

City of Madison  
 Planning Division  
 Madison Municipal Building, Suite 017  
 215 Martin Luther King, Jr. Blvd.  
 P.O. Box 2985  
 Madison, WI 53701-2985  
 (608) 266-4635



**FOR OFFICE USE ONLY:**

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Original Submittal       Revised Submittal

Parcel # \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Special Requirements \_\_\_\_\_

Review required by \_\_\_\_\_

UDC       PC

Common Council       Other \_\_\_\_\_

Reviewed By \_\_\_\_\_

**All Land Use Applications must be filed with the Zoning Office at the above address.**

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site. (<http://www.cityofmadison.com/development-services-center/documents/SubdivisionApplication.pdf>)

## APPLICATION FORM

### 1. Project Information

Address: \_\_\_\_\_

Title: \_\_\_\_\_

### 2. This is an application for (check all that apply)

Zoning Map Amendment (Rezoning) from \_\_\_\_\_ to \_\_\_\_\_

Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning

Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)

Review of Alteration to Planned Development (PD) (by Plan Commission)

Conditional Use or Major Alteration to an Approved Conditional Use

Demolition Permit

Other requests \_\_\_\_\_

### 3. Applicant, Agent and Property Owner Information

**Applicant name** \_\_\_\_\_ Company \_\_\_\_\_

Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

**Project contact person** \_\_\_\_\_ Company \_\_\_\_\_

Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

**Property owner (if not applicant)** \_\_\_\_\_

Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

## 4. Required Submittal Materials

Pursuant to Section 28.181(4), MGO, no application is complete unless all required information is included and all application fees have been paid. **The Zoning Administrator may reject an incomplete application.** Use this checklist to prepare a complete Land Use Application. Note: Not all development plan materials listed below are required for all applications. Submittal materials are as determined by staff. Those application types which have specific additional submittal requirements, as noted below, are outlined in Land Use Application Form LND-B (<https://www.cityofmadison.com/dpced/bi/documents/LUAChecklist.pdf>).

Req.	Required Submittal Information	Contents	No. of Copies	✓
	<b>Filing Fee (\$ 950 )</b>	Refer to the Fee Schedule on Page 6. Make checks payable to City Treasurer.	1	
	<b>Land Use Application</b>	Forms must include the property owner's authorization.	1	
	<b>Legal Description</b> (For Zoning Map Amendments only)	Legal description of the property, complete with the proposed zoning districts and project site area in square feet and acres.	1	
	<b>Pre-Application Notification</b>	Proof of written 30-day notification to alder, neighborhood association, and business associations. In addition, Demolitions require posting notice of the requested demolition to the City's Demolition Listserv at least 30 days prior to submitting an application. For more information, see Page 1 of this application.	1	
	<b>Letter of Intent (LOI)</b>	Narrative description of the proposal in detail, including, but not limited to, the existing site conditions, project schedule, phasing plan, proposed uses, hours of operation, number of employees, gross square footage, number of units and bedrooms, public subsidy requested, project team, etc.  <b>** When submitting, you must collate the Letters of Intent with the Development Plans **</b>	28	
	<b>Development Plans</b>	Twenty-Eight (28) <u>legible &amp; scaled</u> 11" x 17" copies, collated and stapled.	28	
	Site Plan	<b>** When submitting, you must collate the Letters of Intent with the Development Plans **</b>  For a detailed list of the content requirements for each of these plan sheets, please see Land Use Application Form LND-B ( <a href="https://www.cityofmadison.com/dpced/bi/documents/LUAChecklist.pdf">https://www.cityofmadison.com/dpced/bi/documents/LUAChecklist.pdf</a> )		
	Survey or site plan of existing conditions			
	Grading Plan			
	Utility Plan			
	Landscape Plan and Landscape Worksheet			
	Building Elevations			
	Roof and Floor Plans			
	Fire Access Plan and Fire Access Worksheet			
	<b>Supplemental Requirements</b> (Based on Application Type)		Additional materials are required for the following application types noted below. Please see Land Use Application Form LND-B ( <a href="https://www.cityofmadison.com/dpced/bi/documents/LUAChecklist.pdf">https://www.cityofmadison.com/dpced/bi/documents/LUAChecklist.pdf</a> ) for a detailed list of the submittal requirements for these application types.  The following Conditional Use Applications: <ul style="list-style-type: none"> <li><input type="checkbox"/> Lakefront Developments</li> <li><input type="checkbox"/> Outdoor Eating Areas</li> <li><input type="checkbox"/> Development Adjacent to Public Parks</li> <li><input type="checkbox"/> Demolition Permits</li> <li><input type="checkbox"/> Modifications to Parking Requirements (i.e. Parking Reductions or Exceeding the Maximum)</li> <li><input type="checkbox"/> Development within Downtown Core (DC) and Urban Mixed-Use (UMX) Zoning Districts</li> <li><input type="checkbox"/> Zoning Map Amendments (i.e. Rezoning)</li> <li><input type="checkbox"/> Planned Development General Development Plans (GDPs) / Planned Development Specific Implementation Plans (SIPs)</li> </ul>	Include in Plan Set as required
	<b>Digital Copies of all Submitted Materials</b>	Digital copies of all items, submitted in hard copy are required. All development plan set sheets must be scalable to full- and half-size sheets. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or in an email to <a href="mailto:pcapplications@cityofmadison.com">pcapplications@cityofmadison.com</a> . The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as <a href="https://www.dropbox.com">Dropbox.com</a> ) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.	1	

APPLICATION FORM (CONTINUED)

5. Project Description

Provide a brief description of the project and all proposed uses of the site:

\_\_\_\_\_

Proposed Dwelling Units by Type (if proposing more than 8 units):

Efficiency: 8 1-Bedroom: 13 2-Bedroom: 3 3-Bedroom: \_\_\_\_\_ 4+ Bedroom: \_\_\_\_\_

Density (dwelling units per acre): \_\_\_\_\_ Lot Size (in square feet & acres): 12,870 S.F. / .29 Acres

Proposed On-Site Automobile Parking Stalls by Type (if applicable):

Surface Stalls: \_\_\_\_\_ Under-Building/Structured: 18

Proposed On-Site Bicycle Parking Stalls by Type (if applicable):

Indoor: 24 Outdoor: 4

Scheduled Start Date: \_\_\_\_\_ Planned Completion Date: \_\_\_\_\_

6. Applicant Declarations

**Pre-application meeting with staff.** Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff \_\_\_\_\_ Date \_\_\_\_\_

Zoning staff \_\_\_\_\_ Date \_\_\_\_\_

**Demolition Listserv** (<https://www.cityofmadison.com/developmentCenter/demolitionNotification/notificationForm.cfm>).

Public subsidy is being requested (indicate in letter of intent)

**Pre-application notification:** The zoning code requires that the applicant notify the district alder and all applicable neighborhood and business associations **in writing no later than 30 days prior to FILING this request.** Evidence of the pre-application notification or any correspondence granting a waiver is required. List the alderperson, neighborhood association(s), business association(s), AND the dates notices were sent.

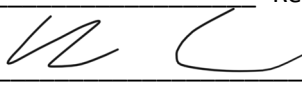
District Alder \_\_\_\_\_ Date \_\_\_\_\_

Neighborhood Association(s) \_\_\_\_\_ Date \_\_\_\_\_

Business Association(s) \_\_\_\_\_ Date \_\_\_\_\_

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant \_\_\_\_\_ Relationship to property \_\_\_\_\_

Authorizing signature of property owner  \_\_\_\_\_ Date 5/3/20

May 6, 2020  
Updated August 17, 2020



Ms. Heather Stouder  
Director, Planning Division  
City of Madison Department of Planning & Community & Economic Development  
215 Martin Luther King Jr. Blvd., Ste 017  
Madison, Wisconsin 53703

Re: Letter of Intent

817-821 Williamson St  
**KBA Project # 2003**

Ms. Heather Stouder:

The following is submitted together with the plans and application for the staff and Plan Commission's consideration of approval.

**Organizational structure:**

Owner:	John Fontain Inc P.O. Box 694 Madison, WI 53701 608-279-7962 Contact: Brandon Cook <a href="mailto:Johnfontainrealty@gmail.com">Johnfontainrealty@gmail.com</a>	Architect:	Knothe & Bruce Architects, LLC 7601 University Avenue, Ste 201 Middleton, WI 53562 608-836-3690 Contact: Kevin Burow <a href="mailto:kburow@knothebruce.com">kburow@knothebruce.com</a>
Engineer:	Burse Surveying & Engineering, Inc. 2801 International Lane, Ste. 101 Madison, WI 53704 Phone: 608-250-9263 Fax: 608-250-9266 Contact: Peter Fortlage <a href="mailto:pfortlage@bse-inc.net">pfortlage@bse-inc.net</a>	Landscape Design:	Paul Skidmore Landscape Architect 13 Red Maple Trail Middleton, WI 53717 (608) 826-0032 Contact: Paul Skidmore <a href="mailto:paulskidmore@tds.net">paulskidmore@tds.net</a>

**Introduction:**

This proposed development involves the redevelopment of 817-821 Williamson Street, by removing an existing one-story commercial building and surface parking lot and constructing a new three-story mixed-use building. This site is zoned TSS (Traditional Shopping Street) and is located within the Third Lake Ridge historic district. There will be a total of 24 apartment units and approximately 830 sq.ft. of commercial space. There will also be 17 underground parking stalls for residential use.

**Project Description:**

As part of this project the underlying land that the existing and the proposed building will sit on needs to be combined into one lot. The size of this lot will not be out of place with the irregularly sized lots in this block and also within the nearby blocks in Third Lake Ridge. Given that the existing building was built across the lot lines and has existed as such for many years, this has been functioning as a single lot already.



The proposed building has been designed to be in context with the neighboring structures while not trying to look like a false historic structure. The front façade will be all masonry with storefront glass at the first floor level and the apartments above have taller windows. The garage entry is set back 59'-0' from the front façade and is lowered down in grade so it is not a primary feature for this building. By recessing the garage entry back almost 60' from the street, the overall massing at the street is reduced and thus compatible with the surrounding structures. It also maintains the existing rhythm on this block with buildings with driveways located along many of them.

The overall height of this building with a flat roof is in context with the tall 2-3 story gabled roof structures that are on this block which are set higher above the sidewalk given the increasing grades of this 800 block of Williamson St. The properties located behind this building on Jenifer St. are also set approximately a full story above the sidewalk grade on Williamson St. so this height will be compatible with them as well. The use of a flat roof is also compatible with several other commercial and multi-family buildings located on Williamson Street and especially with those located directly across the street.

**City and Neighborhood Input:**

We have met with the City on several occasions for this proposed development including meetings with Staff and attending a DAT Meeting and this input has helped shape this proposed development. A neighborhood meeting was also held which was led by Kevin Firchow and Alder Marsha Rummel.

**Demolition Standards**

The structure to be removed was constructed well outside of the period of significance for the Third Lake Ridge historic district (1850-1929) and has no historic significance to this area. It is also out of character and is not a landmark structure, nor is it of an uncommon or unusual design or method of construction, and as such should meet the demolition criteria. A Re-use and Recycling Plan will be submitted prior to the deconstruction of the existing commercial structure.

**Conditional Use approvals:**

The proposed redevelopment requires a conditional use to allow for a residential building with more than 8 units. The proposed building's size, scale and use are consistent with the City's Comprehensive Plan for this property, which calls for Neighborhood Mixed Use in 2-4 stories.

**Site Development Data:**

Densities:

Lot Area	12,870 S.F. / .29 acres
Dwelling Units	24 DU
Lot Area / D.U.	536 S.F./D.U.
Density	81 units/acre
Open Space	3,677 S.F. (960 S.F. Min. Required)
Open Space / Unit	153 S.F./Unit (40 S.F./Unit Required)
Lot Coverage	9,015 S.F. = 70% of total lot (85% Max.)

Building Height: 3 Stories

Gross Floor Areas:

Residential Area	19,806 S.F.
Commercial Area	802 S.F.
<u>Garage Parking Area</u>	<u>6,997 S.F.</u>
Gross Area	27,605 S.F.

Floor Area Ratio 2.14

Dwelling Unit Mix:

Efficiency	11
One Bedroom	10
<u>Two Bedroom</u>	<u>3</u>
Total Dwelling Units	24

Vehicle Parking:

Surface	0 stalls
<u>Underground</u>	<u>17 stalls</u>
Total	17 stalls

Bicycle Parking:

Protected and Secure Surface Stalls	24 stalls
Surface Stalls for Visitors	3 stalls
<u>Surface Stalls for Commercial</u>	<u>1 stalls</u>
Total	28 stalls

**Project Schedule:**

It is anticipated that the construction on this site will start in Fall 2020 with a final completion of Summer 2021.

Thank you for your time reviewing our proposal.

Sincerely,



Kevin Burow, AIA, NCARB, LEED AP  
Managing Member

## Denise Salimes

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**From:** Denise Salimes  
**Sent:** Wednesday, February 26, 2020 5:12 PM  
**To:** MNABoard@marquette-neighborhood.org; Rummel, Marsha  
**Cc:** Kevin Burow; Stacey Oehrke (soehrke@knothebruce.com)  
**Subject:** 817 Williamson Street - 30 day notification

Hello Alder Marsha Rummel, Anita Krasno & Katherine Davey,

On behalf of John Fontain Exchange and Knothe & Bruce Architects I would like to take this opportunity to formally notify you of our plan to submit a Land Use application on April 1, 2020 for a 3-story mixed-use development at 817 Williamson Street. The existing building will be demolished.

We look forward to working with you in making this a successful development. If you have any questions please contact Kevin Burow at 608-836-3690.

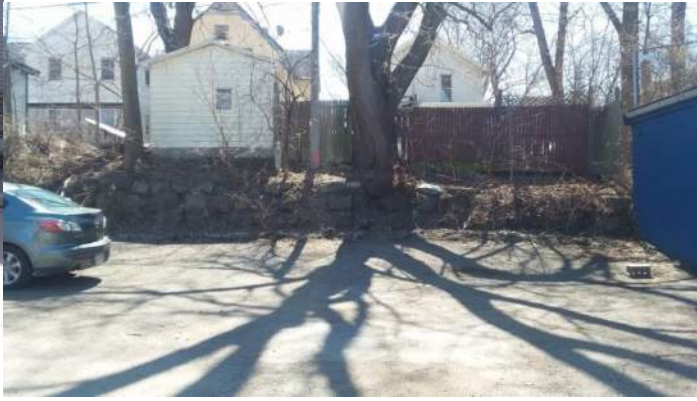
Thank you,

Denise Salimes | Knothe & Bruce Architects, LLC | Ph: 608.836.3690 ext:111  
7601 University Avenue, Middleton, WI 53562 [dsalimes@knothebruce.com](mailto:dsalimes@knothebruce.com)

DEMO PHOTOS

817-821 Williamson St

Exterior photos:





Exterior Photos:



Interior Photos



Interior Photos:





# LIL LED LED Wall Luminaire



Catalog  
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

## Specifications

	Standard	With Battery Pack(EL)
Width:	5"	5-7/8"
Height:	5-1/8"	6-1/8"
Depth:	2-3/4"	4-1/4"
Weight:	1.5 lbs	3 lbs

## Introduction

LIL LED is a compact and energy efficient wall luminaire ideal for replacing small incandescent and CFL luminaires. Photocell and battery pack options make LIL LED great for installations above doors, balconies, garage or warehouse entrances, and security applications. Whether directly mounting to a recessed junction box, or using the back box accessory for conduit entry/through wiring, LIL LED has you covered!

## Ordering Information

EXAMPLE: LIL LED 40K MVOLT WH

LIL LED									
Series	Color Temperature	Voltage	Controls	Mounting	Finish				
LIL LED	30K 3000 K 40K 4000 K	MVOLT 120 / 277V <sup>1</sup>	(blank) None PE MVOLT button photocell <sup>1,2</sup> EL Battery pack <sup>2</sup>	(blank) None BB Back box accessory for conduit wiring <sup>3</sup>	DDBTXD Textured dark bronze WH White				

## Accessories

Ordered and shipped separately.

LIL LED BB DDBTXD	Back box for conduit entry applications, dark bronze - CI Code *249WXH
LIL LED BB WH	Back box for conduit entry applications, white - CI Code *249WXJ

## NOTES

- MVOLT driver operates on 120V and 277V (50/60Hz).
- PE and EL cannot be ordered together.
- Optional accessory for conduit entry wiring. Can be ordered with the luminaire or separately. Shipped separately. BB option is not available with emergency battery pack (EL) version.

## FEATURES & SPECIFICATIONS

### INTENDED USE

The versatility of LIL LED combines a sleek, compact profile with photocell and emergency battery pack options to provide a great solution for wall mount applications. LIL LED is ideal for replacing up to 100W incandescent or 32W CFL luminaires in installations above doors, balconies, garage or warehouse entrances, and security applications. It can also be used for decorative and general lighting in outdoor environments.

### CONSTRUCTION

Aluminum housing with white or textured dark bronze paint for lasting durability. The polycarbonate lens creates uniform light distribution, and it is UV resistant - great for outdoor environments!

### OPTICS

Light engines are available in 3000K and 4000K CCTs. See Lighting Facts label and photometry reports for specific fixture performance.

### ELECTRICAL

LED technology provides long operating life (L70/50,000 hours at 25°C). Electronic drivers have a power factor >90% and THD <20% and a minimum 2.5kV surge rating.

### INSTALLATION

Easily mounts to recessed junction boxes or for surface mounting and conduit entry — with the back box with two 1/2" threaded conduit entry hubs.

This luminaire is mounted with the lens facing down. Neutral wire is required for three phase input.

### LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations. Rated for -40° C minimum to 40° C maximum ambient temperature. Battery pack versions are rated to 0° C minimum. Tested in accordance with IESNA LM-79 and LM-80 standards.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

Eligible to be submitted for Title 20 and Title 24 compliance.

### WARRANTY

5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomResources/Terms_and_conditions.aspx).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.705.7378 • [www.lithonia.com](http://www.lithonia.com)  
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LIL LED  
Rev. 08/19/19



## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Model Number	CCT	Rated Power	Lumens	LPW
LIL LED	3000K	8.4W	800	95

### Electrical Load

Model Number	Rated Power	Input current at given input voltage (amps)			
		120V	208V	240V	277V
LIL LED	8.4W	0.07	0.04	0.03	0.03

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

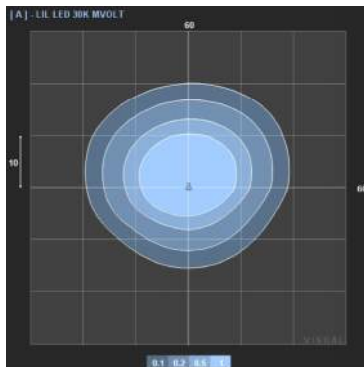
Operating Hours	0	25,000	50,000
LIL LED	1.00	0.92	0.85

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [LIL LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

#### LEGEND

- 0.1 fc
- 0.2 fc
- 0.5 fc
- 1.0 fc



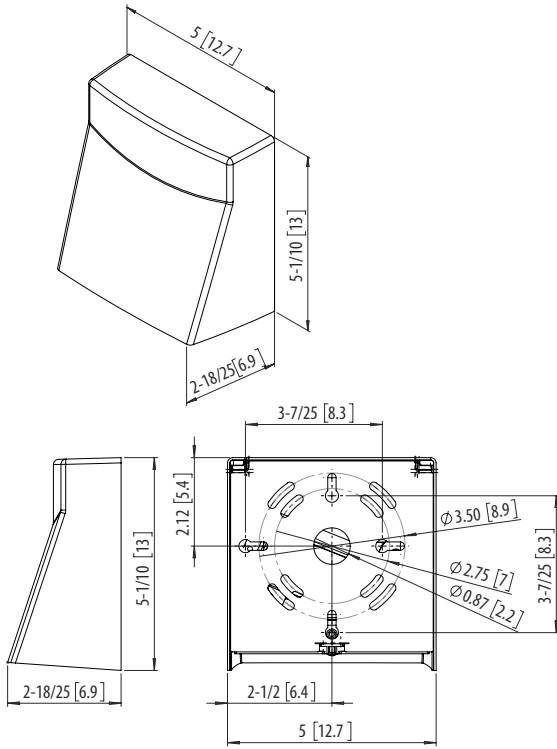
## Accessories

- LIL LED BBW DDBTXD Back box for conduit entry applications, dark bronze
- LIL LED BBW WH Back box for conduit entry applications, white

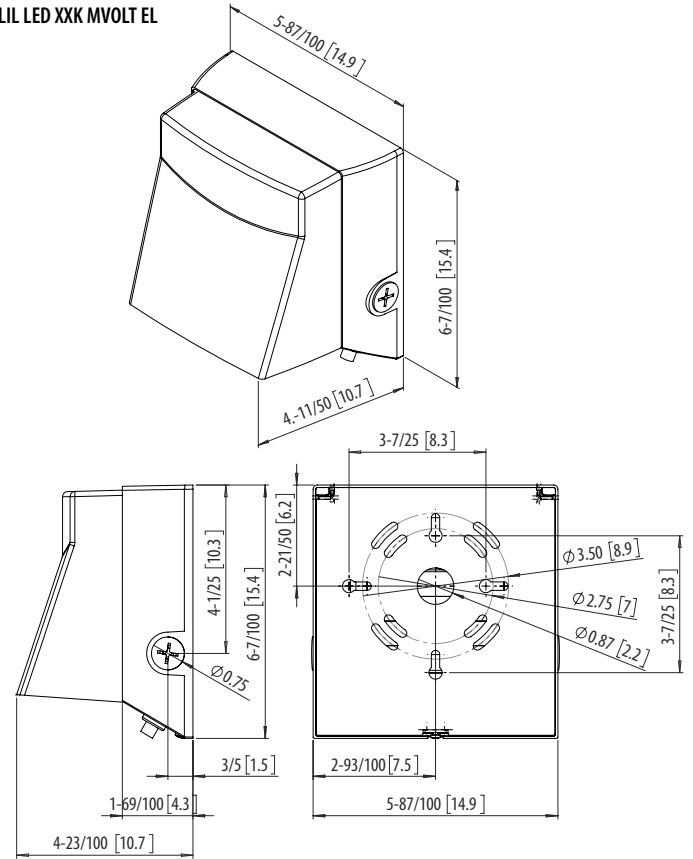


# Dimensions

LIL LED XXK MVOLT



LIL LED XXK MVOLT EL





# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

**Project Address:** 817-821 Williamson St.

**Contact Name & Phone #:** Kevin Burow 608-836-3690

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? <b>It is covering one entire side but is shy of the 25%</b> b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) <b>will be buried</b> e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.



**knothe • bruce**  
ARCHITECTS

Phone: 7601 University Ave., Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED  
Issued for Land Use Submittal - May 6, 2020  
Issued for Landmarks - August 04, 2020  
Issued for Land Use Submittal - August 17, 2020

PROJECT TITLE  
**John Fontain  
Development**

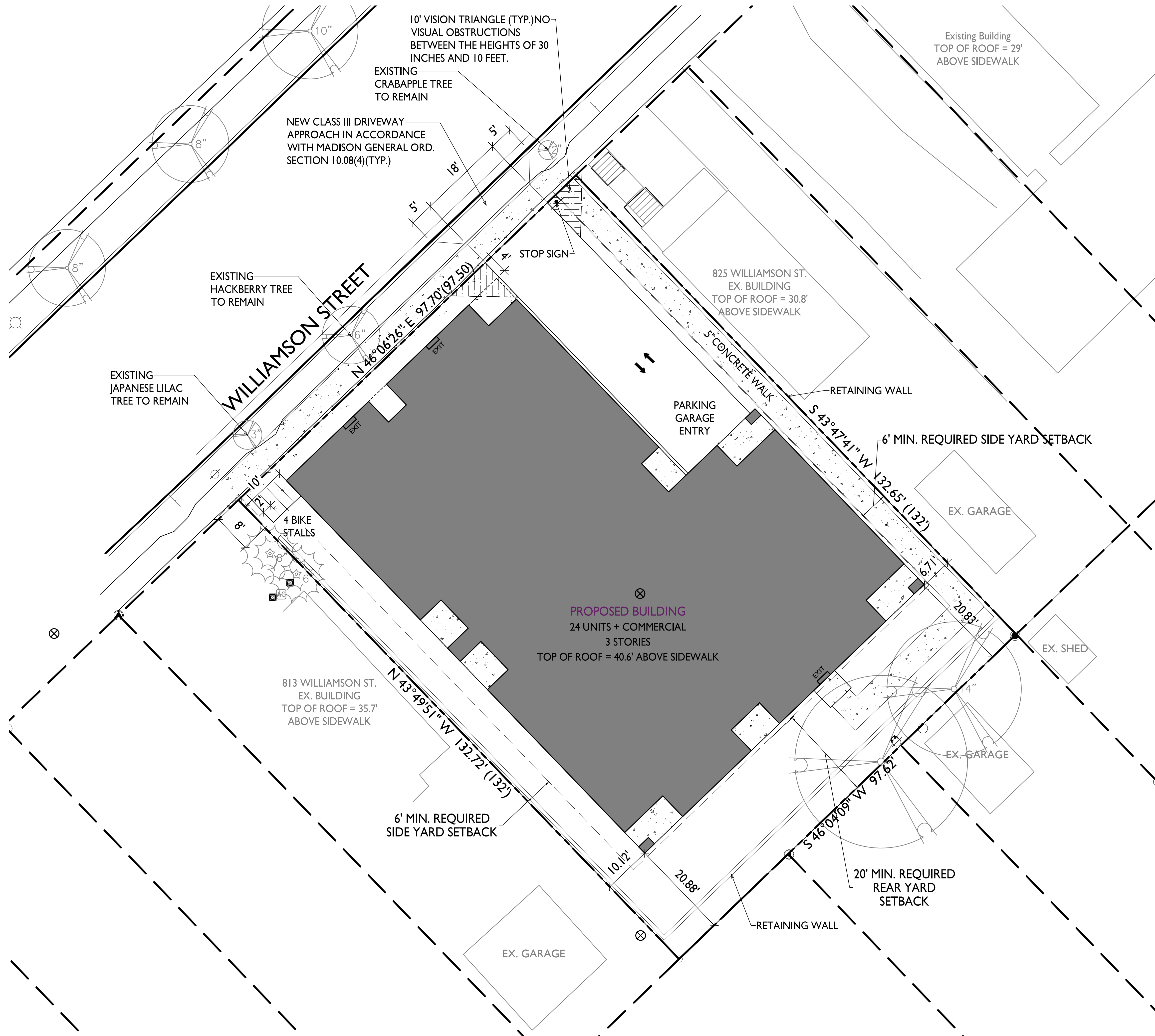
817-821 Williamson St  
Madison, Wisconsin  
SHEET TITLE  
**Site Plan**

SHEET NUMBER

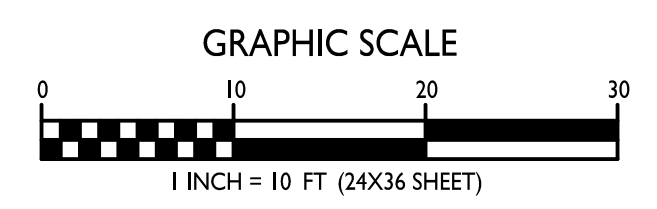
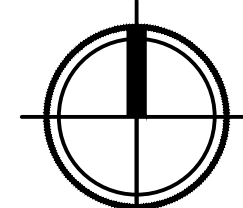
**C-1.1**

PROJECT NO. **2003**

© Knothe & Bruce Architects, LLC



**I SITE PLAN**  
C-1.1 1" = 10'-0"

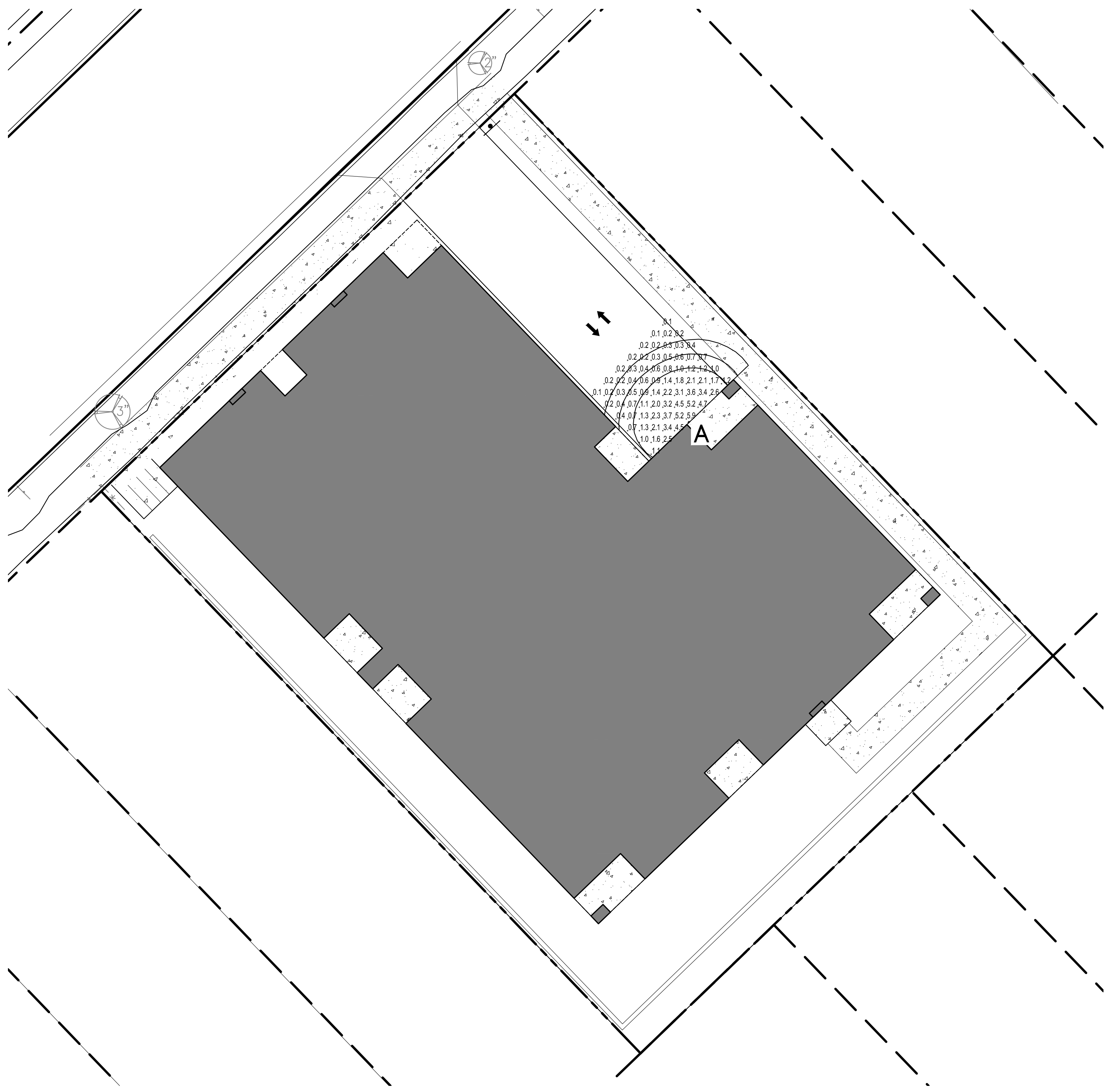
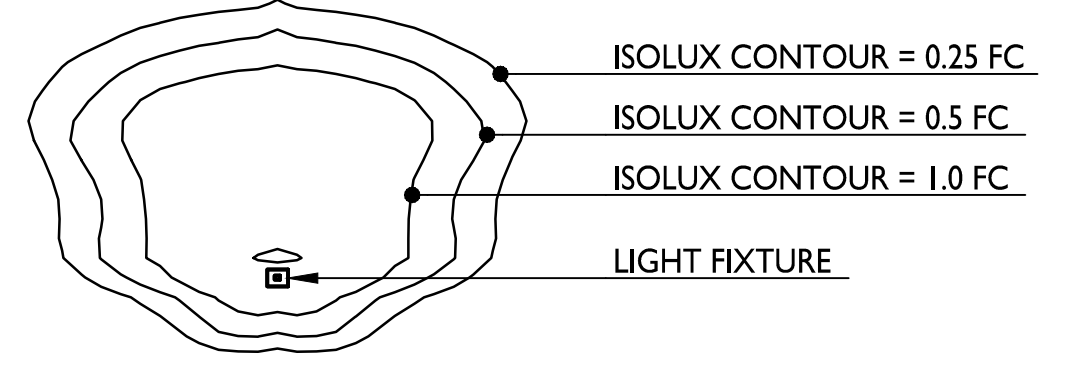




STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Parking Garage Entrance Lighting	+	1.4 fc	5.9 fc	0.1 fc	59.0:1	14.0:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
□	A	1	LITHONIA LIGHTING	LIL LED 30K MVOLT	LIL LED WALLPACK (STANDARD)	LIL_LED_30K_MVOLT.ies	8'-0" ABOVE GRADE ON BUILDING

**EXAMPLE LIGHT FIXTURE DISTRIBUTION**



ISSUED  
 Issued for Land Use Submittal - May 6, 2020  
 Issued for Land Use Submittal - August 17, 2020

PROJECT TITLE  
**John Fontain Development**

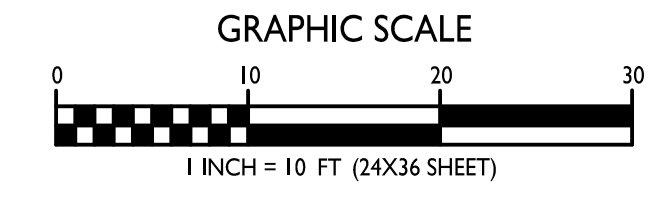
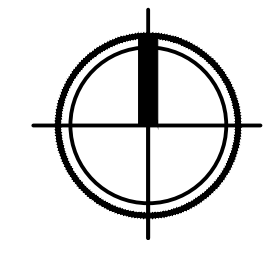
817-821 Williamson St  
 Madison, Wisconsin  
 SHEET TITLE  
**Site Lighting Plan**

SHEET NUMBER

**C-1.2**

PROJECT NO. **2003**  
 © Knothe & Bruce Architects, LLC

**1** SITE LIGHTING PLAN  
 C-1.2 1" = 10'-0"





**knothe • bruce**  
ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED  
Issued for Land Use Submittal - May 6, 2020  
Issued for Land Use Submittal - August 17, 2020

PROJECT TITLE  
**John Fontain  
Development**

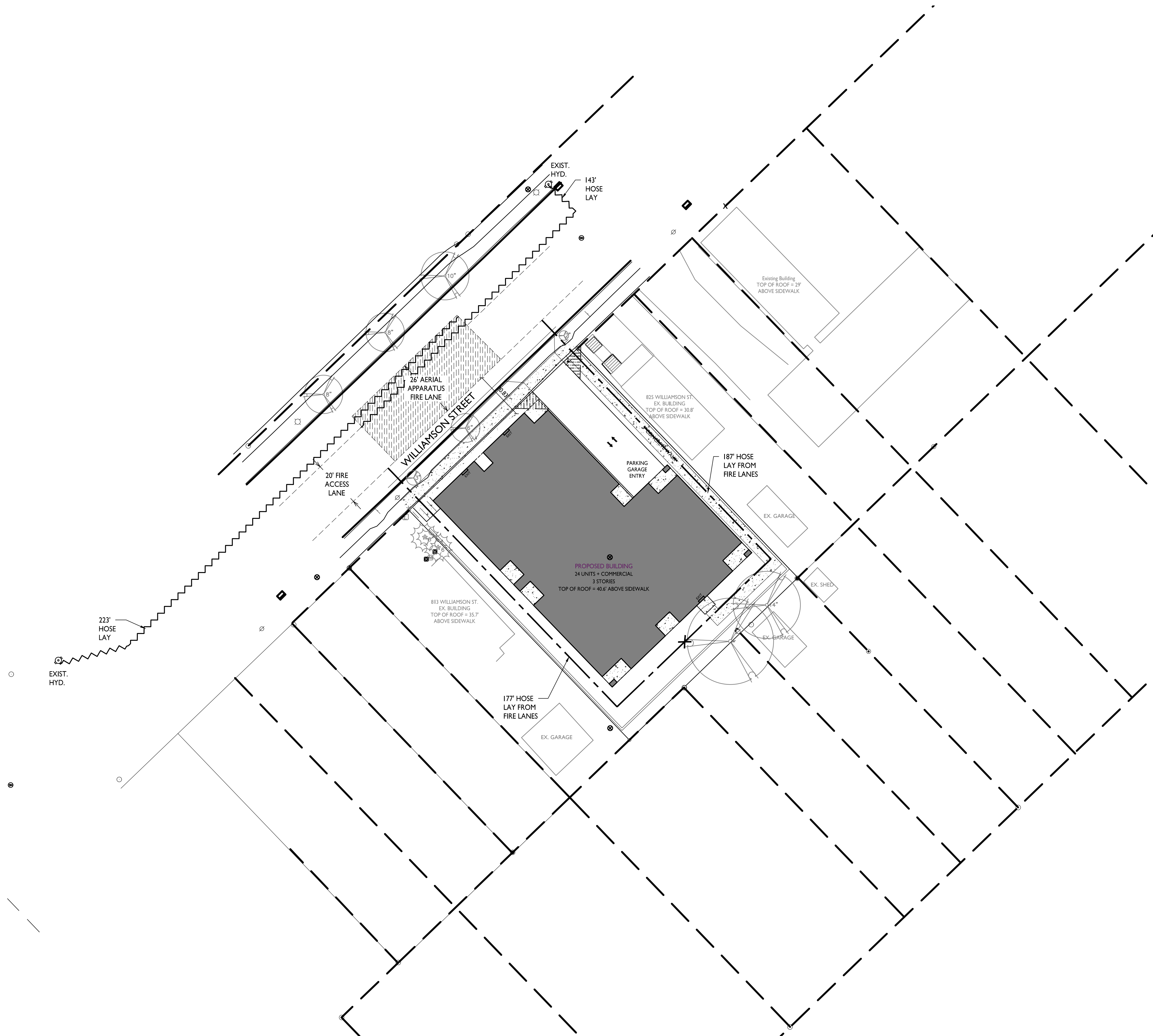
817-821 Williamson St  
Madison, Wisconsin  
SHEET TITLE  
**Fire Department  
Access Plan**

SHEET NUMBER

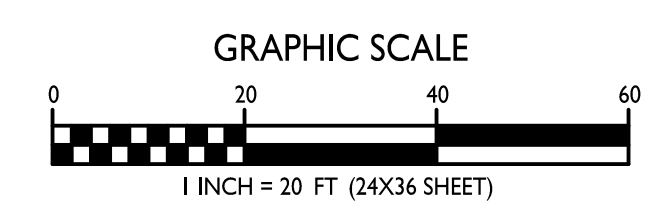
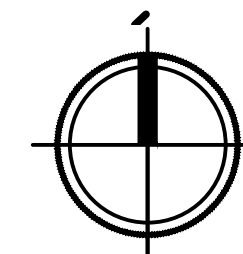
**C-1.3**

PROJECT NO. **2003**

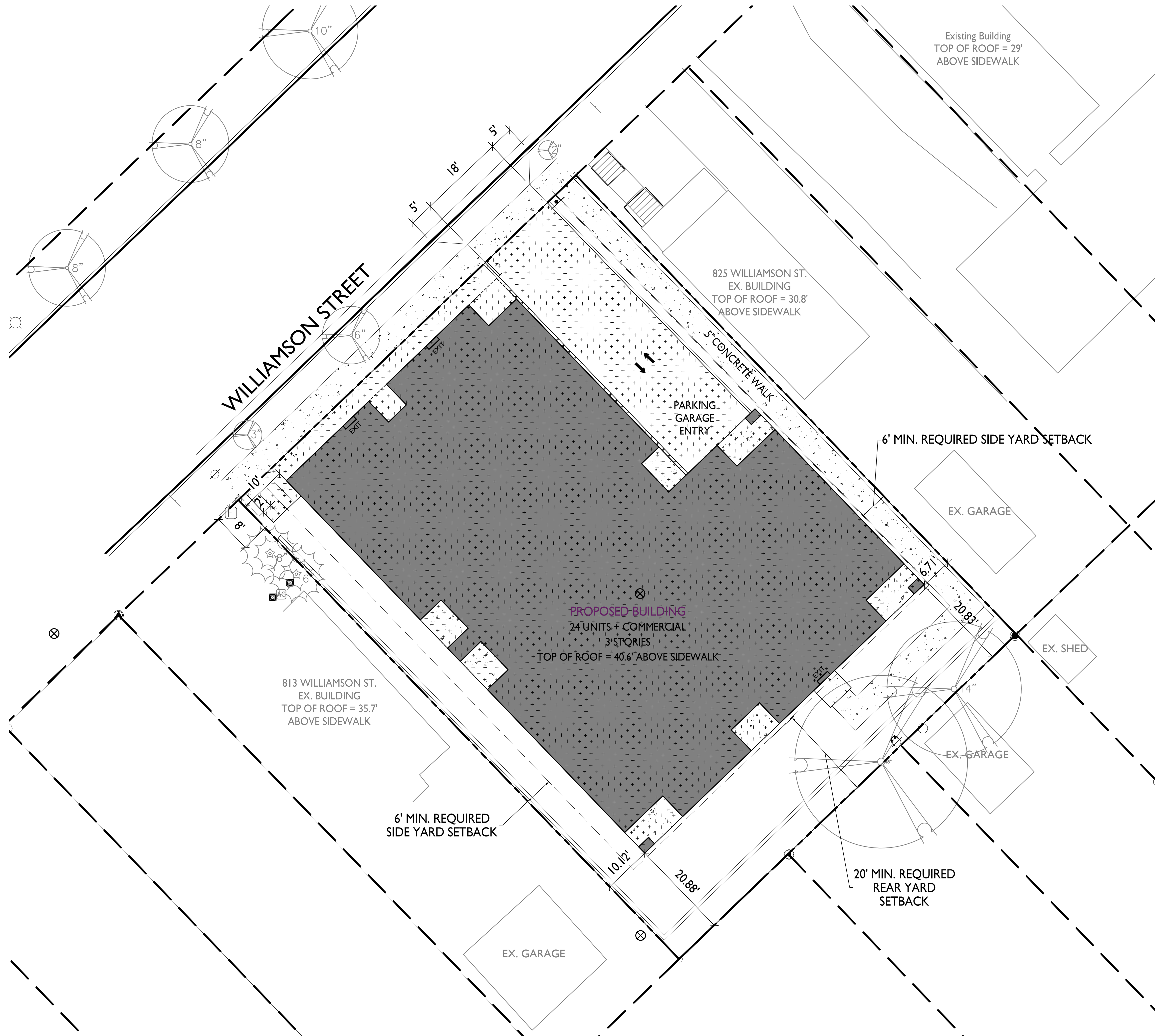
© Knothe & Bruce Architects, LLC



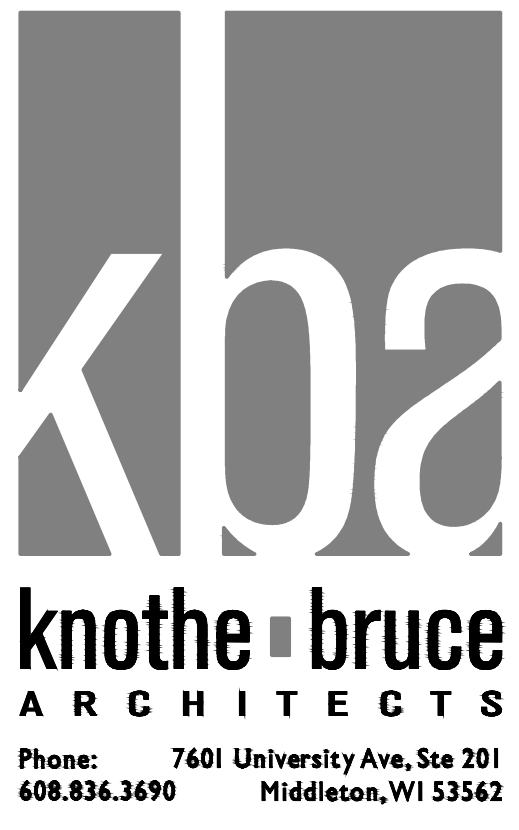
**FIRE DEPARTMENT ACCESS PLAN**  
1" = 20'-0"







LOT COVERAGE	
ZONING:	TSS - TRADITIONAL SHOPPING STREET DISTRICT
TOTAL LOT AREA	12,870 S.F.
MAX. ALLOWED	10,940 S.F. (85%)
PROPOSED LOT COVERAGE	9,015 S.F. (70%)



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Issued for Land Use Submittal - May 6, 2020  
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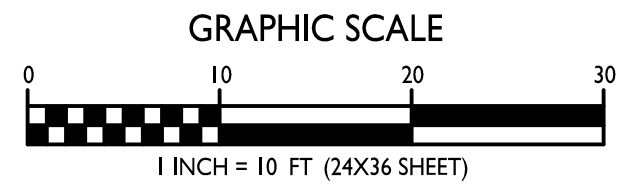
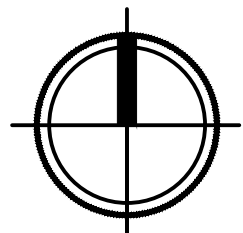
PROJECT TITLE  
**John Fontain  
Development**

817-821 Williamson St  
Madison, Wisconsin  
SHEET TITLE  
**Lot Coverage**

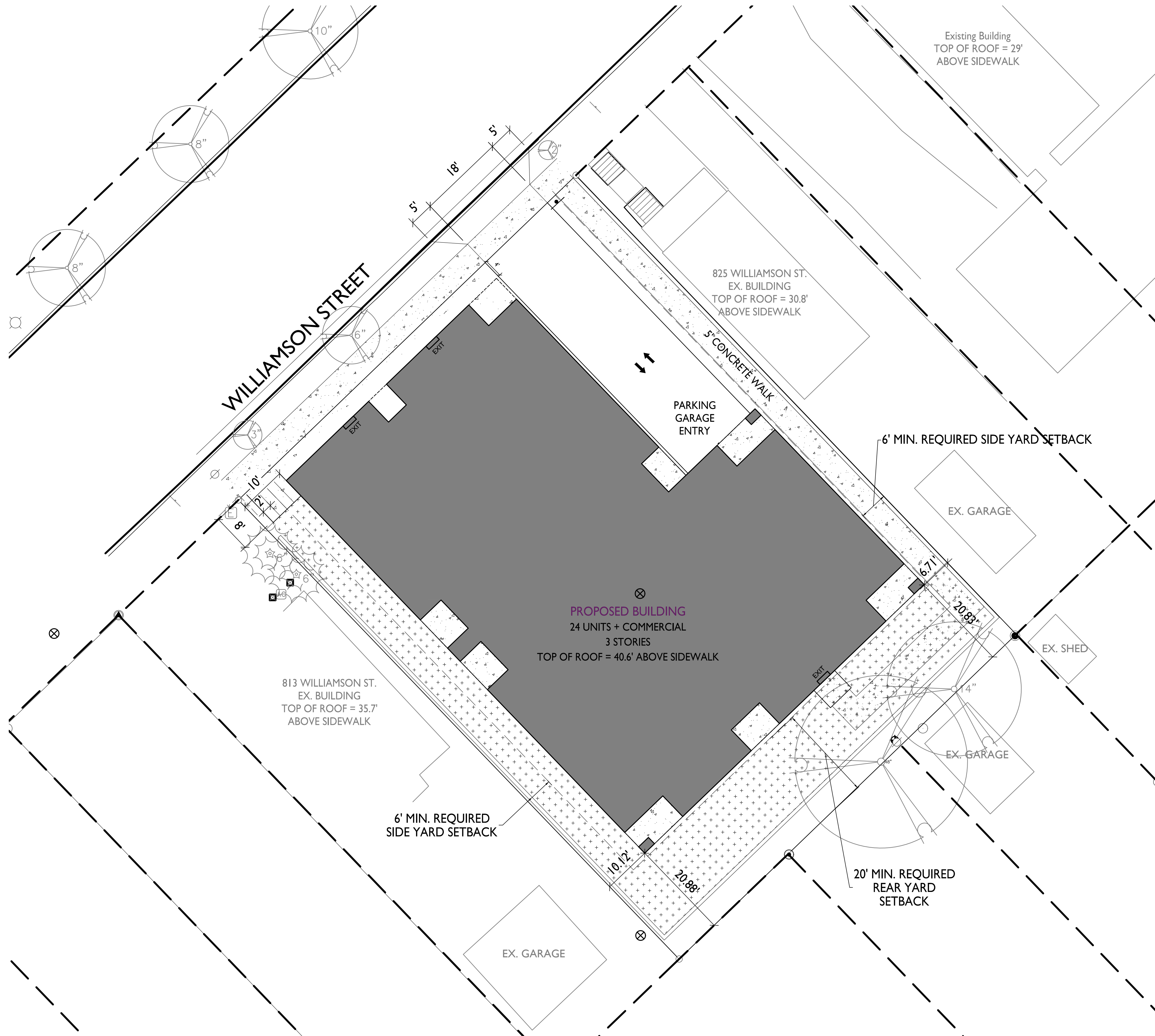
SHEET NUMBER

**C-1.4**  
PROJECT NO. **2003**  
© Knothe & Bruce Architects, LLC

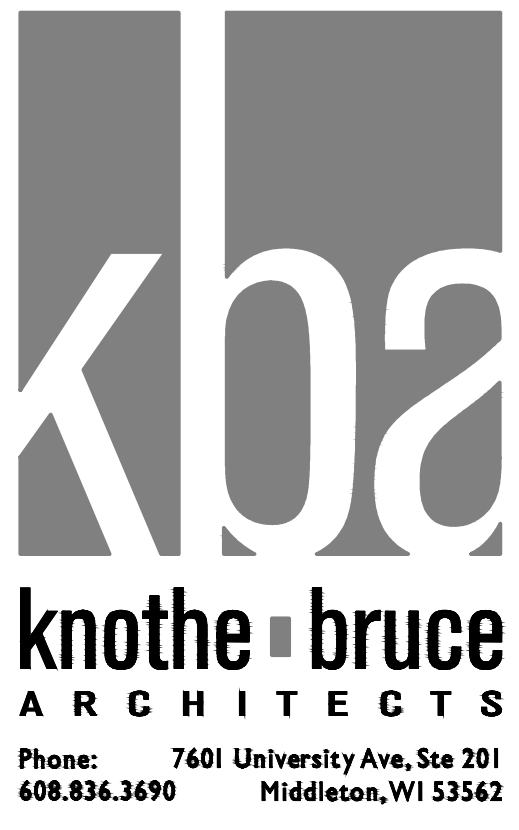
**LOT COVERAGE**  
1" = 10'-0"







USABLE OPEN SPACE	
ZONING: TSS - TRADITIONAL SHOPPING STREET DISTRICT	
OPEN SPACE REQUIREMENT	40 S.F. / UNIT
DWELLING UNITS	24
	960 S.F. REQUIRED
OPEN SPACE PROVIDED	
ROOF DECK	240 S.F.
BALCONIES 18 X 60 S.F. =	1,080 S.F.
SURFACE	2,357 S.F.
TOTAL	3,677 S.F. PROVIDED



ISSUED  
Issued for Land Use Submittal - May 6, 2020  
Issued for Land Use Submittal - August 17, 2020

PROJECT TITLE  
**John Fontain Development**

817-821 Williamson St  
Madison, Wisconsin  
SHEET TITLE  
**Usable Open Space**

SHEET NUMBER

**C-1.5**  
PROJECT NO. **2003**  
© Knothe & Bruce Architects, LLC

USABLE OPEN SPACE  
1" = 10'-0"

GRAPHIC SCALE  
0 10 20 30  
1 INCH = 10 FT (24X36 SHEET)



NOT FOR CONSTRUCTION

GENERAL NOTES:

- 1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
5. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
6. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION http://www.cityofmadison.com/business/pw/documents/stdspecs/2018/part1.pdf. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

DEMOLITION NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDINGS.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
8. PRIOR TO DEMOLITION OCCURRING, ALL APPLICABLE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
10. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

SITE PLAN NOTES:

- 1. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT.
2. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
3. TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY, AND LOCAL CODE, WHICHEVER HAS JURISDICTION.
4. CITY SIDEWALK AND CURB DAMAGED IN THE COURSE OF CONSTRUCTION TO BE REPLACED PER GRADING PLAN AND PER CITY OF MADISON STANDARD SPECIFICATIONS.
5. NEW APRONS SHALL BE CONSTRUCTED AND PLACED IN CONFORMANCE WITH THE CITY OF MADISON STANDARD DETAIL 3.02 FOR COMMERCIAL OPENINGS.

GRADING PLAN NOTES:

- 1. ALL GRADES ARE FINISH ELEVATION UNLESS NOTED OTHERWISE.

EROSION CONTROL NOTES/SPECIFICATIONS:

- 1. EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
2. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
3. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. INSPECTION SCHEDULE AND RECORD KEEPING SHALL COMPLY WITH NR 216.46(9), WIS. ADM. CODE AND CITY OF MADISON REPORTING REQUIREMENTS.
4. CONSTRUCTION ENTRANCES - PROVIDE A STONE TRACKING PAD AT EACH POINT OF ACCESS. INSTALL ACCORDING TO WDNR STANDARD 1057. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST\_STANDARDS.HTML. THE TRACKING PAD MUST BE MAINTAINED IN A CONDITION THAT PREVENTS THE TRACKING OF MATERIAL ONTO THE PUBLIC STREET.
5. TEMPORARY STABILIZATION USING ANIONIC POLYMER. AFTER NOVEMBER 1, 2020, ANIONIC POLYACRYLAMIDE WILL BE APPLIED TO ALL DISTURBED AREAS WHERE THE MUNICIPALITY'S ENGINEER OR WDNR REPRESENTATIVES DEEM STABILIZATION AND/OR EROSION TO BE PROBLEMATIC. APPLICATION OF POLYACRYLAMIDE WILL BE ACCORDING TO WDNR CONSERVATION PRACTICE STANDARD 1050, EROSION CONTROL LAND APPLICATION OF ANIONIC POLYACRYLAMIDE. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST\_STANDARDS.HTML
6. SOIL STOCKPILES - A ROW OF SILT FENCE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM THE STOCKPILE SHALL PROTECT ALL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED & MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS OR SIMILAR MATERIAL. NO STOCKPILE SHALL BE PLACED WITHIN 20 FEET OF A DRAINAGE WAY.
7. DEWATERING - WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, GEOTEXTILE BAG, OR AN EQUIVALENT DEVICE. SHOW ON THE PLAN THE ANTICIPATED LOCATIONS OF DEWATERING ACTIVITY, AND PROVIDE AN ENGINEERING DETAIL OF THE DEWATERING SYSTEM. DEVICES SHALL COMPLY WITH WDNR TECHNICAL STANDARD 1061 FOUND AT: HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST\_STANDARDS.HTML THIS WATER SHALL BE DISCHARGED IN A MANNER THAT DOES NOT INDUCE EROSION OF THE SITE OR ADJACENT PROPERTY.
PUMP SIZE (MAX GPM) TYPE I BAG SIZE (SQ-FT)
50 25
100 50
150 75
8. STORM SEWER INLETS - PROVIDE WDOT TYPE D "CATCHALL" INLET PROTECTION OR EQUIVALENT. REFER TO WDOT PRODUCT ACCEPTABILITY LIST AT: HTTP://WWW.DOT.WISCONSIN.GOV/BUSINESS/ENGRSERV/PAL.HTM. INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING SITE RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL SITE STABILIZATION IS COMPLETE.
9. BUILDING AND WASTE MATERIALS SHALL BE PREVENTED FROM RUNNING-OFF THE SITE AND ENTERING WATERS OF THE STATE IN CONFORMANCE WITH NR151.12(6M).
10. NO SOLID MATERIAL SHALL BE DISCHARGED OR DEPOSITED INTO WATERS OF THE STATE IN VIOLATION OF CH. 30 OR 31 OF THE WISCONSIN STATE STATUTES OR 33 USC 1344 PERMITS.
11. EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT: HTTP://DNR.WI.GOV/RUNOFF/STORMWATER/TECHSTD.HTM AND COMPLY WITH ALL CITY OF MADISON ORDINANCES.
12. ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE SWEEPED OR SCRAPED CLEAN BY THE END OF EACH WORKDAY.
13. ALL BUILDING AND WASTE MATERIAL SHALL BE HANDLED PROPERLY TO PREVENT RUNOFF OF THESE MATERIALS OFF OF THE SITE.
14. ALL DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED, AND MULCH. SEED MIXTURES SHALL BE SELECTED APPROPRIATE TO THE INTENDED FUNCTION. A QUALIFIED LANDSCAPING CONTRACTOR, LANDSCAPE ARCHITECT OR NURSERY CAN BE CONSULTED FOR RECOMMENDATIONS. SEEDING RATES SHALL BE BASED ON POUNDS OR OUNCES OF PURE LIVE SEED PER ACRE AND SHALL BE PROVIDED BY THE SEED SUPPLIER. FERTILIZER CAN BE APPLIED TO HELP PROMOTE GROWTH, BUT A SOIL TEST IS RECOMMENDED TO DETERMINE THE TYPE AND AMOUNT OF FERTILIZER TO BE APPLIED. ALL SEEDING AND RESTORATION SHALL BE IN CONFORMANCE TO WDNR TECHNICAL STANDARD 1059 FOUND AT HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST\_STANDARDS.HTML. SEEDING AND SODDING MAY ONLY BE USED FROM MAY 1ST TO SEPTEMBER 15TH OF ANY YEAR. TEMPORARY SEED SHALL BE USED AFTER SEPTEMBER 15. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
15. FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.

EMERGENCY CONTACT

BRANDON COOK
JOHN FONTAIN REALTY
P O BOX 694
MADISON, WI 53701
608-807-8982

SCHEDULE:

Table with 2 columns: Date and Description. Includes entries for July 13, 2020 (Silt fence and construction entrance installed), August 10, 2020 (Building excavation complete), and September 20, 2021 (Building complete).

LEGEND table listing symbols for accessible route, existing easement, property boundary, parking stall count, landscaped area, bituminous pavement, concrete pavement, spot grade, finish grade, sidewalk, edge of pavement, flow line, low point, high point, top of curb, top of wall, bottom of wall, back of walk, front of walk, exposure, proposed sanitary sewer, proposed storm sewer, proposed drain tile, proposed water lateral, utility line demolition, tree removal, existing minor contour, existing major contour, proposed minor contour, proposed major contour, proposed ridge line, proposed swale/ditch, accessible parking sign, vision triangle, no visual obstructions, riprap, construction entrance, saw cut / removal limits, disturbance limits, silt fence, check dam, diversion berm, inlet protection, and USLE flow path.

SHEET LIST TABLE with columns for sheet number and sheet title. Lists sheets C001 through C600 and their corresponding titles like CIVIL DETAILS, EROSION CONTROL, GRADING PLAN, and UTILITY PLAN.

Project information block including Burse Surveying and Engineering, Inc. logo and contact info, project details (Williamson Street, John Fontain Realty), revision dates, issue dates, drawing number (C001), and disclaimer text.

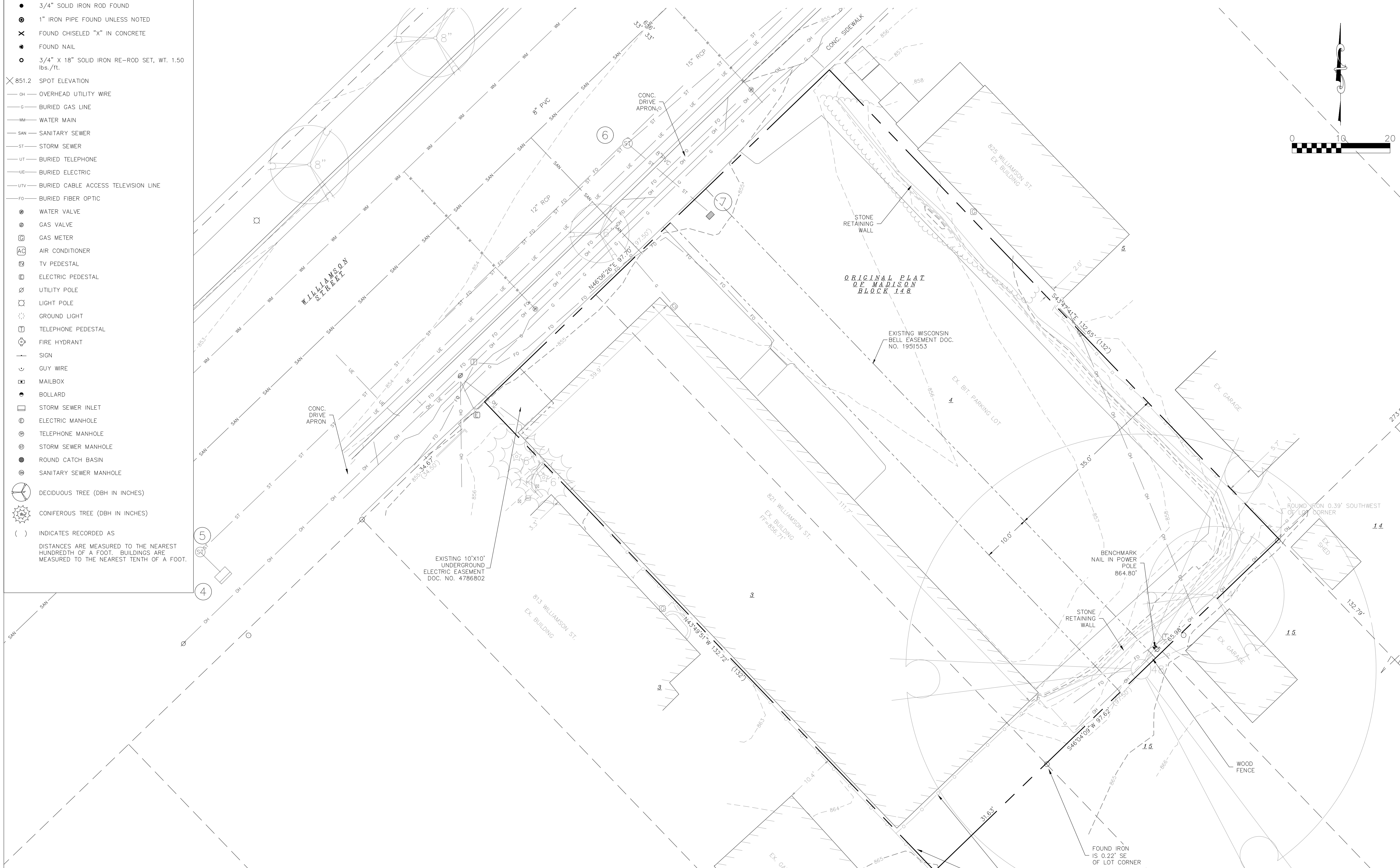
DIGGERS HOTLINE logo and contact information: Dial 811 or (800) 242-8511, www.DiggersHotline.com



# NOT FOR CONSTRUCTION

- LEGEND**
- MAG NAIL SET
  - 3/4" SOLID IRON ROD FOUND
  - ⊙ 1" IRON PIPE FOUND UNLESS NOTED
  - ✕ FOUND CHISELED "X" IN CONCRETE
  - FOUND NAIL
  - 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
  - ✕ B51.2 SPOT ELEVATION
  - OH — OVERHEAD UTILITY WIRE
  - G — BURIED GAS LINE
  - WM — WATER MAIN
  - SAN — SANITARY SEWER
  - ST — STORM SEWER
  - UT — BURIED TELEPHONE
  - UE — BURIED ELECTRIC
  - UTV — BURIED CABLE ACCESS TELEVISION LINE
  - FO — BURIED FIBER OPTIC
  - ⊙ WATER VALVE
  - ⊙ GAS VALVE
  - ⊙ GAS METER
  - ⊙ AC AIR CONDITIONER
  - ⊙ TV PEDESTAL
  - ⊙ ELECTRIC PEDESTAL
  - ⊙ UTILITY POLE
  - ⊙ LIGHT POLE
  - ⊙ GROUND LIGHT
  - ⊙ TELEPHONE PEDESTAL
  - ⊙ FIRE HYDRANT
  - ⊙ SIGN
  - ⊙ GUY WIRE
  - ⊙ MAILBOX
  - ⊙ BOLLARD
  - ⊙ STORM SEWER INLET
  - ⊙ ELECTRIC MANHOLE
  - ⊙ TELEPHONE MANHOLE
  - ⊙ STORM SEWER MANHOLE
  - ⊙ ROUND CATCH BASIN
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ DECIDUOUS TREE (DBH IN INCHES)
  - ⊙ CONIFEROUS TREE (DBH IN INCHES)
  - ( ) INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

ALL OF LOT 4 AND PART OF LOT 3, BLOCK 148, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS, ON PAGE 3, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



**Williamson**  
SEWER STRUCTURE ELEVATION TABLE

NUMBER	RIM/TC	DEPTH	ELEVATION	SIZE	MATERIAL	DEPTH	ELEVATION	SIZE	MATERIAL	DEPTH	ELEVATION	SIZE	MATERIAL	DEPTH	ELEVATION	SIZE	MATERIAL	DESCRIPTION					
1	853.92	7.21	SW	846.71	8"	PVC	7.27	NW	846.65	8"	PVC	7.29	NE	846.63	8"	PVC	7.25	SE	846.67	8"	PVC	San MH-Livingston & Williamson	
2	853.87	9.53	SW	844.34	8"	PVC	9.54	NE	844.33	8"	PVC	10.54	NE	844.09	8"	PVC	10.57	SE	844.06	8"	PVC	San MH-Mid Block	
3	854.63	10.55	SW	844.08	8"	PVC	10.57	NW	844.06	10"	PVC	10.57	SE	844.06	8"	PVC						San MH-Paterson & Williamson	
4	854.18	4.03	NW	850.15			3.36	SE	850.82													Curb Inlet @ 811 Williamson	
5	853.65	3.68	SW	849.97		Sediment filled	3.57	NE	850.08	12"	Sediment filled	3.65	SE	850.00	12"	Sediment filled							ST MH @ 811 Williamson
6	854.30	3.26	SW	851.04	12"	Sediment filled	3.29	NW	851.01		Sediment filled	3.35	NE	850.95	12"	Sediment filled							ST MH @ 821 Williamson
7	854.75	3.38	NW	851.37	8"	PVC	2.04	SE	852.71	4"	Metal											Private 4x2' Square CB	
8	854.85	2.96	SE	851.89				SW														Curb Inlet @ 831 Williamson	

**Burse**  
Surveying and Engineering, Inc.  
2801 International Lane, Suite 101  
Madison, WI 53704  
Phone: 608-250-9263  
Fax: 608-250-9266  
e-mail: Mburse@BSE-INC.net  
www.bursesurveyeng.com

APPROVALS	PROJECT ENG	MLB	DESIGNED BY	MLB	DRAWN BY	CPB	CHECKED BY	CPB	DATE	05/05/2020
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**Williamson Street**  
817/821 Williamson Street  
Madison, WI 53703  
**John Fountain Realty**  
P.O. Box 694  
Madison, WI 53701

PROJECT #: BSE2240  
PLOT DATE: 05/05/2020

REVISION DATES:

ISSUE DATES:  
02/28/2020  
PC SUBMITTAL 05/06/2020

EXISTING CONDITIONS

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DRAWING NUMBER

**C100**

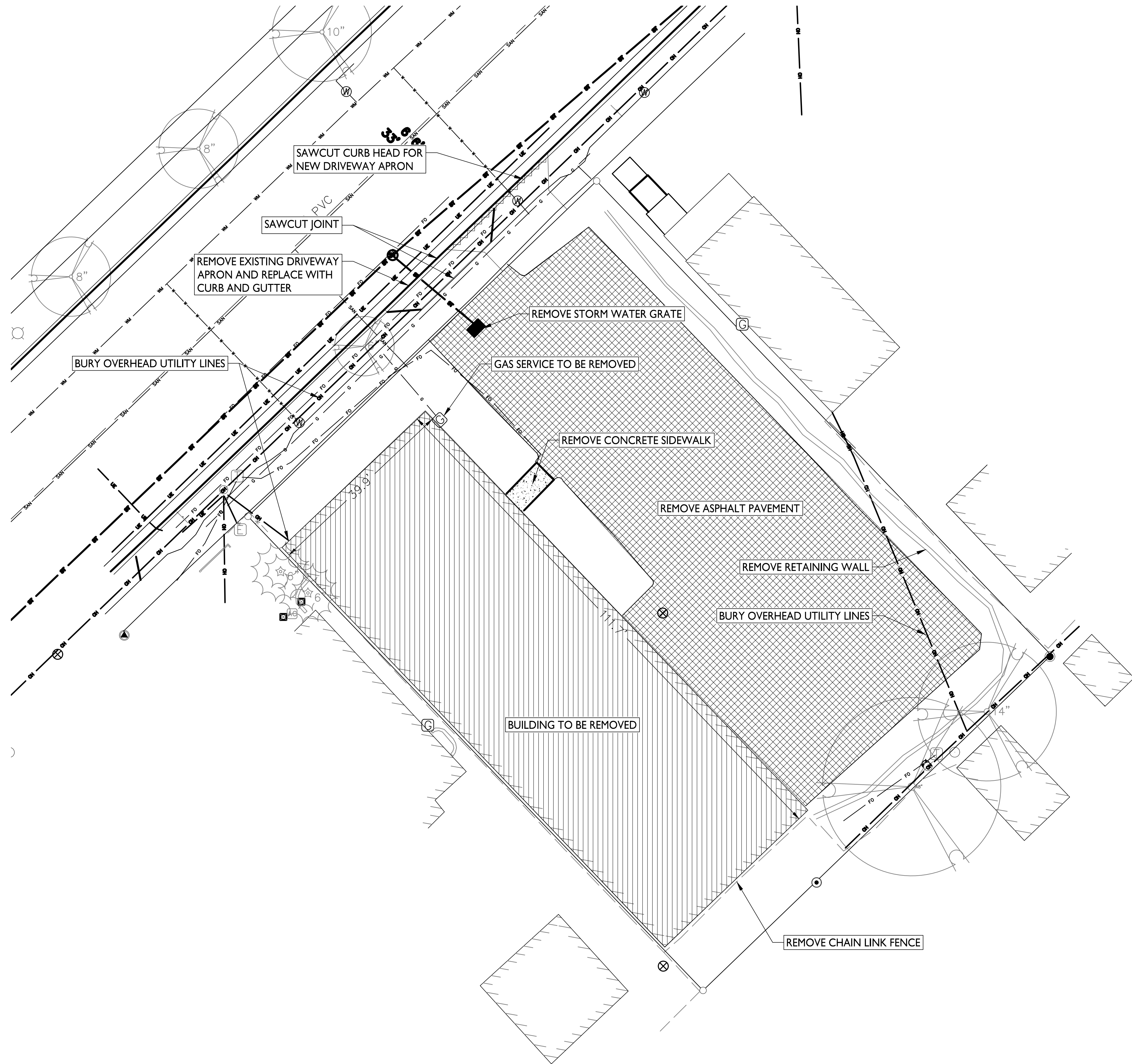
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ARCHITECTS

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608.836.3690 Middleton, WI 53562



- DEMOLITION PLAN LEGEND**
- CURB & GUTTER REMOVAL
  - ASPHALT REMOVAL
  - CONCRETE REMOVAL
  - BUILDING REMOVAL
  - SAWCUT
  - UTILITY STRUCTURE REMOVAL
  - UTILITY LINE REMOVAL
  - TREE REMOVAL

ISSUED  
Issued for Land Use Submittal - May 6, 2020

PROJECT TITLE  
**John Fontain  
Development**

817-821 Williamson St  
Madison, Wisconsin  
SHEET TITLE  
**Demolition Plan**

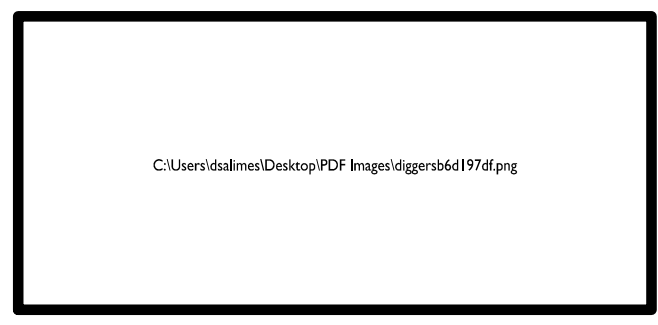
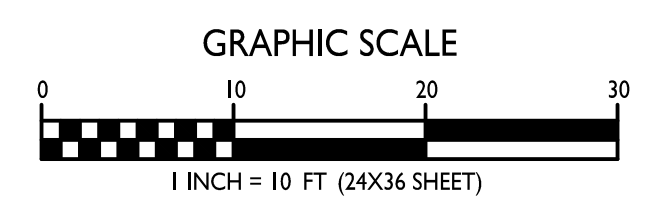
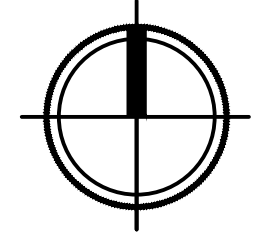
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**C- 200**

PROJECT NO. **2003**

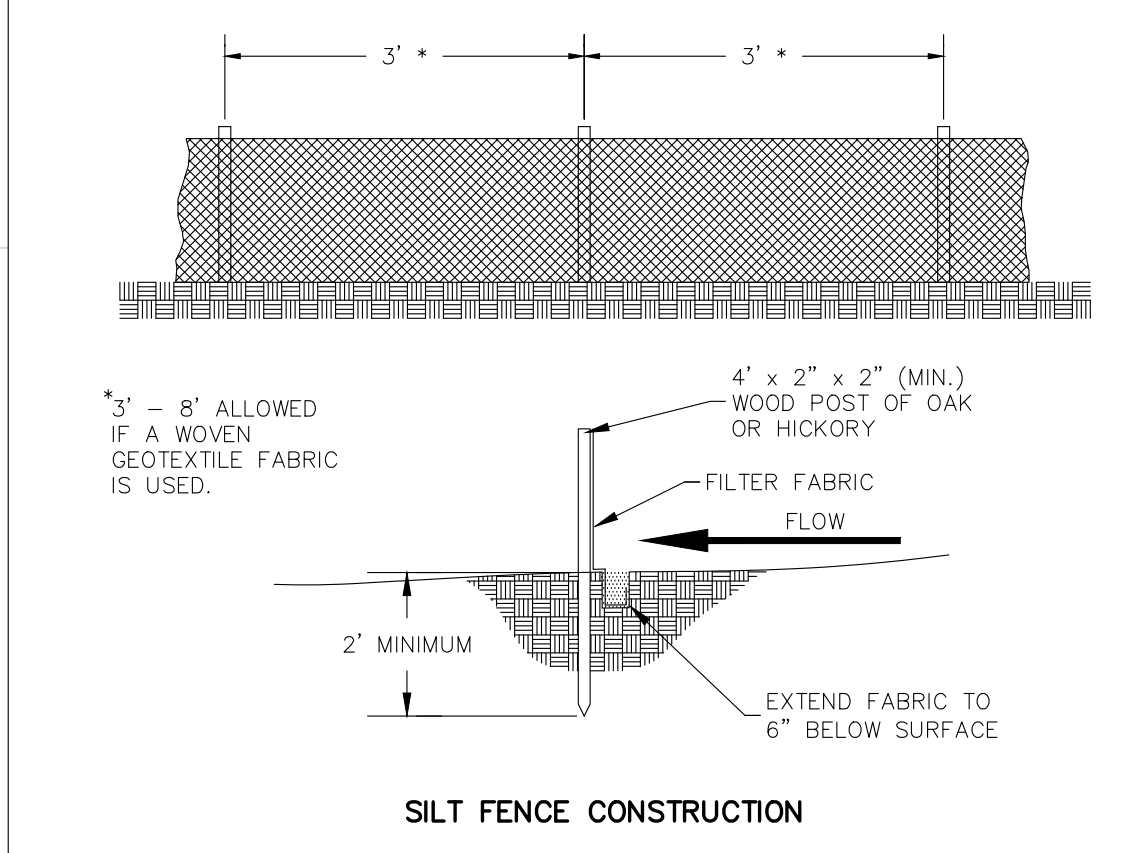
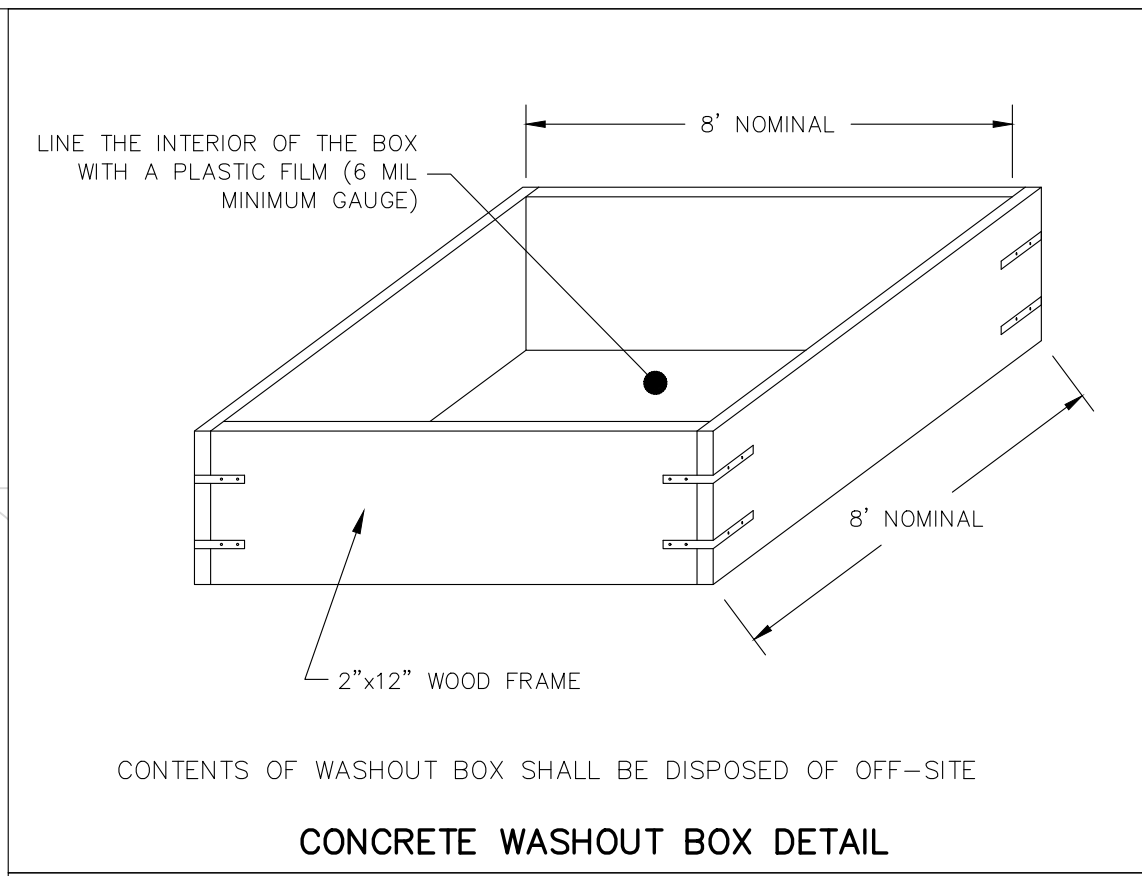
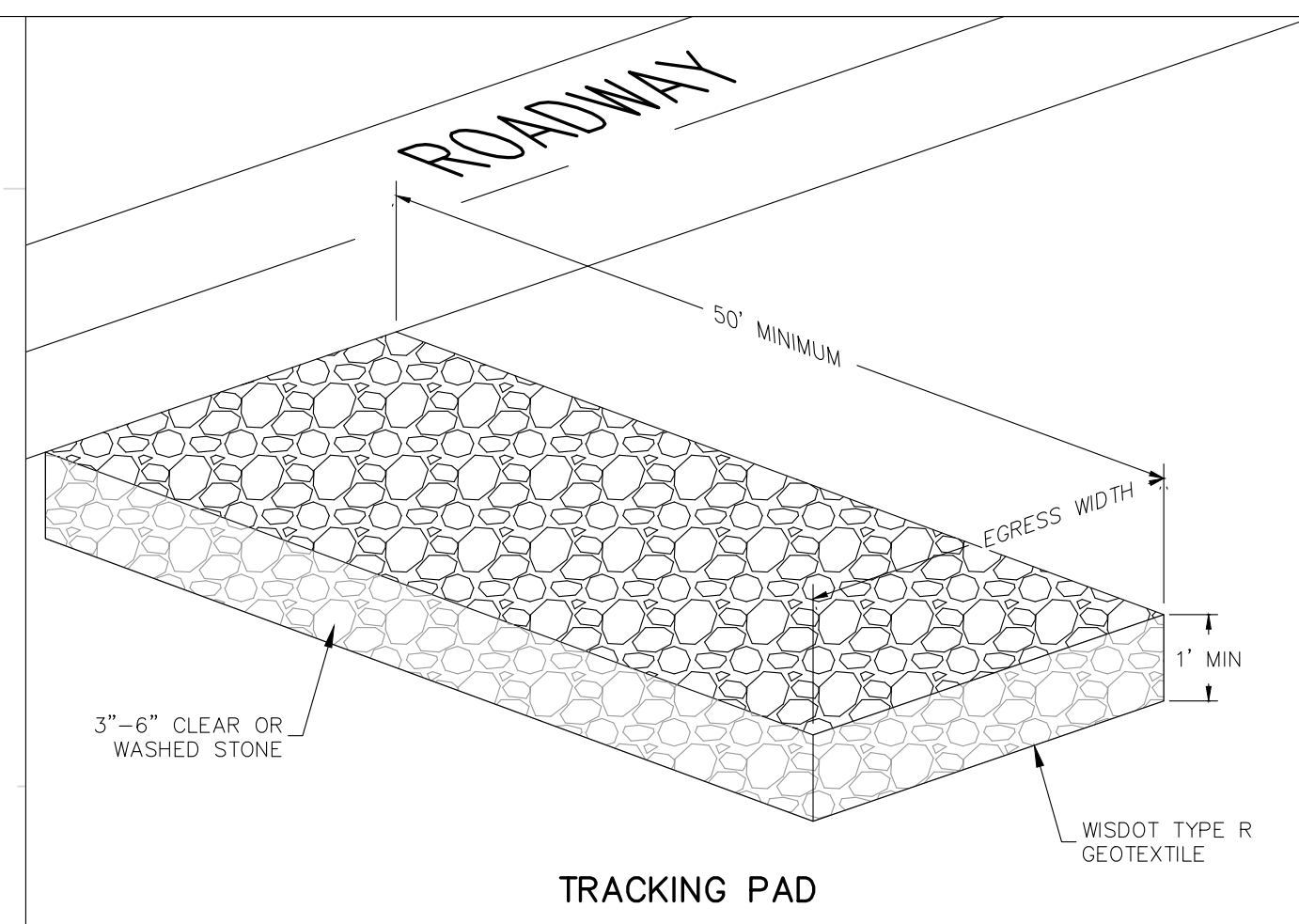
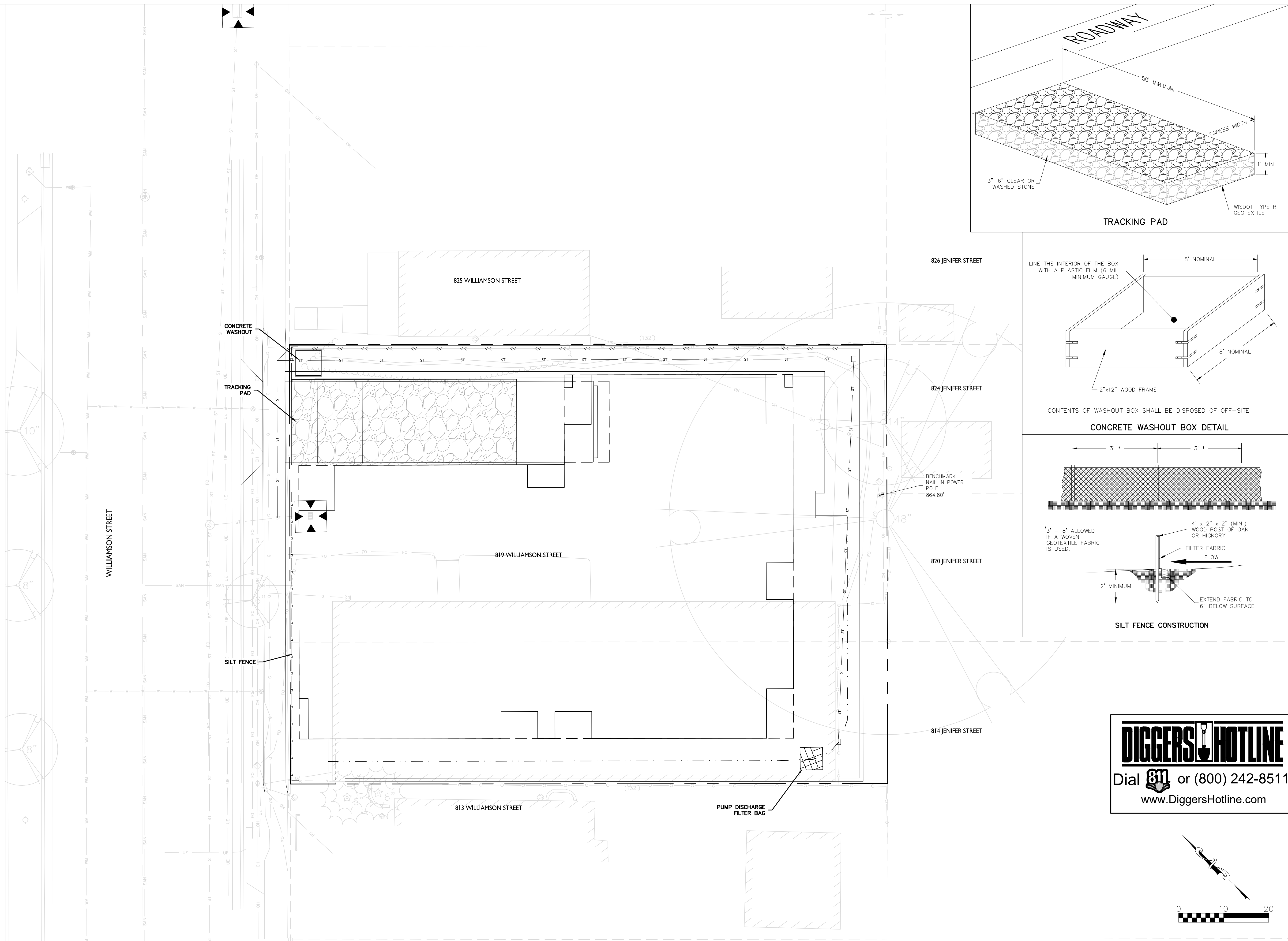
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**DEMOLITION PLAN**  
1" = 10'-0"

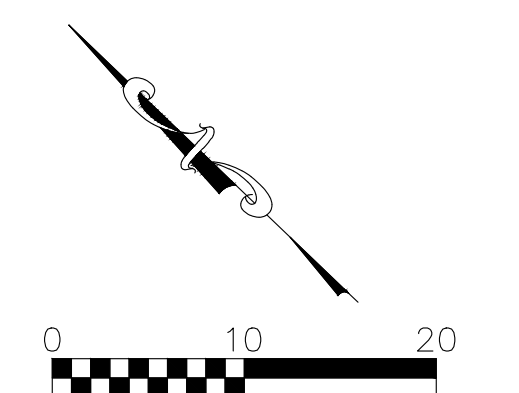


THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER THEY ARE SHOWN ON THESE PLANS OR NOT. BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

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APPROVALS	PROJECT ENG	MLB
DESIGNED BY	MLB	
DRAWN BY	CBP	
CHECKED BY	CBP	
DATE	05/06/2020	
PROJECT #	BSE2240	
PLOT DATE	05/05/2020	
REVISION DATES:		
ISSUE DATES:	02/28/2020	
PC SUBMITTAL	05/06/2020	
EROSION CONTROL		
DRAWING NUMBER	C300	

**Williamson Street**  
 817/821 Williamson Street  
 Madison, WI 53703  
**John Fountain Realty**  
 P.O. Box 694  
 Madison, WI 53701

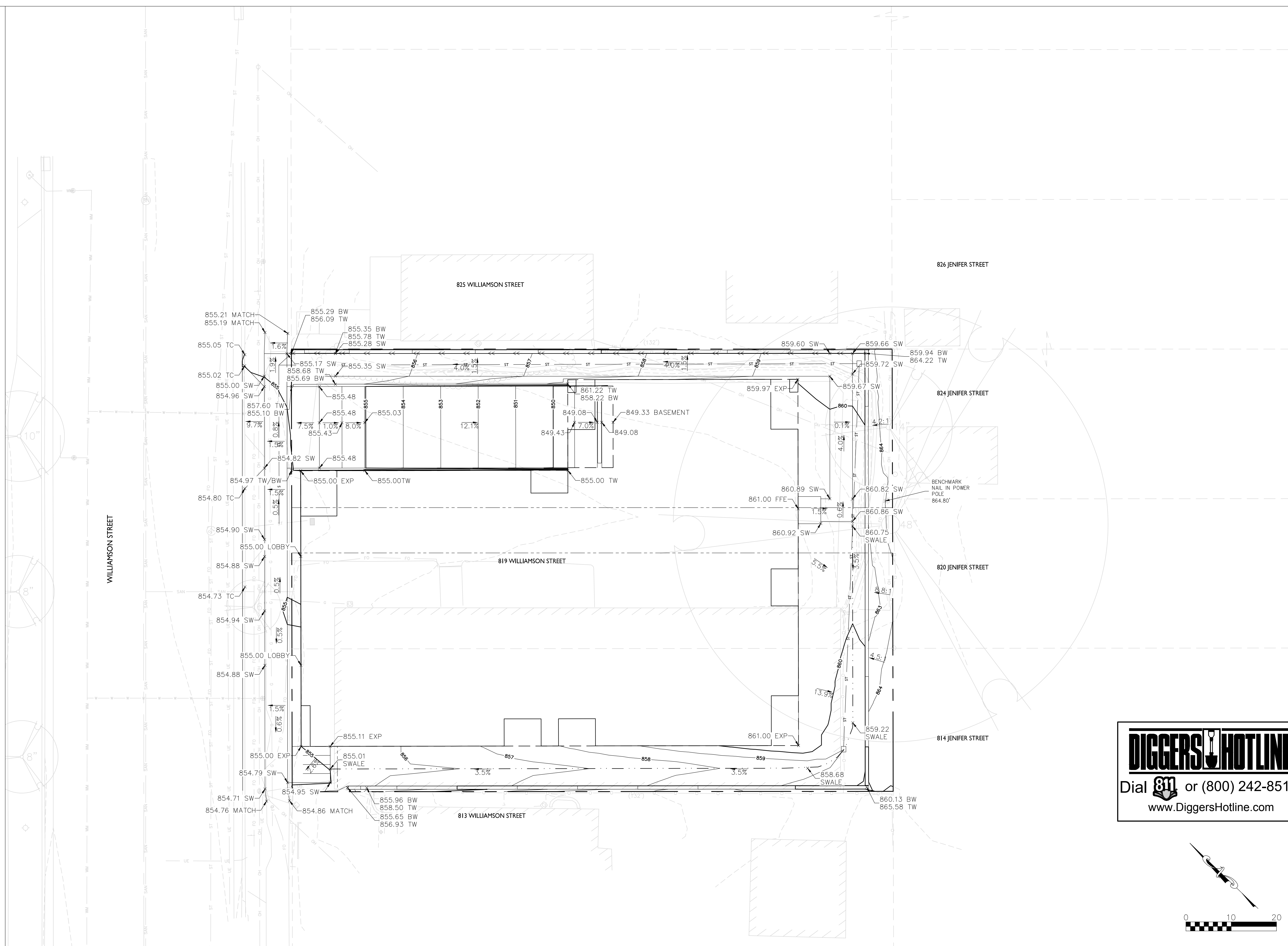
PROJECT # : BSE2240  
 PLOT DATE : 05/05/2020  
 REVISION DATES :  
 ISSUE DATES : 02/28/2020  
 PC SUBMITTAL 05/06/2020  
 EROSION CONTROL  
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APPROVALS	PROJECT ENG.	MLB	DESIGNED BY	CRB	DRAWN BY	CPB	CHECKED BY	PDF	APPROVED	MLB
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**Williamson Street**  
817/821 Williamson Street  
Madison, WI 53703

**John Fountain Realty**  
P.O. Box 694  
Madison, WI 53701

PROJECT #:	BSE2240
PLOT DATE:	05/05/2020
REVISION DATES:	

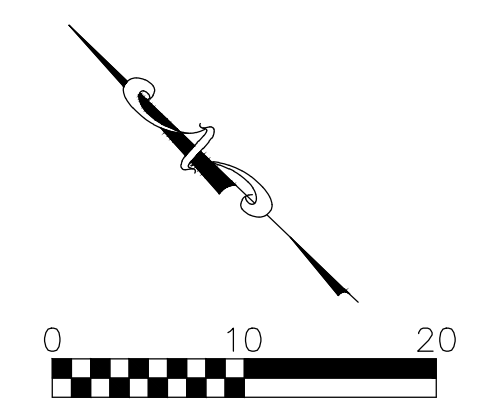
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PC SUBMITTAL	05/06/2020

GRADING PLAN

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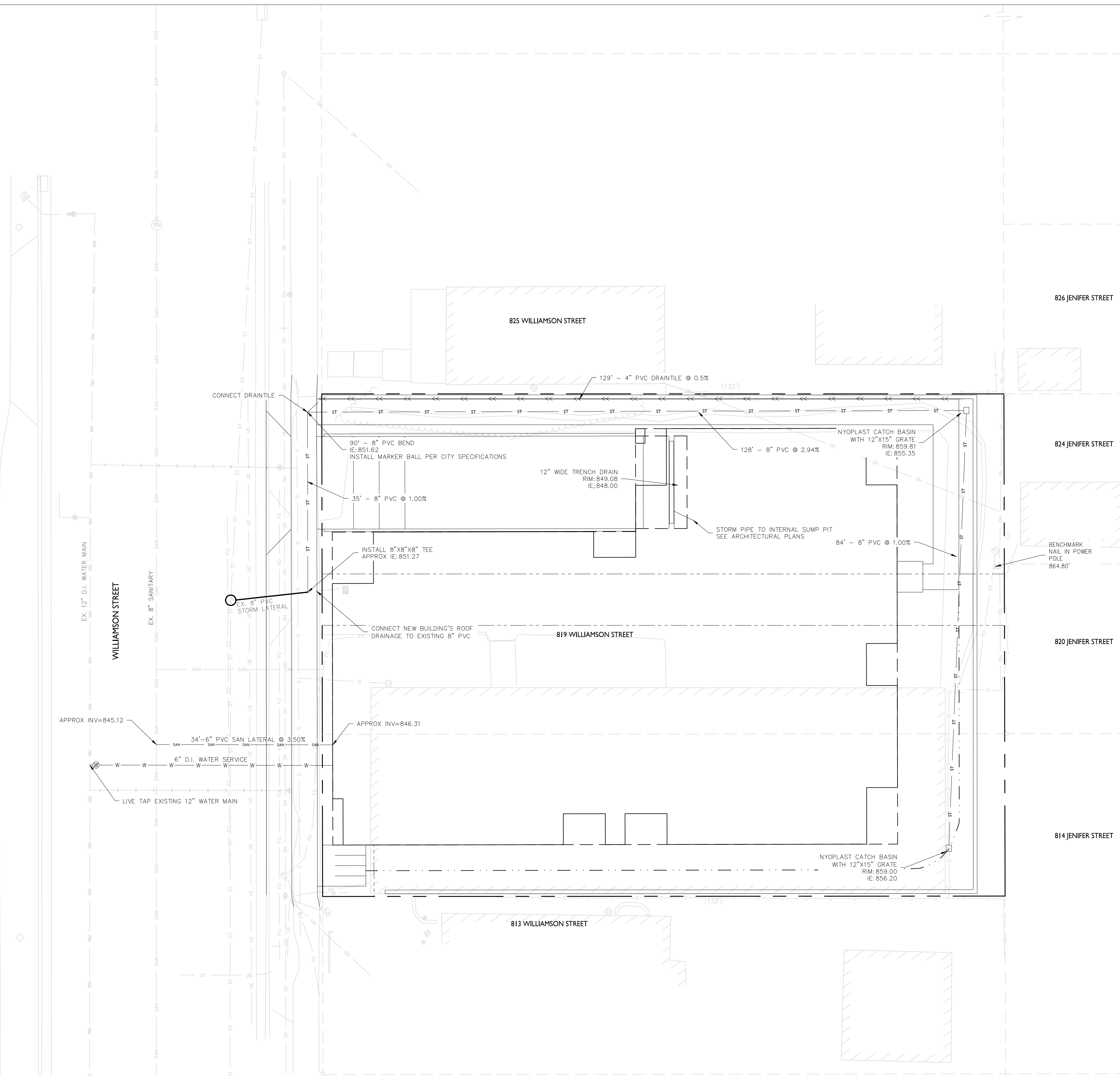
DRAWING NUMBER  
**C500**

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# NOT FOR CONSTRUCTION



**GENERAL NOTES:**

- ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
- CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
- ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. <http://www.cityofmadison.com/business/pw/documents/stdspecs/2018/part1.pdf> ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

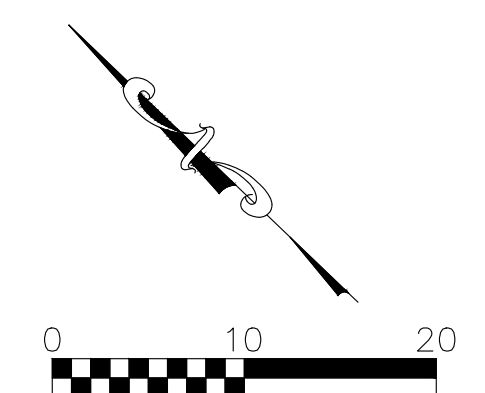
**UTILITY PLAN NOTES:**

- ALL WORK WITHIN THE CITY RIGHT OF WAY AND EASEMENTS SHALL BE COMPLIANT WITH THE CITY OF MADISON STANDARD SPECIFICATIONS CURRENT AT THE TIME OF CONSTRUCTION.
- UTILITY INSTALLATION SHALL BE COORDINATED WITH ENGINEER AT LEAST 4 WEEKS PRIOR TO INSTALLATION TO ENSURE BUILDING INSPECTION APPROVAL IS OBTAINED.
- SANITARY SEWER AND WATER MAIN CONSTRUCTION AND MATERIALS SHALL CONFORM WITH THE CITY OF MADISON STANDARD SPECIFICATIONS.
- ALL UNUSED EXISTING WATER AND SANITARY LATERALS SERVING THE SUBJECT PROPERTY SHALL BE CAPPED/ABANDONED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.

**LEGEND**

---	EXISTING EASEMENT
---	PROPERTY BOUNDARY
--- SAN --- SAN --- SAN	PROPOSED SANITARY SEWER
--- ST --- ST --- ST	PROPOSED STORM SEWER
--->>>---	PROPOSED DRAIN TILE
--- W --- W --- W --- W	PROPOSED WATER LATERAL
--- SAN --- SAN	EXISTING SANITARY SEWER
--- ST --- ST	EXISTING STORM SEWER
--- WM --- WM	EXISTING WATER MAIN
--- OH --- OH	EXISTING OVERHEAD FACILITY
--- UE --- UE	EXISTING UNDERGROUND ELECTRIC
--- C --- C --- C --- C	EXISTING BURIED GAS
--- FO --- FO	EXISTING FIBER OPTIC

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APPROVALS: PROJECT ENG: \_\_\_\_\_ MLB: \_\_\_\_\_  
 DESIGNED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ CFB: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_ PDF: \_\_\_\_\_  
 APPROVED: \_\_\_\_\_

---

**Williamson Street**  
 817/821 Williamson Street  
 Madison, WI 53703

**John Fountain Realty**  
 P.O. Box 694  
 Madison, WI 53701

---

**PROJECT #: BSE2240**  
**PLOT DATE: 05/05/2020**

**REVISION DATES:**

---

**ISSUE DATES:**  
 02/28/2020  
 PC SUBMITTAL 05/06/2020

---

UTILITY PLAN

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**DRAWING NUMBER**  
**C600**



**PLANT LIST**

KEY	QUAN	SIZE	COMMON NAME	ROOT
EA	(2)	12" +	Canopy Trees Existing Aspen	EX
ABS	(3)	2"	Ornamental Trees Autumn Brilliance Serviceberry	BB
AVB	(55)	34"	Deciduous Shrubs Arrowwood Viburnum	BB
BC	10	24"	Black Chokeberry	Pot
DBH	22	18"	Dwarf Bush Honeysuckle	Pot
TWN	6	24"	Tiny Wine Ninebark	Pot
WS	12	24"	White Snowberry	Pot
TA	(5)	5'	Upright evergreen Shrubs Emerald Arborvitae	BB
H	(32)	1 G	Perennials Hosta	BB

- NOTES:**
- 1) New lawn areas and existing lawn areas disturbed by construction shall receive a minimum of 4" of topsoil, seed (Madison Parks mix), starter fertilizer, and mulch (straw or straw mat).
  - 2) New turf areas shall receive a minimum of 4" of topsoil, seed (no mow turf mix), starter fertilizer, and mulch (straw or straw mat).
  - 3) Designated planting beds to be mulched with #2 shredded hardwood bark spread to a depth of 3".
  - 4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4" diameter) spread to a depth of 3".
  - 5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.

**LANDSCAPE WORKSHEET**

<b>Landscape Points Required</b>	
Developed Area =	9,015 SF
Landscape Points: 9,015/300 x 5 =	150 points
<b>Total Landscape Points Required</b>	<b>150 points</b>

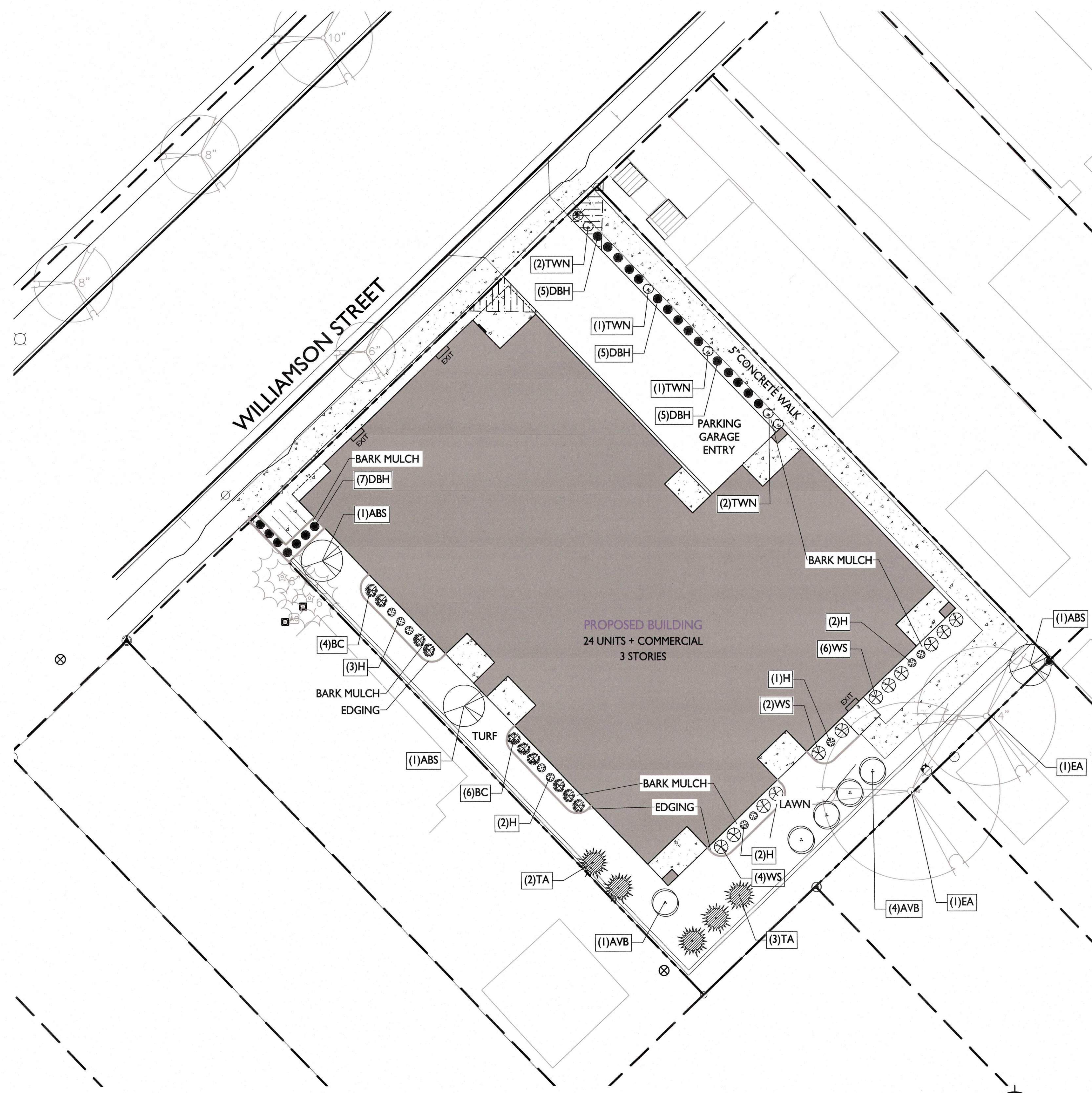
<b>Landscape Points Supplied</b>	
Existing canopy trees - 2 @ 35 =	70 points
Existing specimen canopy trees - 0 @ 200 =	0 points
Proposed canopy trees - 0 @ 35 =	0 points
Existing evergreen trees - 0 @ 35 =	0 points
Proposed evergreen trees - 0 @ 35 =	0 points
Existing ornamental trees - 0 @ 15 =	0 points
Proposed ornamental trees - 3 @ 15 =	45 points
Existing upright evergreen shrubs - 0 @ 10 =	0 points
Proposed upright evergreen shrubs - 5 @ 10 =	50 points
Existing deciduous shrubs - 0 @ 3 =	0 points
Proposed deciduous shrubs - 55 @ 3 =	165 points
Existing evergreen shrubs - 0 @ 4 =	0 points
Proposed evergreen shrubs - 0 @ 4 =	0 points
Existing perennials & grasses 0 @ 2 =	0 points
Proposed perennials & grasses 32 @ 2 =	64 points
<b>Total landscape points supplied =</b>	<b>394 points</b>

**Lot Frontage Landscape Required**  
 (Section 28.142(5) Development Frontage Landscaping)

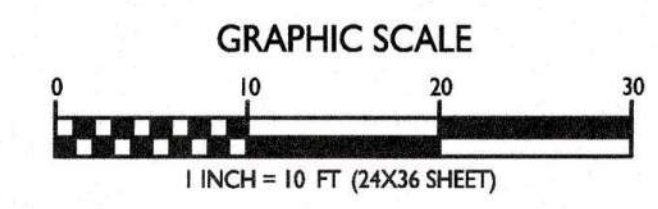
"One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree."

Williamson Street = 98 LF

(Not Applicable - Zero lot line - no planting areas along lot frontage.)



**LANDSCAPE PLAN**  
 L-1.1 1" = 10'-0"



ISSUED  
 Issued for Land Use Submittal - May 6, 2020

PROJECT TITLE  
**John Fontain Development**



817-821 Williamson St  
 Madison, Wisconsin  
 SHEET TITLE  
**Landscape Plan**

SHEET NUMBER

**L-1.1**





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KEY PLAN

ISSUED  
Issued for Landmarks - August 04, 2020

PROJECT TITLE  
**John Fontain  
Development**

817-821 Williamson  
Street, Madison  
Wisconsin

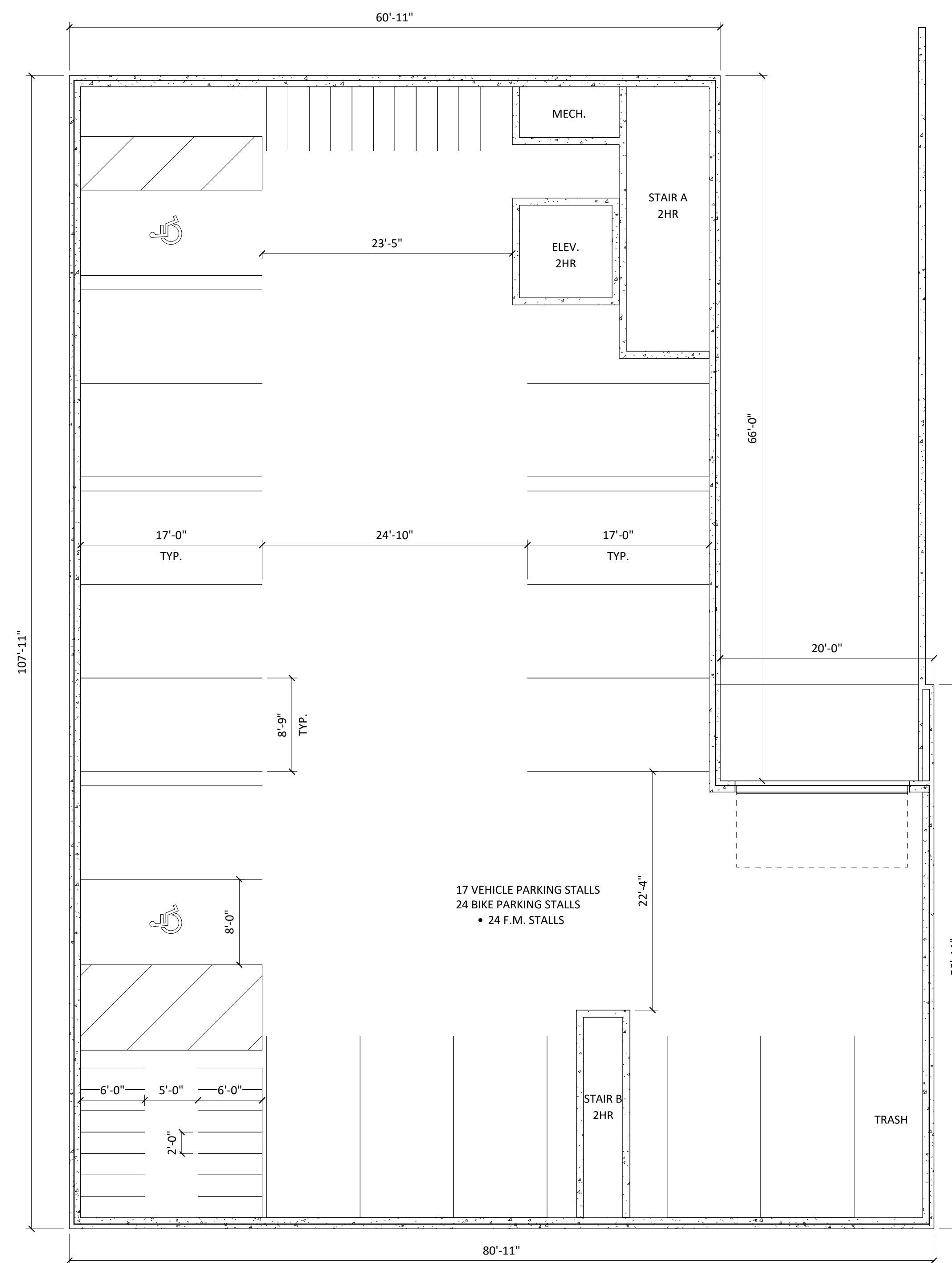
SHEET TITLE  
**BASEMENT  
FLOOR PLAN**

SHEET NUMBER

**A-1.0**

PROJECT NUMBER **2003**

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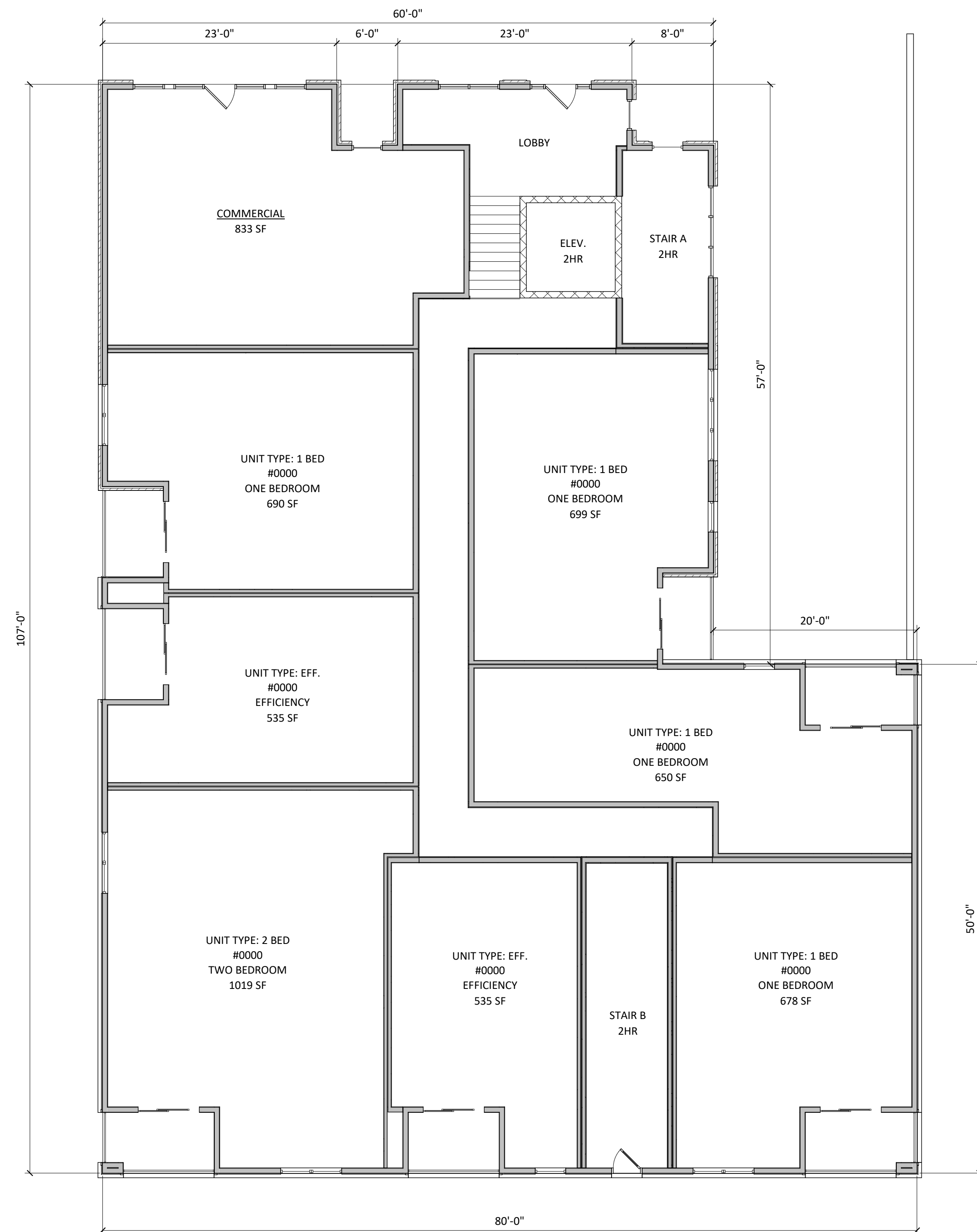
**1** BASEMENT FLOOR PLAN  
A-1.0 1/8" = 1'-0"



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KEY PLAN



1 FIRST FLOOR PLAN  
A-1.1 1/8" = 1'-0"

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Issued for Landmarks - August 04, 2020

PROJECT TITLE  
**John Fontain  
Development**

817-821 Williamson  
Street, Madison  
Wisconsin

SHEET TITLE  
**FIRST FLOOR  
PLAN**

SHEET NUMBER

**A-1.1**

PROJECT NUMBER 2003

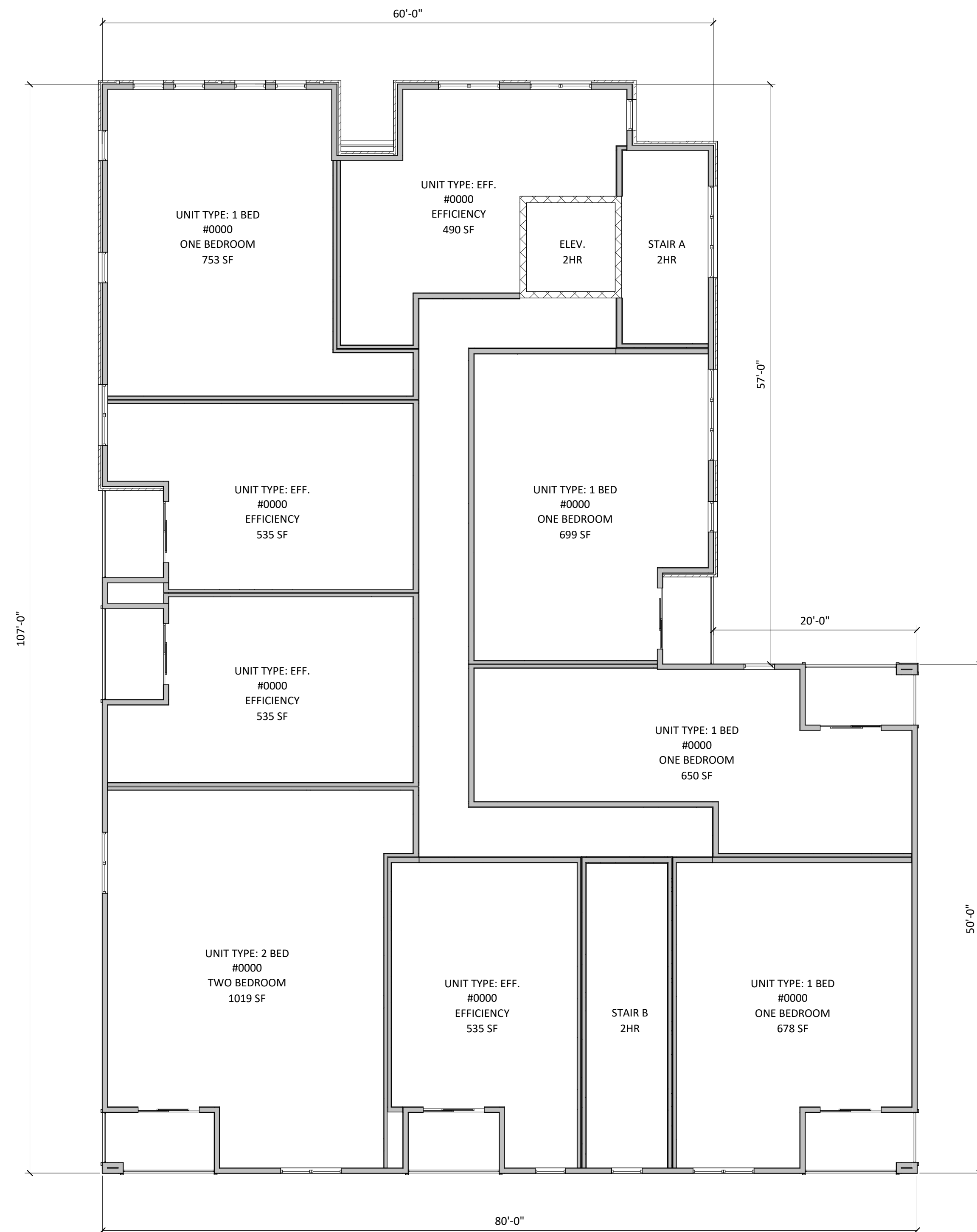
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KEY PLAN



1 SECOND FLOOR PLAN  
A-1.2 1/8" = 1'-0"

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PROJECT TITLE  
**John Fontain  
Development**

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Street, Madison  
Wisconsin

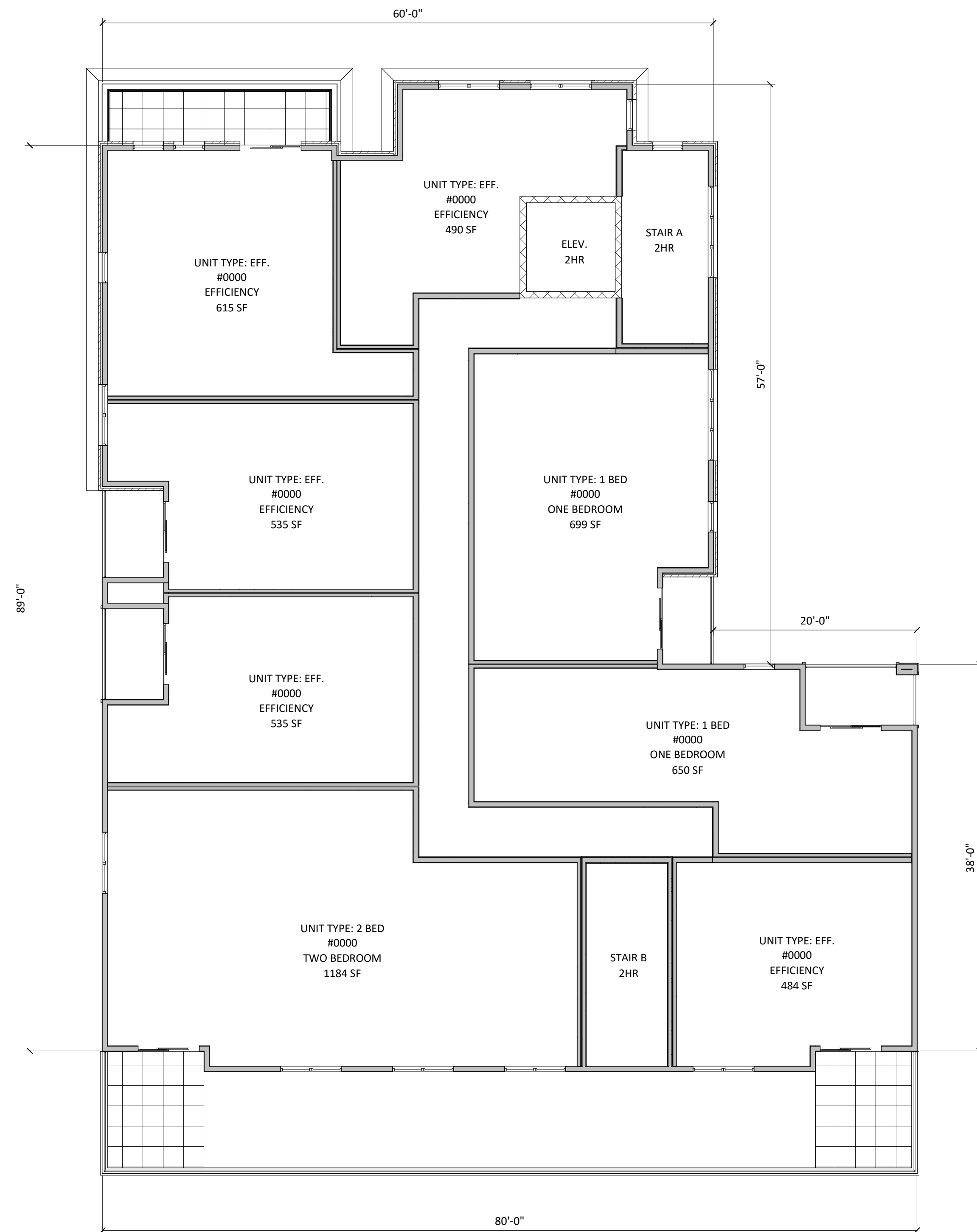
SHEET TITLE  
**SECOND FLOOR  
PLAN**

SHEET NUMBER

**A-1.2**

PROJECT NUMBER 2003

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1  
A-1.3  
THIRD FLOOR PLAN  
1/8" = 1'-0"

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Development**

817-821 Williamson  
Street, Madison  
Wisconsin

SHEET TITLE  
**THIRD FLOOR  
PLAN**

SHEET NUMBER

**A-1.3**

PROJECT NUMBER **2003**

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KEY PLAN

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Development**

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Street, Madison  
Wisconsin

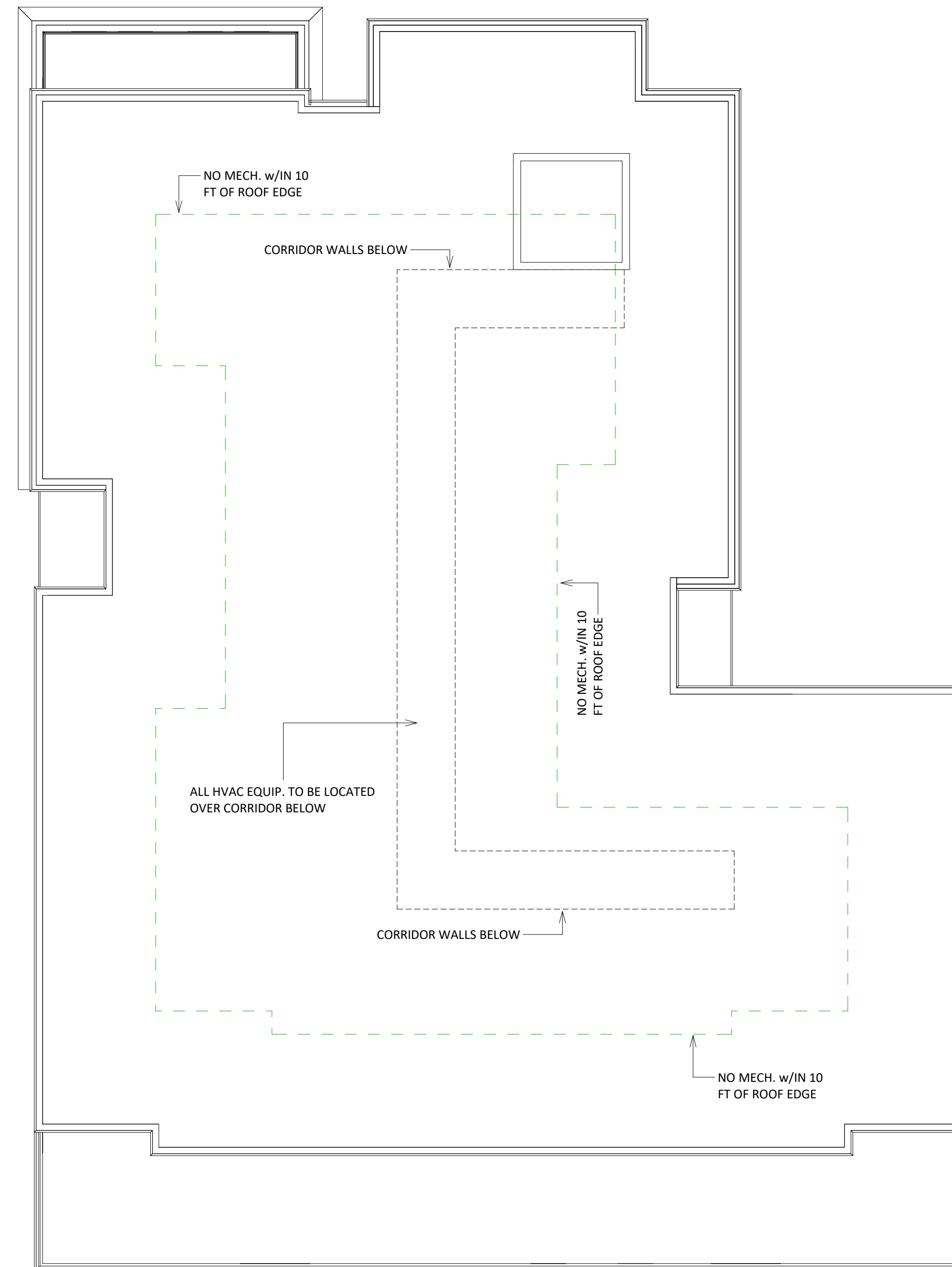
SHEET TITLE  
**ROOF PLAN**

SHEET NUMBER

**A-1.4**

PROJECT NUMBER **2003**

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**1**  
A-1.4 **ROOF PLAN**  
1/8" = 1'-0"





1 NorthEast  
A-2.1 1/8" = 1'-0"



2 NorthWest  
A-2.1 1/8" = 1'-0"

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Issued for Landmarks - August 04, 2020

PROJECT TITLE  
**John Fontain  
Development**

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Wisconsin

SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A-2.1**

PROJECT NUMBER 2003

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1 SouthEast  
A-2.2 1/8" = 1'-0"



2 SouthWest  
A-2.2 1/8" = 1'-0"

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PROJECT TITLE  
**John Fontain  
Development**

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SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A-2.2**

PROJECT NUMBER 2003

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1 NorthEast COLORED  
A-2.3 1/8" = 1'-0"



2 NorthWest COLORED  
A-2.3 1/8" = 1'-0"





1 SouthEast COLORED  
A-2.4 1/8" = 1'-0"



2 SouthWest COLORED  
A-2.4 1/8" = 1'-0"

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Issued for Landmarks - August 04, 2020

PROJECT TITLE  
**John Fontain  
Development**

817-821 Williamson  
Street, Madison  
Wisconsin

SHEET TITLE  
**EXTERIOR  
ELEVATIONS -  
COLORED**

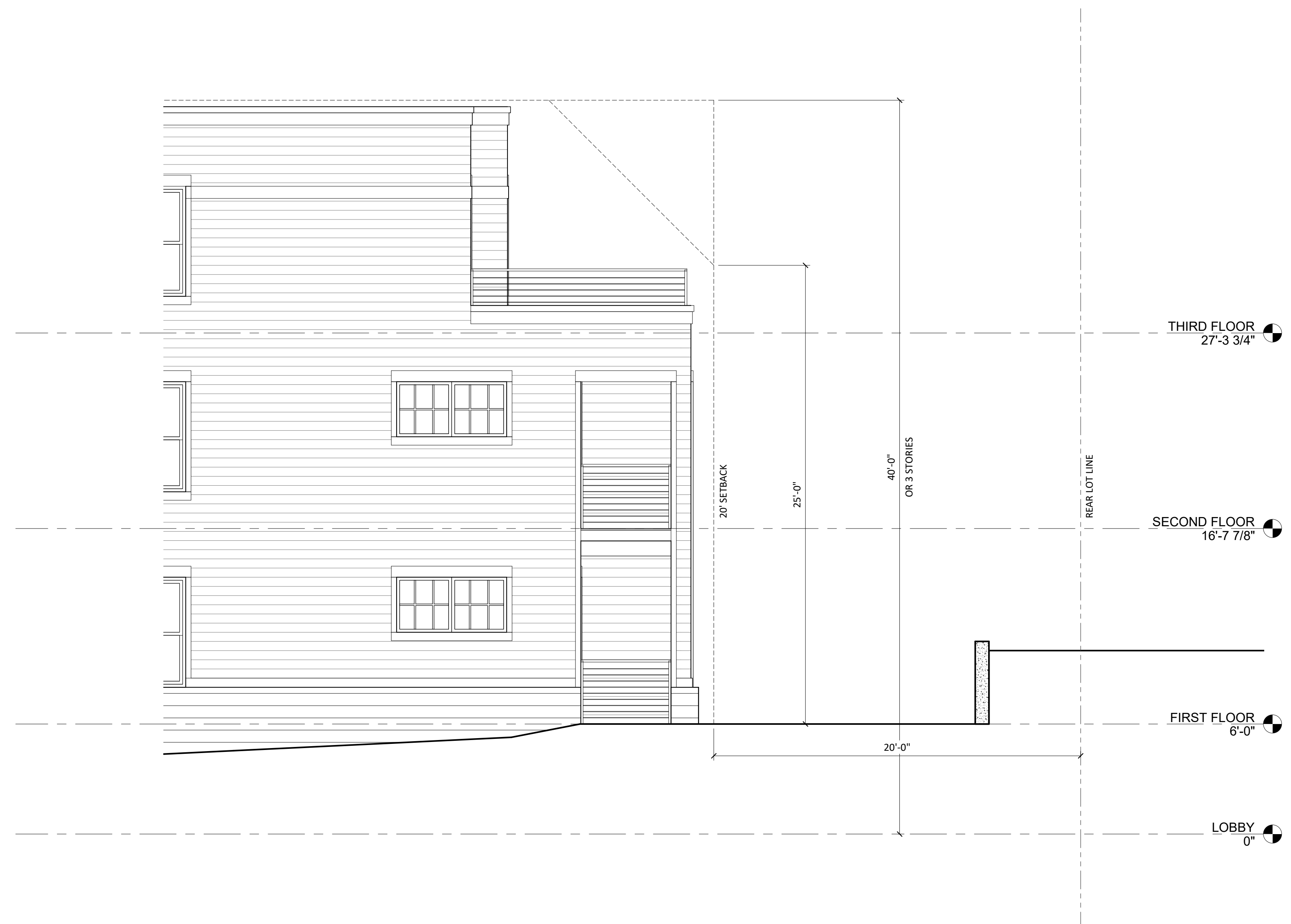
SHEET NUMBER

**A-2.4**

PROJECT NUMBER 2003

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1 BUILDING HEIGHT REQUIREMENT - REAR YARD SETBACK  
 A-2.7 1/4" = 1'-0"

John Fontain Development

817-821 Williamson Street, Madison Wisconsin  
 Building Height Requirements Diagram







COMMERCIAL

John Fontain Development  
817-821 Williamson Street, Madison Wisconsin







John Fontain Development  
817-821 Williamson Street, Madison Wisconsin







APARTMENTS

COMMERCIAL

John Fontain Development  
817-821 Williamson Street, Madison Wisconsin







John Fontain Development  
817-821 Williamson Street, Madison Wisconsin







**John Fontain Development**  
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