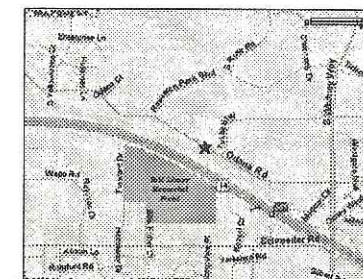


Smart Motors

New Toyota Facility
5901 Odana Road
Madison, WI 53719



Date: June 20, 2006



Sheet Index

- SP-1 EXISTING SITE PLAN
- SP-2 SITE / UTILITY PLAN
- SP-3 GRADING AND EROSION CONTROL PLAN
- SP-4 PHASE 1 SITE PLAN
- SP-5 PHASE 2 SITE PLAN
- SP-6 PHASE 3 SITE PLAN
- SP-7 SITE PHOTOS

- E-0 SITE LIGHTING PLAN
- E-0a PHOTOMETRIC PLAN
- L-1 LANDSCAPE PLAN
- A-1 BUILDING ELEVATIONS

City site plan review set
Project No. 206-063

STAMPS &
APPROVALS :

PROTOTYPE RENDERING SIMILAR TO NEW SMART MOTORS FACILITY



**Kenneth F.
Sullivan
CO.**
DESIGN BUILD /
GENERAL CONTRACTORS

P.O. BOX 259463 1314 EMIL ST. 608-257-2289
MADISON, WI 53725-9463 FAX 608-257-2906
www.kfsullivan.com

Smart Motors city site plan review set 206-063



Mailing Address - P.O. Box 259463 - Madison, WI 53725-9463
Street Address - 1314 Emil Street - Madison, WI 53713
Telephone - (608) 257-2289 Fax - (608) 257-2906

June 20, 2006

**Letter of Intent for a new Smart Motors Toyota Dealership
5901 Odana Road**

Dear Urban Design Commission Members,

As Smart Motors approaches 100 years in business in 2008, they wish to construct a new 97,000 square foot Toyota facility in the same location as their existing building. In order to accomplish this goal, three buildings on the existing 6.76-acre site will need to be demolished.

In an effort to have improved traffic flow onto Odana Road, our new site plan decreases the number of driveways, or curb cuts, from six down to only three. Customers leaving Smart Motors will be directed to leave at the intersection of Odana and Tokay, which currently is a stoplight-controlled intersection. Another special feature of the new site design is a bicycle pit stop area that would be connected to the existing bike path. This would also allow someone on a bike to access the stoplights mentioned above to cross Odana Road.

The timeline for the entire project will be approximately one year, with construction to start late summer/early fall of this year.

Our Project team includes:

J.R. Smart, Jim Budinetz, and Allen Foster of Smart Motors
Architect: K.F. Sullivan Company
General Contractor: K.F. Sullivan Company
Landscape Architect: Paul Skidmore of Barnes, Inc.
Storm Water Management: Quam Engineering, L.L.C.
Site Lighting: Rob Rudolf of Electric Construction, Inc.

Smart Motors currently employs 117 full and part time people and their hours of operation are:

Sales: Summer hours (Memorial Day to Labor Day)
Monday thru Thursday: 9 a.m. - 8 p.m.
Friday: 9 a.m. - 6 p.m.
Saturday: 9 a.m. - 5 p.m.
Sunday: Closed

Sales : Winter hours (Labor Day to Memorial Day)
Monday & Thursday: 9 a.m. - 8 p.m.
Tuesday, Wednesday & Friday: 9 a.m. - 6 p.m.
Saturday: 9 a.m. - 5 p.m.
Sunday: Closed

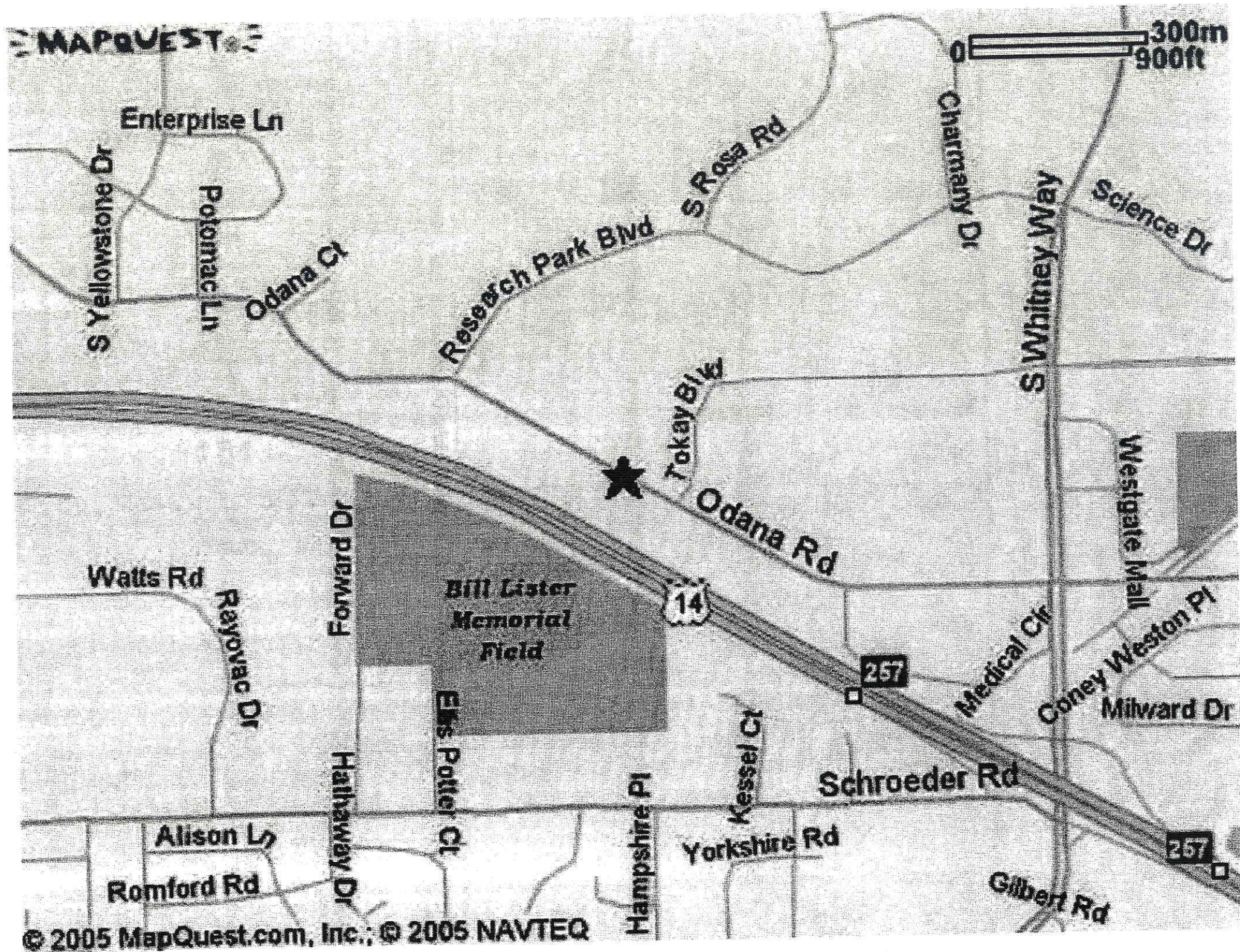
Service & Parts:
Monday & Thursday: 7 a.m. - 8 p.m.
Tuesday, Wednesday & Friday: 7 a.m. - 6 p.m.
Saturday: 7:30 a.m. - 12:00 p.m.
Sunday: Closed

They anticipate extending Saturday hours for Service & Parts (probably until 5 p.m.) in the new facility, quick lube hours would probably be the same as service unless they see a need to extend (based on customer requests).

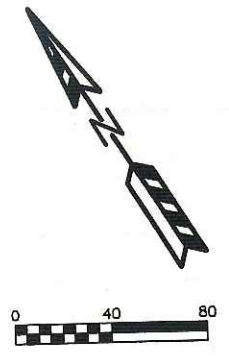
If you should require additional information of this proposal, please contact me at 257-2289.

Sincerely,
K. F. SULLIVAN CONSTRUCTION

James M. Triatik, A.I.A.
Vice President / Project Architect

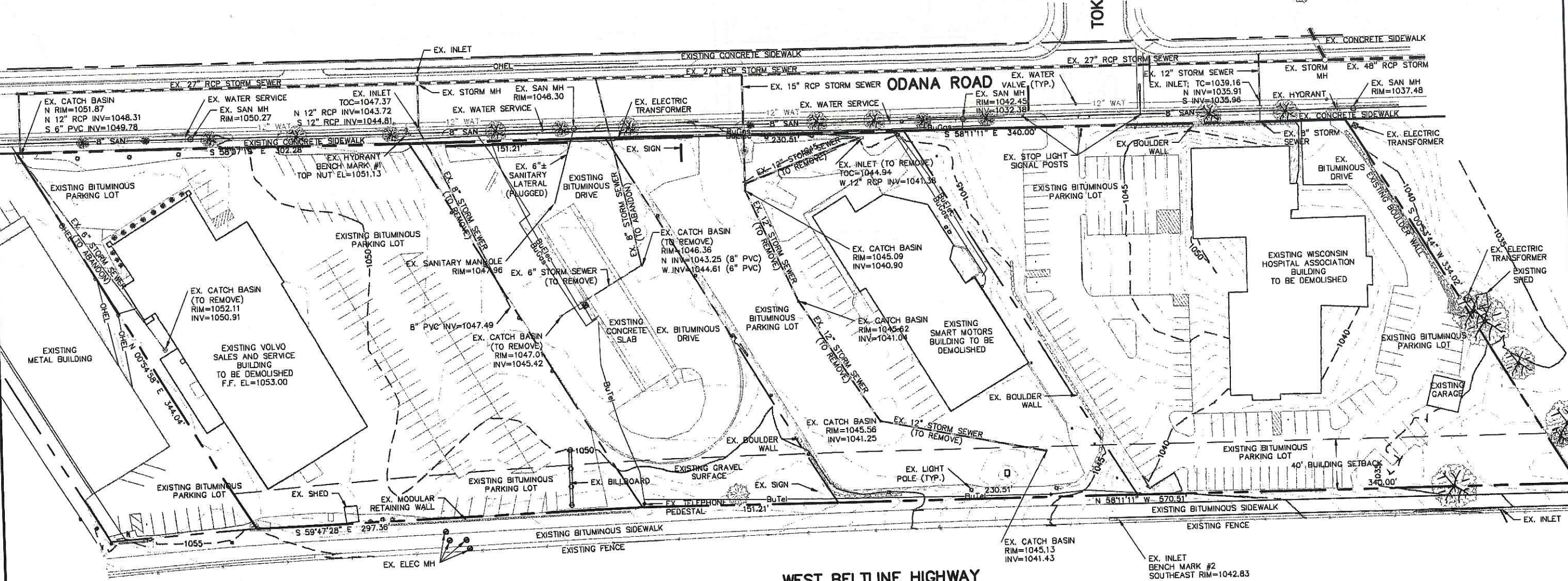


QUAY ENGINEERING, LLC 4833 Larson Beach Road, Madison, WI 53718 (608) 838-3300



LEGEND

---1051---	EXISTING MINOR CONTOUR
---1050---	EXISTING MAJOR CONTOUR
—BuElec—	EXISTING BURIED ELECTRIC
—OHEL—	EXISTING OVERHEAD ELECTRIC
—BuTel—	EXISTING BURIED TELEPHONE CABLE
—BuGas—	EXISTING BURIED GAS
—	EXISTING STORM SEWER
—	EXISTING SANITARY SEWER
—	EXISTING WATER MAIN
⊙	EXISTING WATER HYDRANT
⊕	EXISTING WATER VALVE
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING STORM MANHOLE
⊙	EXISTING DECIDUOUS TREE



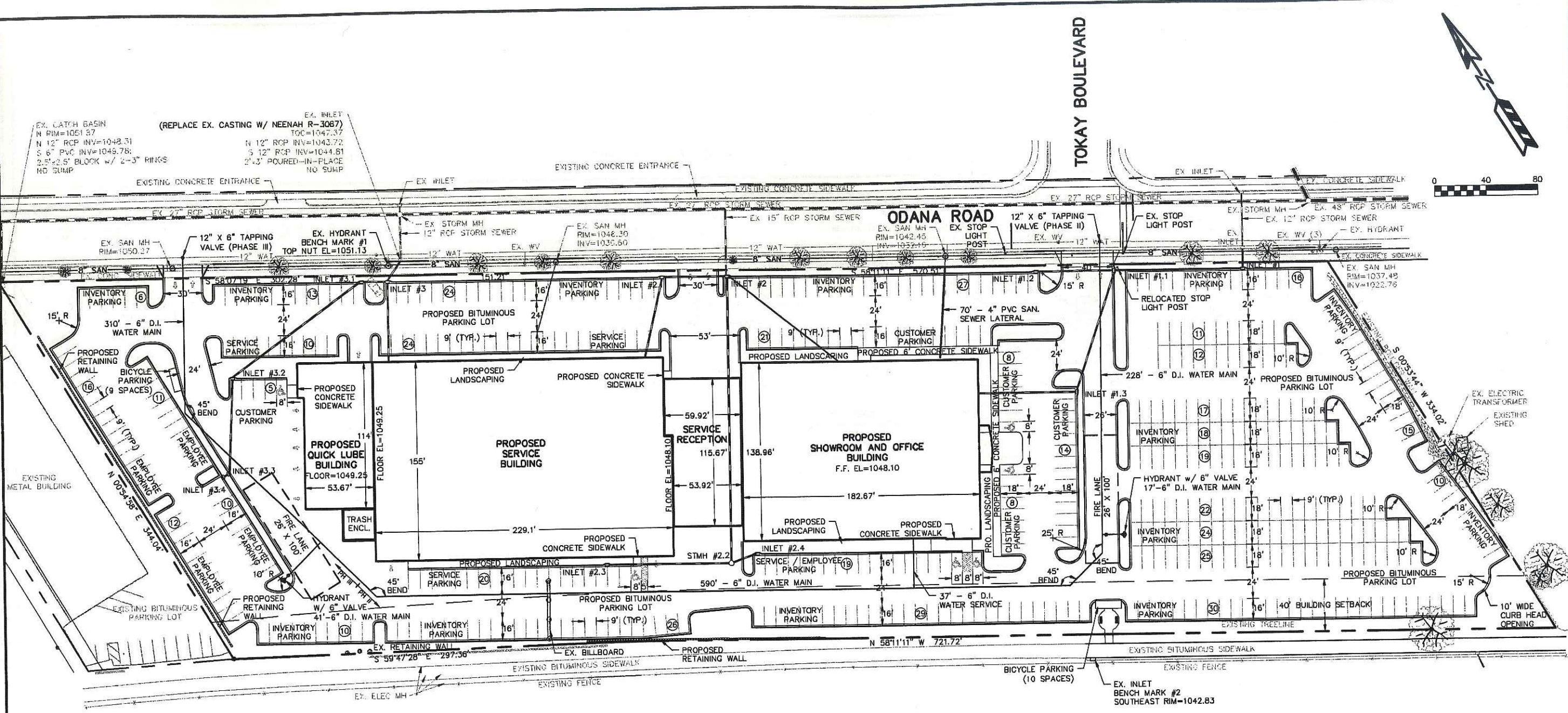
Smart Motors
 New Toyota Facility
 5901 Odana Road
 Madison, WI 53719

Sullivan
 DESIGN BUILD / GENERAL CONTRACTORS
 P.O. BOX 259463 1314 EMBL ST. MADISON, WI 53725-9463
 608-257-2289 FAX 608-257-2288

DRAWING NAME: EXISTING SITE PLAN
 DRAWN BY: AFF
 DATE: 6/08/06

SHEET: **SP-1**
 PROJ # PRALND

0
0
0
6
24
S
BA
6
6
e
L
1
1
op
gh
00
Kent
h
S
V
0
0



WEST BELTLINE HIGHWAY

PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address: 5901 ODANA ROAD
 Site acreage (total): 8.78 ACRES

Number of building stories (above grade) 1 + OFFICES ABOVE SHOWROOM
 Building height: 28'-0"
 DILHR type of construction (new structures or additions): IR
 Total square footage of building: 73,639 sq. ft.

Use of property: CAR DEALERSHIP

Gross square feet of office: NA
 Gross square feet of retail area: 30,000 SQ. FT.
 Number of employees in warehouse: NA
 Number of employees in production: NA
 Capacity of restaurant/piece of assembly: NA

Number of bicycle stalls shown: 18

Number of Parking stalls:

Service cars	SHOWN	Comments
Service cars	62	31 BAYS @ 2 CARS / BAY
Service employees	16	5 employees / service bay
Service manager	1	
Office / retail area	100	1 stall / 300 sq. ft
Inventory	353	remainder of stalls
Accessible	(6)	based on 179 stalls
Total	532	

Number of trees shown: (See Landscape Plan)

LEGEND

- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- ⊕ PROPOSED WATER HYDRANT
- ⊙ PROPOSED WATER VALVE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

TDD (FOR THE HEARING IMPAIRED) (800) 542-2289

WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

REVISIONS
REVISION 1
REVISION 2
REVISION 3
REVISION 4
REVISION 5
REVISION 6

Smart Motors
 New Toyota Facility
 5901 Odana Road
 Madison, WI 53719

Sullivan
 DESIGN BUILD
 GENERAL CONTRACTORS

P.O. BOX 259-063
 1314 E. DEL ST.
 MADISON, WI 53725-9463 FAX 608-257-2898

DRAWING NAME: PROPOSED SITE AND UTILITY PLAN
 DRAWN BY: AFT/RDQ
 DATE: 6/06/06

SHEET: **SP-2**
 PROJ # PROJ-ND

QUAM ENGINEERING, LLC
 4893 Larson Beach Road, McFarland, WI 53556
 (608) 838-7750
 SU-25-007SU2667A-SE.DWG

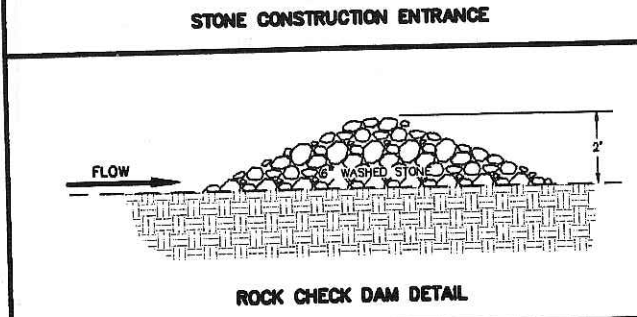
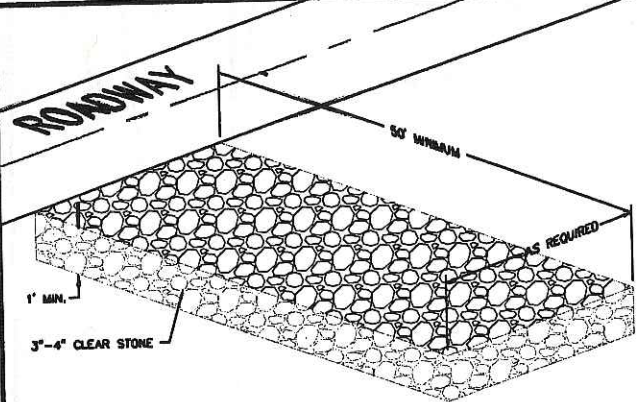
EROSION NOTES:
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ON THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 WOOT TYPE D INLET PROTECTION SHALL BE PLACED ON ALL EXISTING INLETS ON ODANA ROAD PRIOR TO ANY CONSTRUCTION. PROPOSED INLET STRUCTURES SHALL HAVE WOOT TYPE C INLET PROTECTION.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2.5:1.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
 JULY 30 - JULY 31, 2006 INSTALL EROSION CONTROL DEVICES.
 AUGUST 1 - SEPTEMBER 15, 2006 CONSTRUCT PARKING LOT AND UTILITIES AND RESTORE DISTURBED AREAS.

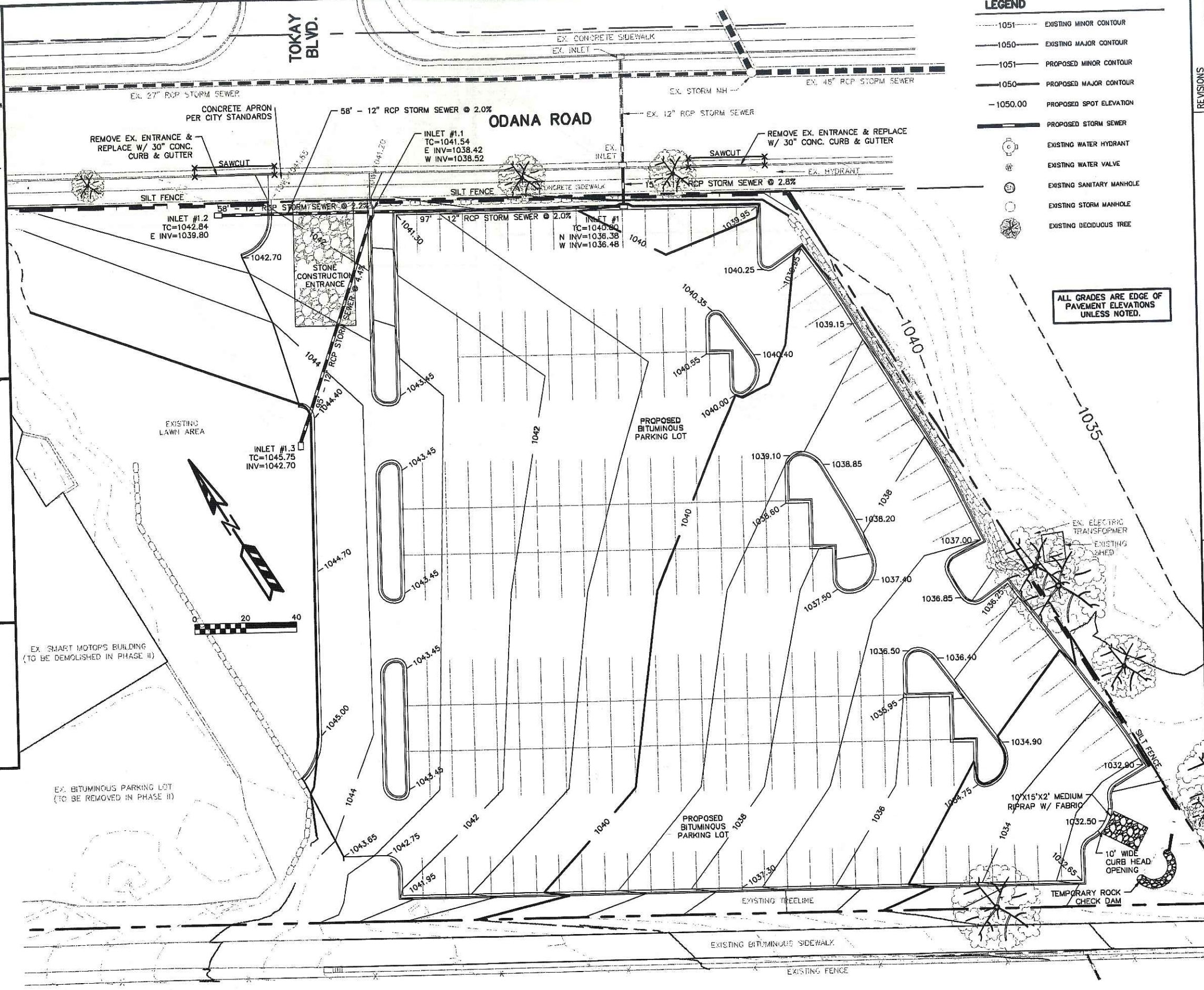
RESTORATION NOTES:
 ALL DISTURBED AREAS, EXCEPT PAVEMENT AND SIDEWALK, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 20 SHALL BE USED ON ALL AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET.
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16% PHOSPHORIC ACID, NOT LESS THAN 8% POTASH, NOT LESS THAN 8%.

OWNER:
 SMART MOTORS
 5901 ODANA ROAD
 MADISON, WI 53719

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4893 LARSON BEACH ROAD
 MCFARLAND, WI 53558



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD (FOR THE HEARING IMPAIRED) (800) 542-2289
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



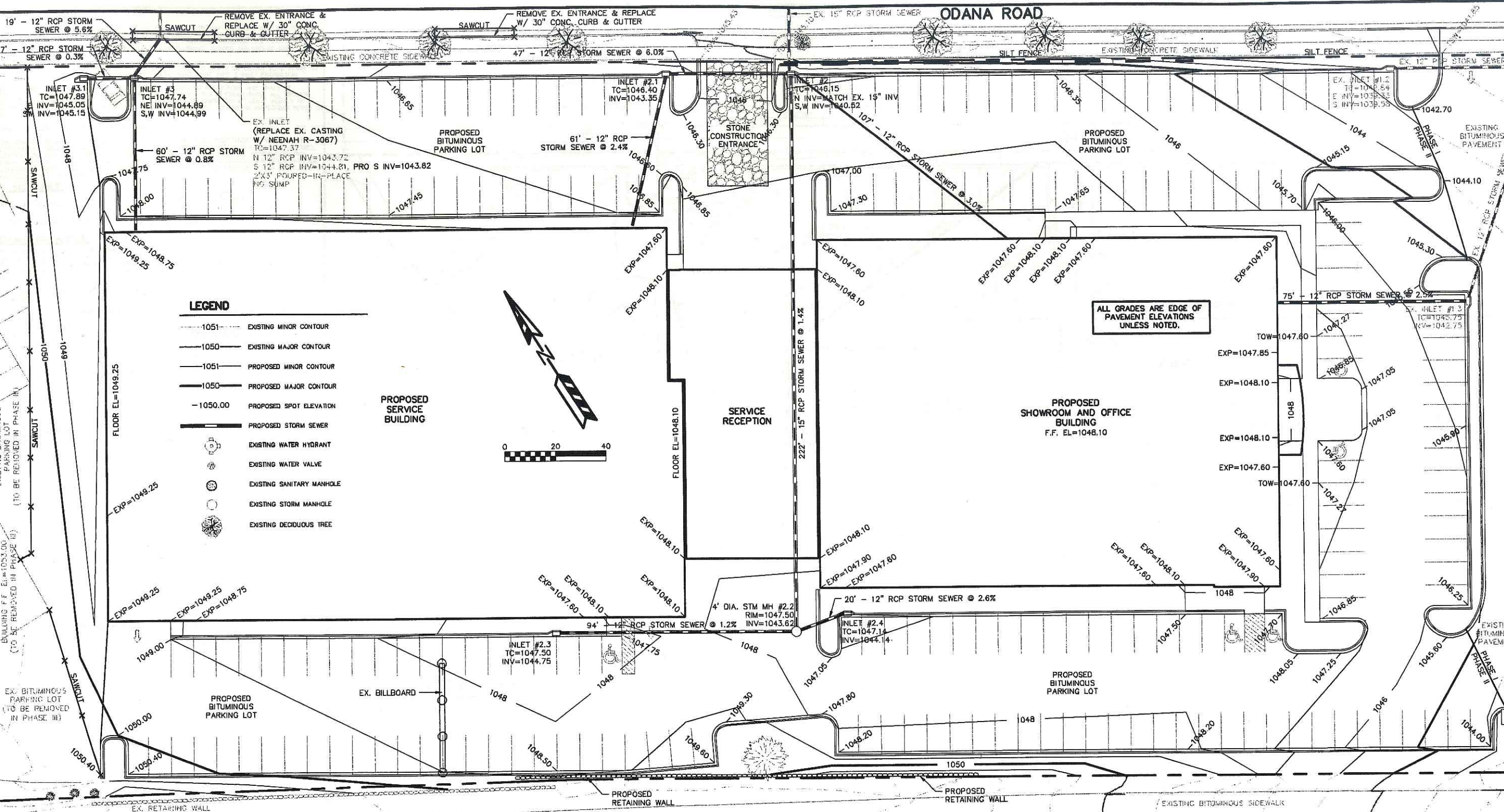
REVISIONS	REVISIONS	REVISIONS	REVISIONS	REVISIONS

Smart Motors
 New Toyota Facility
 5901 Odana Road
 Madison, WI 53719

Sullivan
 DESIGN BLDG /
 GENERAL CONTRACTORS
 P.O. BOX 269463, 1314 E. MLK ST.
 MADISON, WI 53725-9463 FAX 608-257-2506

DRAWING NAME
 PHASE I GRADING PLAN
 DRAWN BY: AFF/RDQ
 DATE: 6/06/06

SHEET
SP-4
 PROJ # PROJLN0



LEGEND

- 1051--- EXISTING MINOR CONTOUR
- 1050--- EXISTING MAJOR CONTOUR
- 1051--- PROPOSED MINOR CONTOUR
- 1050--- PROPOSED MAJOR CONTOUR
- 1050.00 PROPOSED SPOT ELEVATION
- PROPOSED STORM SEWER
- ⊕ EXISTING WATER HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING DECIDUOUS TREE

ALL GRADES ARE EDGE OF PAVEMENT ELEVATIONS UNLESS NOTED.

REVISIONS

REVISION 1
REVISION 2
REVISION 3
REVISION 4
REVISION 5
REVISION 6

Smart Motors
 New Toyota Facility
 5901 Odana Road
 Madison, WI 53719

Sullivan
 DESIGN BUILD / GENERAL CONTRACTORS
 P.O. BOX 259463, 1314 EHL ST. MADISON, WI 53725-9463
 FAX 608-257-2289

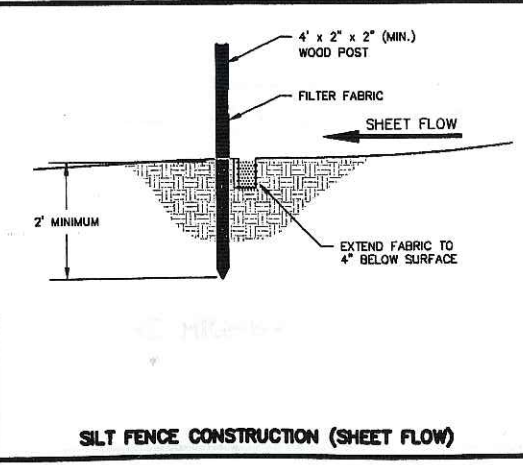
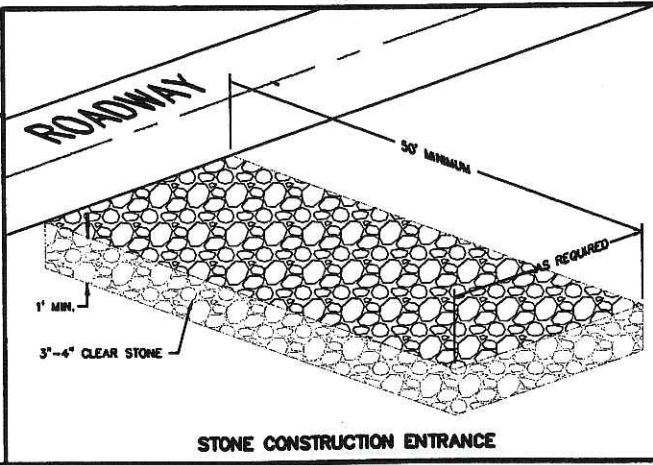
EROSION NOTES:
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 WDOT TYPE D INLET PROTECTION SHALL BE PLACED ON ALL EXISTING INLETS ON ODANA ROAD PRIOR TO ANY CONSTRUCTION. PROPOSED INLET STRUCTURES SHALL HAVE WDOT TYPE C INLET PROTECTION.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2.5:1.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
 SEPTEMBER 14 - SEPTEMBER 15, 2006 INSTALL EROSION CONTROL DEVICES.
 SEPTEMBER 16, 2006 - MAY 30, 2007 CONSTRUCT BUILDING, PARKING LOT AND UTILITIES AND RESTORE DISTURBED AREAS.

RESTORATION NOTES:
 ALL DISTURBED AREAS, EXCEPT PAVEMENT AND SIDEWALK, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 20 SHALL BE USED ON ALL AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET.
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.

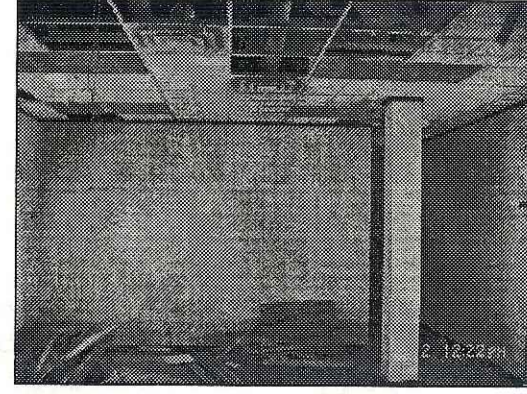
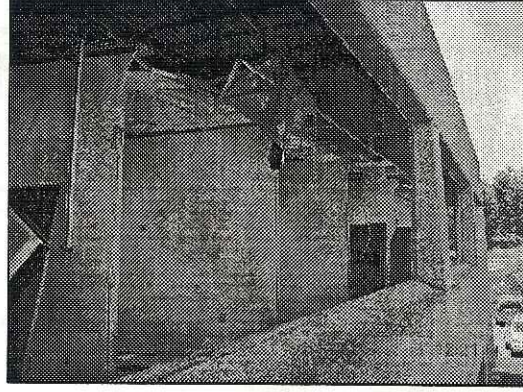
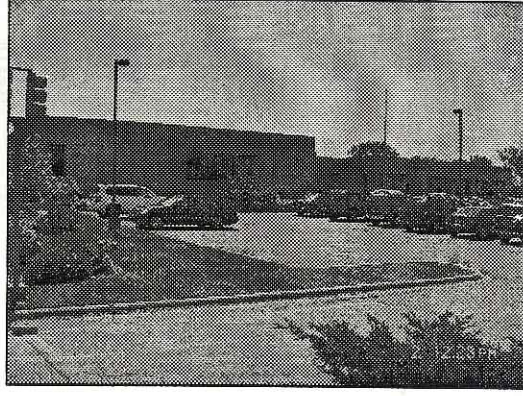
OWNER:
 SMART MOTORS
 5901 ODANA ROAD
 MADISON, WI 53719

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4893 LARSON BEACH ROAD
 MCFARLAND, WI 53558

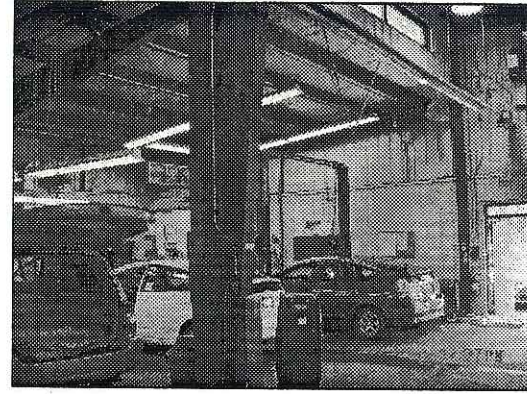
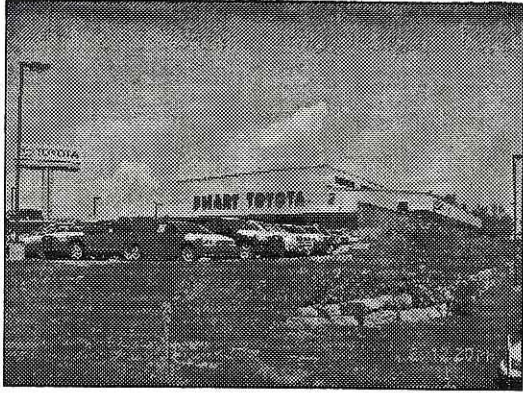


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

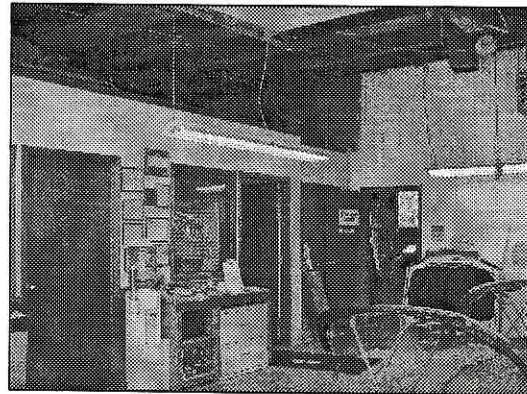
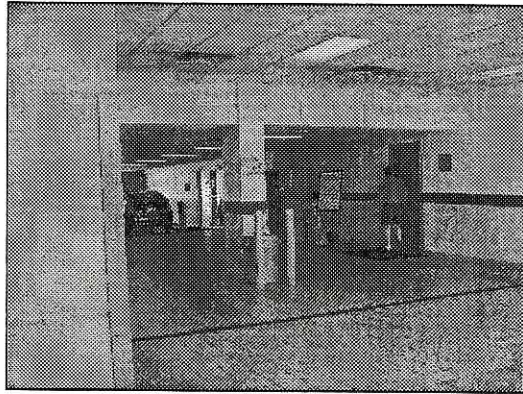
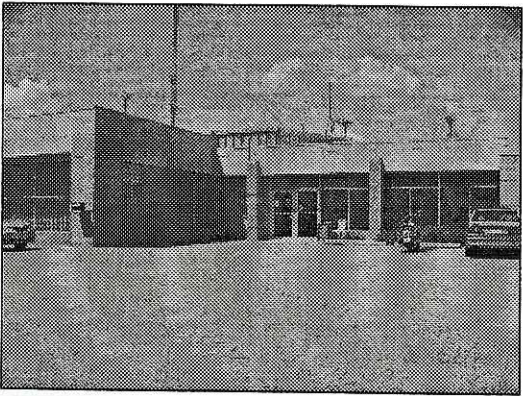
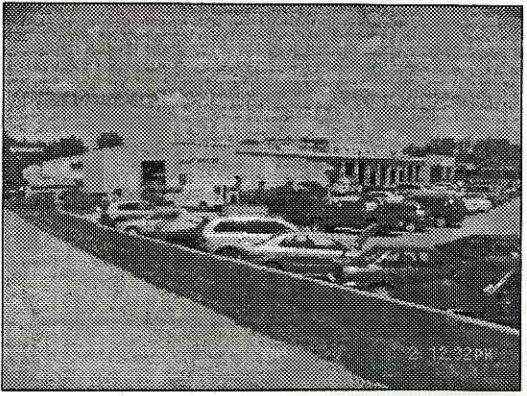
DRAWING NAME: PHASE II GRADING PLAN
 DRAWN BY: ATF/RDQ
 DATE: 6/06/06
 SHEET: SP-5
 PROJ # PROJING



EXISTING WI HOSPITAL ASSOCIATION BUILDING TO BE DEMOLISHED



EXISTING SMART TOYOTA BUILDING TO BE DEMOLISHED



EXISTING SMART VOLVO BUILDING TO BE DEMOLISHED

REVISIONS



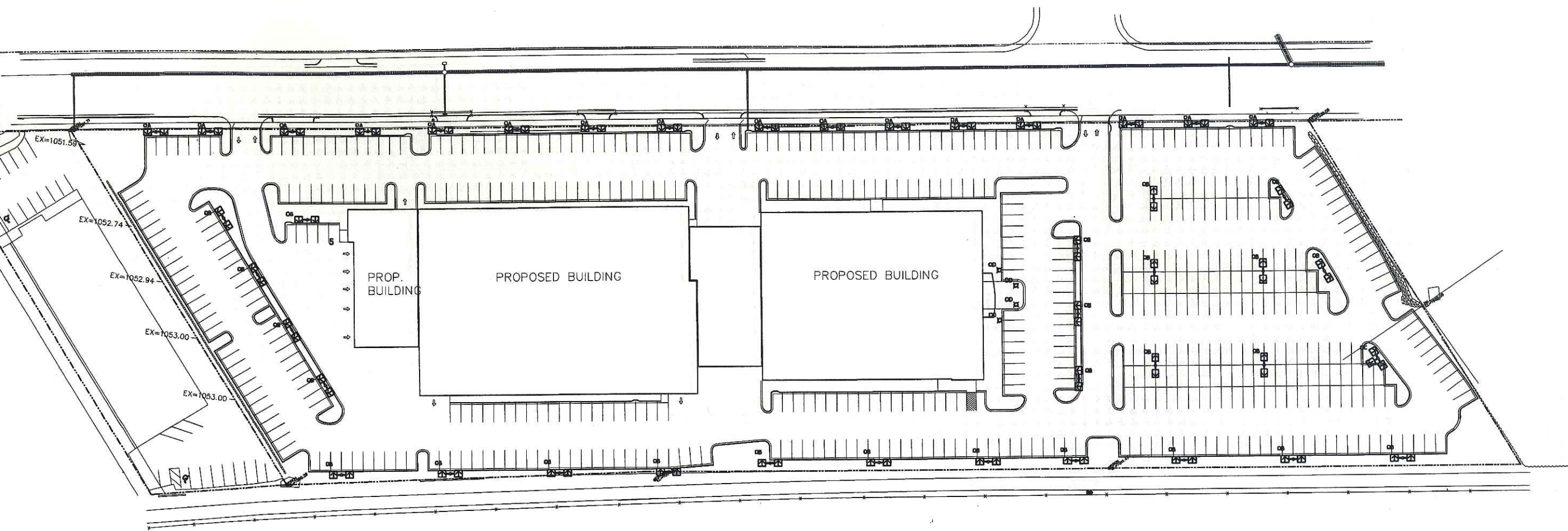
Smart Motors
 New Toyota Facility
 5901 Odana Road
 Madison, WI 53719

Henneth Sullivan & Co.
 DESIGN BUILD / GENERAL CONTRACTORS
 P.O. BOX 259463, 1314 EXPL ST., MADISON, WI 53725-9463
 608-257-2289 FAX 608-257-2506

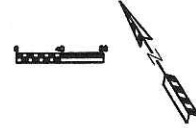
DRAWING NAME: SITE PHOTOS
 DRAWN BY: JIMT
 DATE: 6-2-04

SHEET: SP-7
 PROJ # 106-085

06/20/2006 10:08:02 PRELIM-site-ltg E0 (1) Copyright 2005 Kenneth F. Sullivan Company



1 Site Lighting Plan



DESIGN CRITERIA

THIS ENTIRE LOT QUALIFIES AS AN OUTDOOR MERCHANDISING AREA ACCORDING TO MADISON CITY ORDINANCE 10.085

ALL LIGHTING FIXTURES INSTALLED SHALL UTILIZE CLEAR FLAT LENSES WITH FULL CUT-OFF OR SHIELDED OUTPUT.

LIGHTING FIXTURE SCHEDULE					
TYPE	MANUFACTURER	CATALOG NO.	DESCRIPTION	QUANTITY	LAMPS
0A	KIM	2B/STX4/1000MH/XX-P	TWIN HEAD FORWARD THROW DISTRIBUTION 20' ROUND STEEL POLE ON 2' CONCRETE BASE	16	M-1000 BT-37
	LSI	CHH-FT-1000MHR-F	ARROW INDICATES OPTIC DIRECTION		
0B	KIM	2B/STX4/1000MH/XX-P	TWIN HEAD FORWARD THROW DISTRIBUTION 30' ROUND STEEL POLE ON 2' CONCRETE BASE	26	M-1000 BT-37
	LSI	CHH-FT-1000MHR-F	ARROW INDICATES OPTIC DIRECTION		
0C	KIM	3T/STX4/1000MH/XX-P	TRIPLE HEAD FORWARD THROW DISTRIBUTION 30' ROUND STEEL POLE ON 2' CONCRETE BASE	1	M-1000 BT-37
	LSI	CHH-FT-1000MHR-F	ARROW INDICATES OPTIC DIRECTION		
0D	KIM	VRB1-70PMH120-XX-P	42" ROUND BOLLARD WITH LOW BRIGHTNESS LOUVERS. PAINT FINISH SHALL MATCH POLES	4	M70/U/MED
	LSI	BVRD-EL-70MH-XX			

- NOTES
- ARROWS INDICATED ROTATION OF OPTICS WITHIN THE FIXTURE HOUSING.
 - ALL POLE MOUNTED FIXTURES SHALL HAVE FULL CUT-OFF OPTICS WITH FLAT GLASS LENSES.

REVISIONS:

Plan	Commission	Review

Smart Motors
 5901 Odana Road
 Madison, WI 53719

2861 Index Road
 Madison WI 53713
 608/271-2046
 Fax 271-0160

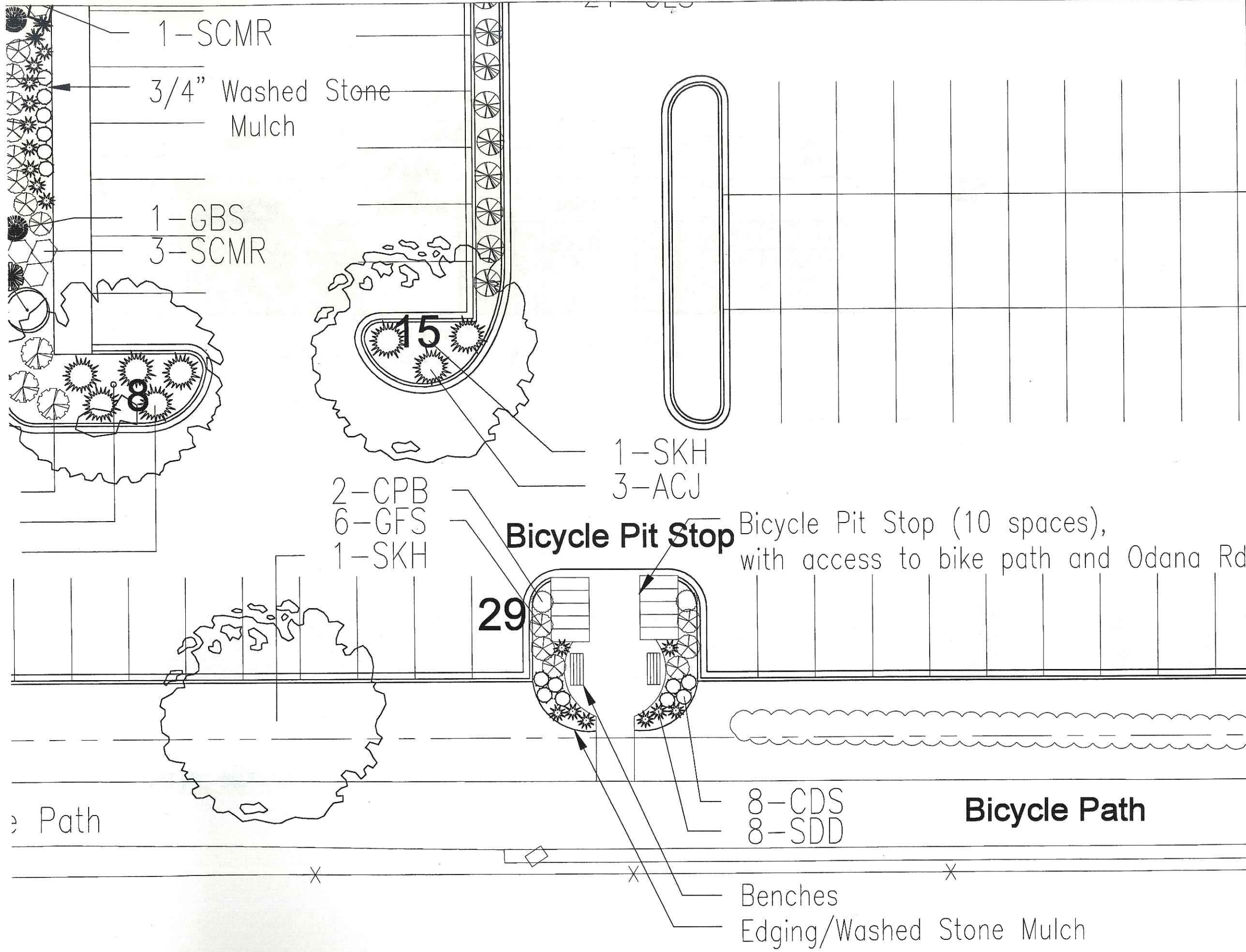


Electric Construction Inc.
 Electrical Design, Contracting & Consulting

JOB NUMBER
 DRAWN BY: RAR
 SCALE: 1" = 40'-0"
 DATE: 6/6/06

SHEET
 E-0

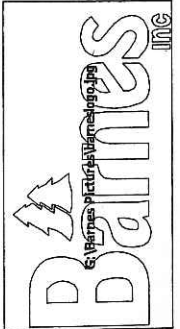
06/20/2006 09:30:05 Smart06-5-2000 A size (1) Copyright 2005 Kenneth F. Sullivan Company



SCALE: 1"=20'
DESIGN BY: 000
DATE: 00/00/06
REVISION:
REVISION:

Name
Address line 1
Address line 2

6433 NESBITT RD.
MADISON, WI 53719
PH. 608.845.3230
FX. 608.845.6339



Bicycle Pit Stop Bicycle Pit Stop (10 spaces),
with access to bike path and Odana Rd

Bicycle Path

8-CDS
8-SDD

Benches
Edging/Washed Stone Mulch

1-SCMR

3/4" Washed Stone
Mulch

1-GBS
3-SCMR

15

1-SKH
3-ACJ

2-CPB
6-GFS
1-SKH

29

e Path

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____

64007

DATE SUBMITTED: <u>JUNE 20, 2006</u>	Action Requested
UDC MEETING DATE: <u>JUNE 28, 2006</u>	<input checked="" type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 5901 ODANA ROAD

ALDERMANIC DISTRICT: 19 - NOEL RADOMSKI

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
J.R. SMART - SMART MOTORS JIM TRIATIK - K.F. SULLIVAN
5901 ODANA ROAD 1314 EMIL ST.
MADISON WI 53719 MADISON WI 53713

CONTACT PERSON: JIM TRIATIK - K.F. SULLIVAN CO.
Address: 1314 EMIL ST.
MADISON WI 53713
Phone: 608 - 257 - 2289
Fax: 608 - 257 - 2906
E-mail address: JIM@KFSULLIVAN.COM

TYPE OF PROJECT:
(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
 Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____



*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)