



# URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:  
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>April 29, 2015</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>May 6, 2015</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 1701 Wright Street, Madison, WI 53704

Project Title (if any): Madison College Culinary Addition and Renovation

2. This is an application for (Check all that apply to this UDC application):

New Development  Alteration to an Existing or Previously-Approved Development

**A. Project Type:**

Project in an Urban Design District\* (public hearing-\$300 fee)

Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)

Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Planned Residential Complex

AGENDA ITEM # 35783  
GISTAR # 12

CITY OF MADISON

APR 22 2015

10:15 am

Planning & Community  
& Economic Development

**B. Signage:**

Comprehensive Design Review\* (public hearing-\$300 fee)  Street Graphics Variance\* (public hearing-\$300 fee)

Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

**C. Other:**

Please specify: \_\_\_\_\_

3. Applicant, Agent & Property Owner Information:

Applicant Name: Mark Thomas Jr

Company: Madison College

Street Address: 1701 Wright Street

City/State: Madison, WI Zip: 53704

Telephone: (608) 246-6301 Fax: (608) 246-6331

Email: mthomasjr@madisoncollege.edu

Project Contact Person: Hamid Noughani

Company: Assemblage Architects

Street Address: 7427 Elmwood Avenue

City/State: Middleton, WI Zip: 53562

Telephone: (608) 827-5047 Fax: (608) 827-6960

Email: noughani@assemblagearchitects.com

Project Owner (if not applicant): \_\_\_\_\_

City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

Street Address: \_\_\_\_\_

Email: \_\_\_\_\_

Telephone: ( ) Fax: ( )

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on November 10, 2014  
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Mark Thomas Jr

Relationship to Property owner

Authorized Signature MTJ

Date 04.27.15

Madison College - Culinary Addition and Renovation  
1701 Wright Street, Madison, WI

## **Project Narrative**

The project is designed to accommodate the expansion and renovation of the culinary and baking programs. The project will fill a courtyard space between the existing trux building and the existing administration building expanding eastward to accommodate a relocated entrance and meeting spaces.

The addition will be a one story building, 21' tall, and will reflect material and architecture of the existing building that was completed in 1984. The building exterior will utilize solar shading strategies to minimize heat gain, ample glazing to provide daylighting, and relocates the plaza to service students' outdoor activities and gatherings.

The material will be standard size brick, composite metal panels, and aluminum curtain wall system. Glazing will be Low E with high transparency rating to allow visibility through of the interior spaces.

The site improvement will include modifications to the parking areas to accommodate public transportation bus service, and better pedestrian access. The landscaping adjacent to the building will be reconfigured to reflect the new addition and reconfigured access patterns.

The total addition is approximately 50,000 SF.

**Madison College - Culinary Addition and Renovation**  
**1701 Wright Street, Madison, WI**

**Letter of intent:**

Project Team

Architect	Assemblage Architects – architecture
Engineers	Henneman Engineering – plumbing, fire protection, electrical, IT
	Pearson Engineering – mechanical
	JSD Professional Services – civil, landscape, and site
	Gunnar Malm and Associates – Structural
	EF Whitney – food service

Construction Manager: JH Findorff

Exiting condition: The building houses Madison College curriculum and staff. The existing three story steel framed building with exterior brick envelope was constructed in the 1980's. The building has undergone renovations and additions over the years.

Project Schedule: Project will be phase as the building will remain occupied. Anticipated time frame is August 2015-December 2017

Proposed Uses: The new addition will house an expanded culinary program, student food service and associated seating area, lobby and lounges replace those displaced. The renovated area will relocate the Barber/Cosmetology program, student services programs, and office and conference rooms displaced.

Parking information: Refer to C200

Impervious area: The impervious area within the limits of disturbance for this project on the Madison College Campus includes an existing impervious total of 49,179 SF or 1.129 Acres and a proposed impervious total of 49,798 SF or 1.143 Acres. The proposed impervious area is a function of expanded building footprint and reconfiguration of the existing parking lot. Stormwater management requirements will be met with existing onsite facilities serving the existing impervious area for redevelopment requirements. The proposed impervious area will utilize the existing storm conveyance system and bioretention serving this part of campus.

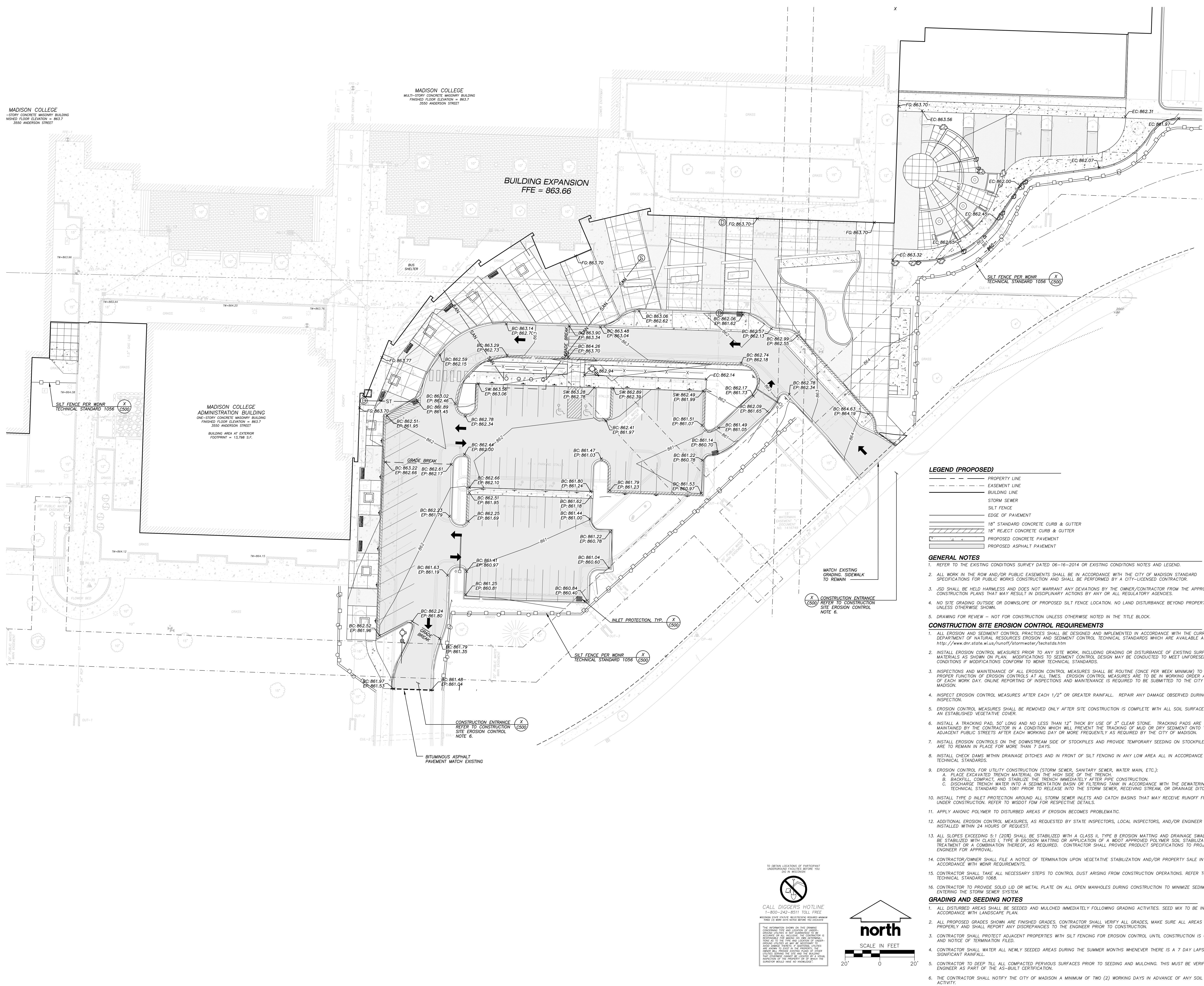
Hours of Operation: The building is open 7 am to 10 pm Monday – Friday and 7 am to 3 pm Saturday and Sunday.

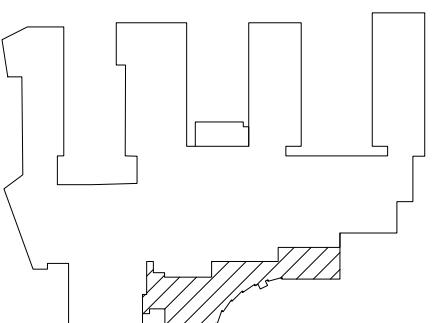
Overall Building Square Footage: 980,000 SF (including proposed addition)

Estimated construction Cost: \$27 M









**assemblage**  
**ARCHITECTS**  
 7427 Elmwood Avenue  
 Middleton, WI 53562  
 T 608.827.5047

**JSD Professional Services, Inc.**

Engineers • Surveyors • Planners  
 MADISON REGIONAL OFFICE  
 161 HORN CREEK ROAD, SUITE 101  
 VERONA, WISCONSIN 53593  
 608.848.5000 PHONE | 608.848.2255 FAX  
 MADISON | MILWAUKEE  
 KENOSHA | APPLETON

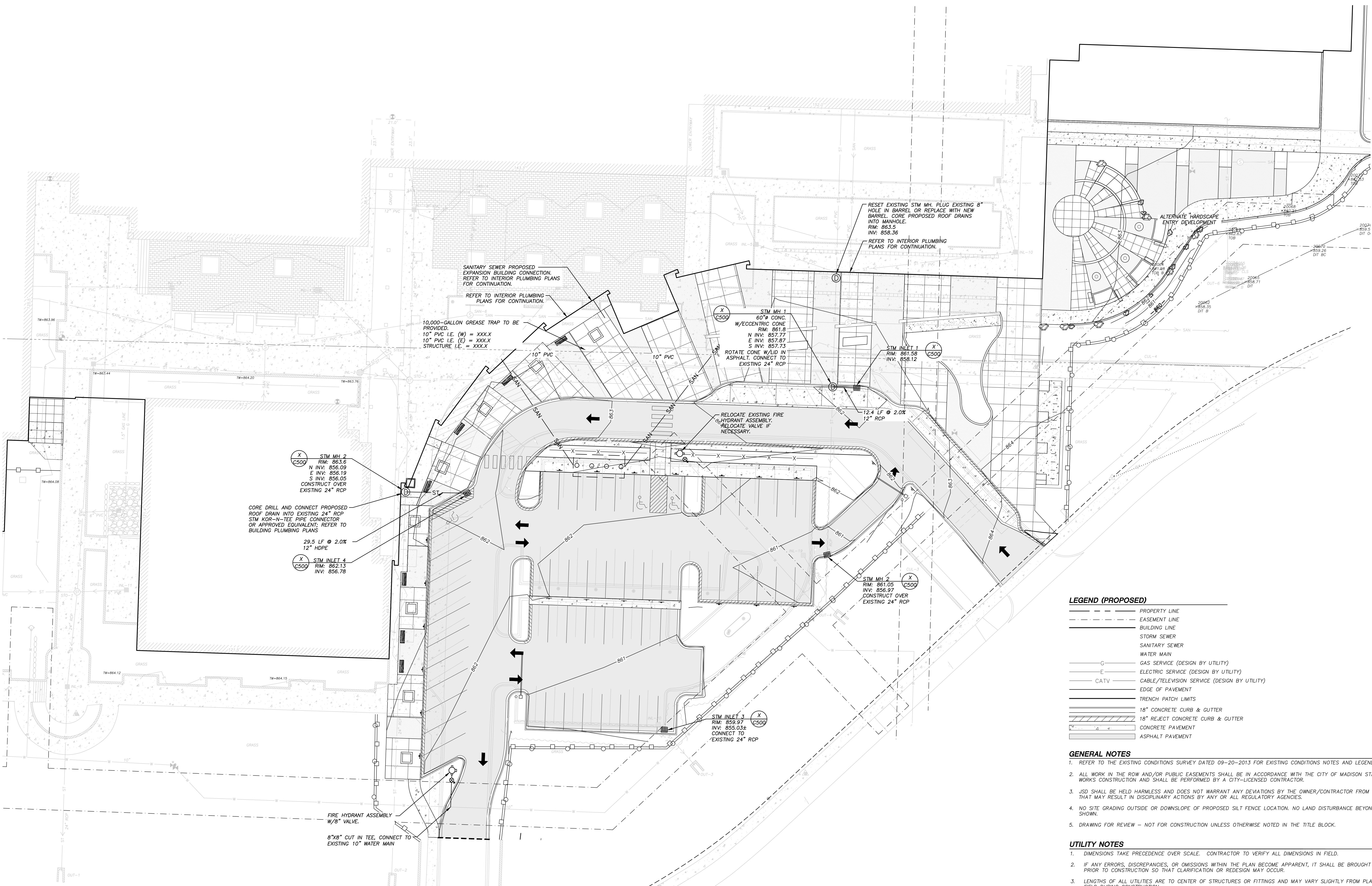
SCALE

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C400


**LEGEND (PROPOSED)**

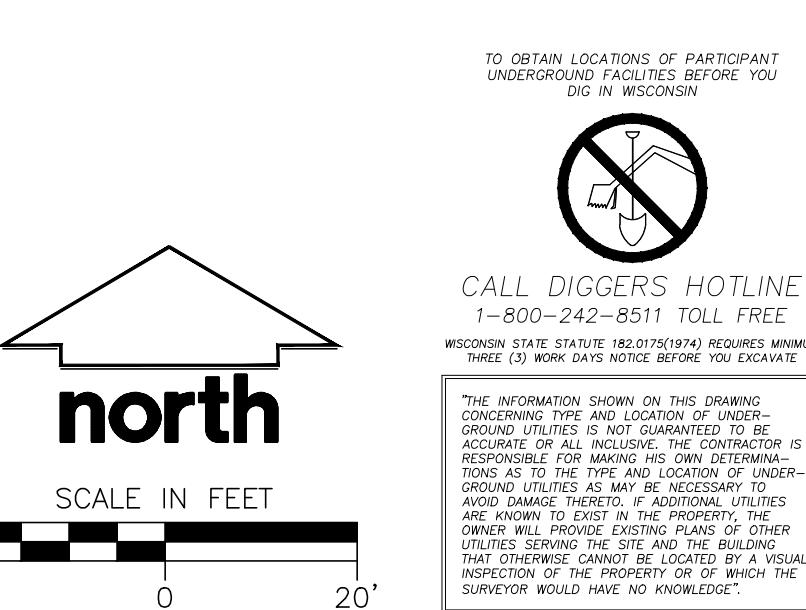
PROPERTY LINE
EASEMENT LINE
BUILDING LINE
STORM SEWER
SANITARY SEWER
WATER MAIN
GAS SERVICE (DESIGN BY UTILITY)
ELECTRIC SERVICE (DESIGN BY UTILITY)
CABLE/TELEVISION SERVICE (DESIGN BY UTILITY)
EDGE OF PAVEMENT
TRENCH PATCH LIMITS
18" CONCRETE CURB & GUTTER
18" REJECT CONCRETE CURB & GUTTER
CONCRETE PAVEMENT
ASPHALT PAVEMENT

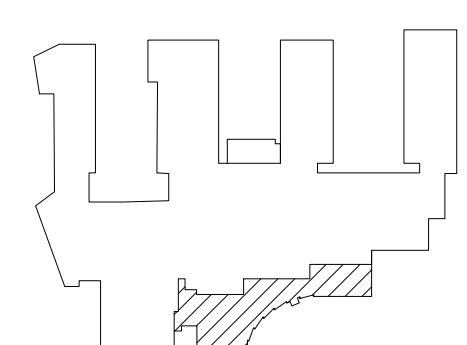
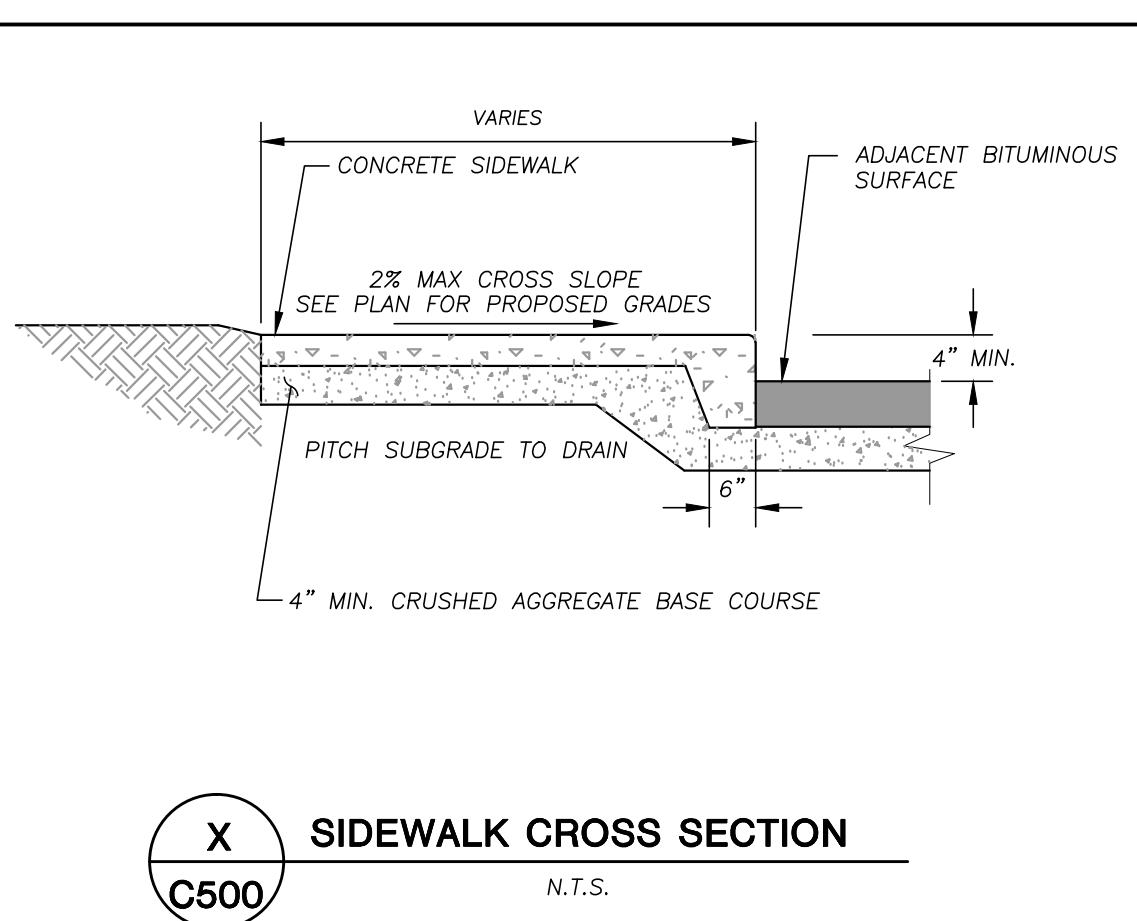
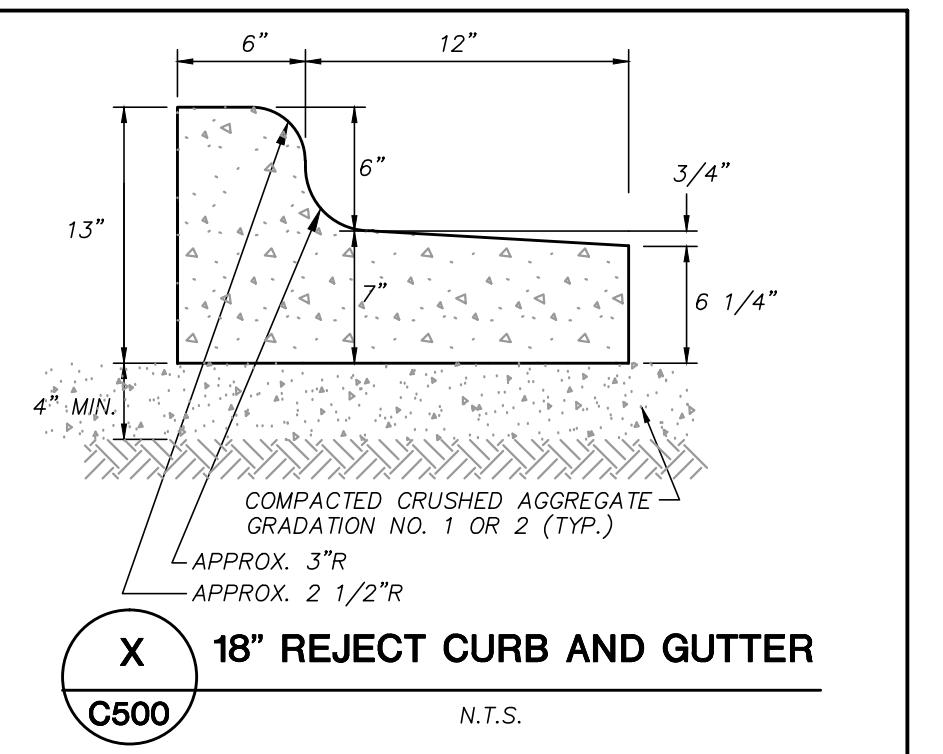
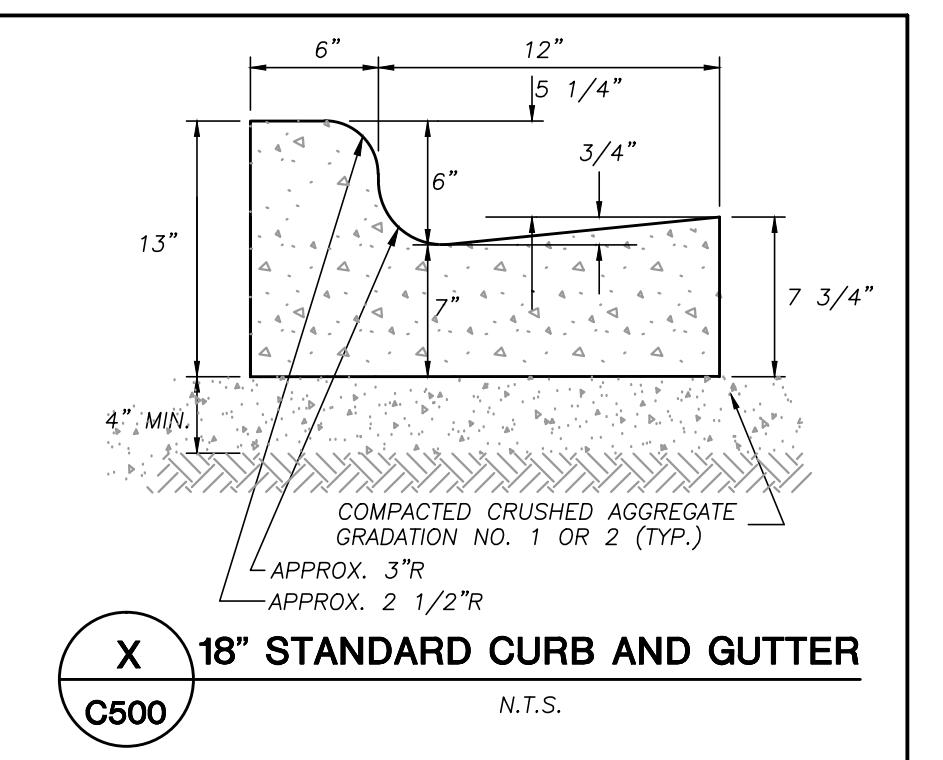
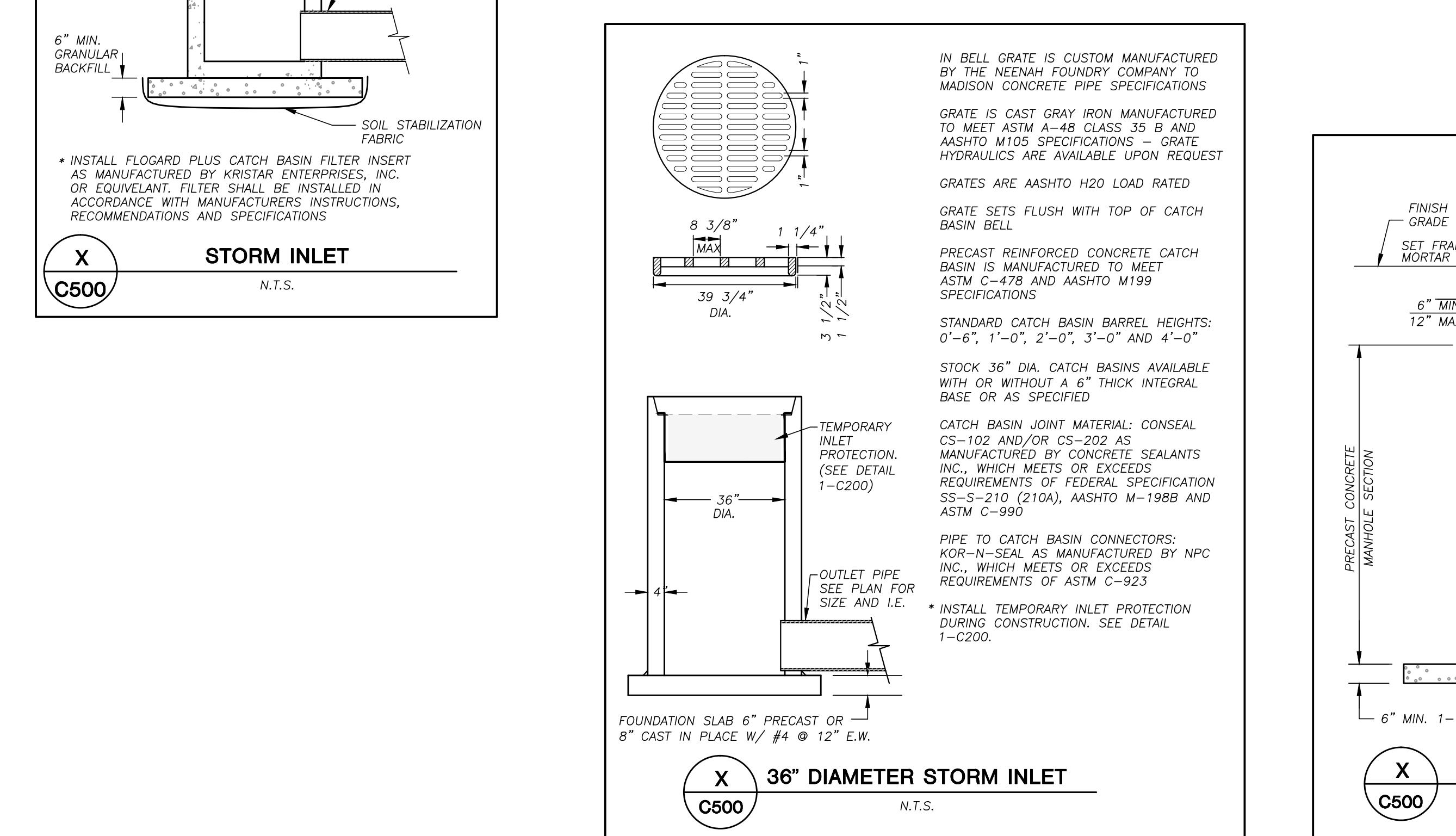
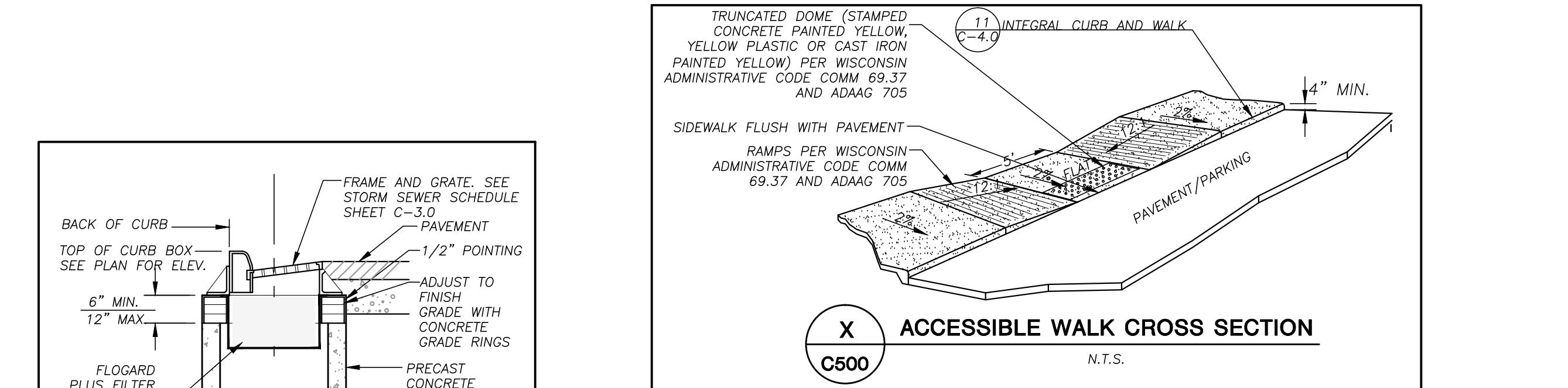
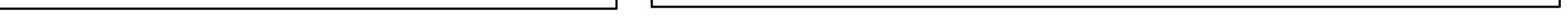
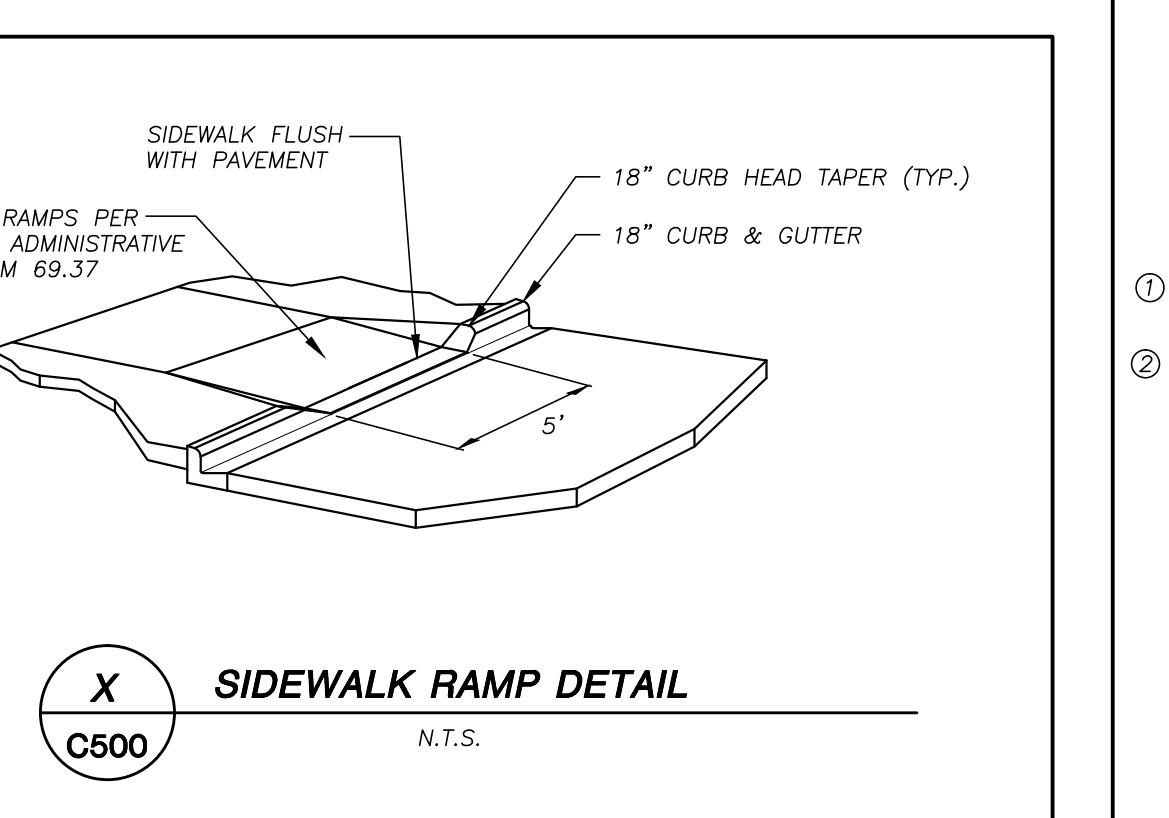
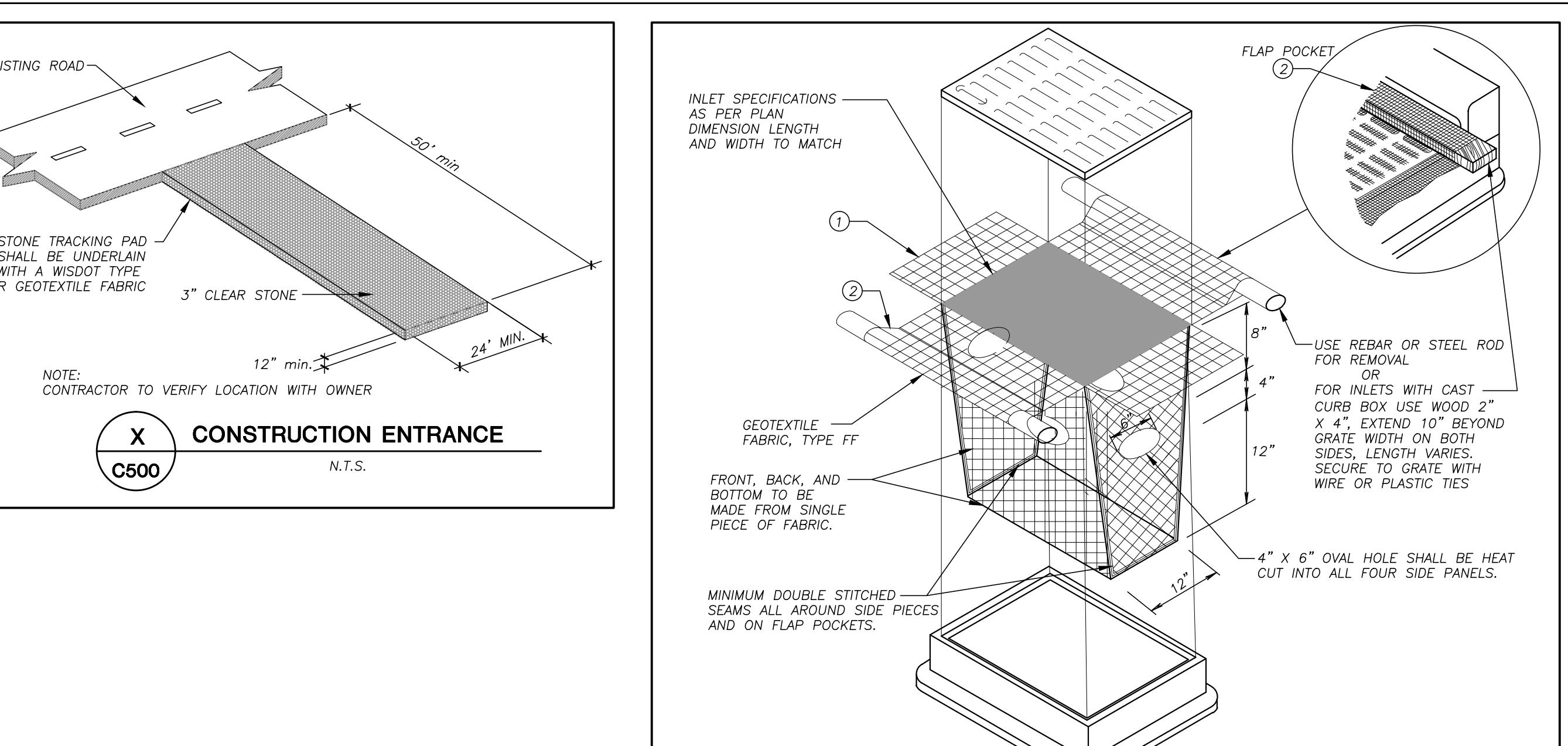
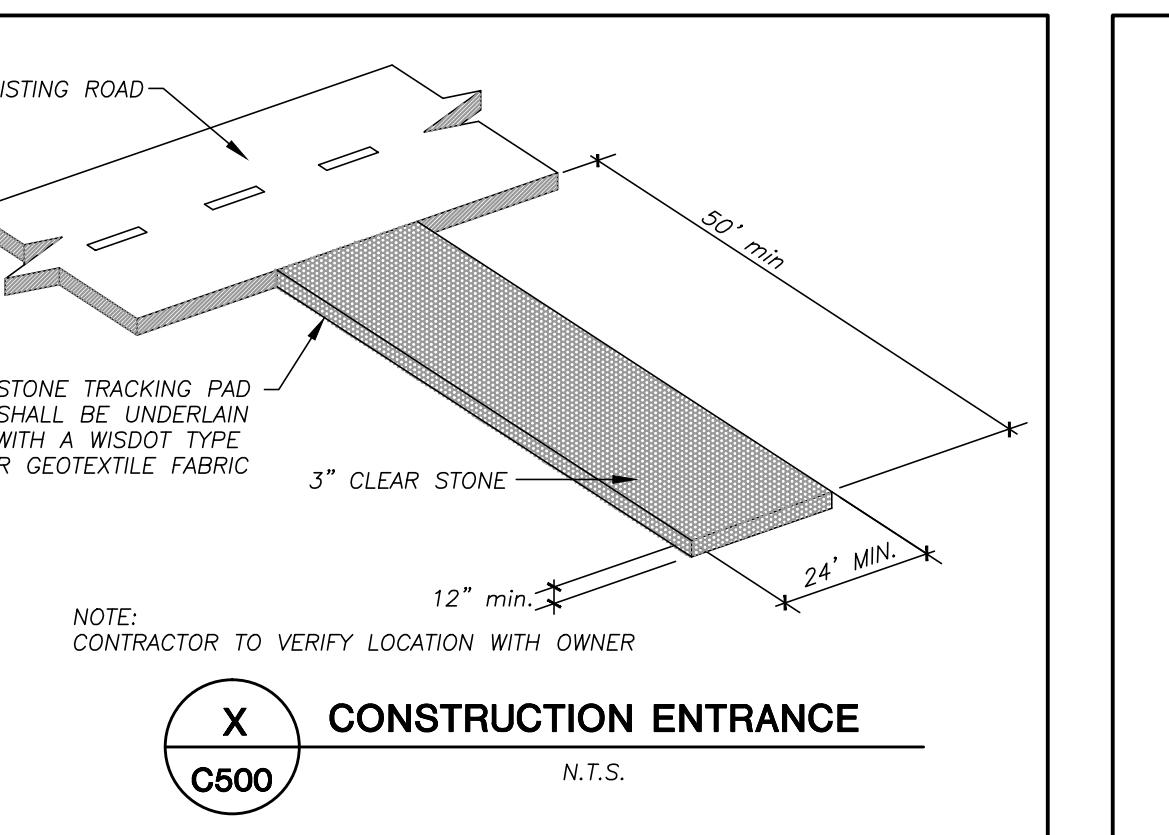
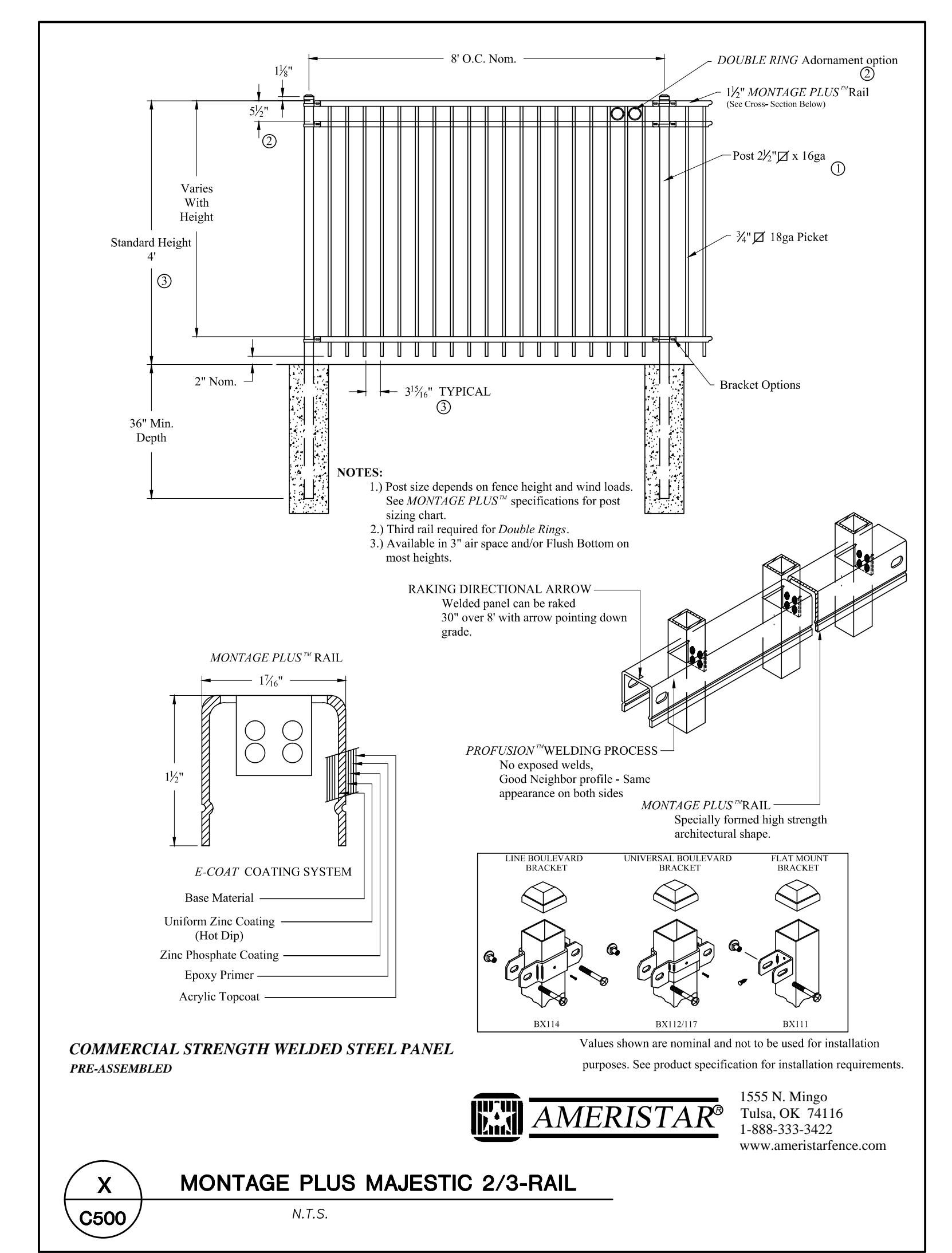
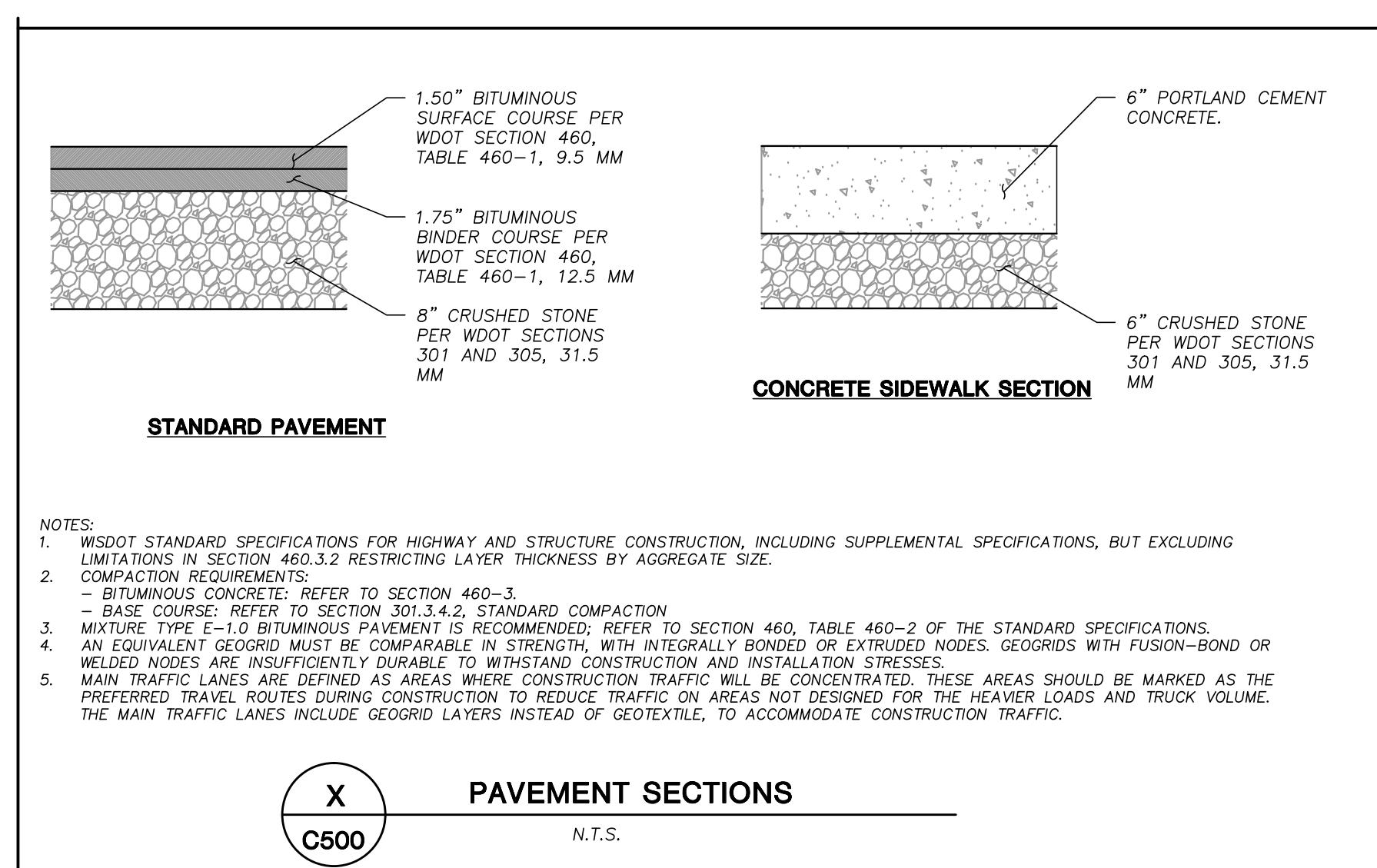
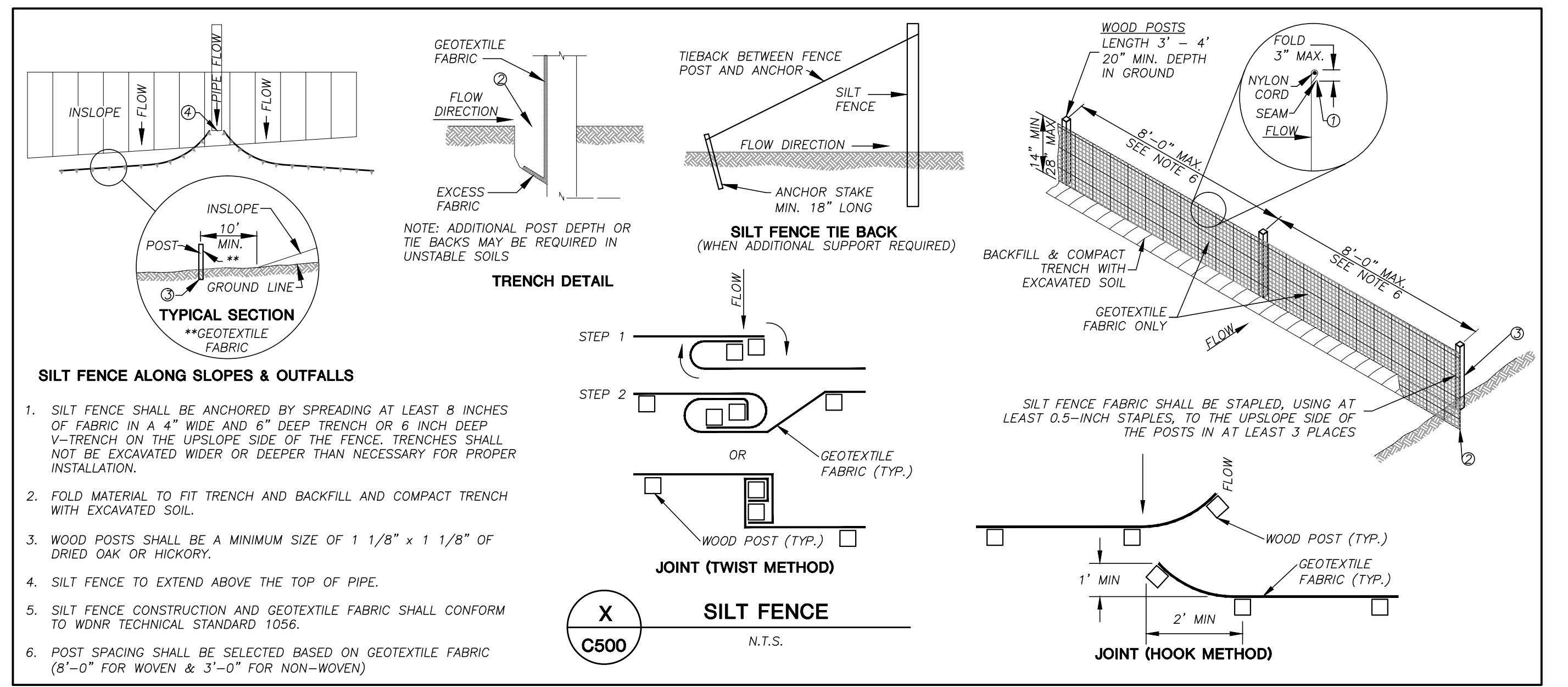
**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY DATED 09-20-2013 FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

**UTILITY NOTES**

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
5. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
6. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN WDR.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - REVIEWING SITE CONDITIONS AND RELATING THEM TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
12. CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
13. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO S&B 384.30, TABLE 384.30-6.
14. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER AND CONSTRUCT CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PART VII. CONTACT CITY OF MADISON DEPARTMENT OF PUBLIC WORKS 48 HOURS PRIOR TO CONSTRUCTION.
15. ALL WATER MAIN AND ASSOCIATED FITTINGS SHALL MEET THE REQUIREMENTS OUTLINED WITHIN ARTICLE 702 WITHIN THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
16. ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO S&B 384.30, TABLE 384.30-6.
17. GREASE INTERCEPTOR SHOWN FOR RESTAURANT A AND RESTAURANT B SHALL BE 10,000 GALLON GREASE INTERCEPTOR BY CREST PRECAST, INC., MODEL 3500-G-2.
18. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDRN STORE WATER MANAGEMENT TECHNICAL STANDARD 106.
19. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. PRE-CONSTRUCTION MEETING WITH THE CITY OF MADISON IS REQUIRED PRIOR TO INSTALLATION.

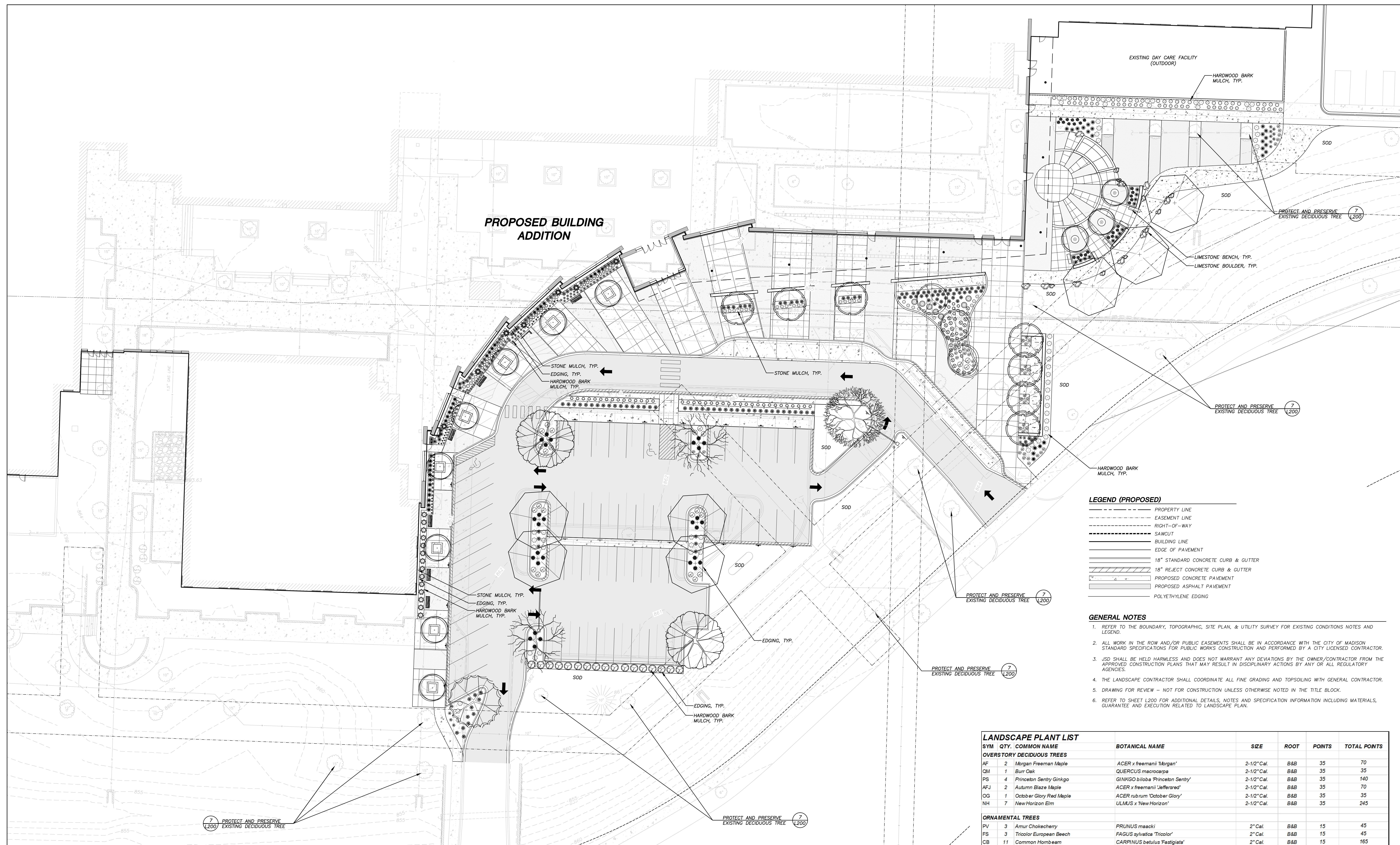
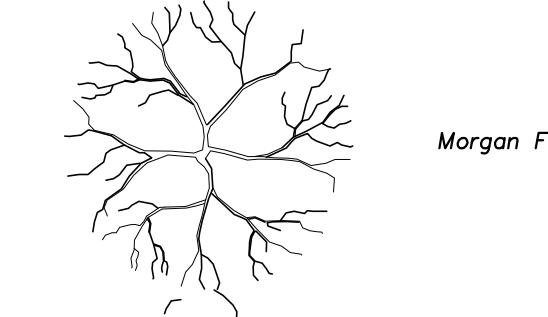



 assemblage  
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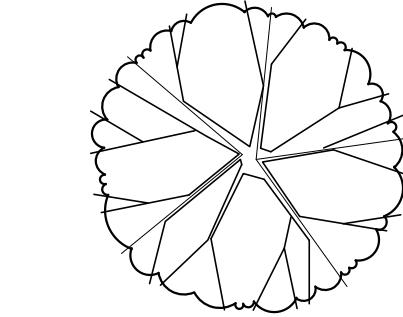
 JSD Professional Services, Inc.  
 • Engineers • Surveyors • Planners  
 MADISON REGIONAL OFFICE  
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 608.848.5069 PHONE | 608.848.2255 FAX  
 MILWAUKEE  
 KENOSHA | APPLETON  
[www.jsdinc.com](http://www.jsdinc.com)

 SCALE  
 SHEET TITLE  
 DETAILS  
 SHEET NUMBER

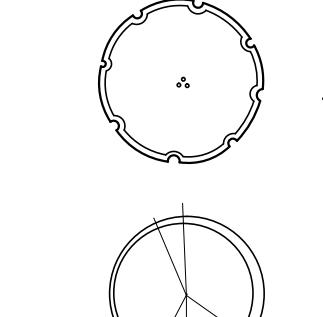
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**LEGEND (PROPOSED)**
**OVERSTORY DECIDUOUS TREES**


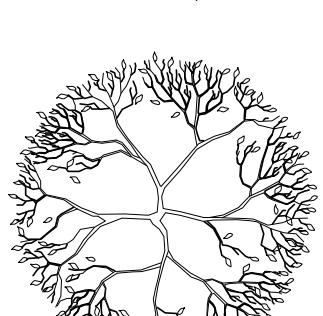
Morgan Freeman Maple

**OVERSTORY DECIDUOUS TREES (CONT)**


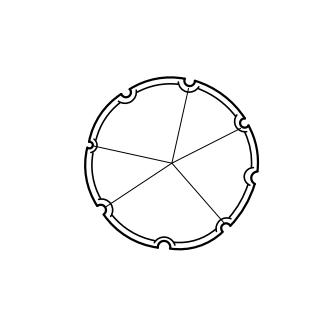
Autumn Blaze Maple

**ORNAMENTAL TREES**


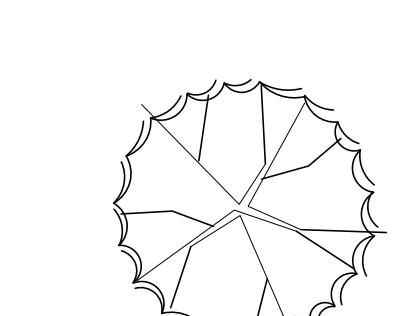
Amur Chokeberry



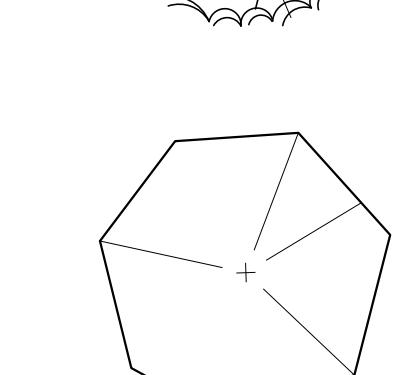
Tricolor European Beech



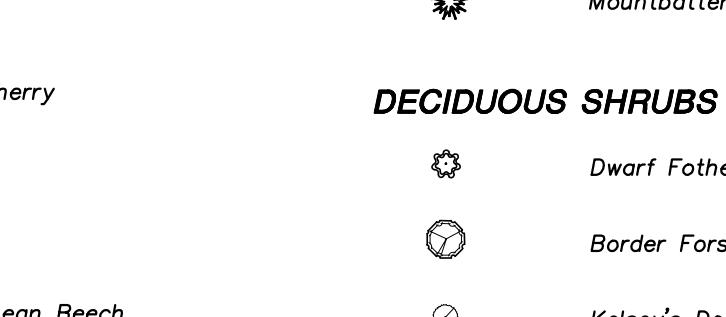
Common Hornbeam



October Glory Red Maple



New Horizon Elm

**UPRIGHT EVERGREEN SHRUBS**


Mountbatten Juniper



Dwarf Fothergilla



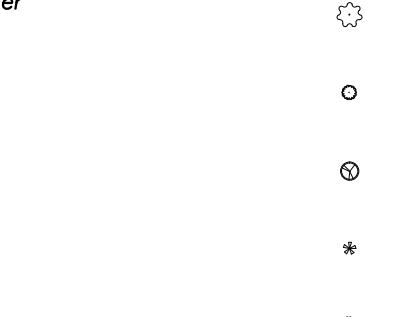
Border Forsythia



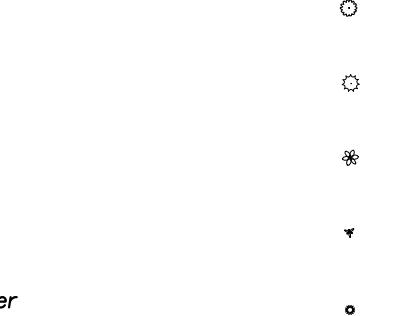
Kelseys Dogwood



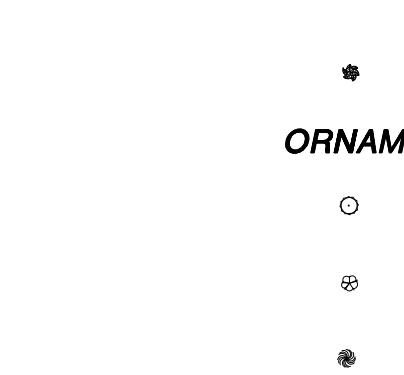
Neon Flash Spirea

**PERENNIALS**


Russian Sage



Little Spire Russian Sage



Lady's Mantle



Dwarf Coreopsis



Autumn Joy Sedum



Stella D'Oro Daylily



Barbara Mitchell Daylily



Summer Beauty Alum



Bugleweed



Coral Bells Palace Purple



Morning Light Misanthus



Prairie Dropseed



Karl Foerster Feather Reed Grass



Dwarf Hameln Fountain Grass



Japanese Flame Grass

**LANDSCAPE PLANT LIST**

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
<b>OVERSTORY DECIDUOUS TREES</b>							
AF	2	Morgan Freeman Maple	<i>ACER x freemanii 'Morgan'</i>	2-1/2" Cal.	B&B	35	70
QM	1	Burr Oak	<i>QUERCUS macrocarpa</i>	2-1/2" Cal.	B&B	35	35
PS	4	Princeton Sentry Ginkgo	<i>GINKGO biloba 'Princeton Sentry'</i>	2-1/2" Cal.	B&B	35	140
AFJ	2	Autumn Blaze Maple	<i>ACER x freemanii 'Jefferson'</i>	2-1/2" Cal.	B&B	35	70
OG	1	October Glory Red Maple	<i>ACER rubrum 'October Glory'</i>	2-1/2" Cal.	B&B	35	35
NH	7	New Horizon Elm	<i>ULMUS x New Horizon'</i>	2-1/2" Cal.	B&B	35	245
<b>ORNAMENTAL TREES</b>							
PV	1	Amur Chokeberry	<i>PRUNUS maackii</i>	2" Cal.	B&B	15	45
FS	3	Tricolor European Beech	<i>FAGUS sylvatica 'Tricolor'</i>	2" Cal.	B&B	45	135
CB	11	Common Hornbeam	<i>CARPINUS betulus 'Fastigiata'</i>	2" Cal.	B&B	15	165
<b>UPRIGHT EVERGREEN SHRUBS</b>							
JC	7	Mountbatten Juniper	<i>JUNIPERUS chinensis 'Mountbatten'</i>	3-4' Ht.	B&B	10	70
<b>DECIDUOUS SHRUBS</b>							
FG	14	Dwarf Fothergilla	<i>FOTHERGILLA gardenii</i>	12-24" Min. Ht.	#2 Cont.	3	42
FI	17	Border Forsythia	<i>FORSYTHIA x intermedia 'Sunrise'</i>	12-24" Min. Ht.	#2 Cont.	3	51
KD	24	Kelseys Dogwood	<i>CORNUS sinesis 'Kelseyi'</i>	12-24" Min. Ht.	#2 Cont.	3	72
<b>EVERGREEN SHRUBS</b>							
JS	28	Blue Star Juniper	<i>JUNIPERUS squamata 'Blue Star'</i>	12-24" Min. Ht.	#2 Cont.	4	112
MA	8	Mini Arcade Juniper	<i>JUNIPERUS sabina 'Mini Arcade'</i>	12-24" Min. Ht.	#2 Cont.	4	32
<b>PERENNIALS</b>							
RS	60	Russian Sage	<i>PEROVSKIA atriplicifolia</i>	8-18" Ht.	#1 Cont.	2	120
PA	85	Little Spire Russian Sage	<i>PEROVSKIA atriplicifolia 'Little Spire'</i>	8-18" Ht.	#1 Cont.	2	170
AM	24	Lady's Mantle	<i>ALCHEMILLA mollis</i>	8-18" Ht.	#1 Cont.	2	48
CG	27	Dwarf Coreopsis	<i>COREOPSIS grandiflora 'Sunray'</i>	8-18" Ht.	#1 Cont.	2	54
SA	40	Autumn Joy Sedum	<i>SEDUM 'Autumn Joy'</i>	8-18" Ht.	#1 Cont.	2	80
SDD	27	Stella D'Oro Daylily	<i>HEMEROCALLIS 'Stella D'Oro'</i>	8-18" Ht.	#1 Cont.	2	54
HG	39	Barbara Mitchell Daylily	<i>HEMEROCALLIS 'Barbara Mitchell'</i>	8-18" Ht.	#1 Cont.	2	78
AS	45	Summer Beauty Alum	<i>ALIUM 'Summer Beauty'</i>	8-18" Ht.	#1 Cont.	2	90
AR	18	Bugleweed	<i>AJUGA reptans</i>	8-18" Ht.	#1 Cont.	2	36
CPP	25	Coral Bells Palace Purple	<i>HEUCHERA micrantha 'Palace Purple'</i>	10-12" Ht.	#1 Cont.	2	50
<b>ORNAMENTAL GRASSES</b>							
MS	29	Morning Light Misanthus	<i>MISCANTHUS sinensis 'Morning Light'</i>	8-18" Ht.	#1 Cont.	2	58
PR	52	Prairie Dropseed	<i>SPOROBOLUS heterolepis</i>	8-18" Ht.	#1 Cont.	2	104
CA	148	Karl Foerster Feather Reed Grass	<i>CALAMAGROSTIS x acutiflora 'Karl Foerster'</i>	8-18" Ht.	#1 Cont.	2	296
PA	34	Dwarf Hameln Fountain Grass	<i>PENISETUM alopecuroides 'Hameln'</i>	8-18" Ht.	#1 Cont.	2	68
FLG	41	Japanese Flame Grass	<i>MISCANTHUS sinensis var. purpureus</i>	8-18" Ht.	#1 Cont.	2	82

TOTAL= 2617

L100

SHEET NUMBER

LANDSCAPE PLAN

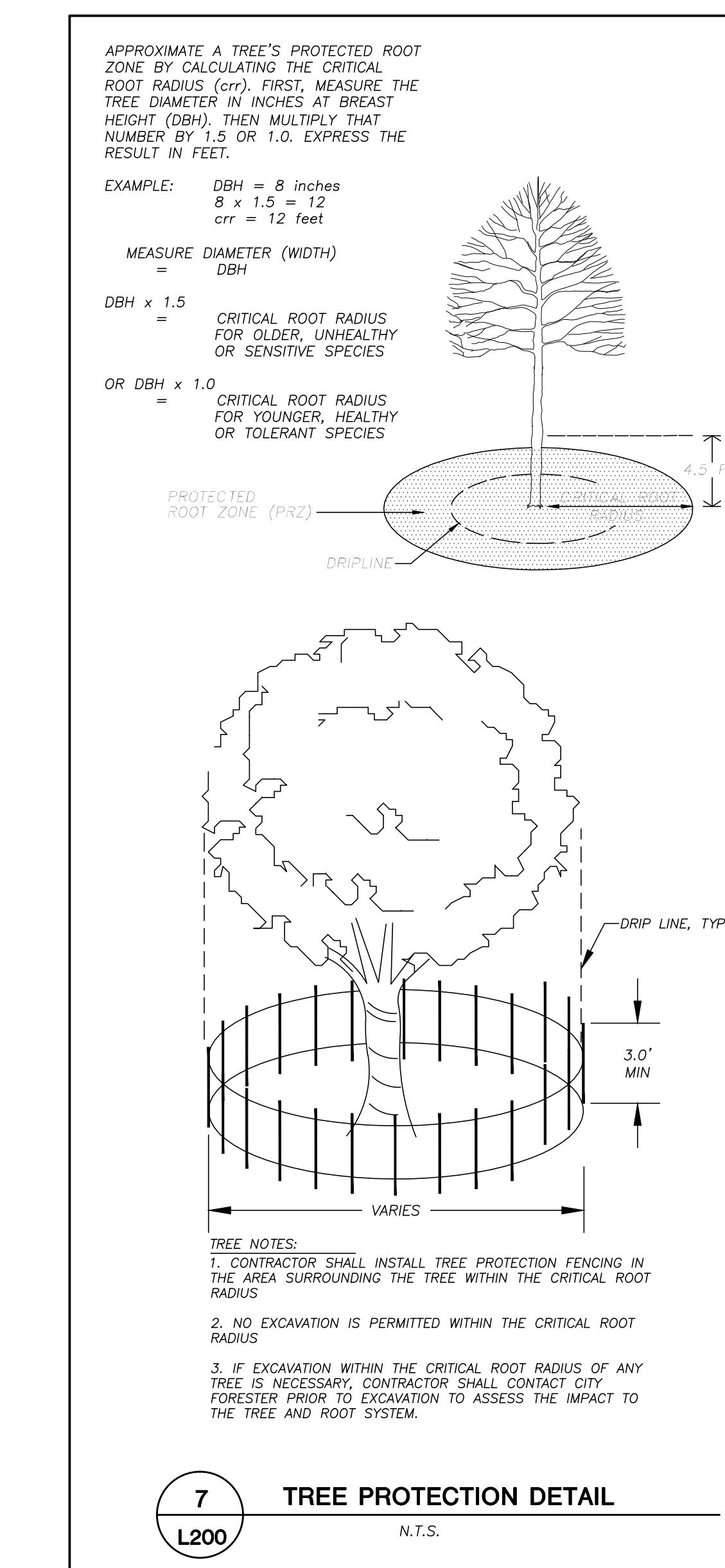
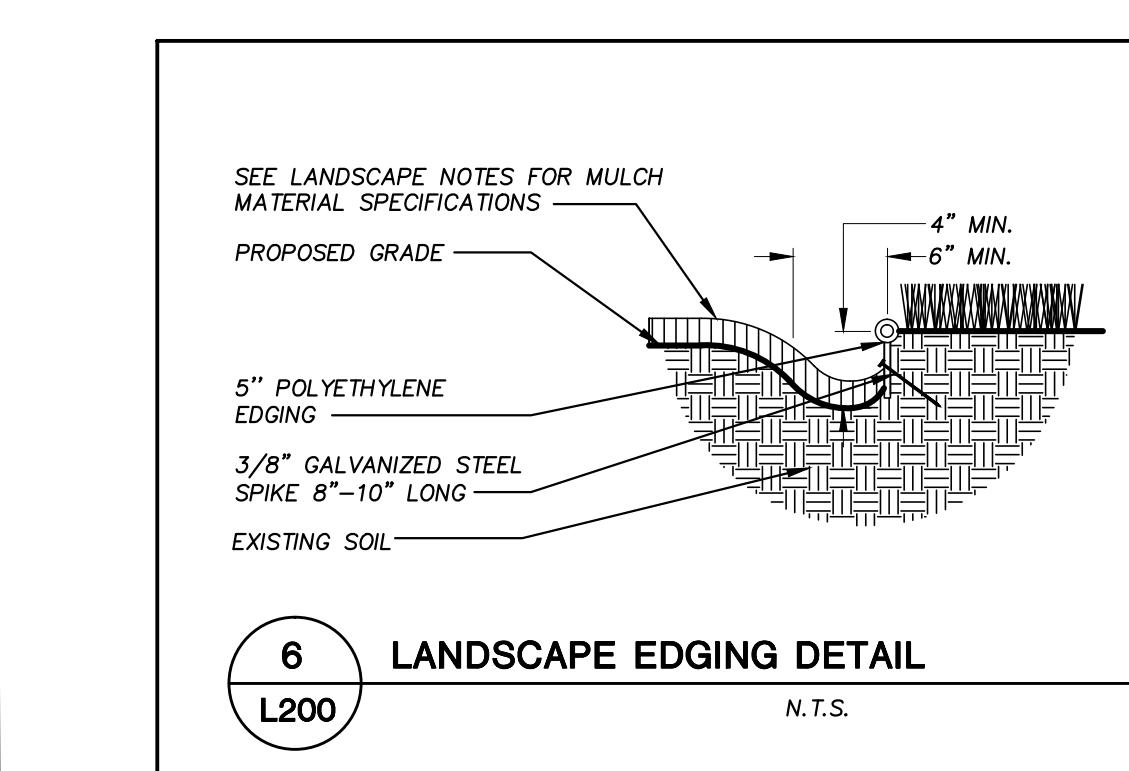
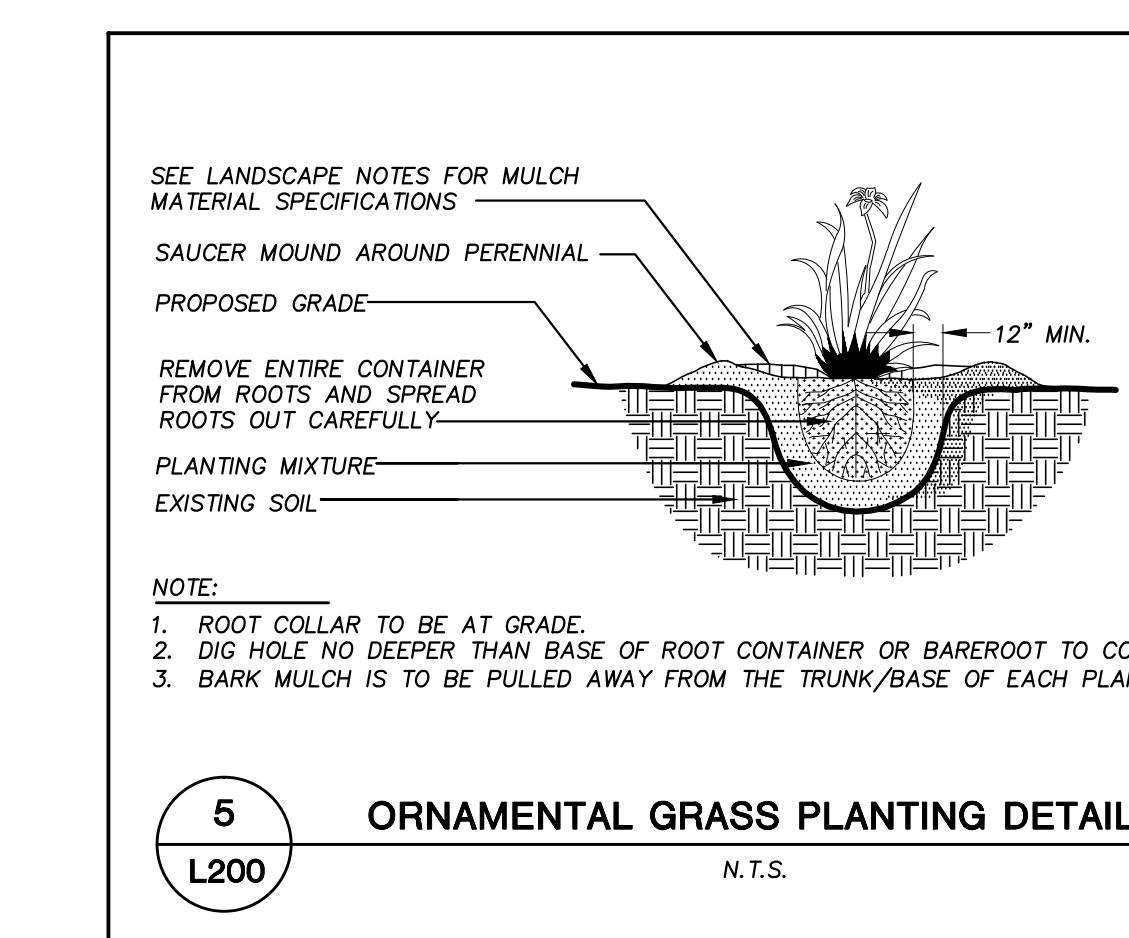
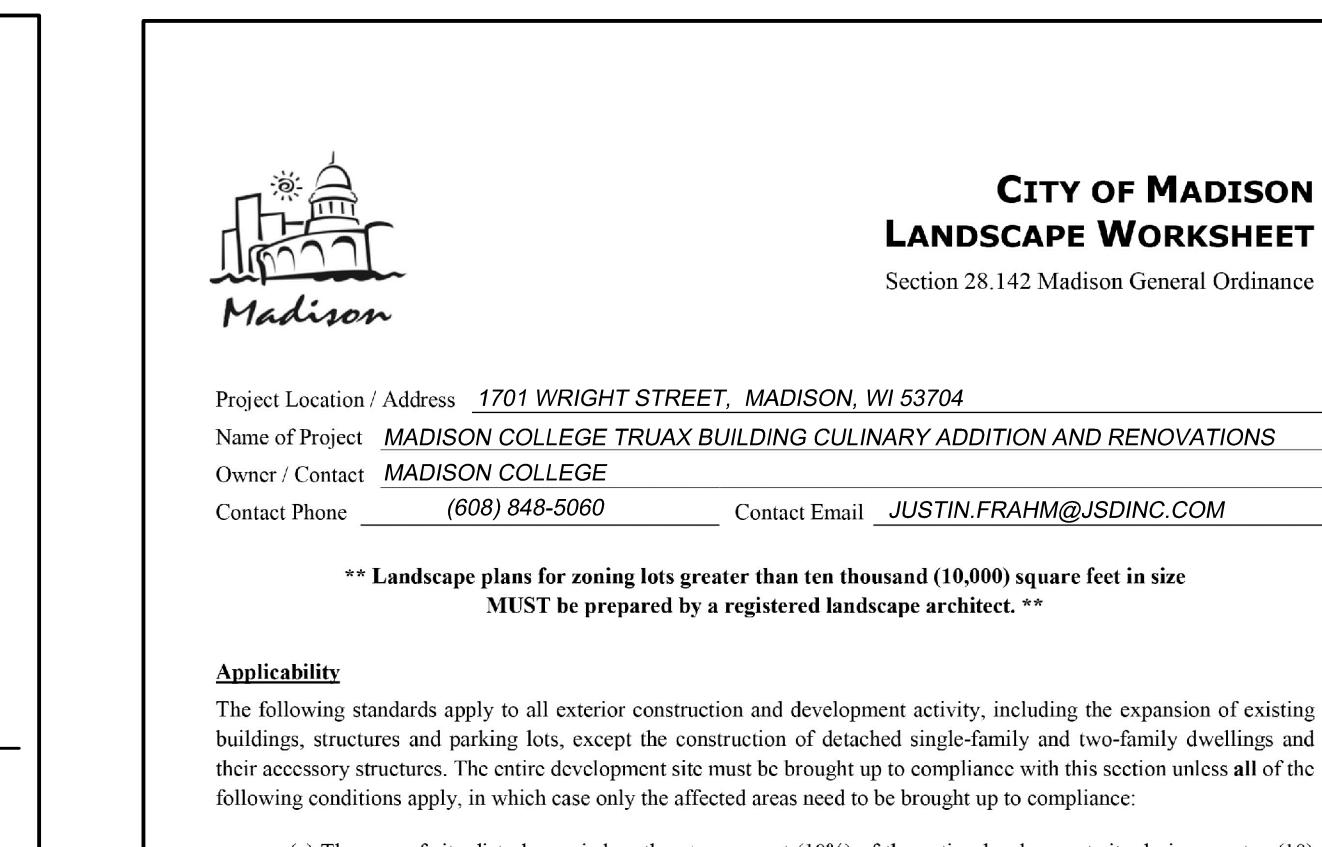
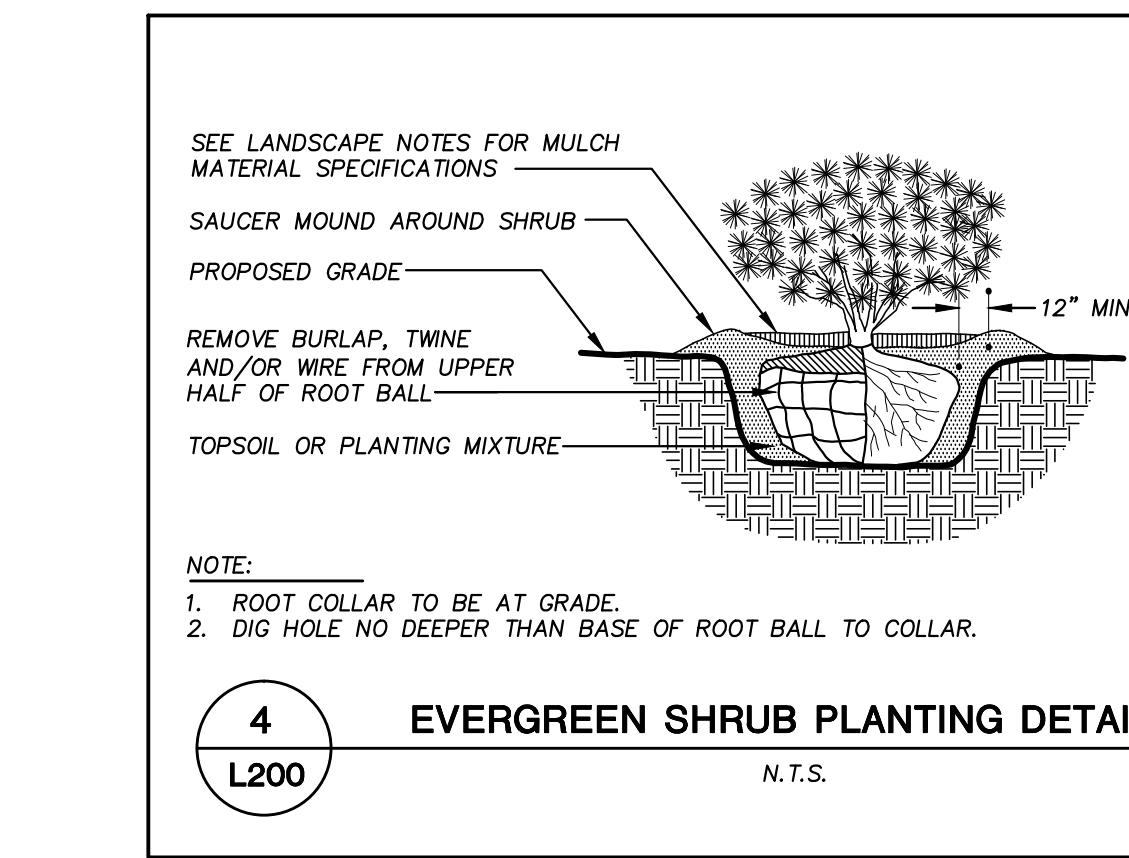
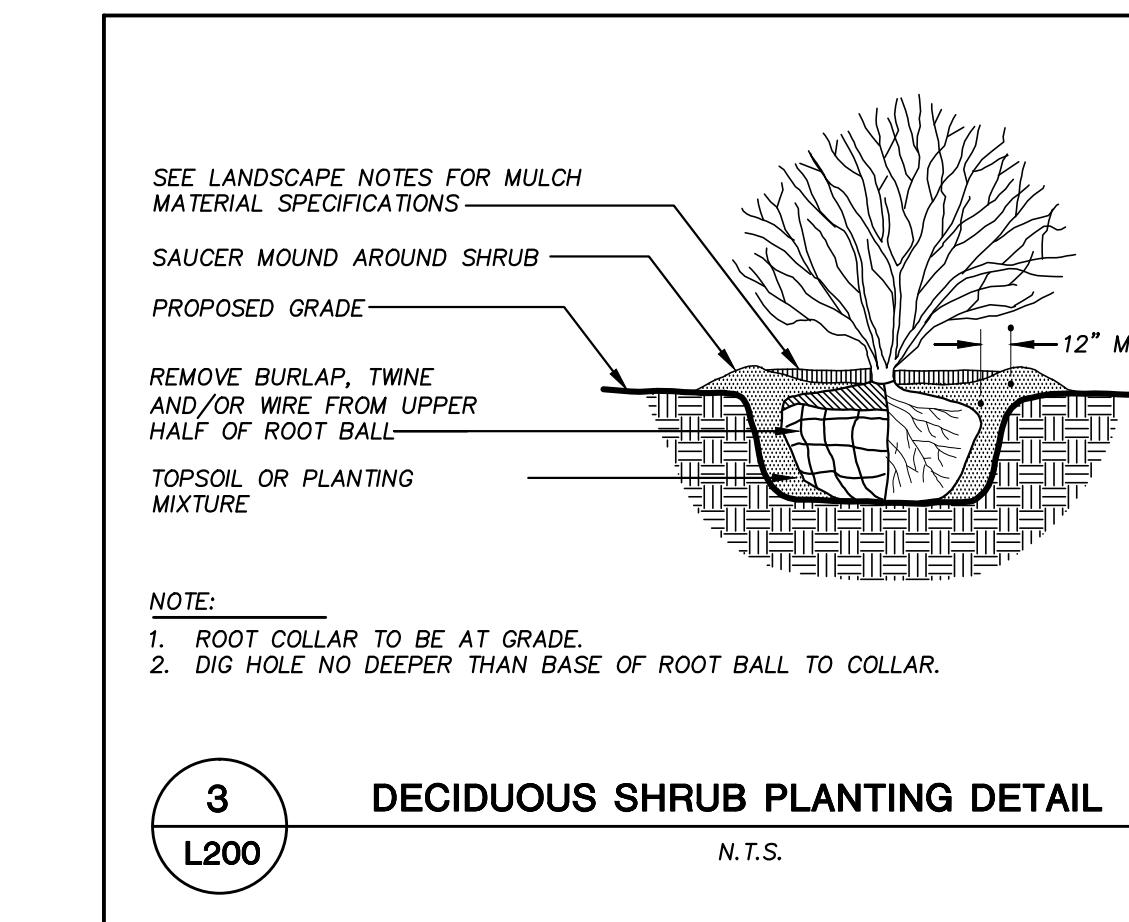
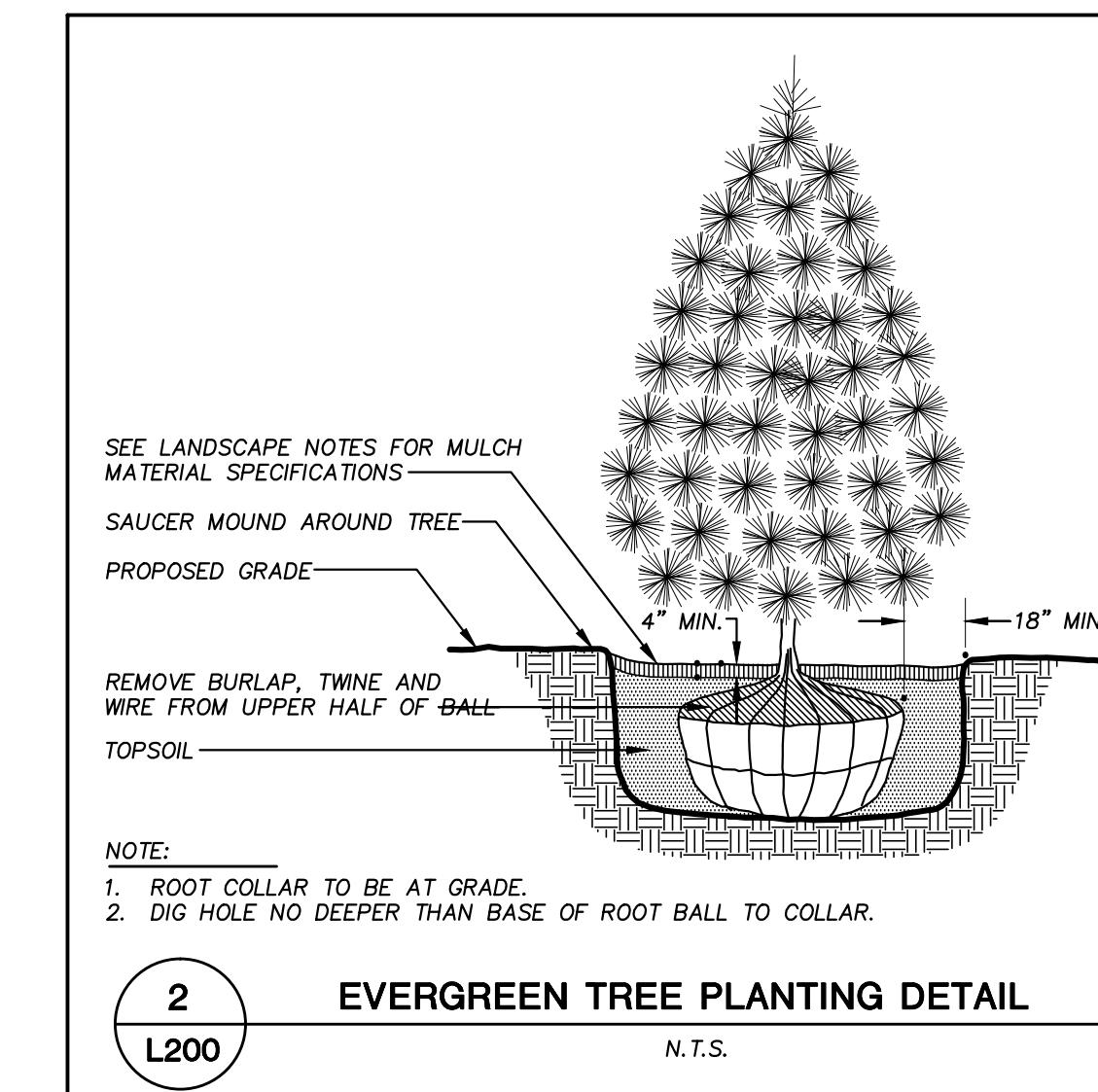
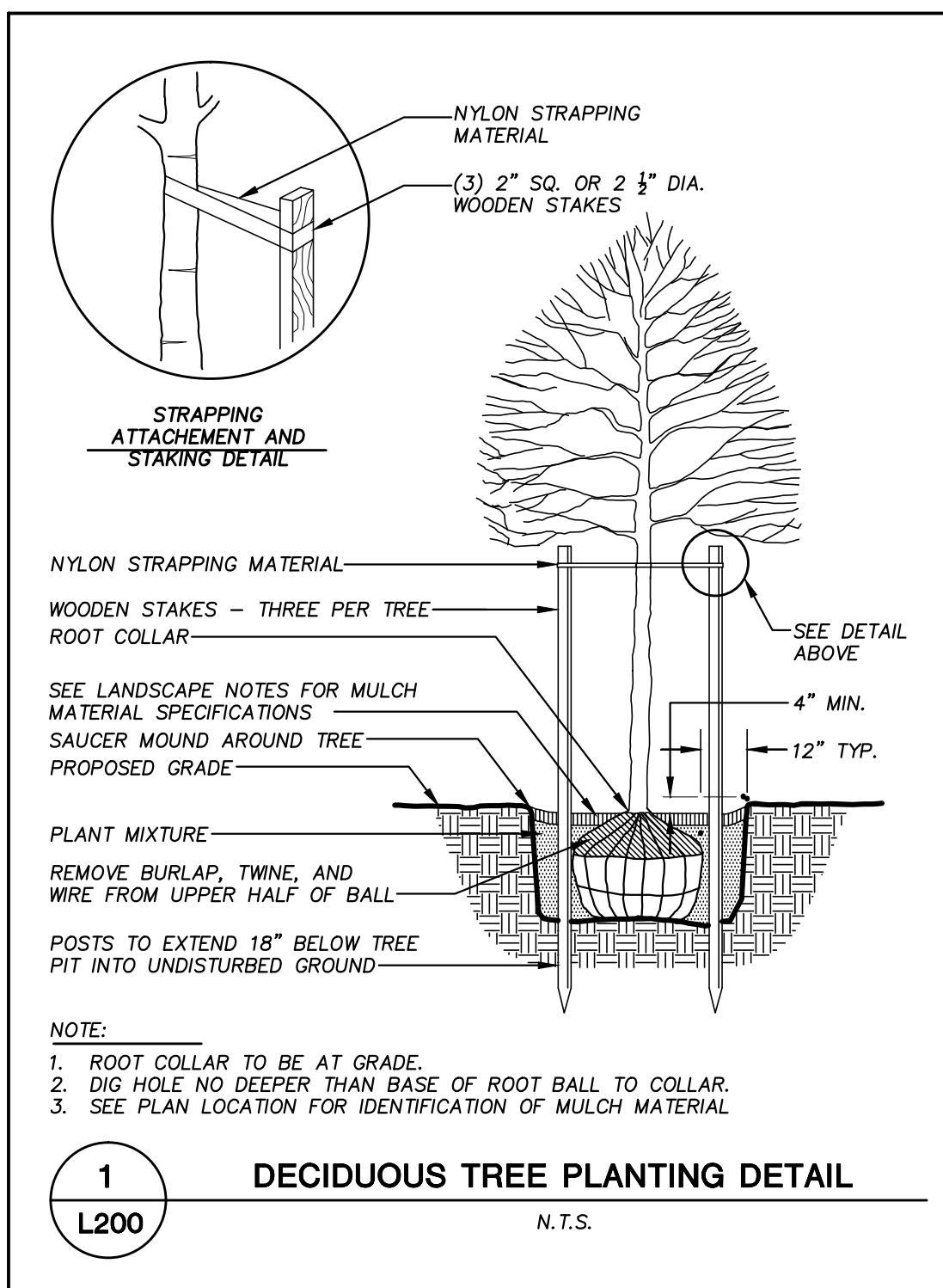
SHEET TITLE

SCALE

SHEET NUMBER

L100

 JSD Professional Services, Inc.  
 Engineers • Surveyors • Planners  
 MADISON REGIONAL OFFICE  
 161 HORN CREEK DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 608.848.5000 PHONE | 608.848.2255 FAX  
 MADISON | MILWAUKEE  
 KENOSHA | APPLETON



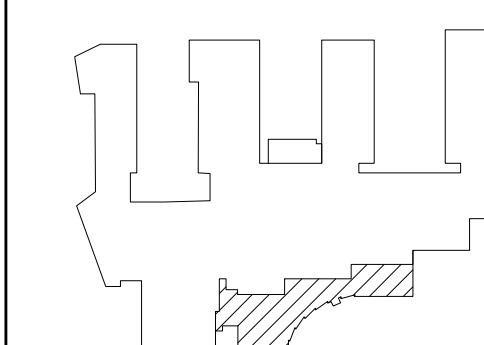
SCALE

SHEET TITLE

 LANDSCAPE DETAILS,  
 NOTES AND  
 SPECIFICATIONS

SHEET NUMBER

L200

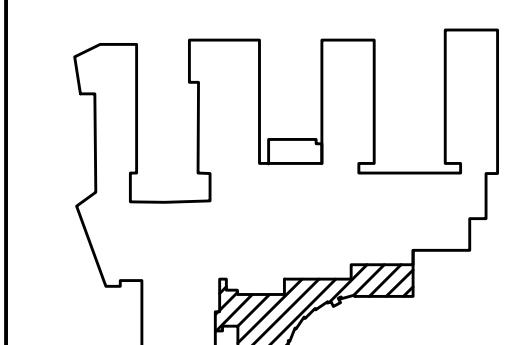

 assemblage  
 ARCHITECTS

 7427 Elmwood Avenue  
 Middleton, WI 53562  
 T 608.827.5047

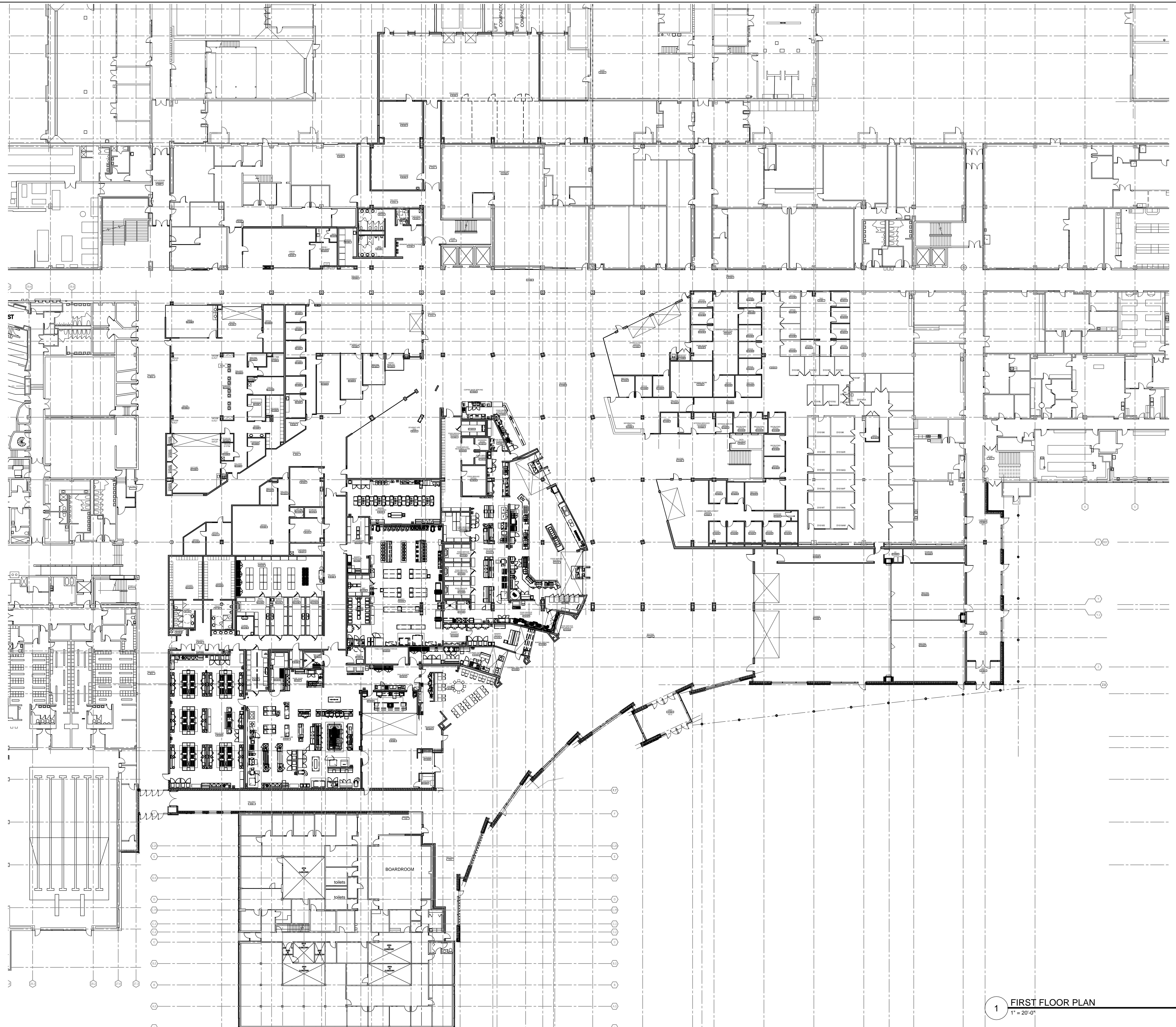
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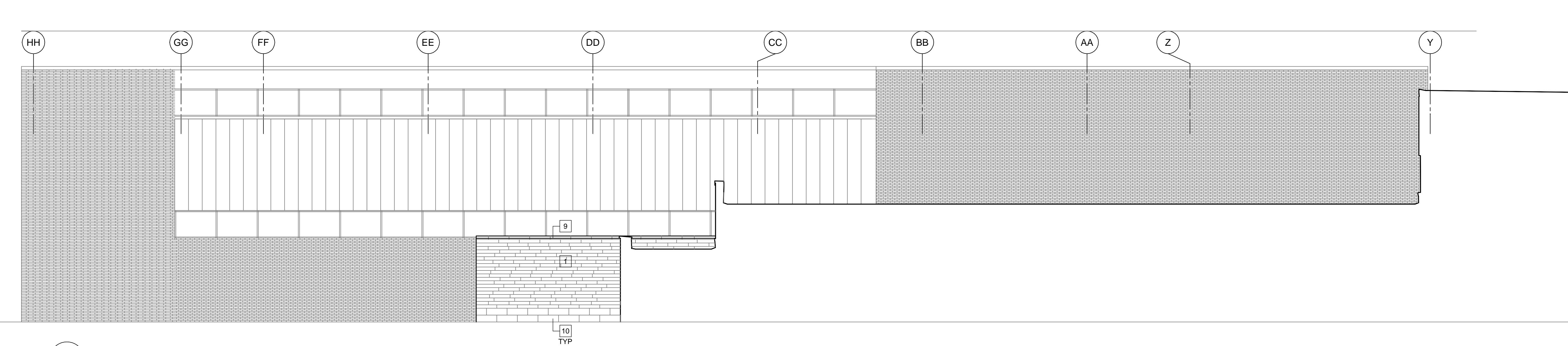
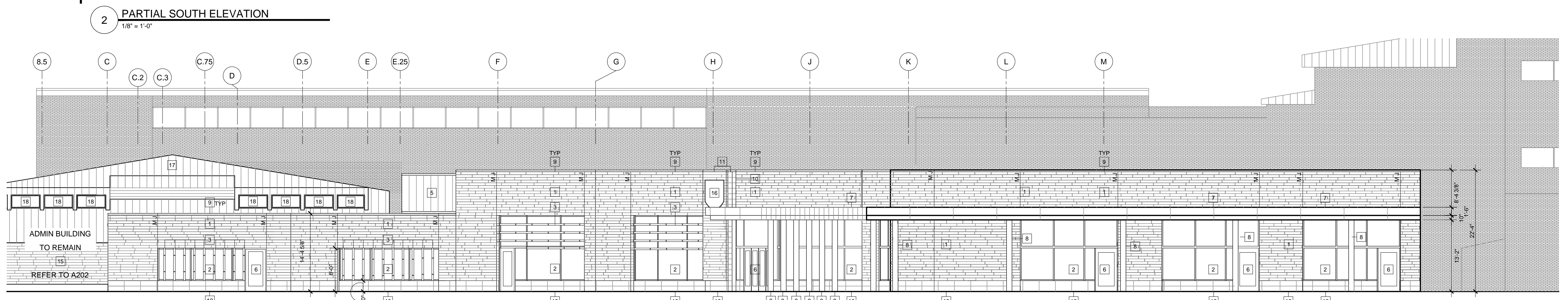
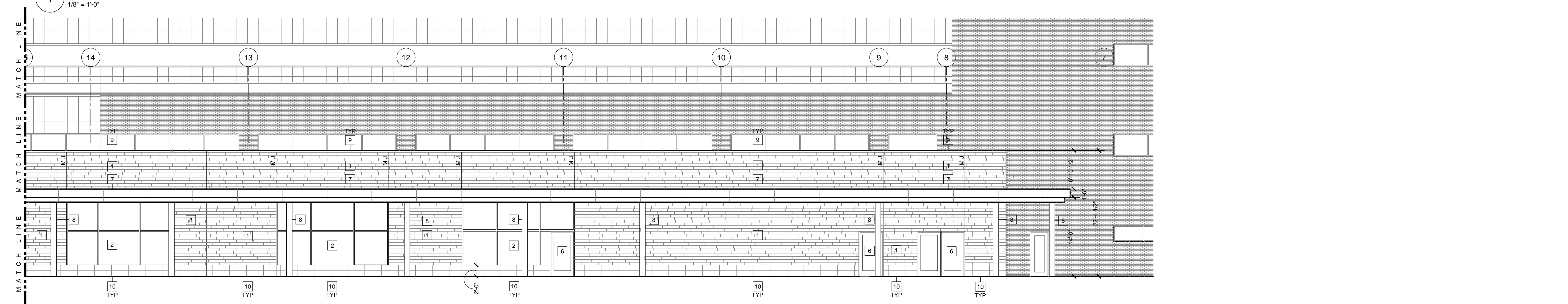
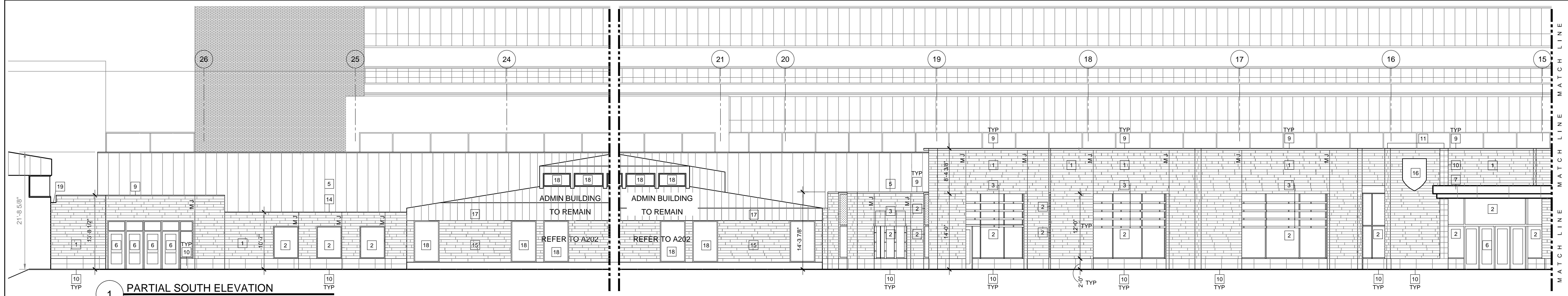
 MADISON REGIONAL OFFICE  
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ARCHITECTS  
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## KEYNOTES

- 1 BRICK
- 2 CURTAIN WALL SYSTEM
- 3 SHADING DEVICE
- 4 CONTROL JOINT
- 5 METAL PANEL FAÇADE SYSTEM
- 6 EXTERIOR DOOR AS SCHEDULED
- 7 COMPOSITE METAL PANEL CANOPY SYSTEM
- 8 CONCRETE COLUMN
- 9 ARCHITECTURAL PRECAST CONCRETE COPING SYSTEM
- 10 3 1/2" APC. STACK BOND
- 11 STONE COPING
- 12 EPOM ROOF SYSTEM
- 13 INSULATED METAL PANEL-GLAZE INTO CURTAIN WALL SYSTEM
- 14 METAL ROOF EDGE TO MATCH CURTAIN WALL / CANOPY SYSTEM
- 15 EXISTING BRICK TO REMAIN
- 16 SIGNAGE, COORDINATE WITH OWNER
- 17 METAL ROOF SYSTEM ON EXISTING STEEL FRAME
- 18 EXISTING WINDOWS TO REMAIN
- 19 OVERFLOW SCUPPER

## SCALE

1/8" = 1'-0"

## SHEET TITLE

BUILDING ELEVATIONS

## SHEET NUMBER

A201

MADISON COLLEGE  
TRUAX BUILDING  
CULINARY ADDITION AND  
RENOVATIONS

Madison, Wisconsin

Issued for: UDC

Issue date: 04-28-2015

AA Project No.: 2014-04

MC Project No.: B15-001

Bid Pkg No.:

REVISION DATE



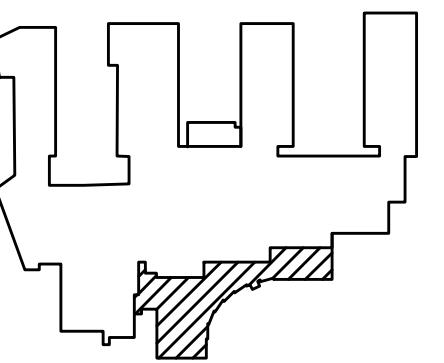
SOUTH ELEVATION



ADMINISTRATION BUILDING AND SOUTH ELEVATION



EAST ELEVATION AND ENTRY



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7427 Elmwood Avenue  
Middleton, WI 53562  
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SCALE

NOT TO SCALE

SHEET TITLE

BUILDING EXTERIOR

SHEET NUMBER

A200

MADISON COLLEGE  
 TRUAX BUILDING  
 CULINARY ADDITION AND  
 RENOVATION

Madison, Wisconsin

Issued for: UDC INITIAL/FINAL

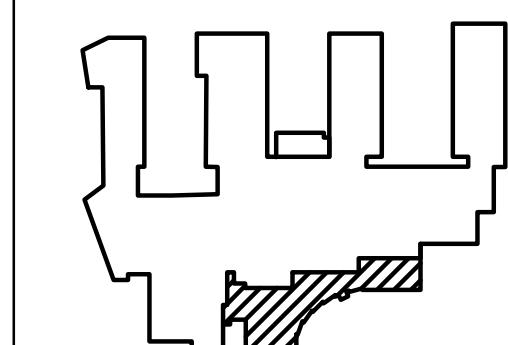
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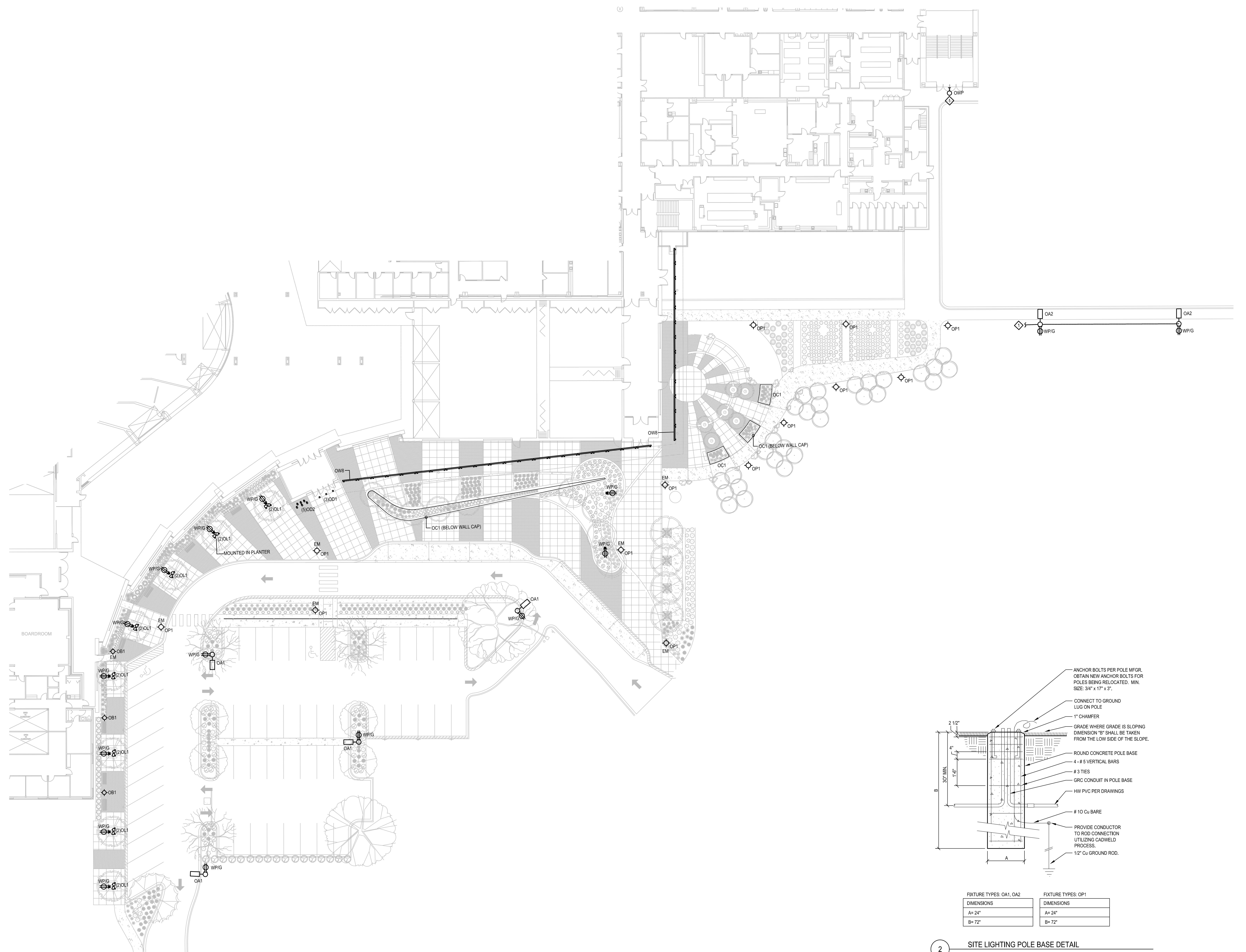
AA Project No.: 2014-04

MC Project No.: B15-001

Bid Pkg No.:

REVISION DATE


**assemblage**  
**ARCHITECTS**  
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**Henneman**  
**Engineering Inc.**  
 Madison  
 123 Fauber Drive, Suite 101  
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 608.833.7000 F 608.833.6996  
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SHEET NUMBER

E001

Issued for: UDC INITIAL/FINAL

Issue date: 03-05-2015

AA Project No.: 2014-04  
MC Project No.: B15\_001

Bid Pkg No.:

REVISION	DATE
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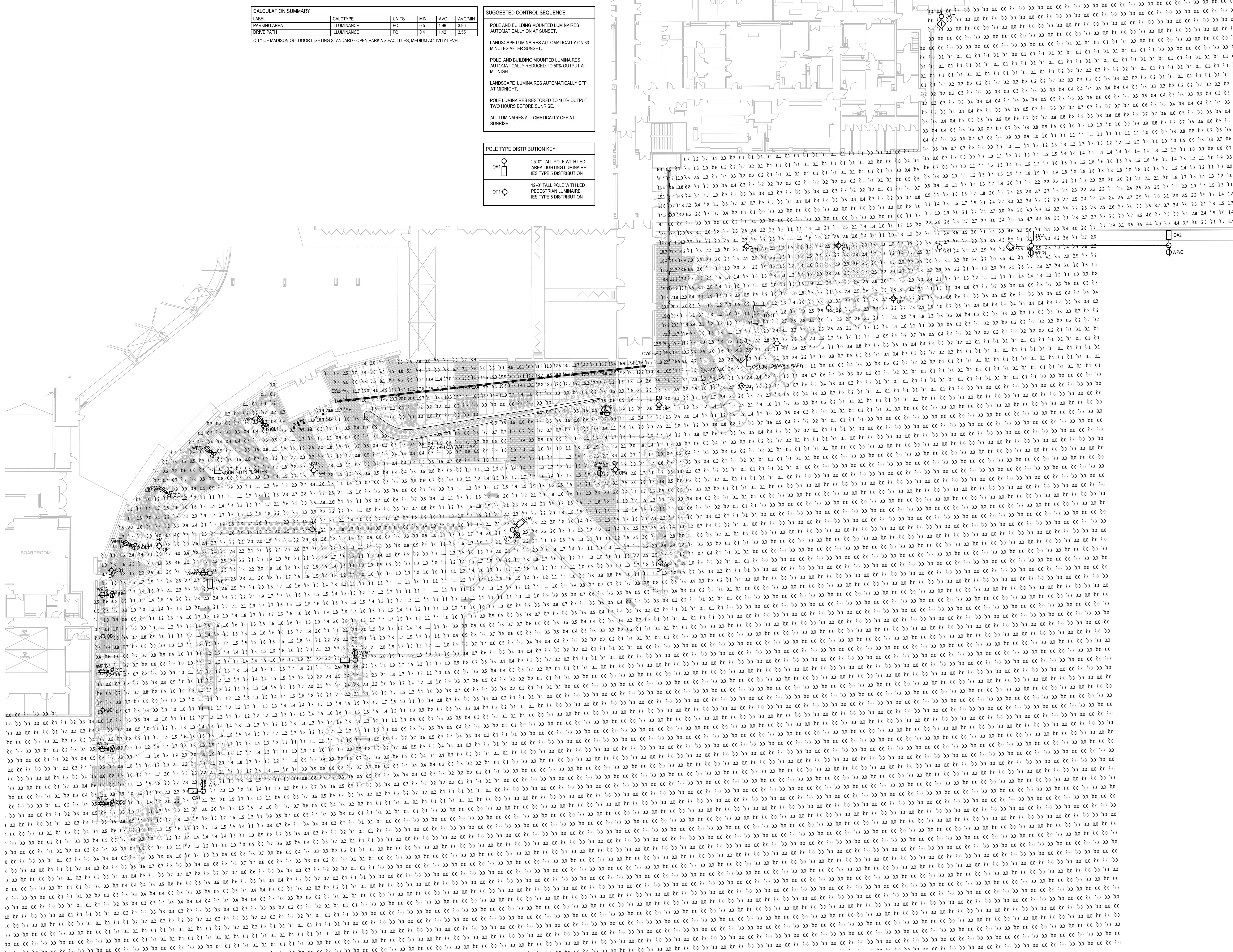
## SCALE

SEE DRAWING

### CHARTS AND FIGURES

# ELECTRICAL SITE PLAN ILLUMINANCE STUDY

E002



**Plexineon White 2X Series**

**PRODUCT SUMMARY**



**PRODUCT FEATURES**

- Rigid Kelvin temperature
- Energy efficient
- Cool to the touch
- Low voltage
- Cool to the touch
- Ideal for interior accent lighting, street view or interior view applications such as home

**Color Temperatures (K, °C)**

- 3000K
- 3200K
- 3500K
- 6500K

**Driver Color (when illuminated)**

- Light white (6500K)

**Lengths Available**

- Standard lengths 2', 4', 6', 8', 10' (min. 10' for 3000K, 3200K, 6500K)
- Factory cut lengths available to the nearest 1/8"
- Custom lengths available to the nearest 1/8"
- Standard outside corner piece
- Standard inside corner piece
- Standard end cap piece
- Corner end cap piece
- Corner end cap piece
- Corner end cap piece
- Drawing application
- 2. Hatching showing end of fixture

**DRIVERS & LUMINAIRES**

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868
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## SITE LOCATOR MAP



assemblageARCHITECTS  
7427 Elmwood Avenue, Middleton, Wisconsin 608 827 5047



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EXISTING ADMINISTRATION BUILDING ENTRY



EXISTING ADMINISTRATION BUILDING ENTRY

## EXISTING CONTEXT



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HOME WORK CV

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MADISON COLLEGE - TRUAX BUILDING  
CULINARY ADDITION AND RENOVATIONS



Gateway Building



Health Services Building



Protective Services Building

MADISON COLLEGE - TRUAX BUILDING  
CULINARY ADDITION AND RENOVATIONS



Foundation Building



Student Housing

**SITE CONTEXT - ADJACENT BUILDINGS**

3-5-2015

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MADISON COLLEGE - TRUAX BUILDING  
CULINARY ADDITION AND RENOVATIONS



SITE CONTEXT - EXISTING SOUTH ENTRY

3-5-2015

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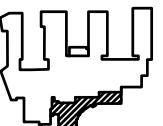
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MADISON COLLEGE  
TRUAX BUILDING  
CULINARY ADDITION AND  
RENOVATIONS

Madison, Wisconsin

Issued for:	UDC INITIAL / FINAL
Issue date:	03-05-2015
AA Project No.:	2014-04
AC Project No.:	B15-001
id Pkg No.:	



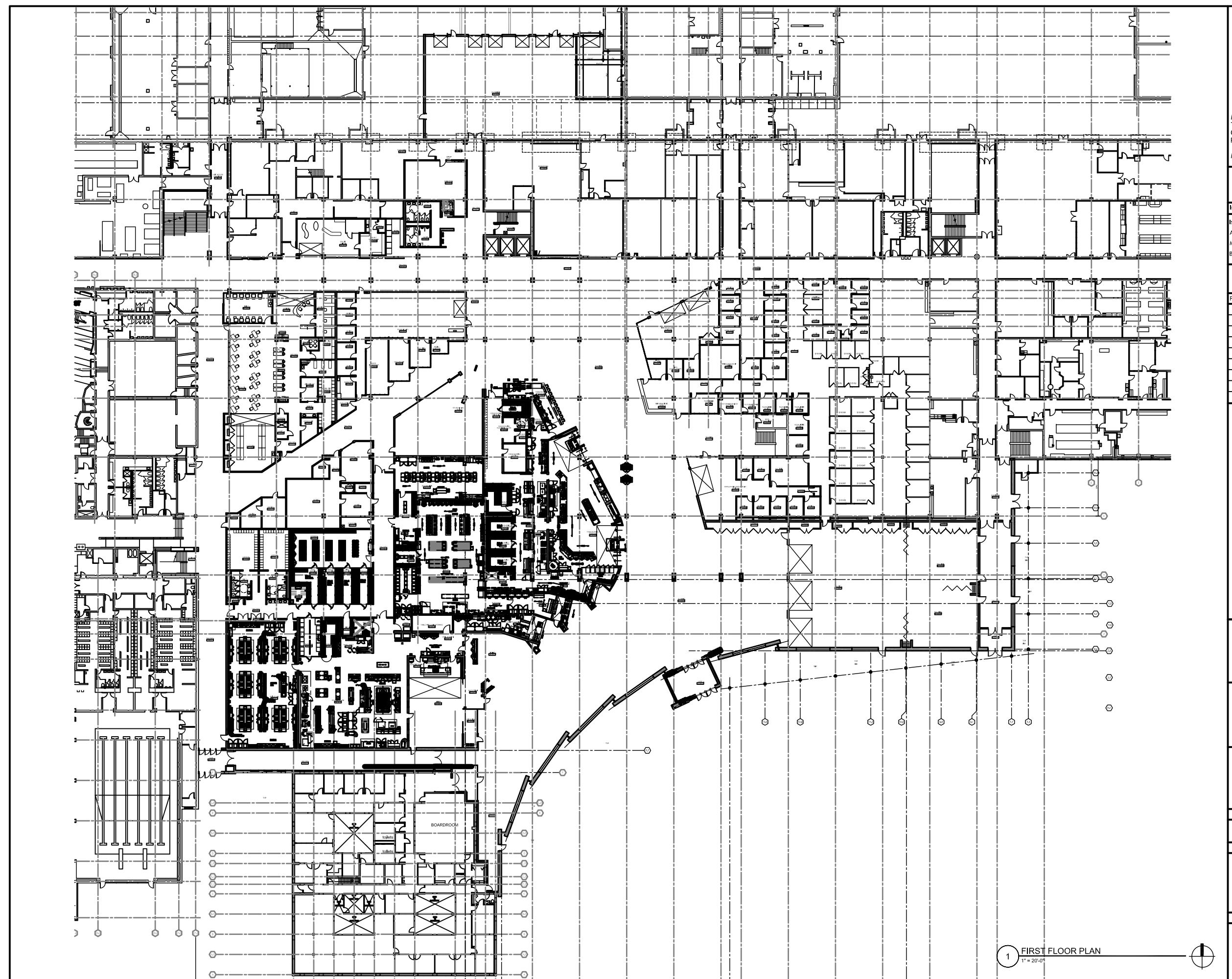
**assemblage  
ARCHITECTS**  
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Middleton, WI 53562  
T 608.827.5047

SCALE  
1" = 20'-0"  
SHEET TITLE  
OVERALL FIRST FLOOR PLAN

1. The first step is to identify the specific needs of the organization and the individuals involved in the change process.

SHEET NUMBER

A100





MADISON  
AREA TECHNICAL  
COLLEGE

MADISON COLLEGE  
TRUX BUILDING  
CULINARY ADDITION AND  
RENOVATIONS  
Madison, Wisconsin

Issued for: COORDINATION  
Issue date: 03-13-2015  
AA Project No.: 2014-04  
MC Project No.: B15-001  
Bid Pkg No.:

REVISION DATE

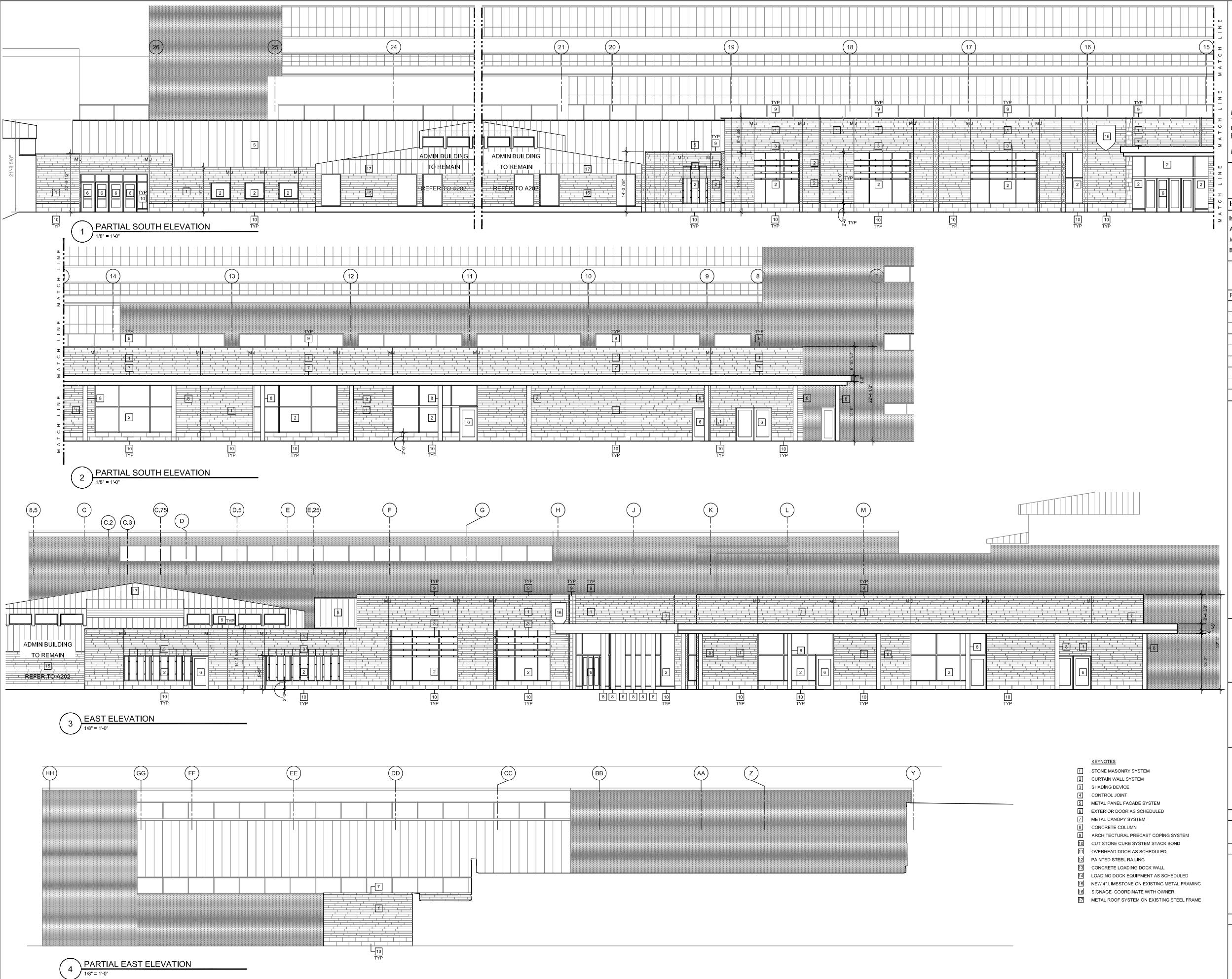
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ARCHITECTS  
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Middleton, WI 53562  
T 608.827.5047

KEYNOTES  
1 STONE MASONRY SYSTEM  
2 CURTAIN WALL SYSTEM  
3 SHADING DEVICE  
4 CONTROL JOINT  
5 EXTERIOR PANEL FAÇADE SYSTEM  
6 EXTERIOR DOOR AS SCHEDULED  
7 METAL CANOPY SYSTEM  
8 CONCRETE COLUMN  
9 ARCHITECTURAL PRECAST COPING SYSTEM  
10 CUT STONE CURB SYSTEM STACK BOND  
11 OVERHEAD DOOR AS SCHEDULED  
12 PAINTED STEEL RAILING  
13 CONCRETE LOADING DOCK WALL  
14 LOADING DOCK EQUIPMENT AS SCHEDULED  
15 NEW 4' LIMESTONE ON EXISTING METAL FRAMING  
16 SIGNAGE, COORDINATE WITH OWNER  
17 METAL ROOF SYSTEM ON EXISTING STEEL FRAME

SCALE  
1/8" = 1'-0"  
SHEET TITLE  
BUILDING ELEVATIONS

SHEET NUMBER

A201



MADISON COLLEGE - TRUAX BUILDING  
CULINARY ADDITION AND RENOVATIONS



BUILDING RENDERINGS

04-28-2015

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MADISON COLLEGE - TRUAX BUILDING  
CULINARY ADDITION AND RENOVATIONS



BUILDING RENDERINGS

04-28-2015

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MADISON COLLEGE - TRUAX BUILDING  
CULINARY ADDITION AND RENOVATIONS



BUILDING RENDERINGS

04-28-2015

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• Engineers • Surveyors • Planners



MADISON COLLEGE  
TRUAX BUILDING  
CULINARY ADDITION AND  
RENOVATIONS

Madison, Wisconsin

Issued for:

Issue date: 04-29-2014  
AA Project No.: 2014-000000  
MC Project No.: B15-000000  
Dil. Disp. No.

REVISION DATE

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114 of 114

111

100

assemblage  
ARCHITECTS  
7407 Elmwood Avenue

Middleton, WI 53562  
T 608.827.5047

**MADISON REGIONAL OFFICE**  
161 HORIZON DRIVE, SUITE 101

## ANSWER

11. *What is the best way to increase the number of people who use a particular service?*

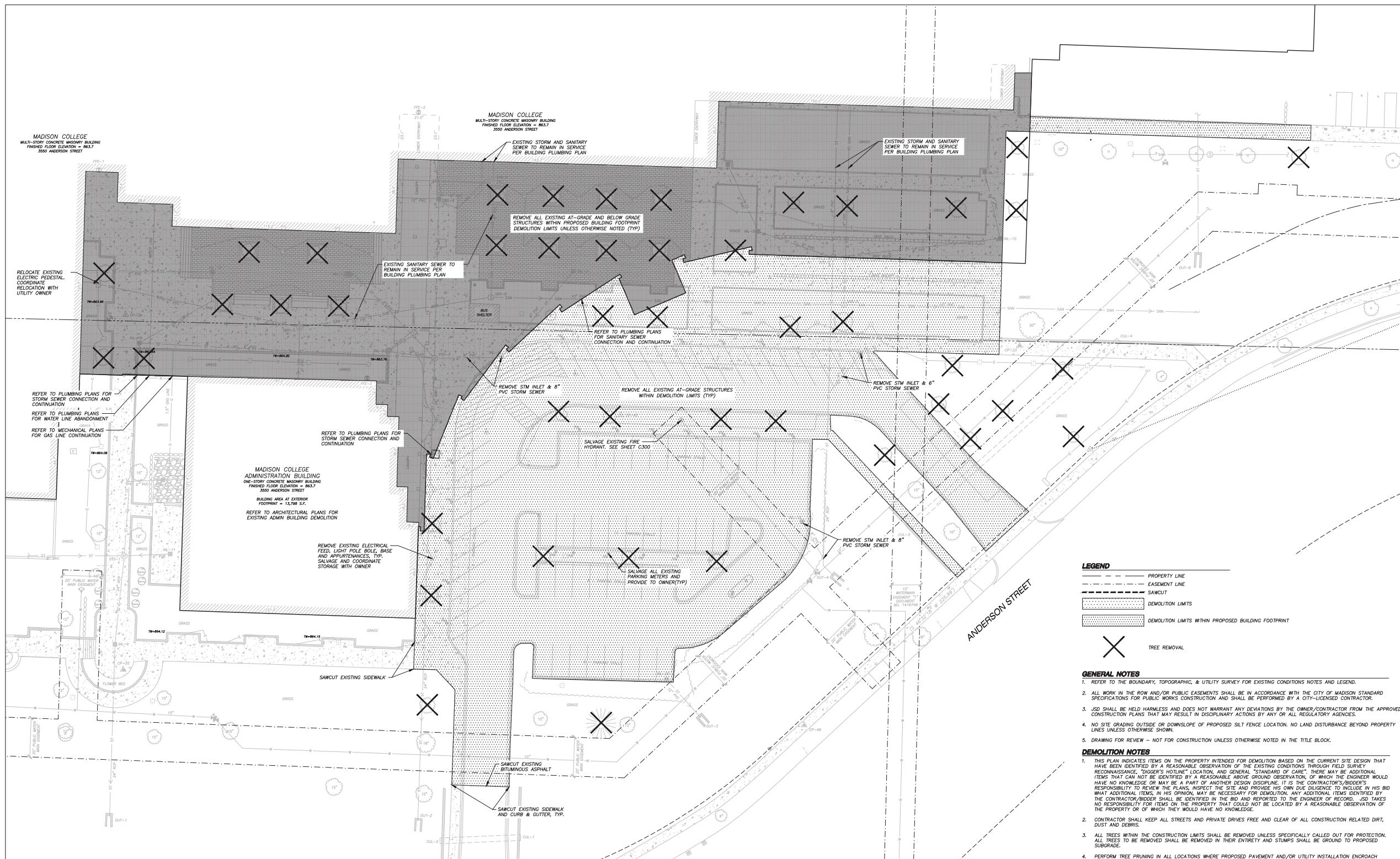
Page 1 of 1

THE INFLUENCE OF THE CULTURE OF THE PARENTS ON THE CHILD'S LANGUAGE 11

## DEMOLITION PLAN

11. *What is the primary purpose of the following statement?*

C100







MADISON COLLEGE  
TRUAX BUILDING  
CULINARY ADDITION AND  
RENOVATIONS

Issued for:	UD
Issue date:	04-29-2014
AA Project No.:	2014-0
MC Project No.:	B15-0
Bid Pkg No.:	

*REVISION* *DATE*

**assemblage  
ARCHITECTS**  
7427 Elmwood Avenue  
Middleton, WI 53562

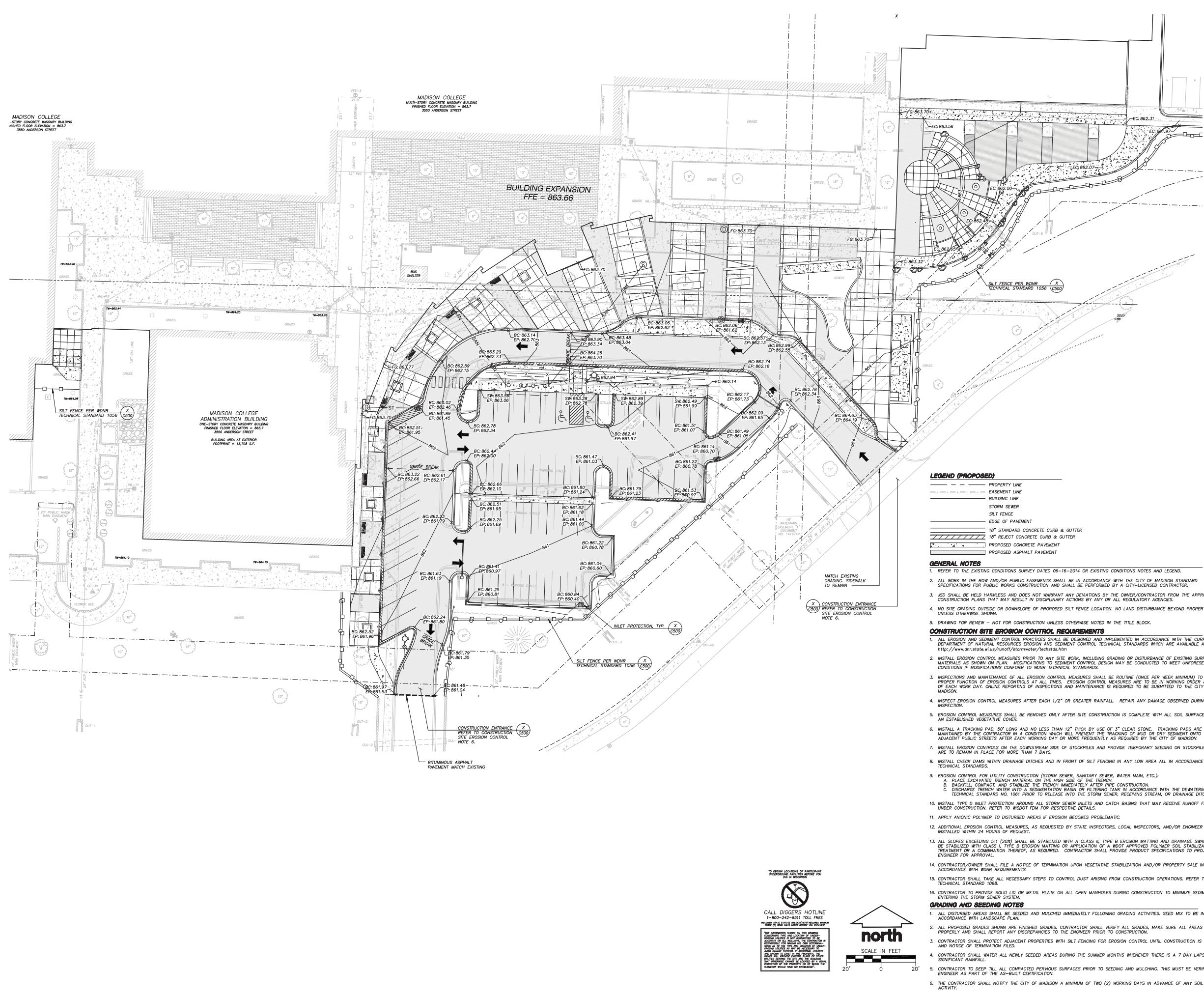
The logo for JSD Professional Services, Inc. It features the letters "JSD" in a large, bold, italicized serif font. To the right of "JSD", the words "Professional Services, Inc." are written in a smaller, italicized serif font. Below the main text, there is a horizontal line. Underneath the line, the words "• Engineers • Surveyors • Planners" are written in a smaller, regular serif font.

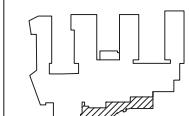
SCA1/E

**SHEET TITLE**

1.         2.         3.         4.         5.

C300




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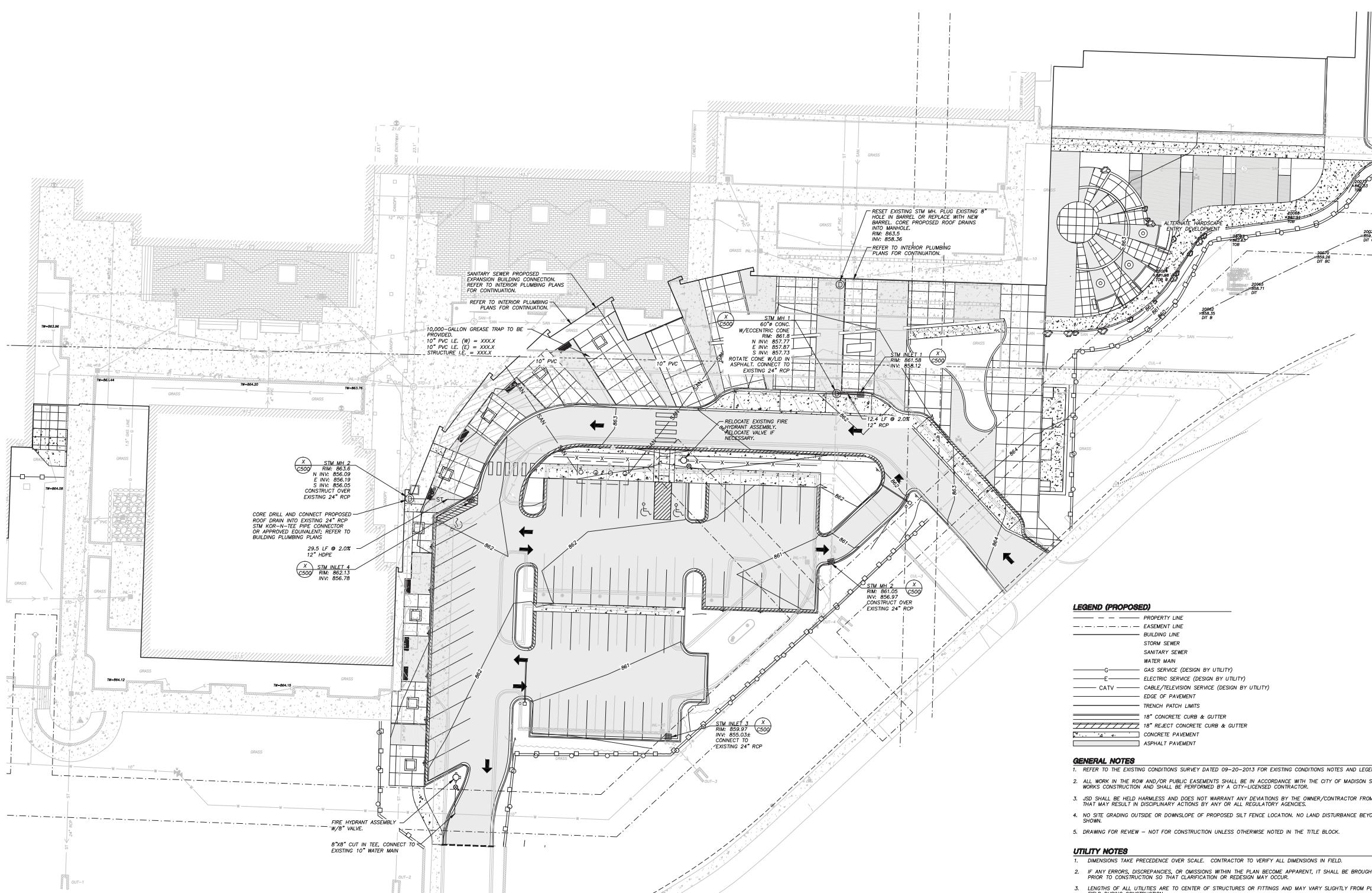
SCALE

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C400


**LEGEND (PROPOSED)**

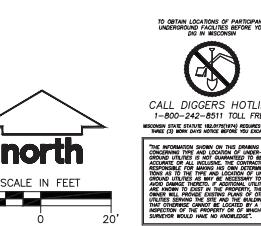
PROPERTY LINE
EASEMENT LINE
BUILDING LINE
STORM SEWER
SANITARY SEWER
WATER MAIN
GAS SERVICE (DESIGN BY UTILITY)
ELECTRIC SERVICE (DESIGN BY UTILITY)
CABLE/TELEVISION SERVICE (DESIGN BY UTILITY)
EDGE OF PAVEMENT
TRENCH PATCH LIMITS
18" CONCRETE CURB & GUTTER
18" REJECT CONCRETE CURB & GUTTER
CONCRETE PAVEMENT
ASPHALT PAVEMENT

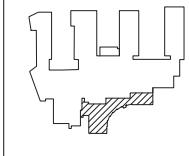
**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY DATED 09-20-2013 FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

**UTILITY NOTES**

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
5. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
6. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WDCOM, AND WNDOT.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK.
  - NOTIFYING THE ENGINEER OF ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED IMPROVEMENTS AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
12. CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
13. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SAB 384.30, TABLE 384.30.
14. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION. CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PART VII. CONTACT CITY OF MADISON DEPARTMENT OF PUBLIC WORKS 48 HOURS PRIOR TO CONSTRUCTION.
15. ALL WATER MAIN AND ASSOCIATE FITTINGS SHALL MEET THE REQUIREMENTS OUTLINED WITHIN ARTICLE 702 WITHIN THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
16. ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SAB 384.30, TABLE 384.30.
17. GREASE INTERCEPTOR SHOWN FOR RESTAURANT A AND RESTAURANT B SHALL BE 10,000 GALLON GREASE INTERCEPTOR BY CREST PRECAST, INC., MODEL 3500-G-2.
18. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WWRN STORM WATER MANAGEMENT TECHNICAL STANDARD 1051.
19. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. PRE-CONSTRUCTION MEETING WITH THE CITY OF MADISON IS REQUIRED PRIOR TO INSTALLATION.




 assemblage  
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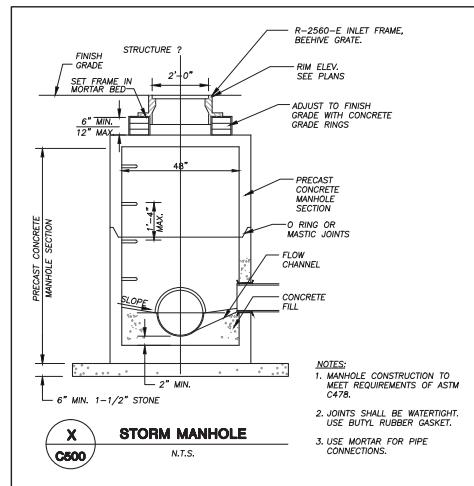
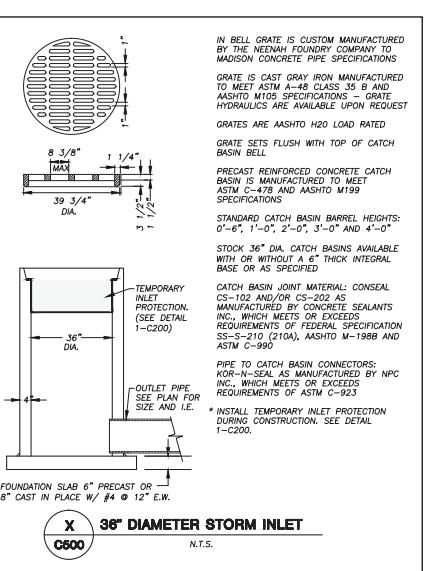
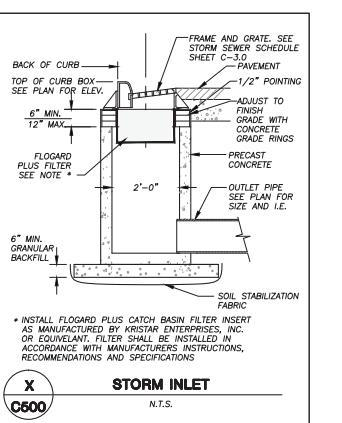
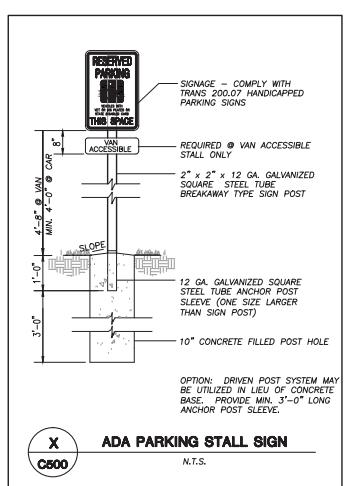
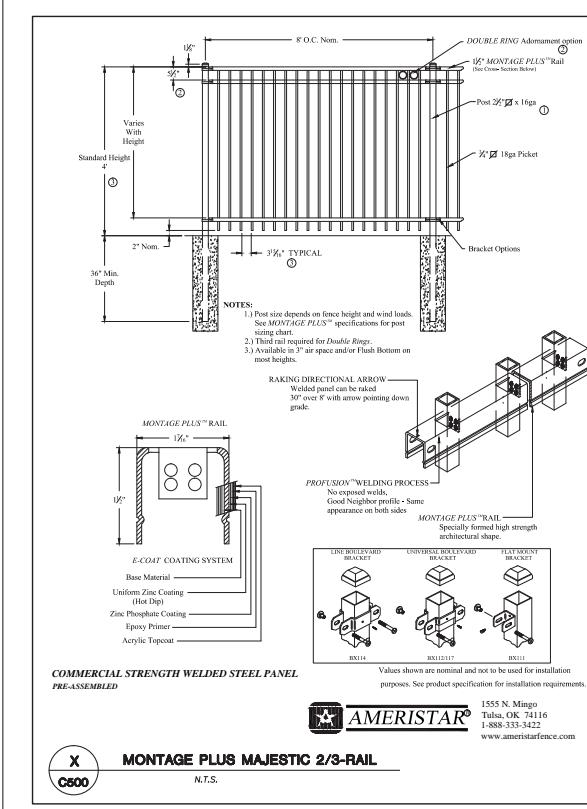
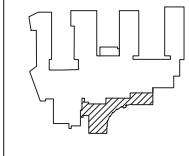
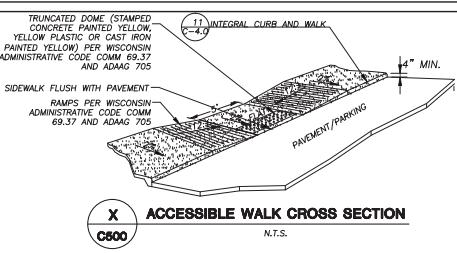
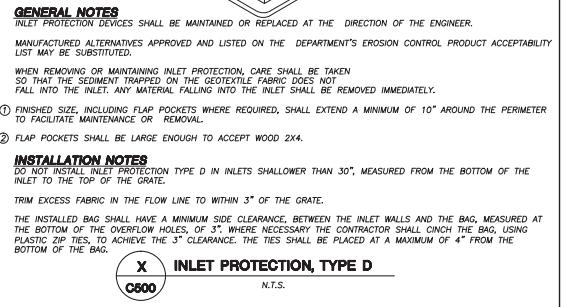
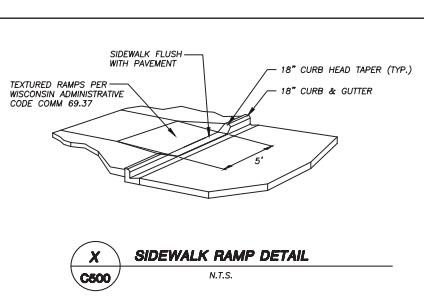
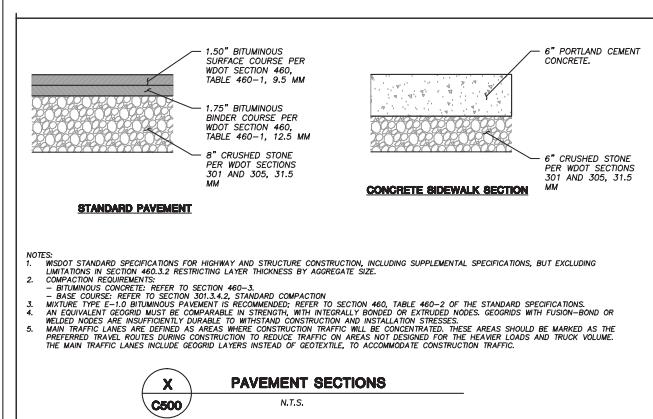
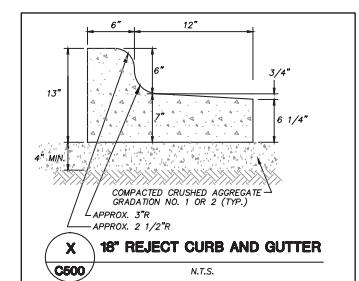
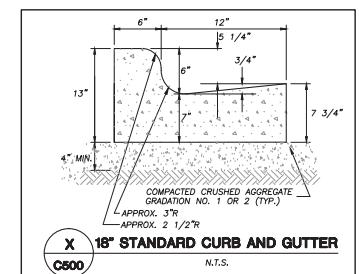
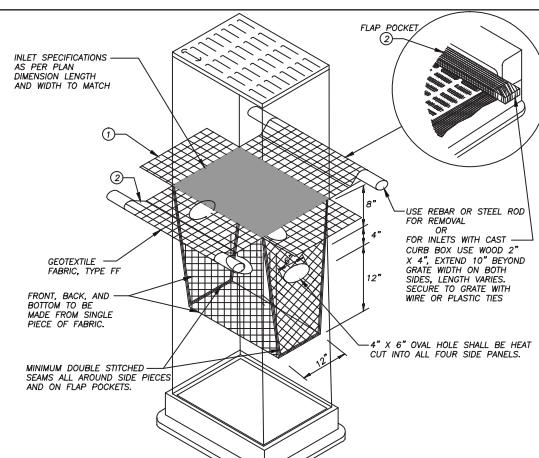
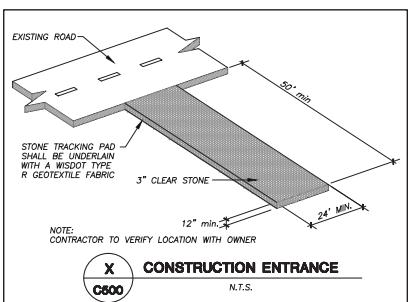
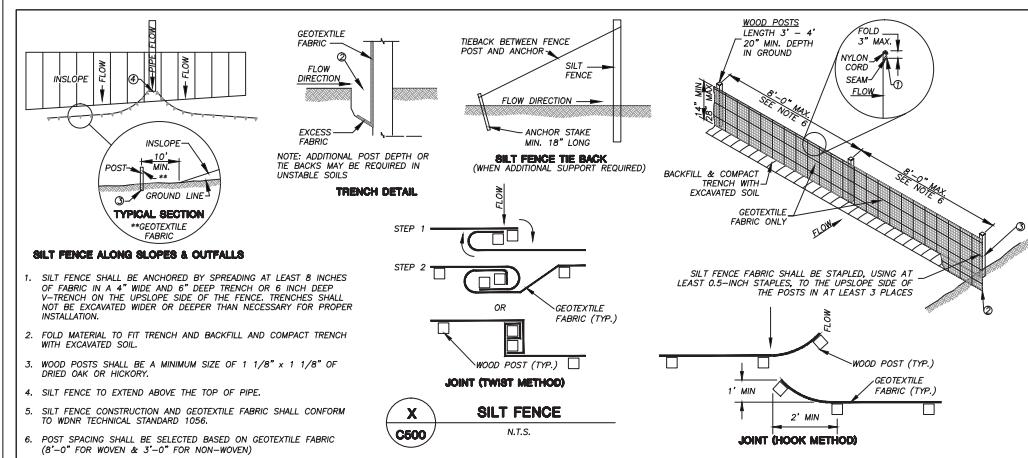
SCALE

SHEET TITLE

DETAILS

SHEET NUMBER

C500





**CITY OF MADISON**  
**LANDSCAPE WORKSHEET**  
 Section 28.142 Madison General Ordinance

 Project Location / Address: 1701 WRIGHT STREET, MADISON, WI 53704  
 Name of Project: MADISON COLLEGE TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS  
 Owner / Contact: MADISON COLLEGE  
 Contact Phone: (608) 848-5060  
 Contact Email: JUSTIN.FRAHM@JSDINC.COM

 \*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size  
 MUST be prepared by a registered landscape architect.\*\*

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten (10) year period.

(b) Gross floor area is only increased by ten percent (10%) during any ten (10) year period.

(c) No demolition of a principal building is involved.

(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

## Landscape Calculations and Distribution

Determined that areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a zoning computation boundary which is made up of residential, parking, driveways, and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space use such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three thousand (3000) square feet of developed area.

 Total square footage of developed area: **50,043**

 Total landscape points required: **834**

(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area: \_\_\_\_\_

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area: \_\_\_\_\_

Total landscape points required: \_\_\_\_\_

(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area: \_\_\_\_\_

Total landscape points required: \_\_\_\_\_

10/2013

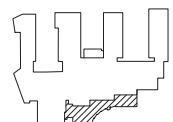
## Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type / Element	Minimum Size at Installation	Credits/ Existing Landscaping		New/ Proposed Landscaping	
		Points	Quantity	Points Achieved	Quantity
Evergreen deciduous tree (i.e. pine, spruce)	2½ inch caliper measured diameter at breast height (DBH)	35	17	595	
Tall evergreen tree (i.e. pine, spruce)	4-6 feet tall	36			
Ornamental tree	1 ½ inch caliper	15	17	255	
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10	7	70	
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	55	165	
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4	36	144	
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2	694	1388	
Ornamental/ decorative fencing or wall	n/a	4 per 10 linear ft.			
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. Tree size: within developed area and cannot conceal more than 30% of total required points.	14 per caliper inch dbh.	7	7 TREE AT 113" TOTAL DBH 250 (30% OF TOTAL REQUIRED)	
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot obscure more than 5% of total required points.	5 points per "seat"			
<b>Sub Totals</b>			250	2617	

 Total Number of Points Provided: **2867**

\* as determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.


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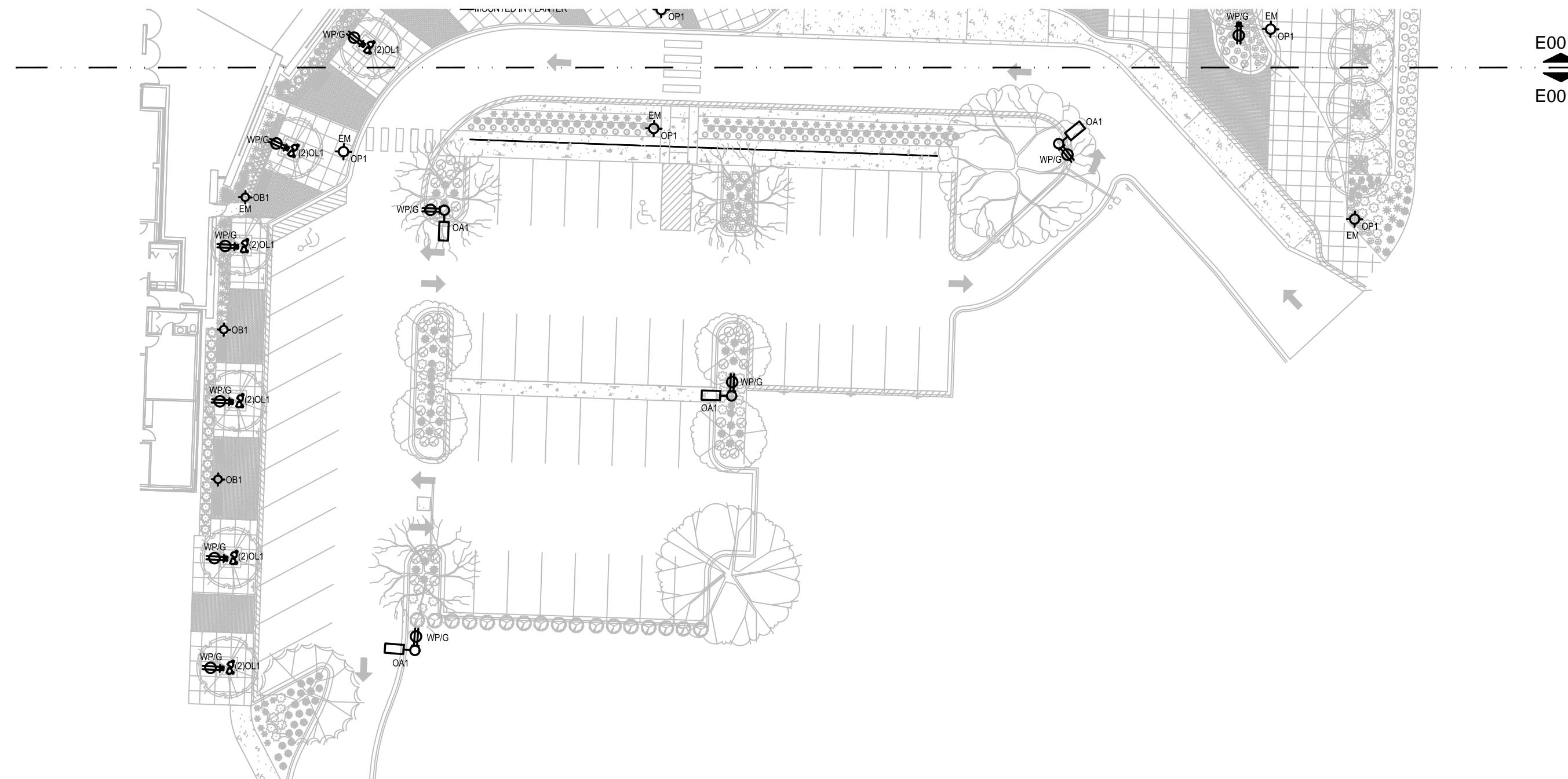
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SCALE

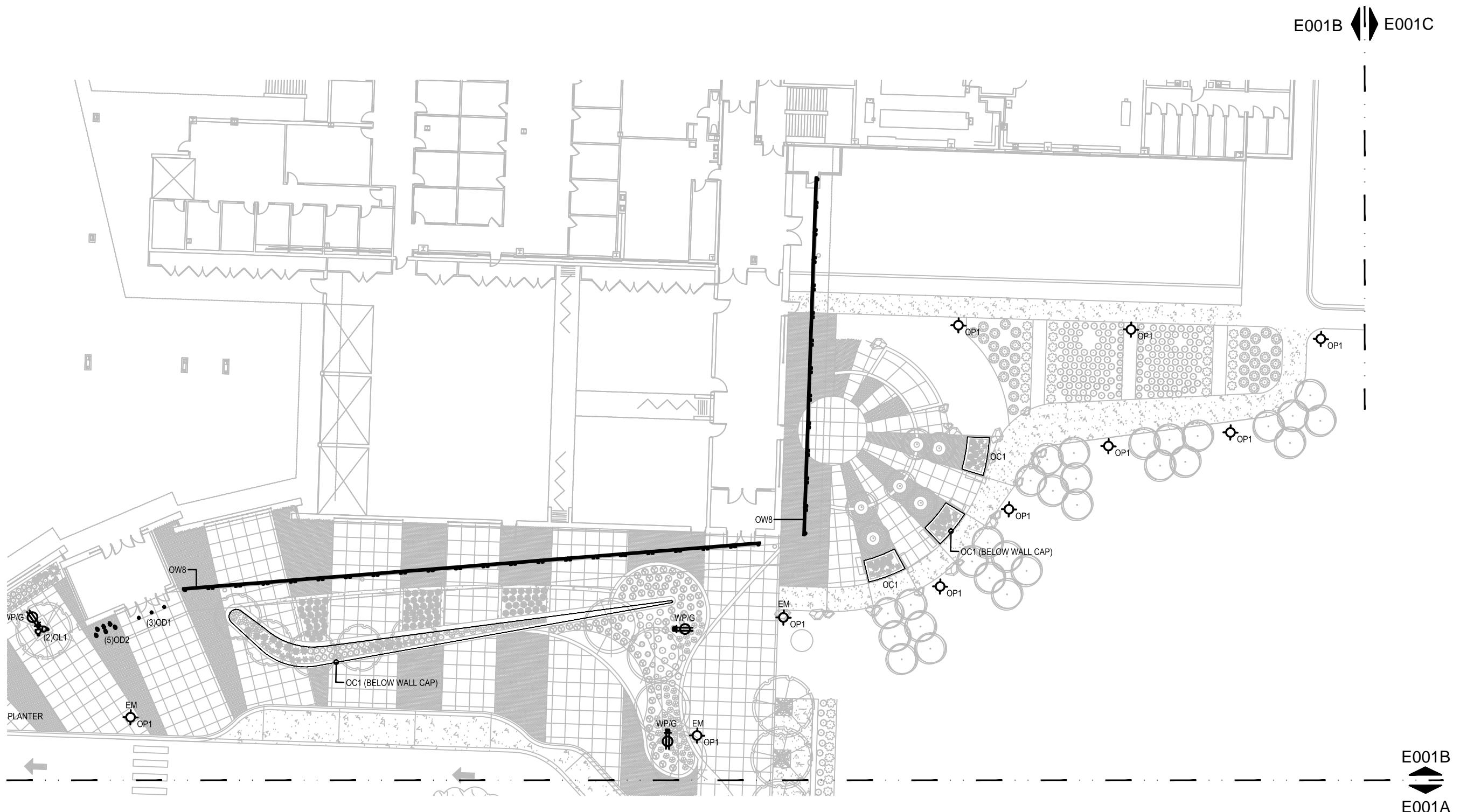
 SHEET TITLE  
 LANDSCAPE DETAILS,  
 NOTES AND  
 SPECIFICATIONS

 SHEET NUMBER  
 L200

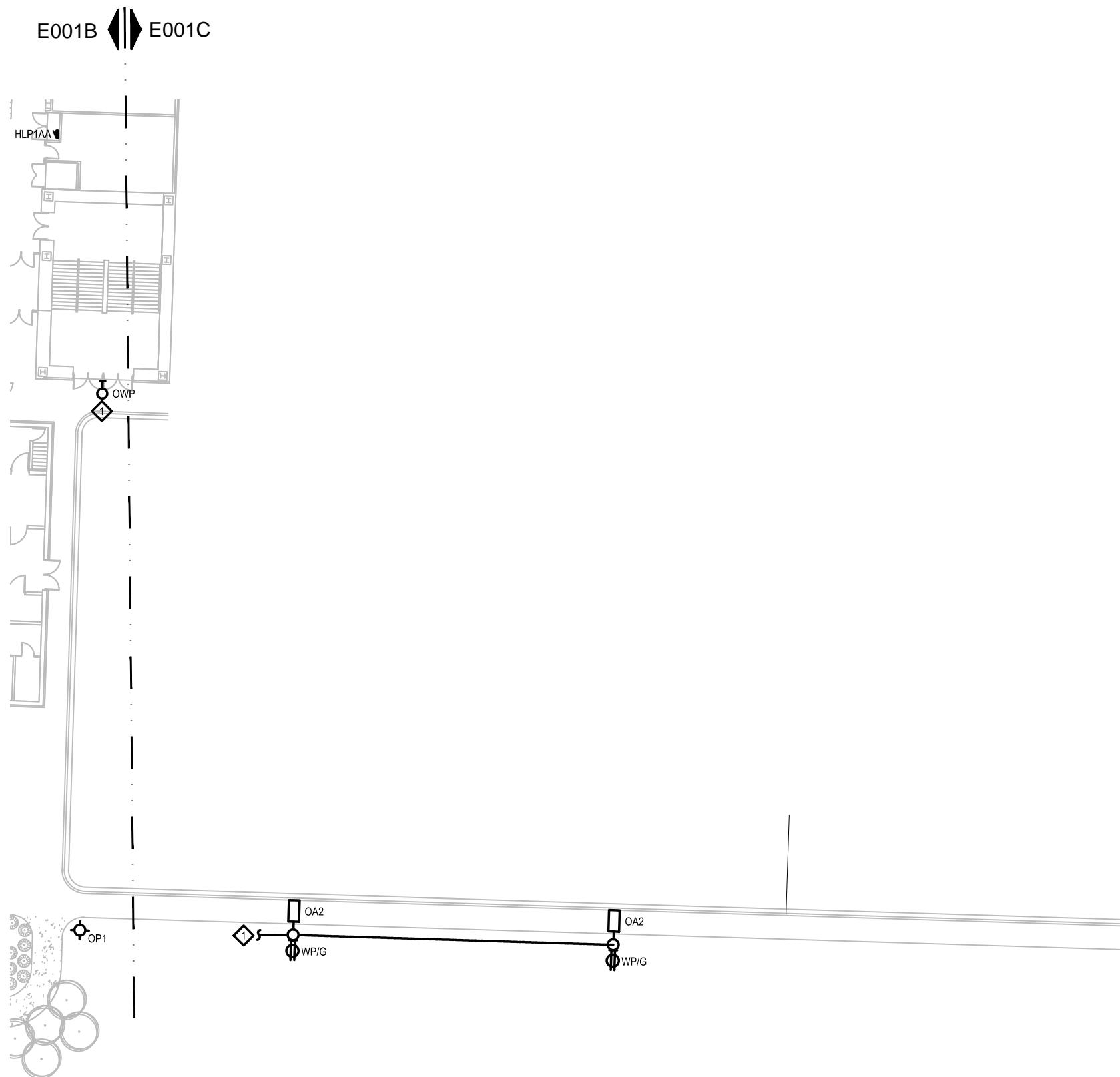
MADISON COLLEGE - TRUAX BUILDING  
CULINARY ADDITION AND RENOVATIONS



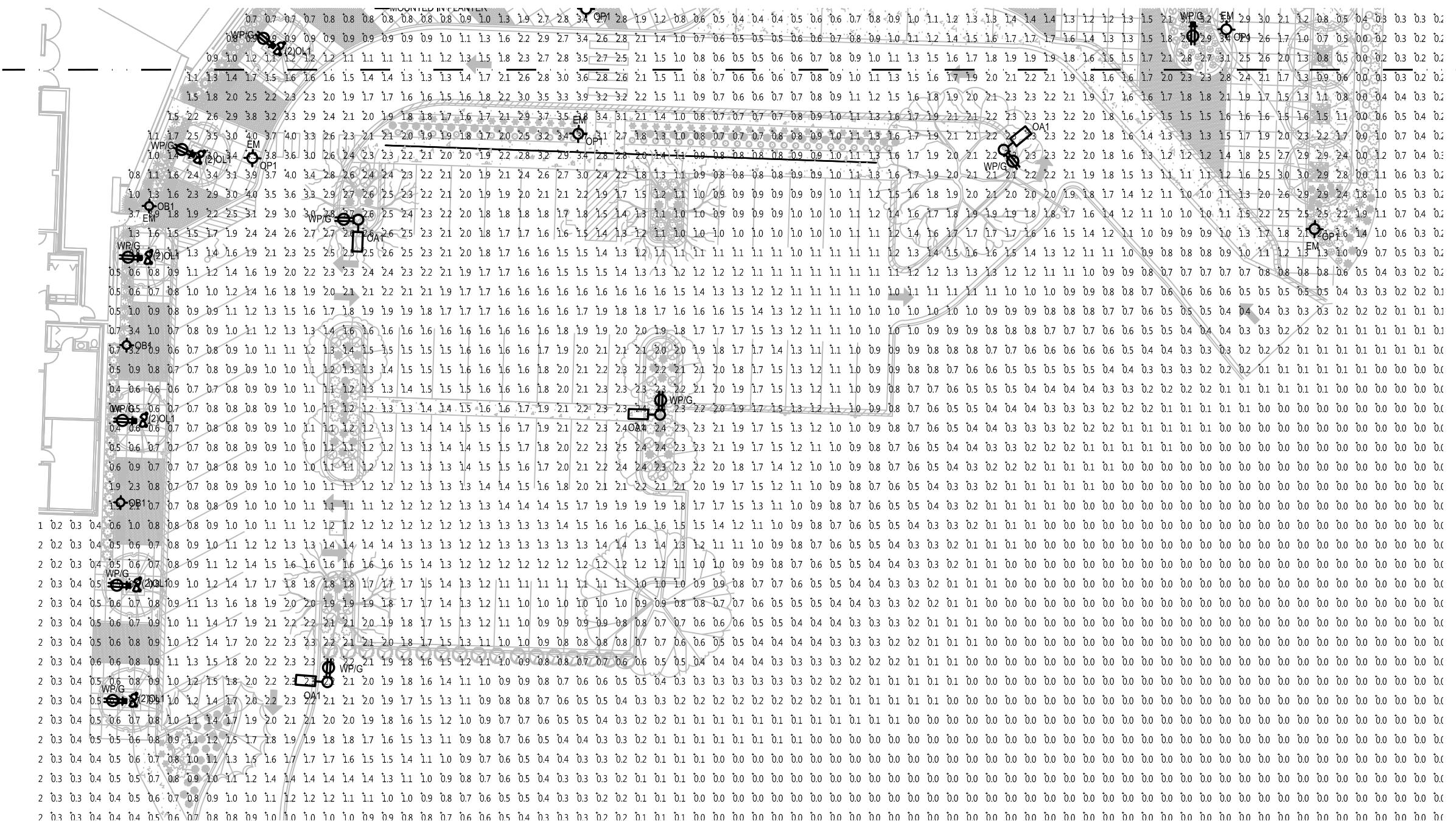
MADISON COLLEGE - TRUAX BUILDING  
CULINARY ADDITION AND RENOVATIONS



MADISON COLLEGE - TRUAX BUILDING  
CULINARY ADDITION AND RENOVATIONS



# MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS



#### SUGGESTED CONTROL SEQUENCE:

## POLE AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY ON AT SUNSET.

LANDSCAPE LUMINAIRES AUTOMATICALLY ON 30 MINUTES AFTER SUNSET.

POLE AND BUILDING MOUNTED LUMINAIRES  
AUTOMATICALLY REDUCED TO 50% OUTPUT AT  
MIDNIGHT.

LANDSCAPE LUMINAIRES AUTOMATICALLY OFF  
AT MIDNIGHT.

POLE LUMINAIRES RESTORED TO 100% OUTPUT  
TWO HOURS BEFORE SUNRISE.

## POLE TYPE DISTRIBUTION KEY:



25'-0" TALL POLE WITH LED  
AREA LIGHTING LUMINAIRE;  
IES TYPE 5 DISTRIBUTION



12'-0" TALL POLE WITH LED  
PEDESTRIAN LUMINAIRE;  
IES TYPE 5 DISTRIBUTION

## CALCULATION SUMMARY

Label	CalcType	Units	Min	Avg	Avg/Min
Parking Area	Illuminance	FC	0.5	1.98	3.96
Drive Path	Illuminance	FC	0.4	1.42	3.55

## CITY OF MADISON OUTDOOR LIGHTING STANDARD - OPEN PARKING FACILITIES, MEDIUM ACTIVITY LEVEL

# E002A

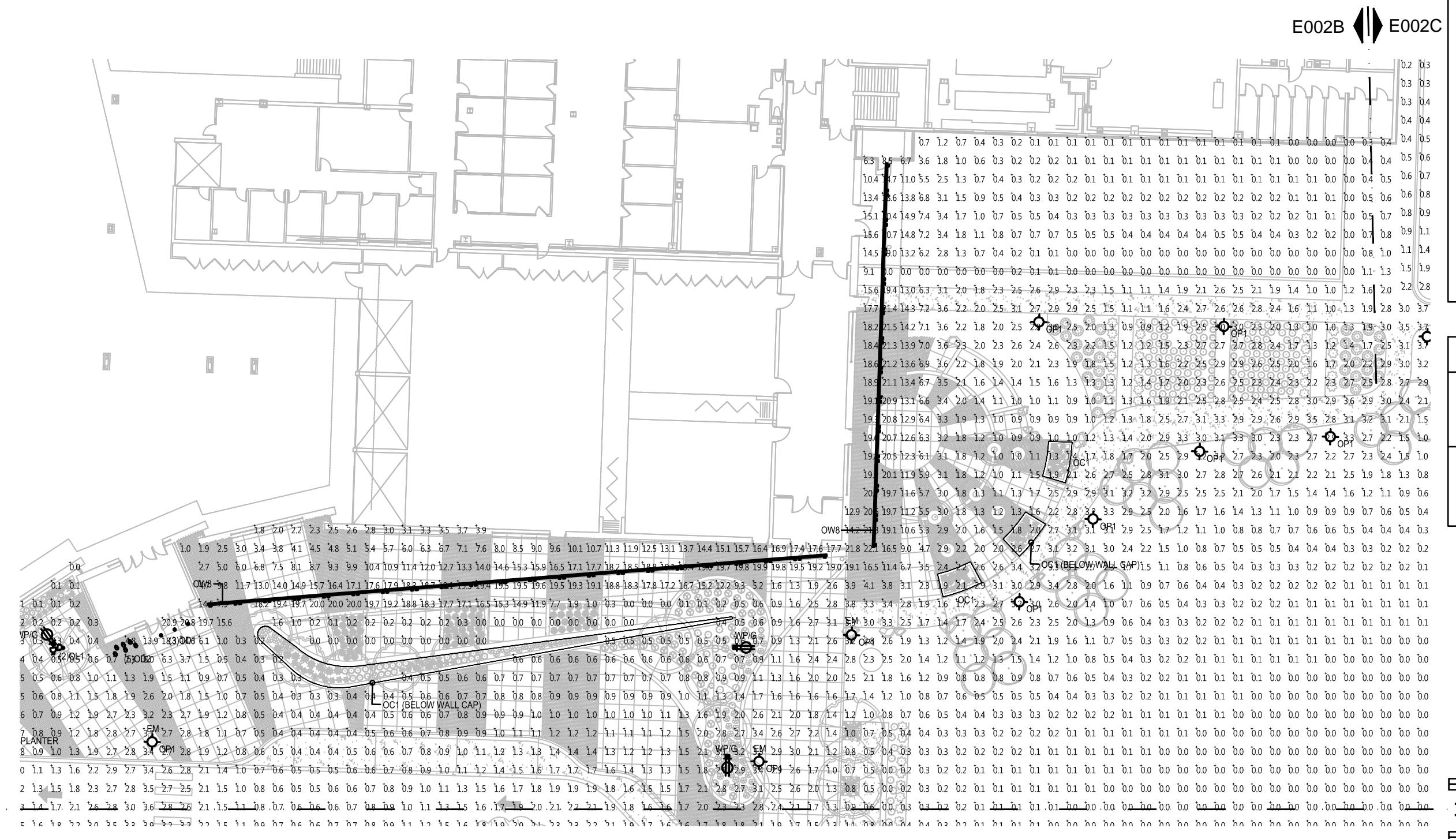
## SITE LIGHTING PLAN - ILLUMINANCE STUDY

# assemblage ARCHITECTS



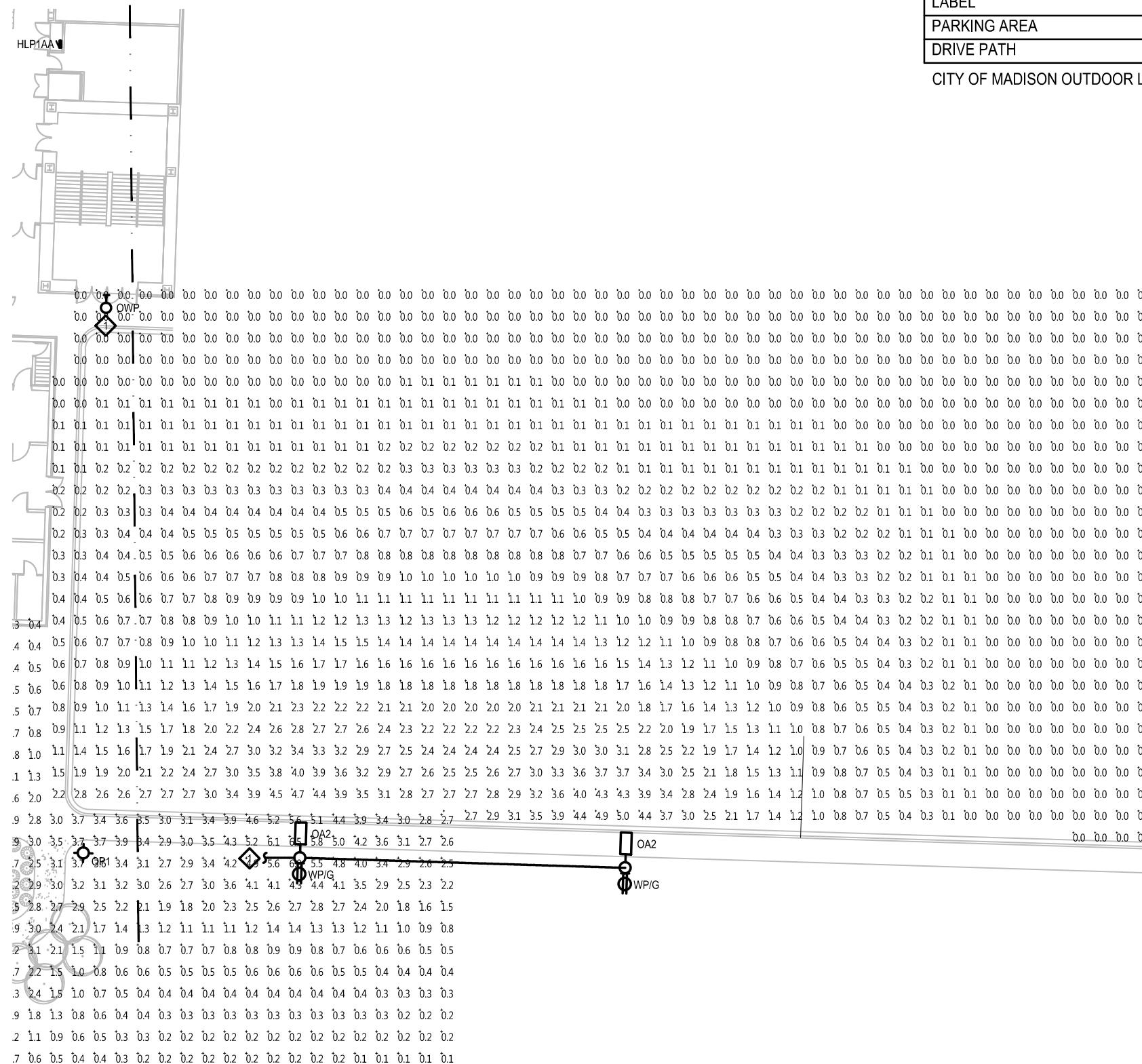
03-05-2015

MADISON COLLEGE - TRUAX BUILDING  
CULINARY ADDITION AND RENOVATIONS



# MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS

E002B E002C



CALCULATION SUMMARY					
LABEL	CALCTYPE	UNITS	MIN	AVG	AVG/MIN
PARKING AREA	ILLUMINANCE	FC	0.5	1.98	3.96
DRIVE PATH	ILLUMINANCE	FC	0.4	1.42	3.55

## CITY OF MADISON OUTDOOR LIGHTING STANDARD - OPEN PARKING FACILITIES, MEDIUM ACTIVITY LEVEL

# E002C SITE LIGHTING PLAN

03-05-2015

# assemblage ARCHITECTS

# MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS

## Plexineon White 2X Series

### PRODUCT SUMMARY

PRODUCT FEATURES	
• Four Kelvin temperatures	
• Energy efficient	
• Long life time	
• Stable and consistent color temperature	
• Low voltage	
• Easy to install	
• Cool to the touch	
• For use as exterior or interior accent lighting, direct view or indirect view applications, coves & more	

### Color Temperatures (+/- 10%)

- 2800K
- 3000K
- 4500K
- 6500K

### Diffuser Color (when not illuminated)

- Light amber hue

### Lengths Available

- Standard lengths: 2', 4', 6', 8'  
(610 mm, 1219 mm, 1430 mm, 2438 mm)
- Factory cut-to-lengths available to the nearest 1/8" (3.17mm) +/- 0.25" (6mm)
- 2" (610mm) field cuttable pieces
- Illuminated outside corner pieces
- Factory convex or concave bends to minimum inside radius of 12" (305mm)
- Factory "easy bends" to a 3/8" (6mm) radius<sup>2</sup>
- Gentle field bends to a 7/8" (18.29mm) radius<sup>3</sup>
- 10AWG: 100 feet (30.48m)

1. Drawing required for production  
2. Field bending allowed only on fixtures without C-channel

### ORDERING INFORMATION

CLASS	VOLTAGE	COLOR	ADJUSTING	LENGTH	CHANNEL	VERSION
T	—	24			S	—
T = Trim	24 = 24V				SC = Clear Channel	00 = With Connectors
		White			MC = No Channel	01 = Without Connectors
			AF = 4 Feet	2F = 2 Feet	SC = Stainless Steel Channel	
			6F = 6 Feet	4F = 4 Feet		
			8F = 8 Feet	6F = 6 Feet		
			10F = 10 Feet	8F = 8 Feet		
			12F = 12 Feet	10F = 10 Feet		
			14F = 14 Feet	12F = 12 Feet		
			16F = 16 Feet	14F = 14 Feet		
			18F = 18 Feet	16F = 16 Feet		
			20F = 20 Feet	18F = 18 Feet		
			22F = 22 Feet	20F = 20 Feet		
			24F = 24 Feet	22F = 22 Feet		
			26F = 26 Feet	24F = 24 Feet		
			28F = 28 Feet	26F = 26 Feet		
			30F = 30 Feet	28F = 28 Feet		
			32F = 32 Feet	30F = 30 Feet		
			34F = 34 Feet	32F = 32 Feet		
			36F = 36 Feet	34F = 34 Feet		
			38F = 38 Feet	36F = 36 Feet		
			40F = 40 Feet	38F = 38 Feet		
			42F = 42 Feet	40F = 40 Feet		
			44F = 44 Feet	42F = 42 Feet		
			46F = 46 Feet	44F = 44 Feet		
			48F = 48 Feet	46F = 46 Feet		
			50F = 50 Feet	48F = 48 Feet		
			52F = 52 Feet	50F = 50 Feet		
			54F = 54 Feet	52F = 52 Feet		
			56F = 56 Feet	54F = 54 Feet		
			58F = 58 Feet	56F = 56 Feet		
			60F = 60 Feet	58F = 58 Feet		
			62F = 62 Feet	60F = 60 Feet		
			64F = 64 Feet	62F = 62 Feet		
			66F = 66 Feet	64F = 64 Feet		
			68F = 68 Feet	66F = 66 Feet		
			70F = 70 Feet	68F = 68 Feet		
			72F = 72 Feet	70F = 70 Feet		
			74F = 74 Feet	72F = 72 Feet		
			76F = 76 Feet	74F = 74 Feet		
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			90F = 90 Feet	88F = 88 Feet		
			92F = 92 Feet	90F = 90 Feet		
			94F = 94 Feet	92F = 92 Feet		
			96F = 96 Feet	94F = 94 Feet		
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			112F = 112 Feet	110F = 110 Feet		
			114F = 114 Feet	112F = 112 Feet		
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			140F = 140 Feet	138F = 138 Feet		
			142F = 142 Feet	140F = 140 Feet		
			144F = 144 Feet	142F = 142 Feet		
			146F = 146 Feet	144F = 144 Feet		
			148F = 148 Feet	146F = 146 Feet		
			150F = 150 Feet	148F = 148 Feet		
			152F = 152 Feet	150F = 150 Feet		
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# MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS

**SPECIFICATION SHEET**

**lumenfacade™**  
STAND ALONE - PROJECTOR  
WHITE & STATIC COLORS

Client: \_\_\_\_\_  
Project name: \_\_\_\_\_  
Order #: \_\_\_\_\_  
Type: \_\_\_\_\_ Qty: \_\_\_\_\_

**FEATURES AND BENEFITS**

**Physical :**

- Low copper content extruded aluminum housing
- Available in 1', 2', 3' or 4' sections
- Electrostatically applied polyester powder coat finish
- Machined aluminum end caps and silicone gaskets
- Stainless steel hardware
- Standard straight leader cable output, bottom feed
- Standard tempered glass
- 10° x 10°, 10° x 60°, 30° x 60° or 60° x 60° optics
- IP65
- IK07 rated
- Corrosion-resistant option for marine environments
- Meets 3G ANSI C136.3<sup>®</sup> vibration standard for bridge applications

**Performance :**

- Minimum 1<sup>fc</sup> (10.7 lux) @ 129 feet (39.3m) distance (4000K, 4' unit, 10° x 60° optic, HO version)
- CRI values: 85+ (2700K), 80+ (3000K), 78+ (4000K)
- Lumen maintenance 120,000 hrs (L70 @ 25°C)
- Lumen measurements comply with IES-79-98 standard
- Resolution per foot or per fixture (see page 5)
- Operating temperatures: -25°C to 50°C (-13°F to 122°F)

**Electrical :**

- Line voltage limit rule for 0° to 270°
- Power & Data in 1 cable (#16-5)
- Up to 64 feet with a single power feed (HO version, non dimming)
- 5W/ft version meets ASHRAE standards for linear lighting on building facades
- Standard 10ft /3m cord
- 8.5W/ft (15.25W/ft HO version)
- Dimming options: 0-10 volt, DMX, DALI, Lumen<sup>®</sup> or Lutron<sup>®</sup> EcoSystem<sup>™</sup> enabled

**Warranty:**  
5 year warranty

**Front View:**  
13 3/8" x 2 5/8" x 3 3/8" x 49 3/8" x 4" x 2 5/16" x 3 3/8" x 102mm x 6 11/16" x 169mm x 11 configuration x 102mm x 59mm x 102mm

**Side View:**  
6 11/16" x 169mm x 11 configuration x 102mm x 59mm x 102mm

**lumenpulse**  
Sustainable architectural LED lighting systems

1/9 Lumenpulse, 1751 Rehbein, Suite 1505, Montreal (Quebec) Canada H3C 1G6, 1-877-987-3008, F: 514-987-0289  
info@lumenpulse.com Copyright © 2015 Lumenpulse

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**SPECIFICATION SHEET**

**lumenfacade™**  
STAND ALONE - PROJECTOR  
WHITE & STATIC COLORS

**MOUNTING OPTIONS**

**UMP** Fixed Mounting  
**UMAS** Universal Adjustable Mounting  
**WAM2** Adjustable Wall Mounting  
**WAM6 & WAM12** Adjustable Extended Arm Mounting

**lumenfacade™**  
STAND ALONE - PROJECTOR  
WHITE & STATIC COLORS

**LOGRD** Radial louver for lumenfacade (See page 4 for ordering code)

**OPTION**

**A - 90° angle cord output top feed**

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**SPECIFICATION SHEET**

**lumenfacade™**  
STAND ALONE - PROJECTOR  
WHITE & STATIC COLORS

**LOUVER ACCESSORY INSTALLATION DETAIL**

**lumenfacade™**  
STAND ALONE - PROJECTOR  
WHITE & STATIC COLORS

**OPTION**

**A - 90° angle cord output top feed**

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**SPECIFICATION SHEET**

**lumenfacade™**  
STAND ALONE - PROJECTOR  
WHITE & STATIC COLORS

**HOW TO ORDER**

LOG Selec:	Select:	Select:	Select:	Select:	Select:	Selec:	Selec:
Housing	Voltage	Length	Color and color temperatures	Optic	Mounting Option	Finish	Control
1	2	3	4	5	6	7	8
6							

**Mounting Option:**

- UMP - Fixed Mounting (Available to use when 3GV option is specified)
- UMAS - Universal Adjustable Mounting (Available to use when 3GV option is specified)
- WAM2 - Adjustable Wall Mounting 2°
- WAM6 - Adjustable Extended Arm Mounting 4°
- WAM12 - Adjustable Extended Arm Mounting 12°

**Voltage:**

- 100 - 100 volts 220 - 220 volts
- 120 - 120 volts 240 - 240 volts
- 208 - 208 volts 277 - 277 volts

**Finish:**

- SI - Silver Sandblasted
- BK - Black Sandblasted
- WH - White
- CC - Custom (please specify RAL color)

**Length:**

- 12 - 13 3/8 inches (340mm) (2 kg/4.5 lbs)
- 24 - 25 3/8 inches (645mm) (3.17 kg/7 lbs)
- 36 - 37 3/8 inches (949mm) (4.75 kg/10.5 lbs)
- 48 - 49 3/8 inches (1254mm) (6.35 kg/14 lbs)

**Control:**

- NO - No Dimming
- 1% - Incremental Dimming
- 1% minimum dimming value
- DIM - 0-10V Dimming option
- 10% minimum dimming value
- DMX 171 - DMX Dimming option, resolution per fixture
- 1% minimum dimming value
- DMX 1FX - DMX Dimming option, resolution per fixture
- 1% minimum dimming value
- DAU - DALI Dimming option
- 1% minimum dimming value
- ES - Lumen<sup>®</sup> EcoSystem<sup>™</sup> Enabled Dimming
- BL - Blue

**Colors and Color temperatures:**

- 27K - 2700K
- 30K - 3000K
- 35K - 3500K
- 40K - 4000K
- RD - Red
- GR - Green
- BL - Blue

**Option:**

- 10x10 - 10° x 10°
- For best results use HO fixture of a 5-inches (15cm) setback from surface. Contact factory for application support.
- 10x60 - 10° x 60°
- 30x60 - 30° x 60°
- 60x60 - 60° x 60°

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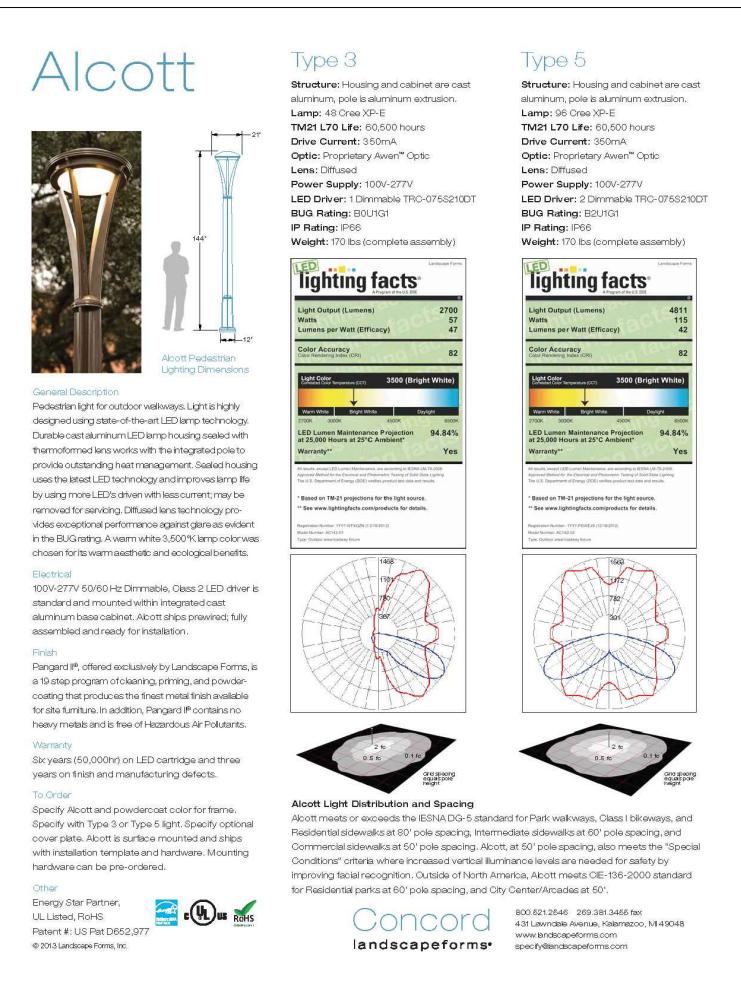
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OW8

LUMINAIRE TYPE OW8

NO SCALE

# MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS



**OP1** LUMINAIRE TYPE OP1 - ALTERNATE  
NO SCALE

OP1 LUMINAIRE TYPE OP1 - BASE CAMPUS STANDARD

# E003C SITE LIGHTING PLAN - LUMINAIRE SELECTIONS

# assemblage ARCHITECTS

# MADISON COLLEGE - TRUAX BUILDING CULINARY ADDITION AND RENOVATIONS

## ECOSENSE®

### EcoSpec® Floodlight Bullet Mini

DATE \_\_\_\_\_ TYPE \_\_\_\_\_  
PROJ. \_\_\_\_\_ FIRM \_\_\_\_\_

**Features:**

- Dimmable: TRIAC / ELV (RP)
- Integral Driver / AC Power
- Flicker-Free
- 110° Beam Angle (0-70)
- Green Vent
- Field Interchangeable Accessory Lenses
- 360° Horizontal Rotation
- 130° Vertical Aiming

**EcoSpec® Floodlight Bullet Mini** is a compact architectural floodlight and landscape luminaire offering superior binning and a full range of optical solutions. The EcoSpec Floodlight Bullet Mini is indoor and outdoor rated with a robust cast aluminum housing and glare control options that include flush, angled, or full snoots. The EcoSpec Floodlight Bullet Mini offers field interchangeable optic lenses in a wide range of beam angle distributions to allow for simple optical design modifications without the need to replace the fixture. It also includes the ability to connect directly to AC line voltage power, and is dimmable through ELV or TRIAC dimming hardware. This luminaire also has great flexibility with 130deg vertical aiming and 360deg horizontal rotation making it ideal for any application.

**SPECIFICATIONS**

PERFORMANCE		
Correlated Color Temperature (K)	Lumen Output / Input Power (lumens/lumen input)	Efficacy (lm/W)
2700K	746 lm / 11.3W	66 lm/W
3000K	760 lm / 11.5W	66 lm/W
3500K	890 lm / 11.3W	79 lm/W
4000K	920 lm / 11.4W	81 lm/W
Color Rendering Index	2.88 MacAdam Ellipse	
Color Consistency	Ldt>100,000 hours @ 25°C / Ldt>50,000 hours @ 50°C*	
Rated Life		

ELECTRICAL		
Power Consumption	10.9W (Typical), 12W (Max)	
Power Factor	Min. 0.90	
Operating Voltage	100-120VAC, 220-240VAC, 277VAC (ETL), 50-60 Hz	
Operating / Startup Temperature	-40°F to 122°F (-40°C to 50°C)   Storage: -40°F to 178°F (-40°C to 80°C)	

CONTROL		
Dimming	100-120VAC - TRIAC/ELV-RP, 220-240VAC - TRIAC/ELV-RP, 277VAC Non-Dim	

PHYSICAL		
Dimensions	Dia. 4.05" x H 9.2" x L 8.78" (103mm x 125mm x 223mm)	
Housing	Cast Aluminum, Clear Glass	
Weight	4.4 lbs (2.0 kg)	
Cable	Flying Lead	
Shielding	Optional 45° and 90° Cutoff Snoots, 360° locking rotation	
Environment	Indoor / Outdoor, CE Certified IP66 / ETL Certified for Wet Locations	
Beam Angle	Native 11° x 11° / Accessory Lens: 20° x 30° / 40° x 60° / 10° x 60° / 30° x 60°	
Mounting	1/2" NPT, M20 Threaded stem with locking nut	

Fixture Rating & Certifications		
CE, ENEC, C-Tick Certified		
ETL Certified		
RoHS Compliant		

**WARRANTY** 5 Year Warranty

1 EcoSense Lighting Inc. | Phone: 213-229-8118 | Fax: 212-229-8113 | Toll Free: 855.632.6736 | ECOSEN | |

2 EcoSense Lighting Inc. | Phone: 213-229-8118 | Fax: 212-229-8113 | Toll Free: 855.632.6736 | ECOSEN | |

ECOSENSELIGHTING.COM

## ECOSENSE®

### EcoSpec® Floodlight Bullet Mini

DATE \_\_\_\_\_ TYPE \_\_\_\_\_  
PROJ. \_\_\_\_\_ FIRM \_\_\_\_\_

**ORDERING INFORMATION** Choose the option that best suits your needs and write its corresponding code on the appropriate line to form the product code.

BUL-S	-	-	-	-	-	11
MODEL	COLOR	VOLTAGE	FINISH	OPTIC		
BUL-S	27 - 2700K	120-IC - 100-120VAC*	BZ - Bronze	11 - 11° x 11°		
(Sml all)	30 - 3000K	220-IC - 220-240VAC*	BK - Black	(Sealed Base Optic)		
35 - 3500K	277-IC - 277 VAC*	WH - White				
40 - 4000K						

EXAMPLE: BUL-S - 40 - 120-IC - BK - 11

**Mounting / Wiring Notes:**

- 120VAC / 277VAC
  - 1) 1/2" NPT x 8" Flying Lead
  - 2) 1/2" NPT Mounting Thread
- 220VAC
  - 1) 1/2" NPT x 8" Flying Lead
  - 2) 1/2" NPT Mounting Thread
  - 3) 28VAC Product comes intended with one 8" Architectural Mounting Conduit in the same box as the unboxed fixture.

**Special Order Cable:** Consult EcoSense Representative

120-EC	External Cable (for 120-220VAC / 277VAC product) (Example: BUL-S-120-EC-FINISH-1)
220-IC	Internal Cable (for 220-240VAC product) (Example: BUL-S-220-IC-FINISH-1)
277-EC	External Cable (for 277VAC product) (Example: BUL-S-277-EC-FINISH-1)

**ACCESSORIES** Order accessories as separate catalog numbers in addition to the product code.

Shielding Options		
90° Cap (Standard with base fixture)		
90° Full Snoot, Bronze	BUL-S-90S-BZ	BUL-S-46S-BZ
90° Full Snoot, Black	BUL-S-90S-BK	BUL-S-46S-BK
90° Full Snoot, White	BUL-S-90S-WH	BUL-S-46S-WH

Optical Film Lens (Light Shaping Diffuser)		
Standard Lens Distributions	Built-to-order Lens Distributions	
Optical Lens 20° x 20°	BUL-S-LSD-20	BUL-S-LSD-30
Optical Lens 40° x 40°	BUL-S-LSD-40	BUL-S-LSD-60
Optical Lens 60° x 60°	BUL-S-LSD-60	BUL-S-LSD-30x60
Optical Lens 10° x 60°	BUL-S-LSD-10x60	

1 EcoSense Lighting Inc. | Phone: 213-229-8118 | Fax: 212-229-8113 | Toll Free: 855.632.6736 | ECOSEN | |

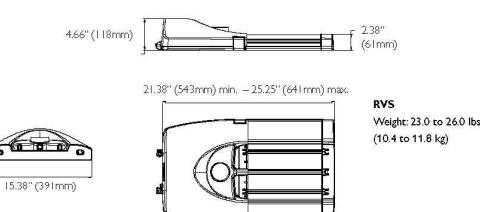
2 EcoSense Lighting Inc. | Phone: 213-229-8118 | Fax: 212-229-8113 | Toll Free: 855.632.6736 | ECOSEN | |

ECOSENSELIGHTING.COM

Project name	Type		
Date	Prepared by		
RVS			
Luminaire	Lamp	Optical System	Voltage
		Options	Accessory
		Finish	

## RoadView LED Series

RVS



Lamps

LUMINAIRE PERFORMANCE DATA (Nominal 4000K CCT)								
Lamp	Drive	Luminous	System	Max system	Weight	Length	EPA	sq. in.
LEDs	Current	lumens*	Watts	current (amps)	lb	in	sq. in.	sq. ft.
35Wx2LED4K	32	350	3686	37	0.31	23	10.4	2138
55Wx2LED4K	32	530	5327	56	0.47	23	10.4	2138
75Wx2LED4K	32	700	4534	73	0.61	23	10.4	2138
55Wx4LED4K	48	350	5397	53	0.44	23	10.4	2138
80Wx4LED4K	48	530	7799	81	0.68	23	10.4	2138
108Wx4LED4K	48	700	9570	105	0.88	23	10.4	2138
70Wx4LED4K	64	350	6970	68	0.57	26	11.8	2525
110Wx4LED4K	64	530	10072	104	0.87	26	11.8	2525
90Wx4LED4K	80	350	8555	65	0.71	26	11.8	2525
135Wx80LED4K	80	530	12363	129	1.08	26	11.8	2525

\*For Type III distribution. See photometric files for other distributions.

**PHILIPS**  
**LUMEC**

## Optical systems / LED

LE2	TYPE II / Asymmetrical distribution
LE3	TYPE III / Asymmetrical distribution
LE4	TYPE IV / Asymmetrical distribution

## Voltage

UNIV (120-277)	347	480
----------------	-----	-----

(not suitable for 32 LED model)

## Driver options\*\*

AST	Driver pre-programmed with progressive lamp starting*
CDMG	Dynamilux standard dimming program*
CDMG	Dynamilux custom dimming program*
CLO	Constant Light Output, driver pre-programmed to achieve the same light intensity for the duration of the lifespan of the lamp*
DALI	Driver compatible with DALI control system*
DMG	Dimmable driver 0-10 volt
OTL	Over The Life, driver pre-programmed to signal the end of lamp life*
OR	Dynamilux override function for use with motion detector or other switching device

\*Only available with 120 - 277 volts.

\*\* For all programmable options please consult the factory for details.

## Luminaire options

API	ANSI/NEMA wattage label
BL	Bubble level
OSLW	Motion detector (requires DMG or CDMG)
PH8	Photoelectric cell, twist-lock type includes receptacle
PH8XL	Photoelectric Cell,Twist-lock Type, "Fall ON", extended life
RC	Receptacle for a twist-lock power cord from supplier
SR	Strain relief

\* Not available with 347 and 480 volt.

## Luminaire accessory

SPC	StarSense Photo-cell Control
-----	------------------------------

\* Luminaire option RC is required with this accessory.

## Finish options

GY3	Grey
WH	White
BK	Black

EXP Extrusion painted to match cast housing color selected above (standard extrusion color is anodized aluminum).

Additional colors are available. Consult factory for complete specifications.

