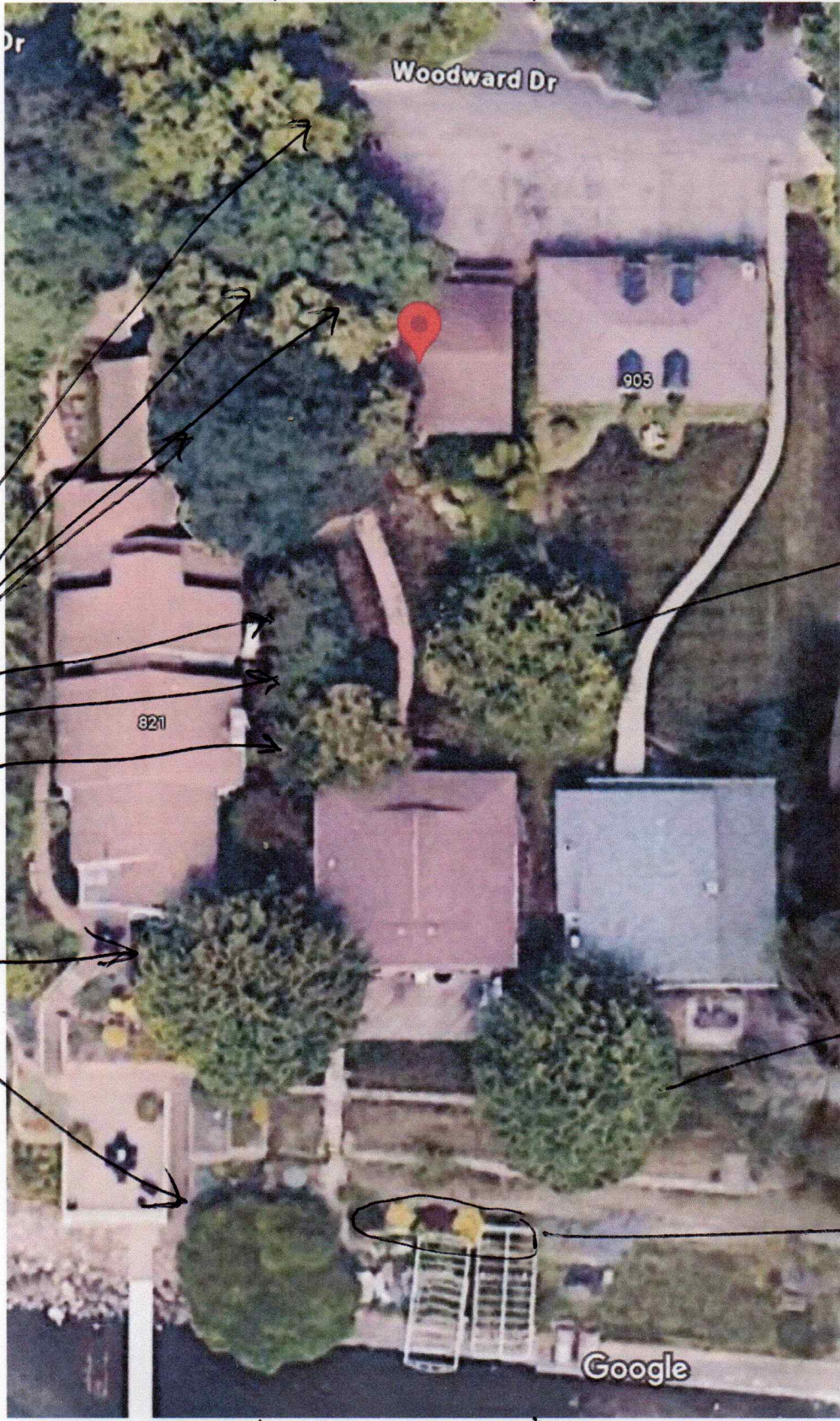


APPROXIMATE  
PROPERTY LINES  
← 50' →

↑  
N



ON PROPERTY  
TREE TO BE  
REMOVED TO  
TRUNK BY  
2-3' AWAY FROM  
PROPOSED HO

OFF  
PROPERTY

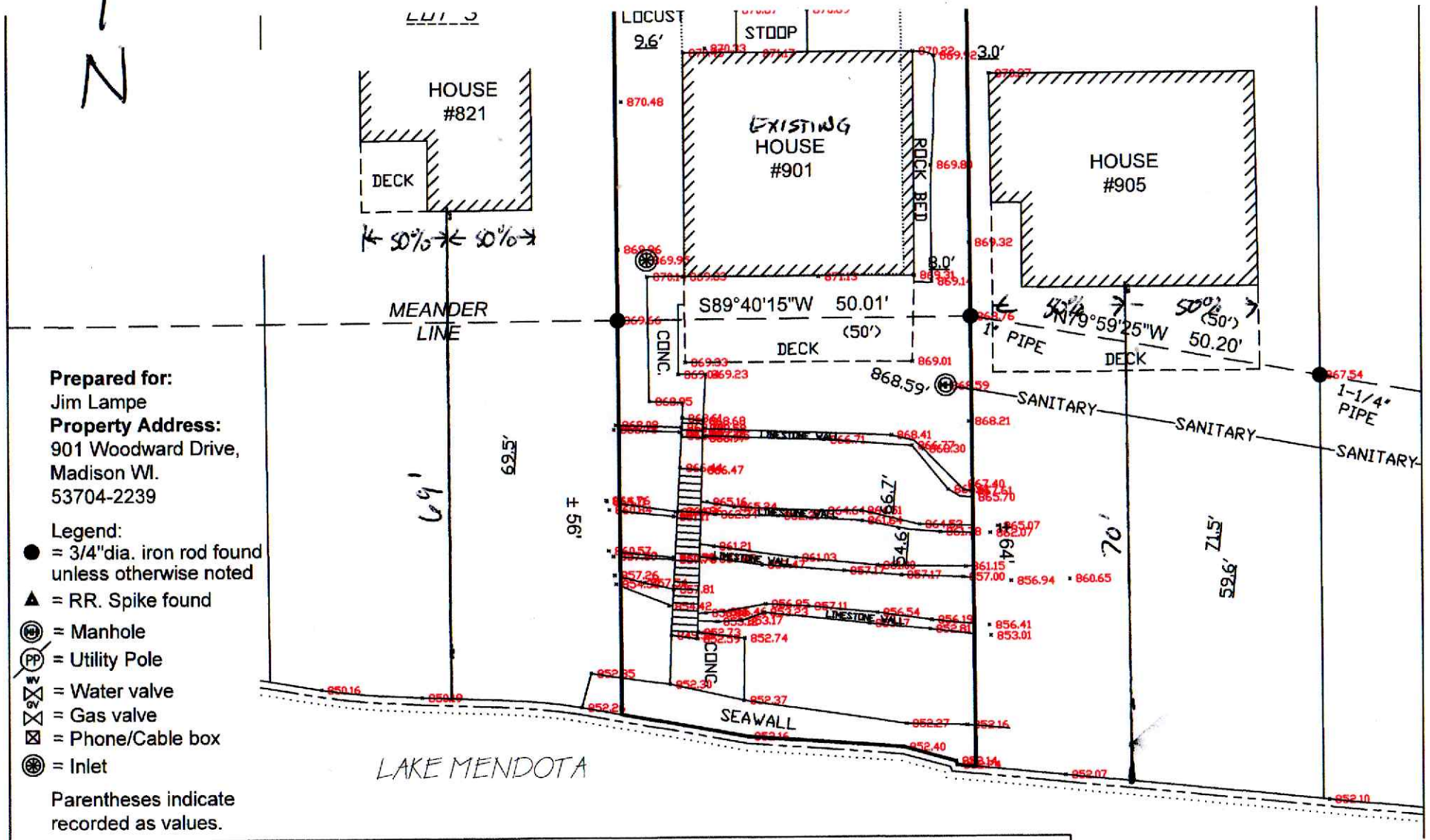
5 BUSHES TO  
BE RETAINED  
OR REPLACED  
AS REQUIRED  
BY CONSTR

OFF PROPERTY

← 50' →

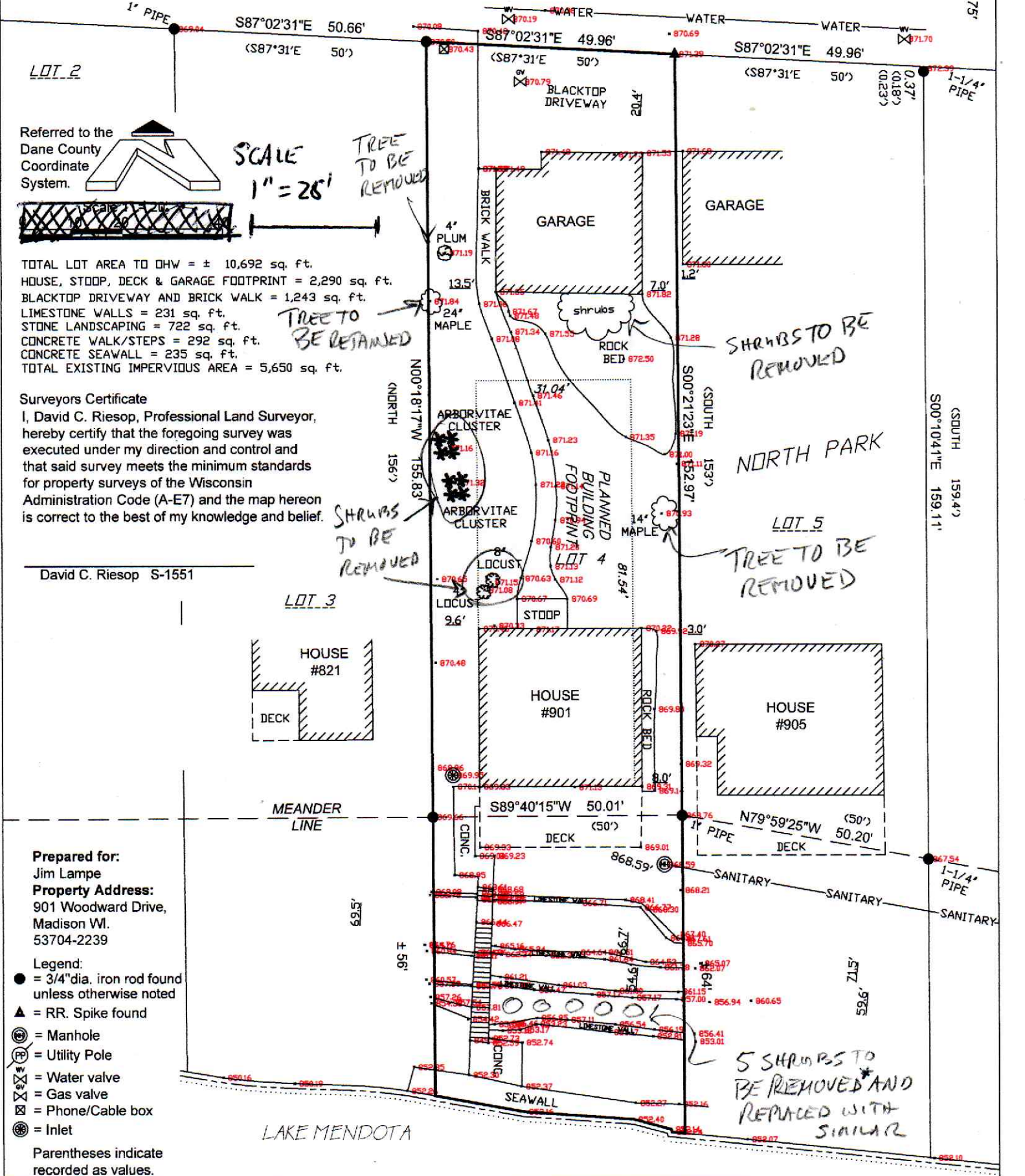
# LAKEFRONT SETBACK CALCULATION

SCALE 1" = 20'



$$\text{LAKEFRONT SETBACK} = (69 + 70) / 2 = 69.5'$$

# EXISTING BUILDINGS + LANDSCAPING



SCALE  
1" = 20'

Referred to the Dane County Coordinate System.

TOTAL LOT AREA TO DHW = ± 10,692 sq. ft.  
 HOUSE, STOOP, DECK & GARAGE FOOTPRINT = 2,290 sq. ft.  
 BLACKTOP DRIVEWAY AND BRICK WALK = 1,243 sq. ft.  
 LIMESTONE WALLS = 231 sq. ft.  
 STONE LANDSCAPING = 722 sq. ft.  
 CONCRETE WALK/STEPS = 292 sq. ft.  
 CONCRETE SEAWALL = 235 sq. ft.  
 TOTAL EXISTING IMPERVIOUS AREA = 5,650 sq. ft.

**Surveyors Certificate**  
 I, David C. Riesop, Professional Land Surveyor, hereby certify that the foregoing survey was executed under my direction and control and that said survey meets the minimum standards for property surveys of the Wisconsin Administration Code (A-E7) and the map hereon is correct to the best of my knowledge and belief.

David C. Riesop S-1551

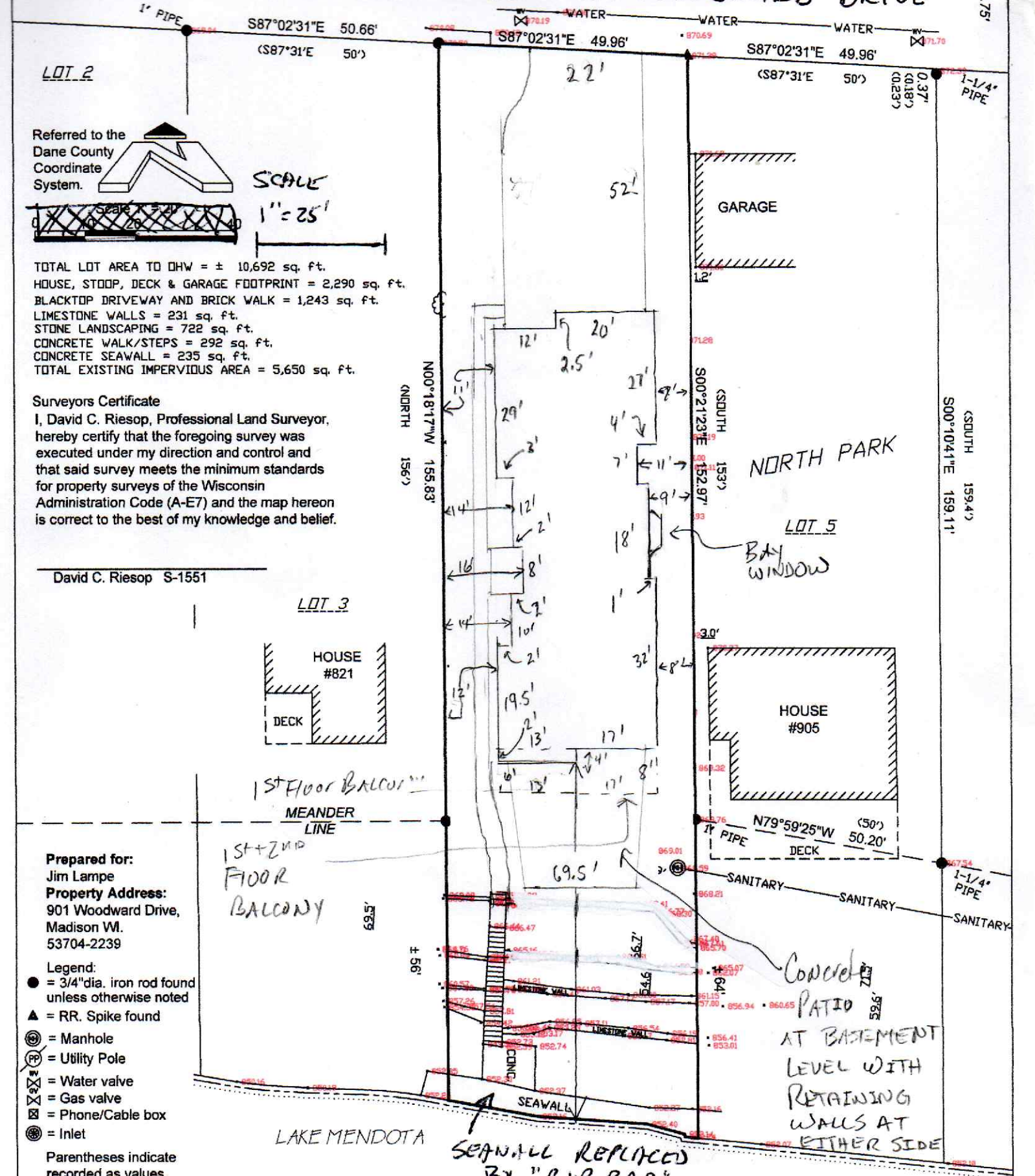
**Prepared for:**  
 Jim Lampe  
**Property Address:**  
 901 Woodward Drive,  
 Madison WI.  
 53704-2239

- Legend:**
- = 3/4" dia. iron rod found unless otherwise noted
  - ▲ = RR. Spike found
  - ⊙ = Manhole
  - ⊕ = Utility Pole
  - ⊗ = Water valve
  - ⊗ = Gas valve
  - ⊗ = Phone/Cable box
  - ⊗ = Inlet
- Parentheses indicate recorded as values.

## Plat of Survey

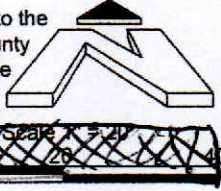
LOT 4, PLAT OF NORTH PARK, LOCATED IN THE SW. 1/4 OF THE NW. 1/4 OF SECTION 36, T.8N., R.9E., CITY OF MADISON, DANE COUNTY, WISCONSIN

LAKE MENDOTA  
 \* IF NECESSARY  
 DUE TO CONSTRUCTION



LOT 2

Referred to the Dane County Coordinate System.



SCALE  
1" = 25'

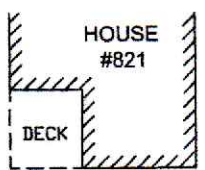
TOTAL LOT AREA TO OHW = ± 10,692 sq. ft.  
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 LIMESTONE WALLS = 231 sq. ft.  
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 TOTAL EXISTING IMPERVIOUS AREA = 5,650 sq. ft.

**Surveyors Certificate**

I, David C. Riesop, Professional Land Surveyor, hereby certify that the foregoing survey was executed under my direction and control and that said survey meets the minimum standards for property surveys of the Wisconsin Administration Code (A-E7) and the map hereon is correct to the best of my knowledge and belief.

David C. Riesop S-1551

LOT 3



1st Floor BALCONY  
MEANDER LINE

1st + 2nd FLOOR BALCONY

Prepared for:  
 Jim Lampe  
 Property Address:  
 901 Woodward Drive,  
 Madison WI.  
 53704-2239

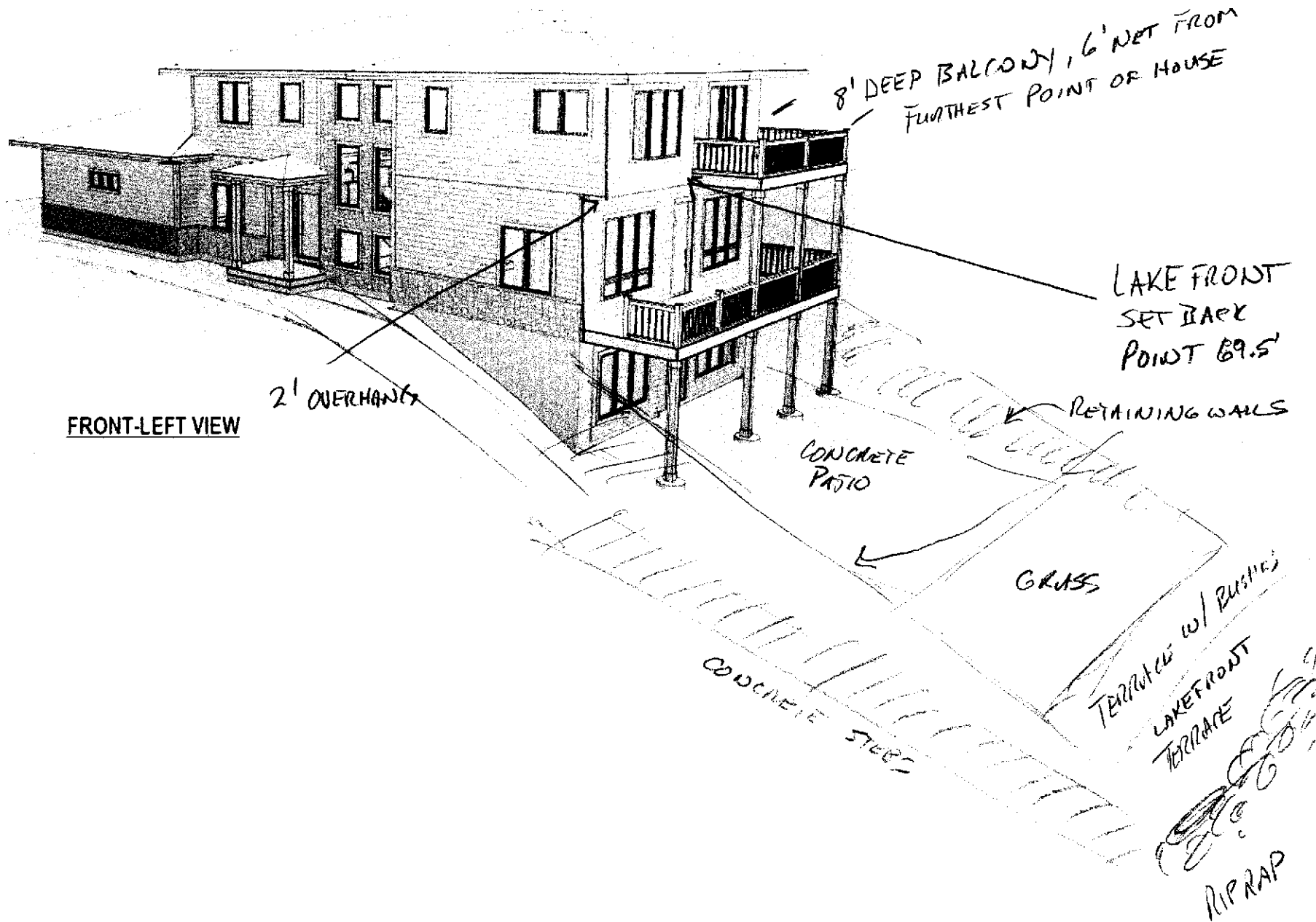
- Legend:**
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  - ⊙ = Manhole
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  - ⊗ = Water valve
  - ⊗ = Gas valve
  - ⊗ = Phone/Cable box
  - ⊙ = Inlet
- Parentheses indicate recorded as values.

# Plat of Survey

LAKE MENDOTA

LOT 4, PLAT OF NORTH PARK, LOCATED IN THE SW. 1/4 OF THE NW. 1/4 OF SECTION 36, T.8N., R.9E.,

# LAKEFRONT LANDSCAPING - PERSPECTIVE VIEW

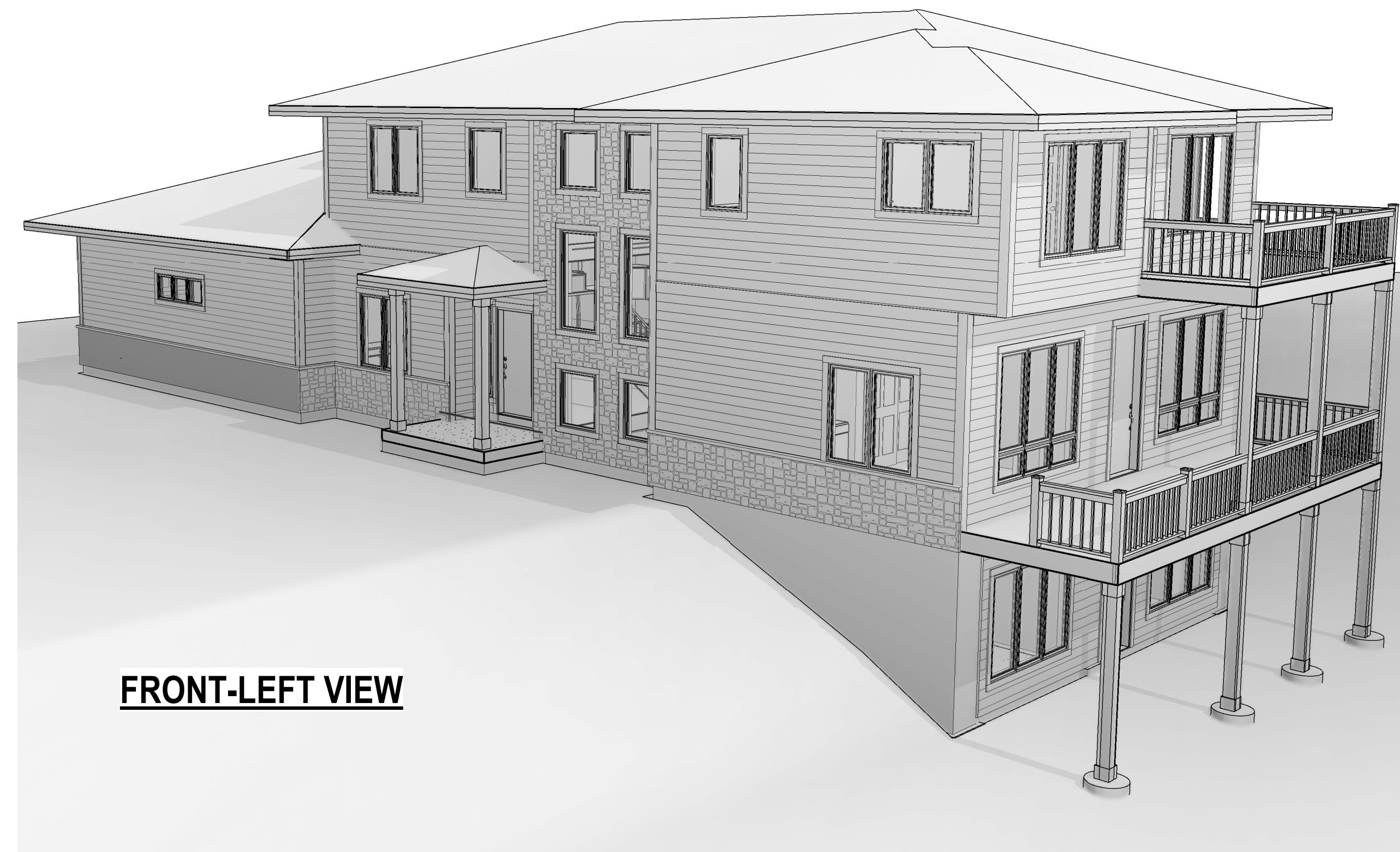
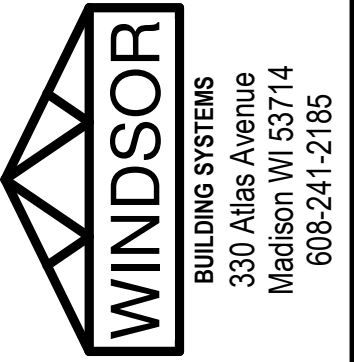


**CUSTOMER APPROVAL**

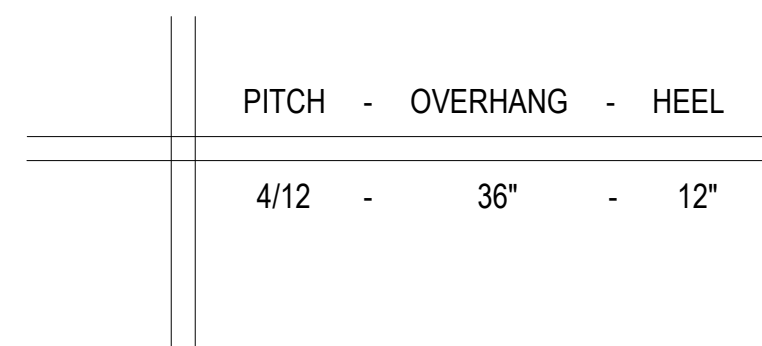
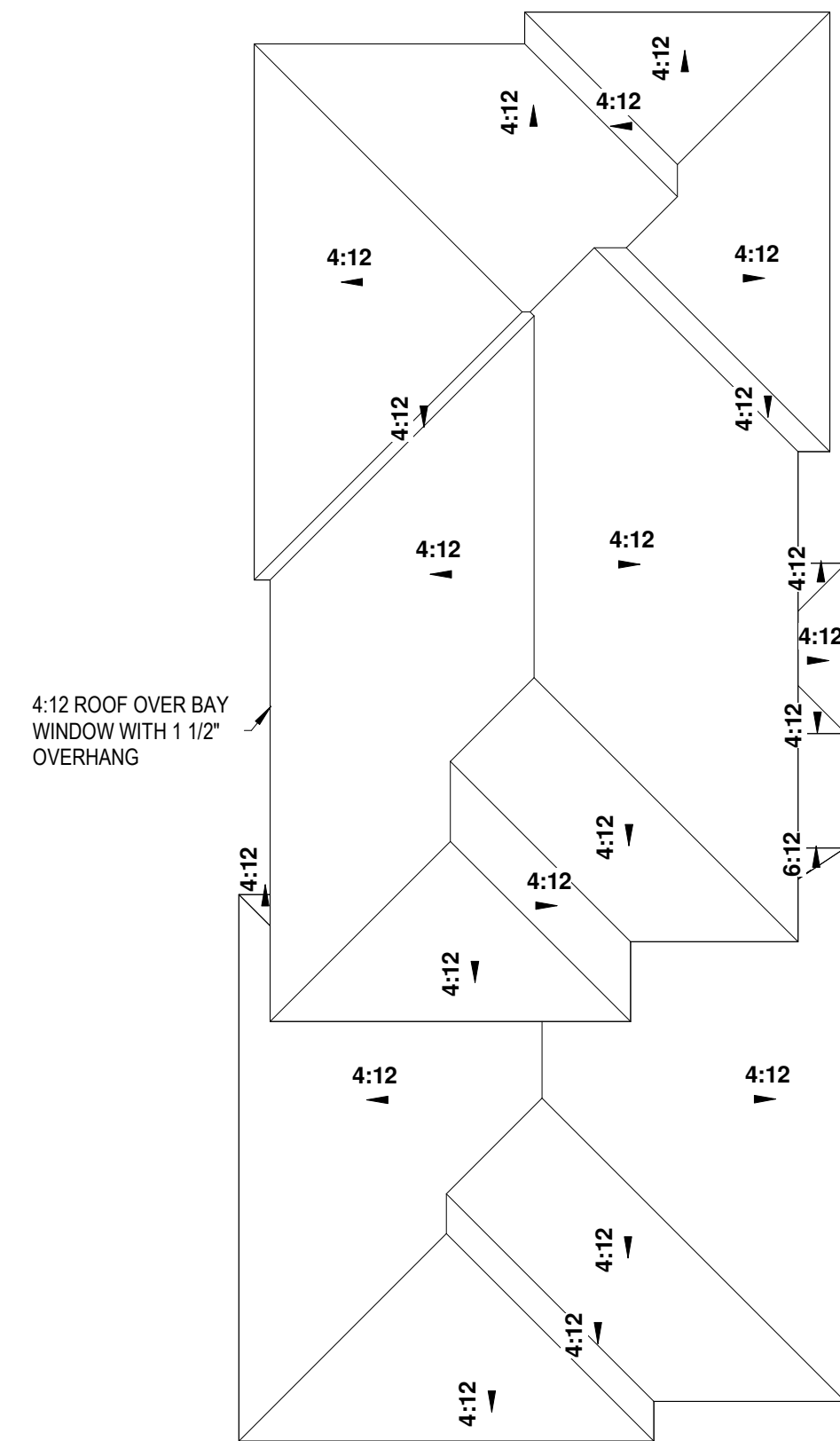
WE APPROVE THIS PLAN AS SHOWN, AND UNDERSTAND THAT NO STRUCTURAL CHANGES WILL BE MADE ONCE APPROVED.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
CUSTOMER SIGNATURE

CHECK BELOW IF APPLICABLE:  
CERTIFIED SIGNED AND SEALED TRUSS DRAWINGS FOR THE STATE OF \_\_\_\_\_ WILL BE REQUIRED FOR PERMITTING PURPOSES PRIOR TO SHIPMENT OF HOME.



**FRONT-LEFT VIEW**



**ROOF PLAN**

3/32" = 1'-0"

**VENT CALCULATIONS**

Name	Area	Minimum total Venting (ft²)	Upper Venting Required (ft²)	Required RidgeVent (LN ft)	Required Ridge Pots (EA)	Required SoffitVent (ft²)
2ND FLOOR	2097 ft²	6.99	3.49	46	10	3.49
GARAGE	1068 ft²	3.56	1.78	23	5	1.78

Available Ridgevent	
Description	Length
1ST FLOOR	31' - 8"
GARAGE	10' - 3 1/2"



**FRONT VIEW**

1/4" = 1'-0"

**GENERAL NOTATIONS:**  
• THESE DRAWINGS ARE THE PROPERTY OF WINDSOR BUILDING SYSTEMS, LLC. AND SHALL NOT BE REPRODUCED, USED OR RELIED UPON IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF WINDSOR BUILDING SYSTEMS, LLC. WINDSOR BUILDING SYSTEMS, LLC. IS NOT RESPONSIBLE FOR ANY IS DIRECTED TO CONTACT WINDSOR BUILDING SYSTEMS, LLC. IN ORDER TO DETERMINE WHETHER CHANGES, MODIFICATIONS OR ADDITIONS HAVE BEEN MADE TO THESE DRAWINGS. WINDSOR BUILDING SYSTEMS, LLC. EXPRESSLY DISCLAIMS ALL RESPONSIBILITY AND LIABILITY WHERE THESE DRAWINGS ARE USED IN A PROJECT WHERE WINDSOR BUILDING SYSTEMS, LLC. HAS NO CONTROL OR RESPONSIBILITY FOR THE QUALITY OF MATERIALS AND WORKMANSHIP USED.

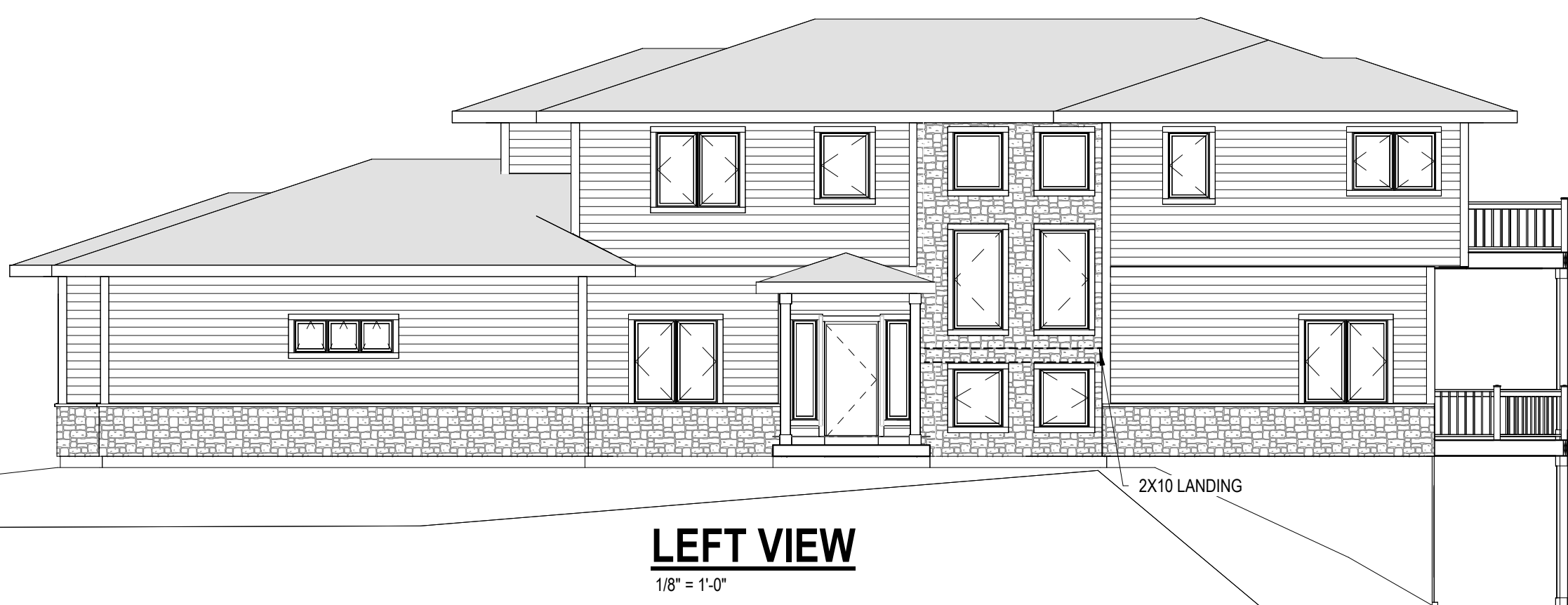
**TITLE: WINDSOR BUILDING SYSTEMS (MB) - DANE BUILDING CONCEPTS LLC - KAUKI**

BY	CODE	DATE
TJ	PP	02-27-24
TJ	CO 1	03-20-24
TJ	CO 2	03-28-24
TJ	CO 3	04-09-24
TJ	CO 4	04-25-24
TJ	CO 5	04-29-24
TJ	CO 6	05-01-24
TJ	FDN	05-03-24
TJ	CO 7	05-07-24
TJ	ENG	05-07-24
TJ	CP	05-14-24

Elevations  
A-3.00

JOB NO. **MB-2406**

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5/15/2024 11:44:27 AM



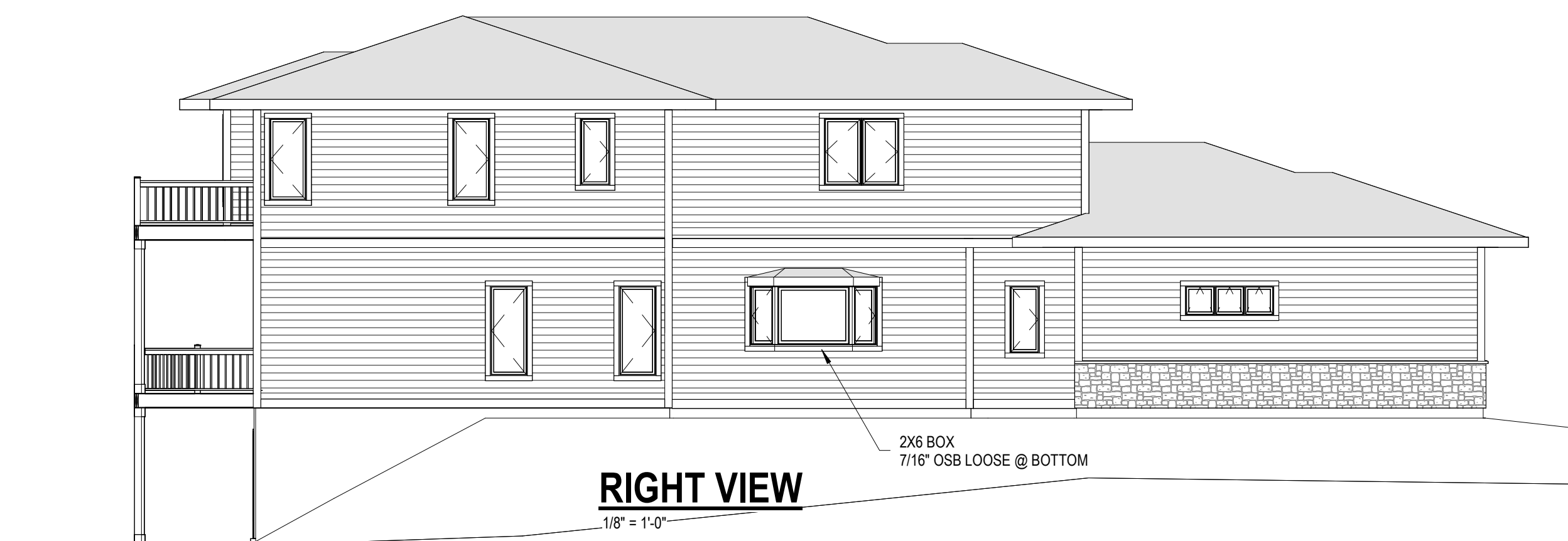
**LEFT VIEW**

1/8" = 1'-0"



**REAR VIEW**

1/8" = 1'-0"



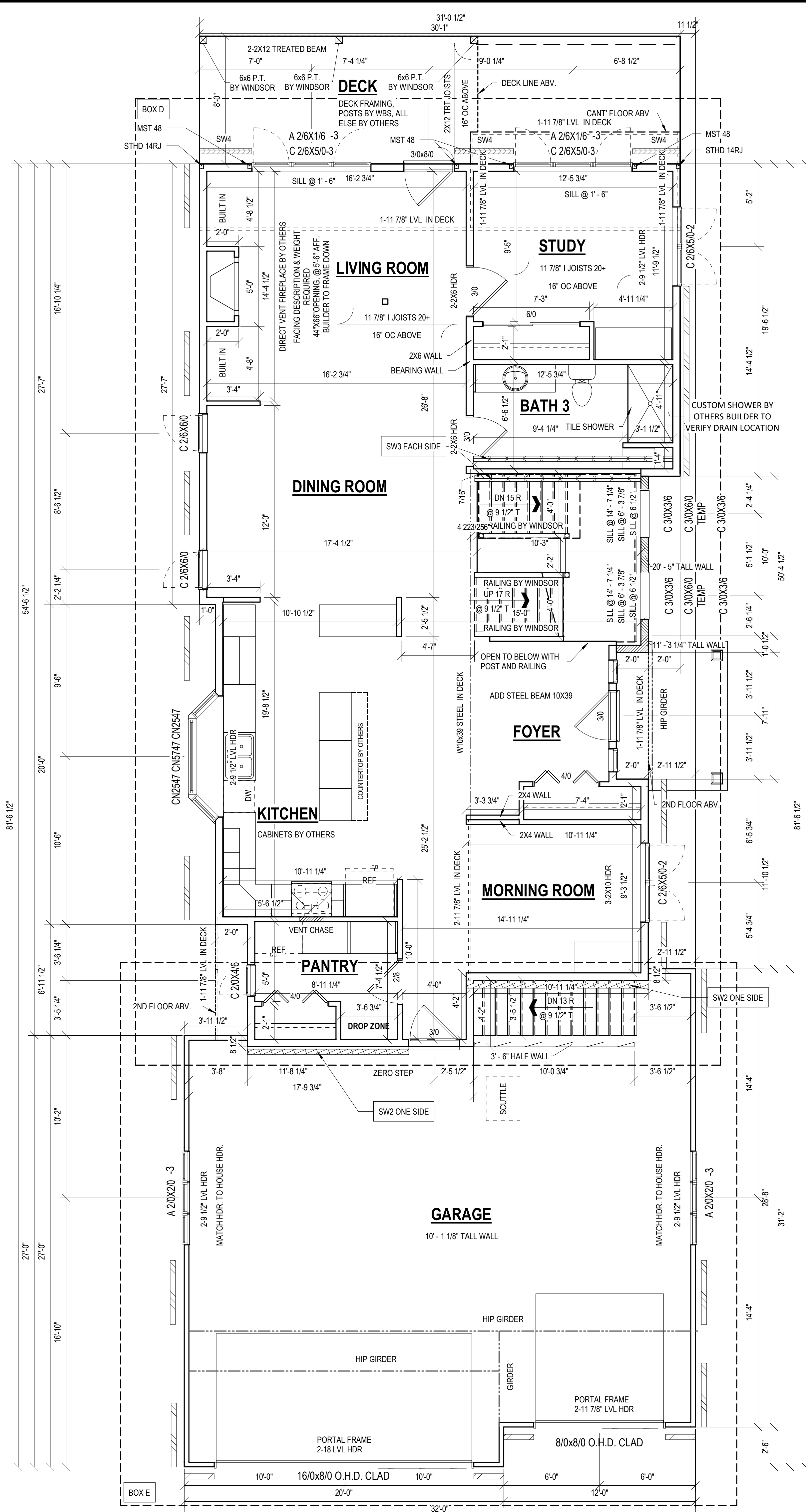
**RIGHT VIEW**

1/8" = 1'-0"

1ST FLOOR 1486 SF

# 1ST FLOOR PLAN

1/4" = 1'-0"



**FLOOR PLAN NOTES**  
 (1) FLOOR SQUARE FOOTAGE IS CALCULATED TO SHEATHING FACE  
 (2) ALL DIMENSIONS ARE TO STUD FACE UNLESS NOTED  
 (3) WALL INSULATION BY OTHERS - AMWOOD TO INSULATE CORNERS AND TUB SHOWER AREAS  
 (4) LOAD-BEARING DOOR AND WINDOW HEADERS TO BE (2) 2X10 #2 & BTR SPF UNLESS NOTED

**CUSTOMER APPROVAL**  
 WE APPROVE THIS PLAN AS SHOWN, AND UNDERSTAND THAT NO STRUCTURAL CHANGES WILL BE MADE ONCE APPROVED.  
 SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CUSTOMER SIGNATURE

CHECK BELOW IF APPLICABLE:  
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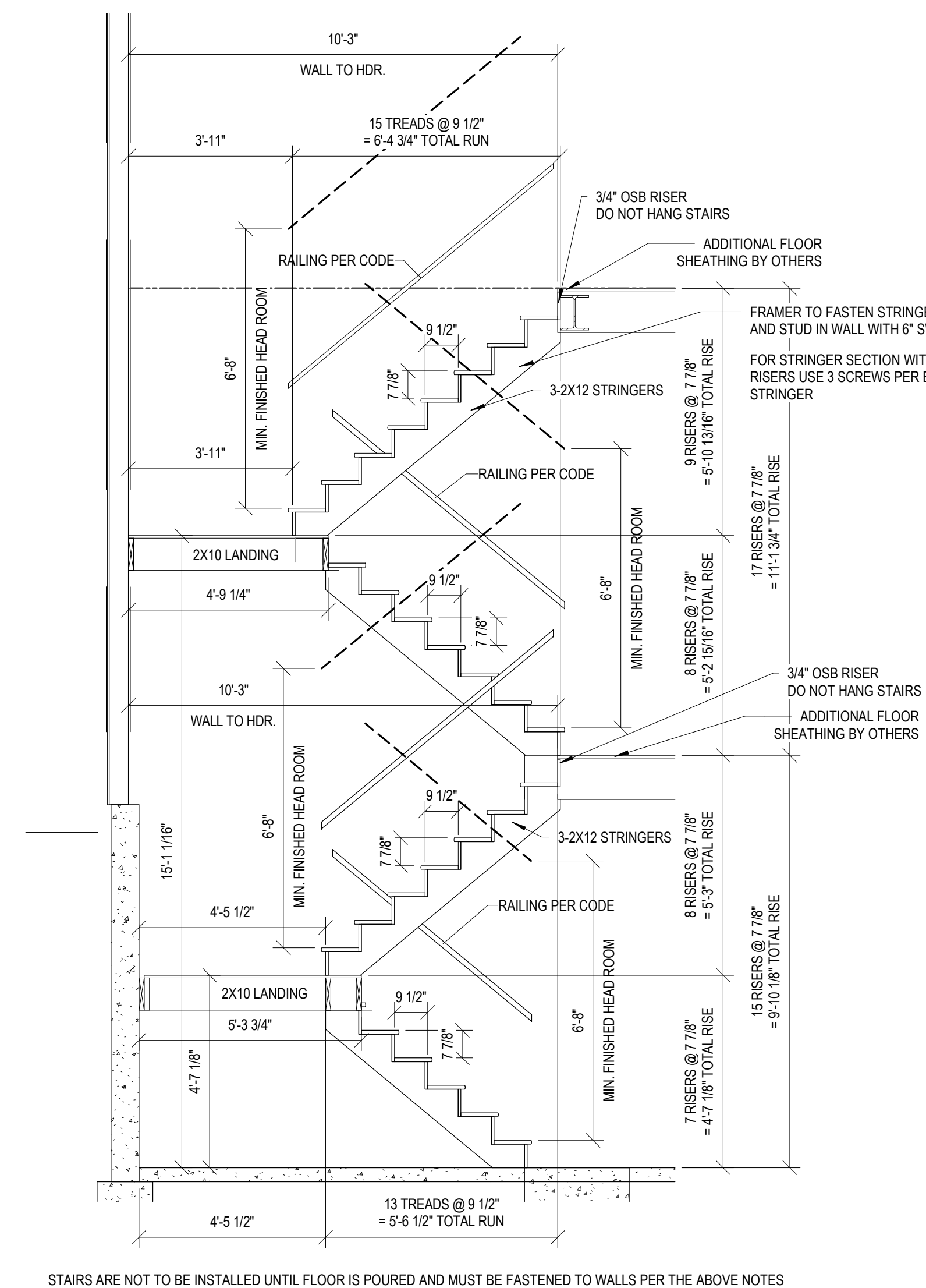
**TITLE: WINDSOR BUILDING SYSTEMS (MB) - DANE BUILDING CONCEPTS LLC - KAUKI**

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TJ	CO 5	04-29-24
TJ	CO 6	05-01-24
TJ	FDN	05-03-24
TJ	CO 7	05-07-24
TJ	ENG	05-07-24
TJ	CP	05-14-24

1st Floor Plan  
 A-2.10

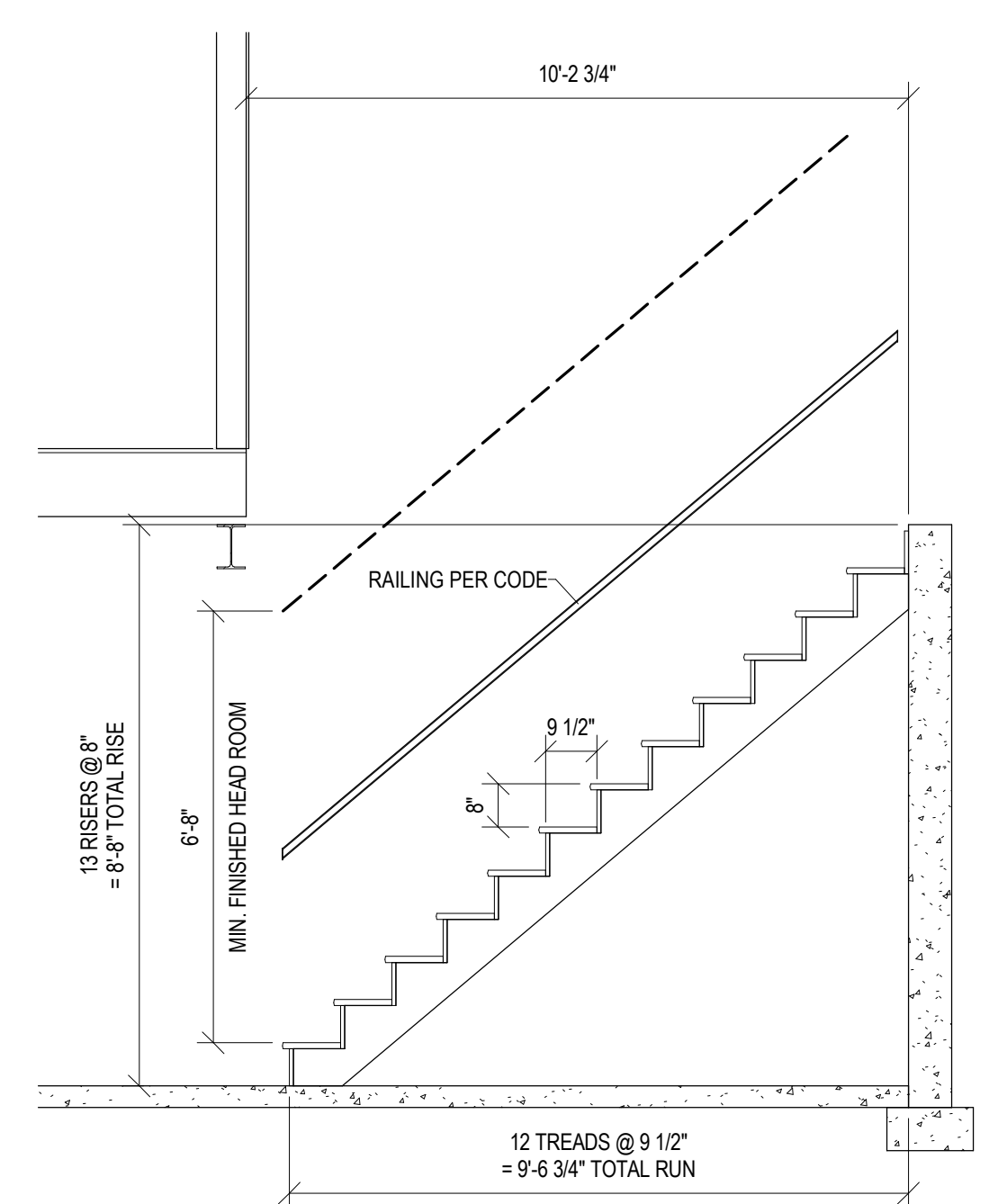
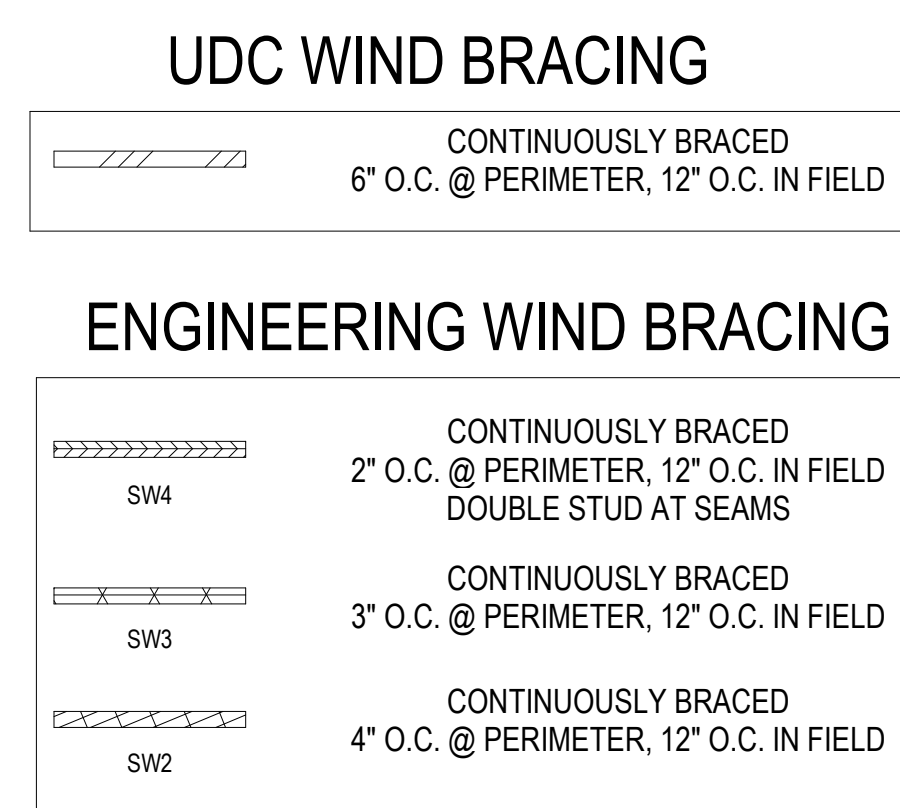
JOB NO. **MB-2406**

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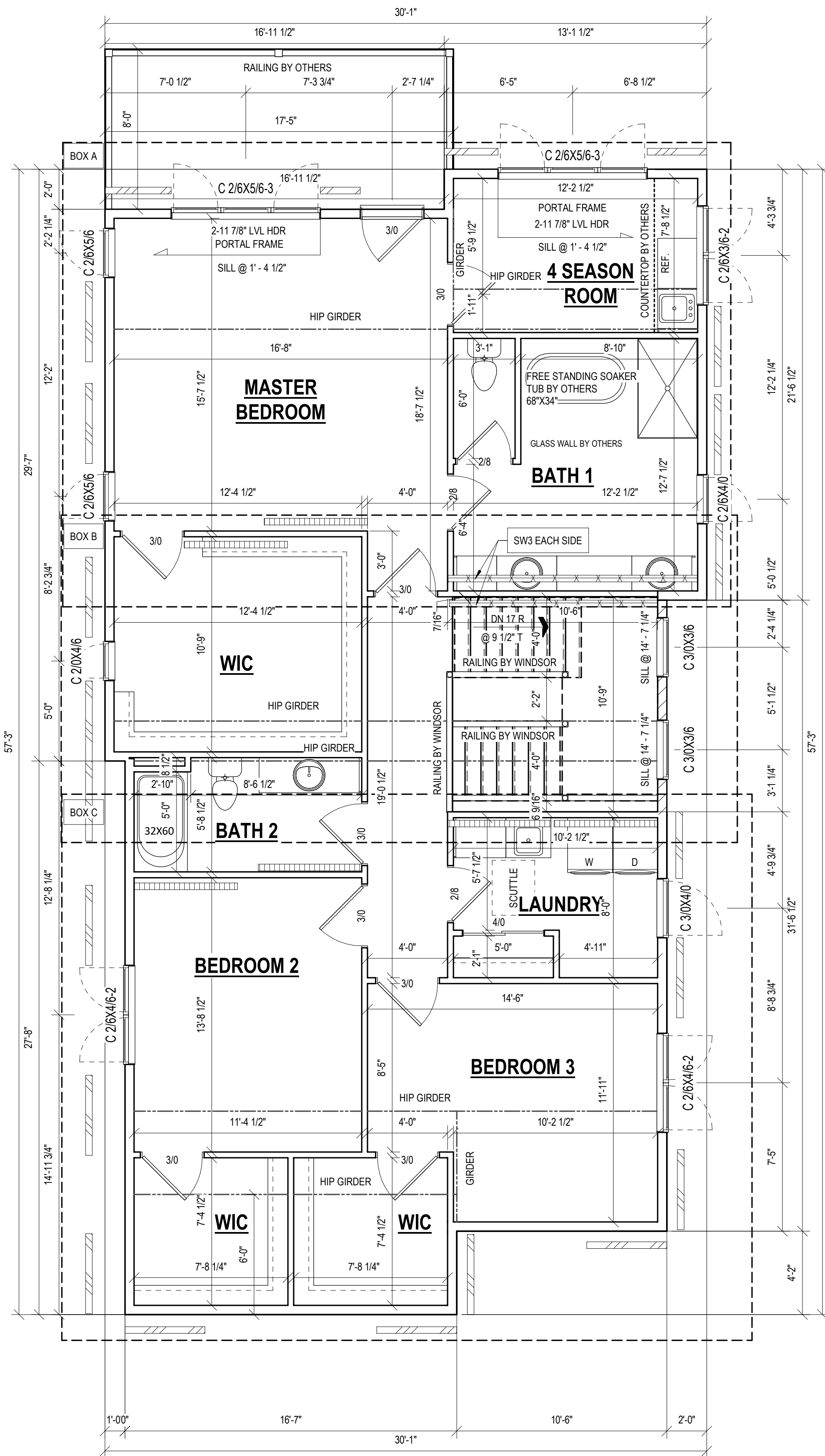
## SECTION @ FINISHED BASEMENT STAIR

3/8" = 1'-0"



## STAIR SECTION @ GARAGE STAIR

3/8" = 1'-0"



2ND FLOOR 1546 SF

**2ND FLOOR PLAN**

1/4" = 1'-0"

**CUSTOMER APPROVAL**

WE APPROVE THIS PLAN AS SHOWN, AND UNDERSTAND THAT NO STRUCTURAL CHANGES WILL BE MADE ONCE APPROVED.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
CUSTOMER SIGNATURE

CHECK BELOW IF APPLICABLE:  
CERTIFIED SIGNED AND SEALED TRUSS DRAWINGS FOR THE STATE OF \_\_\_\_\_ WILL BE REQUIRED FOR PERMITTING PURPOSES PRIOR TO SHIPMENT OF HOME.

**FLOOR PLAN NOTES**

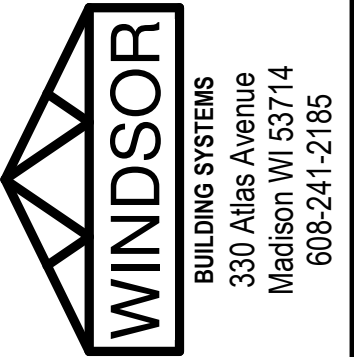
- (1) FLOOR SQUARE FOOTAGE IS CALCULATED TO SHEATHING FACE
- (2) EXTERIOR DIMENSIONS ARE TO STUD FACE UNLESS NOTED, INTERIOR DIMENSIONS ARE TO STUD FACE
- (3) WALL INSULATION BY OTHERS - AMWOOD TO INSULATE CORNERS AND TUB/SHOWER AREAS
- (4) LOAD-BEARING DOOR AND WINDOW HEADERS TO BE (2) 2X10 #2 & BTR SPF UNLESS NOTED

**UDC WIND BRACING**

- CONTINUOUSLY BRACED  
6" O.C. @ PERIMETER, 12" O.C. IN FIELD
- METAL "T" BRACED PANEL  
2 NAILS PER STUD
- DRYWALL BRACED PANEL  
BLOCKING @ SHGT. LINE  
7" O.C. @ PERIMETER, 12" O.C. IN FIELD

**ENGINEERING WIND BRACING**

- CONTINUOUSLY BRACED  
3" O.C. @ PERIMETER, 12" O.C. IN FIELD



**GENERAL NOTATIONS:**  
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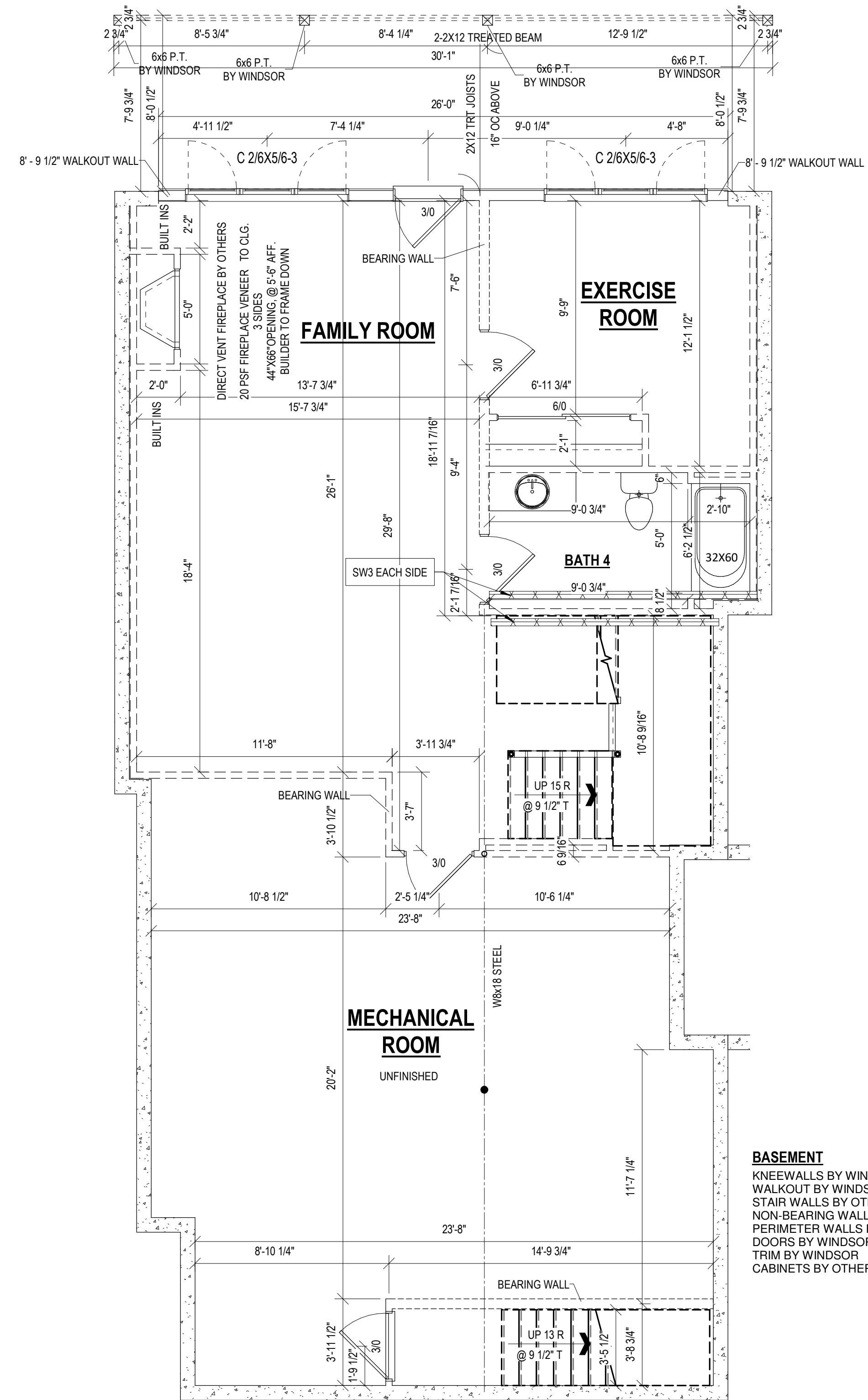
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TJ	CO 6	05-01-24
TJ	FDN	05-03-24
TJ	CO 7	05-07-24
TJ	ENG	05-07-24
TJ	CP	05-14-24

2nd Floor Plan  
A-2.20

JOB NO. **MB-2406**

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5/15/2024 11:44:29 AM





**BASEMENT FLOOR PLAN**  
1/4" = 1'-0"

**BASEMENT**  
KNEEWALLS BY WINDSOR  
WALKOUT BY WINDSOR  
STAIR WALLS BY OTHERS  
NON-BEARING WALLS BY OTHERS  
PERIMETER WALLS BY OTHERS  
DOORS BY WINDSOR  
TRIM BY WINDSOR  
CABINETS BY OTHERS

**CUSTOMER APPROVAL**  
WE APPROVE THIS PLAN AS SHOWN, AND UNDERSTAND THAT NO STRUCTURAL CHANGES WILL BE MADE ONCE APPROVED.  
SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
CUSTOMER SIGNATURE  
CHECK BELOW IF APPLICABLE:  
CERTIFIED SIGNED AND SEALED TRUSS DRAWINGS FOR THE STATE OF \_\_\_\_\_ WILL BE REQUIRED FOR PERMITTING PURPOSES PRIOR TO SHIPMENT OF HOME.

**BASEMENT NOTES**  
1. BASEMENT WINDOWS OTHER THAN NOTED, TO BE SIZED AND LOCATED BY BUILDER.  
2. CONCRETE FOOTINGS AND SLABS SHALL BE REINFORCED IN ACCORDANCE WITH LOCAL, AND/OR STATE BUILDING CODES.  
3. REGARDLESS OF DETAILS, BOTTOM OF FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL.



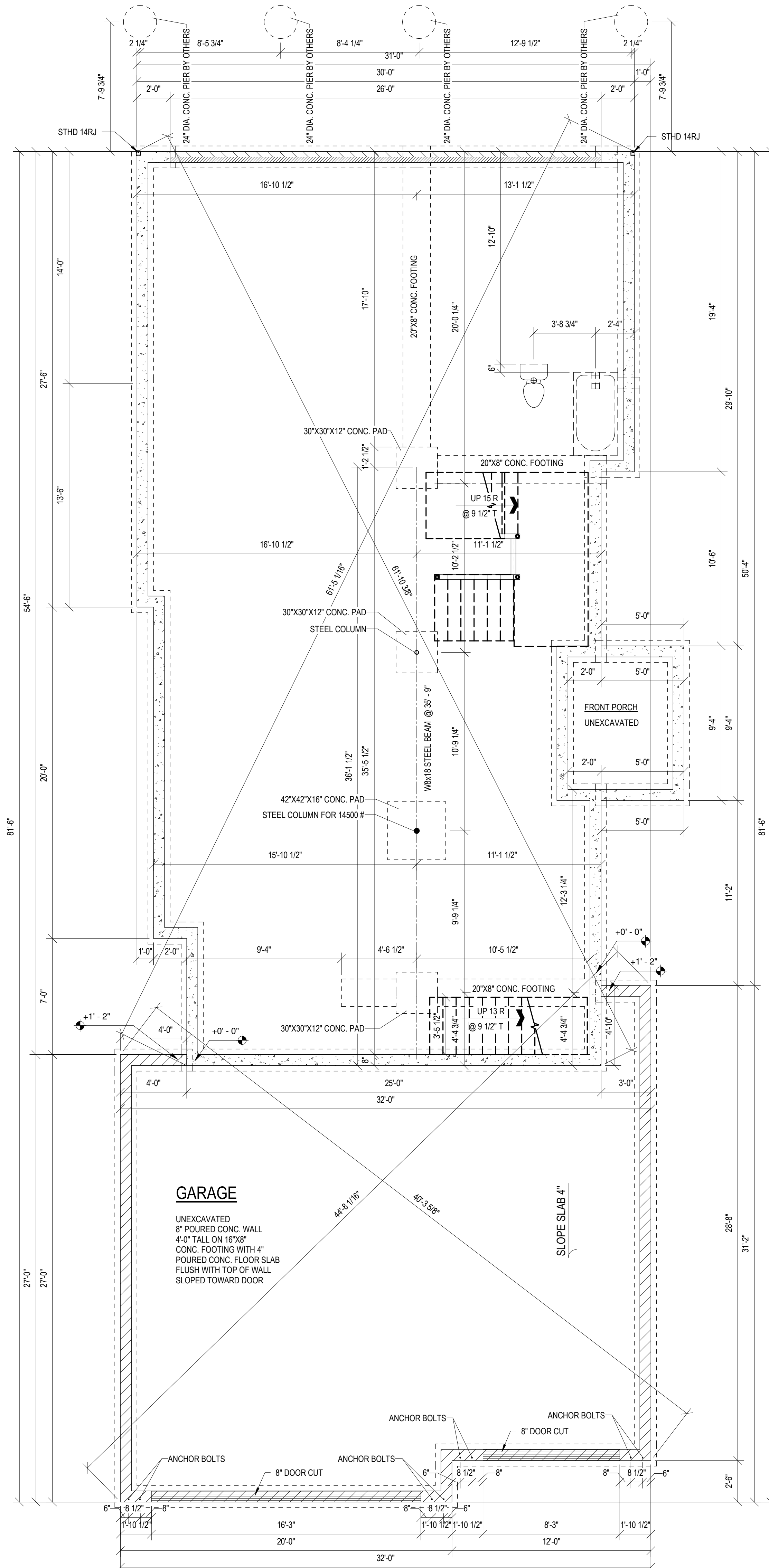
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TJ	FDN	05-03-24
TJ	CO 7	05-07-24
TJ	ENG	05-07-24
TJ	CP	05-14-24

Basement Plan  
A-2.00

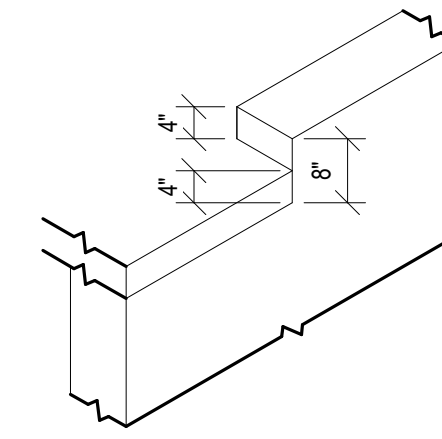
JOB NO. **MB-2406**



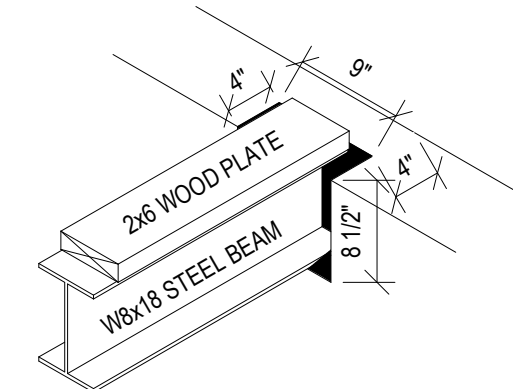
**FOUNDATION PLAN**  
1/4" = 1'-0"

**DIMENSIONS ARE TO FACE OF CONCRETE U.N.O.**

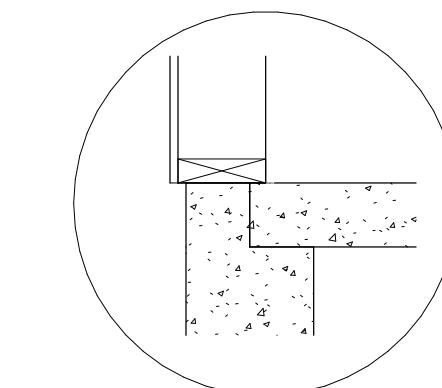
**IN SOME AREAS BUILDING CODES REQUIRE 16"X16" PILASTERS IN WALLS LONGER THAN 20'-0", SPACED @ 20'-0"**



**DOOR CUT**  
1/2" = 1'-0"



**BEAM POCKET**  
3/4" = 1'-0"



**WALK OUT WALL DETAIL**  
1" = 1'-0"

**CUSTOMER APPROVAL**

WE APPROVE THIS PLAN AS SHOWN, AND UNDERSTAND THAT NO STRUCTURAL CHANGES WILL BE MADE ONCE APPROVED.

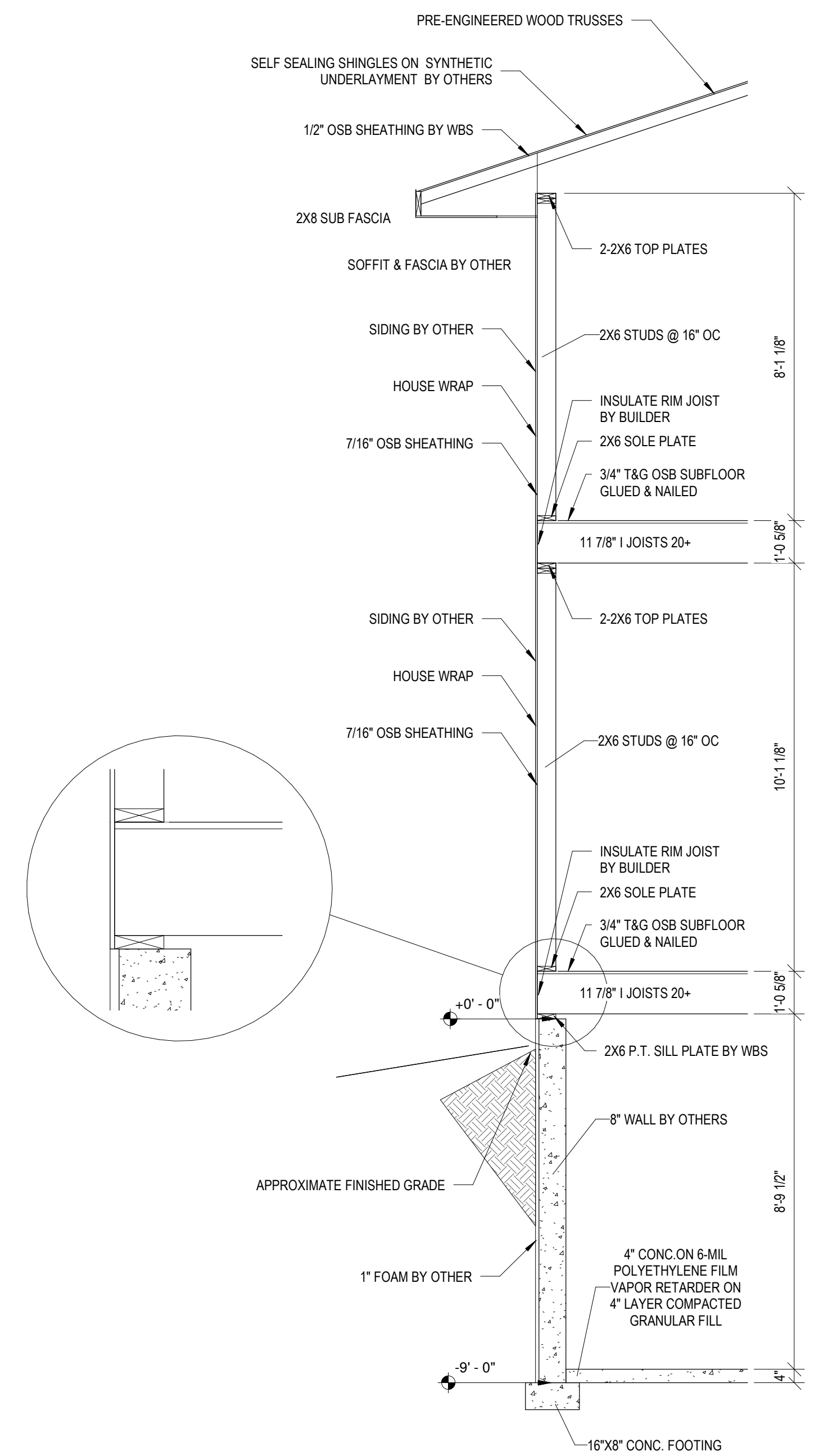
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CUSTOMER SIGNATURE

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**FOUNDATION NOTES**

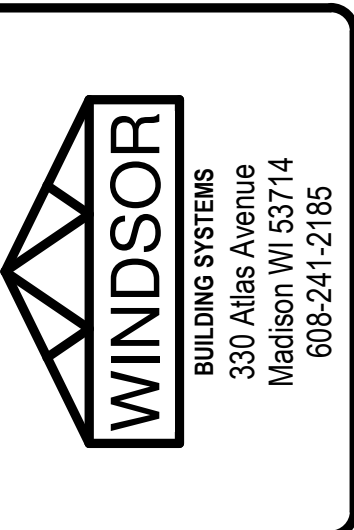
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(3) REGARDLESS OF DETAILS, BOTTOM OF FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL



NOTE: REGARDLESS OF DETAILS, BOTTOM OF FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL.

NOTE: CONCRETE FOOTINGS AND SLABS SHALL BE REINFORCED IN ACCORDANCE WITH LOCAL AND / OR STATE BUILDING CODES.

**TYPICAL WALL SECTION**  
3/8" = 1'-0"



**GENERAL NOTATIONS:**

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TJ	CO 6	05-01-24
TJ	FDN	05-03-24
TJ	CO 7	05-07-24
TJ	ENG	05-07-24
TJ	CP	05-14-24

Foundation Plan  
A-1.00

JOB NO. MB-2406

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