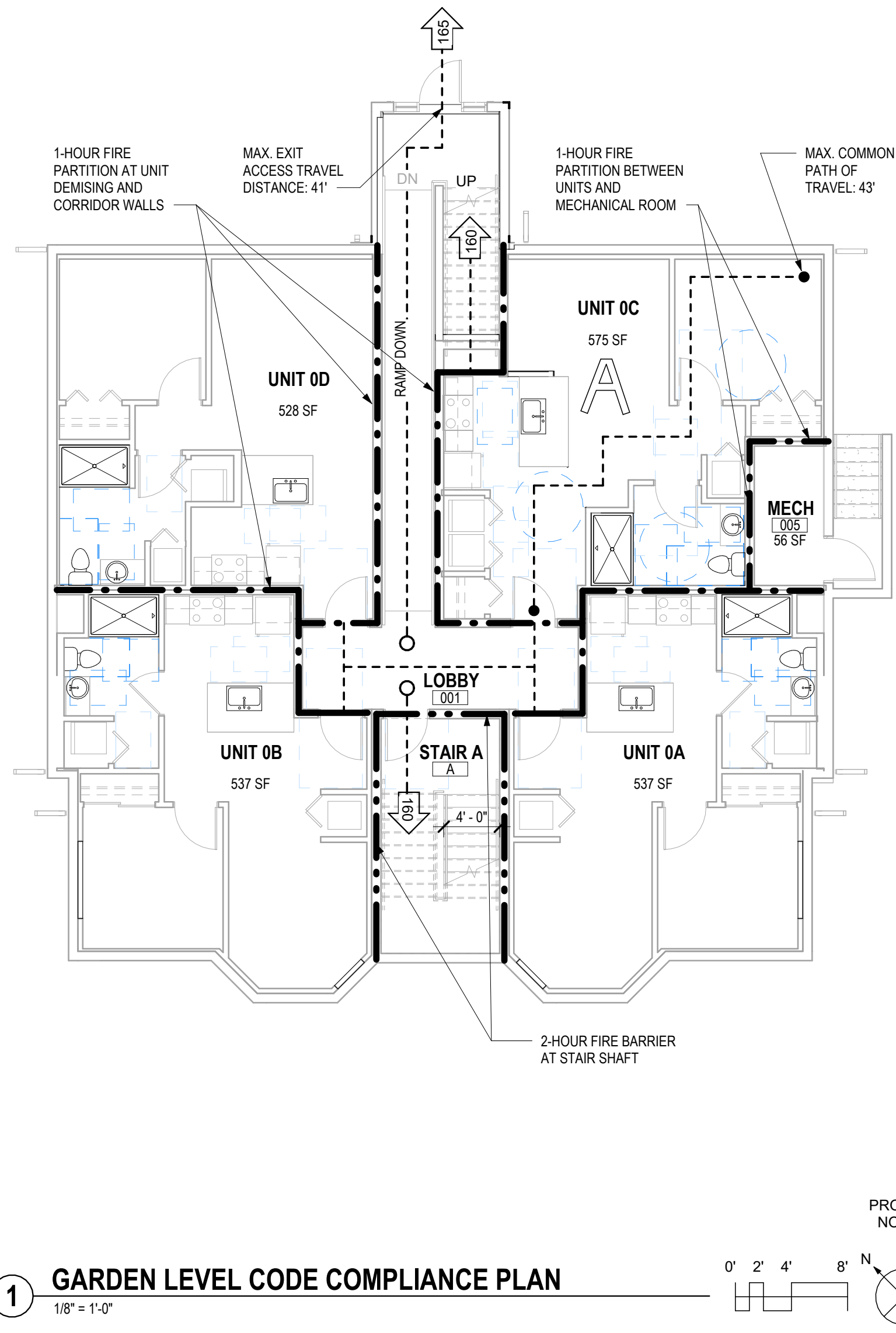
3 SITE PLAN AREAS
1" = 40'-0"



EXISTING SITE
0' 20' 40' 80' N
PROJECT NORTH



2 FIRST FLOOR CODE COMPLIANCE PLAN
1/8" = 1'-0"



1 GARDEN LEVEL CODE COMPLIANCE PLAN
1/8" = 1'-0"

CODE COMPLIANCE GENERAL NOTES

- A. ALL UNITS ARE TYPE "B" UNLESS NOTED OTHERWISE, REFER TO ENLARGED UNIT PLANS FOR INFORMATION AND REFERENCES TO ACCESSIBLE CRITERIA.
- B. ALL "TYPE A" UNITS ARE DESIGNED TO COMPLY WITH THE REQUIREMENTS OF IBC ACCESSIBLE UNIT.
- C. GRAB BARS (PER 2009 ICC/ANSI A117.1)
6a) TYPE "B" UNITS PROVIDE:
BLOCKING FOR FUTURE GRAB BARS IN SHOWERS
BLOCKING FOR FUTURE SHOWER SEAT
BLOCKING FOR FUTURE GRAB BARS AT TOILETS
6b) "TYPE A" UNITS PROVIDE:
BLOCKING FOR FUTURE GRAB BARS IN SHOWERS
BLOCKING FOR FUTURE SHOWER SEAT
BLOCKING FOR FUTURE GRAB BARS AT TOILETS
- D. REFER TO SHEET G0.4 FOR ACCESSIBLE MOUNTING AND CLEARANCES INFORMATION.
- E. ALL FIRE EXTINGUISHER CABINETS SHALL BE IN APPROVED LOCATIONS WITH A MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET PER I.F.C.
- F. COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 125' PER 1006.2.1.
- G. EXIT ACCESS TRAVEL DISTANCE IS 250' WITH SPRINKLERS PER TABLE 1017.2.
- H. FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN THE FIELD WITH SIGNS OR STENCILING PER IBC 703.7
- I. SMOKE ALARMS SHALL BE PROVIDED IN EACH ROOM USED FOR SLEEPING PURPOSES AND IN EACH ROOM IN THE IMMEDIATE VICINITY OF EACH BEDROOM PER IBC 907.2.11.2. IN-UNIT SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. ALARMS SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- J. SMOKE ALARMS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING'S COMMERCIAL POWER SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION PER IBC 907.2.11.6.
- K. CARBON MONOXIDE ALARMS TO BE PROVIDED PER SPS 362.0915 AND SHALL BE LOCATED IN ANY ROOMS CONTAINING FUEL BURNING APPLIANCES, INCLUDING BUT NOT LIMITED TO FURNACES, BOILERS, AND WATER HEATERS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED THROUGHOUT BASEMENT PER SPS 362.0915(2) (a)(6)b. ALARMS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING'S COMMERCIAL POWER SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. WIRING SHALL BE PERMANENT WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION PER IBC 915.
- L. FIRE ALARM PLANS SHALL BE SUBMITTED FOR REVIEW TO DSPS OR MADISON FIRE DEPARTMENT AS PART OF A DEFERRED SUBMITTAL.

ATTIC COMPLIANCE GENERAL NOTES

- A. DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE ATTIC SPACES, MANSARDS, OVERHANGS, OR OTHER CONCEALED ROOF SPACES. DRAFTSTOPPING SHALL BE INSTALLED ABOVE AND IN-LINE WITH DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE.
- B. DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000SF, OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER.
- C. OPENINGS IN ATTIC DRAFTSTOPPING PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

CODE COMPLIANCE SYMBOLS LEGEND

- A** INDICATES "TYPE A" UNIT
- FEC** INDICATES FIRE EXTINGUISHER CABINET LOCATION
- X**
XXX INDICATES OCCUPANCY TYPE AND CAPACITY
- INDICATES ADA ACCESSIBLE ROUTE
- XXX** INDICATES EXIT AND EXIT CAPACITY
EGRESS WIDTH FACTOR
STAIRWAYS = 0.3" PER OCCUPANT
ALL OTHER EGRESS COMPONENTS = 0.2" PER OCCUPANT
- INDICATES 1 HOUR FIRE RATED ASSEMBLY (SEC 709)
- INDICATES 2 HOUR FIRE RATED ASSEMBLY (SEC 709)
- --- ○ EXIT ACCESS TRAVEL DISTANCE
- --- ● COMMON PATH OF TRAVEL DISTANCE

NEW 16-UNIT MULTI-FAMILY

203 N BLOUNT STREET
MADISON, WI 53703

DATE OF ISSUE: 11/20/25

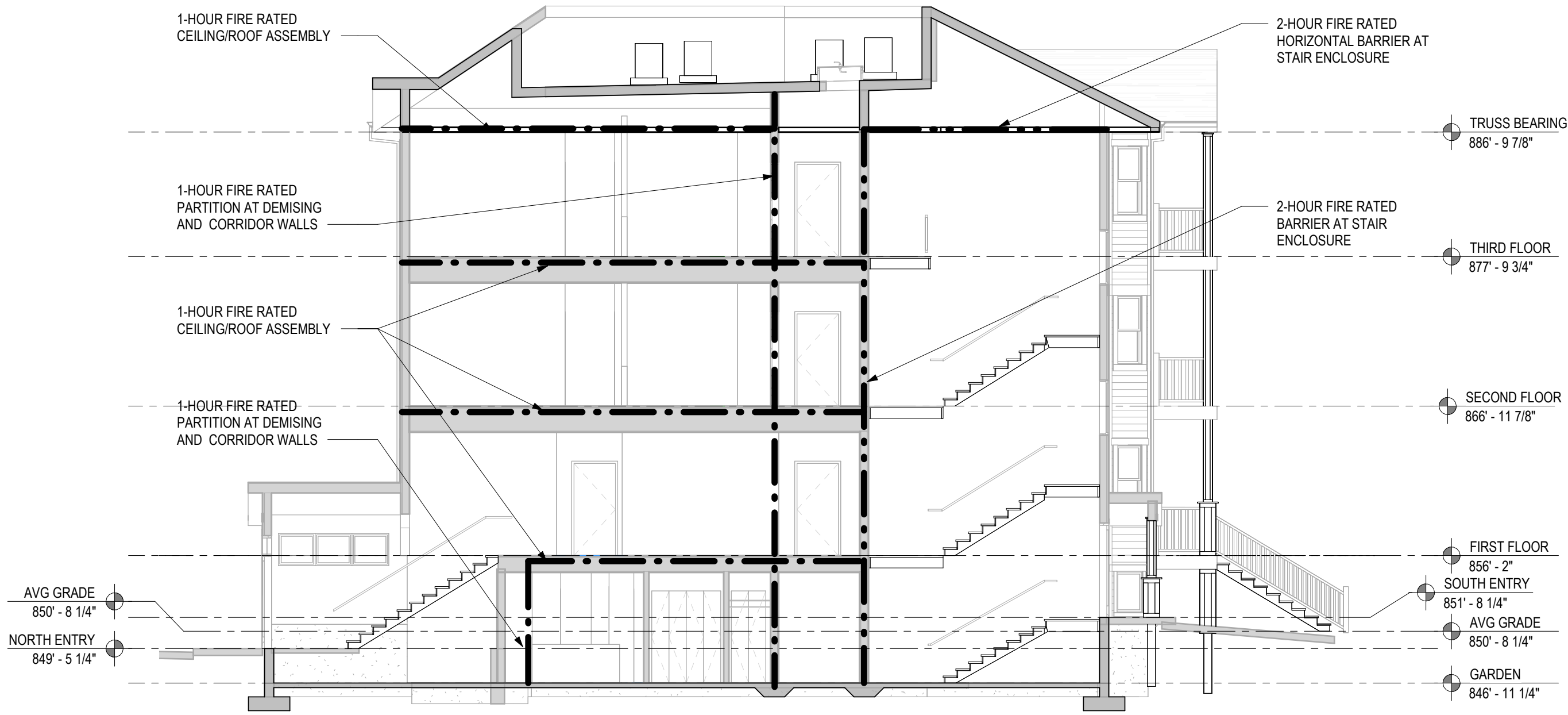
REVISIONS:

PROJECT # 24016

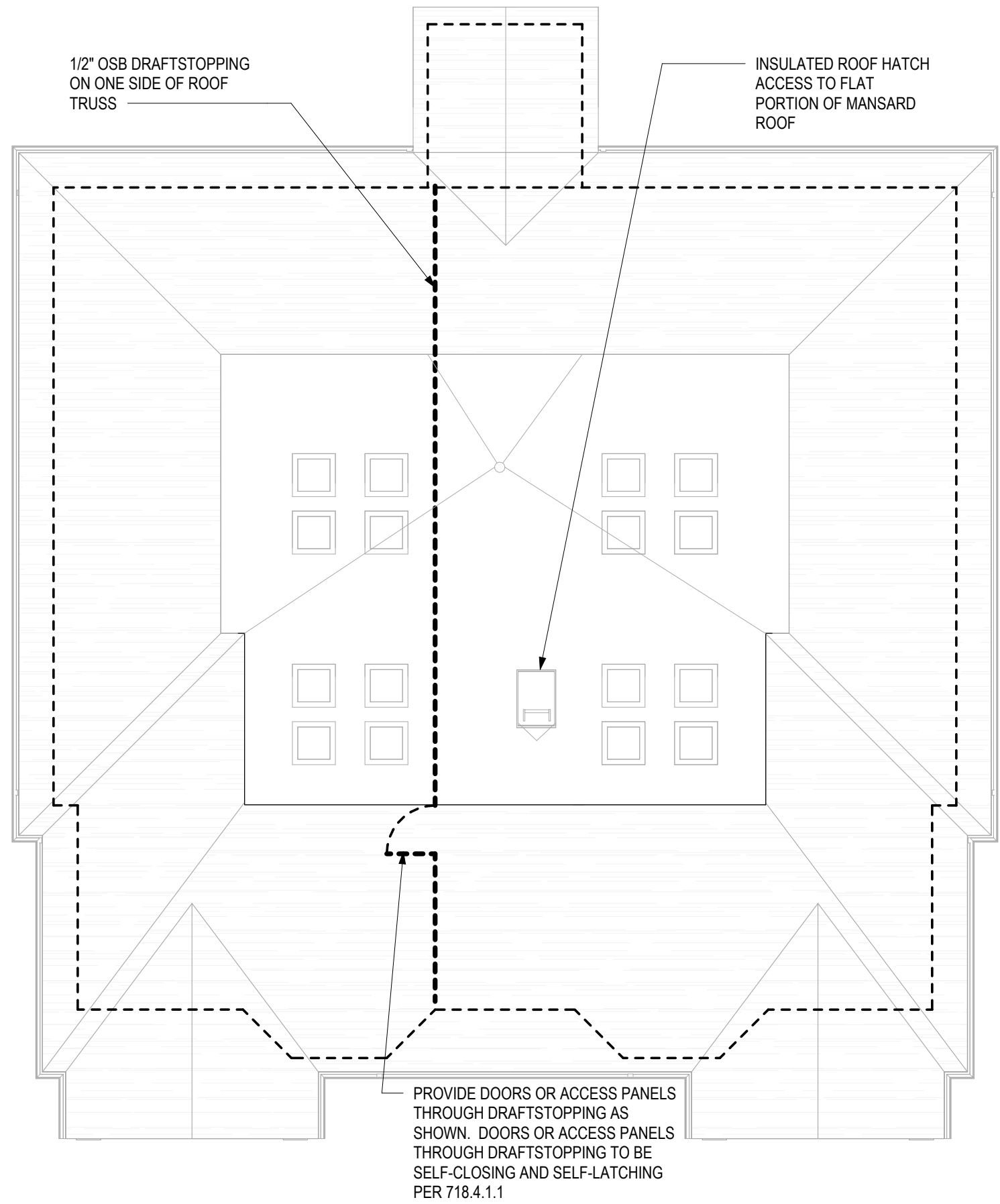
CODE COMPLIANCE PLAN

G1.0

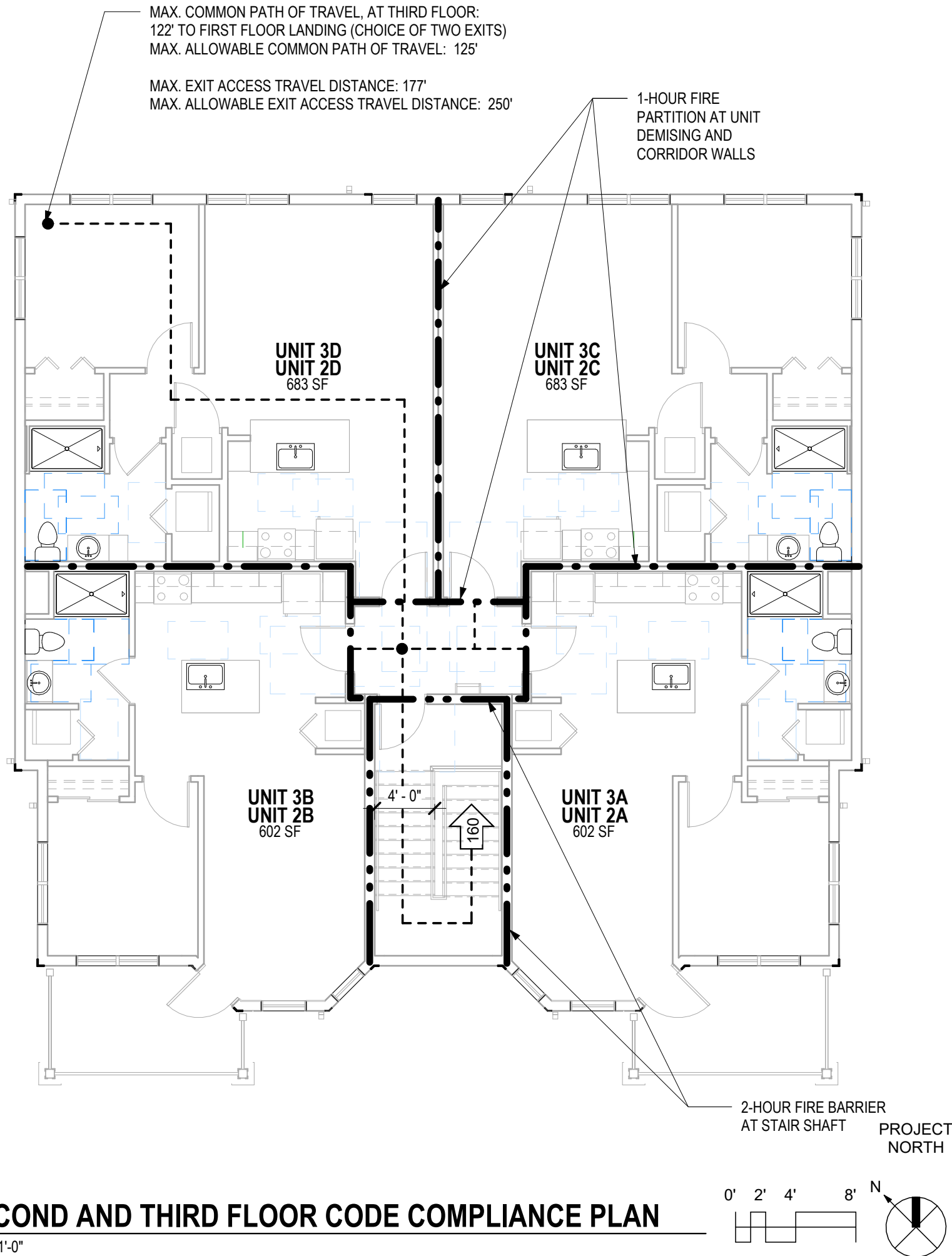
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4 CODE COMPLIANCE SECTION
1/8" = 1'-0"



2 ATTIC COMPLIANCE PLAN
1/8" = 1'-0"



3 SECOND AND THIRD FLOOR CODE COMPLIANCE PLAN
1/8" = 1'-0"

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NEW 16-UNIT MULTI-FAMILY

203 N BLOUNT STREET
MADISON, WI 53703

DATE OF ISSUE: 11/20/2025

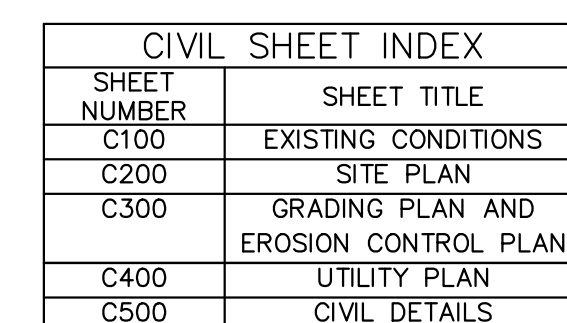
REVISIONS:

PROJECT # 24016

CODE COMPLIANCE PLANS

G1.1

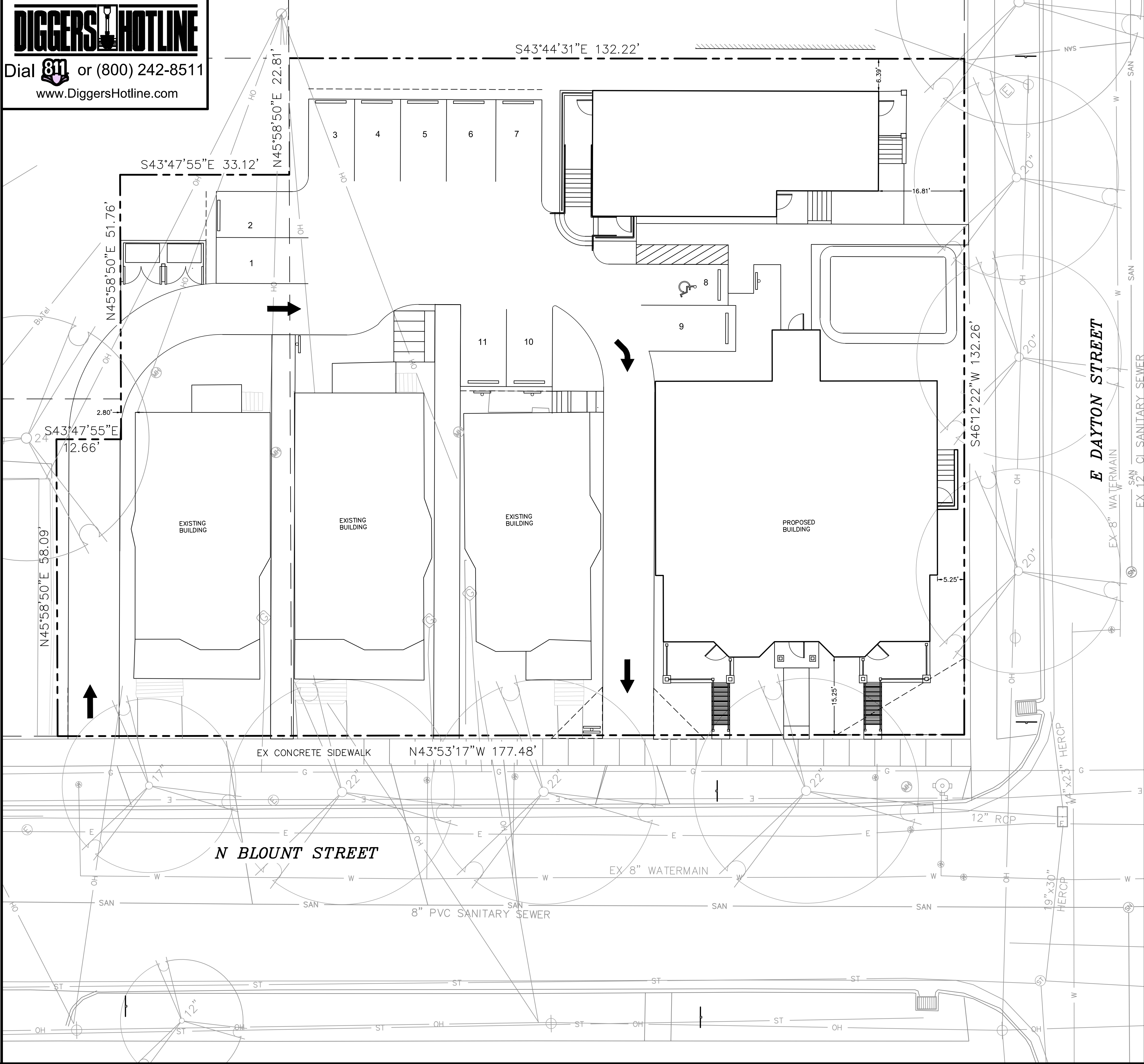
GRID NORTH



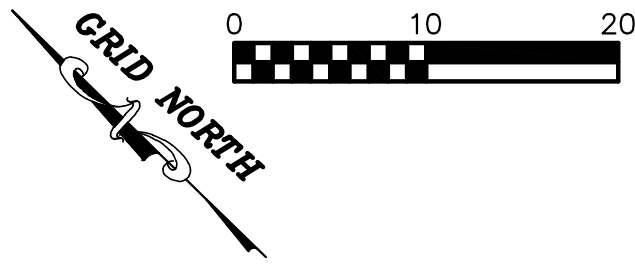
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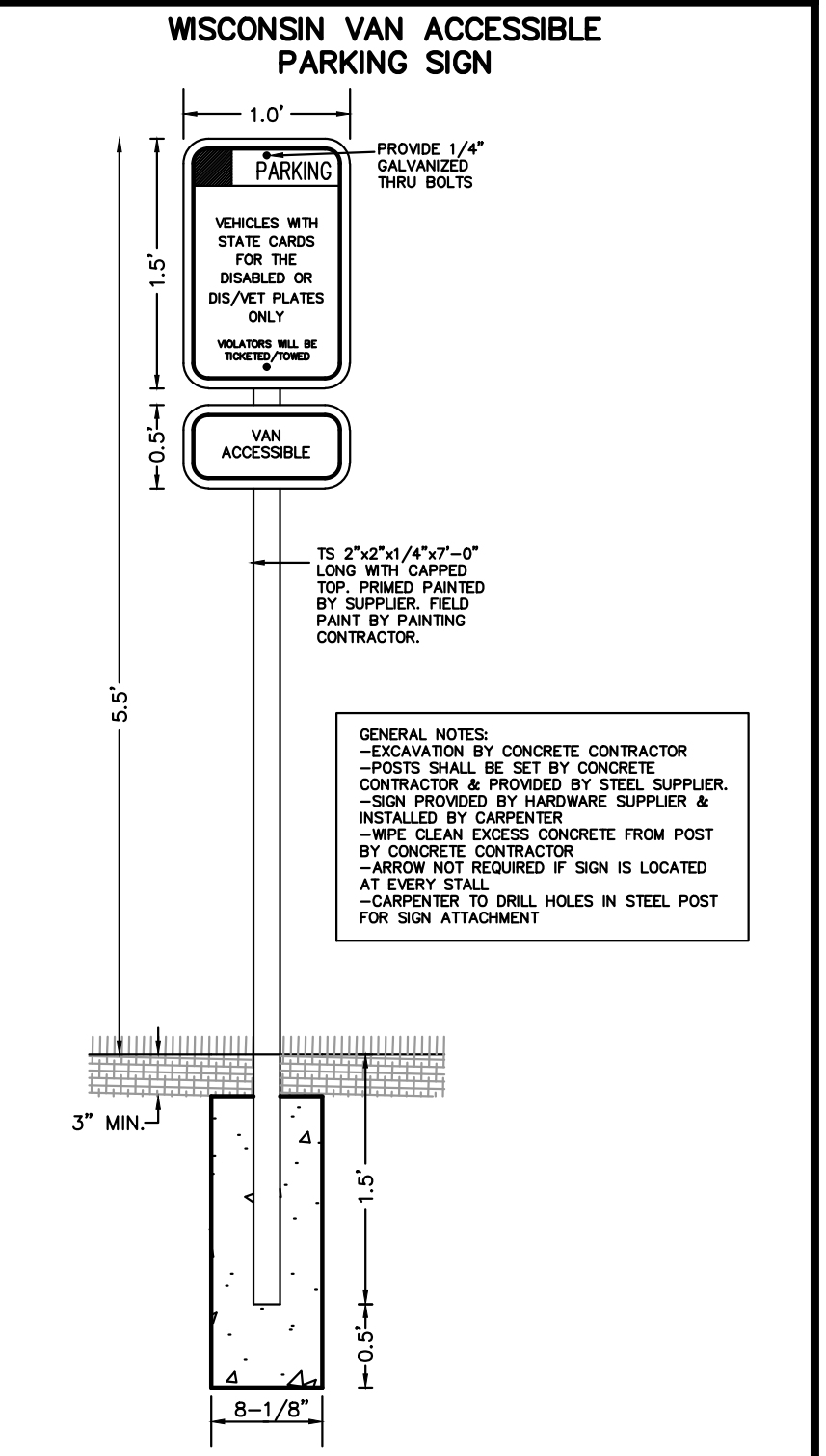
DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com



SITE PLAN NOTES:
CITY OF MADISON PROPERTY
ASSESSOR LISTS THE PROPERTY
ADDRESS AS 203 N BLOUNT STREET
ZONED PD, WP-24
FRONTAGE IS 177' - N BLOUNT ST



- LEGEND**
- 1-1/4" SOLID IRON ROD FOUND
 - 1" IRON PIPE FOUND
 - FOUND CHISELED "X" IN CONCRETE
 - FOUND SURVEY NAIL
 - 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
 - OVERHEAD UTILITY WIRE
 - BURIED GAS LINE
 - WATER MAIN
 - SANITARY SEWER
 - STORM SEWER
 - BURIED ELECTRIC
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - EXISTING SPOT ELEVATION
 - BOLLARD
 - CISTERN
 - WATER VALVE
 - GAS METER
 - UTILITY POLE
 - CHAIN LINK FENCE
 - LIGHT POLE
 - GUY WIRE
 - DECIDUOUS TREE
 - INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

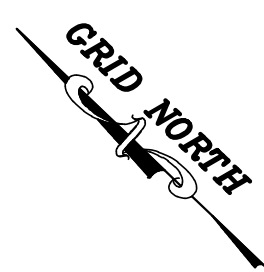


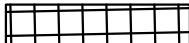
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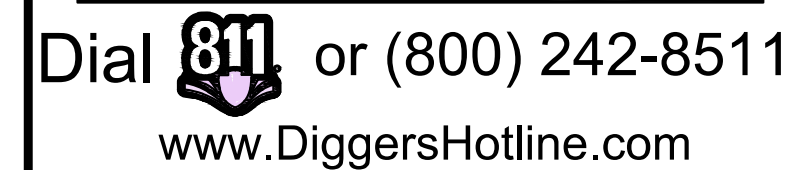
Burse
Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: Mburse@BSE-INC.net
www.burse-surveying.com

NEW 16-UNIT MULTI FAMILY
201-215 N. Blount St
Madison, WI 53704
Renaissance Property Group, LLC
2132 Forde Ave, Suite #1400
Madison, WI 53704

PROJECT #: BSE1908
PLOT DATE: 10/20/2025
REVISION DATES:
ISSUE DATES:
UDC Initial & Final 10/20/2025
SITE PLAN
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DRAWING NUMBER
C200



— — 852 — —	EXISTING MINOR CONTOUR
— — 855 — —	EXISTING MAJOR CONTOUR
— 852 —	PROPOSED MINOR CONTOUR
— 855 —	PROPOSED MAJOR CONTOUR
861.81	PROPOSED SPOT ELEVATION
861.81 EP	PROPOSED EDGE-OF-PAVEMENT ELEVATION
861.81 SW	PROPOSED SIDEWALK ELEVATION
861.81 DS	PROPOSED DOOR SILL
861.81	EXISTING SPOT ELEVATION
IP	INLET PROTECTION
	SILT FENCE
	TRACKING PAD
	PUMP DISCHARGE FILTER BAG
	CONCRETE WASHOUT CONTAINER



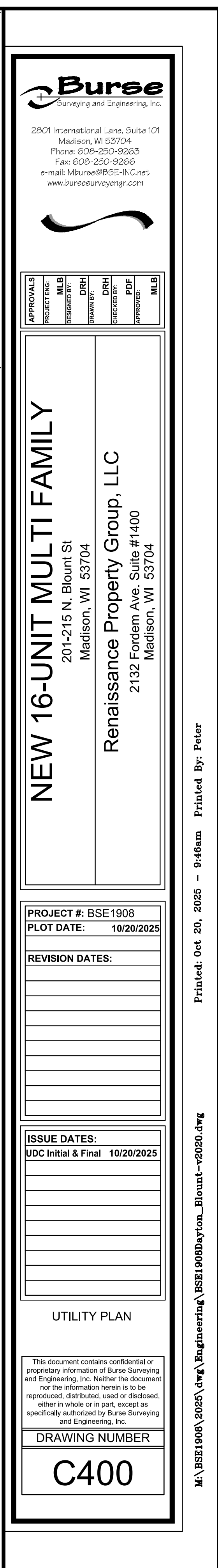
APPROVALS
PROJECT ENG:
MLB
DESIGNED BY:
DRH
DRAWN BY:
DRH
CHECKED BY:
PDF
APPROVED:
MLB

Renaissance Property Group, LLC
Madison, VT 05704

REVISION DATES:

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C300



NOT FOR CONSTRUCTION

Erosion Control Notes/Specifications:

- Erosion control devices and/or structures shall be installed prior to clearing and grubbing perations. These shall be properly maintained for maximum effectiveness until vegetation is re-established.
- Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
- All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
- Construction Entrances – Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057. Refer to WDNR's stormwater web page of technical standards at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. The Tracking Pad must be maintained in a condition that prevents the tracking of material onto the public street.
- Soil Stockpiles – A row of silt fence placed downslope and at least 10 feet away from the stockpile shall protect all stockpiles. Soil stockpiles that are inactive for more than 14 consecutive days shall be stabilized with seed & mulch, erosion mat, polymer, or covered with tarps or similar material. No stockpile shall be placed within 20 feet of a drainage way.
- Dewatering – Water pumped from the site shall be treated by using a geotextile bag. Sandy soil is expected to be found at the bottom of the excavation, therefore Geotextile Bags shall be Type I per DNR Technical Standard 1061. The following table identifies the size a bag required for a given sized pump. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.

Pump Size (Max GPM)	Type II Bag Size (sq-ft)
25	17
50	34
75	51

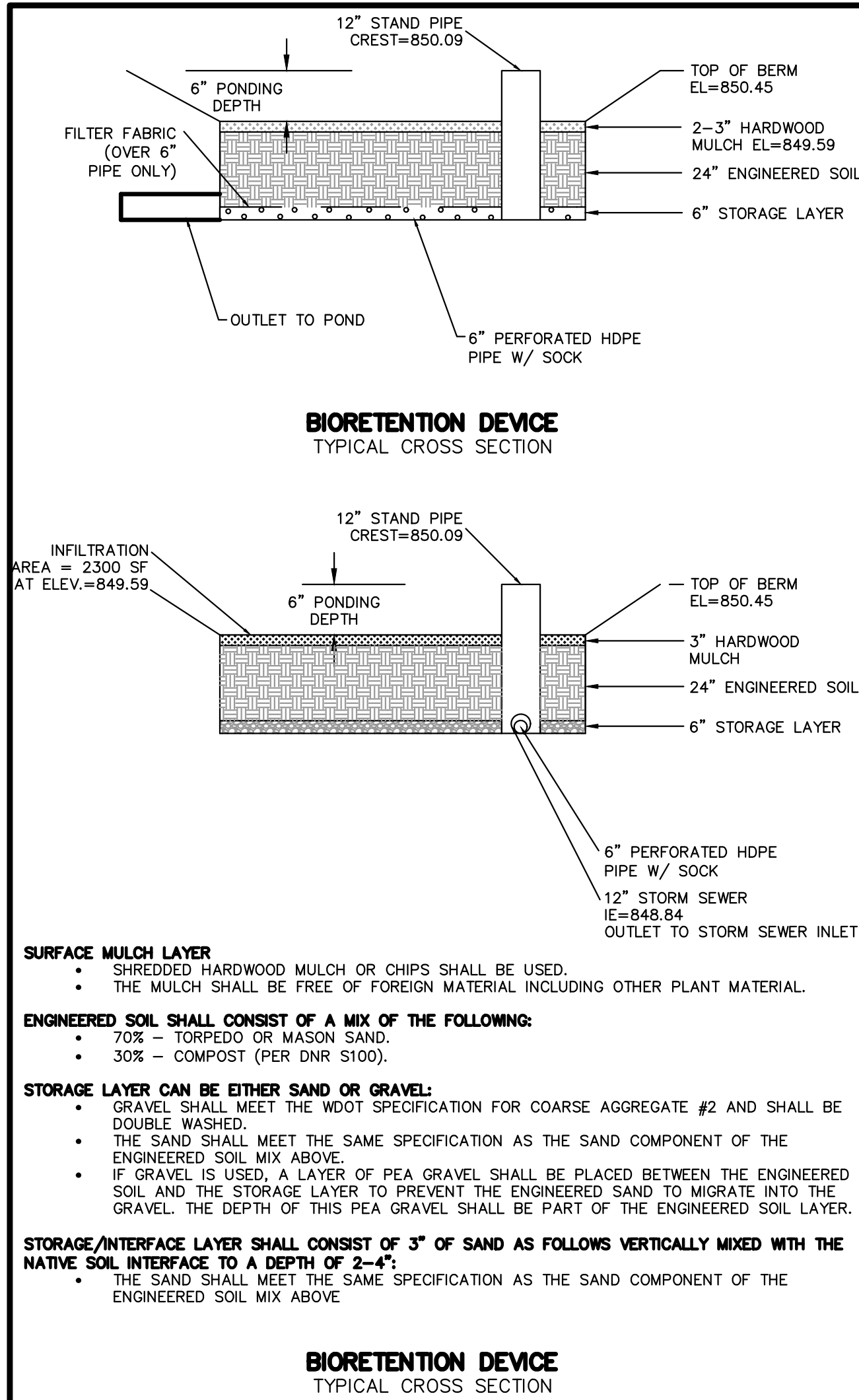
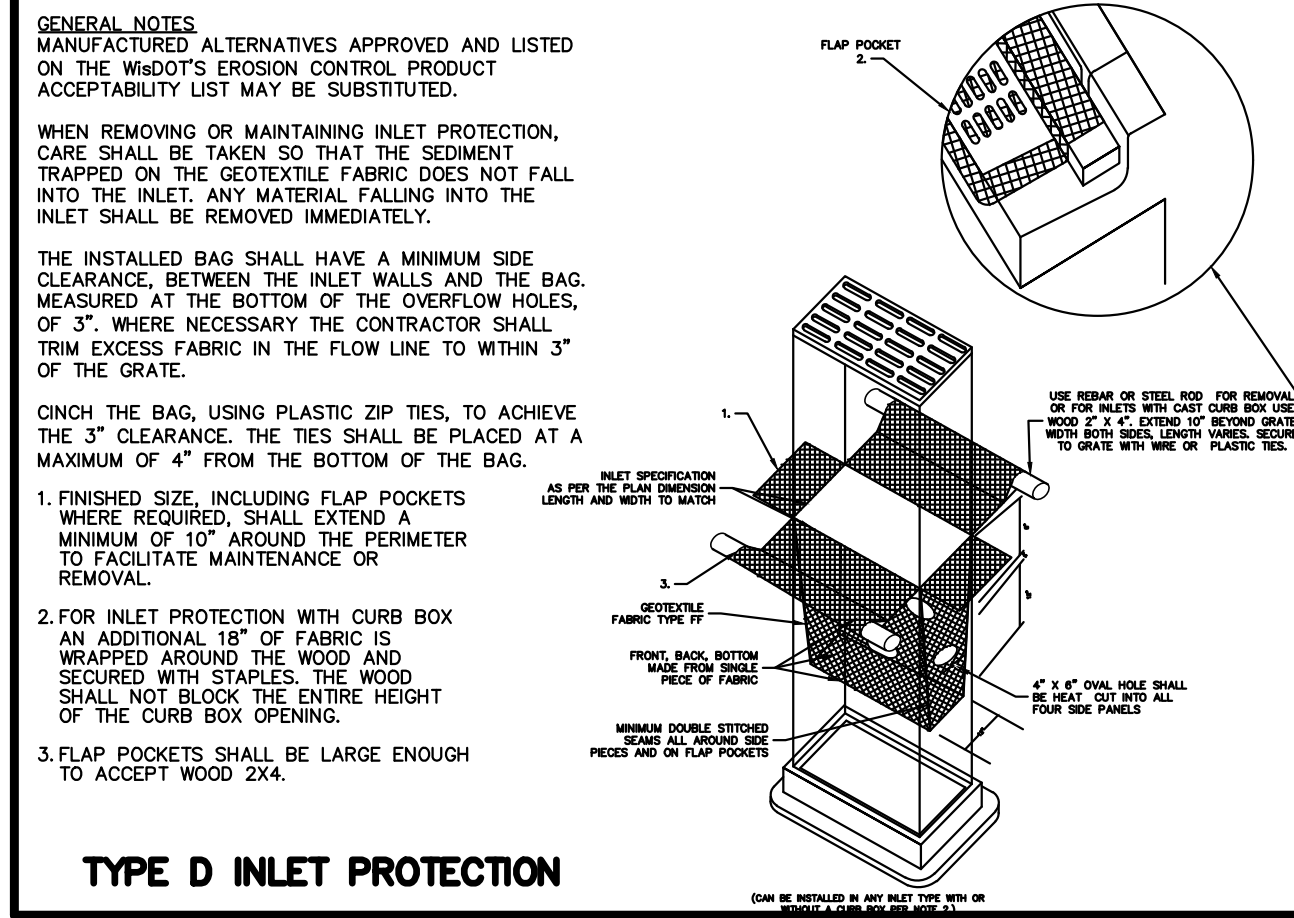
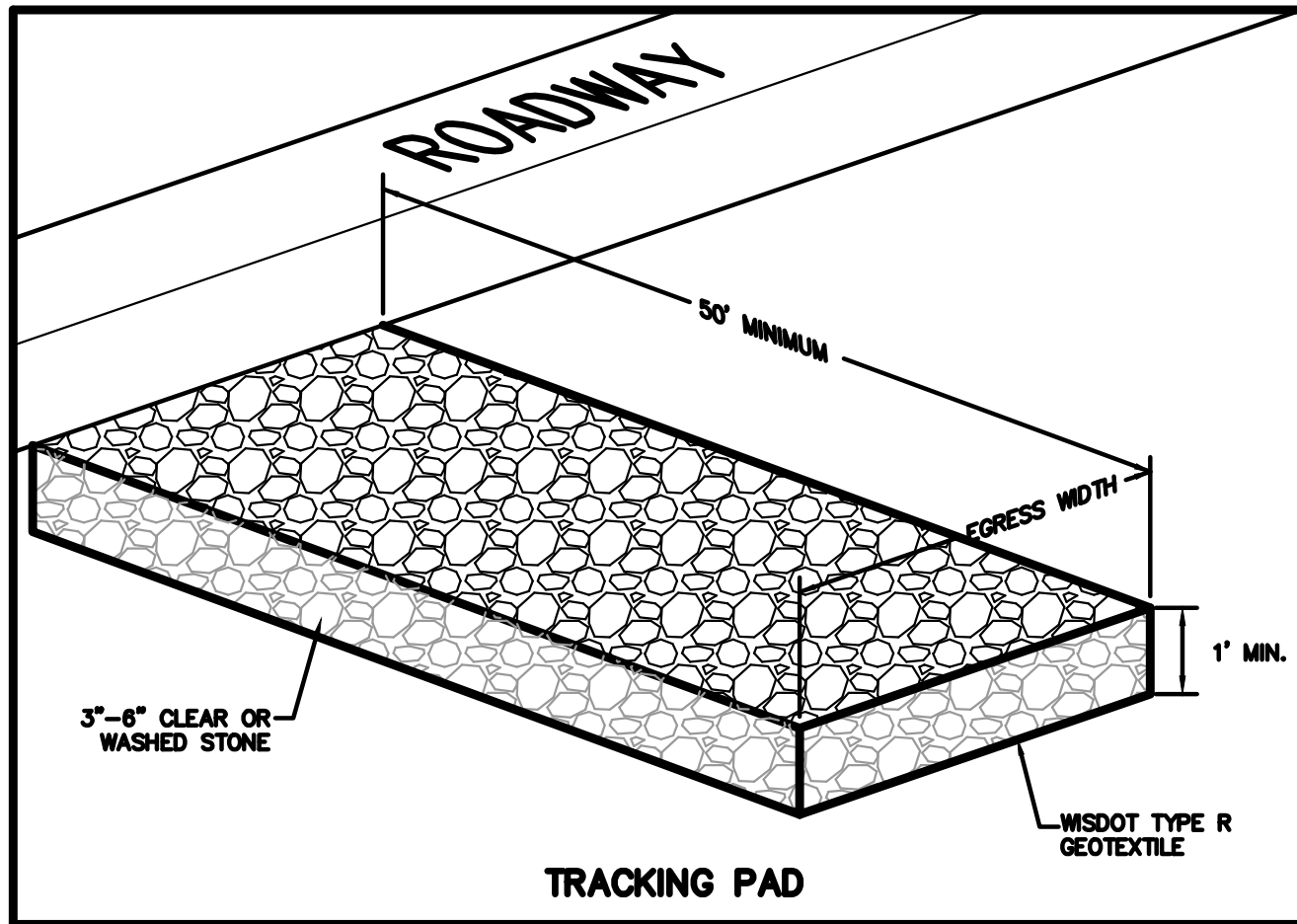
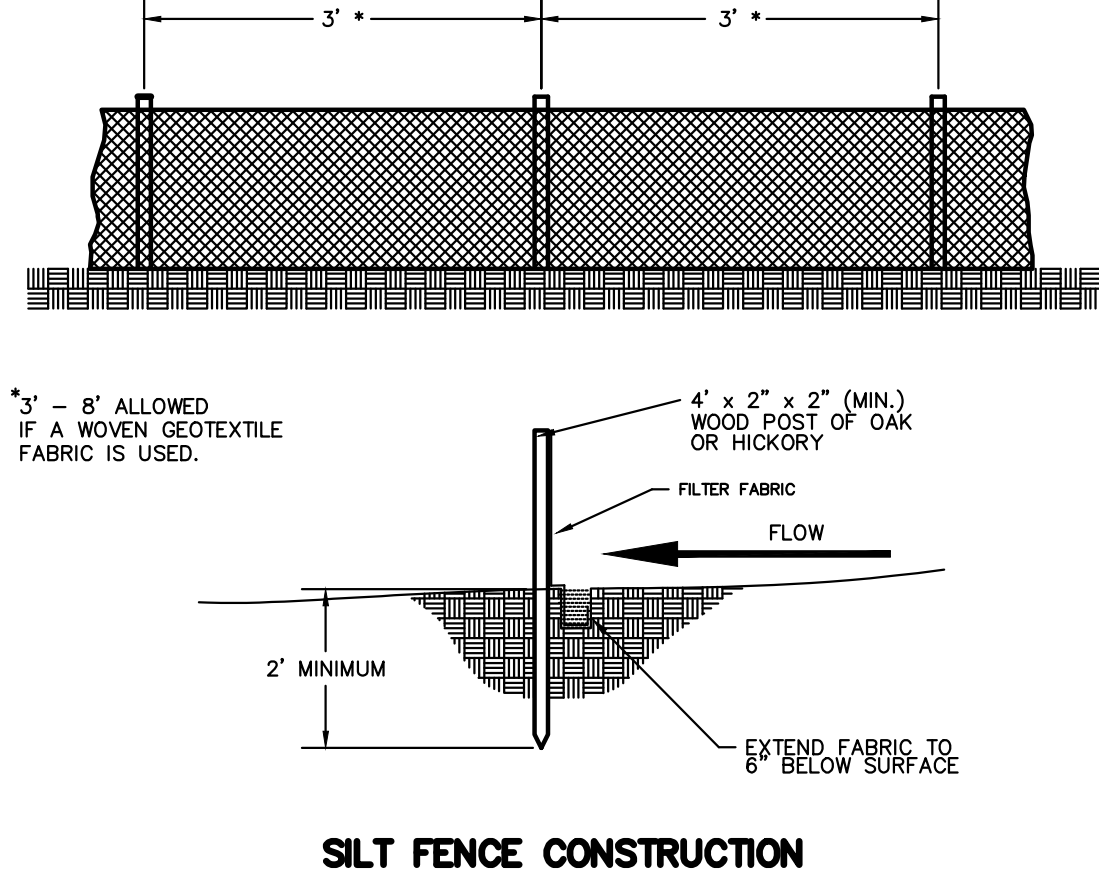
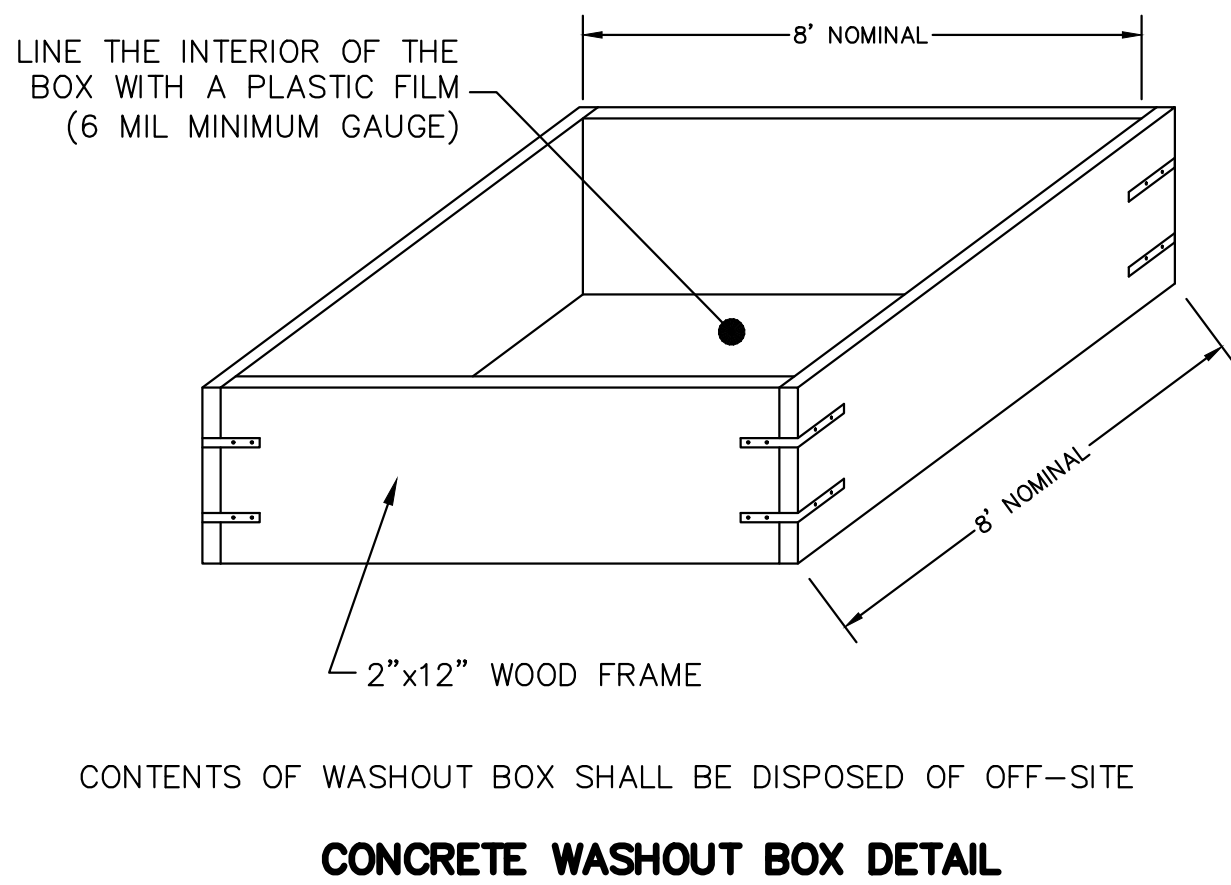
- Storm Sewer Inlets – Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pol.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until plat-level stabilization is complete.
- Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
- No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
- Erosion control devices shall adhere to the technical standards found at: <http://dnr.wi.gov/runoff/stormwater/techstds.htm> and comply with all City of Madison ordinances.
- All debris tracked onto public streets shall be be swept or scraped clean by the end of each workday.
- All building and waste material shall be handled properly to prevent runoff of these materials off of the site.
- All disturbed areas shall be seeded immediately after grading activities have been completed.
- All disturbed areas, except paved areas, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed, and mulch. Seed mixtures shall be selected appropriate to the intended function. A qualified Landscaping Contractor, Landscape Architect or Nursery can be consulted for recommendations. Seeding rates shall be based on pounds or ounces of Pure Live Seed per acre and shall be provided by the seed supplier; Fertilizer can be applied to help promote growth, but a soil test is recommended to determine the type and amount of fertilizer to be applied. All seeding and restoration shall be in conformance to WDNR Technical Standard 1059 found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. Seeding and sodding may only be used from May 1st to September 15th of any year. Temporary seed shall be used after September 15. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
- For the first six (6) weeks after the initial stabilization of a disturbed area, watering shall be performed whenever more than seven (7) days of dry weather elapse.

Emergency Contact

Michael Matty
2132 Fordem Avenue Suite #1400
Madison WI 53704
608.301.0000
mmatty@pgrentals.com
www.rpgrentals.com

Schedule:

- | | |
|--------------------|---|
| February 2, 2026 | Install silt fence and construction entrance. Start demolition. |
| February 23, 2026 | Begin construction of new building |
| July 17, 2026 | Building complete and all site work completed. Seed and mulch all disturbed area and/or install landscaping |
| September 17, 2026 | Vegetation established. |



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Burse
Surveying and Engineering, Inc.

2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9268
e-mail: MBurse@BSE-INC.net
www.burseurveyengr.com

APPROVALS	PROJECT FILE	MLB	DRH	DDH	PDF	MLB
PROJECT FILE	MLB	DRH	DDH	PDF	MLB	MLB

NEW 16-UNIT MULTI FAMILY

201-215 N. Blount St
Madison, WI 53704

Renaissance Property Group, LLC

2132 Fordem Ave. Suite #1400
Madison, WI 53704

PROJECT #: BSE1908
PLOT DATE: 10/20/2025

REVISION DATES:

ISSUE DATES:
UDC Initial & Final 10/20/2025

CIVIL DETAILS

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DRAWING NUMBER

C500

PD Plant Images



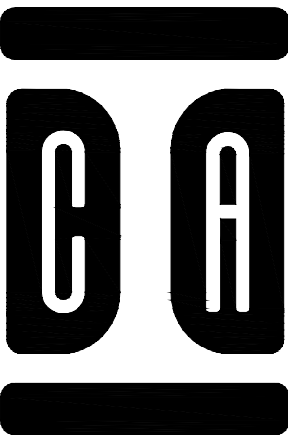
PD Plant Schedule

Key	Botanical Name	Common Name	Qty	Size	Spec	Remarks
Overstory Deciduous Tree						
AT	Acer triflorum	Three-flowered Maple	1	2.5" Cal	B&B	
Tall Evergreen Tree						
JVH	Juniperus virginiana 'Hetzii'	Hetz Red Cedar	3	5-6' Ht	B&B	Full plants, matched
Ornamental Tree						
AG	Acer griseum	Paperbark Maple	1	1.5" Cal	B&B	
AGA	Amelanchier x grandifolia 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2	1.5" Cal	B&B	
CV	Chionanthus virginicus	Fringe Tree	1	1.5" Cal	B&B	
HM	Heptacodium miconioides	Seven Son Flower Tree	2	1.5" Cal	B&B	
Deciduous Shrub						
IVL	Itea virginica 'Little Henry'	Little Henry Sweetspire	30	18" Ht	3 Gal	Full plants
RRP	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	4	18" Ht	3 Gal	Full plants, matched
POL	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	10	18" Ht	3 Gal	Matched
VD	Viburnum dentatum	Arrowwood Viburnum	1	18" Ht	3 Gal	Full plants
VJ	Viburnum x juddii	Judd Viburnum	8	18" Ht	3 Gal	Full plants, matched
Evergreen Shrub						
MAC	Mahonia aquifolium 'Compactum'	Compact Oregon Grapeholly	22	15" Ht	3 Gal	Full plants, matched
TMT	Taxus x media 'Taunton'	Taunton Yew	14	18" Ht	3 Gal	Full plants, matched
Perennial and Ornamental Grass						
calk	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	15	18" Ht	1 Gal	Matched

PD Landscape Points Schedule

Plant Type	Pts	Qty	Sub-Total
Overstory Deciduous Trees	35	2	70
Tall Evergreen Trees	35	2	70
Ornamental Trees	15	6	90
Deciduous Shrubs	3	42	126
Evergreen Shrubs	4	27	108
Ornamental Grasses	2	15	30
Total Provided			494
Total Required (Developable Area 13,298 x 5 points/300 sf = 221.63		Say	222

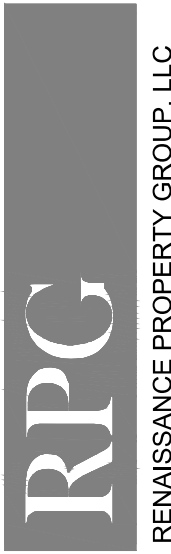
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InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
866-297-1762 (fax)
info@icsarc.com

INSITE CONSULTING ARCHITECTS

1/4 Point - New Multi-Family Residential
201-215 N Blount St.
Madison, WI 53703



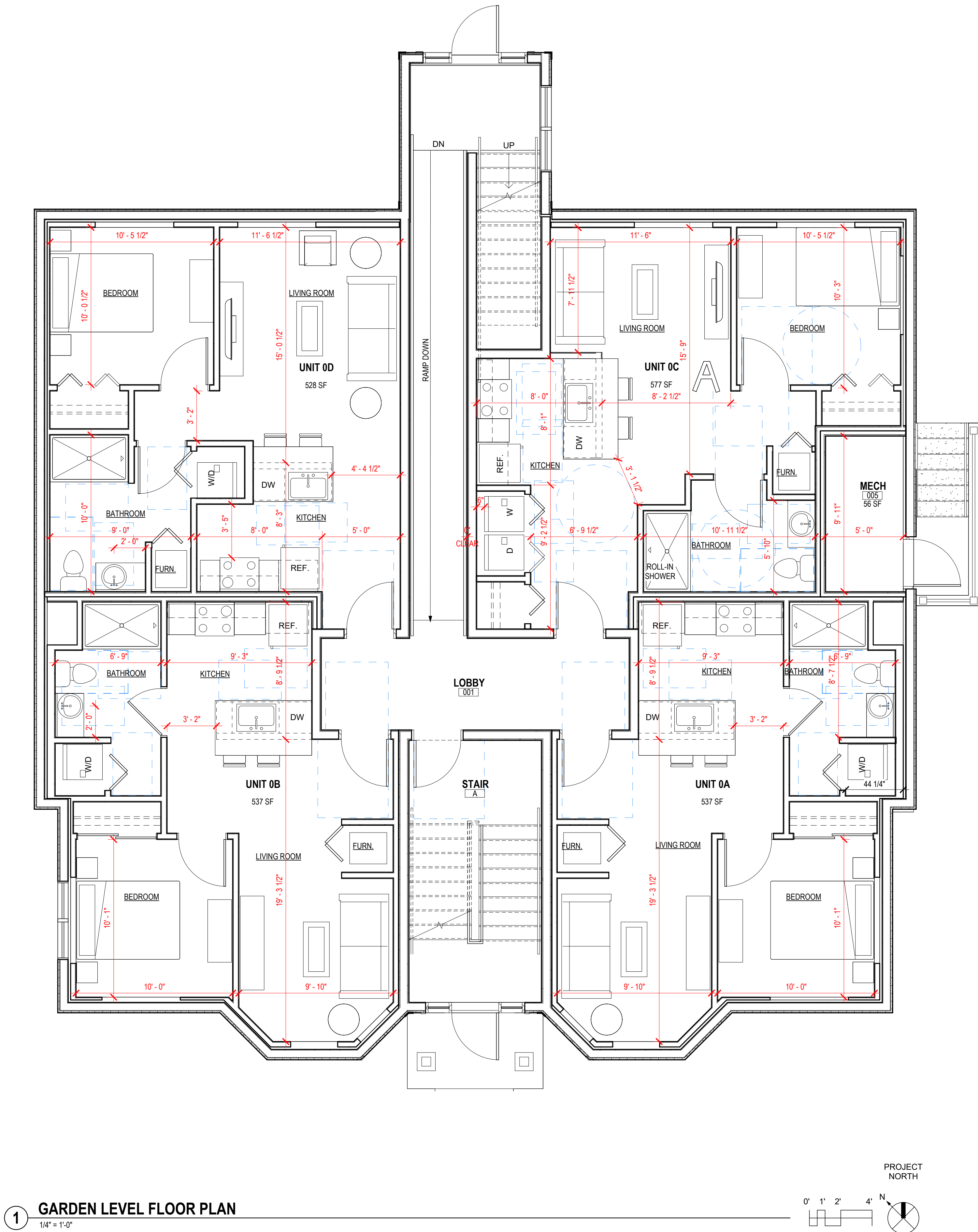
ICA NO. RPG 16-003

PLANT SCHEDULE

6-15-17
ISSUE FOR FINAL CITY APPROVAL

L1.02

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FLOOR PLAN GENERAL NOTES

- A. SEE SHEET A5.0 FOR LARGE SCALE PLANS.
- B. SEE SHEET A7.0 FOR INTERIOR ELEVATIONS.
- C. PROVIDE VERTICAL CONTROL JOINTS (C/J'S) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- D. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
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- G. GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
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- I. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL JOINTS.
- J. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
- K. ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.
- L. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

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NEW 16-UNIT MULTI-FAMILY

203 N BLOUNT STREET
MADISON, WI 53703

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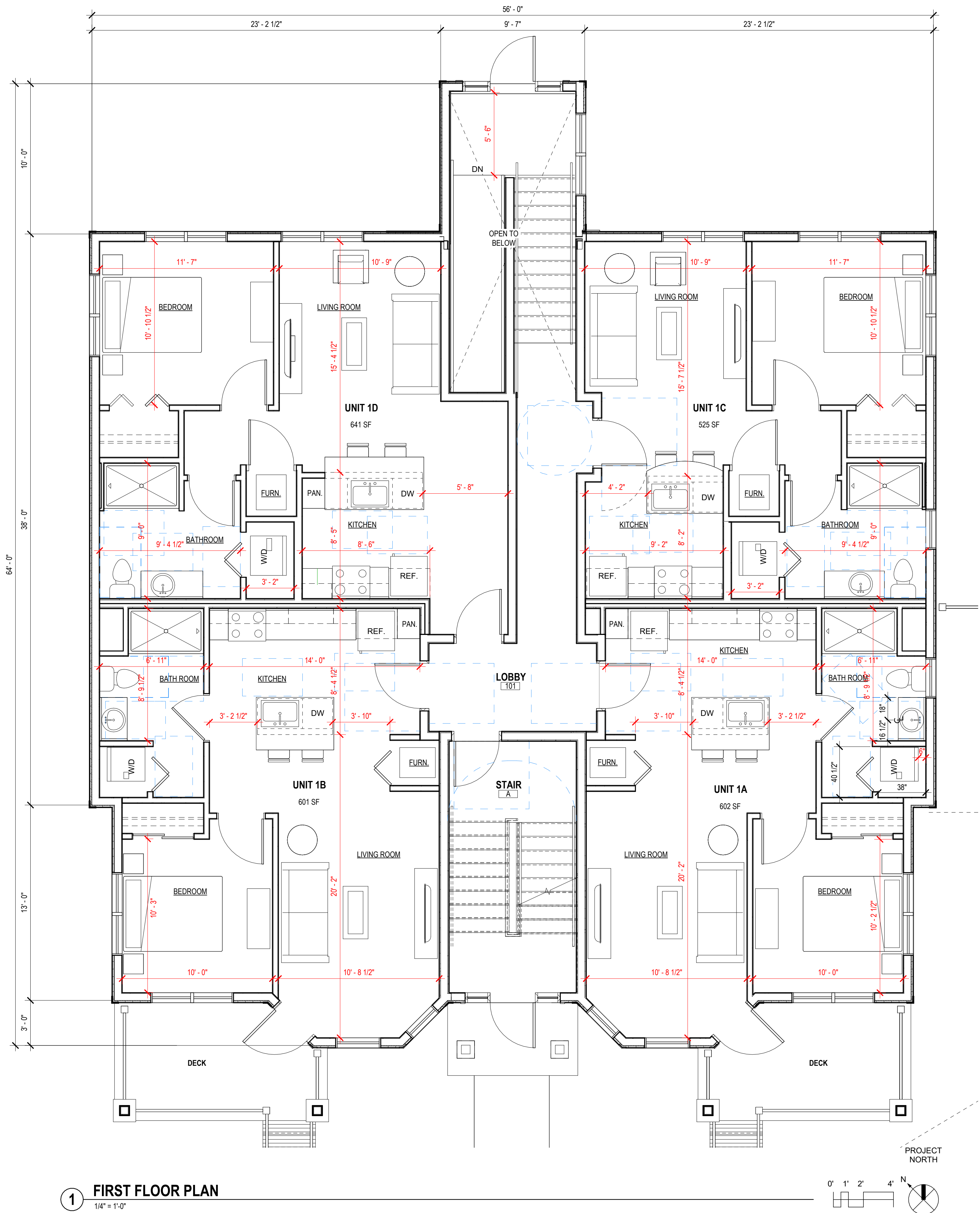
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**GARDEN LEVEL
FLOOR PLAN**

A1.0

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1 FIRST FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

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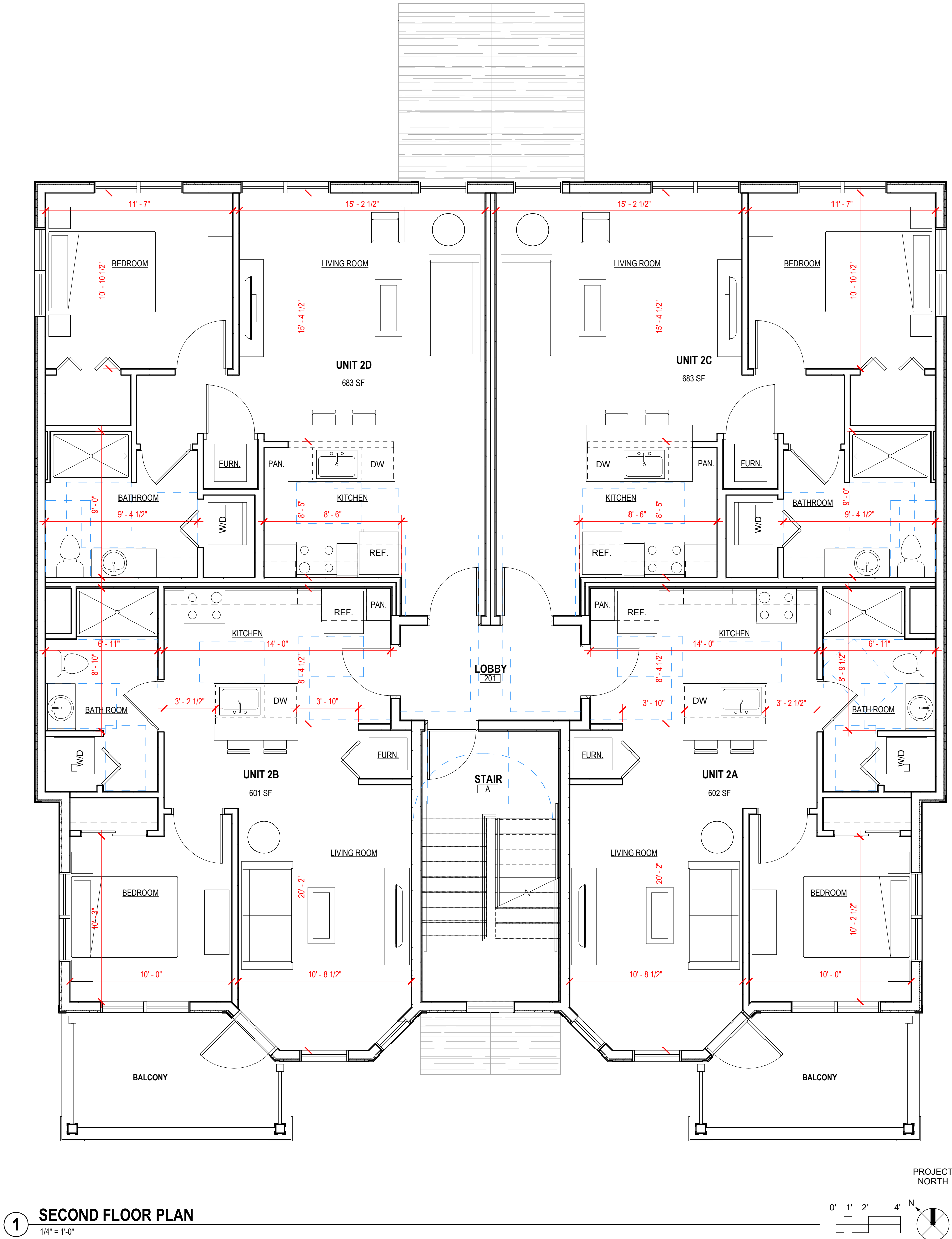
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FIRST FLOOR PLAN

A1.1

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1 SECOND FLOOR PLAN
1/4" = 1'-0"

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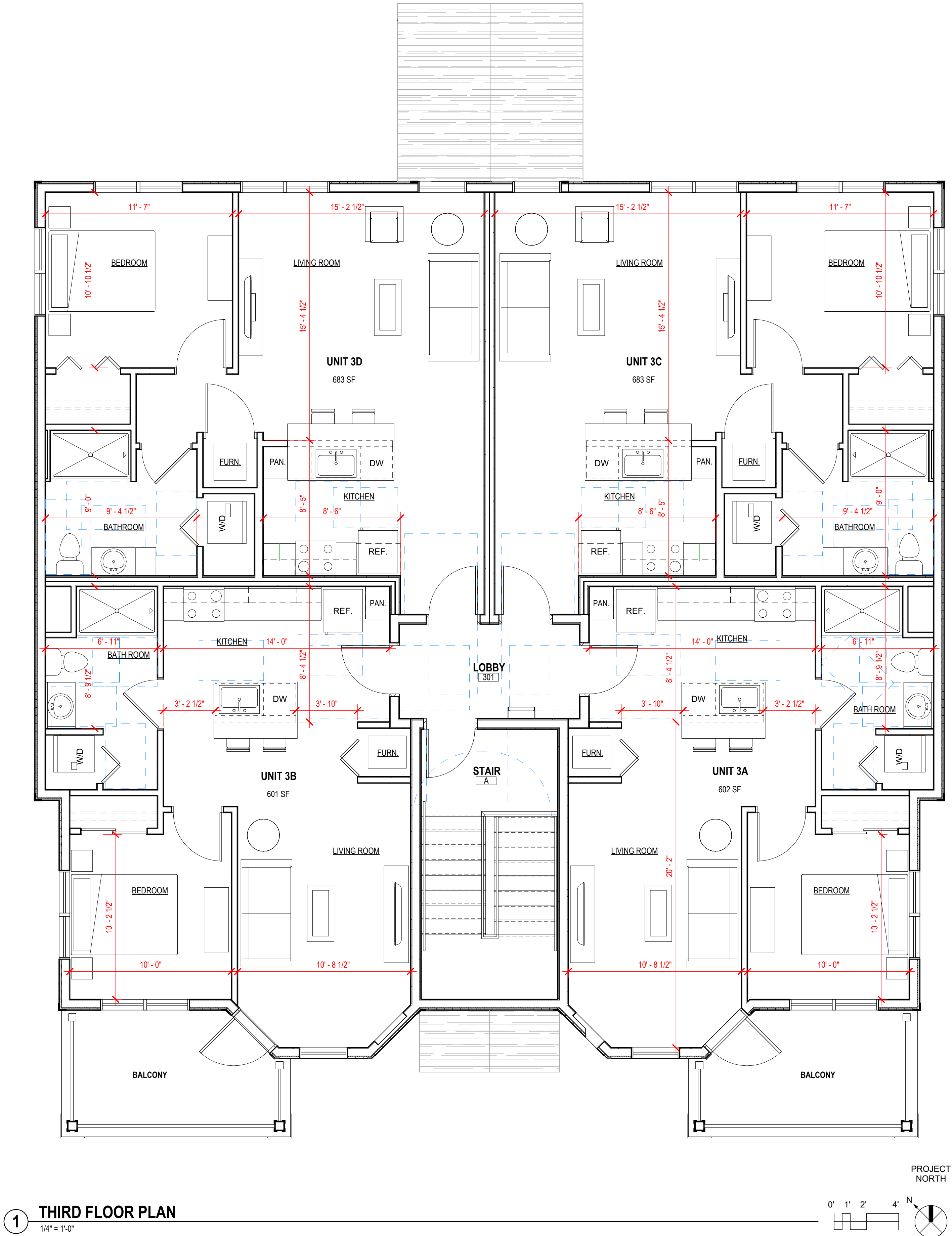
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**SECOND FLOOR
PLAN**

A1.2

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FLOOR PLAN GENERAL NOTES

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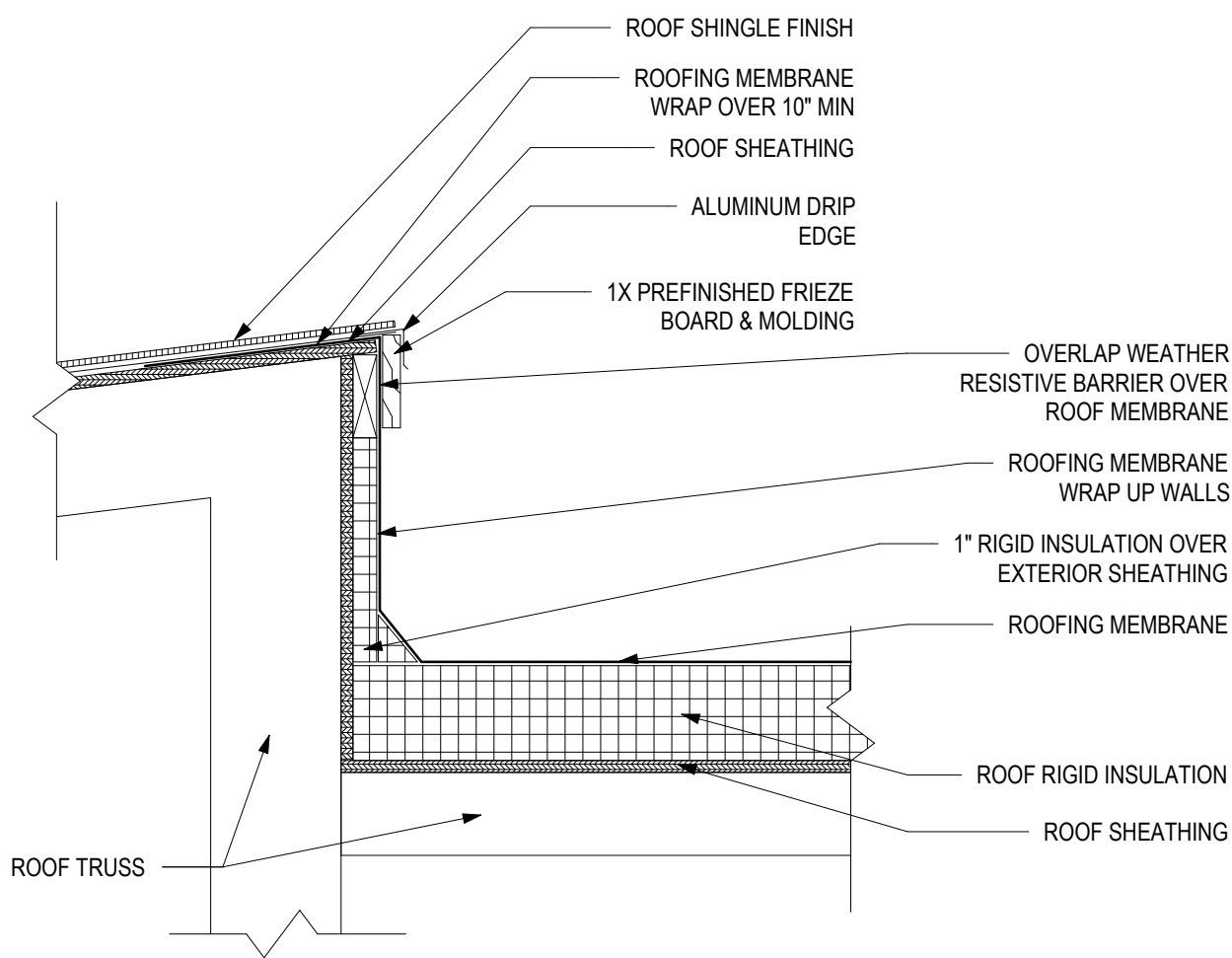
PROJECT # 24016

THIRD FLOOR PLAN

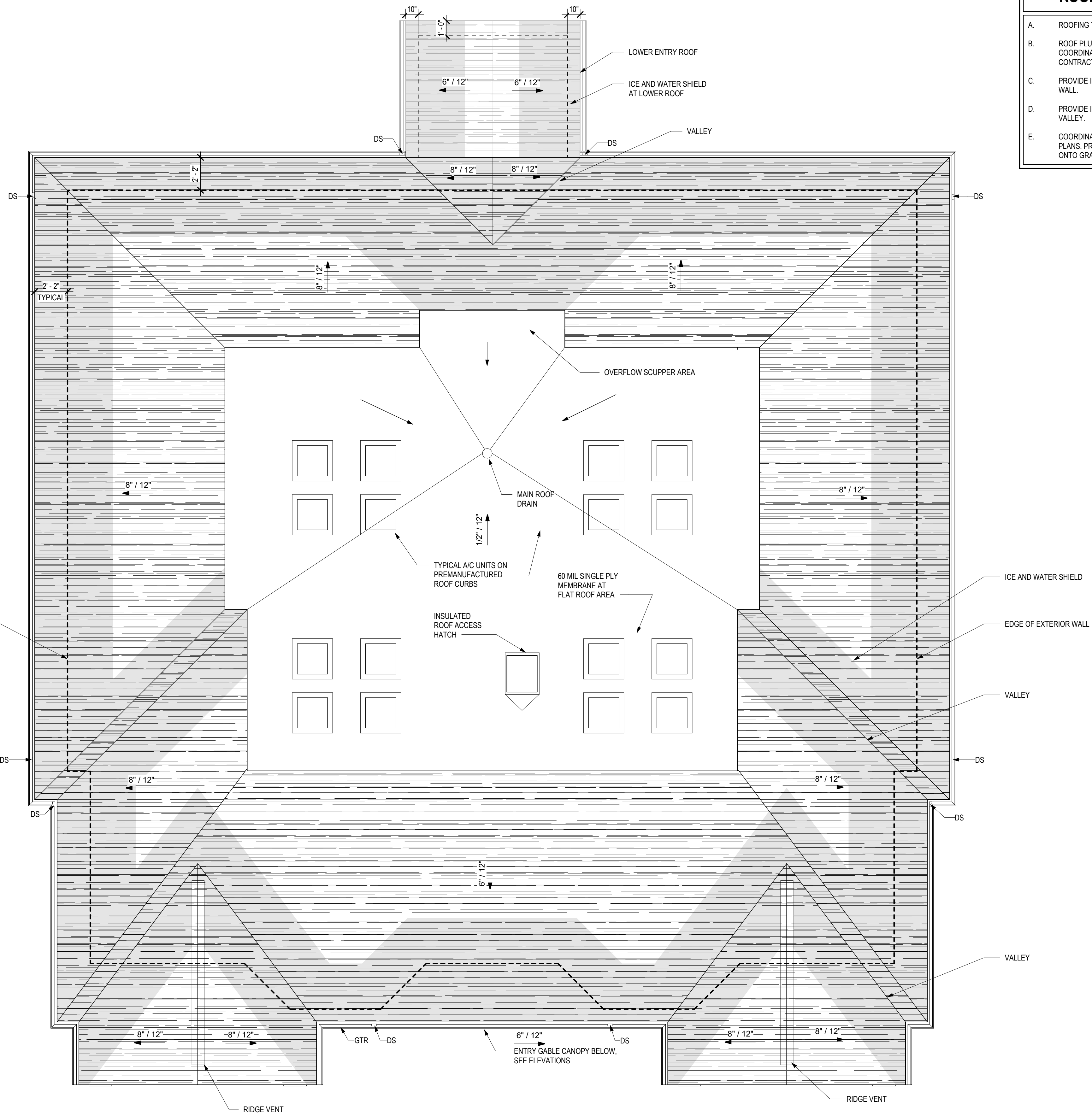
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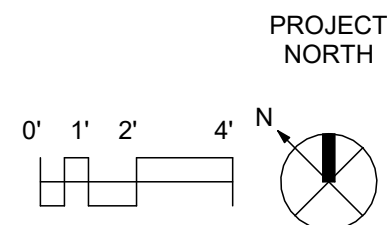
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2 ROOF WELL @ WALL SLOPED SIDE DETAIL
1 1/2" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"



ROOF PLAN GENERAL NOTES

- A. ROOFING TO BE ASPHALT SHINGLES UNLESS NOTED OTHERWISE.
- B. ROOF PLUMBING VENT PIPE PENETRATIONS NOT SHOWN. COORDINATE QUANTITY AND LOCATIONS WITH PLUMBING CONTRACTOR.
- C. PROVIDE ICE & WATER SHIELD @ ALL EAVES 3' BEYOND EXTERIOR WALL.
- D. PROVIDE ICE & WATER SHIELD @ ALL VALLEYS 3' ON EACH SIDE OF VALLEY.
- E. COORDINATE DOWNSPOUT CONNECTIONS TO SEWER W/ CIVIL PLANS. PROVIDE SPLASH BLOCKS @ DOWNSPOUTS THAT SPILL ONTO GRADE.

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ROOF PLAN

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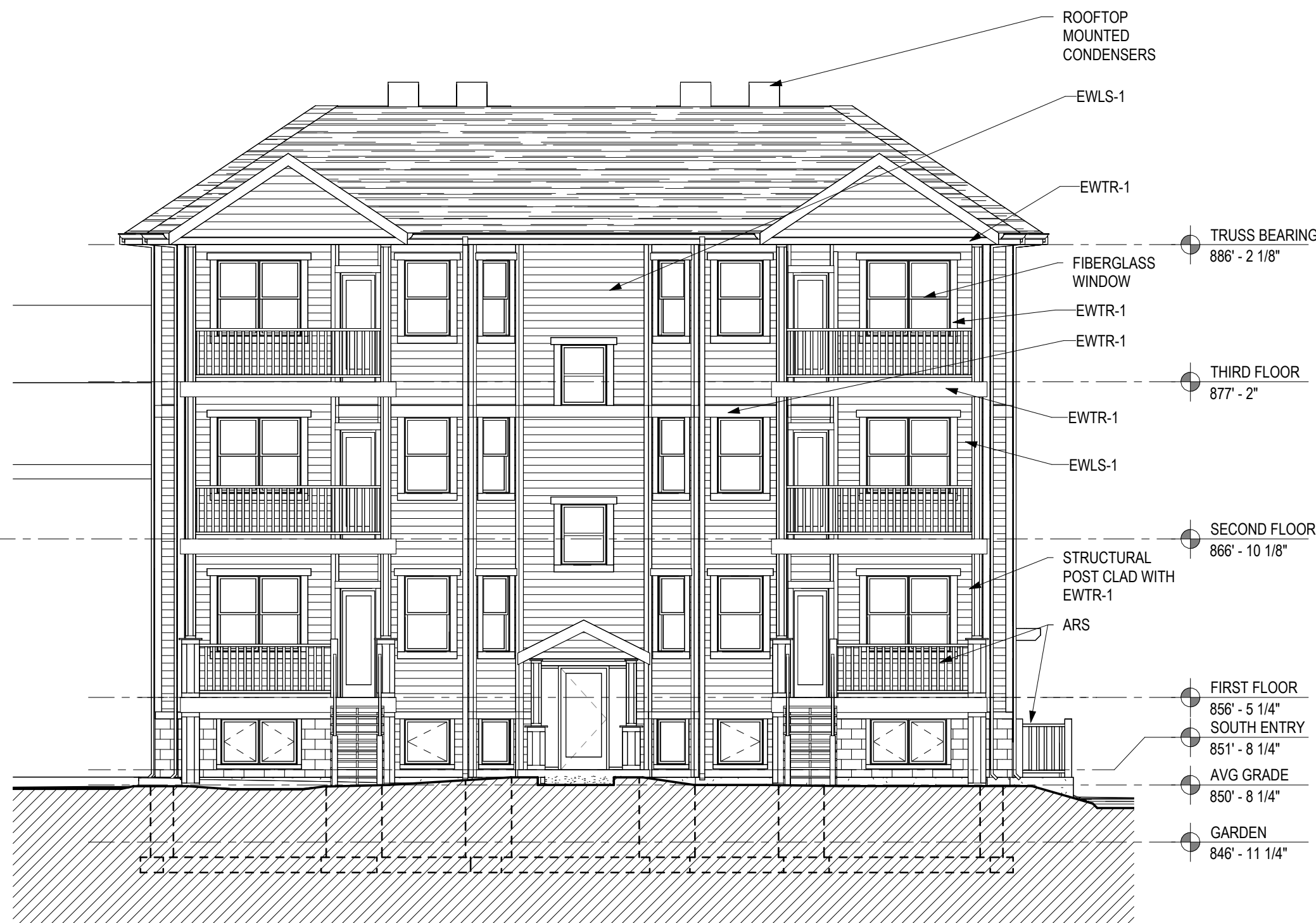
4 WEST ELEVATION - COLOR
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION - COLOR
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"

ELEVATION LEGEND & NOTES

MASONRY		COLOR
CMU-1	SPLIT-FACE CMU VENEER	BUFF
SIDING & TRIM - LP SMART SIDE		COLOR
EWLS-1	ENGINEERED WOOD LAP SIDING - 6" EXP.	GARDEN SAGE
EWLS-2	ENGINEERED WOOD LAP SIDING - 6" EXP.	SAND DUNES
EWTR-1	ENGINEERED WOOD TRIM - SIZE VARIES	GARDEN SAGE
EWTR-2	ENGINEERED WOOD TRIM - SIZE VARIES	PRIMED
EWTR-3	ENGINEERED WOOD TRIM - SIZE VARIES	
	PAINT SW 7048 URBANE BRONZE	
PRE-FINISHED METAL		COLOR
DS	DOWNSPOUT	ALMOND
GTR	GUTTER	ALMOND
SFT	PLY GEM MASTIC	ALMOND
ARS	ALUM. RAILING OR PT. LUMBER	PAINT TO MATCH SW 7048 URBANE BRONZE
MISCELLANEOUS		COLOR
ASH	ASPHALT SHINGLES	WEATHERED WOOD
FG	FIBERGLASS WINDOWS	DARK BRONZE

GENERAL NOTES

- NOT ALL SIDING PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.
- CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.
- LOUVERS AND VENTS PENETRATING WALLS TO MATCH ADJACENT SIDING COLOR.
- VERIFY ALL MATERIAL COLOR/FINISH SELECTIONS WITH OWNER.

NEW 16-UNIT MULTI-FAMILY

203 N BLOUNT STREET
MADISON, WI 53703

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**EXTERIOR
ELEVATIONS**

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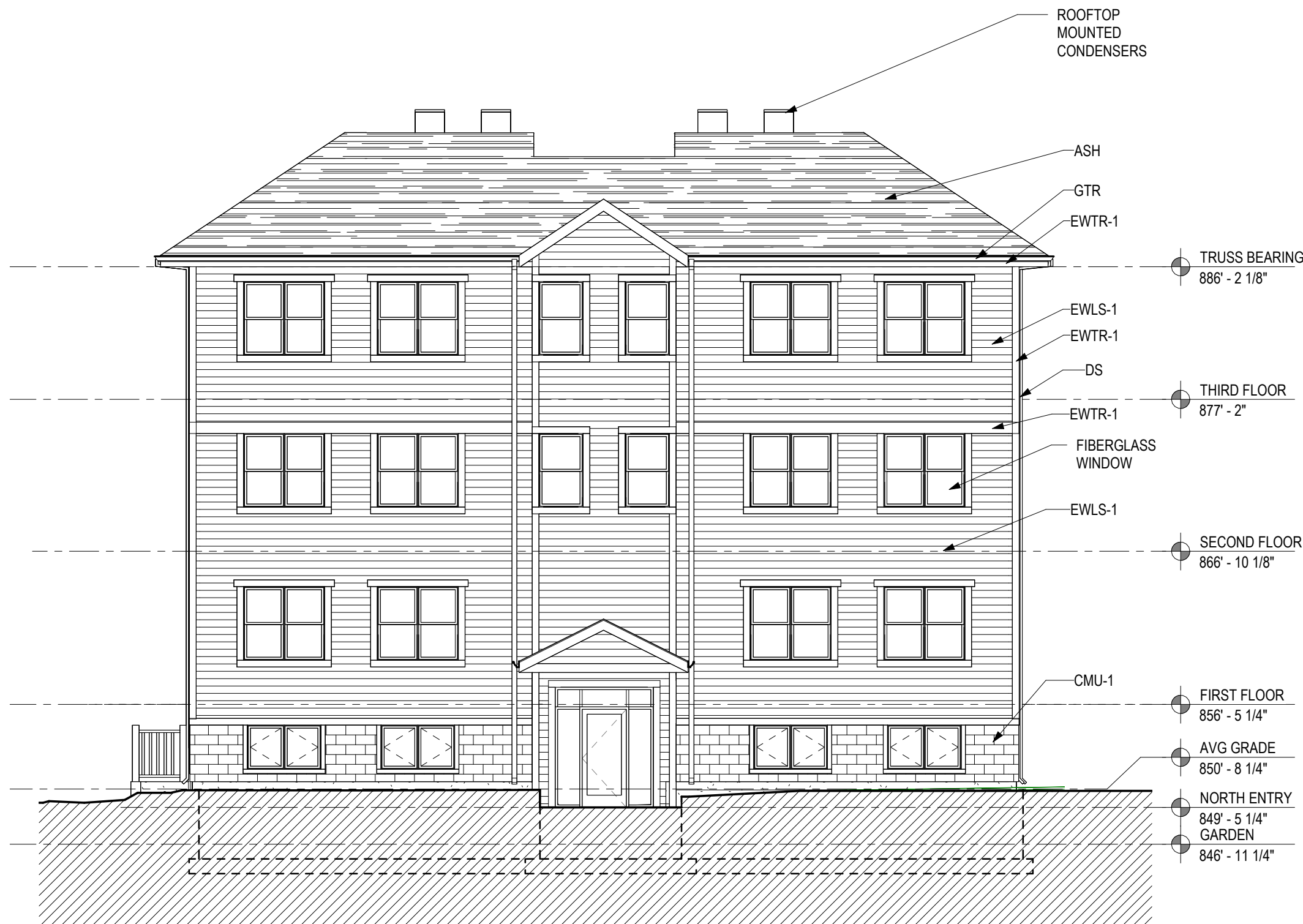
4 EAST ELEVATION - COLOR
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION - COLOR
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

ELEVATION LEGEND & NOTES

MASONRY	COLOR
CMU-1 SPLIT-FACE CMU VENEER	BUFF
SIDING & TRIM - LP SMART SIDE	COLOR
EWLS-1 ENGINEERED WOOD LAP SIDING - 6" EXP.	GARDEN SAGE
EWLS-2 ENGINEERED WOOD LAP SIDING - 6" EXP.	SAND DUNES
EWTR-1 ENGINEERED WOOD TRIM - SIZE VARIES	GARDEN SAGE
EWTR-2 ENGINEERED WOOD TRIM - SIZE VARIES	PRIMED
EWTR-3 ENGINEERED WOOD TRIM - SIZE VARIES	COLOR
PAIN SW 7048 URBANE BRONZE	ALMOND
PRE-FINISHED METAL	ALMOND
DS DOWNSPOUT	PAINT TO MATCH
GTR GUTTER	SW 7048 URBANE
SFT PLY GEM MASTIC	BRONZE
ARS ALUM. RAILING OR PT. LUMBER	COLOR
MISCELLANEOUS	WEATHERED WOOD
ASH ASPHALT SHINGLES	DARK BRONZE
FG FIBERGLASS WINDOWS	
GENERAL NOTES	
A. NOT ALL SIDING PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.	
B. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.	
C. LOUVERS AND VENTS PENETRATING WALLS TO MATCH ADJACENT SIDING COLOR.	
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NEW 16-UNIT MULTI-FAMILY

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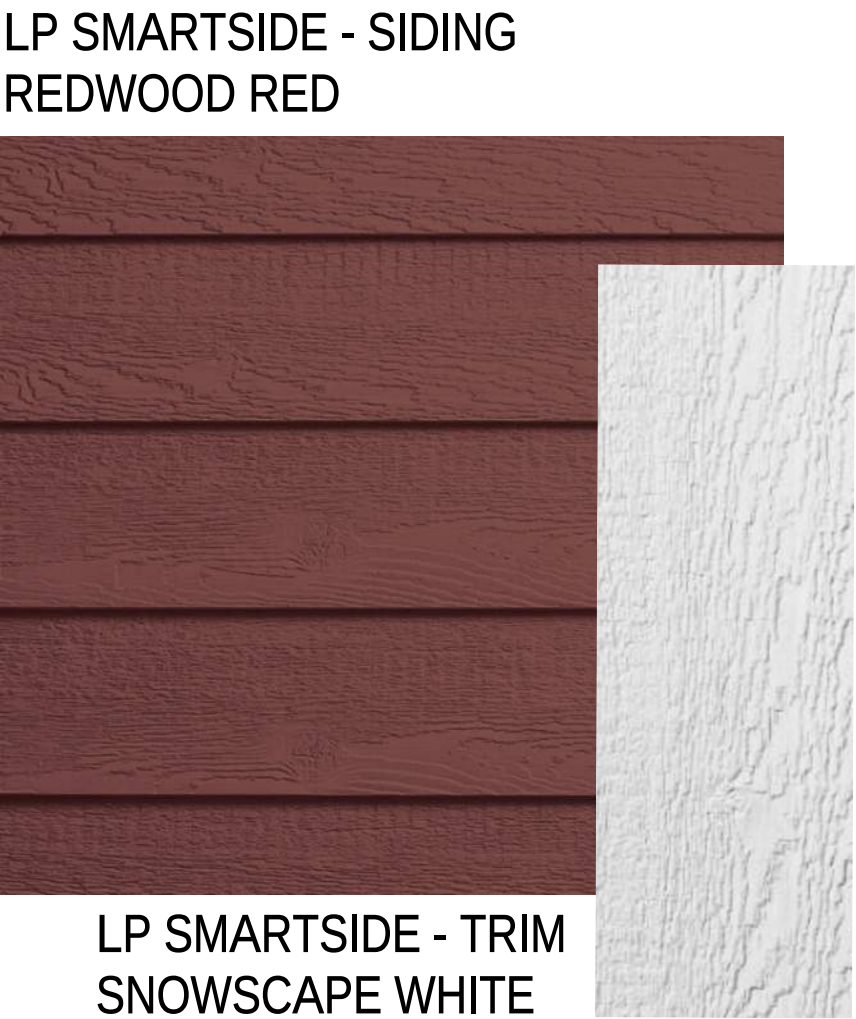
PROJECT # 24016

**EXTERIOR
ELEVATIONS**

A2.1



710-712 E DAYTON STREET
AS PART OF THE PD TEXT, 710-12 E DAYTON STREET (EXISTING VINYL FACADE) TO GET RE-CLAD WITH ENGINEERED WOOD.



LP SMARTSIDE - SIDING
REDWOOD RED

LP SMARTSIDE - TRIM
SNOWSCAPE WHITE

ELEVATION LEGEND & NOTES			
MASONRY		COLOR	
CMU-1	SPLIT-FACE CMU VENEER	BUFF	
SIDING & TRIM - LP SMART SIDE		COLOR	
EWLS-1	ENGINEERED WOOD LAP SIDING - 6" EXP.	GARDEN SAGE	
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EWTR-3	ENGINEERED WOOD TRIM - SIZE VARIES	PRIMED	
PAINT SW 7048 URBANE BRONZE			
PRE-FINISHED METAL		COLOR	
DS	DOWNSPOUT	ALMOND	
GTR	GUTTER	ALMOND	
SFT	PLY GEM MASTIC	ALMOND	
ARS	ALUM. RAILING OR PT. LUMBER	PAINT TO MATCH SW 7048 URBANE BRONZE	
MISCELLANEOUS		COLOR	
ASH	ASPHALT SHINGLES	WEATHERED WOOD	
FG	FIBERGLASS WINDOWS	DARK BRONZE	
GENERAL NOTES			
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C.	LOUVERS AND VENTS PENETRATING WALLS TO MATCH ADJACENT SIDING COLOR.		
D.	VERIFY ALL MATERIAL COLOR/FINISH SELECTIONS WITH OWNER.		

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NEW 16-UNIT
MULTI-FAMILY

203 N BLOUNT STREET
MADISON, WI 53703



ASPHALT SHINGLES
WEATHERED WOOD

LP SMARTSIDE - GARDEN SAGE

LP SMARTSIDE - SAND DUNES

SHERWIN WILLIAMS
7048 - URBANE BRONZE

SPLIT-FACED BLOCK - BUFF



1 PERSPECTIVE VIEW - LOOKING NORTHWEST

DATE OF ISSUE: 09/22/2025

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT # 24016

EXTERIOR
ELEVATIONS

A2.2