



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:

<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

| | |
|---|---|
| Date Submitted: <u>April 29, 2015</u> | <input type="checkbox"/> Informational Presentation |
| UDC Meeting Date: <u>May 6, 2015</u> | <input type="checkbox"/> Initial Approval |
| Combined Schedule Plan Commission Date (if applicable): _____ | <input checked="" type="checkbox"/> Final Approval |

1. Project Address: 1701 Wright Street, Madison, WI 53704
Project Title (if any): Madison College Culinary Addition and Renovation

2. This is an application for (Check all that apply to this UDC application):

☐ New Development ☒ Alteration to an Existing or Previously-Approved Development

A. Project Type:

- ☐ Project in an Urban Design District* (public hearing-\$300 fee)
☐ Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
☒ Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
☐ Planned Development (PD)
☐ General Development Plan (GDP)
☐ Specific Implementation Plan (SIP)
☐ Planned Multi-Use Site or Planned Residential Complex

AGENDA ITEM # 3.1783
DIST. # 12

CITY OF MADISON
APR 29 2015
10:15 am
Planning & Community
& Economic Development

B. Signage:

- ☐ Comprehensive Design Review* (public hearing-\$300 fee) ☐ Street Graphics Variance* (public hearing-\$300 fee)
☐ Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

☐ Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Mark Thomas Jr
Street Address: 1701 Wright Street
Telephone: (608) 246-6301 Fax: (608) 246-6331

Company: Madison College
City/State: Madison, WI Zip: 53704
Email: mthomasjr@madisoncollege.edu

Project Contact Person: Hamid Noughani
Street Address: 7427 Elmwood Avenue
Telephone: (608) 827-5047 Fax: (608) 827-6960

Company: Assemblage Architects
City/State: Middleton, WI Zip: 53562
Email: noughani@assemblagearchitects.com

Project Owner (if not applicant): _____
Street Address: _____
Telephone: () _____ Fax: () _____

City/State: _____ Zip: _____
Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on November 10, 2014
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Mark Thomas Jr

Relationship to Property owner

Authorized Signature [Signature]

Date 04-27-15

Madison College - Culinary Addition and Renovation
1701 Wright Street, Madison, WI

Project Narrative

The project is designed to accommodate the expansion and renovation of the culinary and baking programs. The project will fill a courtyard space between the existing trux building and the existing administration building expanding eastward to accommodate a relocated entrance and meeting spaces.

The addition will be a one story building, 21' tall, and will reflect material and architecture of the existing building that was completed in 1984. The building exterior will utilize solar shading strategies to minimize heat gain, ample glazing to provide daylighting, and relocates the plaza to service students' outdoor activities and gatherings.

The material will be standard size brick, composite metal panels, and aluminum curtain wall system. Glazing will be Low E with high transparency rating to allow visibility through of the interior spaces.

The site improvement will include modifications to the parking areas to accommodate public transportation bus service, and better pedestrian access. The landscaping adjacent to the building will be reconfigured to reflect the new addition and reconfigured access patterns.

The total addition is approximately 50,000 SF.

Madison College - Culinary Addition and Renovation
1701 Wright Street, Madison, WI

Letter of intent:

Project Team

| | |
|-----------|--|
| Architect | Assemblage Architects – architecture |
| Engineers | Henneman Engineering – plumbing, fire protection, electrical, IT Pearson Engineering – mechanical JSD Professional Services – civil, landscape, and site Gunnar Malm and Associates – Structural EF Whitney – food service |

Construction Manager: JH Findorff

Exiting condition: The building houses Madison College curriculum and staff. The existing three story steel framed building with exterior brick envelope was constructed in the 1980's. The building has undergone renovations and additions over the years.

Project Schedule: Project will be phase as the building will remain occupied. Anticipated time frame is August 2015-December 2017

Proposed Uses: The new addition will house an expanded culinary program, student food service and associated seating area, lobby and lounges replace those displaced. The renovated area will relocate the Barber/Cosmetology program, student services programs, and office and conference rooms displaced.

Parking information: Refer to C200

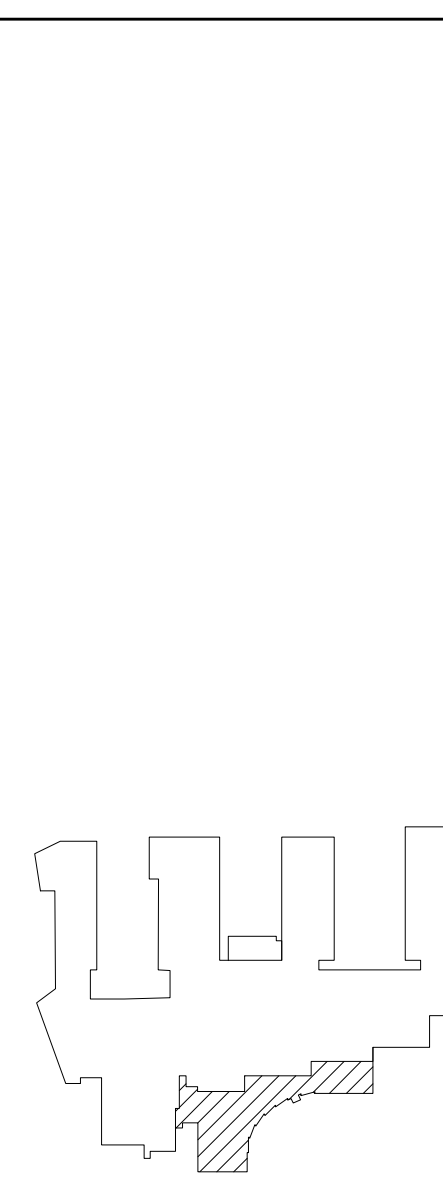
Impervious area: The impervious area within the limits of disturbance for this project on the Madison College Campus includes an existing impervious total of 49,179 SF or 1.129 Acres and a proposed impervious total of 49,798 SF or 1.143 Acres. The proposed impervious area is a function of expanded building footprint and reconfiguration of the existing parking lot. Stormwater management requirements will be met with existing onsite facilities serving the existing impervious area for redevelopment requirements. The proposed impervious area will utilize the existing storm conveyance system and bioretention serving this part of campus.

Hours of Operation: The building is open 7 am to 10 pm Monday – Friday and 7 am to 3 pm Saturday and Sunday.

Overall Building Square Footage: 980,000 SF (including proposed addition)

Estimated construction Cost: \$27 M

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assemblage
ARCHITECTS
7427 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
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VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX
MADISON | MILWAUKEE
KENOSHA | APPLETON

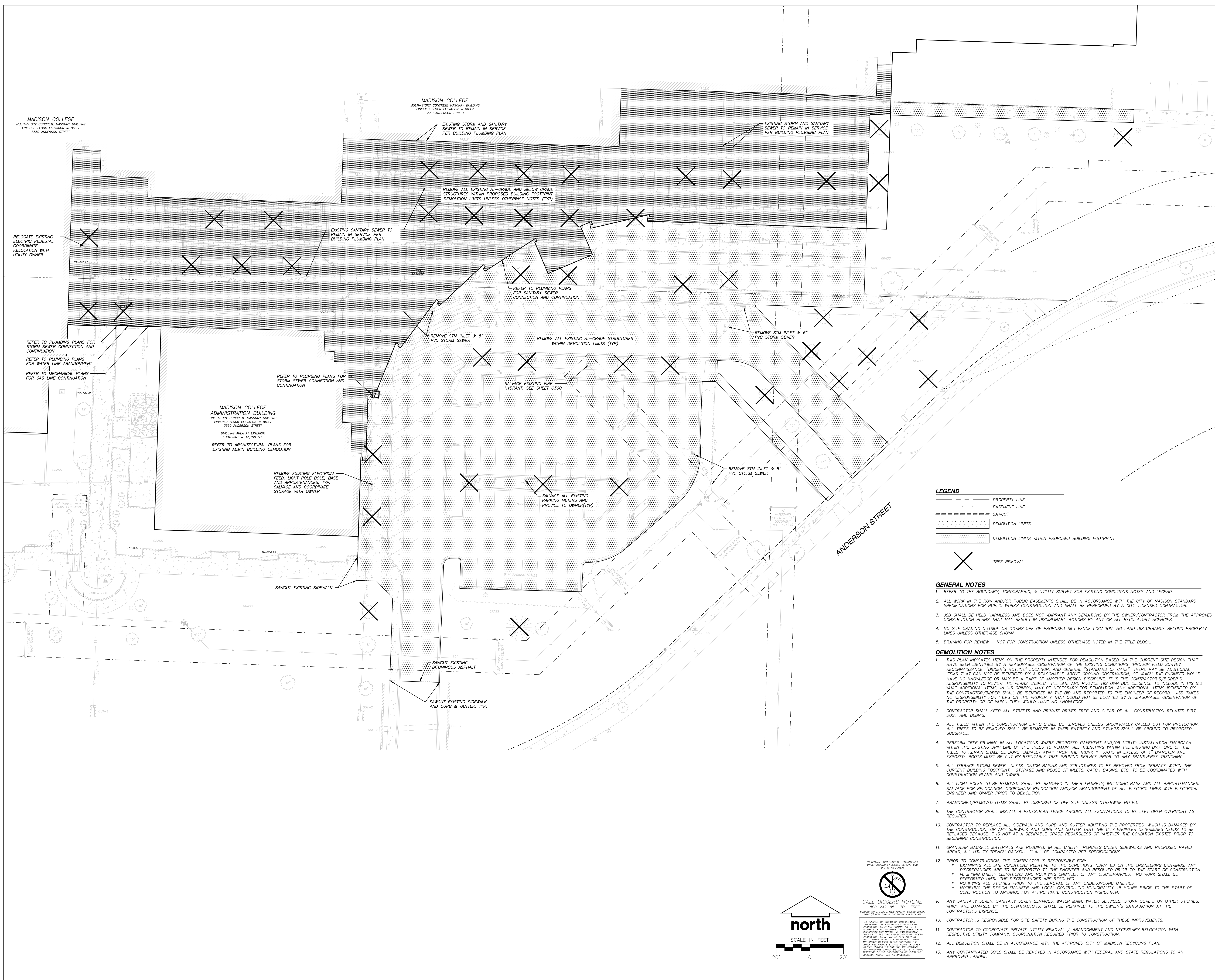
SCALE

SHEET TITLE

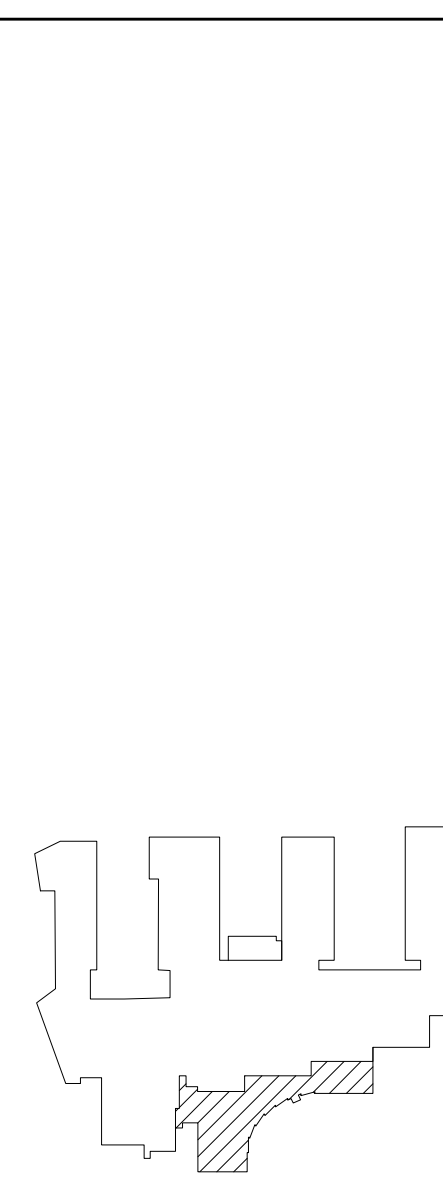
DEMOLITION PLAN

SHEET NUMBER

C100



| REVISION | DATE |
|----------|------|
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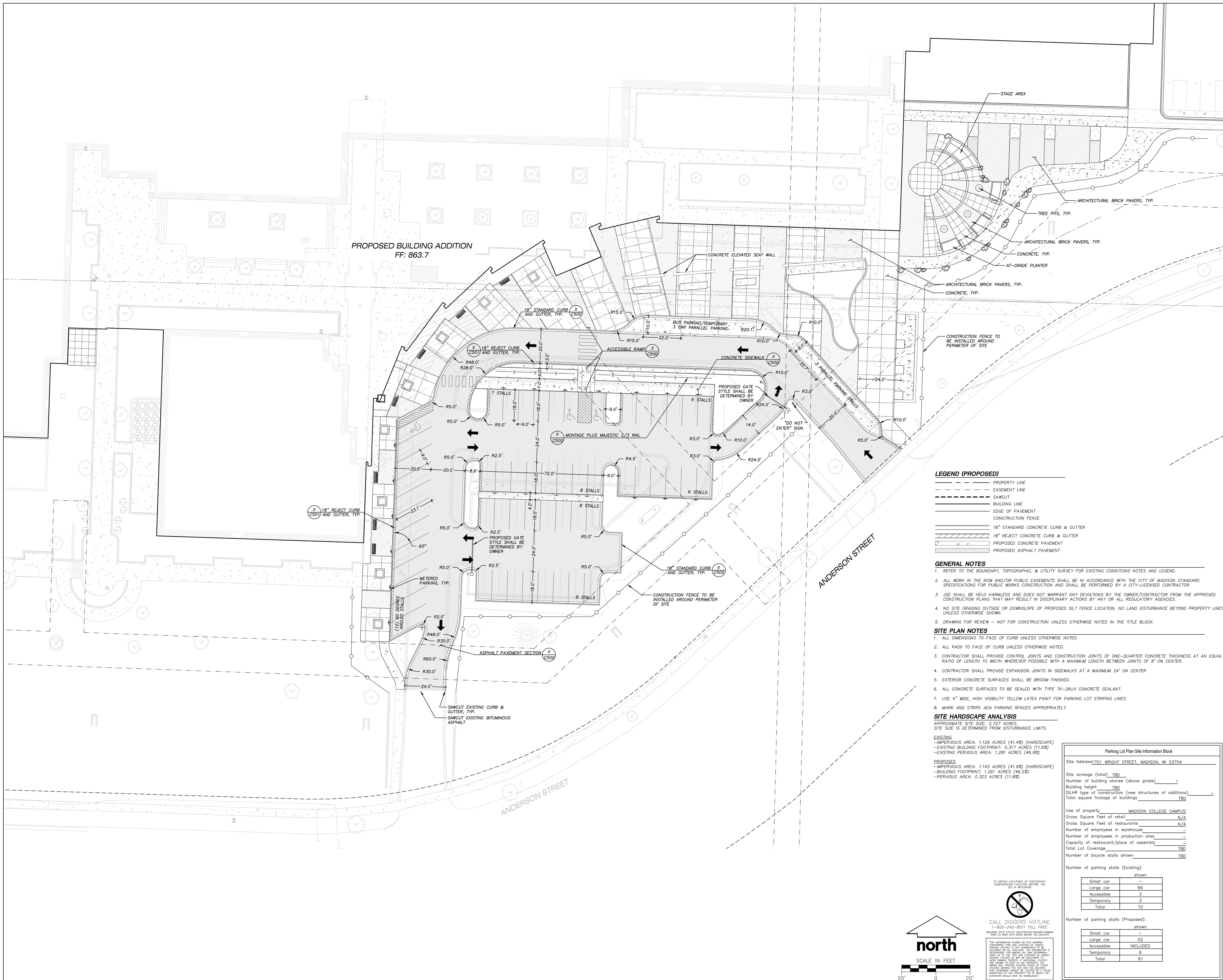
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SITE PLAN

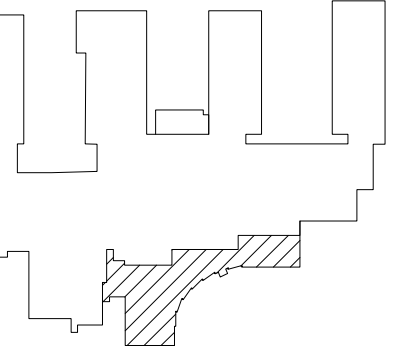
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C200





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| ed for: | UDC |
| date: | 04-29-2015 |
| Project No.: | 2014-04 |
| Project No.: | B15-001 |
| Pkg No.: | |

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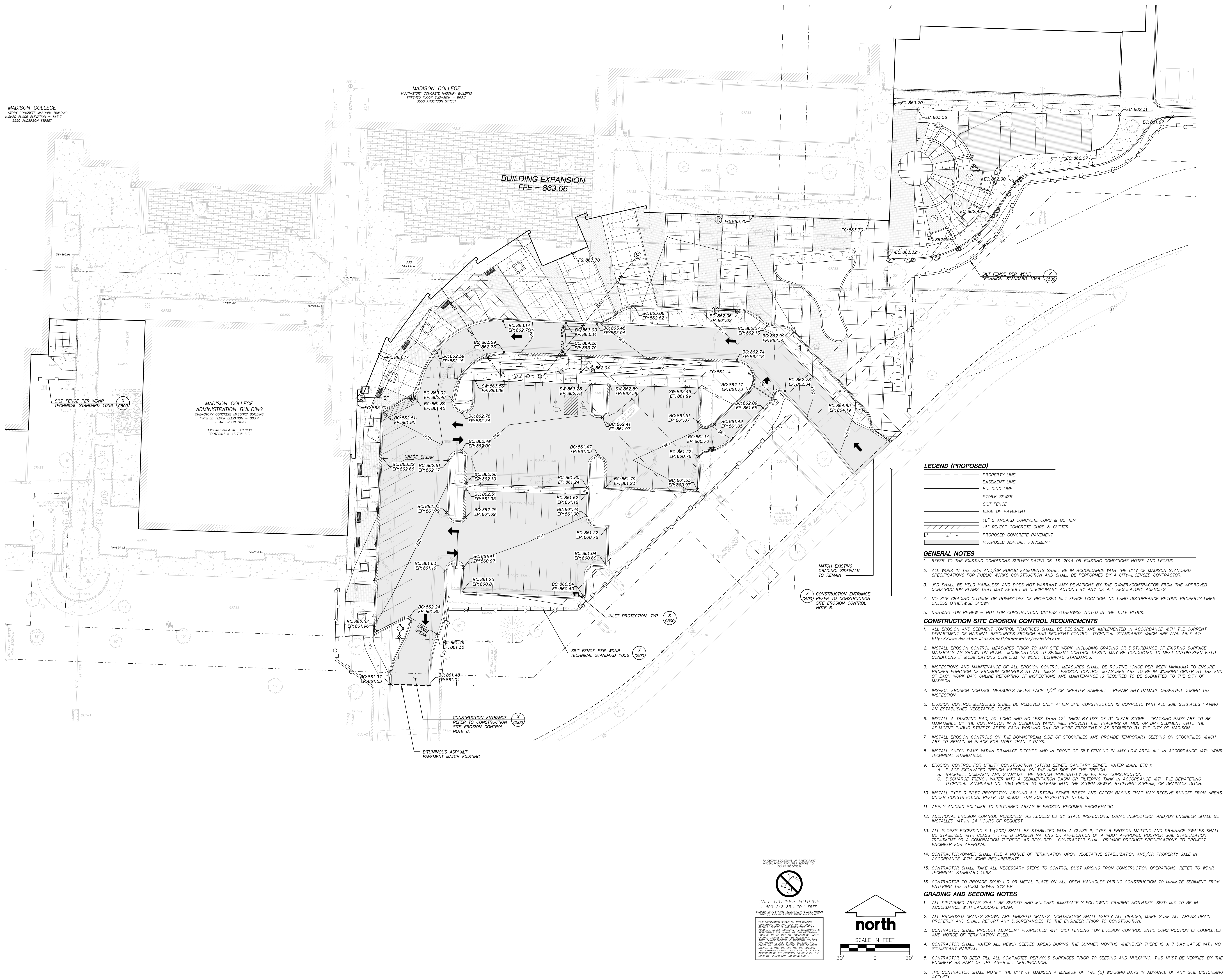
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CONTROL PLAN

SHEET NUMBER

300





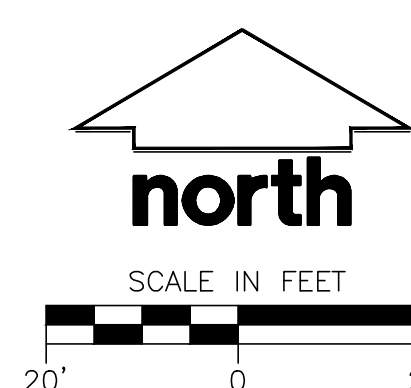
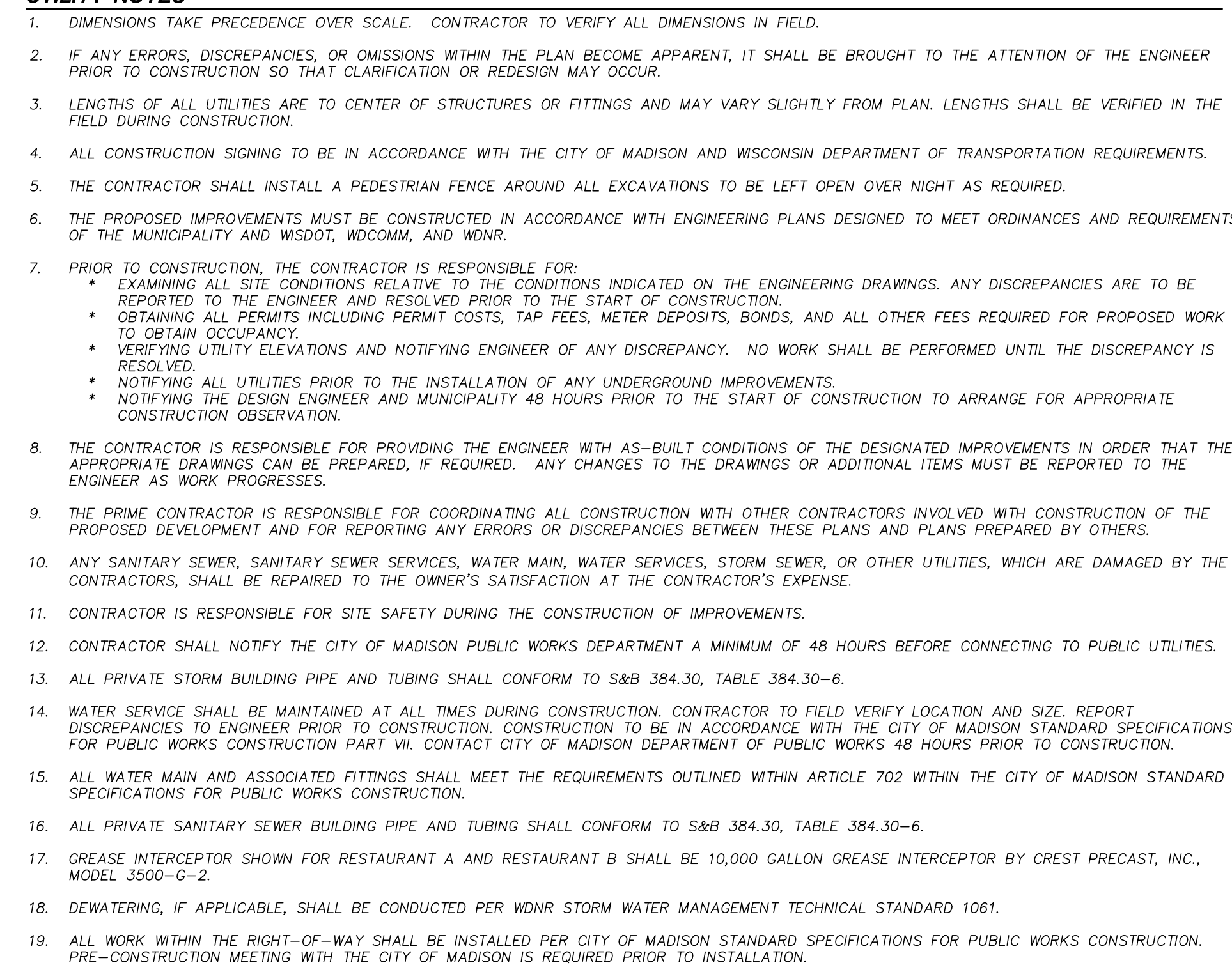
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| Issued for: | UDC |
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| AA Project No.: | 2014-04 |
| MC Project No.: | B15-001 |
| Bid Pkg No.: | |

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C400



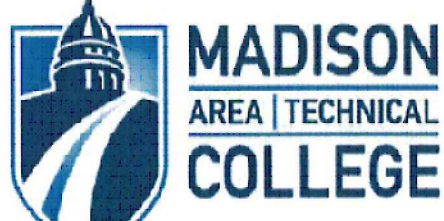
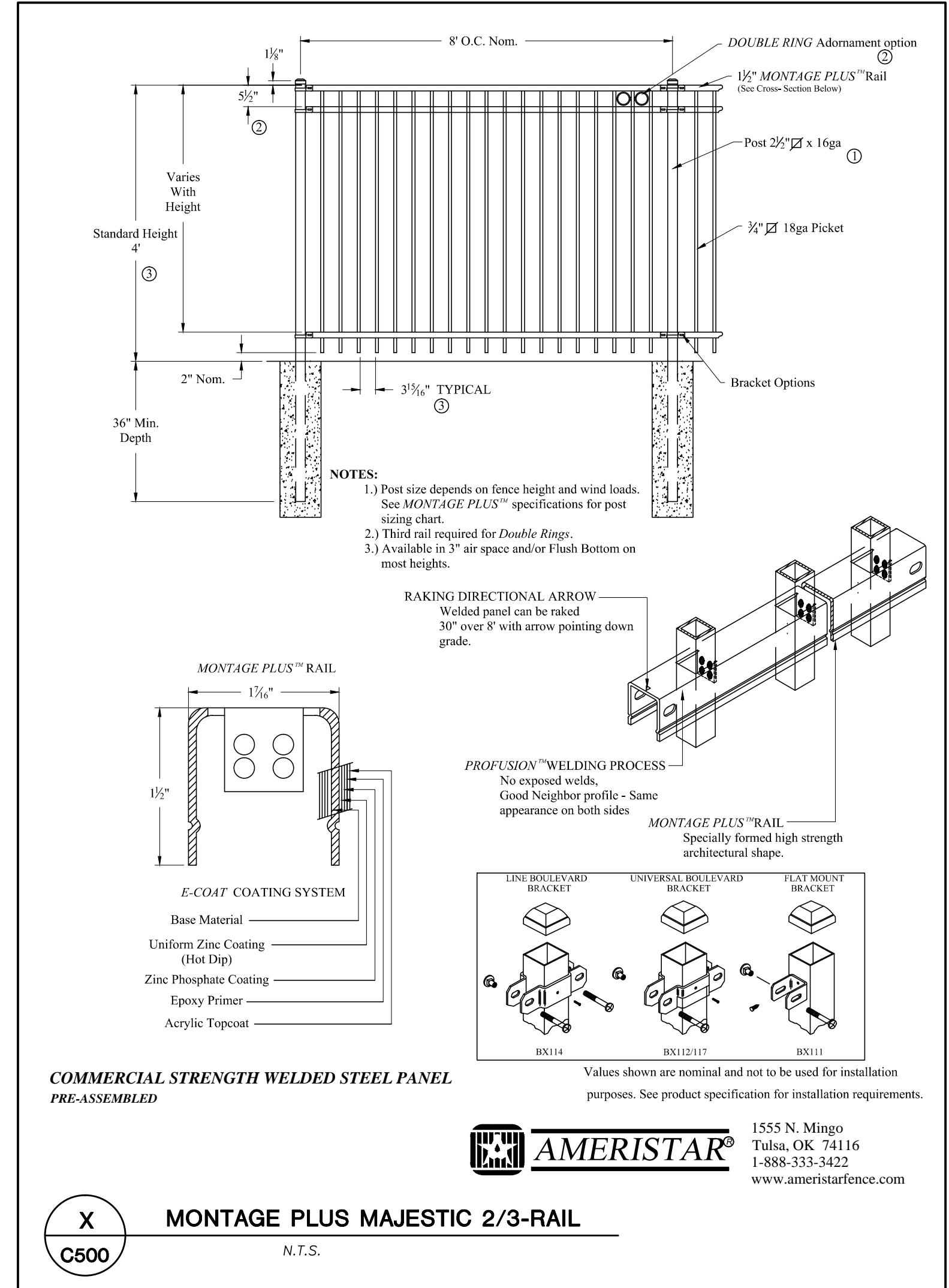
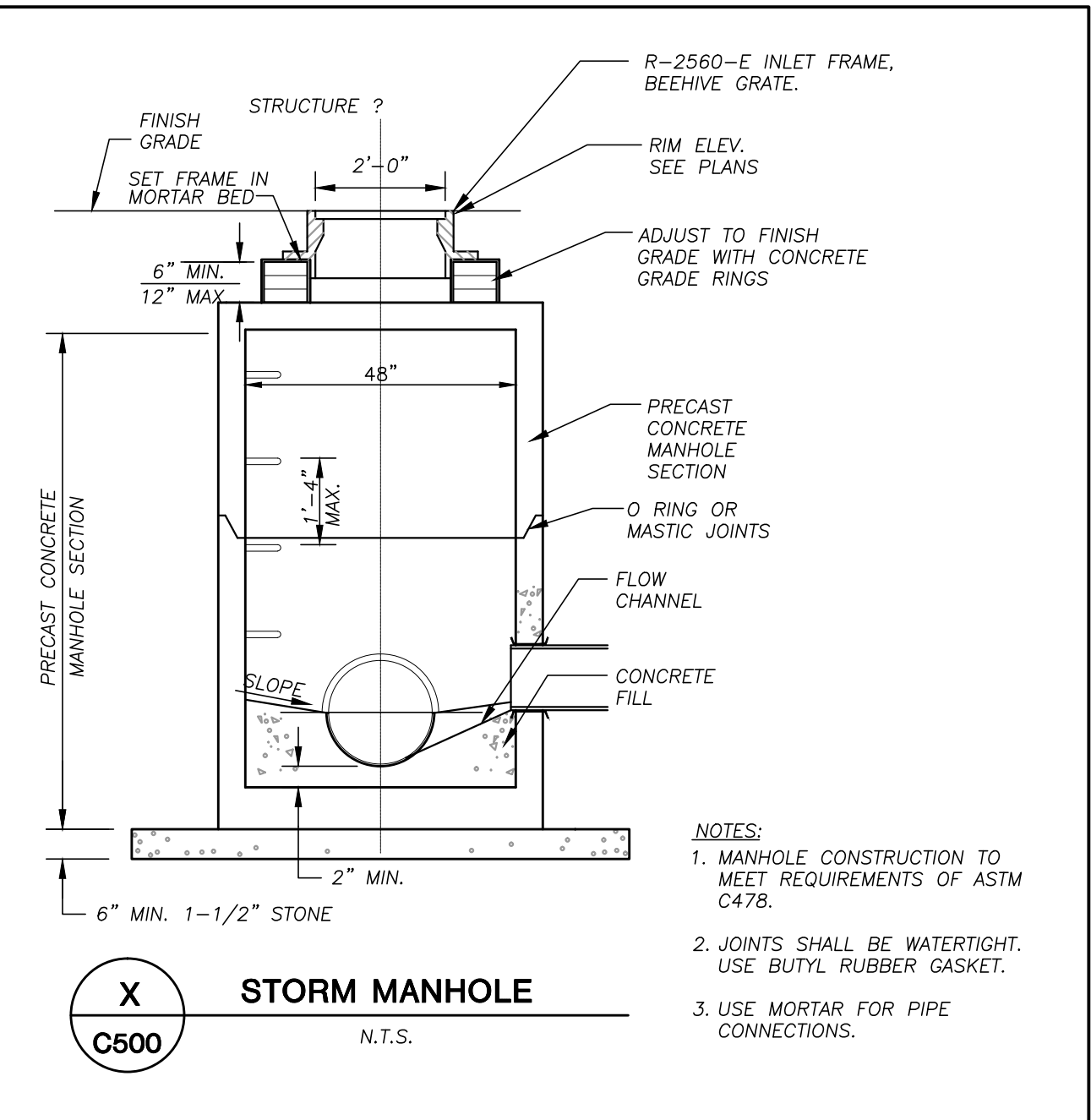
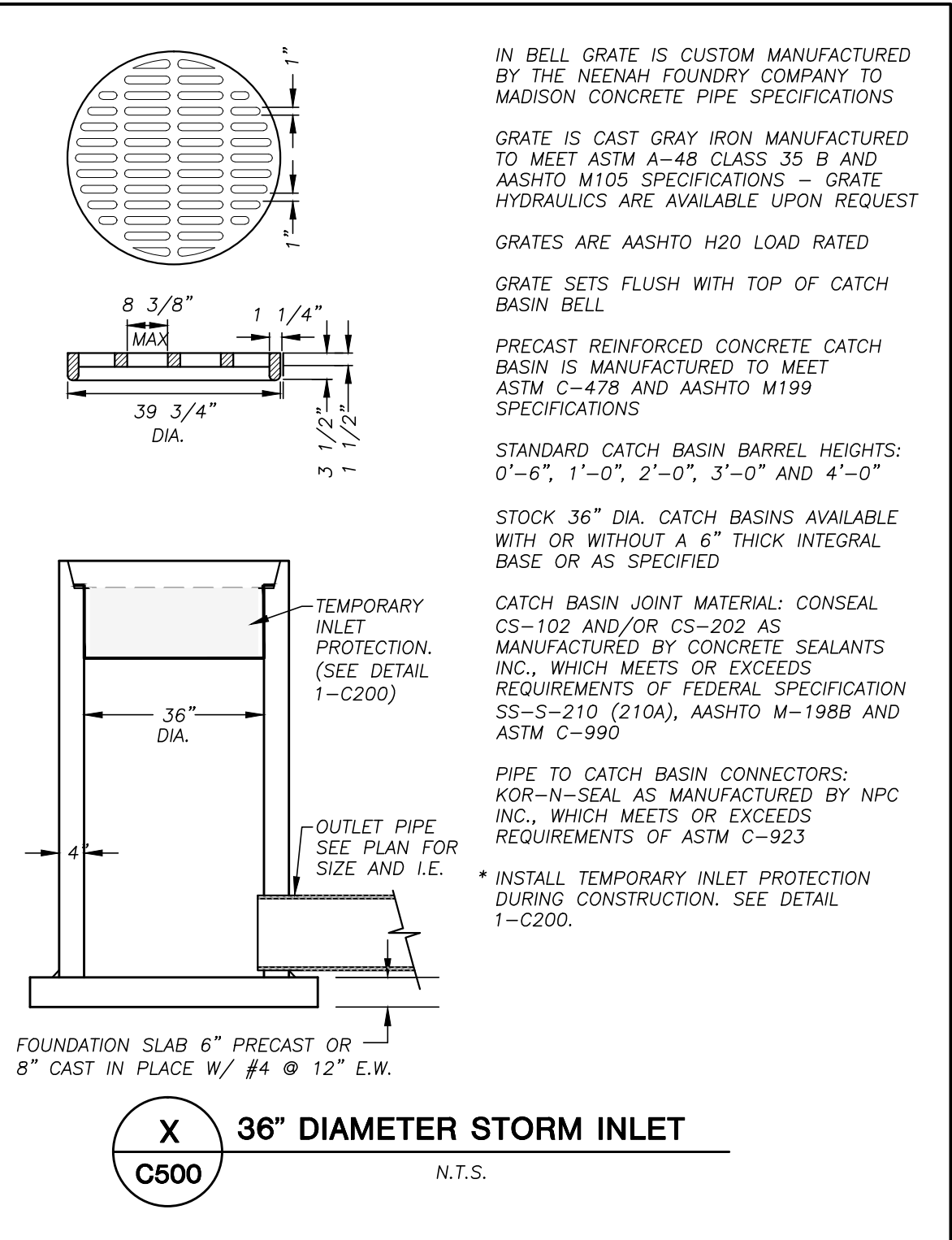
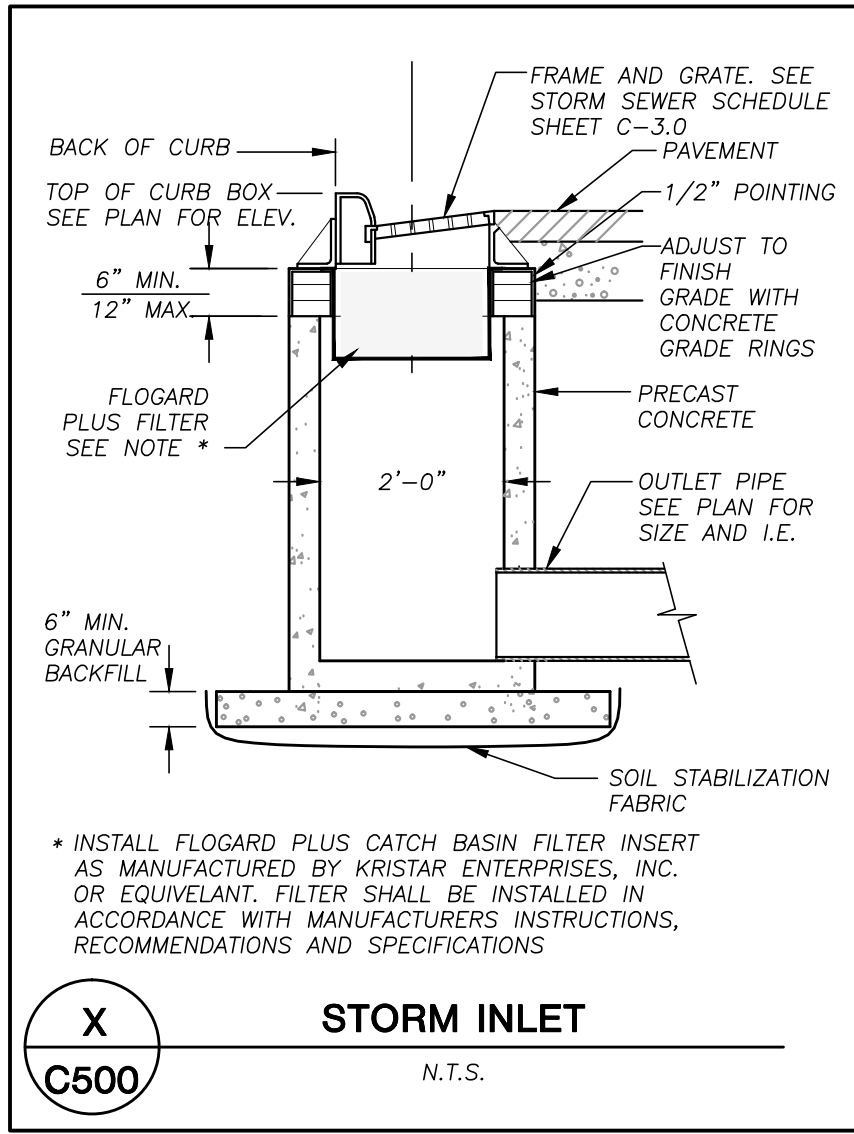
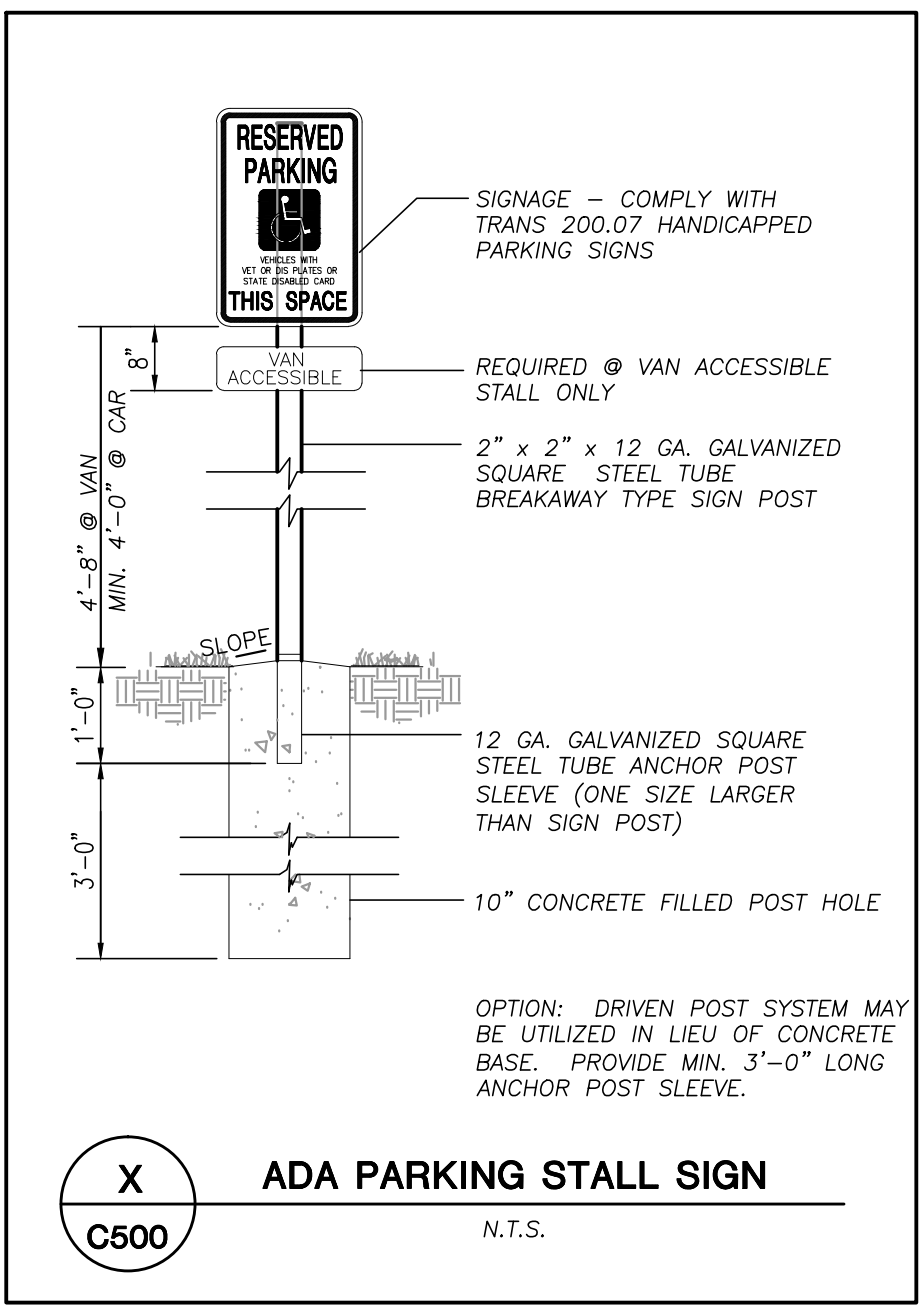
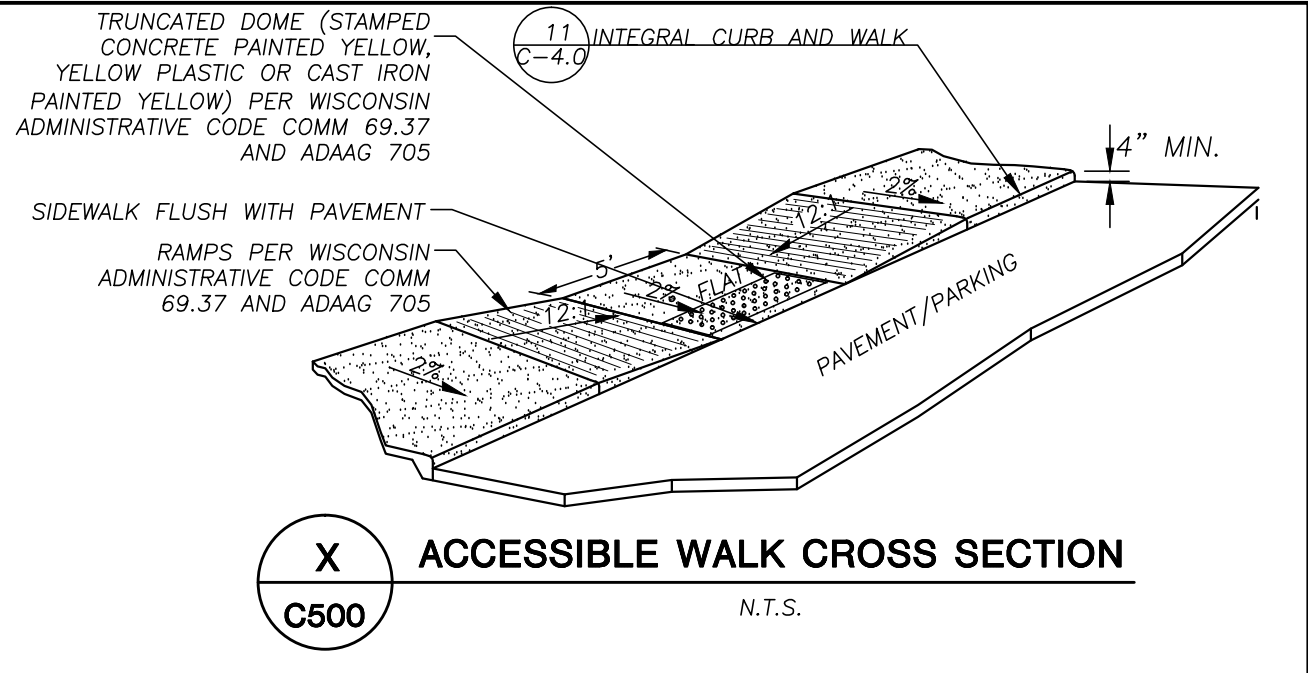
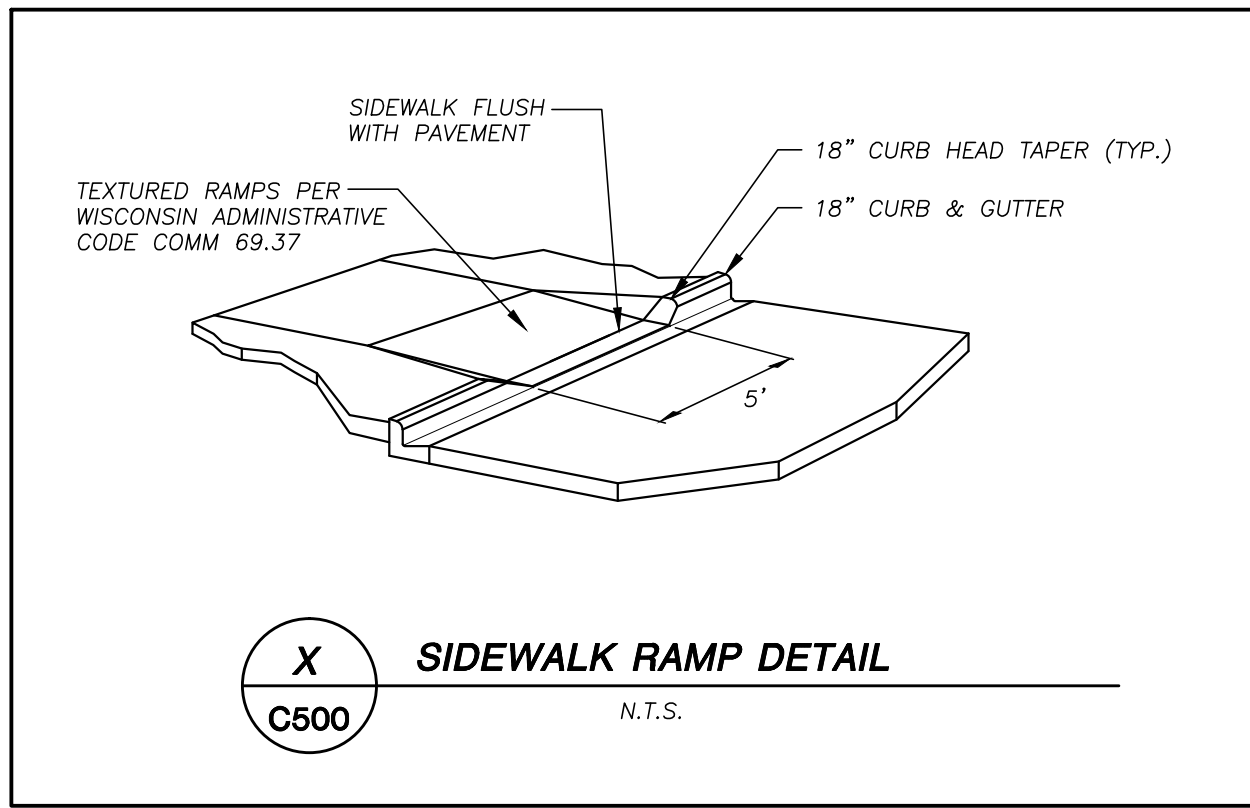
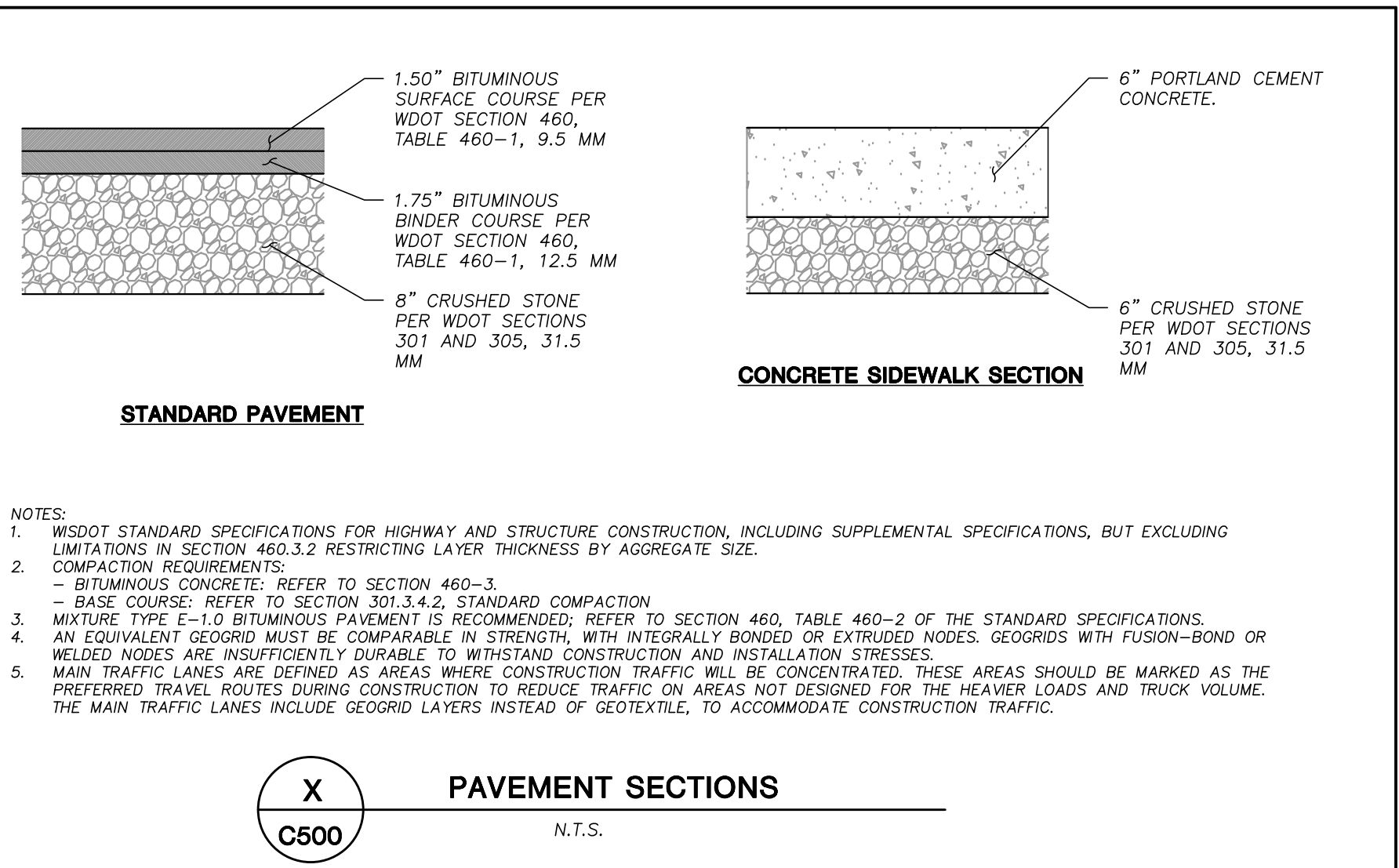
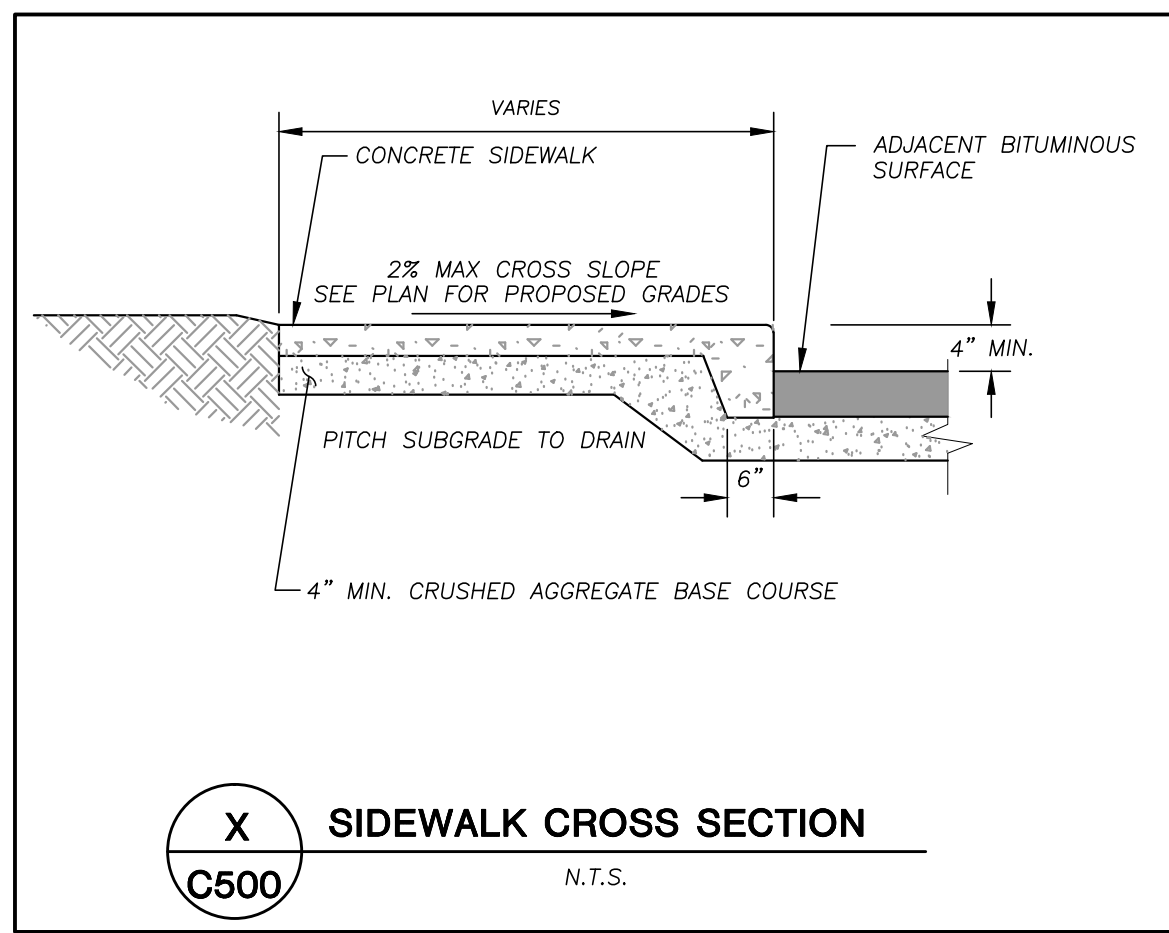
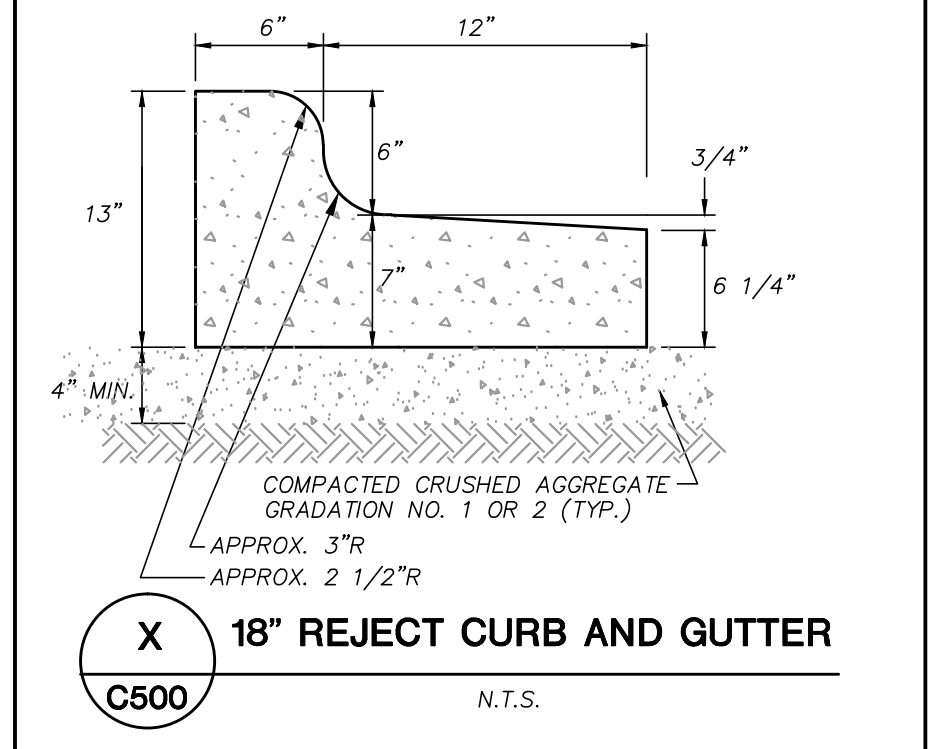
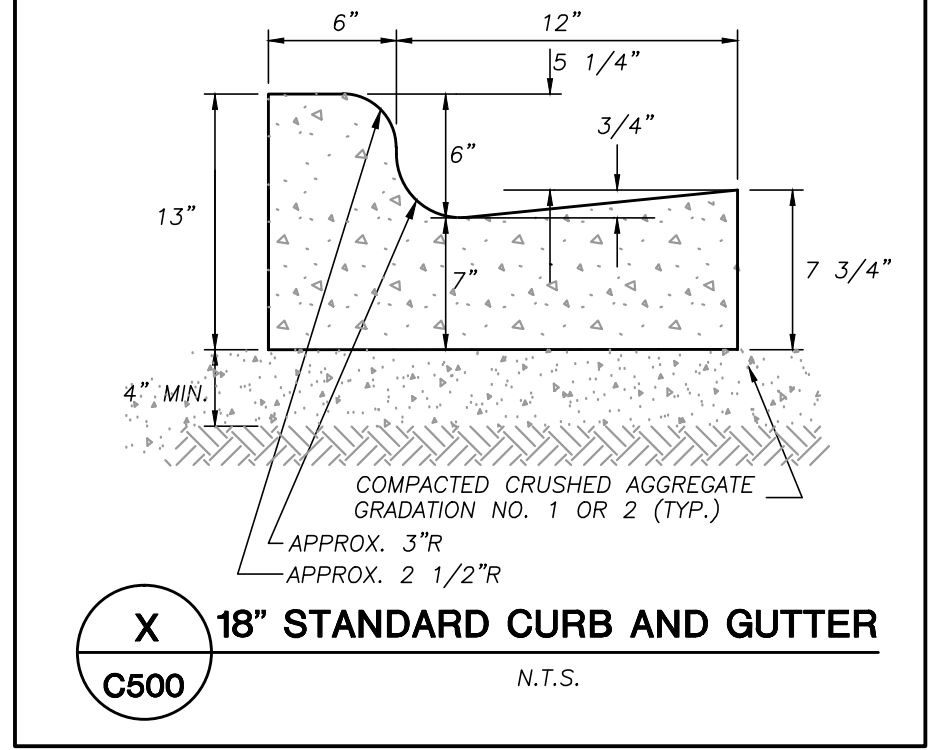
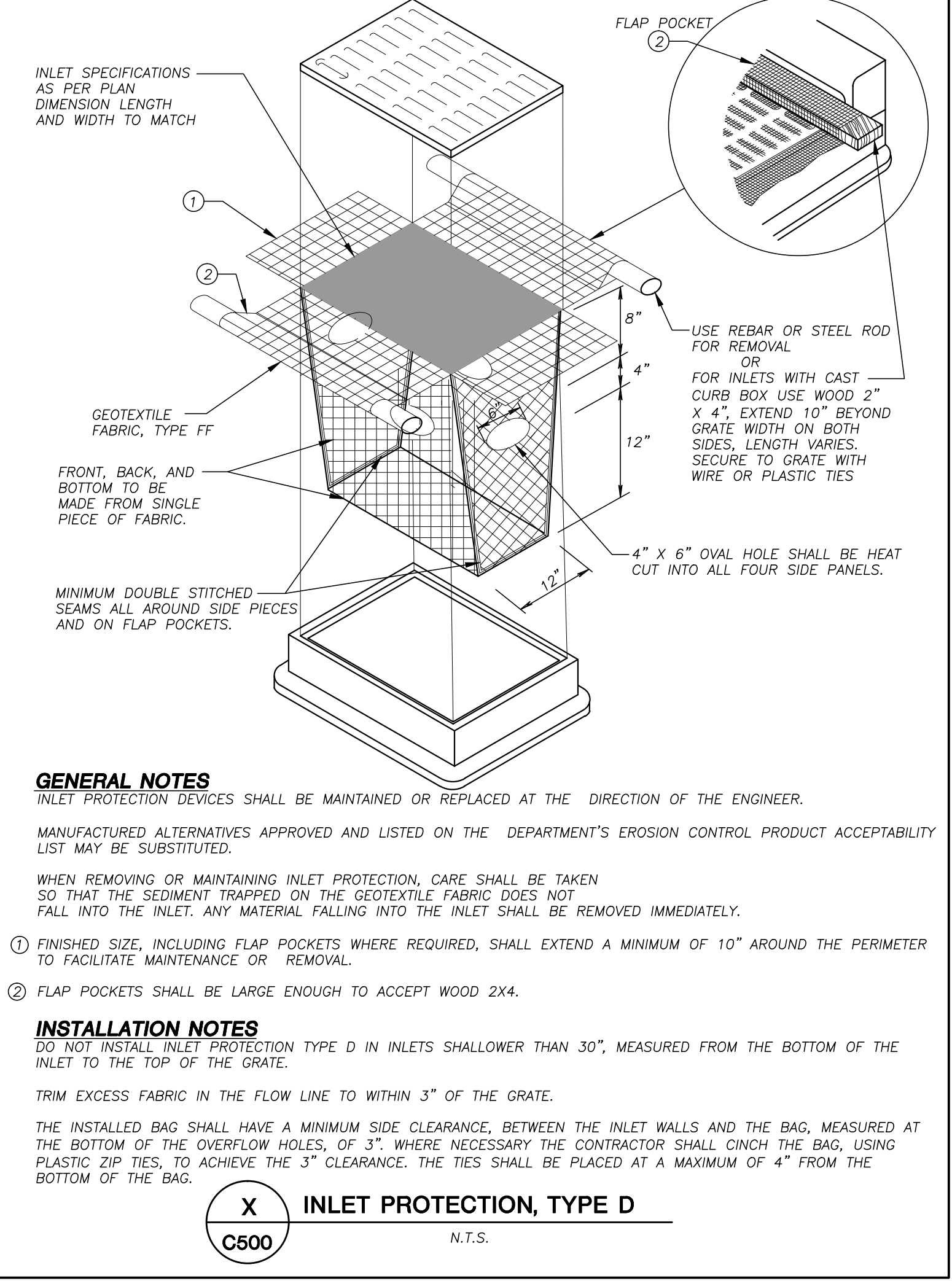
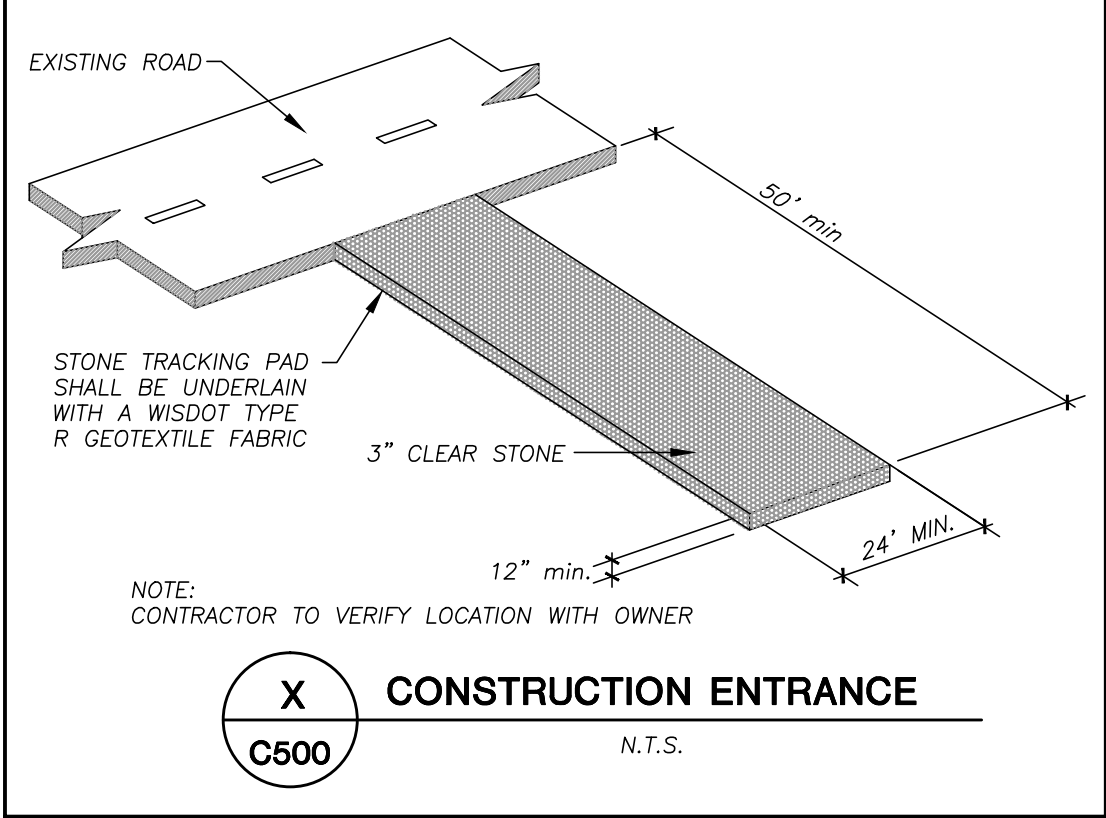
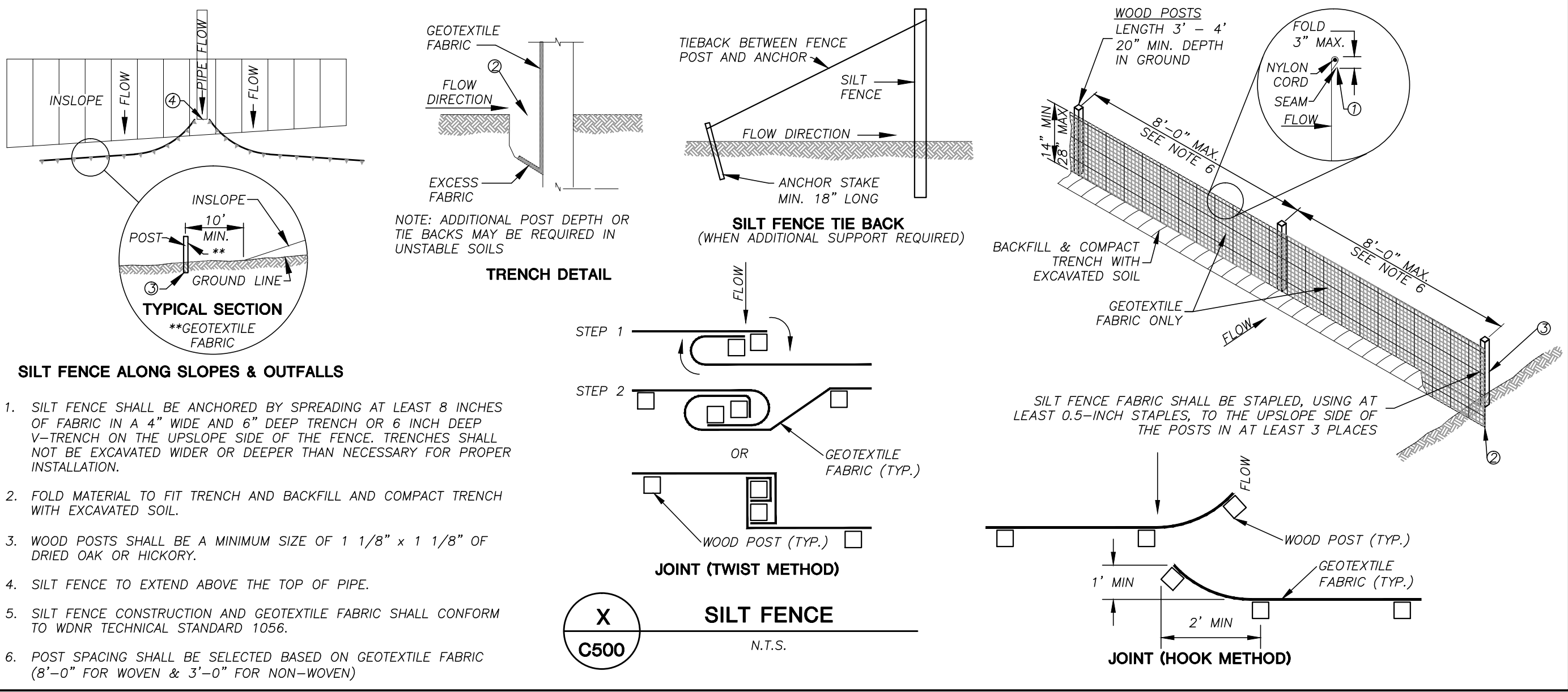
TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN NEOSMOSIS



CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

NEOSMOSIS STATE STATUTE 100-1970(14) REQUIRES MAY THREE (3) WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE TO, OR ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY. THE OWNER WILL PROVIDE EXISTING PLANS OF ALL UTILITIES SERVING THE SITE AND THE BUILDING. THAT UTILITIES CANNOT BE LOCATED BY A VISUAL SURVEY OF THE PROPERTY OR BY AN INSTRUMENT SURVEY WOULD HAVE NO KNOWLEDGE.



MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATIONS

Madison, Wisconsin

Issued for: UDC

Issue date: 04-29-2015

AA Project No.: 2014-04

MC Project No.: B15-001

Bid Pkg No.:

REVISION DATE



| | |
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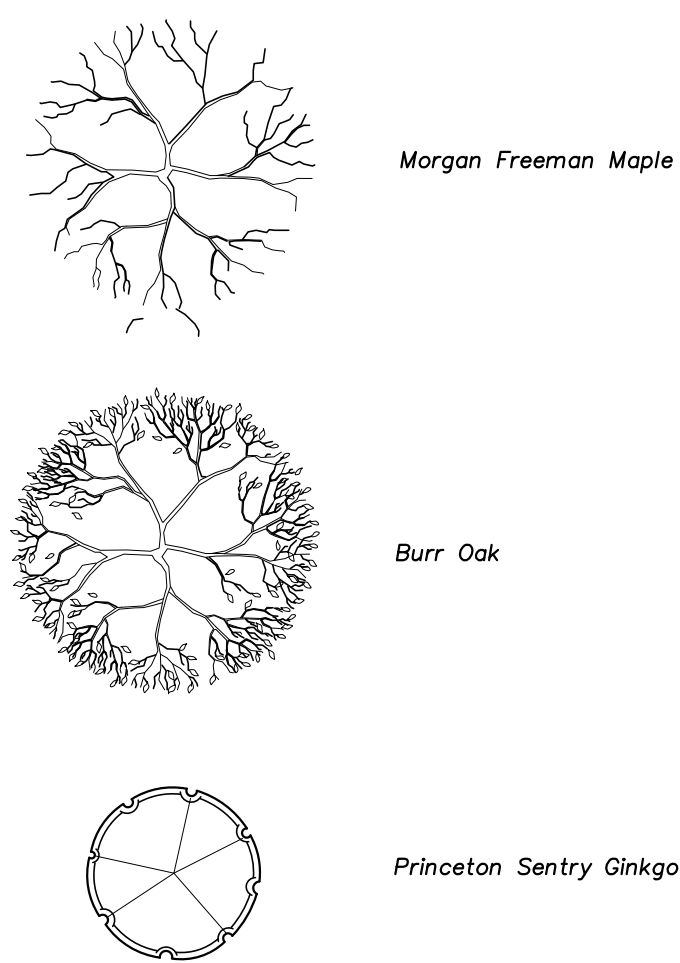
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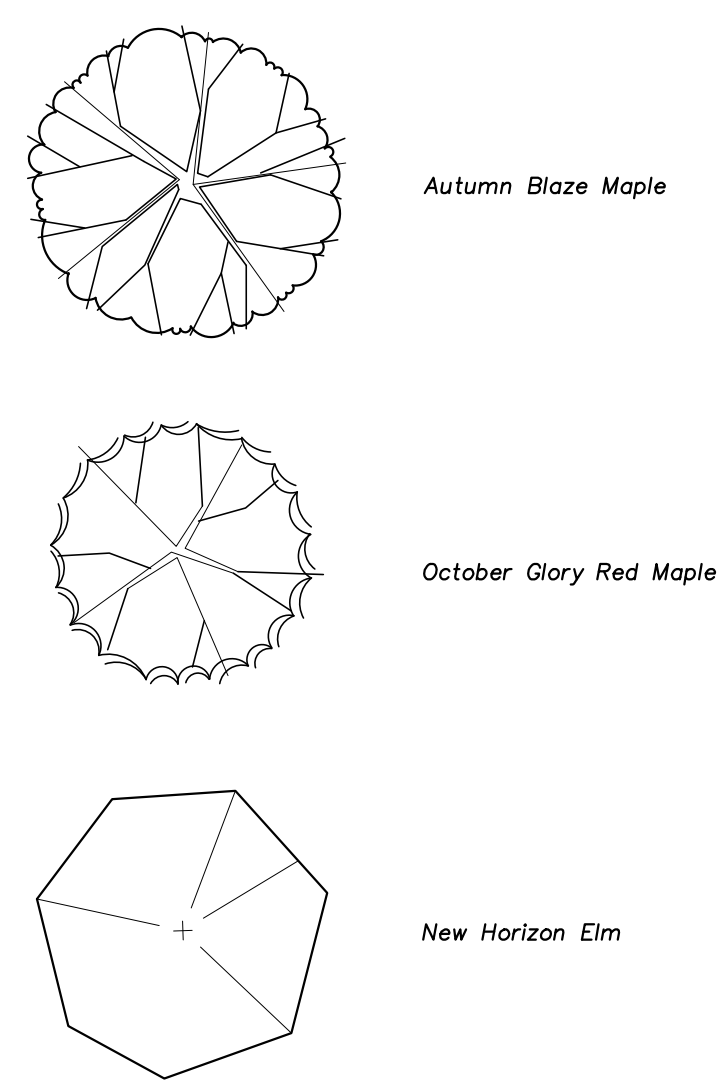
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LANDSCAPE PLAN

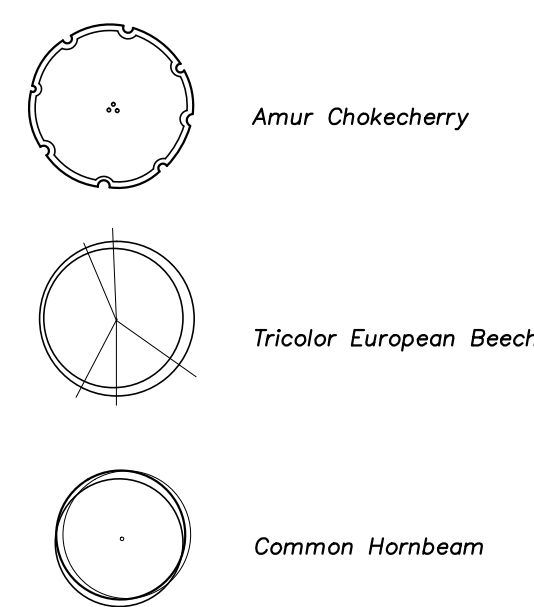
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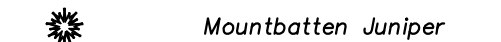
OVERSTORY DECIDUOUS TREES (CONT.)



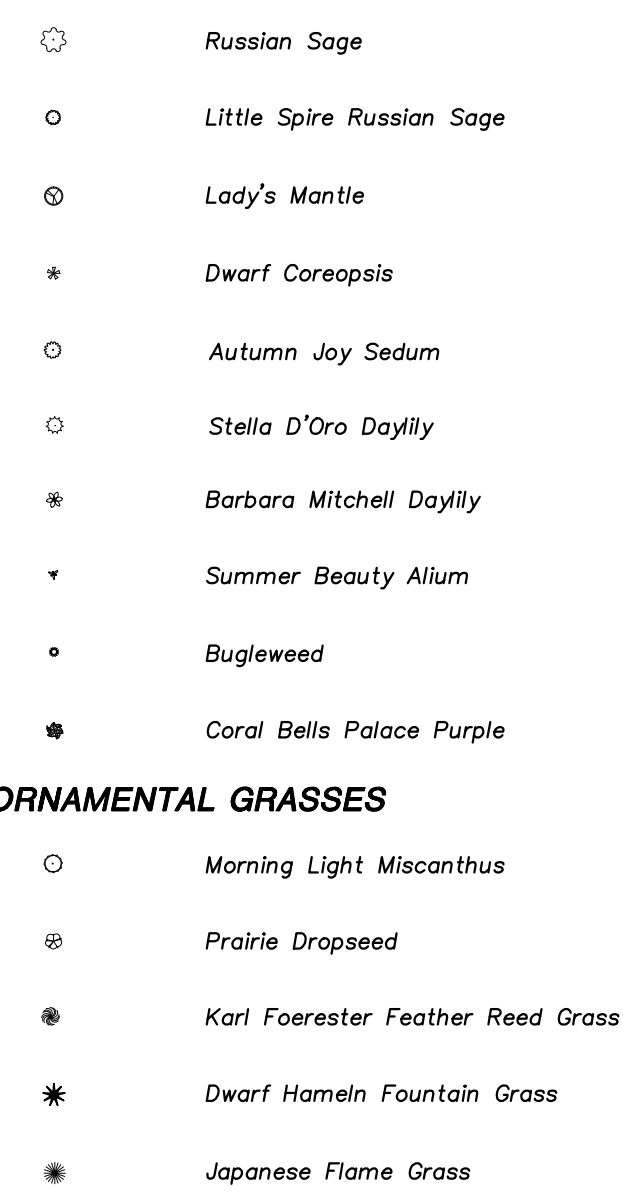
ORNAMENTAL TREES



 Mountbatten Juniper



PERENNIALS



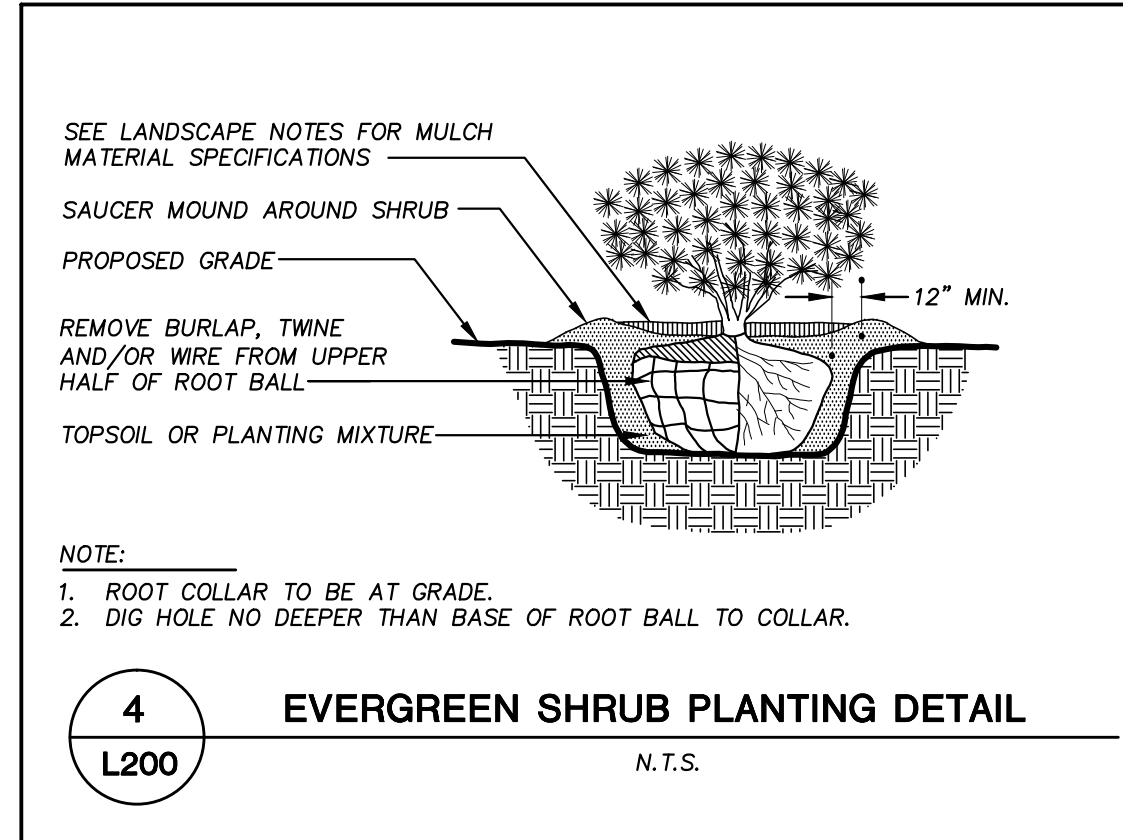
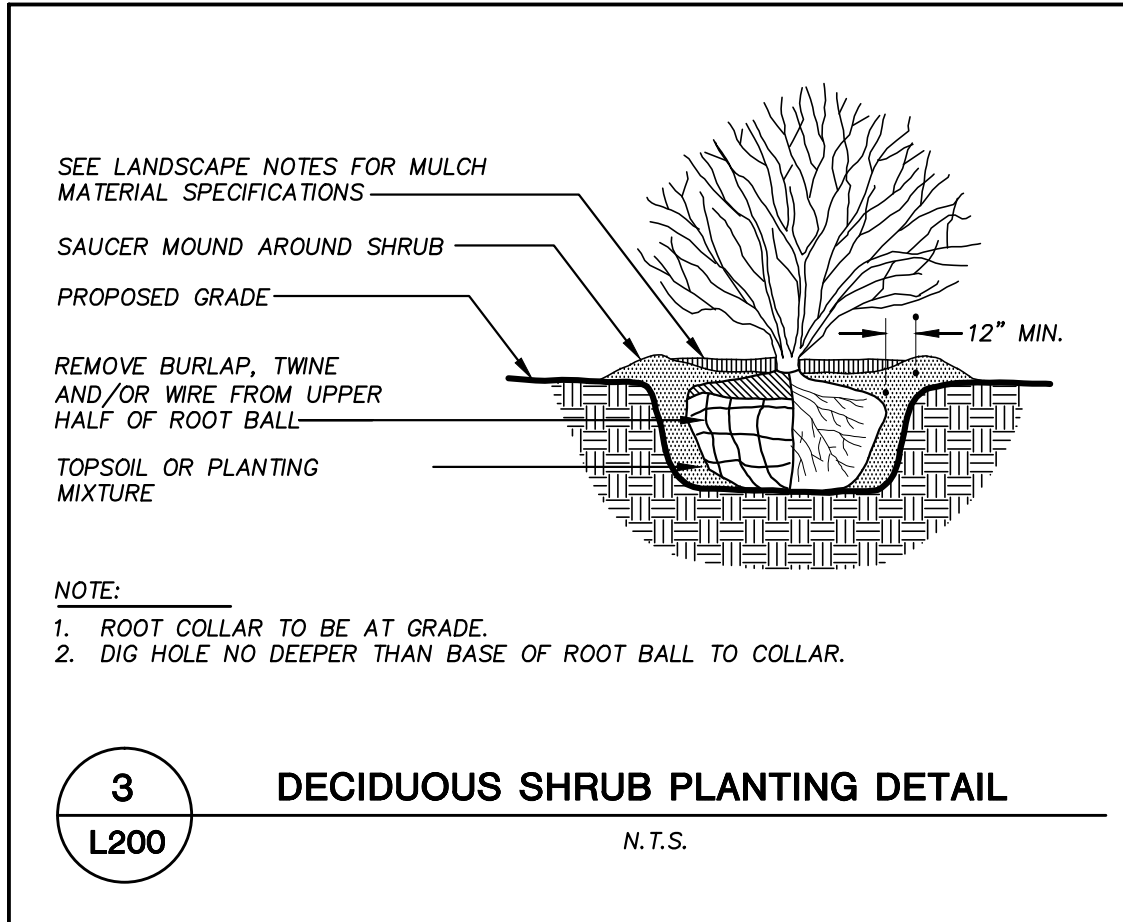
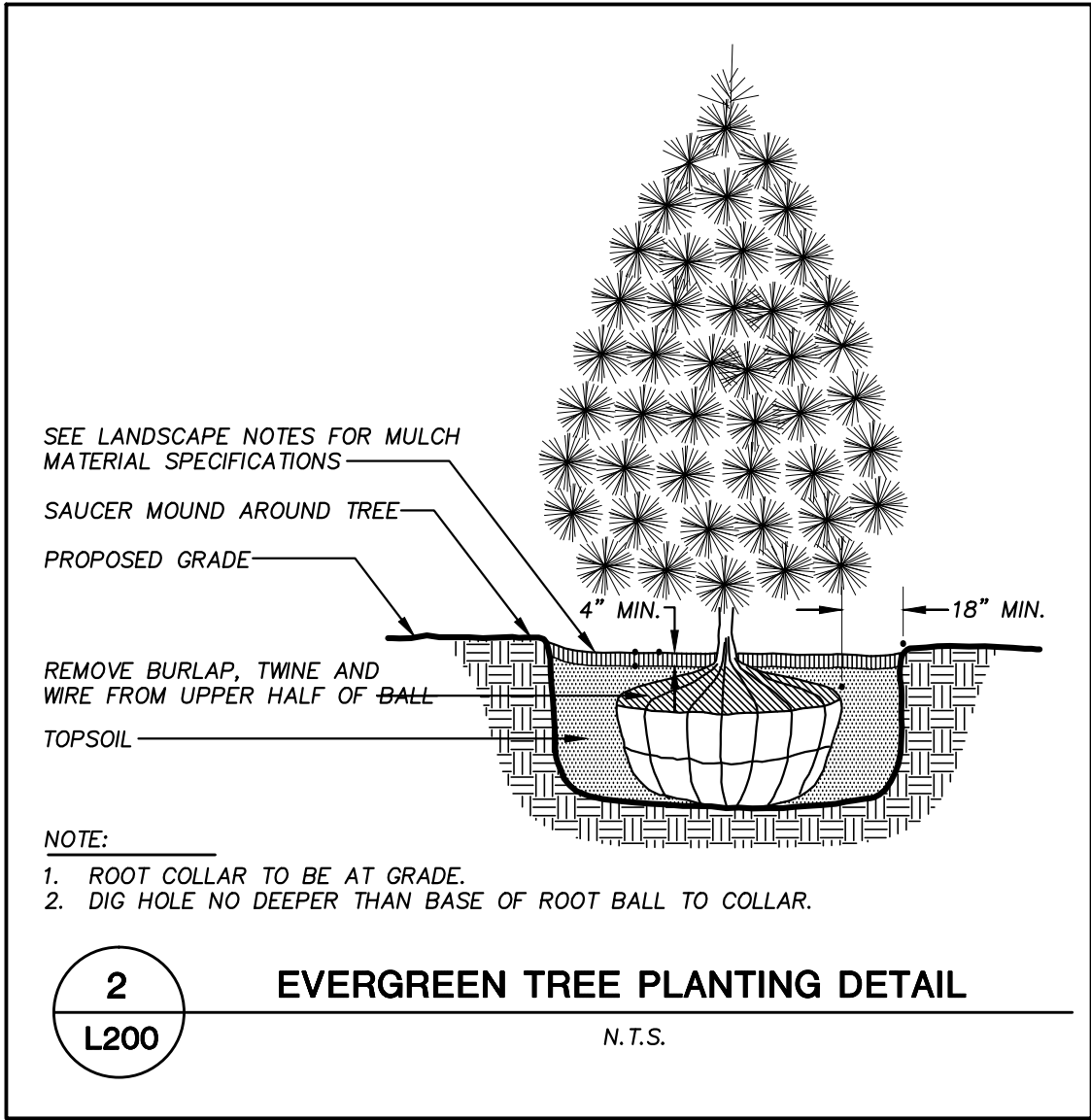
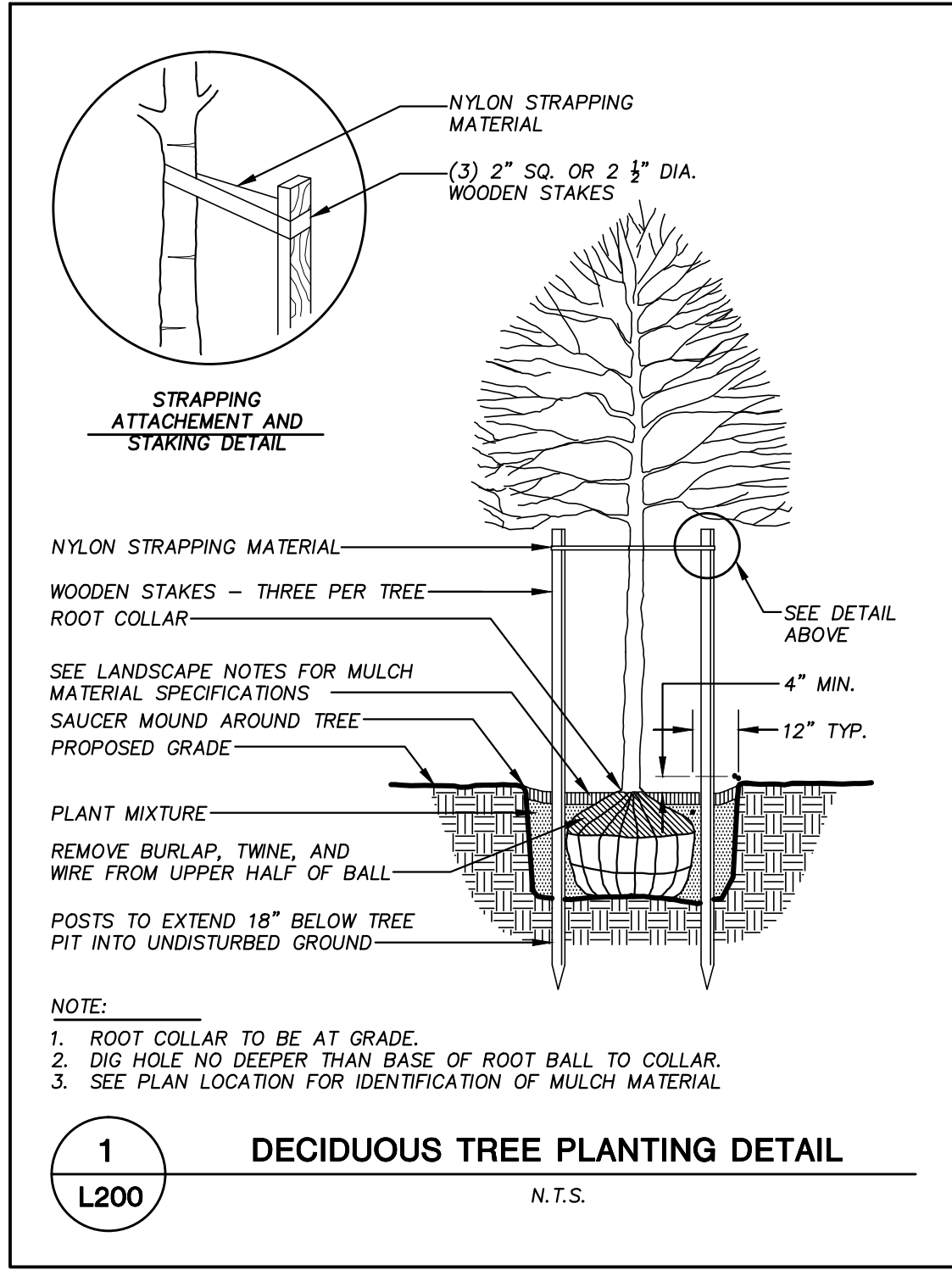
ORNAMENTAL GRASSES



- - - - - PROPERTY LINE
 - - - - - EASEMENT LINE
 - - - - - RIGHT-OF-WAY
 - - - - - SAWCUT
 _____ BUILDING LINE
 _____ EDGE OF PAVEMENT
 _____ 18" STANDARD CONCRETE CURB & GUTTER
 _____ 18" REJECT CONCRETE CURB & GUTTER
 _____ PROPOSED CONCRETE PAVEMENT
 _____ PROPOSED ASPHALT PAVEMENT
 _____ POLYETHYLENE EDGING

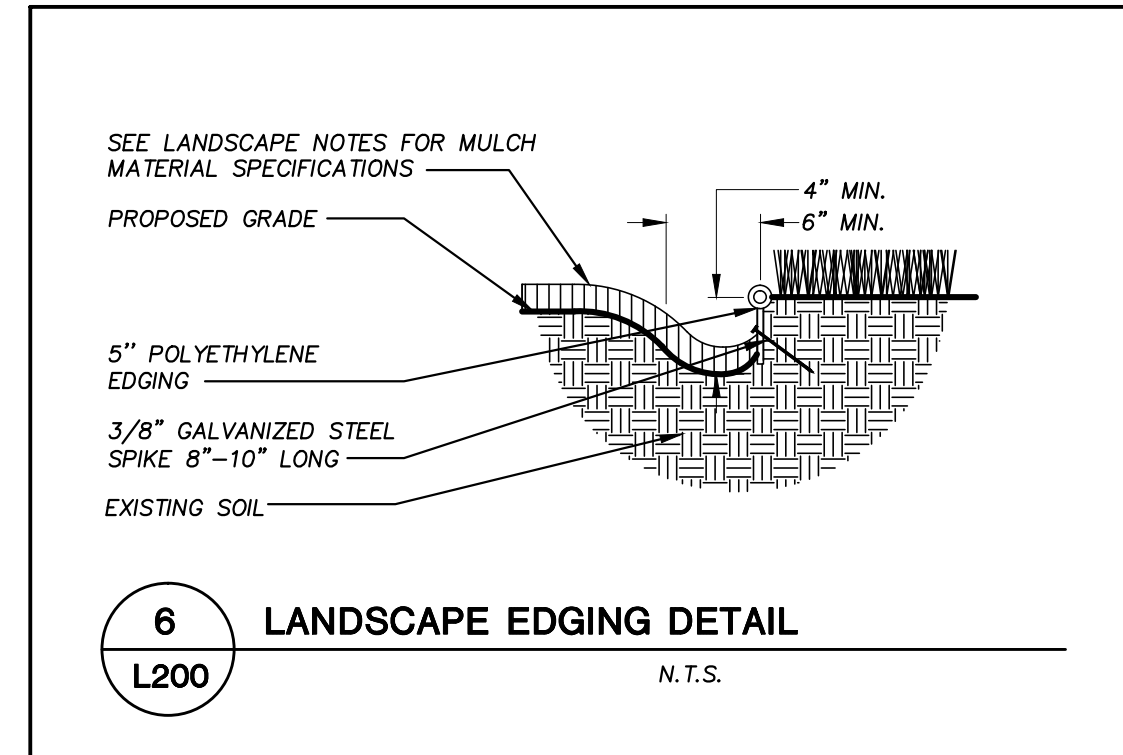
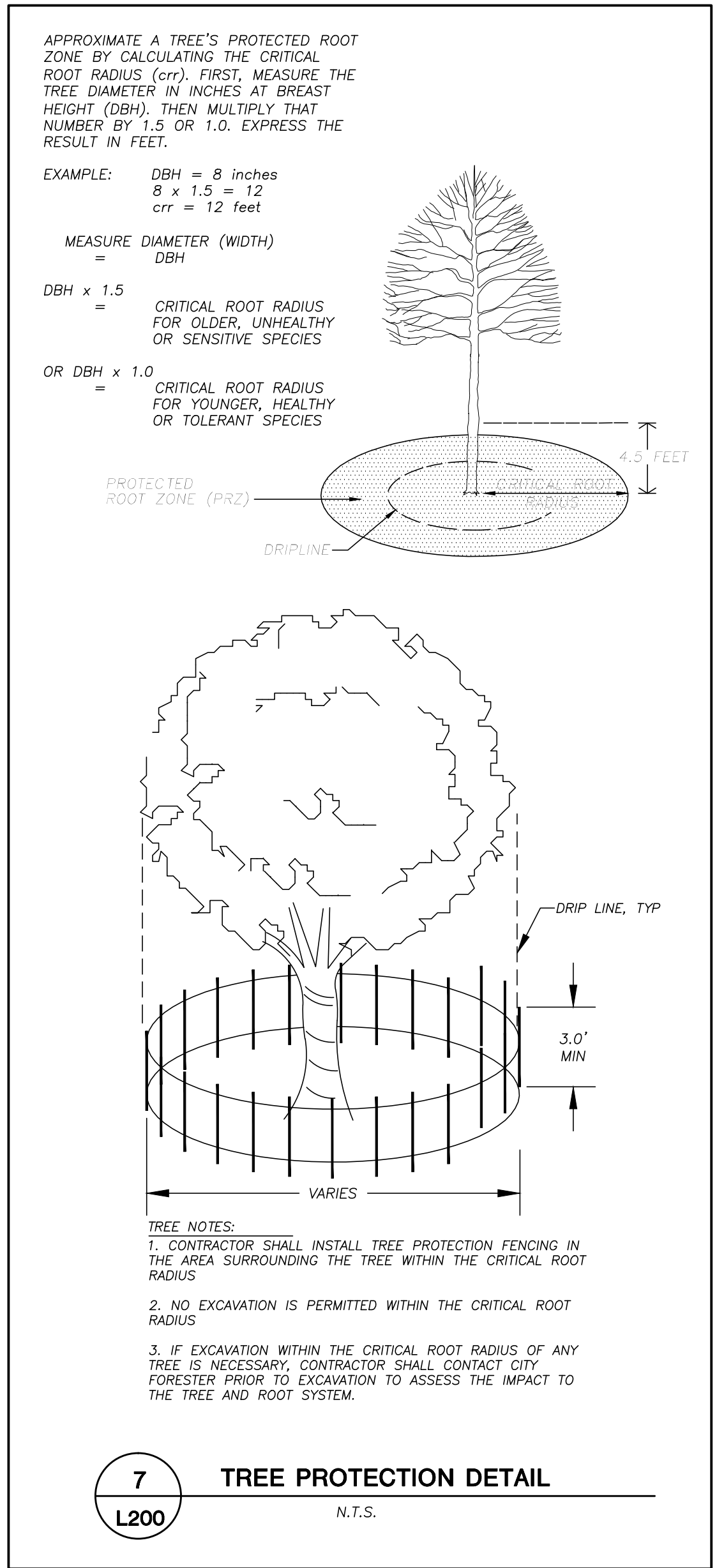
1. REFER TO THE BOUNDARY, TOPOGRAPHIC, SITE PLAN, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
3. USD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
5. DRAWING FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
6. REFER TO SHEET L2200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.

| LANDSCAPE PLANT LIST | | | BOTANICAL NAME | SIZE | ROOT | POINTS | TOTAL POINTS |
|---------------------------------|------|----------------------------------|--|----------------|----------|---------------|--------------|
| SYNTH | QTY. | COMMON NAME | | | | | |
| UPRIGHT DECIDUOUS TREES | | | | | | | |
| AF | 2 | Morgan Freeman Maple | ACER x freemanii 'Morgan' | 2-1/2' Cal. | B&B | 35 | 70 |
| QM | 1 | Burr Oak | QUERCUS macrocarpa | 2-1/2' Cal. | B&B | 35 | 35 |
| PS | 4 | Princeton Sentry Ginkgo | GINKGO biloba 'Princeton Sentry' | 2-1/2' Cal. | B&B | 35 | 140 |
| AFJ | 2 | Autumn Blaze Maple | ACER x freemanii 'Jefferson' | 2-1/2' Cal. | B&B | 35 | 70 |
| OG | 1 | October Glory Red Maple | ACER rubrum 'October Glory' | 2-1/2' Cal. | B&B | 35 | 35 |
| NH | 7 | New Horizon Elm | ULMUS x 'New Horizon' | 2-1/2' Cal. | B&B | 35 | 245 |
| ORNAMENTAL TREES | | | | | | | |
| PV | 3 | Amur Chokeberry | PRUNUS maackii | 2" Cal. | B&B | 15 | 45 |
| FS | 3 | Tricolor European Beech | FAGUS sylvatica 'Tricolor' | 2" Cal. | B&B | 15 | 45 |
| CB | 11 | Common Hornbeam | CARPINUS betulus 'Fastigiata' | 2" Cal. | B&B | 15 | 165 |
| UPRIGHT EVERGREEN SHRUBS | | | | | | | |
| JC | 7 | Mountain Juniper | JUNIPERUS chinensis 'Mountbatten' | 3-4' Ht. | B&B | 10 | 70 |
| DECIDUOUS SHRUBS | | | | | | | |
| FI | 14 | Dwarf Fothergilla | FOTHERGILLA gardenii | 12-24" Mn. Ht. | #2 Cont. | 3 | 42 |
| FL | 17 | Border Forsythia | FORSYTHIA x intermedia 'Sunrise' | 3-12" Mn. Ht. | #2 Cont. | 3 | 51 |
| KD | 24 | Kelsey's Dogwood | CORNUS sericea 'Kelsey' | 12-24" Mn. Ht. | #2 Cont. | 3 | 72 |
| EVERGREEN SHRUBS | | | | | | | |
| JS | 28 | Blue Star Juniper | JUNIPERUS squamata 'Blue Star' | 12-24" Mn. Ht. | #2 Cont. | 4 | 112 |
| MA | 8 | Mini Arcade Juniper | JUNIPERUS sabina 'Mini Arcade' | 12-24" Mn. Ht. | #2 Cont. | 4 | 32 |
| PERENNIALS | | | | | | | |
| RS | 60 | Russian Sage | PEROVSKIA atriplicifolia | 8 - 18" Ht. | #1 Cont. | 2 | 120 |
| PA | 85 | Little Spire Russian Sage | PEROVSKIA atriplicifolia 'Little Spire' | 8 - 18" Ht. | #1 Cont. | 2 | 170 |
| AM | 24 | Lady's Mantle | ALCHEMILLA mollis | 8 - 18" Ht. | #1 Cont. | 2 | 48 |
| CG | 27 | Dwarf Coreopsis | COREOPSIS grandiflora 'Sunray' | 8 - 18" Ht. | #1 Cont. | 2 | 54 |
| SA | 40 | Autumn Joy Sedum | SEDUM 'Autumn Joy' | 8 - 18" Ht. | #1 Cont. | 2 | 80 |
| SDD | 27 | Stella D'Oro Daylily | HEMEROCALLIS 'Stella D'Oro' | 8 - 18" Ht. | #1 Cont. | 2 | 54 |
| HG | 39 | Barbara Mitchell Daylily | HEMEROCALLIS 'Barbara Mitchell' | 8 - 18" Ht. | #1 Cont. | 2 | 78 |
| AS | 55 | Summer Beauty Allium | ALLIUM 'Summer Beauty' | 8 - 18" Ht. | #1 Cont. | 2 | 90 |
| AR | 18 | Bugleweed | AJUGA reptans | 8 - 18" Ht. | #1 Cont. | 2 | 36 |
| CP | 25 | Coral Bells Palace Purple | HEUCHERA micrantha 'Palace Purple' | 10 - 12" Ht. | #1 Cont. | 2 | 50 |
| ORNAMENTAL GRASSES | | | | | | | |
| MS | 29 | Morning Light Miscanthus | MISCANTHUS sinensis 'Morning Light' | 8 - 18" Ht. | #1 Cont. | 2 | 58 |
| PR | 52 | Prairie Dropseed | SPOROBOLUS heterolepis | 8 - 18" Ht. | #1 Cont. | 2 | 104 |
| CA | 148 | Karl Foerster Feather Reed Grass | CALAMAGROSTIS x acutiflora 'Karl Foerster' | 8 - 18" Ht. | #1 Cont. | 2 | 296 |
| PA | 34 | Dwarf Hameln Fountain Grass | PENISTETUM alopecuroides 'Hameln' | 8 - 18" Ht. | #1 Cont. | 2 | 68 |
| FLG | 41 | Japanese Flame Grass | MISCANTHUS sinensis var. purpurascens | 8 - 18" Ht. | #1 Cont. | 2 | 82 |
| | | | | | | TOTAL= | 2617 |



LANDSCAPE NOTES & SPECIFICATIONS

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCUPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDS, EDGING, MULCH, GRASS, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAWNS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK AND 2601-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DIG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- CONTRACTOR IS RESPONSIBLE FOR STAKING OF ALL LANDSCAPE MATERIALS AND PLANT LOCATIONS PRIOR TO DIGGING FOR REVIEW BY OWNER OR OWNER'S A/E REPRESENTATIVE.
- MATERIALS - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 - SEEDED AREAS = 7"
 - PLANTED AREAS AND PARKING ISLANDS = 24"
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - PRE-EMERGENT: PRE-EMERGENT HERBICIDE TO BE APPLIED TO ALL PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, BLACK, POLYETHYLENE EDGING "VALLEY VIEW BLACK DIAMOND" OR EQUIVALENT AS APPROVED BY OWNER, EXCEPT FOR TREE RINGS. ALL DECIDUOUS AND EVERGREEN TREES NOT WITHIN EDGED LANDSCAPE PLANTING BEDS SHALL BE INSTALLED WITH A 5' DIAMETER TREE RING WITH SHOVEL CUT EDGING 5" IN DEPTH.
- MATERIALS - ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE FINELY SHREDDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - ALL AREAS LABELED ON PLAN SHALL RECEIVE WASHED STONE MULCH AS APPROVED BY OWNER. STONE SHALL BE SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS: SOD ALL DISTURBED AREAS AS SPECIFIED IN THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD, ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- MATERIALS - FERTILIZER AND MULCH: TREES RINGS AND PLANTING BEDS SHALL RECEIVE FINELY SHREDDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF 4 INCHES OVER ENTIRE PLANTING BED OR TREE RING, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - WEED BARRIER FABRIC: ALL PLANTING AREAS AND FENCED AREAS DESIGNATED TO RECEIVE CRUSHED GRAVEL SHALL BE INSTALLED WITH WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, AND ASO. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP: DISPOSE OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30-60 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN DURING THIS 30 DAY ESTABLISHMENT PERIOD AS WELL AS MOWING AT APPROPRIATE TIMES TO PROMOTE ESTABLISHMENT OF SOD TURFGRASS. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DECIDENT BARK MULCH DURING THIS PERIOD.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND SEEDED AREAS AS NECESSARY FOLLOWING THE ONE (1) YEAR PLANT GUARANTEE PERIOD.



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 1701 WRIGHT STREET, MADISON, WI 53704
Name of Project MADISON COLLEGE TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS
Owner / Contact MADISON COLLEGE
Contact Phone (608) 848-5060 Contact Email JUSTIN.FRAHM@JSDINC.COM

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

| | |
|--|--------|
| Total square footage of developed area | 50,043 |
| Total landscape points required | 834 |
- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

| | |
|---|--|
| Total square footage of developed area | |
| Five (5) acres = 217,800 square feet | |
| First five (5) developed acres = 3,630 points | |
| Remainder of developed area | |
| Total landscape points required | |
- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

| | |
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| Total square footage of developed area | |
| Total landscape points required | |

10/2013

1

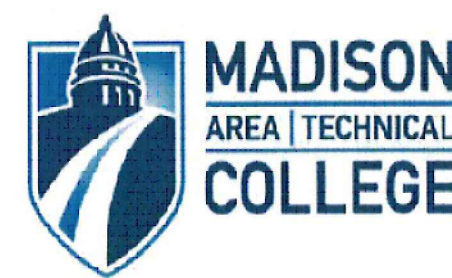
Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

| Plant Type/ Element | Minimum Size at Installation | Points | Credits/ Existing Landscaping | | New/ Proposed Landscaping | |
|---|--|---|-------------------------------|-----------------|--|-----------------|
| | | | Quantity | Points Achieved | Quantity | Points Achieved |
| Overstory deciduous tree | 2 1/2 inch caliper - measured diameter at breast height (dbh) | 35 | | | 17 | 595 |
| Tall evergreen tree (i.e. pine, spruce) | 5-6 feet tall | 35 | | | | |
| Ornamental tree | 1 1/2 inch caliper | 15 | | | 17 | 255 |
| Upright evergreen shrub (i.e. arbovitae) | 3-4 feet tall | 10 | | | 7 | 70 |
| Shrub, deciduous | #3 gallon container size, Min. 12"-24" | 3 | | | 55 | 165 |
| Shrub, evergreen | #3 gallon container size, Min. 12"-24" | 4 | | | 36 | 144 |
| Ornamental grasses/ perennials | #1 gallon container size, Min. 8"-18" | 2 | | | 694 | 1388 |
| Ornamental/ decorative fencing or wall | n/a | 4 per 10 lineal ft. | | | | |
| Existing significant specimen tree | Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points. | 14 per inch dbh. Maximum points per tree: 200 | | | 7 TREE AT 115" TO TALL DBH 250 (30% OF TOTAL REQUIRED) | |
| Landscape furniture for public seating and/or transit connections | * Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points. | 5 points per "seat" | | | | |
| Sub Totals | | | | 250 | | 2617 |

Total Number of Points Provided 2867

* As determined by ANSI/ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

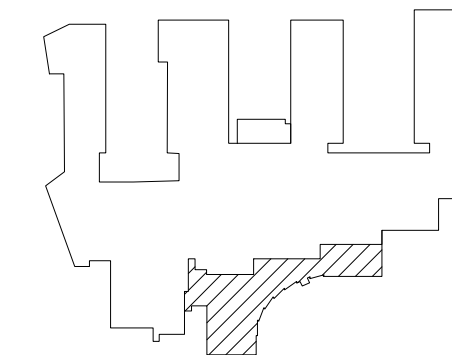


MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATIONS

Madison, Wisconsin

Issued for: UDC
Issue date: 04-29-15
AA Project No.: 2014-04
MC Project No.: B15-001
Bid Pkg No.:

REVISION DATE



assemblage
ARCHITECTS
7427 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047

JSD Professional Service, Inc.
Engineers • Surveyors • Planners

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE 608.848.2255 FAX
MADISON | MILWAUKEE
KENOSHA | APPLETON

SCALE

SHEET TITLE

LANDSCAPE DETAILS,
NOTES AND
SPECIFICATIONS

SHEET NUMBER

L200



MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATIONS

Madison, Wisconsin

Issued for: UDC

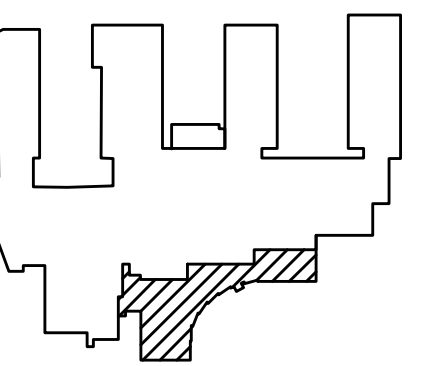
Issue date: 04-28-2015

AA Project No.: 2014-04

MC Project No.: B15-001

Bid Pkg No.:

| REVISION | DATE |
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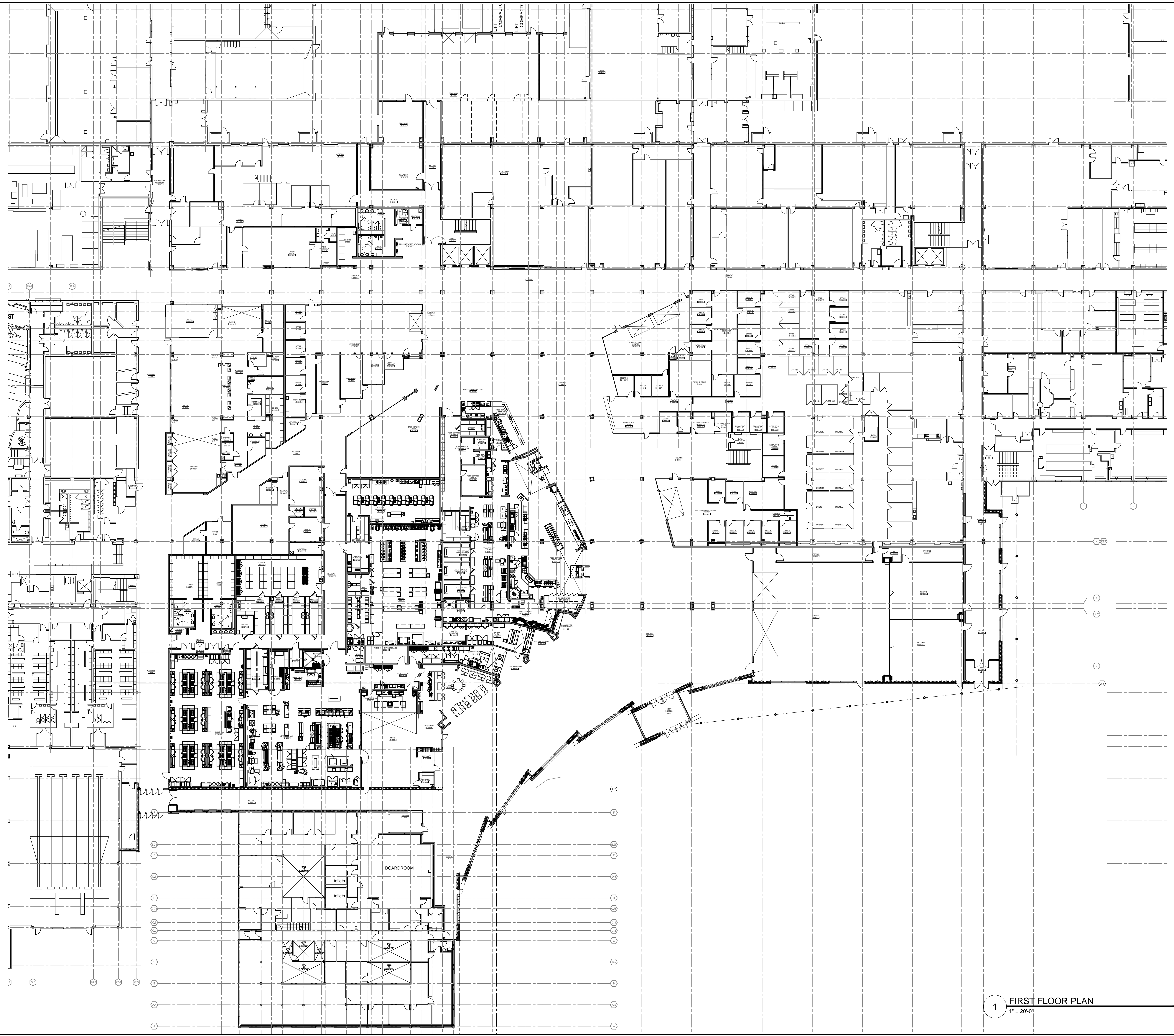
1" = 20'-0"

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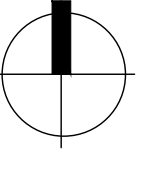
OVERALL FIRST FLOOR PLAN

SHEET NUMBER

A100



1 FIRST FLOOR PLAN
1" = 20'-0"





MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATIONS

Madison, Wisconsin

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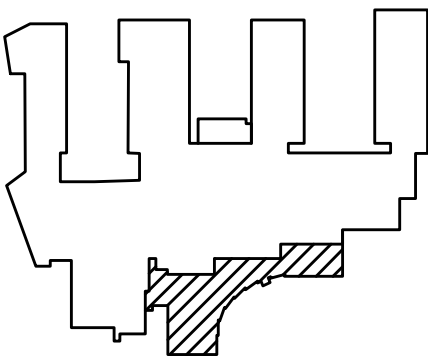
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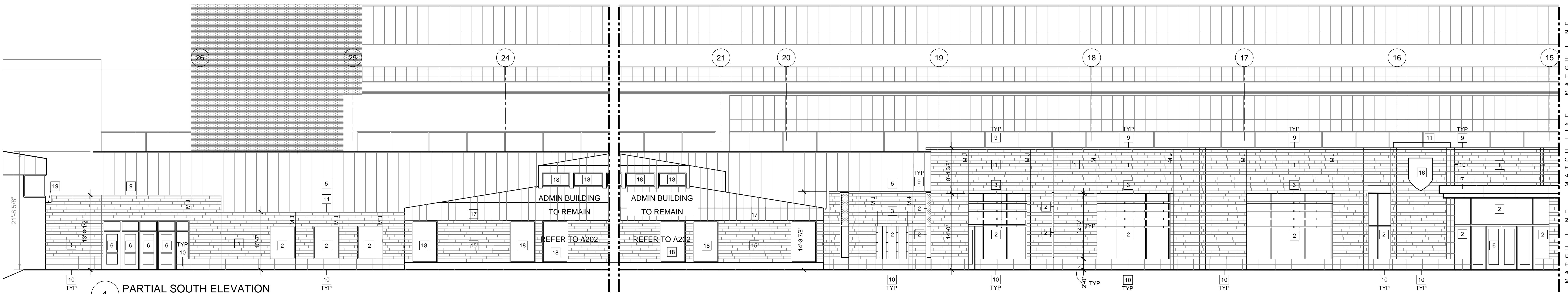
1/8" = 1'-0"

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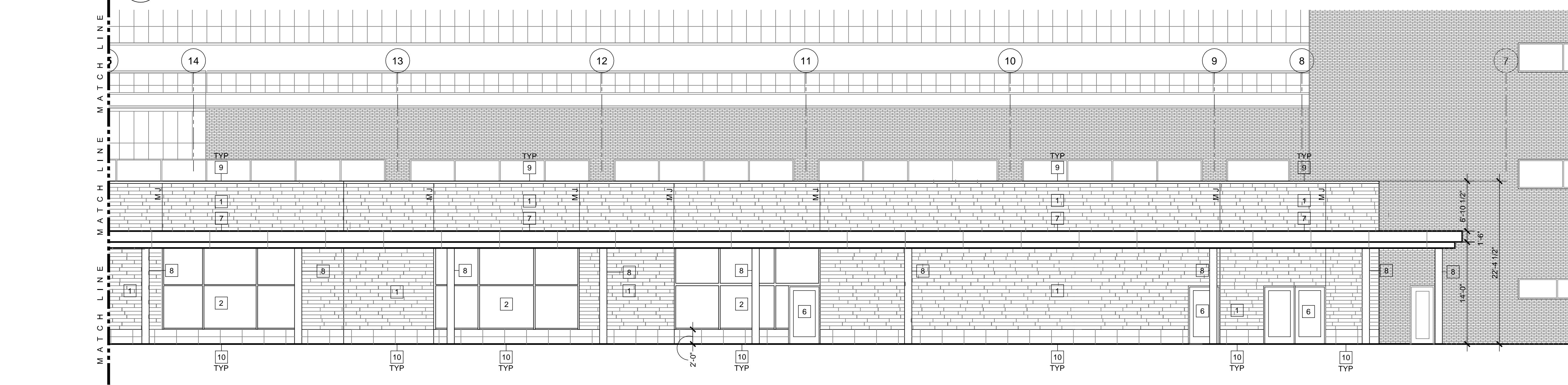
BUILDING ELEVATIONS

SHEET NUMBER

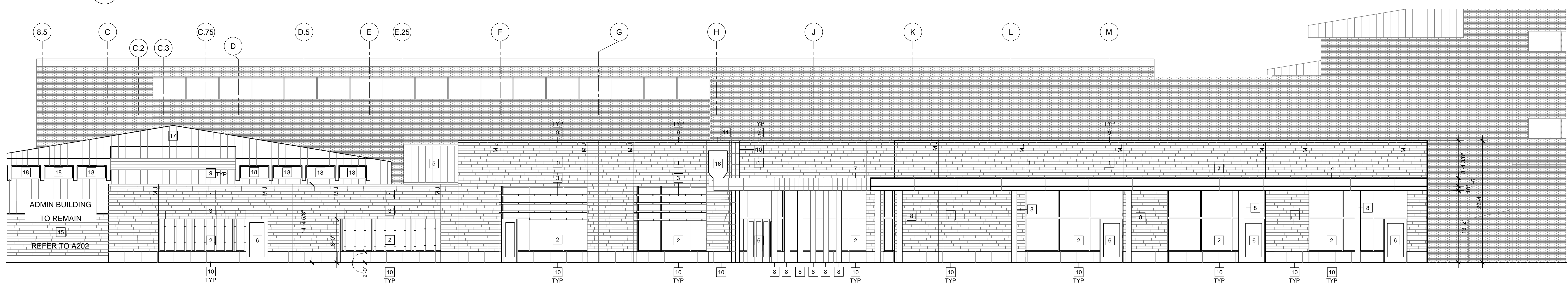
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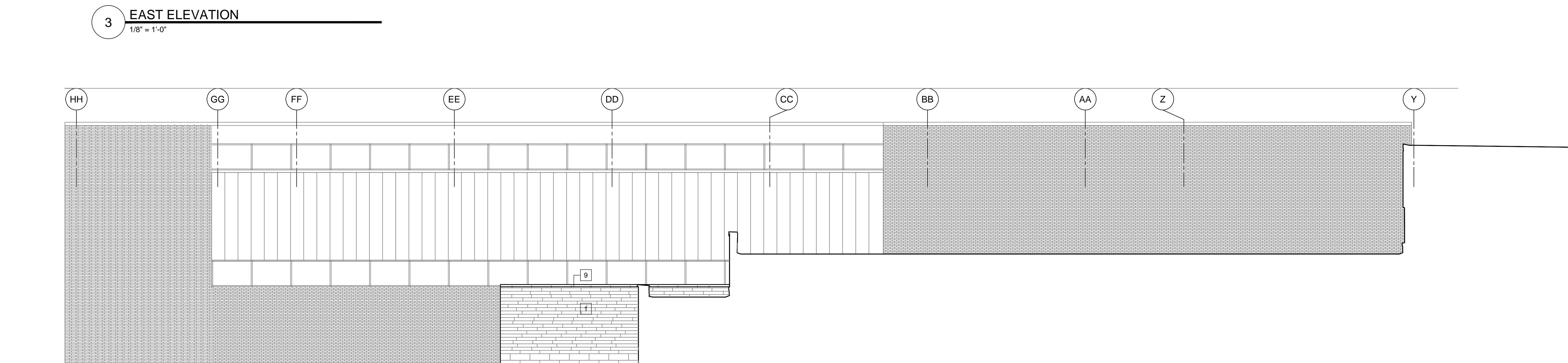
1 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



4 PARTIAL EAST ELEVATION
1/8" = 1'-0"

- KEYNOTES
- 1 BRICK
 - 2 CURTAIN WALL SYSTEM
 - 3 SHADING DEVICE
 - 4 CONTROL JOINT
 - 5 METAL PANEL FACADE SYSTEM
 - 6 EXTERIOR DOOR AS SCHEDULED
 - 7 COMPOSITE METAL PANEL CANOPY SYSTEM
 - 8 CONCRETE COLUMN
 - 9 ARCHITECTURAL PRECAST CONCRETE COPING SYSTEM
 - 10 3 1/2" APC. STACK BOND
 - 11 STONE COPING
 - 12 EPDM ROOF SYSTEM
 - 13 INSULATED METAL PANEL- GLAZE INTO CURTAIN WALL SYSTEM
 - 14 METAL ROOF EDGE TO MATCH CURTAIN WALL / CANOPY SYSTEM
 - 15 EXISTING BRICK TO REMAIN
 - 16 SIGNAGE. COORDINATE WITH OWNER
 - 17 METAL ROOF SYSTEM ON EXISTING STEEL FRAME
 - 18 EXISTING WINDOWS TO REMAIN
 - 19 OVERFLOW SCUPPER



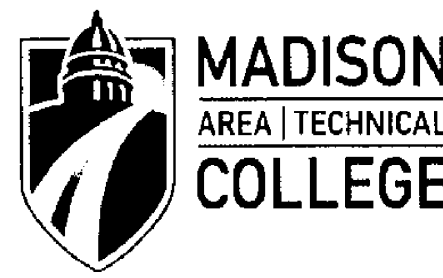
SOUTH ELEVATION



ADMINISTRATION BUILDING AND SOUTH ELEVATION



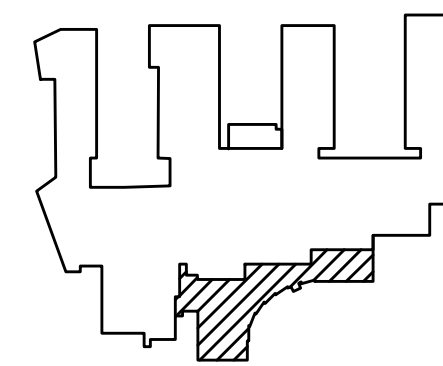
EAST ELEVATION AND ENTRY



MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATIONS
Madison, Wisconsin

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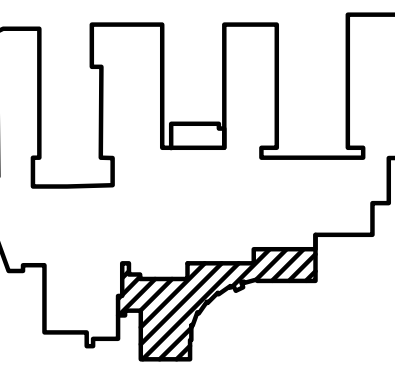


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| SCALE |
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| SHEET TITLE |
| BUILDING EXTERIOR |
| SHEET NUMBER |

A200

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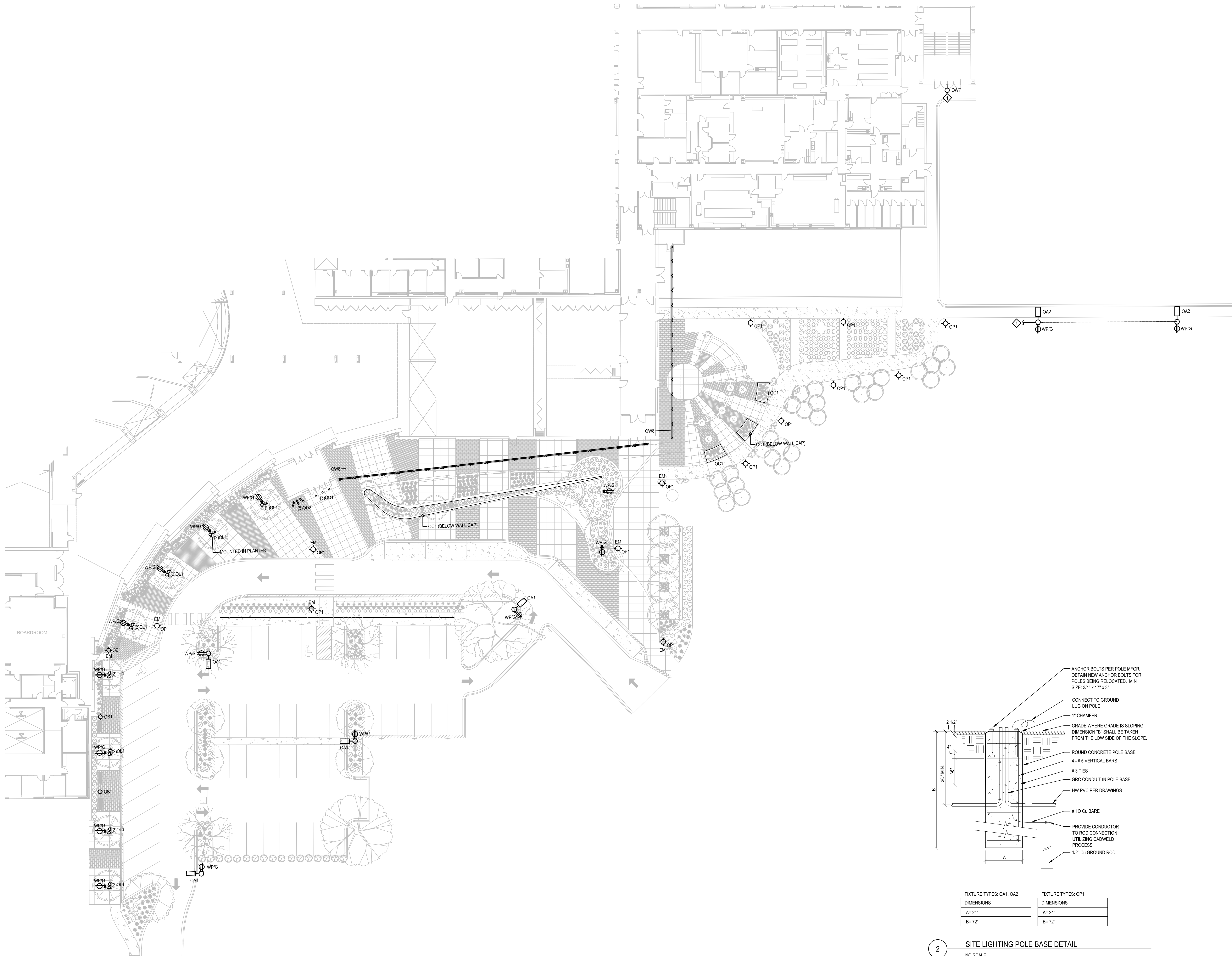
SEE DRAWING

SHEET TITLE

ELECTRICAL SITE PLAN

SHEET NUMBER

E001



| CALCULATION SUMMARY | | | | | |
|---------------------|-------------|-------|-----|------|---------|
| LABEL | CALCTYPE | UNITS | MIN | AVG | AVG/MIN |
| PARKING AREA | ILLUMINANCE | FC | 0.5 | 1.98 | 3.96 |
| DRIVE PATH | ILLUMINANCE | FC | 0.4 | 1.42 | 3.55 |

CITY OF MADISON OUTDOOR LIGHTING STANDARD - OPEN PARKING FACILITIES, MEDIUM ACTIVITY LEVEL

SUGGESTED CONTROL SEQUENCE:

POLE AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY ON AT SUNSET.

LANDSCAPE LUMINAIRES AUTOMATICALLY ON 30 MINUTES AFTER SUNSET.

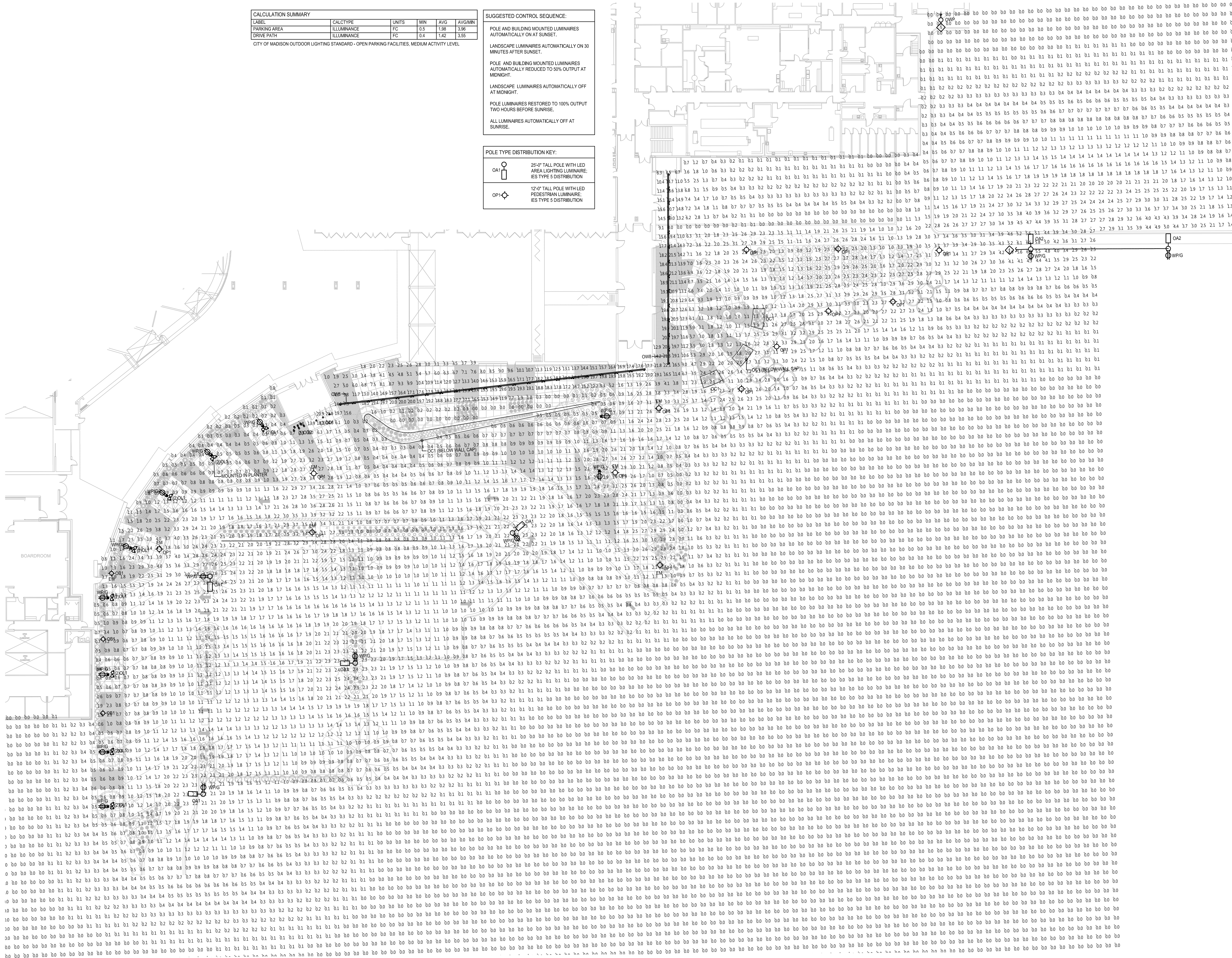
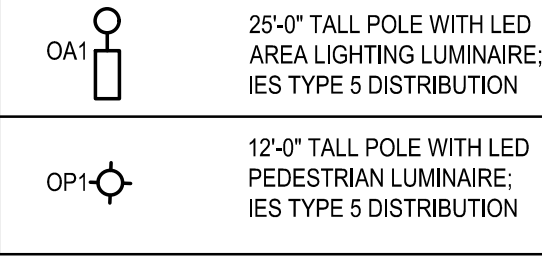
POLE AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY REDUCED TO 50% OUTPUT AT MIDNIGHT.

LANDSCAPE LUMINAIRES AUTOMATICALLY OFF AT MIDNIGHT.

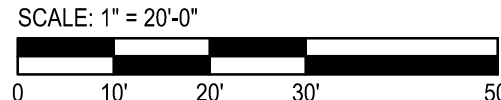
POLE LUMINAIRES RESTORED TO 100% OUTPUT TWO HOURS BEFORE SUNRISE.

ALL LUMINAIRES AUTOMATICALLY OFF AT SUNRISE.

POLE TYPE DISTRIBUTION KEY:



1 ELECTRICAL SITE PLAN - ILLUMINANCE STUDY



MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATION

Madison, Wisconsin

Issued for: UDC INITIAL/FINAL

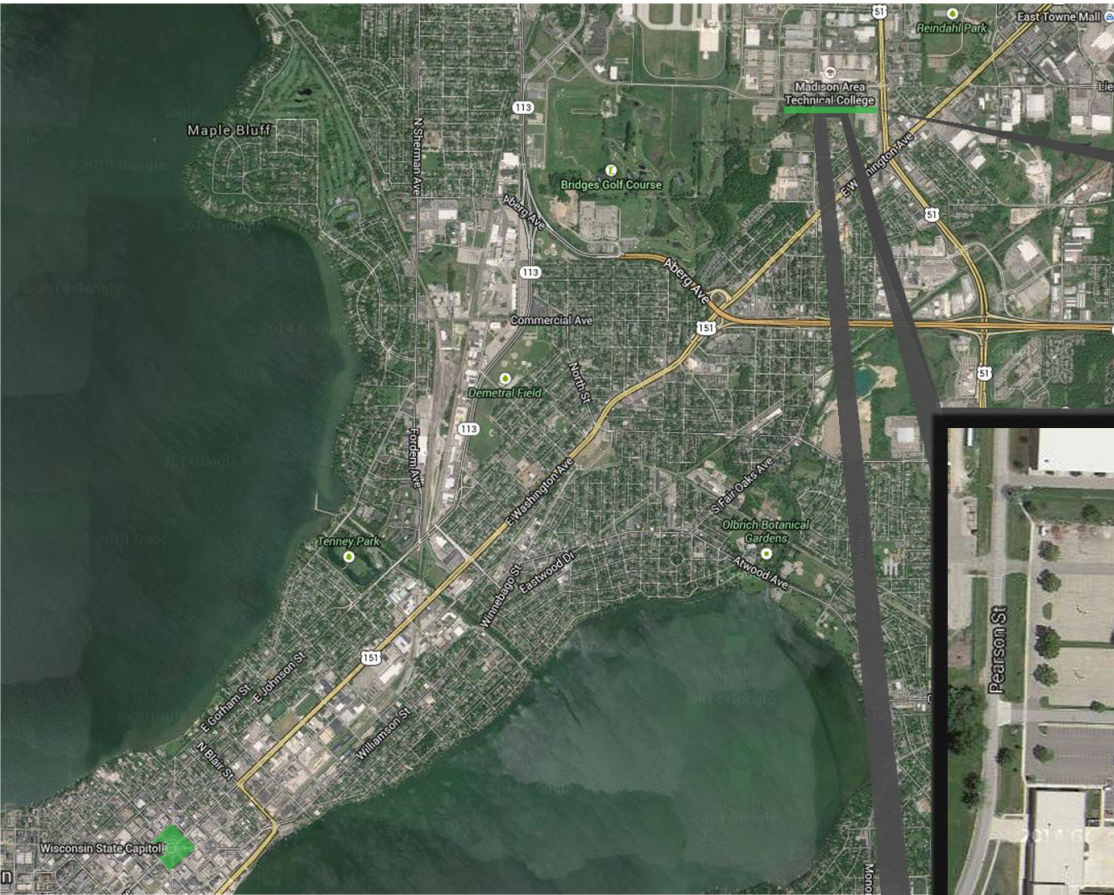
Issue date: 03-05-2015

AA Project No.: 2014-04

MC Project No.: 815-001

Bid Pkg No.:

REVISION DATE



PROJECT
AREA

SITE LOCATOR MAP



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| HOME | WORK | CV |
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EXISTING ADMINISTRATION BUILDING ENTRY



EXISTING ADMINISTRATION BUILDING ENTRY

EXISTING CONTEXT



MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



Gateway Building



Health Services Building



Protective Services Building

MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS



Foundation Building



Student Housing

MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS

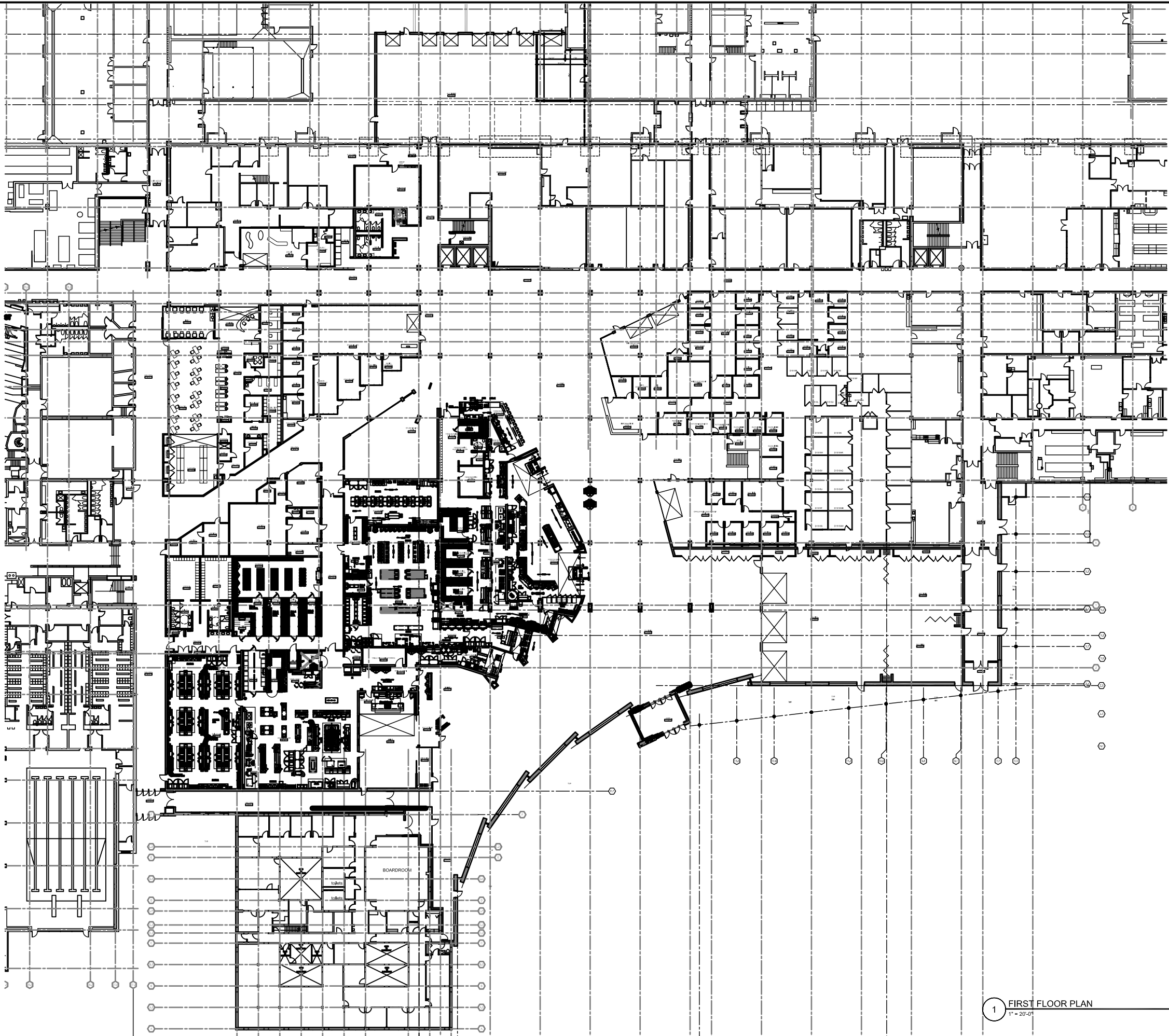


SITE CONTEXT - EXISTING SOUTH ENTRY

3-5-2015

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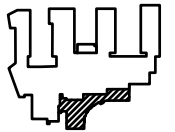
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MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATIONS
Madison, Wisconsin

Issued for: UDC INITIAL / FINAL
Issue date: 03-05-2015
AA Project No.: 2014-04
MC Project No.: B15-001
Bid Pkg No.:

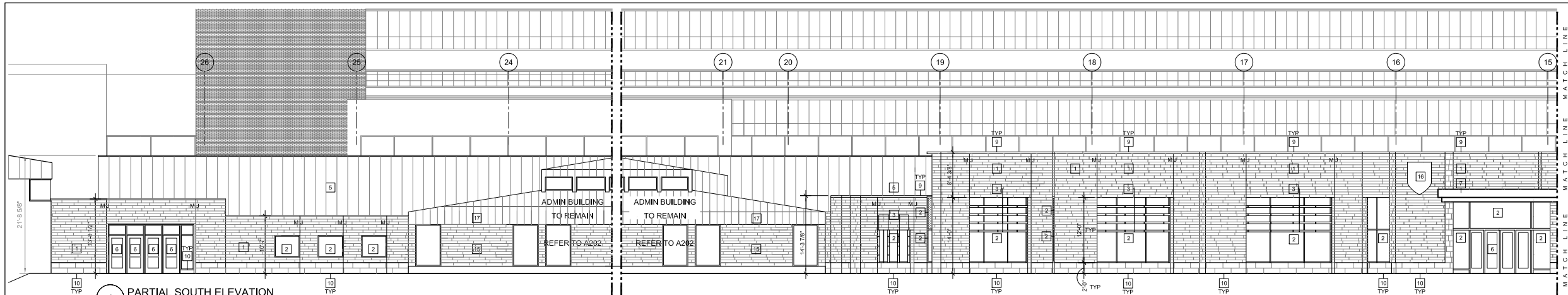
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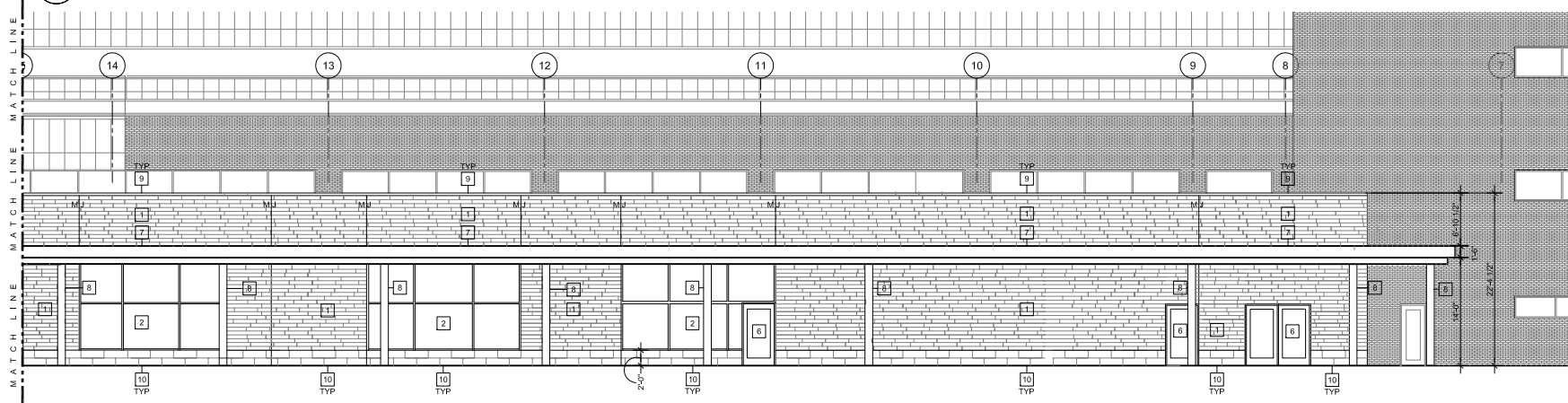
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Middleton, WI 53562
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SCALE
1" = 20'-0"
SHEET TITLE
OVERALL FIRST FLOOR PLAN

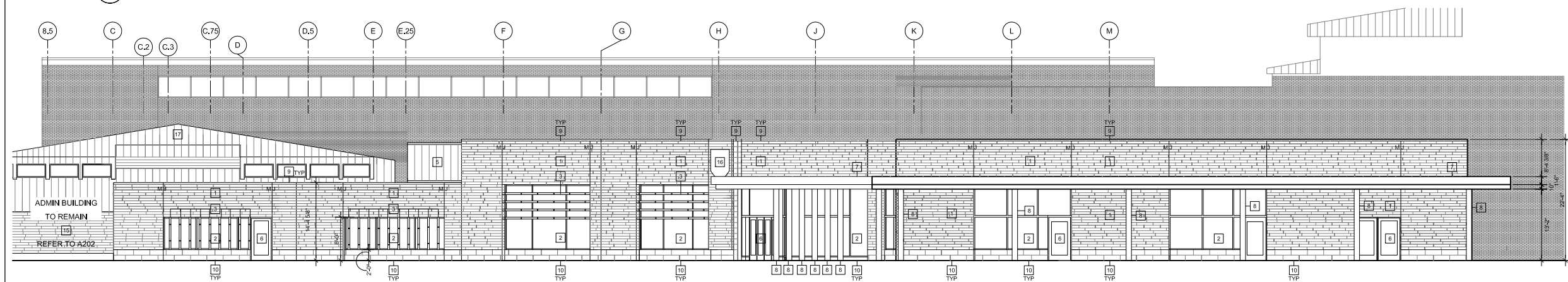
SHEET NUMBER
A100



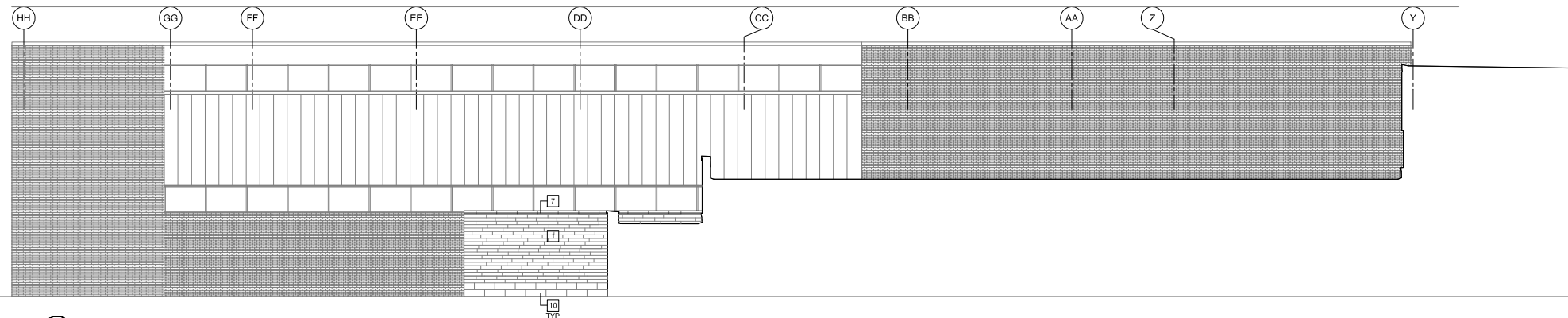
1 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



4 PARTIAL EAST ELEVATION
1/8" = 1'-0"

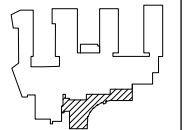
- KEYNOTES
- 1 STONE MASONRY SYSTEM
 - 2 CURTAIN WALL SYSTEM
 - 3 SHADING DEVICE
 - 4 CONTROL JOINT
 - 5 METAL PANEL FACADE SYSTEM
 - 6 EXTERIOR DOOR AS SCHEDULED
 - 7 METAL CANOPY SYSTEM
 - 8 CONCRETE COLUMN
 - 9 ARCHITECTURAL PRECAST COPING SYSTEM
 - 10 CUT STONE CURB SYSTEM STACK BOND
 - 11 OVERHEAD DOOR AS SCHEDULED
 - 12 PAINTED STEEL RAILING
 - 13 CONCRETE LOADING DOCK WALL
 - 14 LOADING DOCK EQUIPMENT AS SCHEDULED
 - 15 NEW 4" LIMESTONE ON EXISTING METAL FRAMING
 - 16 SIGNAGE, COORDINATE WITH OWNER
 - 17 METAL ROOF SYSTEM ON EXISTING STEEL FRAME



MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATIONS
Madison, Wisconsin

Issued for: COORDINATION
Issue date: 03-13-2015
AA Project No.: 2014-04
MC Project No.: B15-001
Bid Pkg No.:

| REVISION | DATE |
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|---------------------|
| SCALE |
| 1/8" = 1'-0" |
| SHEET TITLE |
| BUILDING ELEVATIONS |
| SHEET NUMBER |

A201

MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS

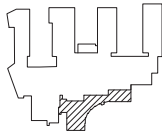




MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATIONS
Madison, Wisconsin

Issued for: UDC
Issue date: 04-29-2015
AA Project No.: 2014-04
MC Project No.: B15-001
Bid Pkg No.:

REVISION DATE



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KENOSHA | APPLETON

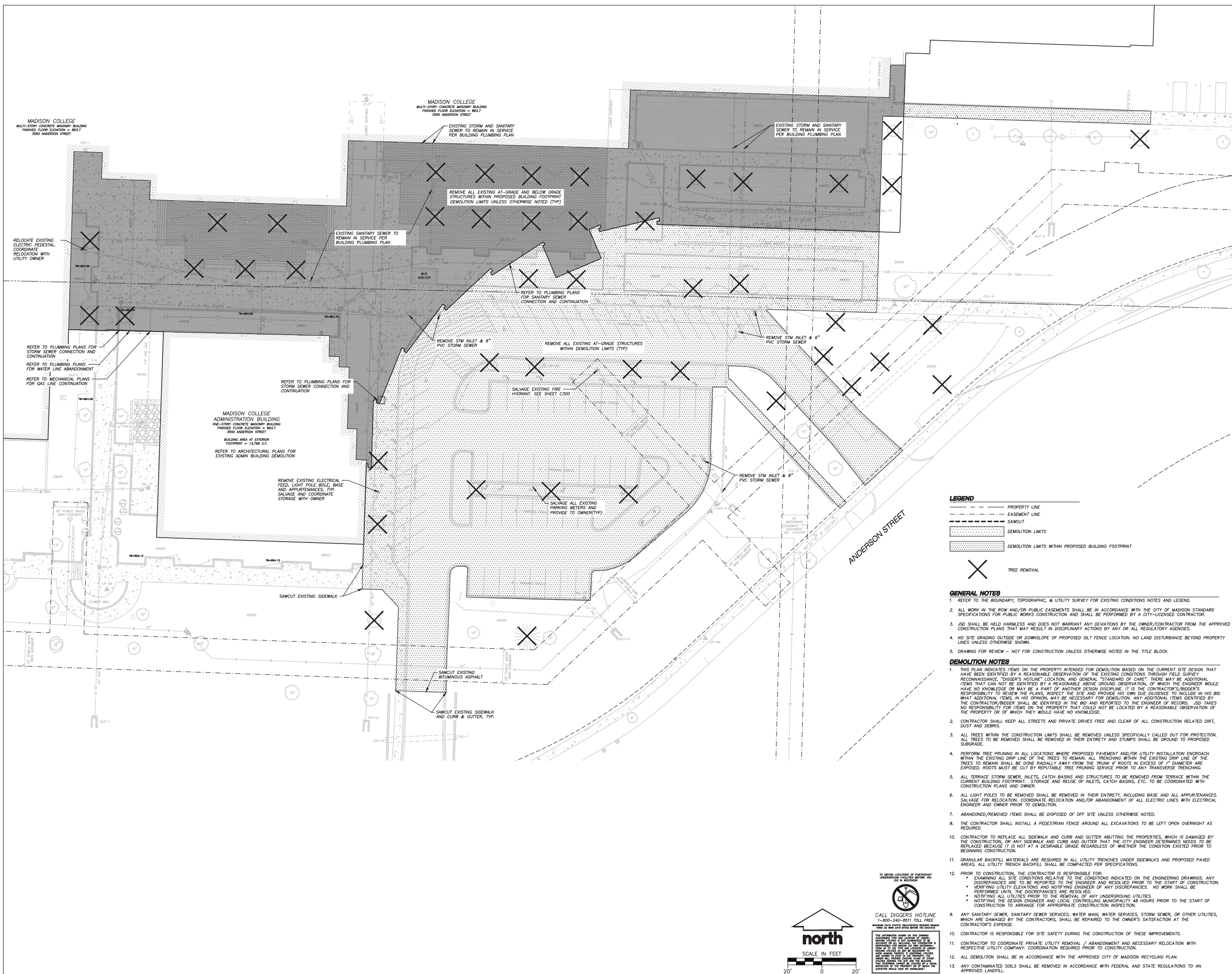
SCALE

SHEET TITLE

DEMOLITION PLAN

SHEET NUMBER

C100

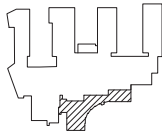




MADISON COLLEGE
TRUAX BUILDING
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Madison, Wisconsin

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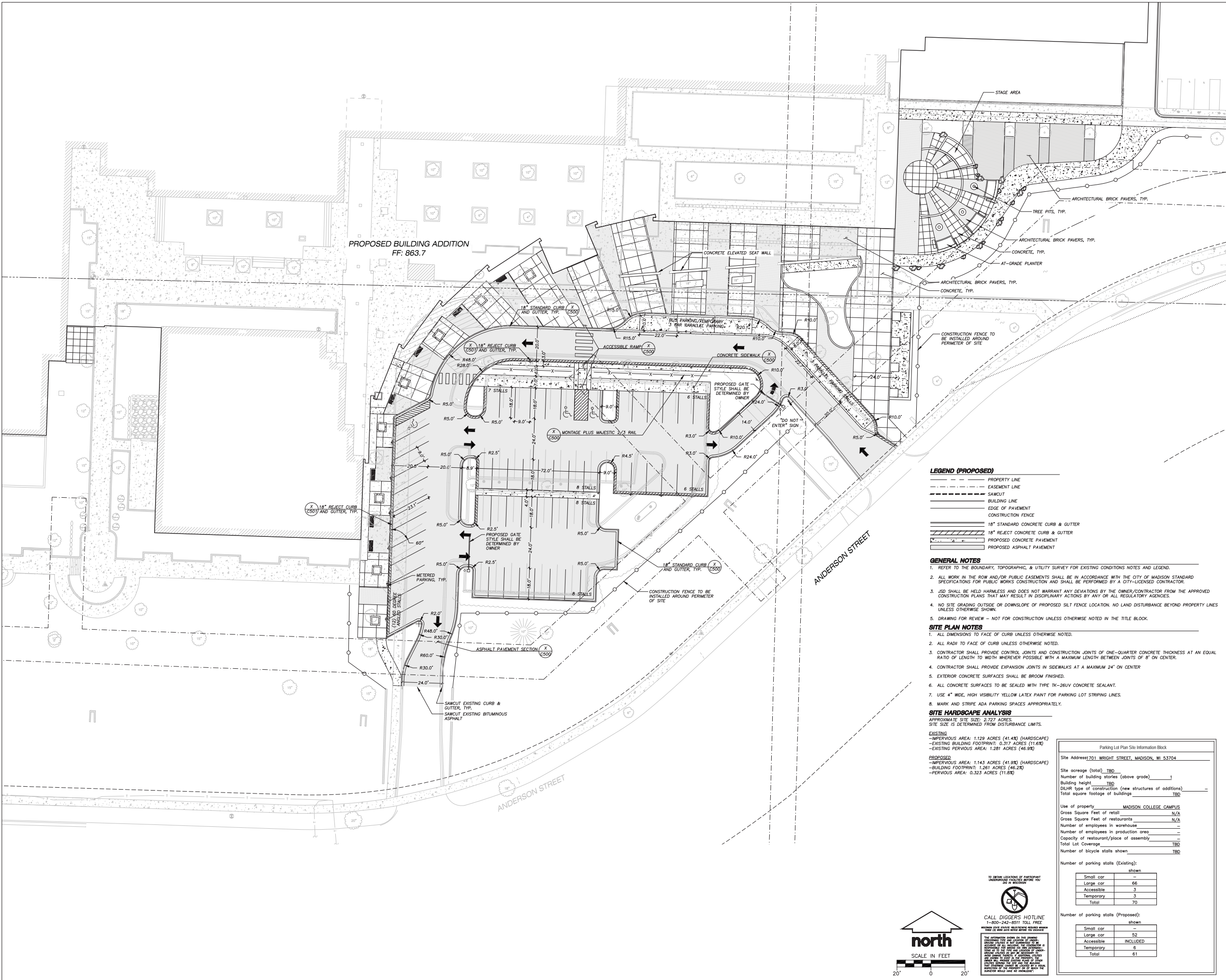
SCALE

SHEET TITLE

SITE PLAN

SHEET NUMBER

C200



LEGEND (PROPOSED)

- PROPERTY LINE
- EASEMENT LINE
- SAWCUT
- BUILDING LINE
- EDGE OF PAVEMENT
- CONSTRUCTION FENCE
- 18" STANDARD CONCRETE CURB & GUTTER
- 18" REJECT CONCRETE CURB & GUTTER
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

GENERAL NOTES

- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

SITE PLAN NOTES

- ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADI TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR PARKING LOT STRIPING LINES.
- MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.

SITE HARDSCAPE ANALYSIS

APPROXIMATE SITE SIZE: 2.727 ACRES.
SITE SIZE IS DETERMINED FROM DISTURBANCE LIMITS.

EXISTING

- IMPERVIOUS AREA: 1.129 ACRES (41.4%) (HARDSCAPE)
- EXISTING BUILDING FOOTPRINT: 0.317 ACRES (11.6%)
- EXISTING PERVIOUS AREA: 1.281 ACRES (46.9%)

PROPOSED

- IMPERVIOUS AREA: 1.143 ACRES (41.9%) (HARDSCAPE)
- BUILDING FOOTPRINT: 1.261 ACRES (46.2%)
- PERVIOUS AREA: 0.323 ACRES (11.8%)



CALL DIGGERS HOTLINE
1-800-242-5511 TOLL FREE
FOR MORE INFORMATION ON THE PROJECT
CONTACT THE PROJECT MANAGER AT THE
ADDRESS OR PHONE NUMBER LISTED
ON THE PROJECT INFORMATION SHEET
OR VISIT THE PROJECT WEBSITE
AT WWW.MADISONCOLLEGE.WI.GOV

| Parking Lot Plan Site Information Block | |
|--|----------|
| Site Address: 701 WRIGHT STREET, MADISON, WI 53704 | |
| Site acreage (total) | TBD |
| Number of building stories (above grade) | 1 |
| Building height | TBD |
| DILHR type of construction (new structures or additions) | - |
| Total square footage of buildings | TBD |
| Use of property MADISON COLLEGE CAMPUS | |
| Gross Square Feet of retail | N/A |
| Gross Square Feet of restaurants | N/A |
| Number of employees in warehouse | - |
| Number of employees in production area | - |
| Capacity of restaurant/place of assembly | - |
| Total Lot Coverage | TBD |
| Number of bicycle stalls shown | TBD |
| Number of parking stalls (Existing): | |
| shown | |
| Small car | - |
| Large car | 66 |
| Accessible | 3 |
| Temporary | 3 |
| Total | 70 |
| Number of parking stalls (Proposed): | |
| shown | |
| Small car | - |
| Large car | 52 |
| Accessible | INCLUDED |
| Temporary | 0 |
| Total | 61 |



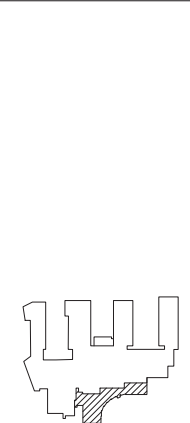
MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATIONS

Madison, Wisconsin

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VERONA, WISCONSIN 53593
608.845.5000 PHONE 608.848.2255 FAX
MADISON MILWAUKEE
KENOSHA APPLETON

SCALE

SHEET TITLE

GRADING & EROSION
CONTROL PLAN

SHEET NUMBER

C300

MADISON COLLEGE
-STORY CONCRETE MASONRY BUILDING
FINISHED FLOOR ELEVATION = 863.7
3550 ANDERSON STREET

MADISON COLLEGE
MULTI-STORY CONCRETE MASONRY BUILDING
FINISHED FLOOR ELEVATION = 863.7
3550 ANDERSON STREET

BUILDING EXPANSION
FFE = 863.66

MADISON COLLEGE
ADMINISTRATION BUILDING
ONE-STORY CONCRETE MASONRY BUILDING
FINISHED FLOOR ELEVATION = 863.7
3550 ANDERSON STREET
BUILDING AREA AT EXTERIOR
FOOTPRINT = 13,798 S.F.

LEGEND (PROPOSED)

- PROPERTY LINE
- EASEMENT LINE
- BUILDING LINE
- STORM SEWER
- SILT FENCE
- EDGE OF PAVEMENT
- 18" STANDARD CONCRETE CURB & GUTTER
- 18" REJECT CONCRETE CURB & GUTTER
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY DATED 06-16-2014 OR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO MNR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. ONLINE REPORTING OF INSPECTIONS AND MAINTENANCE IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- INSTALL A TRACKING PAD, 80' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH MNR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO MSDOT FDM FOR RESPECTIVE DETAILS.
- APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- ALL SLOPES EXCEEDING 5:1 (20%) SHALL BE STABILIZED WITH A CLASS II, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A MDT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH MNR REQUIREMENTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO MNR TECHNICAL STANDARD 1068.
- CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SEEDDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL WATER ALL NEWLY SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SEEDING AND MULCHING. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.

TO OBTAIN LOCATIONS OF PARTNERSHIP
HARDWARE AND TOOLS, SEE PAGE 101



CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE
FOR MORE INFORMATION, VISIT
WWW.CITYOFMADISON.ORG
OR CALL 608.261.1234
THE INFORMATION SHOWN ON THIS PLAN
IS BASED ON THE ASSUMPTION THAT THE
EXISTING CONDITIONS SURVEY IS CORRECT
AND THAT THE PROPOSED CONSTRUCTION
WILL BE IN ACCORDANCE WITH THE
CITY OF MADISON STANDARD SPECIFICATIONS
FOR PUBLIC WORKS CONSTRUCTION.
THE CONTRACTOR SHALL BE RESPONSIBLE
FOR VERIFYING THE EXISTING CONDITIONS
AND FOR OBTAINING ALL NECESSARY
PERMITS AND APPROVALS PRIOR TO
CONSTRUCTION.





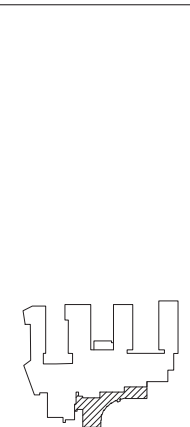
MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND
RENOVATIONS

Madison, Wisconsin

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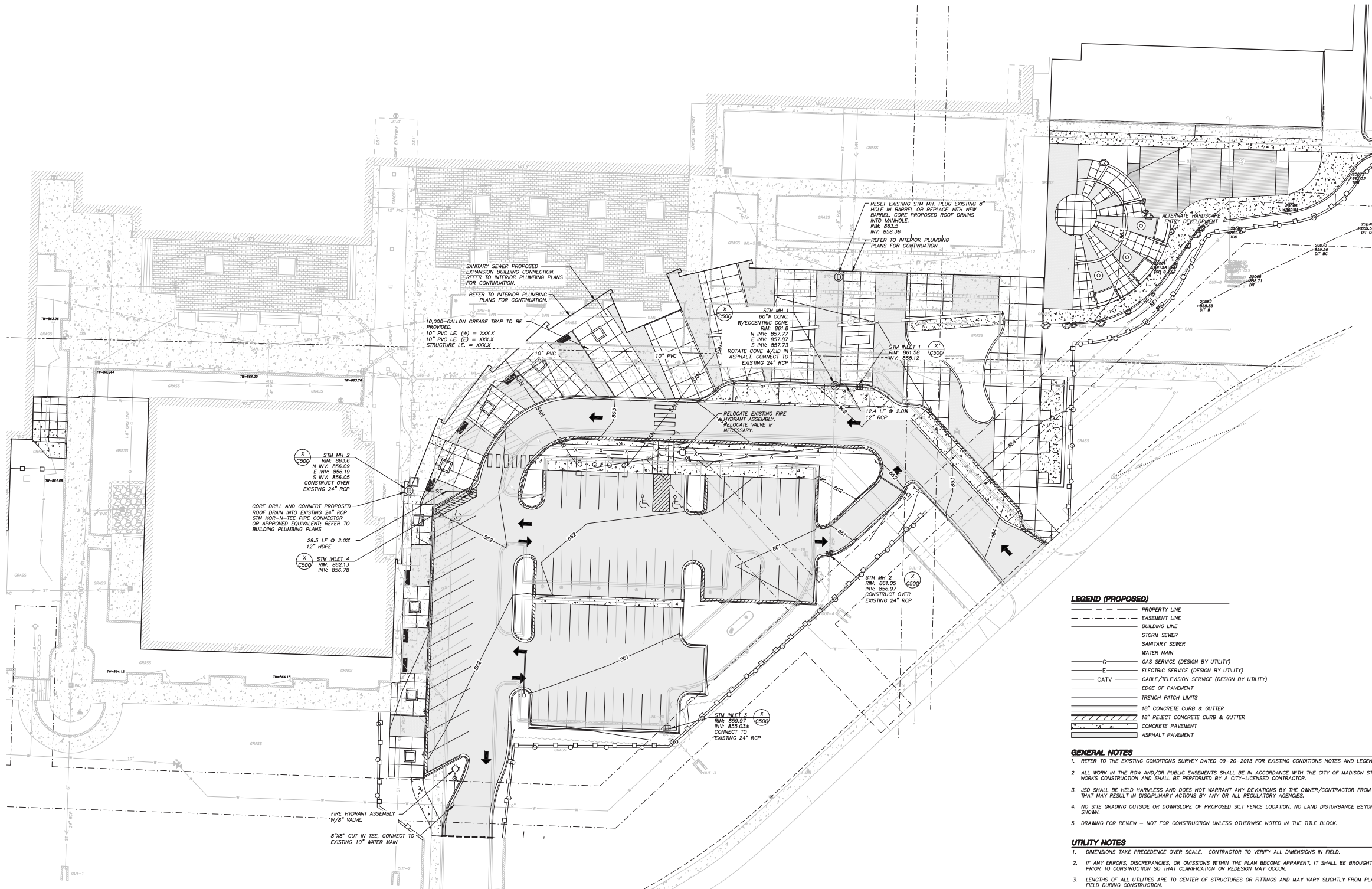
SCALE

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C400



LEGEND (PROPOSED)

| | |
|-------|--|
| --- | PROPERTY LINE |
| -.-.- | EASEMENT LINE |
| --- | BUILDING LINE |
| --- | STORM SEWER |
| --- | SANITARY SEWER |
| --- | WATER MAIN |
| --- | GAS SERVICE (DESIGN BY UTILITY) |
| --- | ELECTRIC SERVICE (DESIGN BY UTILITY) |
| --- | CABLE/TELEVISION SERVICE (DESIGN BY UTILITY) |
| --- | EDGE OF PAVEMENT |
| --- | TRENCH PATCH LIMITS |
| --- | 18\" |
| --- | 18\" REJECT CONCRETE CURB & GUTTER |
| --- | CONCRETE PAVEMENT |
| --- | ASPHALT PAVEMENT |

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY DATED 09-20-2013 FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
5. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
6. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISCONSIN, AND WDMR.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
12. CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
13. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO S&B 384.30, TABLE 384.30-6.
14. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION. CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PART IV. CONTACT CITY OF MADISON DEPARTMENT OF PUBLIC WORKS 48 HOURS PRIOR TO CONSTRUCTION.
15. ALL WATER MAIN AND ASSOCIATED FITTINGS SHALL MEET THE REQUIREMENTS OUTLINED WITHIN ARTICLE 702 WITHIN THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
16. ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO S&B 384.30, TABLE 384.30-6.
17. GREASE INTERCEPTOR SHOWN FOR RESTAURANT A AND RESTAURANT B SHALL BE 10,000 GALLON GREASE INTERCEPTOR BY CREST PRECAST, INC., MODEL 3500-G-2.
18. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDMR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.
19. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. PRE-CONSTRUCTION MEETING WITH THE CITY OF MADISON IS REQUIRED PRIOR TO INSTALLATION.

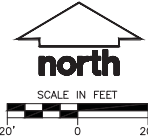
TO OBTAIN LOCATION OF PARTICIPANT
UNDERGROUND UTILITIES BEFORE YOU
DIG IN EXCAVATION

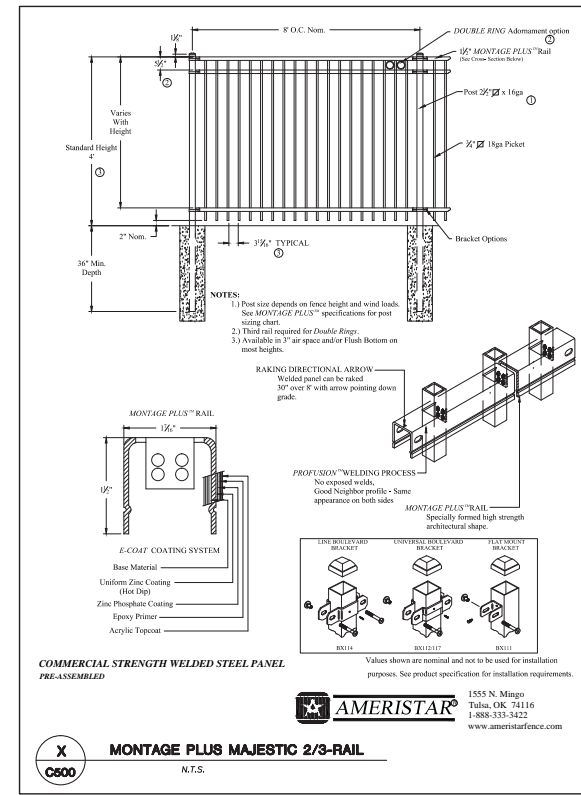
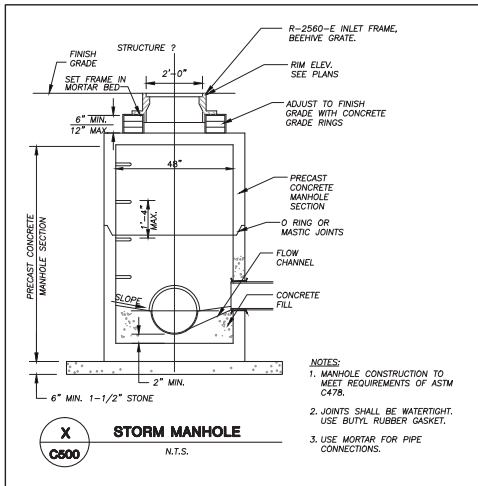
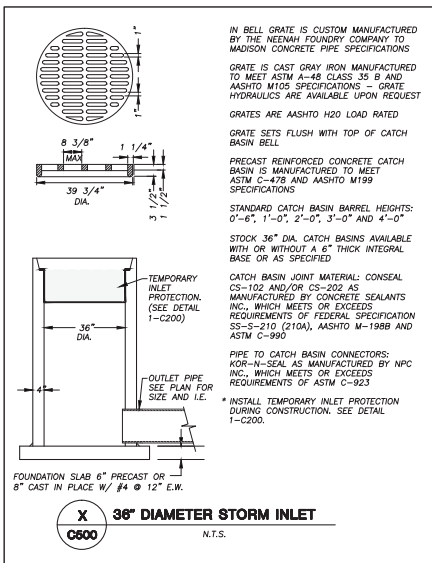
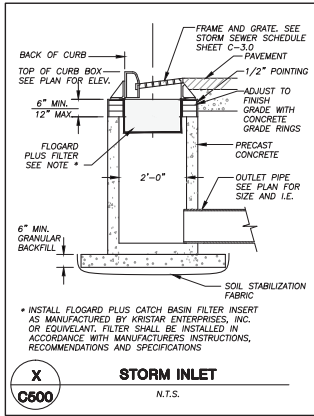
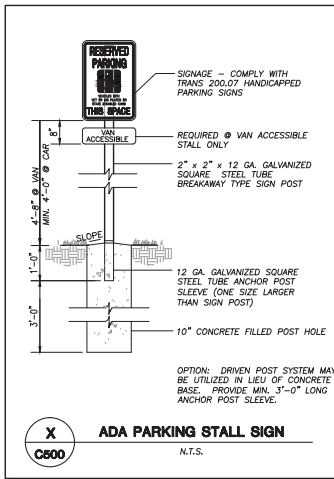
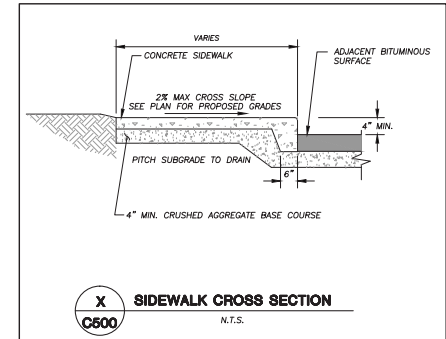
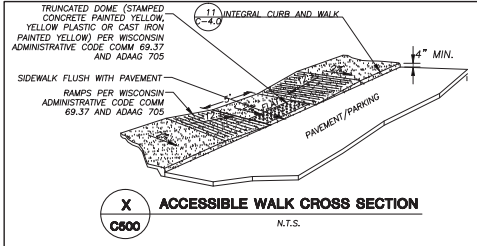
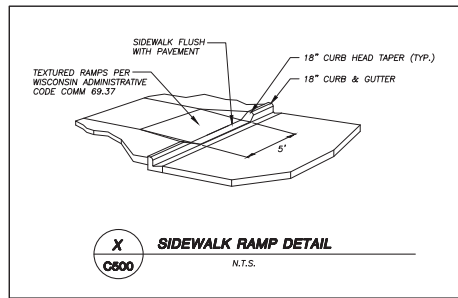
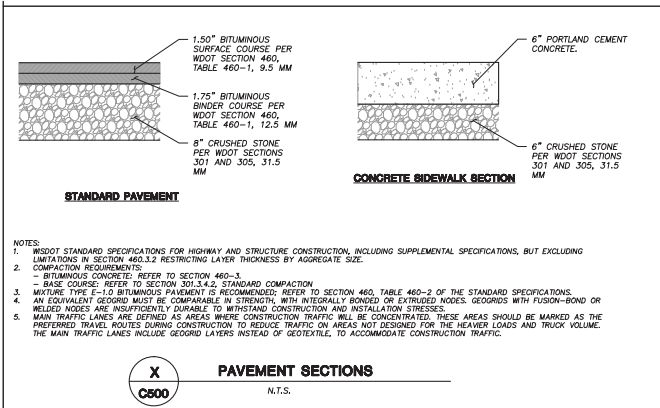
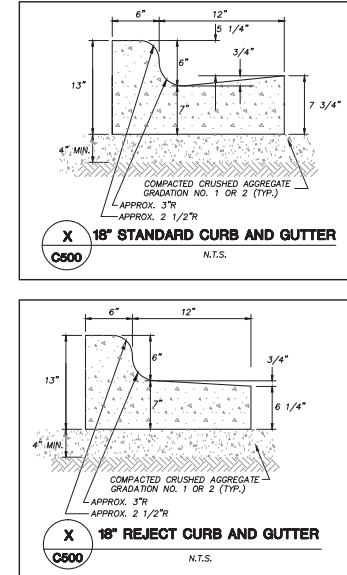
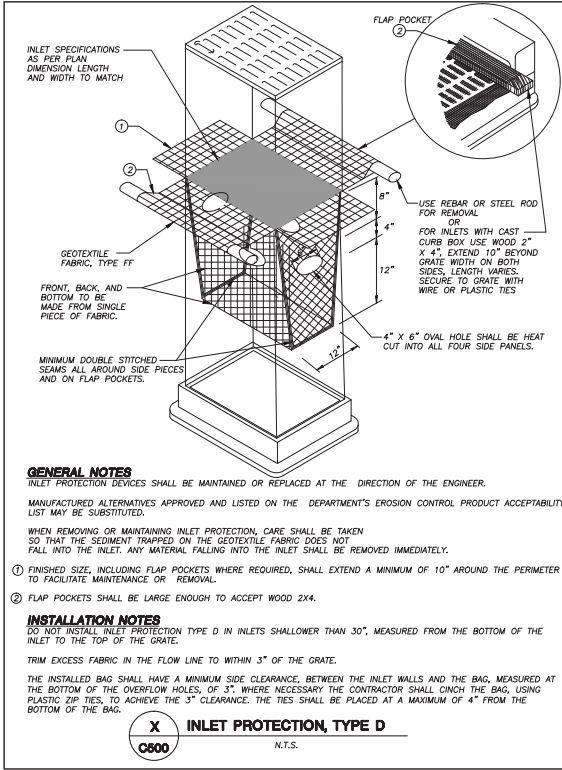
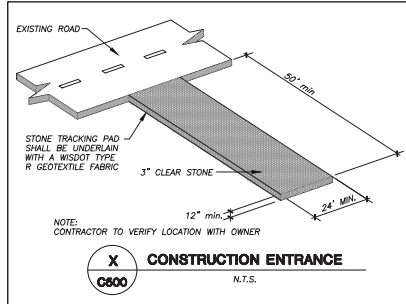
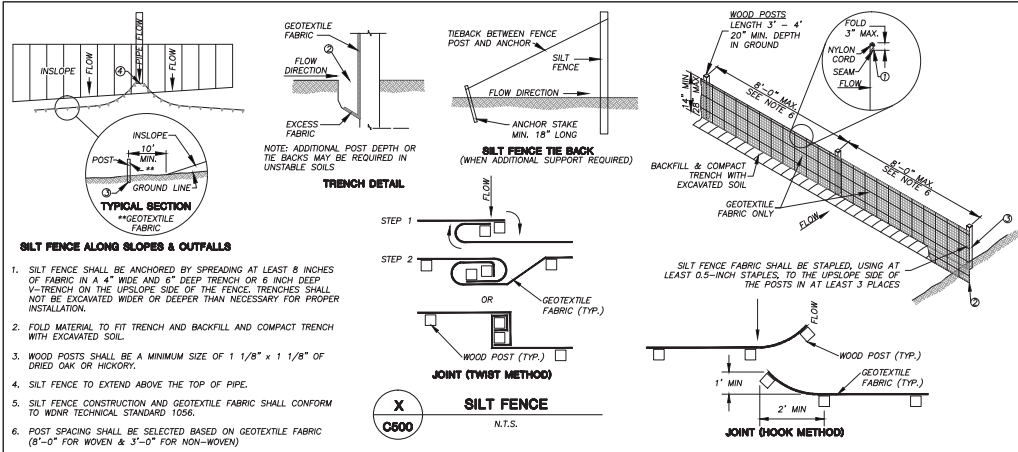


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1-800-242-8811 TOLL FREE

FOR A FREE SERVICE INFORMATION SHEET
VISIT US AT WWW.DIGGERSHOTLINE.COM

THE INFORMATION SHOWN ON THIS PLAN
IS BASED ON THE RECORD DRAWINGS AND
FIELD SURVEY. IT IS THE RESPONSIBILITY
OF THE CONTRACTOR TO VERIFY THE
LOCATION AND DEPTH OF ALL UTILITIES
BEFORE EXCAVATION. THE CITY OF
MADISON DOES NOT WARRANT THE
ACCURACY OF THE INFORMATION
SHOWN ON THIS PLAN. THE CITY OF
MADISON SHALL NOT BE LIABLE FOR
ANY DAMAGE TO PERSONS OR
PROPERTY RESULTING FROM THE
USE OF THIS PLAN.





MADISON AREA TECHNICAL COLLEGE

MADISON COLLEGE
TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS

Madison, Wisconsin

| | |
|-----------------|------------|
| Issued for: | UDC |
| Issue date: | 04-29-2015 |
| AA Project No.: | 2014-04 |
| MC Project No.: | 815-001 |
| Bid Pkg No.: | |

| REVISION | DATE |
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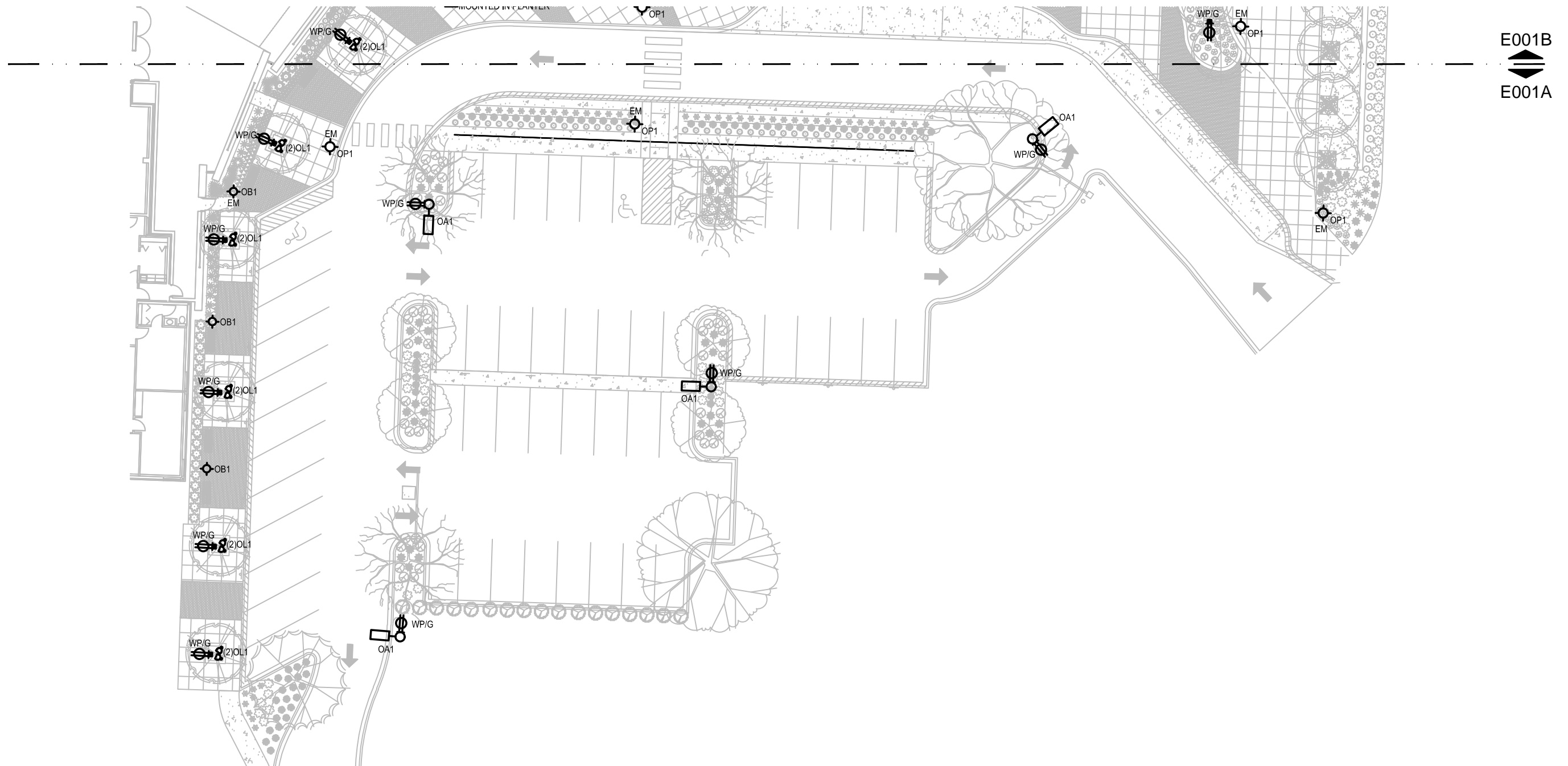
assemblage ARCHITECTS
7427 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047

JSD Professional Services Inc.
Madison Regional Office
161 Horizon Drive, Suite 101
Verona, Wisconsin 53593
608.846.5000 PHONE | 608.846.2255 FAX
MADISON | MILWAUKEE | KENOSHA | APPLETON
www.jsdinc.com

| |
|--------------|
| SCALE |
| SHEET TITLE |
| DETAILS |
| SHEET NUMBER |

C500

MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS



E001A

SITE LIGHTING PLAN

03-05-2015

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MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS

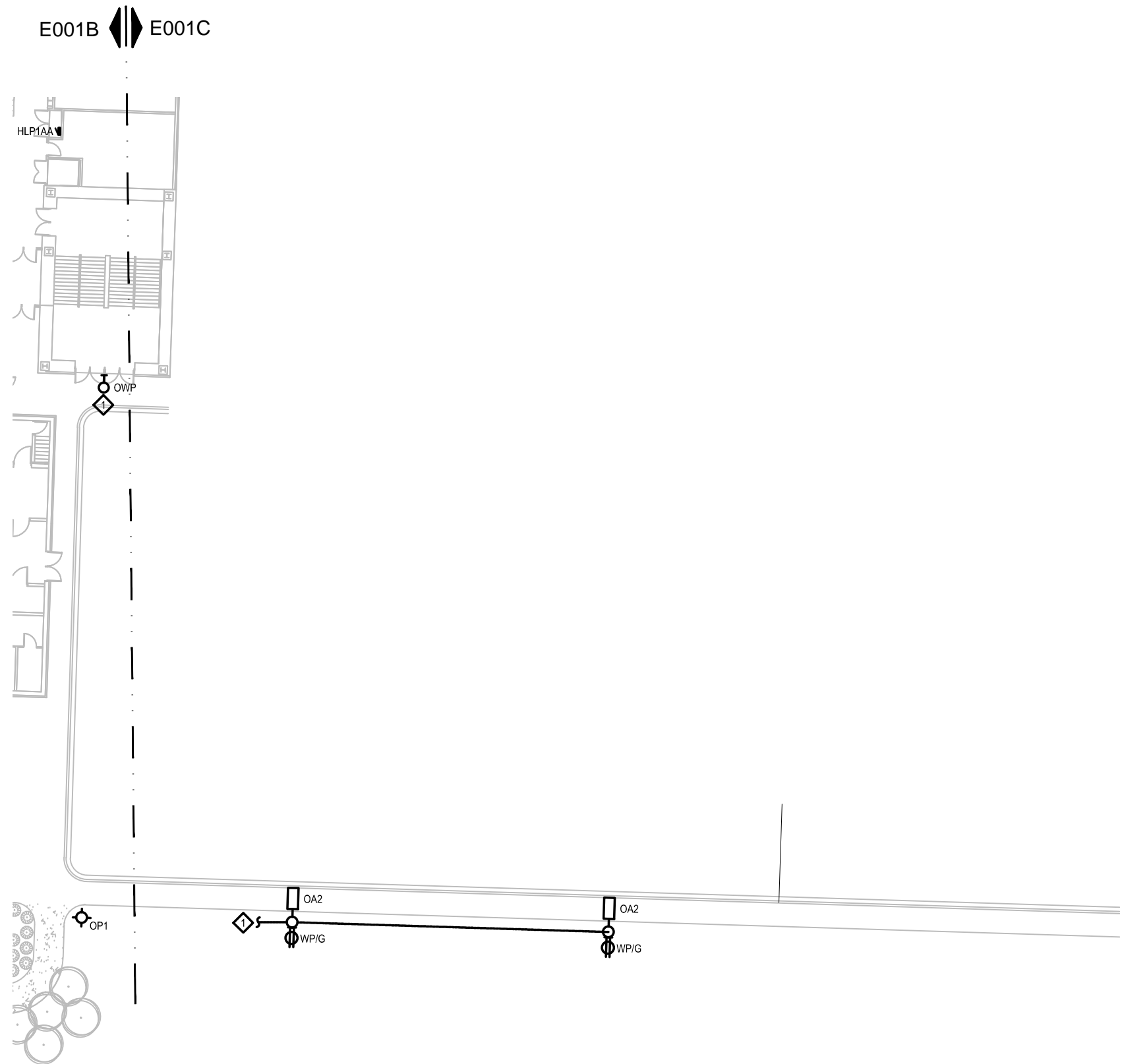
E001B  E001C



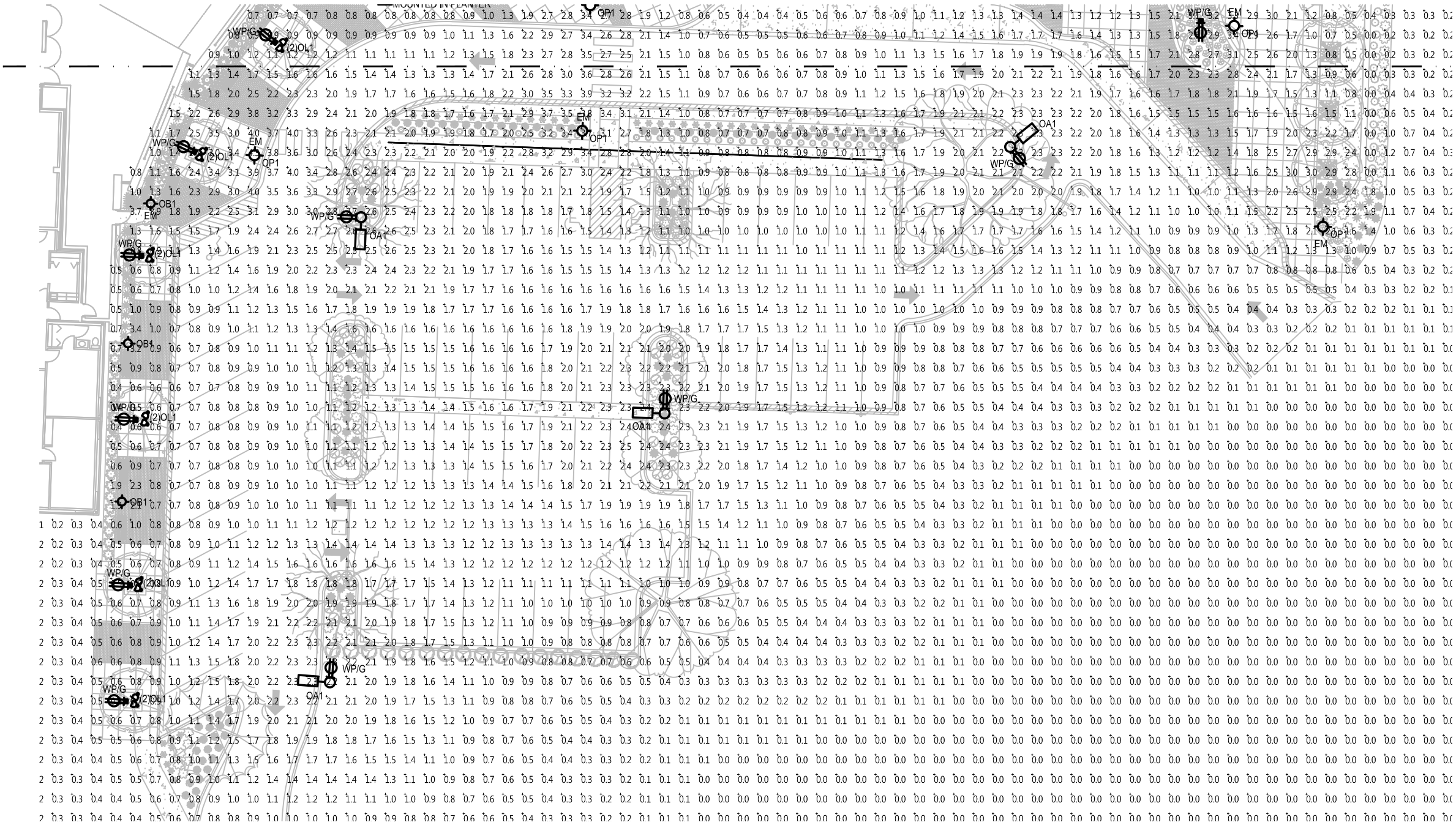
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MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



E002B
E002A

SUGGESTED CONTROL SEQUENCE:

POLE AND BUILDING MOUNTED LUMINAIRES
AUTOMATICALLY ON AT SUNSET.

LANDSCAPE LUMINAIRES AUTOMATICALLY ON 30
MINUTES AFTER SUNSET.

POLE AND BUILDING MOUNTED LUMINAIRES
AUTOMATICALLY REDUCED TO 50% OUTPUT AT
MIDNIGHT.

LANDSCAPE LUMINAIRES AUTOMATICALLY OFF
AT MIDNIGHT.

POLE LUMINAIRES RESTORED TO 100% OUTPUT
TWO HOURS BEFORE SUNRISE.

ALL LUMINAIRES AUTOMATICALLY OFF AT
SUNRISE.

POLE TYPE DISTRIBUTION KEY:



25'-0" TALL POLE WITH LED
AREA LIGHTING LUMINAIRE;
IES TYPE 5 DISTRIBUTION



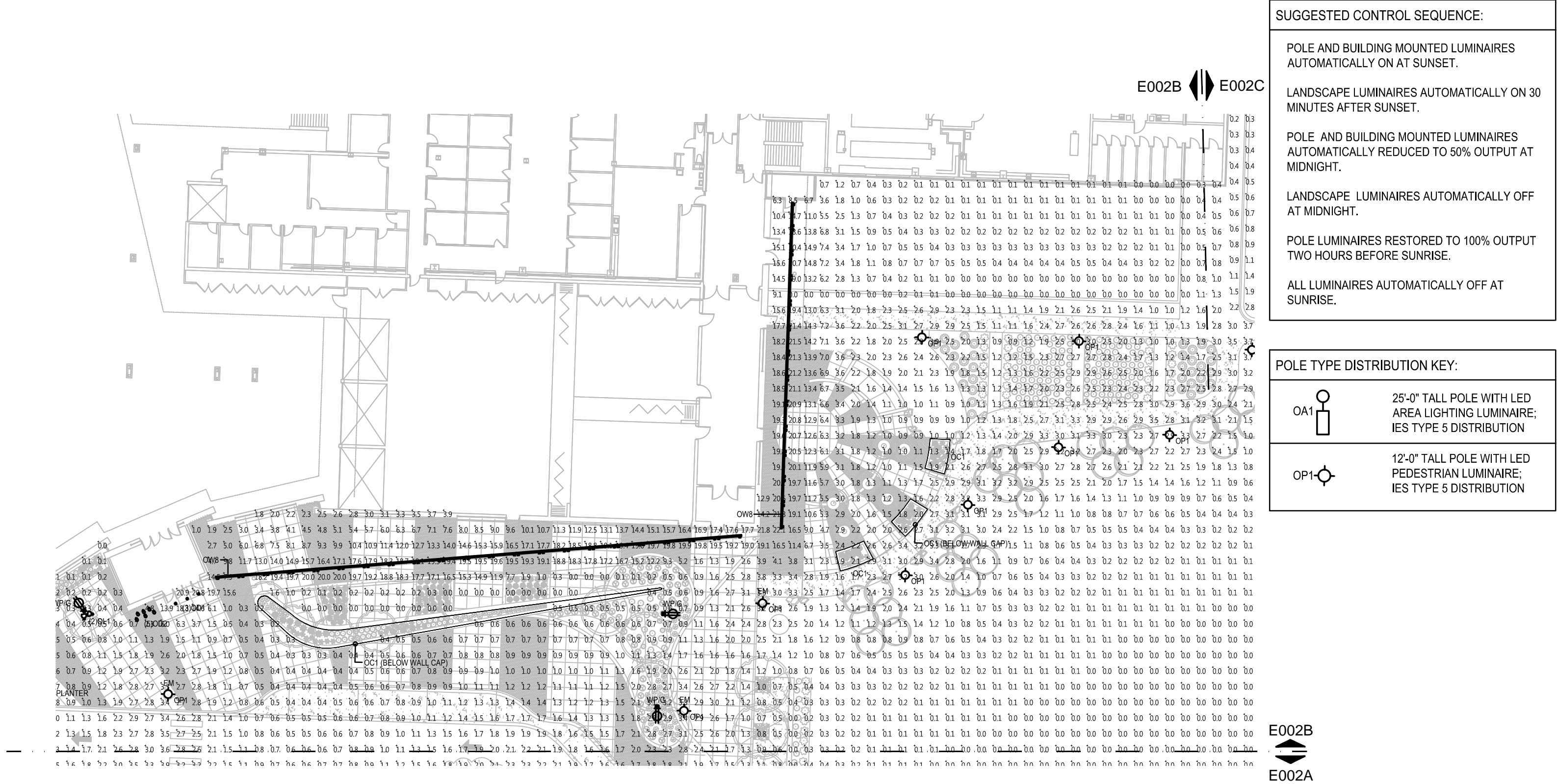
12'-0" TALL POLE WITH LED
PEDESTRIAN LUMINAIRE;
IES TYPE 5 DISTRIBUTION

CALCULATION SUMMARY

| LABEL | CALCTYPE | UNITS | MIN | AVG | AVG/MIN |
|--------------|-------------|-------|-----|------|---------|
| PARKING AREA | ILLUMINANCE | FC | 0.5 | 1.98 | 3.96 |
| DRIVE PATH | ILLUMINANCE | FC | 0.4 | 1.42 | 3.55 |

CITY OF MADISON OUTDOOR LIGHTING STANDARD - OPEN PARKING FACILITIES, MEDIUM ACTIVITY LEVEL

MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



CITY OF MADISON OUTDOOR LIGHTING STANDARD - OPEN PARKING FACILITIES, MEDIUM ACTIVITY LEVEL

MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS



Plexineon White 2X Series

PRODUCT SUMMARY



PRODUCT FEATURES

- Four Kelvin temperatures
- Energy efficient
- Long lifetime
- Stable and consistent color temperature
- Low voltage
- Easy to install
- Cool to the touch
- For use as exterior or interior accent lighting, direct view or indirect view applications, coves & more

Color Temperatures (+/- 10%)

- 2800K
- 3500K
- 4500K
- 6500K

Diffuser Color (when not illuminated)

- Light amber hue

Lengths Available

- Standard lengths: 2', 4', 6', 8' (610 mm, 1219 mm, 1830 mm, 2438 mm)
- Factory custom lengths available to the nearest 1/8" (3 mm) +/- 0.25" (6 mm)
- 2' (610mm) field cuttable pieces
- Illuminated outside corner pieces
- Factory convex or concave bends to minimum inside radius of 12" (305mm)
- Factory "easy bends" to a 3/4" (19mm) radius
- Gentle field bends to a 72" (1829mm) radius

Power Supply

- Class 2, 24 VDC, 100 Watts - must be supplied by iLight
- Primary voltage: 120 or 120-277 depending on model
- Secondary voltage: 24VDC 4:1 A Max
- Maximum illumination length of a single 100W power supply 20 feet (6.10m)

Power Supply Tips

- 20% maximum overage for breaker for primary current draw
- Do not plug multiple power supplies into one run of Plexineon
- All iLight power supplies should be on an independent circuit
- Recommend surge protection upstream from power supply
- Verify correct voltage prior to wiring to non-switching power supplies

Low Voltage Cable

- Maximum distance of low voltage cable in any given run:
- 14 AWG: 40 feet (12.19m)
- 12 AWG: 60 feet (18.29m)
- 10 AWG: 100 feet (30.48m)

1. Drawing required for production
2. Field bending allowed only on fixtures without C-channel

ORDERING INFORMATION

| CLASS | VOLTAGE | COLOR | HOUSING | LENGTH | CHANNEL | VERSION |
|-------|---------|-------|---------|--|---|---|
| T | 24 | White | S | 2F = 2 Feet 4F = 4 Feet 6F = 6 Feet 8F = 8 Feet CL = Custom Length PC = Outside Corner RT = Right Corner Cuttable TT = 2 Foot Cuttable BL = Bend - Easy BL = Bend - Convex BL = Bend - Concave | CC = Clear Channel NC = No Channel SC = Stainless Steel Channel | 00 = With Connectors 01 = Without Connectors |

Specifications are subject to change without notice. For the most recent version, please refer to www.ilighttech.com.

iLight Technologies • 118 South Clinton, Suite 370 • Chicago, IL 60661 • T 312.876.9630 • F 312.876.9631 • www.ilighttech.com

6-2014-A



Plexineon White 2X Series

TECHNICAL INFORMATION

MECHANICAL

- Width & Height Housing**
 - 0.55" (14mm) w x 1.47" (37mm) h with C-channel
 - UV and impact resistant acrylic diffuser
 - UV resistant plastic channel
 - Stainless steel C-channel for mechanical support

Minimum Piece Spacing

- Linear (end to end) = 3/4" (19mm)
- Parallel (edge to edge) = 1" (25mm)

*The minimum space for ventilation surrounding the Plexineon product is 10". This distance should be maintained on the three sides, left and right of the product as well as in front of product. Other configurations subject to specific application testing.

- Mounting**
 - Stainless steel spring mounted clips
 - Clips to be 2" (51mm) in from end of piece and no more than 2" (610mm) maximum between clips

Power Supply Weight

- Electronic (Advance) Power Supply is 2 lbs. (0.9kg)
- Outdoor Magnetic Hybrid (Justin) Power Supply is 9 lbs. (4 kg)

Power Supply Dimensions

- Electronic (Advance) = 9.50" x 1.18" x 1.70" (242mm X 30mm X 43mm)
- Outdoor Magnetic Hybrid (Justin) = 11.25" x 3.25" x 3.36" (285mm x 83mm X 85mm)

ELECTRICAL

Load Voltage

24V DC

Load Current

117.1 mA/foot at 24VDC (394 mA/meter)

2.81 watts/foot (9.22 watts/meter)

Maximum Run Length

20 feet (6.10m) with an iLight approved power supply

ENVIRONMENTAL

Operating Temperature Range

-25°C to 50°C (-13°F to 122°F)

Storage Temperature Range

-25°C to 75°C (-13°F to 167°F)

Certification

- Plexineon is MetLabs listed. MetLabs is a Nationally Recognized Testing Laboratory (NRTL). Complies with UL 1598 and CSA c22.2 No. 250 in Luminaire/Vet location listed.
- Power Supplies are RU listed. RU stands for Recognized Components by Underwriters Laboratory.

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6-2014-A



Luminaire Type
Catalog Number
(not applicable)

Gotham Architectural Downlighting
LED Downlights

4" Evo®
Downlight

Solid-State Lighting



OPTICAL SYSTEM

- Self-flanged semi-specular matte-diffuse or specular lower reflector
- Patented Bounding Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristics
- 15-degree external steel construction, maximum 1-1/2" cell rig thickness
- Telescopic mounting sets maximum of 32" and minimum of 15", pre-adjusted, 4" vertical adjustment
- Too less adjustments post installation
- Junction box capacity: 8 (4 in. 4 out) 12AWG rated for 90°C
- Light engine and driver accessible through aperture

ELECTRICAL SYSTEM

- Fully recessable and upgradeable to next LED light engine
- 70% lumen maintenance at 50,000 hours based on IESNA LM-79-2008
- 120-277VAC, 50/60Hz power supply with 0-10V dimming (1C-100%)
- Overload and short circuit protected
- LEDs tested under LM80

LISTINGS

- Fixtures are CSA certified to meet US and Canadian standards, wet location, 4" vertical adjustment

WARRANTY

- 5-year limited warranty. Complete warranty terms located at: www.gothambrands.com/customerresources/terms_and_conditions.aspx

EXAMPLE: EVO 35/10 4AR 120 AZ10

| Series | Color temperature | Nominal lumen values | Aperture/Trim color | Distribution | Finish | Voltage |
|--------|-------------------|----------------------|---------------------|----------------------|-----------------------|---------|
| EVO | 27/ 2700K | 06 600 lumens | 4AR Clear | (blank) 1.0 slmb | (blank) Semi-specular | 120 |
| | 35/ 3500K | 10 1000 lumens | 4PR Powder | MD Medium (0.5 slmb) | LD Matte diffuse | 277 |
| | 35/ 3500K | 14 1400 lumens | 4WT White | WD Wide (1.5 slmb) | LS Specular | 247 |
| | 41/ 4100K | 18 1800 lumens | 4GR Gold | | | |
| | | 20 2000 lumens | 4WR White | | | |
| | | | 4BR Black | | | |

| Driver | Options |
|------------------------|---|
| AZ10 ¹ | SF Single fuse NPP160 nLight® network relay pack with 0-10V dimming. Refer to 16-002 . |
| EZB | edLED SMD driver 0-10V dimming driver. Minimum dimming level <1%. 120V or 277V dimming for emergency circuit operation. Refer to 16-002 . |
| EDAB | edLED SMD driver DALI dimming driver. Minimum dimming level <1%. 120V or 277V |
| EDXB | edLED PWM driver DIM with RDM (remote device management). Minimum dimming level <1%. Includes termination resistor. 120V or 277V |
| EC052 ^{1,4,5} | Lutron® Hi-Lume® 2-wire forward-phase dimming driver. Minimum dimming level 1%. |
| EC053 ^{1,4} | Lutron® Hi-Lume® 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%. |
| | TRW ¹ |

ACCESSORIES (order as separate catalog numbers (shipped separately))

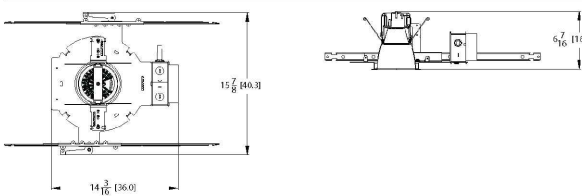
- SCA Staged ceiling adapter. Degree of slope must be specified (100, 150, 200, 250, 300). Ex. SCA 100. Refer to [TECH-190](#).
- CB&A-YK Ceiling thickness adapter (default mounting frame to accommodate ceiling thickness up to 2").
- ISB-B5 6-10W wallbox dimmer. Refer to [ISB-05](#).

EVO-4-OPEN
PAGE 1 OF 4
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4" EVO
Downlight
Solid-State Lighting

All dimensions are inches (centimeters) unless otherwise noted.



Aperture: 4-5/16 (11)
Ceiling Opening: 5-1/8 (13)
Overlap Trim: 5-7/16 (13.8)

WATTAGE CONSUMPTION MATRIX

| LUMENS | WATTAGE | LUMENS per WATT |
|--------|---------|-----------------|
| 600 | 15 | 40 |
| 1300 | 21 | 51 |
| 1400 | 25 | 55 |
| 1900 | 29 | 58 |
| 2300 | 31 | 65 |

AVAILABILITY/COMPATIBILITY -- INITIAL LUMENS

| PRODUCT | LUMENS | WATTS | EL/ELR | ELR/L |
|---------|--------|-------|--------|-------|
| EVO 4" | 600 | 18 | 363 | N/A |
| EVO 4" | 1000 | 22 | 379 | N/A |
| EVO 4" | 1400 | 30 | 702 | N/A |
| EVO 4" | 1800 | 38 | 731 | N/A |

ORDERING NOTES

1. Not available with finishes.
2. Not cut with emergency cutlery, i.e., EL and ELR.
3. Not available with black reflector.
4. Refer to [TECH-140](#) for compatible dimmers.
5. Not available with CP option. Specify 120V or 277V. Not available with S47V.
6. 120V only.
7. For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
8. Not available with wet location.
9. For dimensions changes, refer to [TECH-140](#). Access above ceiling required.
10. Not available with CP option. Specify 120V or 277V. Not available with S47V.
11. Not available with EL or ELR options.



GOtham ARCHITECTURAL DOWNLIGHTING | 1400 Lester Road Coyotes CA 95012 | P 800.315.4952 | gothamlighting.com
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EVO-4-OPEN
PAGE 2 OF 4



LUMINAIRE TYPE OC1

NO SCALE



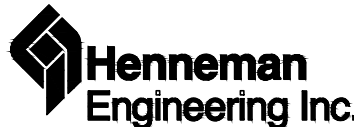
LUMINAIRE TYPE OD1

NO SCALE

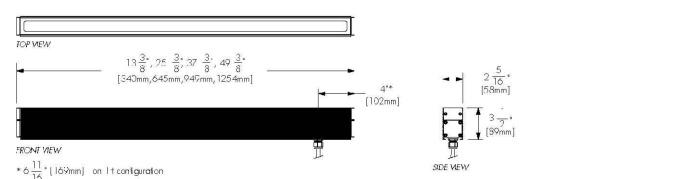
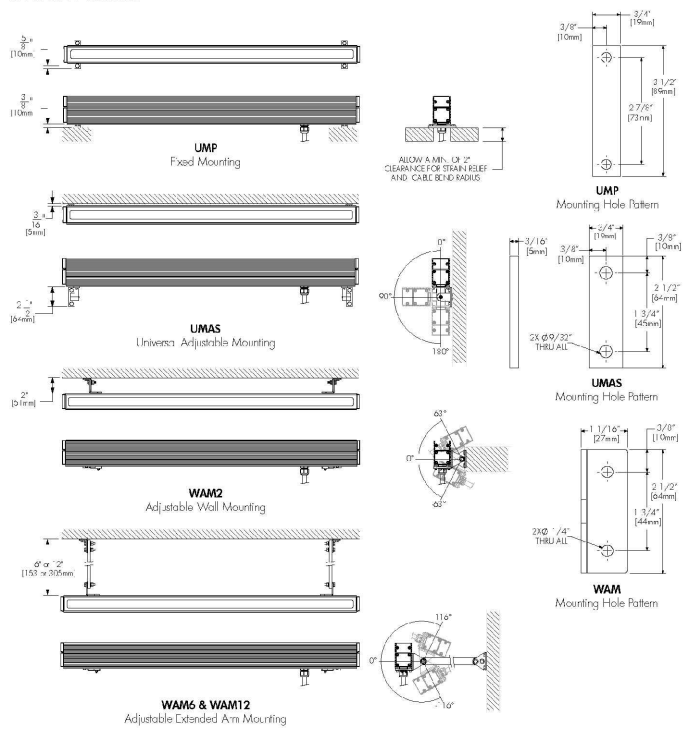
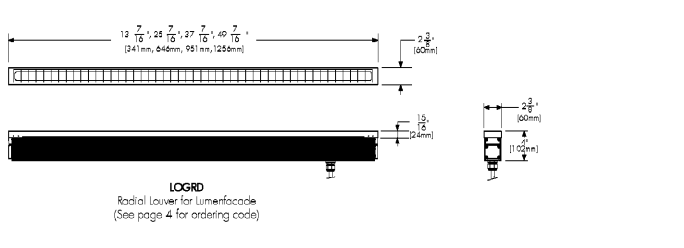

E003A
SITE LIGHTING PLAN - LUMINAIRE SELECTIONS

03-05-2015

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MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS

| <p>SPECIFICATION SHEET</p> <p>lumenfacade™ STAND ALONE - PROJECTOR WHITE & STATIC COLORS</p> <p>Client: _____ Project name: _____ Order #: _____ Type: _____ Qty: _____</p> <hr/> <p>FEATURES AND BENEFITS</p> <p>Physical :</p> <ul style="list-style-type: none"> Low copper content extruded aluminum housing Available in 1', 2', 3' or 4' sections Electro-statically applied polyester powder coat finish Machined aluminum end caps and silicone gaskets Stainless steel hardware Standard straight leader cable output, bottom feed Clear tempered glass 10° x 10°, 10° x 60°, 30° x 60° or 60° x 60° optics IP66 rated IK07 rated Concealment resistor option for marine environments Meets 3G ANSI C136.3 Vibration standard for bridge applications <p>Performance :</p> <ul style="list-style-type: none"> Minimum 1' x (10.7' L) @ 129 feet (39.3m) clearance (4000K, 4' unit, 10° x 60° optic, HO version) CRI value: 85+ (2700K), 80+ (3000K), 78+ (4000K) Lumen maintenance: 120,000 hrs [L70 @ 25°C] Lumen measurements comply with LM-79-08 standard Resolution per foot or per fixture (see page 5) Operating temperatures: -25° C to 50° C [-13°F to 122°F] <p>Electrical :</p> <ul style="list-style-type: none"> Line voltage luminaire for 100 to 277V Power & Data in 1 cable (#16-5) Up to 64 feet with a single power lead (HO version, non dimming) 5W/l version meets ASHRAE standards for linear lighting on building facades Standard: 10ft / 3m cord 8.5W/ft (15.25W/ft HO version) Dimming options: 0-10 volt, DMX, DALI, lumentalk®, or Lutron® EcoSystem® enabled  <p>1/9 Lumenpulse, 1751 Redwood, Suite 1505, Menlo Park/Cupertino CA 94040 • P: 877.9873030 F: 514.9373033 E: SIA.107@209 info@lumenpulse.com www.lumenpulse.us Copyright © 2015 Lumenpulse</p> <p>2014.12.22 N.K.-K22 Lumenpulse reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.</p> <p>lumenpulse Sustainable architectural LED lighting systems</p> | <p>SPECIFICATION SHEET</p> <p>lumenfacade™ STAND ALONE - PROJECTOR WHITE & STATIC COLORS</p> <p>MOUNTING OPTIONS</p>  <p>2/9 Lumenpulse, 1751 Redwood, Suite 1505, Menlo Park/Cupertino CA 94040 • P: 877.9873030 F: 514.9373033 E: SIA.107@209 info@lumenpulse.com www.lumenpulse.us Copyright © 2015 Lumenpulse</p> <p>2014.12.22 N.K.-K22 Lumenpulse reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.</p> <p>lumenpulse Sustainable architectural LED lighting systems</p> | <p>SPECIFICATION SHEET</p> <p>lumenfacade™ STAND ALONE - PROJECTOR WHITE & STATIC COLORS</p> <p>LOUVER ACCESSORY INSTALLATION DETAIL</p>  <p>LOGRD Radial Louver for Lumenfacade (See page 4 for ordering code)</p> <p>OPTION</p> <p>A - 90° angle cord output top feed</p>  <p>3/9 Lumenpulse, 1751 Redwood, Suite 1505, Menlo Park/Cupertino CA 94040 • P: 877.9873030 F: 514.9373033 E: SIA.107@209 info@lumenpulse.com www.lumenpulse.us Copyright © 2015 Lumenpulse</p> <p>2014.12.22 N.K.-K22 Lumenpulse reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.</p> <p>lumenpulse Sustainable architectural LED lighting systems</p> | <p>SPECIFICATION SHEET</p> <p>lumenfacade™ STAND ALONE - PROJECTOR WHITE & STATIC COLORS</p> <p>HOW TO ORDER</p> <table border="1"> <thead> <tr> <th>LOGP Select:</th> <th>Select:</th> <th>Select:</th> <th>Select:</th> <th>Select:</th> <th>Select:</th> <th>Select:</th> <th>Select:</th> <th>Select:</th> <th>Select:</th> </tr> <tr> <th>Housing</th> <th>Voltage</th> <th>Length</th> <th>Colors and color temperatures</th> <th>Optic</th> <th>Mounting Option</th> <th>Finish</th> <th>Control</th> <th>Option</th> <th></th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2</td> <td>3</td> <td>4</td> <td>5</td> <td>6</td> <td>7</td> <td>8</td> <td>9</td> <td></td> </tr> </tbody> </table> <p>Housing:</p> <p>LOGP ASHRAE - Lumenfacade™ Stand Alone Projector, 5W/ft ASHRAE compliant</p> <p>LOGP RO - Lumenfacade™ Stand Alone Projector, Regular Output, 8.5W/ft</p> <p>LOGP HO - Lumenfacade™ Stand Alone Projector, High Output, 15.25W/ft</p> <p>Mounting Option:</p> <p>UMP - Fixed Mounting (Suitable to use when 3GV option is specified)</p> <p>UMAS - Universal Adjustable Mounting (Suitable to use when 3GV option is specified)</p> <p>WAM2 - Adjustable Wall Mounting 2'</p> <p>WAM6 - Adjustable Extended Arm Mounting 6'</p> <p>WAM12 - Adjustable Extended Arm Mounting 12'</p> <p>Voltage:</p> <table border="1"> <tbody> <tr> <td>100 - 100 volts</td> <td>220 - 220 volts</td> </tr> <tr> <td>120 - 120 volts</td> <td>240 - 240 volts</td> </tr> <tr> <td>208 - 208 volts</td> <td>277 - 277 volts</td> </tr> </tbody> </table> <p>Length:</p> <table border="1"> <tbody> <tr> <td>12 - 13 3/8 inches (340mm) (2 kg/4.5 lbs)</td> </tr> <tr> <td>24 - 25 3/8 inches (645mm) (3.7 kg/7 lbs)</td> </tr> <tr> <td>36 - 37 3/8 inches (940mm) (4.75 kg/10.5 lbs)</td> </tr> <tr> <td>48 - 49 3/8 inches (1254mm) (6.35 kg/14 lbs)</td> </tr> </tbody> </table> <p>Colors and Color temperatures:</p> <table border="1"> <tbody> <tr> <td>27K - 2700K</td> </tr> <tr> <td>30K - 3000K</td> </tr> <tr> <td>35K - 3500K</td> </tr> <tr> <td>40K - 4000K</td> </tr> <tr> <td>RD - Red</td> </tr> <tr> <td>GR - Green</td> </tr> <tr> <td>BL - Blue</td> </tr> </tbody> </table> <p>Control:</p> <p>NO - No Dimming</p> <p>LT - Lumentalk Dimming 1% minimum dimming value</p> <p>DIM - 0-10V Dimming option 10% minimum dimming value</p> <p>DMX 1FT - DMX Dimming option, resolution per foot 1% minimum dimming value</p> <p>DMX 1FX - DMX Dimming option, resolution per fixture 1% minimum dimming value</p> <p>DAU - DALI Dimming option 1% minimum dimming value</p> <p>ES - Lutron® EcoSystem® Enabled Dimming 1% minimum dimming value</p> <p>Option:</p> <p>A - 90° angle cord output, bottom feed</p> <p>CRC - Concealment-resistant Coating</p> <p>3GV - 3G ANSI C136.31 Vibration Rating N.B. Available with UXP and UMAS mounting options only</p> <p>9/9 Lumenpulse, 1751 Redwood, Suite 1505, Menlo Park/Cupertino CA 94040 • P: 877.9873030 F: 514.9373033 E: SIA.107@209 info@lumenpulse.com www.lumenpulse.us Copyright © 2015 Lumenpulse</p> <p>2014.12.22 N.K.-K22 Lumenpulse reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.</p> <p>lumenpulse Sustainable architectural LED lighting systems</p> | LOGP Select: | Select: | Select: | Select: | Select: | Select: | Select: | Select: | Select: | Select: | Housing | Voltage | Length | Colors and color temperatures | Optic | Mounting Option | Finish | Control | Option | | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | | 100 - 100 volts | 220 - 220 volts | 120 - 120 volts | 240 - 240 volts | 208 - 208 volts | 277 - 277 volts | 12 - 13 3/8 inches (340mm) (2 kg/4.5 lbs) | 24 - 25 3/8 inches (645mm) (3.7 kg/7 lbs) | 36 - 37 3/8 inches (940mm) (4.75 kg/10.5 lbs) | 48 - 49 3/8 inches (1254mm) (6.35 kg/14 lbs) | 27K - 2700K | 30K - 3000K | 35K - 3500K | 40K - 4000K | RD - Red | GR - Green | BL - Blue |
|---|--|---|---|--------------|-----------------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|--------|-------------------------------|-------|-----------------|--------|---------|--------|--|---|---|---|---|---|---|---|---|---|--|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|---|---|---|--|-------------|-------------|-------------|-------------|----------|------------|-----------|
| LOGP Select: | Select: | Select: | Select: | Select: | Select: | Select: | Select: | Select: | Select: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Housing | Voltage | Length | Colors and color temperatures | Optic | Mounting Option | Finish | Control | Option | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 100 - 100 volts | 220 - 220 volts | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 120 - 120 volts | 240 - 240 volts | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 208 - 208 volts | 277 - 277 volts | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 30K - 3000K | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 35K - 3500K | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 40K - 4000K | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RD - Red | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GR - Green | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BL - Blue | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

OW8 LUMINAIRE TYPE OW8
NO SCALE

MADISON COLLEGE - TRUAX BUILDING
CULINARY ADDITION AND RENOVATIONS

Light building element for LED

Post construction: Made from four square aluminum extrusions, 3/4" wall thickness, mechanically fastened to a square extruded lamp housing (top) and a wiring/balast compartment (bottom). Die castings are marine grade, copper free (6-0.06 copper content) A360.0 aluminum alloy.

Enclosure: One piece die-cast aluminum extruded housing (top). Clear, molded tempered glass, 3/4" thick, extends below the lamp enclosure to increase the light spread. Lens is secured to the lamp enclosure with a one piece die-cast trim ring, secured to housing with four (4) stainless steel screws. Fully gasketed using a one piece molded high temperature silicone gasket for weather tight operation. Reflector made from pure anodized aluminum.

Electrical: 40W L70 Luminaire, 40 total system watts, <30°C start temperature, integral 120V through 277V electronic LED driver, 0-10V dimming. Standard LED color temperature is 4000K with a >90 CRI. Available in 3000K (>80 CRI) add suffix K3 to order.

Anchor base: The #890 B and orange consists of a heavy gauge welded assembly of .157" thick galvanized steel. Luminaire slip fits over base and is secured by eight (8) stainless steel socket screws.

Finish: All BEGA standard finishes are polyester powder coat with minimum 0.1 mil thickness. These luminaires are available in four standard BEGA colors: Black (BLK), White (WHT), Bronze (BRZ), Eliver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on request order.

UL listed for US and Canadian Standards, suitable for wet locations. Protection class: IP65.

Weight: 128 lbs.

Luminaire Lumens: 1126

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:

7844 LED 40W LED 8 1/4 x 8 1/4 128 177 890B

BECA-US 1000 BEGA Way, Carpinteria, CA 93013 (805)884-0533 FAX (805)566-9474 www.bega-us.com
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landscapeforms®

Concord
Designed by Robert A.M. Stam Architects

Greater energy efficiency:
LED's use less energy,
consume fewer resources

Better color:
Warm white light supports
ecology and human health

Better Light Control:
Engineered Aven™ optics
eliminate wasted light
and light pollution

Longer Life:
Exceptional thermal
management extends
useful life

Alcott
LED Pedestrian Lighting

Alcott

Type 3

Structure: Housing and cabinet are cast aluminum, pole is aluminum extrusion.
Lamp: 48 Cree XP-E
TM21 L70 Life: 60,500 hours
Drive Current: 350mA
Optic: Proprietary Aven™ Optic
Lens: Diffused
Power Supply: 100V-277V
LED Driver: 1 Dimmable TRC-075S210DT
BUG Rating: B0U1G1
IP Rating: IP66
Weight: 170 lbs (complete assembly)

Type 5

Structure: Housing and cabinet are cast aluminum, pole is aluminum extrusion.
Lamp: 96 Cree XP-E
TM21 L70 Life: 60,500 hours
Drive Current: 350mA
Optic: Proprietary Aven™ Optic
Lens: Diffused
Power Supply: 100V-277V
LED Driver: 2 Dimmable TRC-075S210DT
BUG Rating: B2U1G1
IP Rating: IP66
Weight: 170 lbs (complete assembly)

lighting facts

Light Output (Lumens) 2700
Watts 57
Lumens per Watt (Efficacy) 47
Color Accuracy (Color Rendering Index CRI) 82

Light Color 3500 (Bright White)

Warm White Bright White Daylight

LED Lumen Maintenance Projection at 25,000 Hours at 25°C Ambient 94.84%
Warranty** Yes

lighting facts

Light Output (Lumens) 4811
Watts 115
Lumens per Watt (Efficacy) 42
Color Accuracy (Color Rendering Index CRI) 82

Light Color 3500 (Bright White)

Warm White Bright White Daylight

LED Lumen Maintenance Projection at 25,000 Hours at 25°C Ambient 94.84%
Warranty** Yes

Alcott Light Distribution and Spacing

Alcott meets or exceeds the IESNA DG-5 standard for Park walkways, Class I bikeways, and Residential sidewalks at 80' pole spacing. Intermediate sidewalks at 60' pole spacing, and Commercial sidewalks at 50' pole spacing. Alcott, at 50' pole spacing, also meets the "Special Conditions" criteria where increased vertical illuminance levels are needed for safety by improving facial recognition. Outside of North America, Alcott meets CEI-136-2000 standard for Residential parks at 80' pole spacing, and City Center/Arcades at 50'.

Concord
landscapeforms®

800.821.2546 269.381.3456 fax
431 Luminaire Avenue, Valermeo, WI 49048
www.concordlandscapeforms.com
specify@concordlandscapeforms.com


OP1 LUMINAIRE TYPE OP1 - ALTERNATE
NO SCALE

OP1 LUMINAIRE TYPE OP1 - BASE CAMPUS STANDARD
NO SCALE

MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS

ECOSENSE®

EcoSpec® Floodlight Bullet Mini



EcoSpec® Floodlight Bullet Mini is a compact architectural floodlight and landscape luminaire offering superior beaming and a full range of optical solutions. The EcoSpec Floodlight Bullet Mini is indoor and outdoor rated with a robust cast aluminum housing and glare control options that include flush, angled, or full snoots.

The EcoSpec Floodlight Bullet Mini offers field-interchangeable optical lenses in a wide range of beam angle distributions to allow for single optical design modifications without the need to replace the entire fixture. The integral driver connects directly to AC line voltage power, and is dimmable through ELV or TRIAC dimming hardware. This luminaire also has great flexibility with 136deg vertical aiming and 360deg horizontal rotation making it ideal for any application.

Features:

- Dimmable: TRIAC / ELV (RP)
- Integral Driver / AC Power
- Flicker-Free
- Long Life (L70)
- Gores Vent
- Field Interchangeable Accessory Lenses
- 360° Horizontal Rotation
- 130° Vertical Aiming

ECOSENSE®

EcoSpec® Floodlight Bullet Mini

ORDERING INFORMATION Choose the option that best suits your needs and enter its corresponding code on the appropriate line to form the product code.

| BUL-S | - | - | - | - | 11 |
|--------------|--------------|-----------------------|---------------|---------------------|----|
| MODEL | COLOR | VOLTAGE | FINISH | OPTIC | |
| BUL-S | 27 - 2700K | 120-IC - 100-120VAC* | BZ - Bronze | 11 - 11" x 11" | |
| (Small) | 30 - 3000K | 220-IC - 220-240VAC** | BK - Black | (Sealed Base Optic) | |
| | 35 - 3500K | 277-IC - 277 VAC* | WH - White | | |
| | 40 - 4000K | | | | |

EXAMPLE: BUL-S - 40 - 120-IC - BK - 11

Mounting / Wiring Notes:

* 120 VAC / 277 VAC 1) 1/2" NPT back with 3" Lead
2) 1/2" NPT Mounting Thread

** 220 VAC 1) 1/2" NPT back with 3" Lead
2) 3/8" x 1.5" Bore Mounting Thread
3) 220VAC Product comes standard with one (1) Architectural Mounting Canopy in the same finish as the ordered luminaire.

Special Order Cable: Consult EcoSense Representative

120-EC External Cable for 120-120VAC product (Example: BUL-S-CC-120-EC-F-INR-H-T)

220-IC Internal Cable for 220-240VAC product (Example: BUL-S-CC-220-IC-F-INR-H-T)

277-EC External Cable for 277VAC product (Example: BUL-S-CC-277-EC-F-INR-H-T)

ACCESSORIES Order accessories at separate origin unit price in addition to the production cost.

| Shielding Options | | |
|--------------------------------------|--------------|-------------------|
| 90° Cmp (Standard with base fixture) | | |
| 90° Full Snoot, Bronze | BUL-S-90S-BZ | 45° Snoot, Bronze |
| 90° Full Snoot, Black | BUL-S-90S-BK | 45° Snoot, Black |
| 90° Full Snoot, White | BUL-S-90S-WH | 45° Snoot, White |

Optical Film Lens (Light Shaping Diffuser)


| Standard Lens Distributions | Built-to-order Lens Distributions | | |
|-----------------------------|-----------------------------------|------------------------|-----------------|
| Optical Lens 20° x 20° | BUL-S-LSD-20 | Optical Lens 30° x 30° | BUL-S-LSD-30 |
| Optical Lens 40° x 40° | BUL-S-LSD-40 | Optical Lens 50° x 50° | BUL-S-LSD-50 |
| Optical Lens 60° x 60° | BUL-S-LSD-60 | Optical Lens 75° x 60° | BUL-S-LSD-75x60 |
| Optical Lens 10° x 60° | BUL-S-LSD-10x60 | | |

SPECIFICATIONS

| PERFORMANCE | Correlated Color Temperature (K) | Lumen Output / Input Power (IES Illuminance info) | Efficacy (lm/W) |
|-----------------------|--|---|-----------------|
| | 2700K | 745 lm / 11.3W | 66 lm/W |
| | 3000K | 750 lm / 11.3W | 66 lm/W |
| | 3500K | 890 lm / 11.3W | 79 lm/W |
| | 4000K | 920 lm / 11.4W | 81 lm/W |
| Color Rendering Index | Min. 80 | | |
| Color Constancy | 2 Step MacAdam Ellipse | | |
| Rated Life | L70-100,000 hours @ 25°C* / L70-50,000 hours @ 50°C* | | |

* As determined by IES Illuminance based on mean correlated color temp. with 100 lm/W testing procedure and 100 lm/W-1 Calculator.

| ELECTRICAL | Power Consumption | 10.3W typical, 12W Maximum |
|------------|---------------------------------|--|
| | Power Factor | Min. 0.90 |
| | Operating Voltage | 100-120VAC, 220-240VAC, 277VAC (ETL), 50-60 Hz |
| | Operating / Startup Temperature | -40°F to 122°F (-40°C to 50°C) / Storage: -40°F to 176°F (-40°C to 80°C) |
| CONTROL | Dimming | 100-120VAC - TRIAC/ELV-RP, 220-240VAC - TRIAC/ELV-RP, 277VAC Non-Dim |

| PHYSICAL | Dimensions | Dia. 4.06" x H 4.92" x L 8.78" (103mm x 125mm x 223mm) |
|---------------------------------|----------------------------|---|
| | Housing | Cast Aluminum, Clear Glass |
| | Weight | 4.4 lbs. (2.0 kg) |
| | Shielding | Flying Lead |
| | Environment | Optional 45° and 90° Cutoff Snoots, 360° locking rotation |
| | Beam Angle | Indoor / Outdoor, CE Certified (PSE / ETL Certified for Wet Locations) |
| | Mounting | Native: 11" x 11" / Accessory Lens: 30" / 30" / 40" / 60" / 80" / 10" x 60" / 30" x 60" / 1/2" NPT M20 Threaded stem with locking nut |
| FIXTURE RATING & CERTIFICATIONS | CE, ENEC, C-Tick Certified |     |
| | ETL Certified | |
| | RoHS Compliant | |

WARRANTY 5 Year Warranty

1 EcoSense Lighting Inc.
915 Wilshire Boulevard
Suite 2175
Los Angeles, CA 90017

Phone: 212-228-8118
Fax: 212-228-9113
Toll Free: 855.632.6736
855.6.ECOSENSE

Specifications subject to change without notice. Visit EcoSenseLighting.com for the most current specifications.

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Specifications subject to change without notice. Visit EcoSenseLighting.com for

| | | | |
|--------------|--|-------------|--|
| Project name | | Type | |
| Date | | Prepared by | |

| RVS | | | | | | |
|-----------|------|----------------|---------|---------|-----------|--------|
| Luminaire | Lamp | Optical System | Voltage | Options | Accessory | Finish |

RoadView LED Series

RVS

Lamps

| LUMINAIRE PERFORMANCE DATA (Nominal 4000K CCT) | | | | | | | | | | |
|--|------|---------------|-------------------|--------------|----------------------------|------------|------------|------|---------|------------|
| Lamp | LEDs | Drive Current | Luminaire Lumens* | System Watts | Max. system current (amps) | Weight lb. | Length in. | mm | sq. ft. | EPA |
| 35W/32LED4K | 32 | 350 | 3686 | 37 | 0.31 | 23 | 10.4 | 2138 | 543 | 0.53 0.049 |
| 55W/32LED4K | 32 | 530 | 5327 | 56 | 0.47 | 23 | 10.4 | 2138 | 543 | 0.53 0.049 |
| 72W/32LED4K | 32 | 700 | 4536 | 73 | 0.61 | 23 | 10.4 | 2138 | 543 | 0.53 0.049 |
| 55W/48LED4K | 48 | 350 | 5397 | 53 | 0.44 | 23 | 10.4 | 2138 | 543 | 0.53 0.049 |
| 80W/48LED4K | 48 | 530 | 7799 | 81 | 0.68 | 23 | 10.4 | 2138 | 543 | 0.53 0.049 |
| 108W/48LED4K | 48 | 700 | 9570 | 105 | 0.88 | 23 | 10.4 | 2138 | 543 | 0.53 0.049 |
| 70W/64LED4K | 64 | 350 | 6970 | 68 | 0.57 | 26 | 11.8 | 2525 | 641 | 0.60 0.056 |
| 110W/64LED4K | 64 | 530 | 10072 | 104 | 0.87 | 26 | 11.8 | 2525 | 641 | 0.60 0.056 |
| 90W/90LED4K | 90 | 350 | 8555 | 85 | 0.71 | 26 | 11.8 | 2525 | 641 | 0.60 0.056 |
| 135W/90LED4K | 90 | 530 | 12363 | 129 | 1.08 | 26 | 11.8 | 2525 | 641 | 0.60 0.056 |

*For Type III distribution. See photometric files for other distributions.

PHILIPS
LUMEC

Optical systems / LED

| | |
|------------|--------------------------------------|
| LE2 | TYPE II / Asymmetrical distribution |
| LE3 | TYPE III / Asymmetrical distribution |
| LE4 | TYPE IV / Asymmetrical distribution |

Voltage

| | | |
|----------------------------------|------------|------------|
| UNIV (120-277) | 347 | 480 |
| (not suitable for 32 LED no 946) | | |

Driver options**

| | |
|--------------|--|
| AST | Driver pre-programmed with progressive lamp starting* |
| CDMG | Dyna-dimmer standard dimming program* |
| CDMGP | Dyna-dimmer custom dimming program* |
| CLO | Constant Light Output, driver pre-programmed to achieve the same light intensity for the duration of the lifespan of the lamp* |
| DALI | Driver compatible with DALI control systems* |
| DMG | Dimmable driver 0-10 volt |
| OTL | Over The Life, driver pre-programmed to signal the end of lamp life* |
| OVR | Dyna-dimmer override function for use with motion detector or other switching device |

*Only available with 120 - 277 volts

** For all programmable options please consult the factory for details

Luminaire options

| | |
|---------------|---|
| API | ANSI/NEMA wattage label |
| BL | Bubble level |
| OSL3W | Motion detector (requires DMG or CDMG) |
| PH8 | Photo electric cell, twistlock type includes receptacle |
| PH8XL* | Photo electric Cell, Twist-lock Type, "Fail ON", extended life 10-year limited warranty from supplier |
| RC | Receptacle for a twist-lock photocell or shorting cap |
| SR | Strain relief |

* Not available with 347 and 480 volt

Luminaire accessory

| | |
|-------------|------------------------------|
| SPC* | StarSense Photo-cell Control |
|-------------|------------------------------|

* Luminaire option RC is required with this accessory

Finish options

| | | | |
|------------|-------|-----------|--------|
| GY3 | Gray | BR | Bronze |
| WH | White | BK | Black |

| | |
|------------|---|
| EXP | Extrusion painted to match cast housing color selected above (standard extrusion color is anodized aluminum). |
|------------|---|

Specifications subject to change without notice.
Consult factory for full details.

Additional colors are available. Consult factory for complete specifications.

PHILIPS
LUMEC

OL1 LUMINAIRE TYPE OL1
NO SCALE

OA1 — LUMINAIRE TYPE OA1
NO SCALE

E003D
SITE LIGHTING PLAN - LUMINAIRE SELECTIONS
03-05-2015

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