



Location
2502 Jeffy Trail

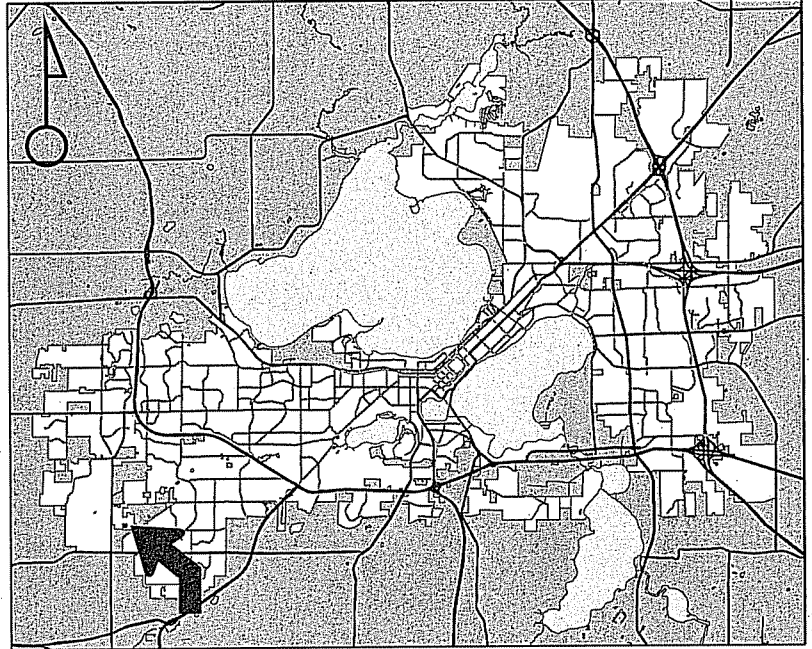
Project Name
Mill Creek Estates Condominiums

Applicant
Dennis Grosse - NGM, LLC./
Timothy Schleeper - Vierbicher

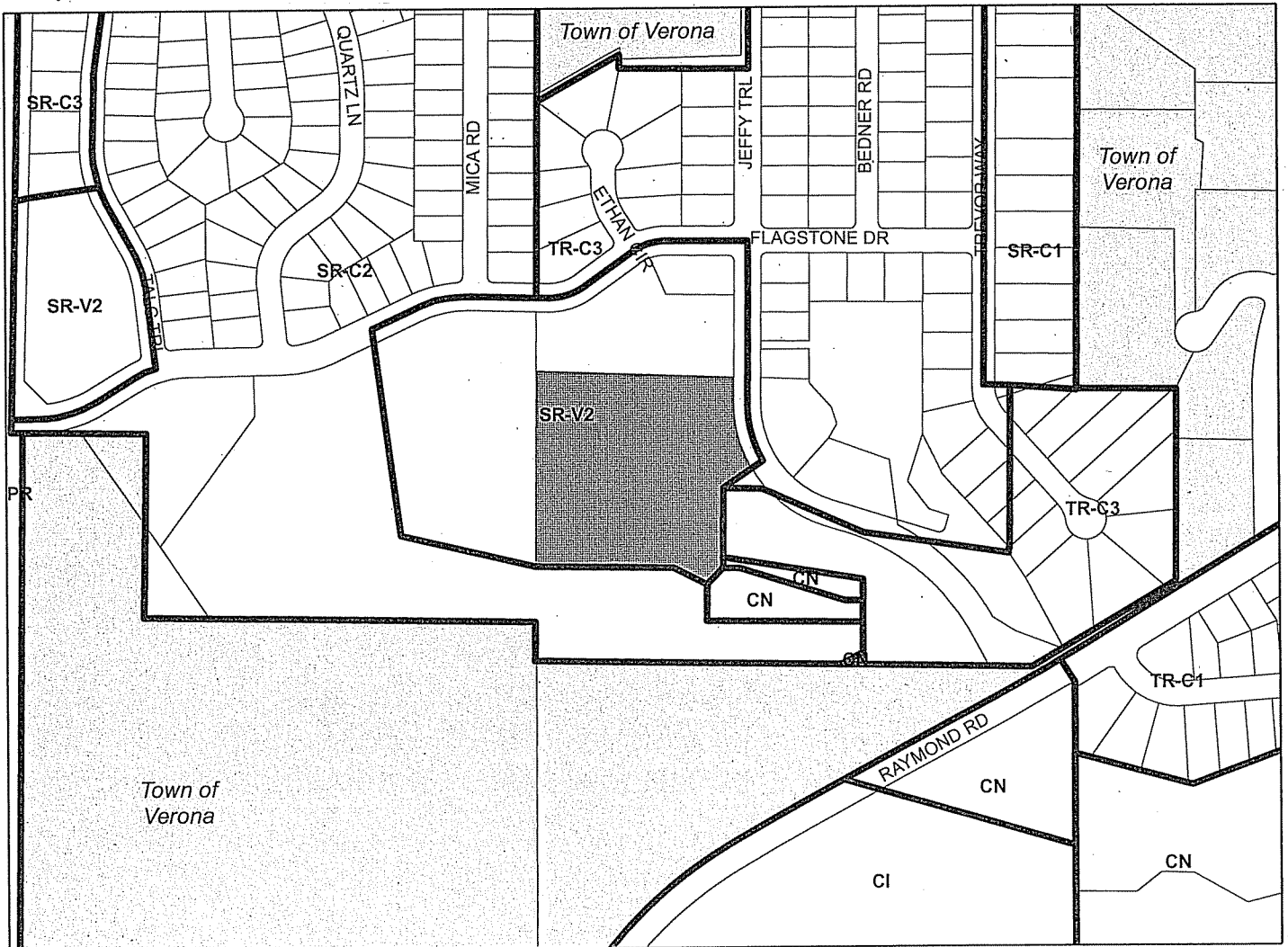
Existing Use
Previously Approved Residential Building
Complex

Proposed Use
Amend residential building complex
to reduce density and revise building
types

Public Hearing Date
Plan Commission
13 January 2014

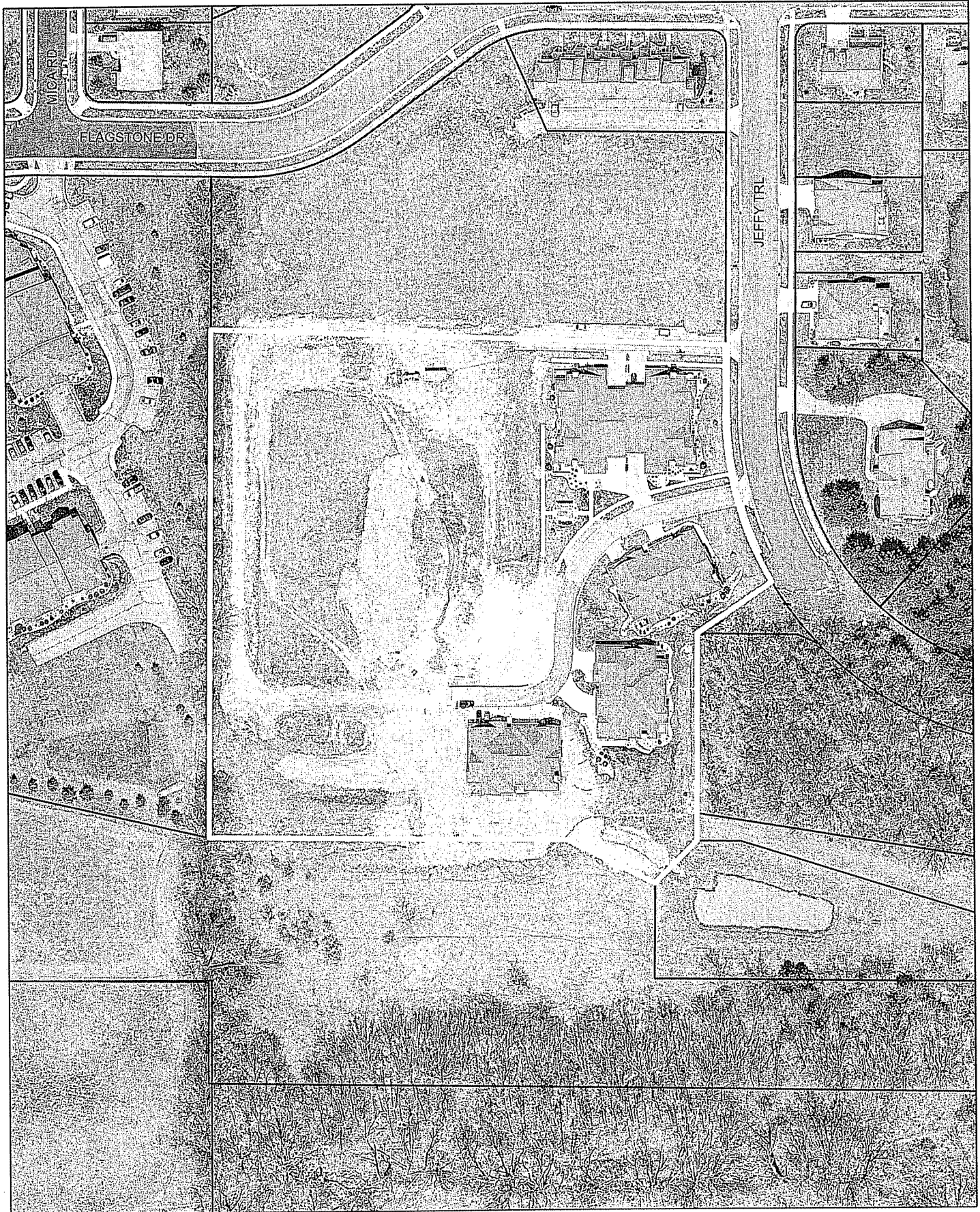


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 06 January 2013





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid \$1,200 Receipt No. 145592
 Date Received 7/31/13
 Received By JK
 Parcel No. 0608-031-1402-8
 Aldermanic District 1-Lisa Subeck
 Zoning District SR-V2
 Special Requirements Eng hold
 Review Required By:

Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 2502 Jeffy Trail
Project Title (if any): Mill Creek Estates Condominiums

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: Dennis Grosse Company: NGM, LLC
Street Address: 7507 Hubbard Avenue City/State: Middleton, WI Zip: 53562
Telephone: (608) 836-6896 Fax: (608) 836-6890 Email: dlgrosse@charter.net

Project Contact Person: Timothy Schleeper Company: Vierbicher
Street Address: 999 Fourier Drive, Suite 201 City/State: Madison, WI Zip: 53717
Telephone: (608) 821-3959 Fax: (608) 826-0530 Email: tsch@vierbicher.com

Property Owner (if not applicant): n/a
Street Address: _____ **City/State:** _____ **Zip:** _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: Project will reduce proposed density of the development by altering unit types to meet current market demands. Relative site layout, stormwater handling and greenspace will not be affected.

Development Schedule: Commencement August 2013 Completion _____

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Waived by alder. See e-mail sent by alder to Tim Parks 7/12/13

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks Date: 12/10/12 Zoning Staff: _____ Date: _____

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant NGM, LLC, ~ DENNIS GROSSE Relationship to Property: MEMBER
Authorizing Signature of Property Owner Dennis Grosse Date 7-15-13 17

December 4, 2013

Mr. Matt Tucker
Zoning Administrator
City of Madison
215 Martin Luther King Jr. Blvd.
Madison, WI 53701-2985

Re: Mill Creek Estates Condominiums – Revised Unit Mixture
Major Alteration to Existing Conditional Use Permit

Dear Mr. Tucker:

This letter of intent accompanies revised plans for a major alteration to the Conditional Use Permit (CUP) for Mill Creek Estates Condominiums, located at 2502 Jeffy Trail in the Hawk's Creek subdivision. This 5.3-acre parcel is currently zoned as a Planned Residential Development (SR-V2) and received a conditional use permit in 2007 for construction of 30 dwelling units.

Plans and a Land Use Application for this project were submitted for review on July 31, 2013. Since that time there has been a change in the ownership group and a further reduction in density for the 'middle' units within the development (three 2-units are being replaced with 4 single units). In addition, Units #6 and #7 have been issued building permits and are being constructed per the approved (2007) plans. Otherwise the plans are substantially the same as those submitted in July.

As we originally indicated in our submittal, changes in the housing market have required us to revisit the site plan for this parcel and re-evaluate the types and density of housing units. The original site plan included a variety of two and four unit building types with the bulk of the site consisting of four unit buildings. Since the approval of the original CUP, four structures have been constructed on site including one 4-unit building in the northeastern corner of the site, and three 2-unit buildings to the south of Mill Creek Drive.

The proposed amendments to the existing CUP include revising the unit type and density on the site. The approved CUP includes five duplexes, (three of which have already been constructed) and four four-unit buildings (one of which has already been constructed). In this amended application, the remaining two-unit buildings will be retained, but the four-unit buildings will be replaced with six one-unit buildings. These amendments adjust the original density from 30 units (5.6 dwelling units/acre) to 26 units (4.9 dwelling units/acre). The primary infrastructure of the site remains the same as the original CUP with the new duplex units distributed throughout the site.

The proposed duplexes include three different footprints and layouts and maintain the architectural styling of the existing buildings on the site. New duplex units will include three bedrooms per dwelling unit with private access and attached garages to accommodate two vehicles per unit. The single units will have three bedrooms and a two-car garage. All other amenities and stormwater management features will remain the same but will be adjusted for the new building footprints proposed.

The anticipated development schedule will be a phased approach over a number of years, dictated by what the residential market will absorb. The next phase of the project proposed will be to extend Mill Creek Drive westward from the current terminus near Units 25 and 26.

If you should have any questions about our application materials, please do not hesitate to contact one of our team members:

December 4, 2013
Page 2

Owner/Developer:

Ice Age Development, LLC
Contact: Dennis Grosse
(608) 836-6896
dlgrosse@keyhomesinc.net

Civil Engineer:

Vierbicher
Contact: Timothy Schleeper
(608) 821-3959
tsch@vierbicher.com

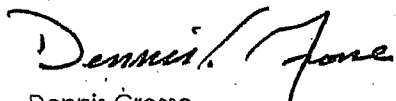
Architect:

Ferch Architecture
Contact: David Ferch
(608) 238-6900
david@fercharchitecture.com

Landscape Architect:

Glacier Landscaping
Contact: Shawn Campbell
(608) 845-5111
Shawn.campbell@glacierlandscapeinc.com

Sincerely,
Ice Age Development, LLC

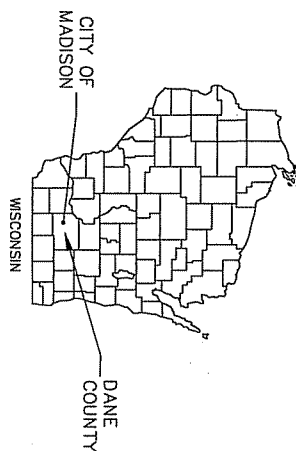
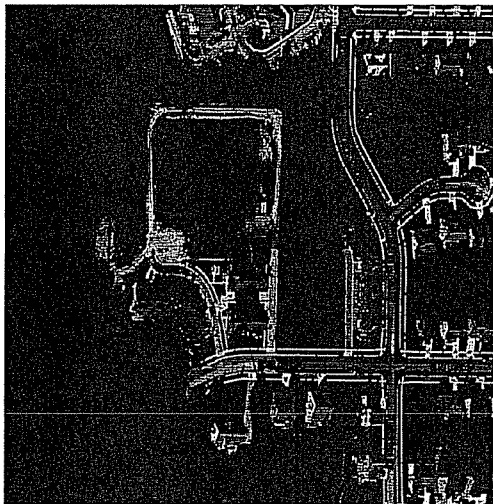

Dennis Grosse

M:\Key Construction\35107392_Mill Creek Estates\ENGINEERING\Task 5 Plan Prep for CUP Submittal to City\2ndSubmittal\CUP Amendment Letter of Intent (12-04-2013).docx

MILL CREEK ESTATES CONDOMINIUMS

2ND ADDITION TO HAWK'S CREEK

CITY OF MADISON, WISCONSIN



PROJECT LOCATION

SITE BENCHMARK
 EXISTING HYDRANT
 (SEE SHEET C101)
 ELEV = 1030.47
 (TOP NUT)



CALL DIGGER'S HOTLINE
 1-800-292-8911
 1-608-263-0700
 (FOR SERVICE OUTSIDE
 THE STATE OF WISCONSIN)
 REQUEST MANUAL OF 3 PAGES, DWS
 FORM 1000, FOR EXAMINE.

THE LOCATION OF EXISTING UTILITIES, SUCH AS WATER, GAS, ELECTRICITY, TELEPHONE, AND CABLE TELEVISION, IS INDICATED BY THE DOTTED LINES ON THIS SHEET. THE LOCATION OF ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, GAS, ELECTRICITY, TELEPHONE, AND CABLE TELEVISION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES TO EXISTING LOCATIONS.

CALL DIGGER'S HOTLINE
 1-800-292-8911

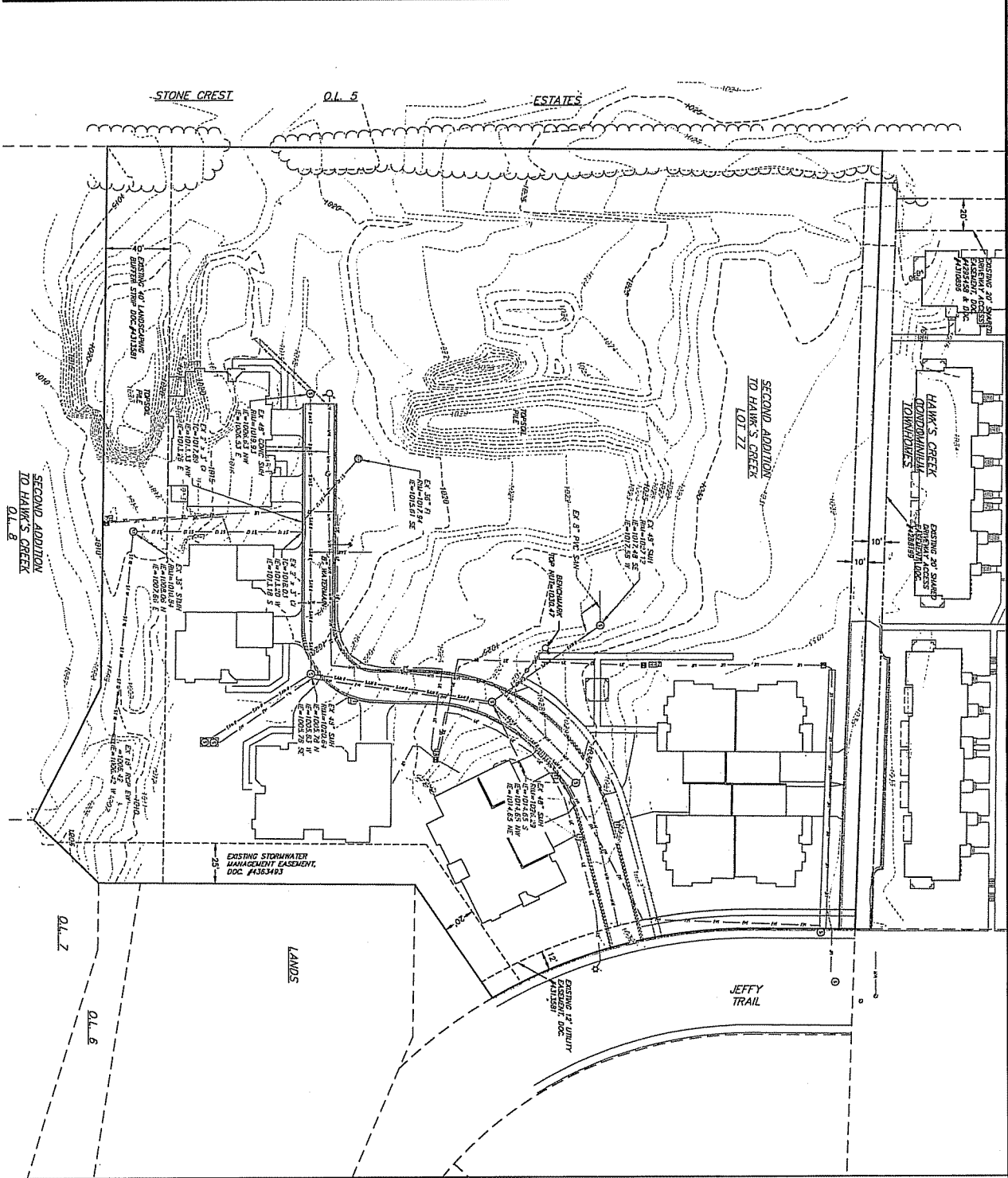
SHEET NO.	DESCRIPTION
G001	TITLE SHEET
C101	EXISTING CONDITIONS PLAN
C102	SITE PLAN
C103	OVERALL UTILITY PLAN
C201	GRADING AND EROSION CONTROL PLAN
C202	MILL CREEK P&P UTILITY PLAN
C501-C504	CONSTRUCTION DETAILS
G601	OPEN SPACE EXHIBIT
A101-A106	ARCHITECTURAL PLANS/ELEVATIONS
A107	LIGHTING PLAN
L101	LANDSCAPE PLAN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	12-04-13		
	CITY SUBMITTAL		

vierbicher
 planners | engineers | advisors
 REGISTERED - MADISON - PEABODY CITY CENTER
 777 Foster Drive, Suite 201 Madison, Wisconsin 53717
 Phone: (608) 833-6222 Fax: (608) 833-6223

001

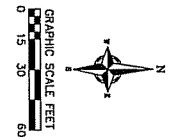
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TOPOG NOTES

1. Underground utility facilities were located by means on the ground surface. The location of these facilities is shown on this plan for accuracy of which we and our staff make no warranty.
2. This is NOT to be used as a design for any construction phases and is believed to be correct.

- SYMBOLIC LEGEND**
- ⊙ 1 1/4" x 8 iron rod
 - ⊙ 3/4" x 8 iron rod
 - △ SET P.K. MAIL CONTROL POINT
- TOPOGRAPHIC LEGEND**
- 11 EXISTING MAILBOX
 - 12 EXISTING SIGN
 - 13 EXISTING CORN INSET
 - 14 EXISTING SPOWALL
 - 15 EXISTING FIELD INLET
 - 16 EXISTING STORM MAIN
 - 17 EXISTING STORM MANHOLE
 - 18 EXISTING FIRE HYDRANT
 - 19 EXISTING WATER MAIN VALVE
 - 20 EXISTING GAS VALVE
 - 21 EXISTING ELECTRIC FEDESTAL
 - 22 EXISTING TRANSFORMER
 - 23 EXISTING LIGHT POLE
 - 24 EXISTING TV FEDESTAL
 - 25 EXISTING TELEPHONE FEDESTAL
 - 26 EXISTING RETAINING WALL
 - 27 EXISTING UNDERGROUND ELECTRIC LINE
 - 28 EXISTING SANITARY TONIC MAIN (SIC NOTED)
 - 29 EXISTING SANITARY SEWER LINE (SIC NOTED)
 - 30 EXISTING STORM SEWER LINE (SIC NOTED)
 - 31 EXISTING DRAIN OR TIECS
 - 32 EXISTING WATER MAIN (SIC NOTED)
 - 33 EXISTING MAJOR CONTOUR
 - 34 5'±
 - 35 10'±
 - 36 15'±
 - 37 20'±
 - 38 25'±
 - 39 30'±
 - 40 35'±
 - 41 40'±
 - 42 45'±
 - 43 50'±
 - 44 55'±
 - 45 60'±
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 - 47 70'±
 - 48 75'±
 - 49 80'±
 - 50 85'±
 - 51 90'±
 - 52 95'±
 - 53 100'±

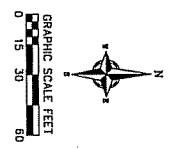
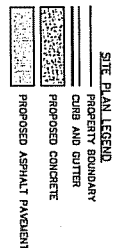
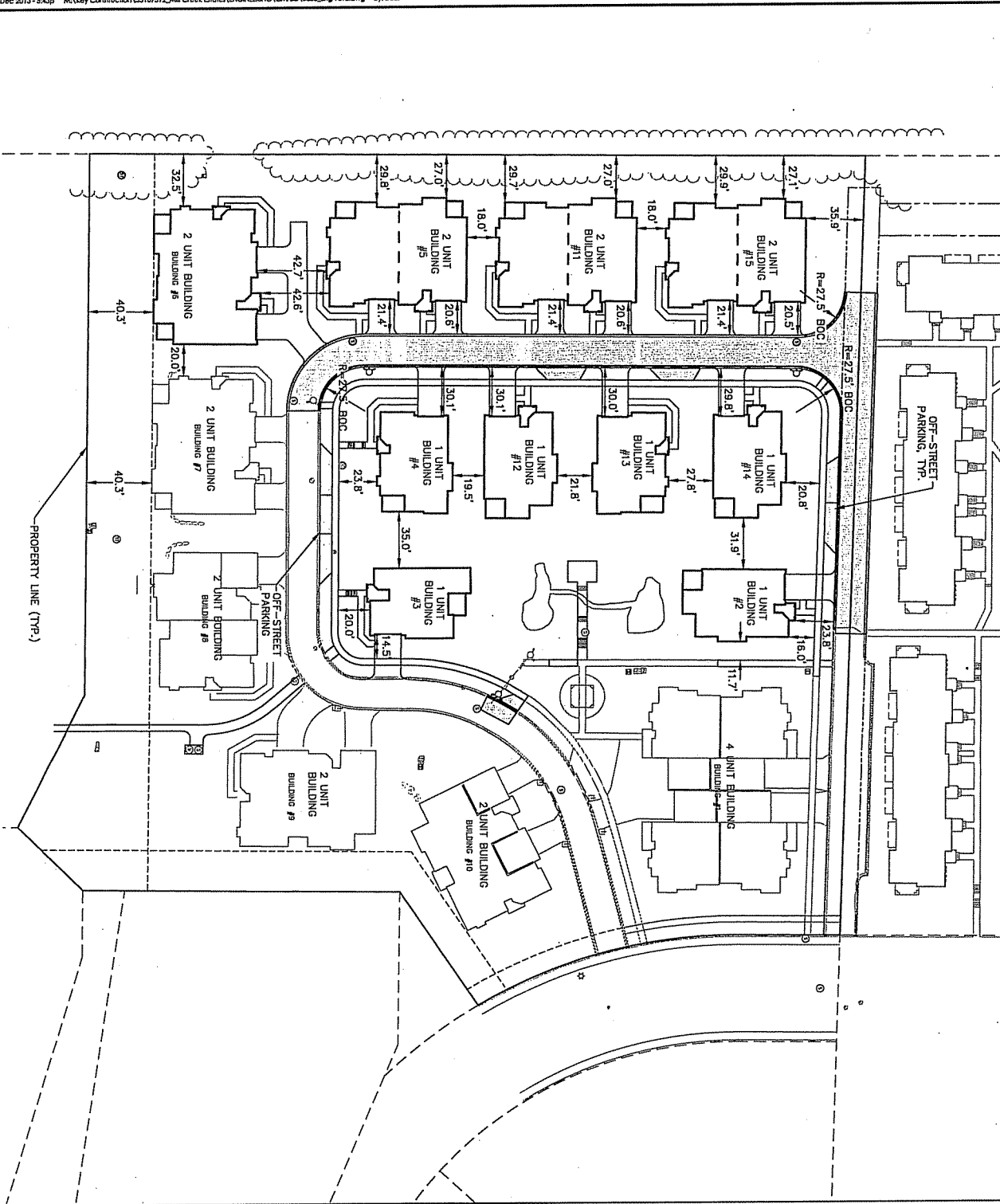


NO.	DATE	REVISIONS	NO.	DATE	REVISIONS
1	12-04-13	CITY SUBMITTAL			

EXISTING CONDITIONS PLAN
 MILL CREEK ESTATES CONDOMINIUMS
 2ND ADDITION TO HAWK'S CREEK
 CITY OF MADISON, DANE COUNTY, WISCONSIN

vierbicher
 planners | engineers | advisors

REGISTRATION - MADISON - PROFESSIONAL ENGINEER
 777 Foulke Drive, Suite 201, Madison, Wisconsin 53717
 Phone: (608) 254-0337 Fax: (608) 254-0330



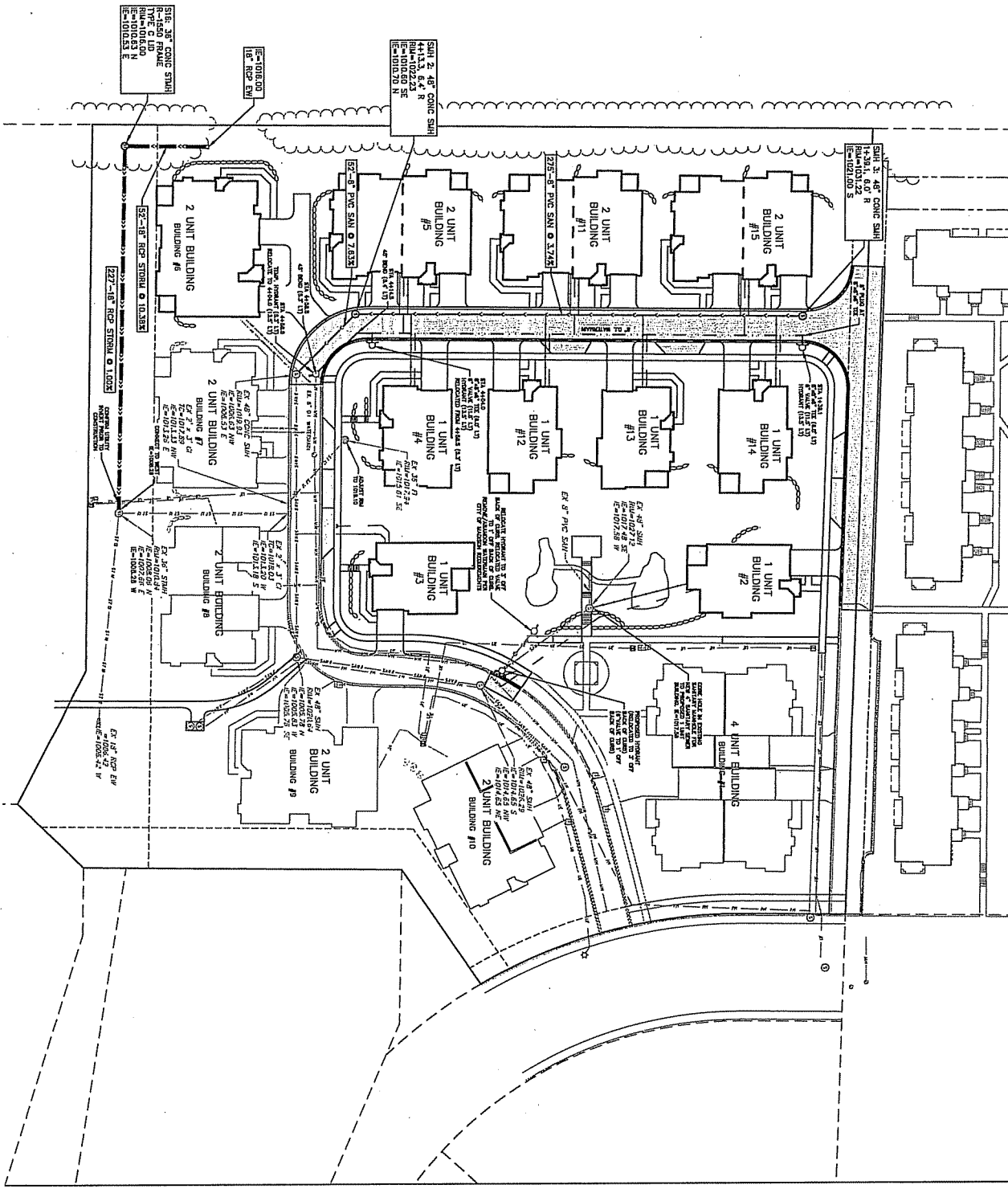
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	12-04-13		
CITY SUBMITTAL			

DATE: 7-30-13
 DRAWN BY: ADAM
 CHECKED BY: TROY
 PROJECT NO.: 25107212

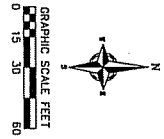
SITE PLAN
 MILL CREEK ESTATES CONDOMINIUMS
 2nd ADDITION TO HAWK'S CREEK
 CITY OF MADISON, DANE COUNTY, WISCONSIN

vierbicher
 planners | engineers | advisors

KEITH BAUM - MADISON - PRINCE DUCHER
 777 Taylor Drive, Suite 201 - Jackson, Wisconsin, 53117
 Phone: (608) 833-2222 Fax: (608) 833-2223



- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
 - STORM SEWER MANHOLE
 - STORM SEWER ENDWALL
 - STORM SEWER CURB INLET
 - STORM SEWER FIELD INLET
 - SANITARY SEWER PIPE (GRAVITY)
 - SANITARY SEWER MANHOLE
 - WATER MAIN
 - FIRE HYDRANT
 - WATER VALVE
 - GAS STOP
 - GAS MAIN
 - ELECTRIC SERVICE



ABBREVIATIONS

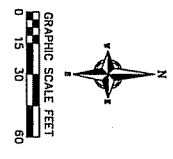
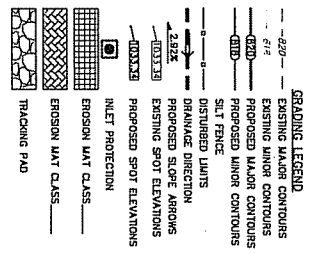
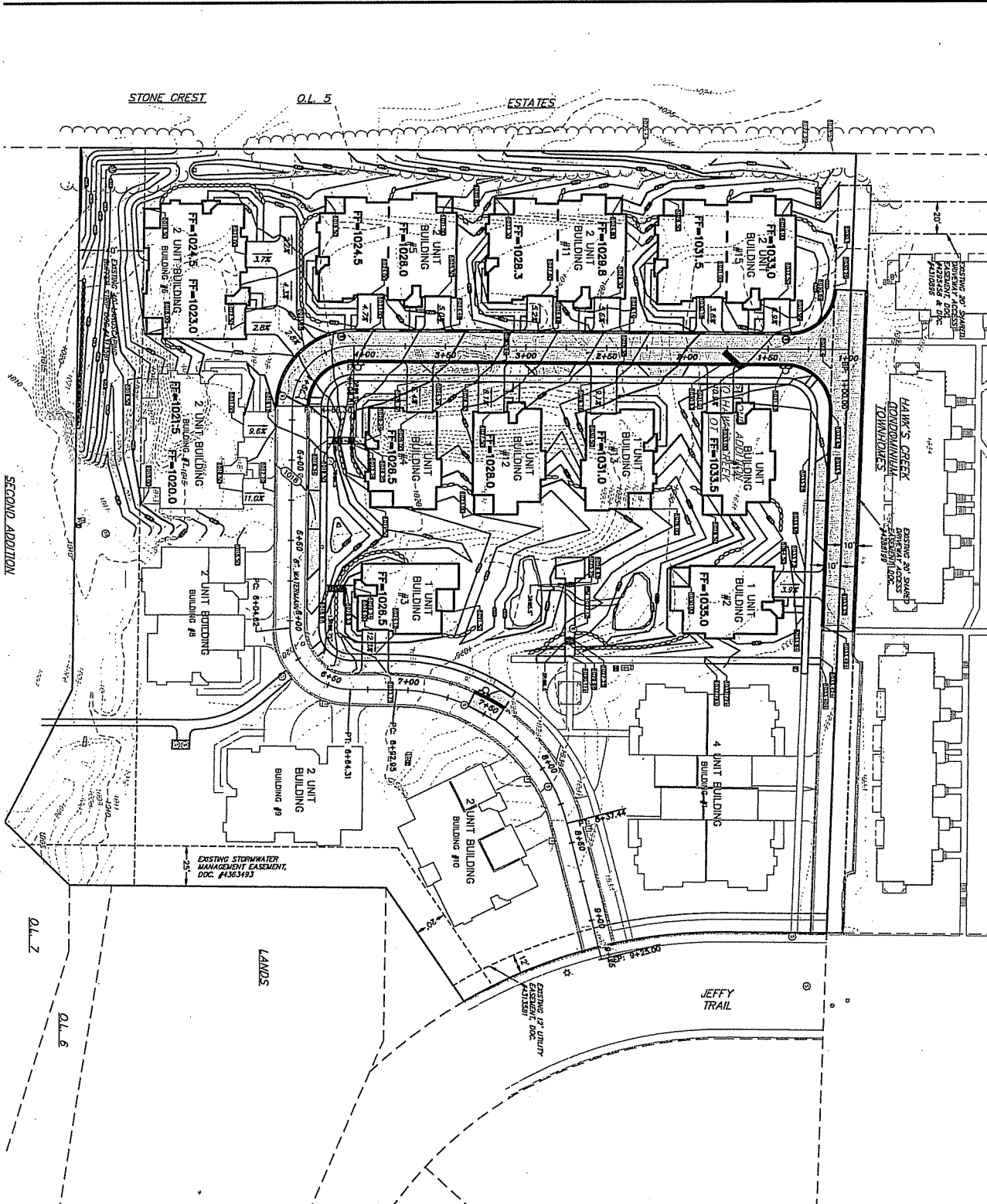
RM	REAR YARD MANHOLE
FM	FRONT YARD MANHOLE
CM	CURB MANHOLE
EM	ENDWALL MANHOLE
SM	SANITARY MANHOLE

REVISIONS		REVISIONS			
NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	12-04-13	CITY SUBMITTAL			

OVERALL UTILITY PLAN
 MILL CREEK ESTATES CONDOMINIUMS
 2nd ADDITION TO HAWK'S CREEK
 CITY OF MADISON, DANE COUNTY, WISCONSIN

vierbicher
 planners | engineers | advisors

REIDSBURG - MADISON - PRAIRIE DU CHIEN
 777 Tucker Drive, Suite 201 Madison, Wisconsin 53717
 Phone: (608) 241-0333 Fax: (608) 241-0330

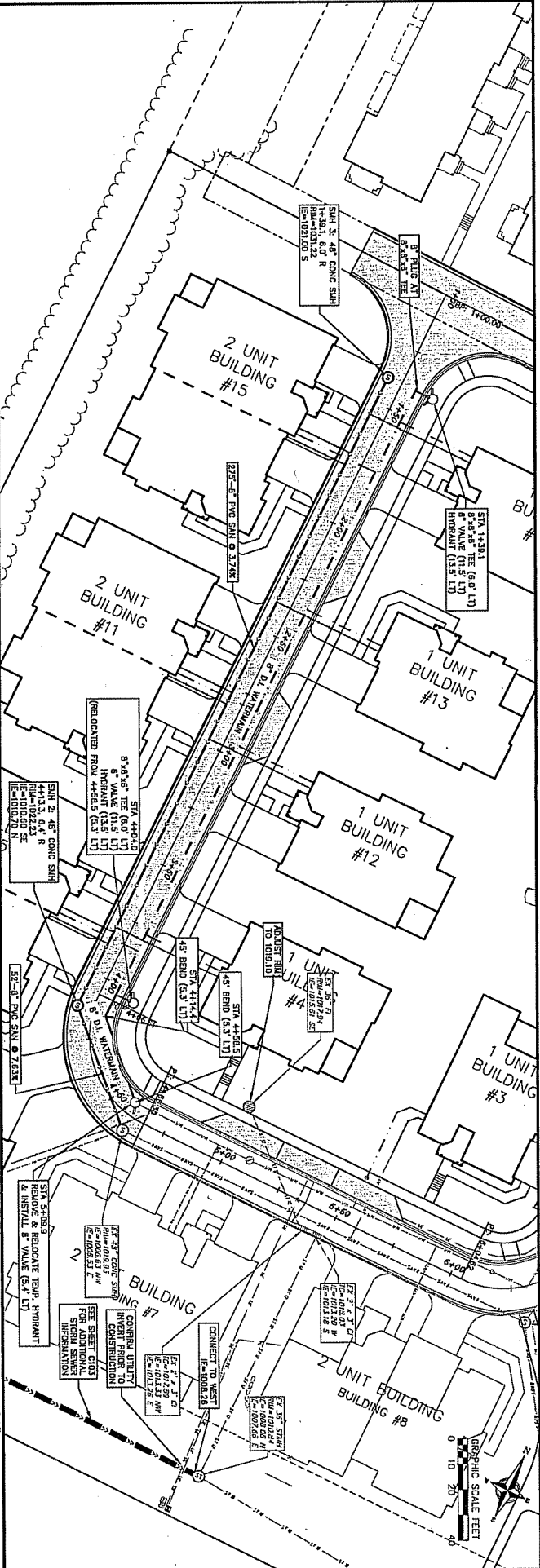
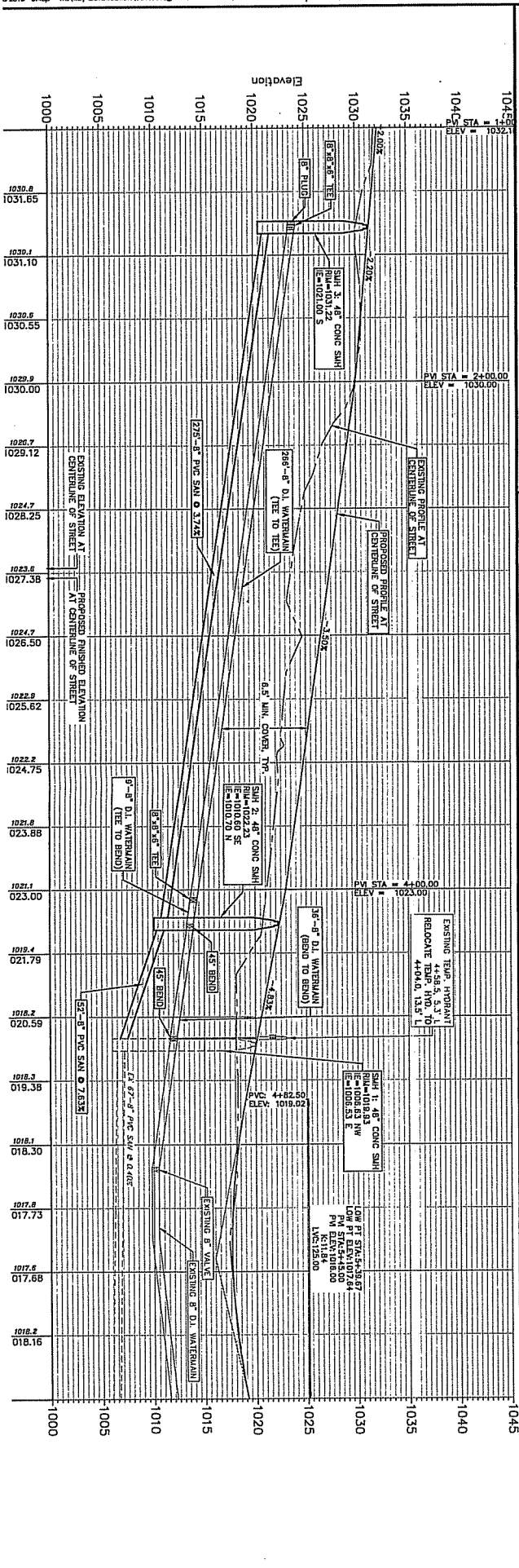


REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	11-04-13	CITY SUBMITTAL			

GRADING & EROSION CONTROL PLAN
 MILL CREEK ESTATES CONDOMINIUMS
 2nd ADDITION TO HAWK'S CREEK
 CITY OF MADISON, DANE COUNTY, WISCONSIN

vierbicher
 planners | engineers | architects

1800 Wisconsin Avenue, Suite 200 Madison, Wisconsin 53717
 Phone: (608) 636-2222 Fax: (608) 636-0020



REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	12-04-13		
CITY SUBMITTAL			

MILL CREEK PLAN & PROFILE UTILITY PLAN
 MILL CREEK ESTATES CONDOMINIUMS
 2nd ADDITION TO HAWK'S CREEK
 CITY OF MADISON, DANE COUNTY, WISCONSIN

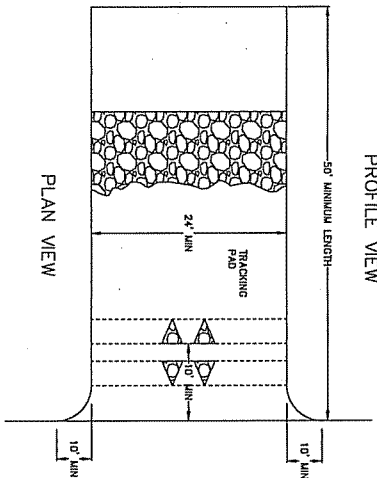
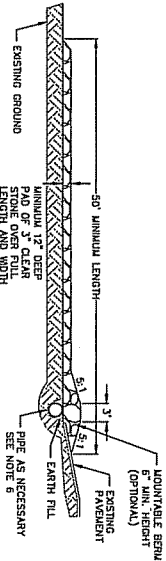
vierbicher
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KEESBURG - MADISON - PRAIRIE DU CHIEN
 777 Parker Drive, Suite 201 Madison, WI 53716
 Phone: (608) 824-0322 Fax: (608) 824-0330

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EROSION CONTROL MEASURES

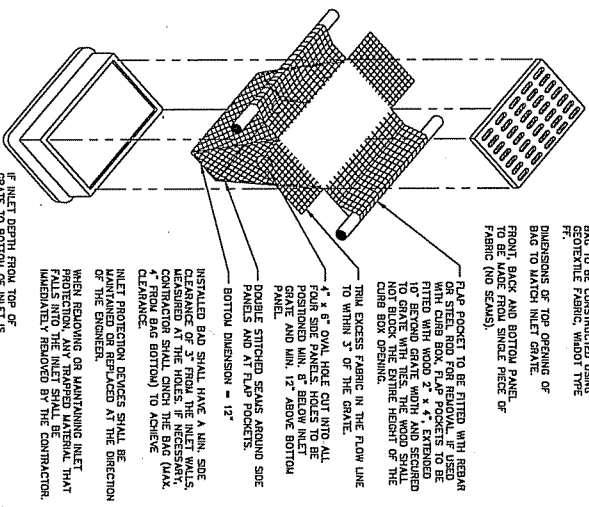
1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTERS 210 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONTRACTOR AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN BEST MANAGEMENT PRACTICE MANUAL, Appendix A/B/C/D/E/F/G/H/I/J/K/L/M/N/O/P/Q/R/S/T/U/V/W/X/Y/Z.
3. INSTALL EROSION CONTROL MEASURES (TRACKING PAD, SPREADER SILT FENCE, INLET PROTECTION, ETC.) PRIOR TO UNDOING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO HAVE EROSION CONTROL MEASURES AT THE END OF EACH WEEK AND WHEN A SCHEDULED STOP WORK PERIOD OCCURS. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS REQUIRED BY THE DMG AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THE PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL BE MAINTAINED AND REPAIRED AS REQUIRED BY THE DMG AND/OR CITY. ROADWAY SHALL BE MAINTAINED AND REPAIRED AS REQUIRED BY THE DMG AND/OR CITY. STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED SWALE: ROAD ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIRTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED SOILS: ANY SOIL ON DIRT PILES WHICH WILL REMAIN IN EXPOSURE FOR LONGER THAN 24 HOURS SHALL BE STABILIZED BY WORKING DURING THAT PERIOD OR NOT SHALL NOT BE LOCATED WITHIN 25 FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES DISTURBED AREAS AND SOIL PILES WHICH WILL REMAIN IN EXPOSURE FOR A PERIOD OF LONGER THAN 14-CONCRETING CALUMBER DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHOULD HAVE A DEPTH OF AT LEAST 3 FEET. BE SURROUNDED BY A SLOPE OF EQUIVALENT BARBER AND PAWS SURFACE. SURFACE AREA SHOULD BE MAINTAINED AND REPAIRED AS REQUIRED BY THE DMG AND/OR CITY. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE. A DRAINAGE NEIGHBORING SITE OR THE BDD OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DMG TECHNICAL STANDARD 1001 (DE-WATERING).
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL INLET FILTERS SHALL BE MAINTAINED AND REPAIRED AS REQUIRED BY THE DMG AND/OR CITY. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE DRAINAGE COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN ON THE DESIGN DRAWING SHEET.
12. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, THE CONTRACTOR SHALL PROVIDE PROTECTION OF ALL NEWLY SEEDS AND MULCH AREAS THROUGHOUT A YEAR WITHOUT A RAIN EVENT.
15. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH A RATIO BETWEEN 10% AND 3:1. DO NOT USE IN CHANNELS. SOIL STABILIZERS SHALL BE TYPE B PER WISCONSIN D.O.T. ALL PRODUCTS ACCEPTABILITY LISTED ON EQ-APPLIED WHEREAS VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
16. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTROLS AT 100 FOOT INTERVALS DOWN THE SLOPE OF THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET DOWN TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PRODUCT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DMG COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
21. THE CITY OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.



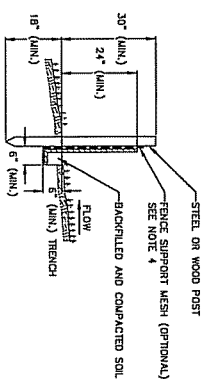
1 TRACKING PAD
NOT TO SCALE

1. FOLLOW WISCONSIN DMG TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
 2. LENGTH - MINIMUM OF 50'.
 3. WIDTH - 24' MINIMUM, SHOULD BE PLACED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WESST TYPE-48 GEOTEXTILE FABRIC.
 5. STONE - CONSIST OF 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE TRACKING PAD SHALL BE 12" DIA. WITH A 1% SLOPE. THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAND PIPE.
 7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTRANCE MAT.
- CONSTRUCTION SEQUENCE:**
1. INSTALL SILT FENCE, TRACKING PAD, AND THE-50' INLET PROTECTION
 2. STRIP TOPSOIL AND STOCKPILE
 3. ROUGH GRADE STREETS AND LOTS.
 4. SEED LOT AREAS AND INSTALL DRIVE-OR-VELOCITY CHECKS (IF NECESSARY)
 5. CONSTRUCT UNDERGROUND UTILITIES
 6. INSTALL INLET PROTECTION
 7. CONSTRUCT ROADS (STRIP BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED.
 8. RESTORE TERRACES.
 9. REMOVE SILT FENCE AND EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE RESTORED AND VEGETATION IS ESTABLISHED.
- SEEDING RATES:**
- 1. TURFGRASS: 1 LB. OF TURFGRASS SEED AT 3.0 LB./1,000 SF. FOR SPRING AND SUMMER PLANTINGS.
 - 2. WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF. AFTER SEPT. 15.
 - 3. PERMANENT SEED: 1 LB. OF PERMANENT SEED AT 1.0 LB./1,000 SF.
 - 4. USE WISCONSIN D.O.T. SEED MIX #10 AT 2 LB./1,000 SF.
- FERTILIZING RATES:**
- 1. TURFGRASS AND PERMANENT SEED: USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 SF.
 - 2. WINTER WHEAT OR RYE: USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 SF.
 - 3. PERMANENT SEED: USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 SF.
- MULCHING RATES:**
- 1. TURFGRASS AND PERMANENT SEED: USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 SF.
 - 2. WINTER WHEAT OR RYE: USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 SF.
 - 3. PERMANENT SEED: USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 SF.

2 INLET PROTECTION TYPE D
NOT TO SCALE



3 SILT FENCE
NOT TO SCALE

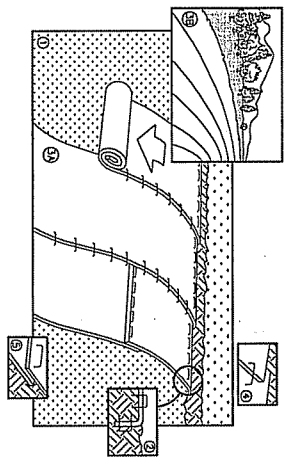


1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
 2. CHAIN THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
 3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX).
 4. SILT FENCE SUPPORT MESH CONSISTS OF 1/4-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR FIBERGLASS POLYESTER MESH OF EQUIVALENT STRENGTH.
- NOTES:**
- 1. BAG TO BE CONSTRUCTED USING GEOTEXTILE FABRIC, WADOT TYPE FT.
 - 2. DIMENSIONS OF TOP OPENING OF BAG TO MATCH INLET GATE.
 - 3. FRONT, BACK AND BOTTOM PANELS TO BE MADE FROM SINGLE PIECE OF FABRIC (NO SEAMS).
 - 4. BAG TO BE FITTED WITH REAR OR STEEL ROD FOR REMOVAL. IF USED WITH CURB BOX, FLAP POCKETS TO BE FITTED WITH WOOD X 1/2" X 1" EXTENDED TO GRADE WITH TIES. THE WOOD SHALL NOT BLOCK THE STRIKE HEIGHT OF THE CURB BOX OR INLET.
 - 5. 1/2" X 1/2" EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GATE.
 - 6. 4" X 6" OVAL HOLE CUT INTO ALL FOUR SIDE PANELS BEGINS TO BE FITTED WITH WOOD X 1/2" X 1" EXTENDED TO GRADE WITH TIES. THE WOOD SHALL NOT BLOCK THE STRIKE HEIGHT OF THE CURB BOX OR INLET.
 - 7. DOUBLE STITCHED SEAMS AROUND SIDE PANELS AND AT FLAP POCKETS.
 - 8. BOTTOM DIMENSION = 12".
 - 9. INSTALLED BAG SHALL HAVE A MIN. SOLE MEASURED AT THE HOLES. IF NECESSARY, CONTRACTOR SHALL OBTAIN THE BAG (MAX. LENGTH) FROM BAG BOTTOM TO ACHIEVE CLEARANCE.
 - 10. INLET PROTECTION DEVICES SHALL BE MAINTAINED AND REPAIRED AS REQUIRED BY THE ENGINEER. WHEN REMOVAL OF UNMAINTAINED INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
 - 11. IF INLET DEPTH FROM TOP OF GATE TO BOTTOM OF INLET IS LESS THAN 30", CONTRACTOR SHALL SUBSTITUTE WADOT TYPE C INLET PROTECTION.

REVISIONS		REVISIONS			
NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	10-24-13	CITY SUBMITTAL			

DATE: 7-23-13
DRAWN: JLR
CHECKED: TSN
PROJECT: 31070792

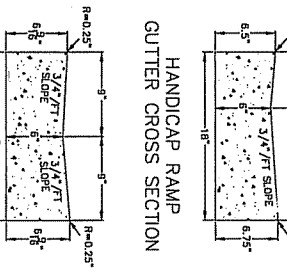
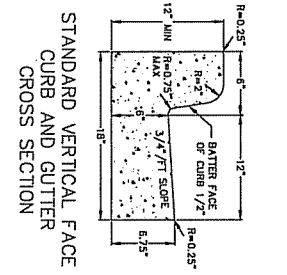
CONSTRUCTION DETAILS
MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN



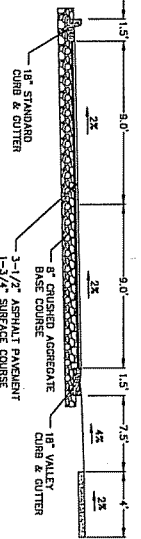
NOTE: REFER TO GENERAL STABLE PATTERN GUIDE FOR CORRECT STABLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
2. WHEN USING PERMITS, DO NOT USE PREPARED AREA.
3. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP HOLES.
4. WHEN BLANKETS MUST BE SPACED DOWN THE SLOPE, PLACE BLANKETS END TO END.
5. THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

1 EROSION MAT
NOT TO SCALE

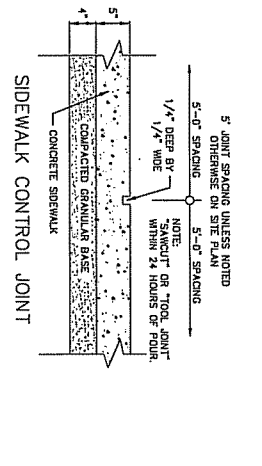
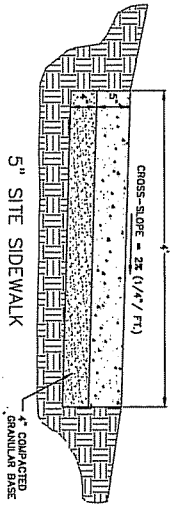


2 18" CONCRETE CURB AND GUTTER
NOT TO SCALE

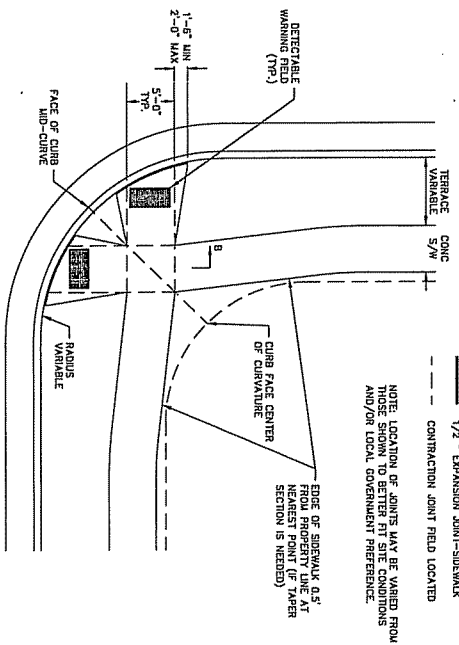
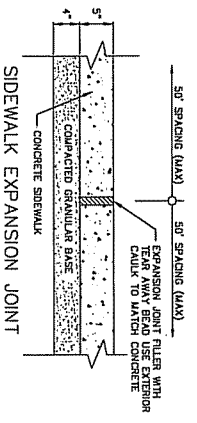


3 TYPICAL SECTION
NOT TO SCALE

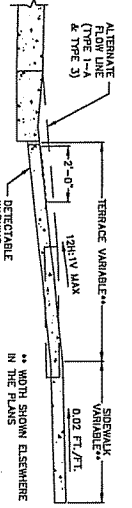
GENERAL NOTES:
DETAILS OF CONSTRUCTION, MATERIALS, AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
RAMPS SHALL BE BUILT AT 12H:1V OR FLATTER, WHEN NECESSARY. THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.
CURB RAMP DETECTABLE WARNING FLD MATERIALS AND COLORS SHALL BE APPROVED BY THE CITY ENGINEER. THE COLOR OF THE DETECTABLE WARNING FLD SHALL BE SAFETY YELLOW.
SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COURSE BRIDGING TRANSVERSE TO THE SLOPE OF THE RAMP.
USE TRUNCATED DOME PATTERN AT ALL PEDESTRIAN RAMPS.
ALL PANELS WILL BE GRAY-COATED METAL. PLASTIC PANELS WILL NOT BE ALLOWED.



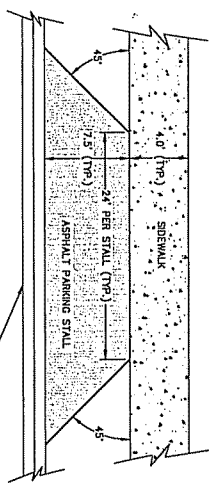
4 5" SIDEWALK
NOT TO SCALE



5 CURB RAMP DETAIL
NOT TO SCALE



SECTION B-B



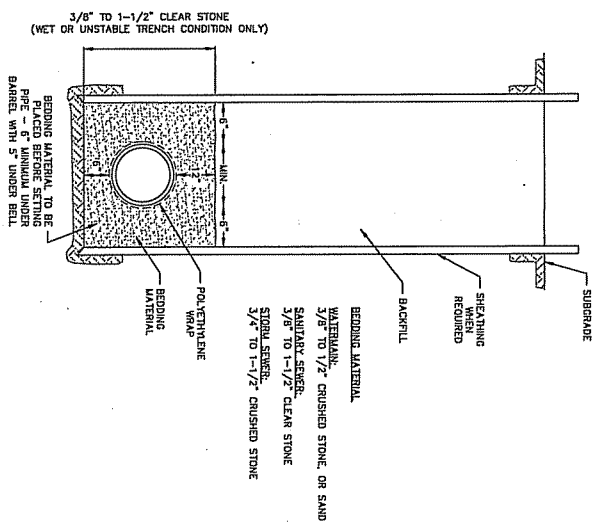
6 ASPHALT PARKING STALL DETAIL
NOT TO SCALE

NO.	DATE	REVISIONS	REMARKS
1	12-04-10	CITY SUBMITTAL	

CONSTRUCTION DETAILS
MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

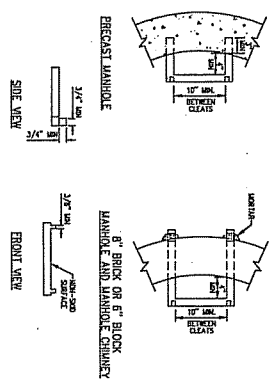
vierbicher
planners | engineers | advisors
177 Foster Drive, Suite 201, Madison, Wisconsin 53717
Phone: (608) 631-6322 Fax: (608) 631-6330

1 STANDARD TRENCH SECTION
NOT TO SCALE

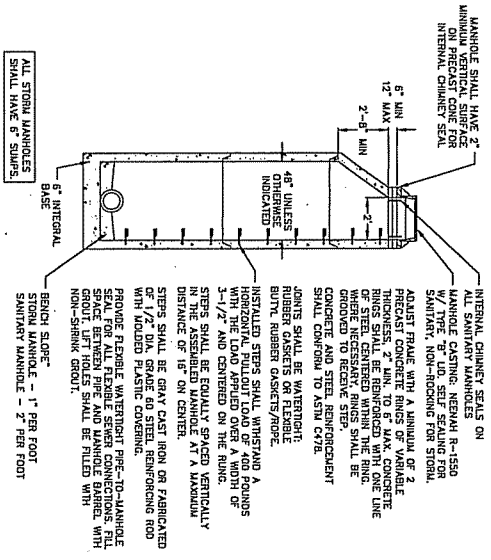


PROVIDE COVERED TEST DATA THAT THE STEPS CAN WITHSTAND AN 800-POUND VERTICAL LOAD WITHOUT LIFTING. HAVE 3/4\"/>

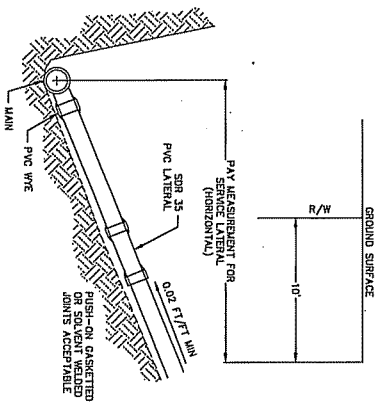
4 MANHOLE STEP DETAILS
NOT TO SCALE



2 PRECAST CONCRETE MANHOLE
NOT TO SCALE

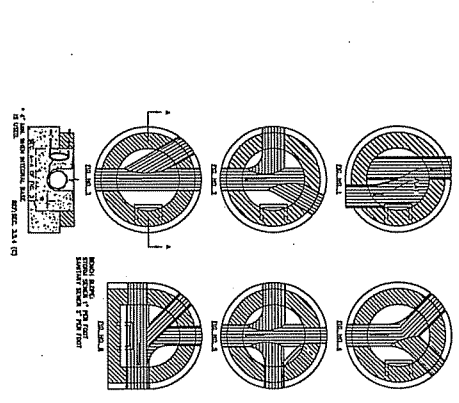


5 SANITARY SEWER LATERAL
NOT TO SCALE

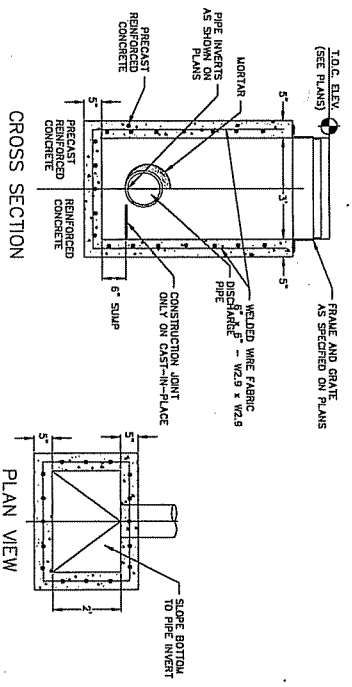


NOTES: CONTRACTOR STATED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AGENCY THAT ALL LATERALS SHALL BE INSTALLED TO A POINT TO BEYOND THE RIGHT-OF-WAY. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL THE LENGTH OF LATERAL REQUIRED FOR INSTALLATION AND THE REQUIRED TERMINATION POINT.

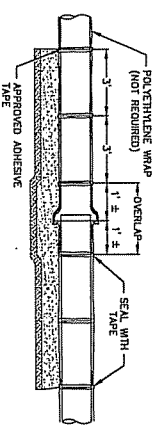
3 STANDARD MANHOLE INVERTS
NOT TO SCALE



6 CURB INLET - TYPE 3, 2' x 3' BASIN
NOT TO SCALE



7 WATERMAIN TRENCH SECTION (POLYWRAP)
NOT TO SCALE

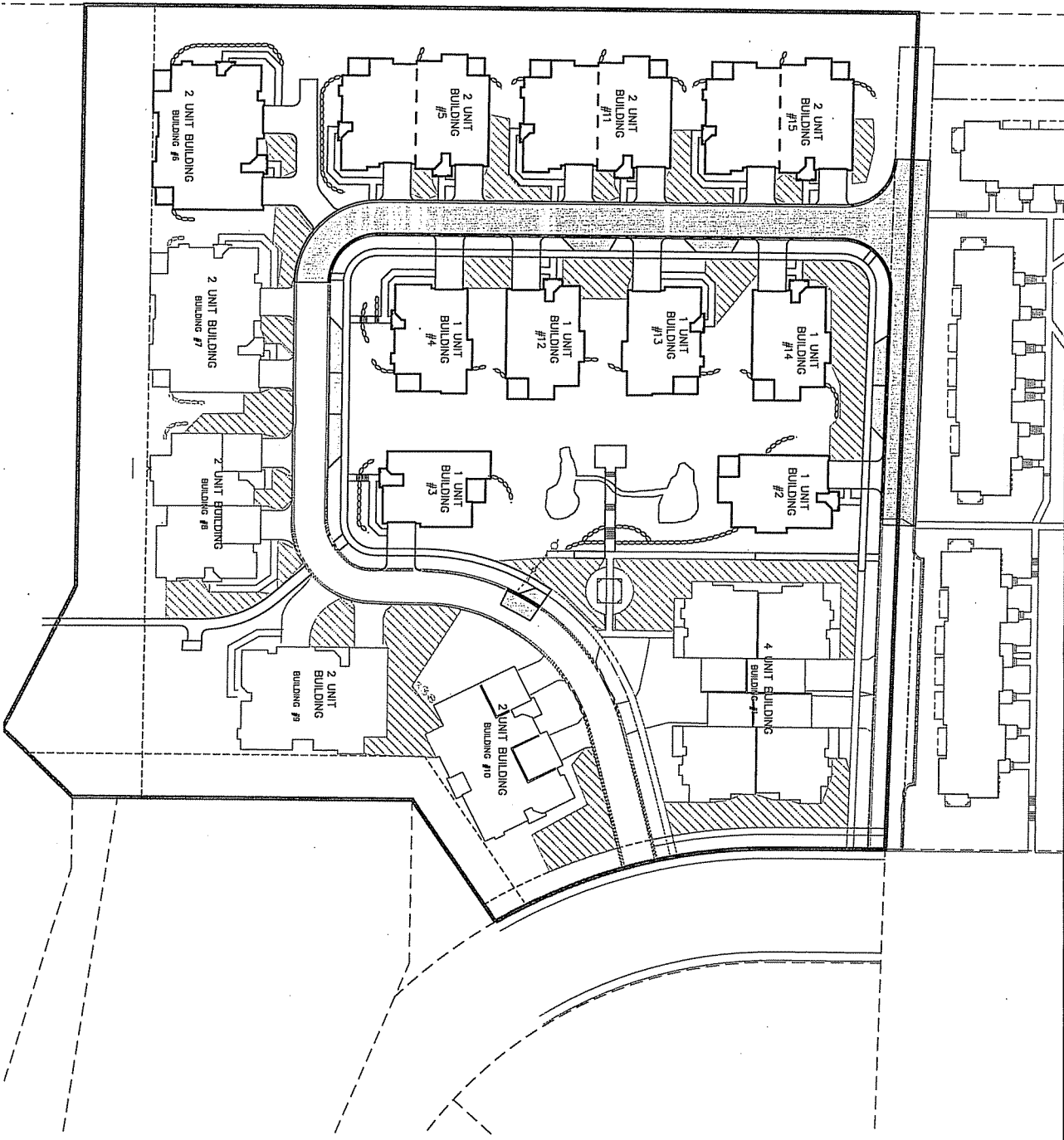


CONSTRUCTION DETAILS
MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	12-04-13	CITY SUBMITTAL			

vierbicher
planners | engineers | advisors

KEESBURG • MADISON • FRAIRIE DU CHEIN
177 Fuller Drive, Suite 200 Madison, Wisconsin 53717
Phone: (608) 844-0122 Fax: (608) 844-0123



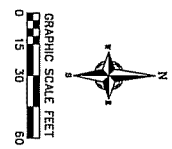
AREA OF CONDITIONAL USE PLAN = 230,844 SF

PROVIDED

OPEN SPACE AREAS = 21,728 SF (9.4%)

REQUIRED

26 UNITS @ 500 SF/UNIT = 13,000 SF



REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	12-04-13	CITY SUBMITTAL			

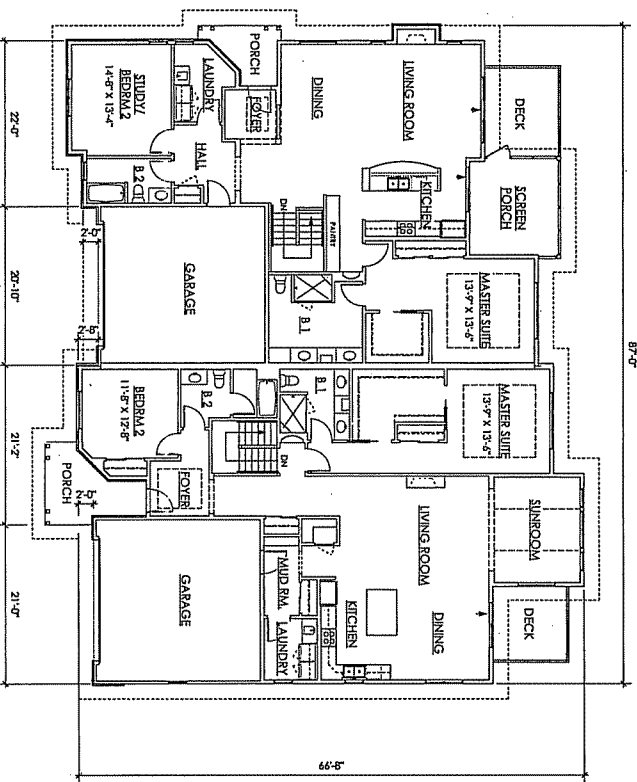
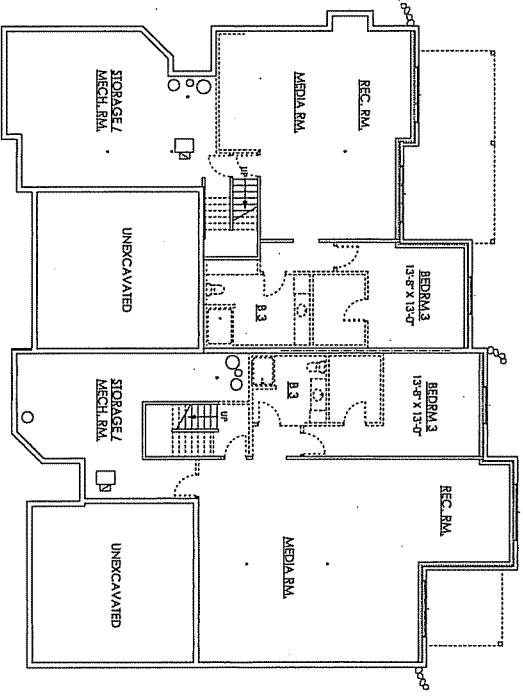
OPEN SPACE EXHIBIT
MILL CREEK ESTATES CONDOMINIUMS
2nd ADDITION TO HAWK'S CREEK
CITY OF MADISON, DANE COUNTY, WISCONSIN

vierbicher planners | engineers | architects

ENGINEERING - MADISON - FRANK CO. CHEN
177 Foster Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 834-8332 Fax: (608) 834-8333

17

17



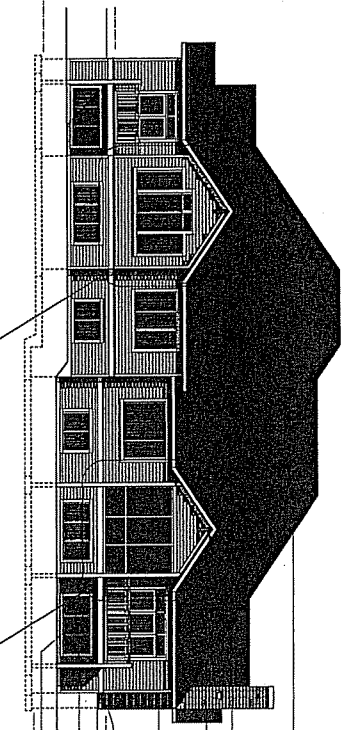
BUILDING #5, #11, & #15 - FLOOR PLANS

FERCH ARCHITECTURE
 2001 Gateway Drive
 Madison, WI 53719
 608.224.1100
 www.ferch.com

PROJECT: Mill Creek Estates Condominiums
 LOCATION: Madison, WI 53719

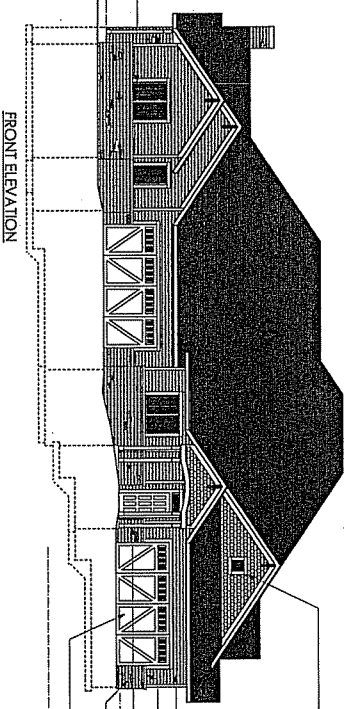
DATE: 12/2/13
 DRAWING NO.: 01118
 SHEET NO.: A101





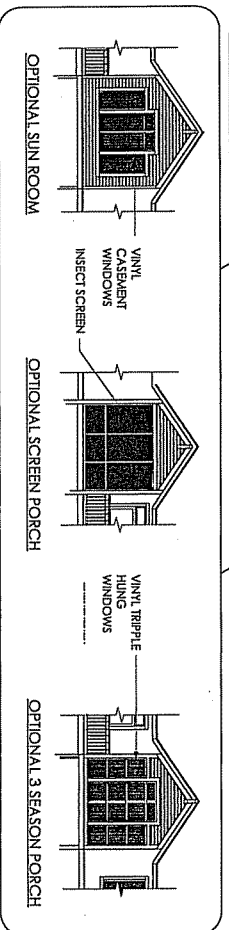
REAR ELEVATION

- ASPHAL SHINGLES
- PANDED TYPON BRACKET
- 5/4"X 6" SMARTSIDE
- BAKE PRIZE TRIM
- 5/4"X 4" SMARTSIDE
- CORNER TRIM
- VINYL CASEMENT WINDOWS
- 5/4"X 12" SMARTSIDE
- HORIZONTAL TRIM W/ MIT DRIP
- VINYL SIDING
- 34" HT. APPLICATED MIT
- CEILING ON OVER SIDES
- OF SCREEN PORCH



FRONT ELEVATION

- PANDED TYPON LOUVER (12X24)
- HORIZONTAL VINYL SIDING
- CULTURED STONE CAP
- WOOD POST W/ ACCENT TRIM
- TERRAZZO-ARONA STACK
- CULTURED STONE
- PANDED MIT
- GARAGE DOOR



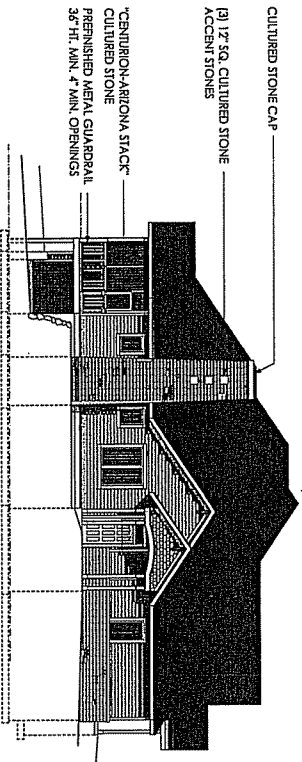
OPTIONAL SUN ROOM

OPTIONAL SCREEN PORCH

OPTIONAL 3 SEASON PORCH

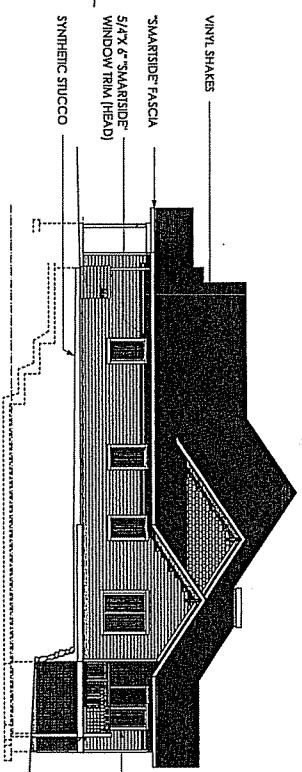
VINYL CASEMENT WINDOWS
INSECT SCREEN

VINYL TRIPPLE HUNG WINDOWS



SIDE ELEVATION

- CULTURED STONE CAP
- 19" 12" SQ. CULTURED STONE ACCENT STONES
- TERRAZZO-ARONA STACK
- CULTURED STONE
- PREFINISHED METAL GUARDRAIL
- 36" HT. MIN. 4" MIN. OPENINGS



SIDE ELEVATION

- VINYL SHAKES
- SMARTSIDE FASCIA
- 5/4"X 6" SMARTSIDE WINDOW TRIM (HEAD)
- SYNTHETIC STUCCO

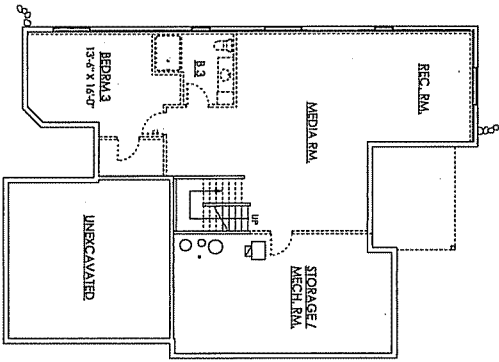
- 5/4"X 4" SMARTSIDE WINDOW TRIM

BUILDING #5, #11, & #15 - ELEVATIONS

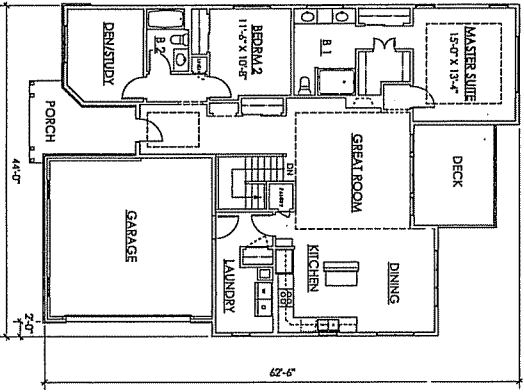
Mill Creek Estates
Condominiums
Madison, WI 53719

ARCHITECTURE
FENCH ARCHITECTURE
1000 W. MOUNTAIN VIEW
MADISON, WI 53713
608.261.1000
WWW.FENCHARCHITECTURE.COM

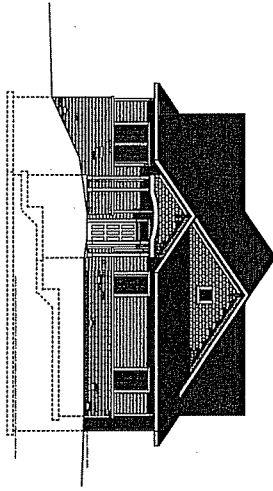
DATE: 12/2/15
PROJECT NO: 0118
SHEET NO: A102



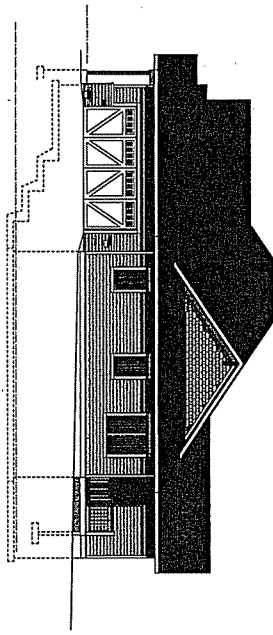
LOWER LEVEL PLAN
 0 4 8 16 32



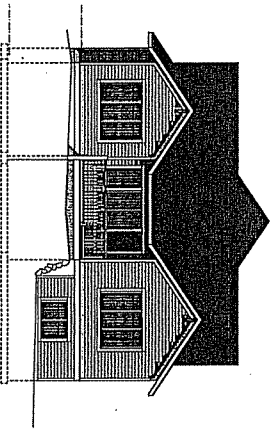
FIRST FLOOR PLAN
 0 4 8 16 32



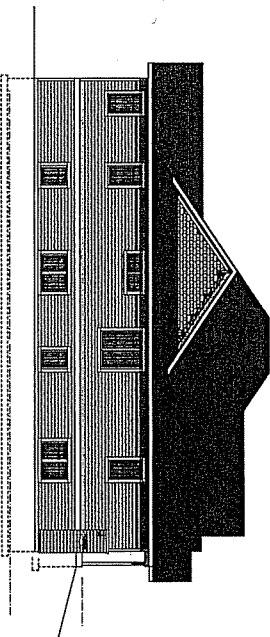
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

SEE SHEET A102 FOR NOTES ON EXTERIOR MATERIALS

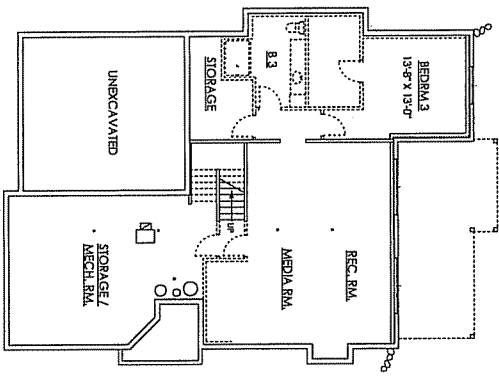
BUILDING #3 - FLOOR PLANS & ELEVATIONS



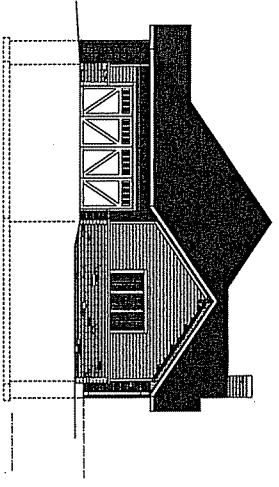
Mill Creek Estates
 Condominiums
 Madison, WI 53719

PROJECT ARCHITECT
FERCH ARCHITECTURE
 2025 GLENVIEW DRIVE
 MADISON, WI 53704
 608.258.3400
 www.fercharchitecture.com

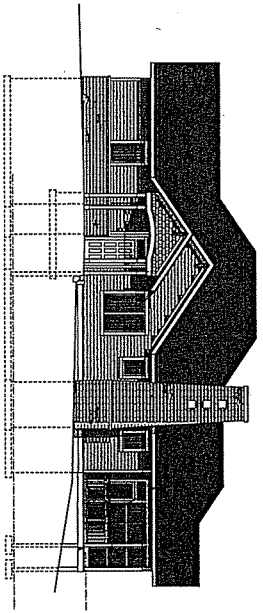
No.	Date	Revised
DATE	12/2/13	
PROJECT NO.	01118	
SHEET NO.	A103	



LOWER LEVEL PLAN

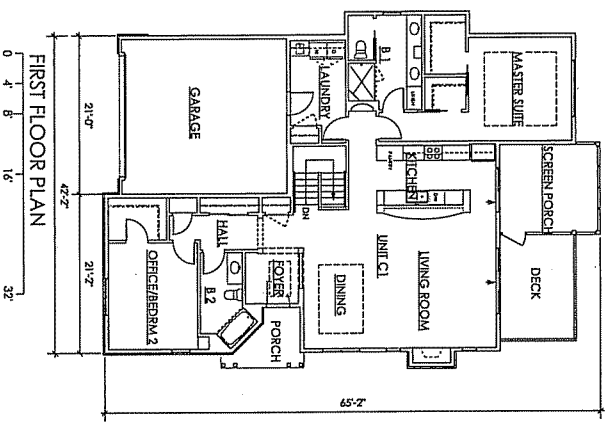


FRONT ELEVATION

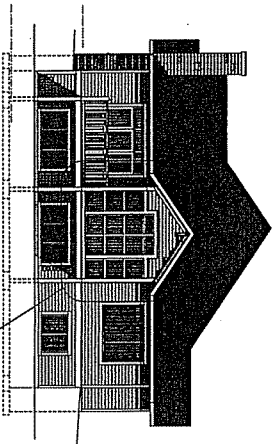


SIDE ELEVATION

SEE SHEET A102 FOR NOTES ON EXTERIOR MATERIALS

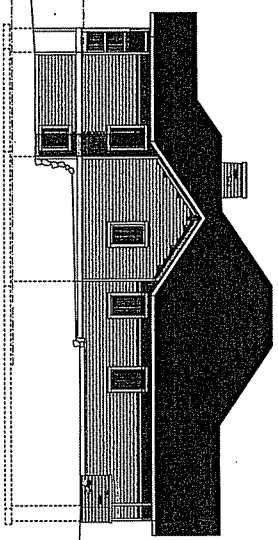


FIRST FLOOR PLAN



REAR ELEVATION

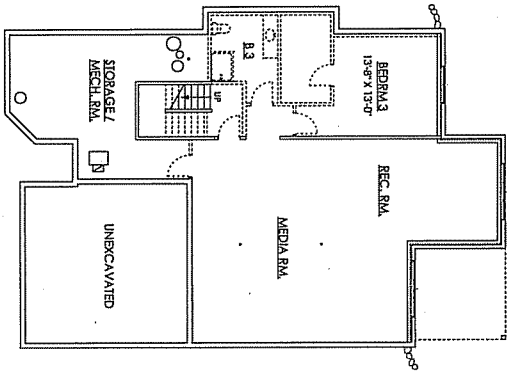
OPTIONAL 3 SEASON PORCH. SEE SHEET A102 FOR ELEVATIONS



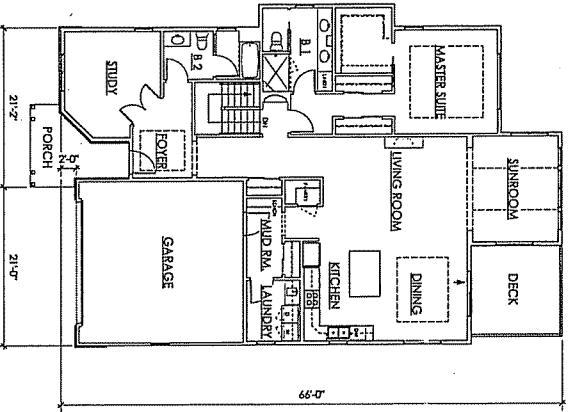
SIDE ELEVATION

BUILDING #4 & #13 - FLOOR PLANS & ELEVATIONS

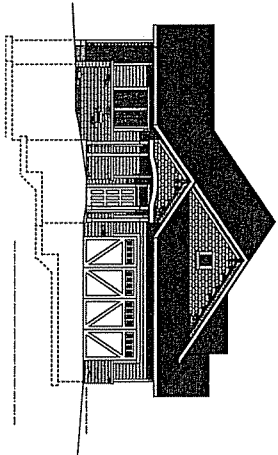
<p>Mill Creek Estates Condominiums Madison, WI 53719</p>	
<p>ARCHITECT: FERCH ARCHITECTURE 2100 Oakwood Drive Madison, WI 53713 608.238.8100 info@fercharchitecture.com</p>	
<p>DATE: 12/9/13</p>	<p>PROJECT NO: A104</p>
<p>SCALE: 1/8" = 1'-0"</p>	<p>DATE: 12/9/13</p>
<p>PROJECT NO: A104</p>	<p>DATE: 12/9/13</p>



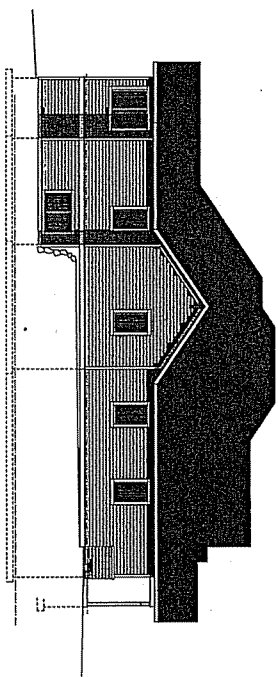
LOWER LEVEL PLAN



FIRST FLOOR PLAN

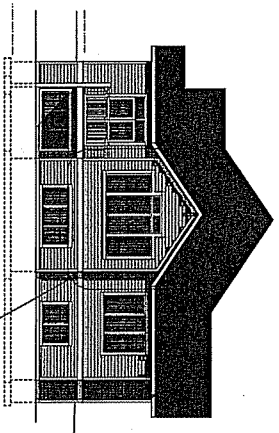


FRONT ELEVATION

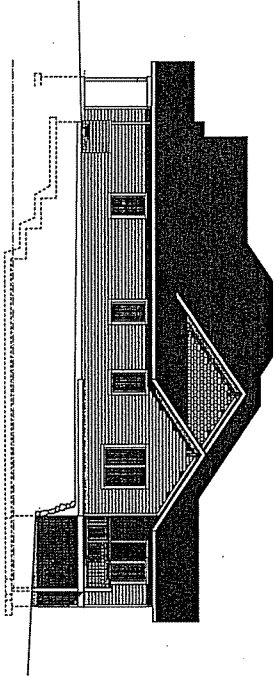


SIDE ELEVATION

SEE SHEET A102 FOR NOTES ON EXTERIOR MATERIALS



REAR ELEVATION



SIDE ELEVATION

OPTIONAL 3 SEASON PORCH
SUN ROOM/SCREEN PORCH
SEE SHEET A102 FOR ELEVATIONS

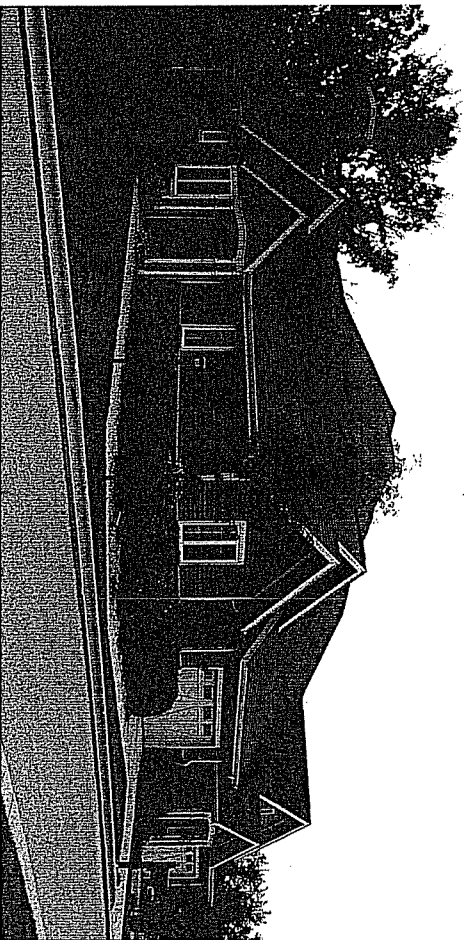
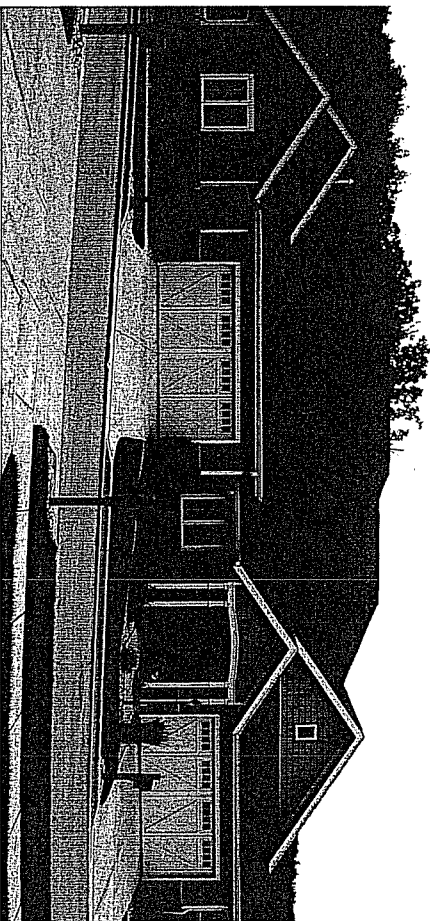
BUILDING # 12, # 14, & # 2 - FLOOR PLANS & ELEVATIONS

Mill Creek Estates
Condominiums
Madison, WI 53719

FERCH ARCHITECTURE
2014 Chicago Blvd.
Madison, WI 53713
608.263.1300
www.fercharchitecture.com

A105

DATE: 12/3/13
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: [Scale]



NEW BUILDINGS SHALL
MATCH MATERIALS,
COLORS AND
LANDSCAPING OF
EXISTING BUILDINGS

EXISTING
2 UNIT
BUILDINGS



**Mill
Creek
Estates**
Condominiums
Madison, WI 53719

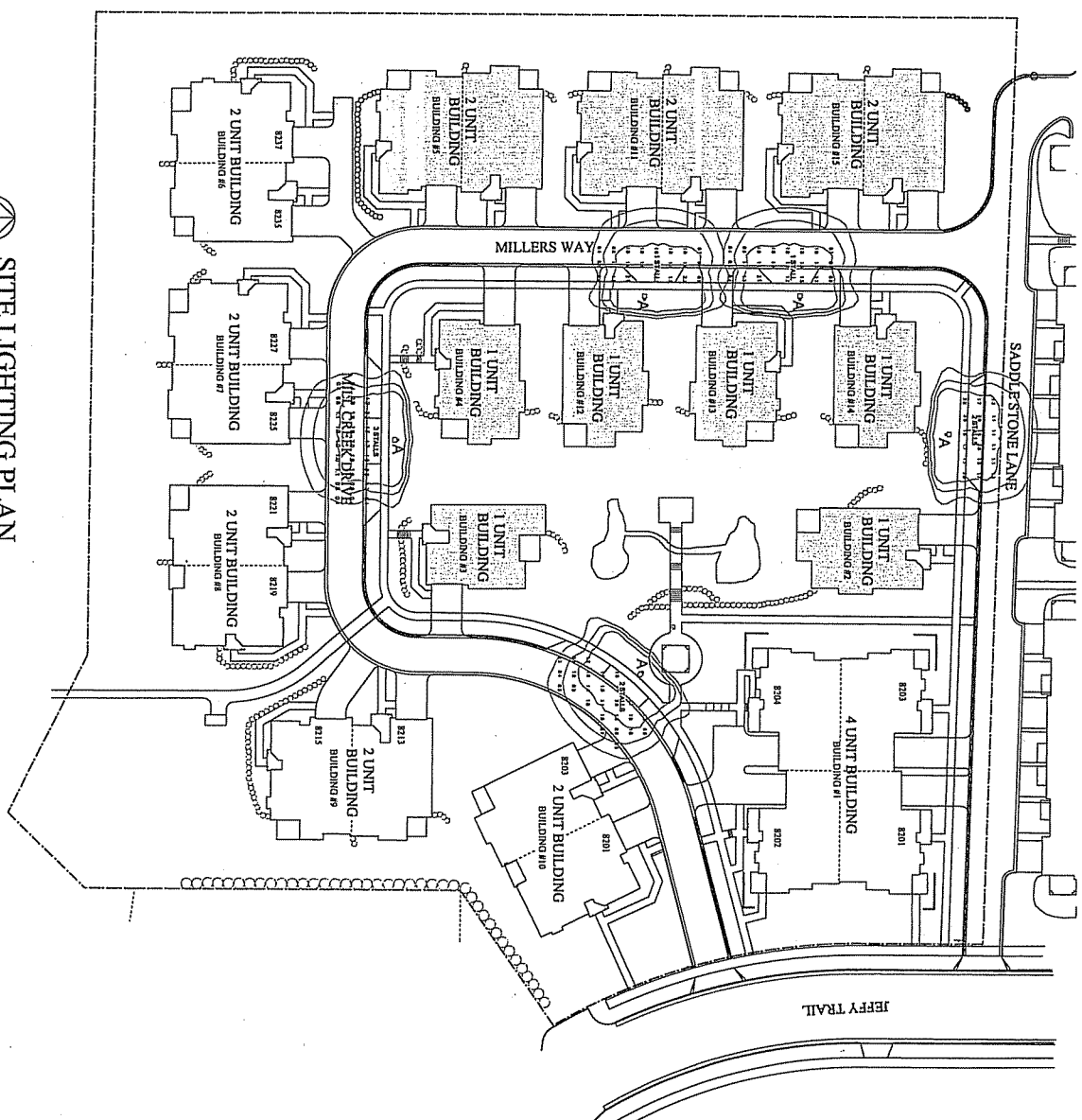
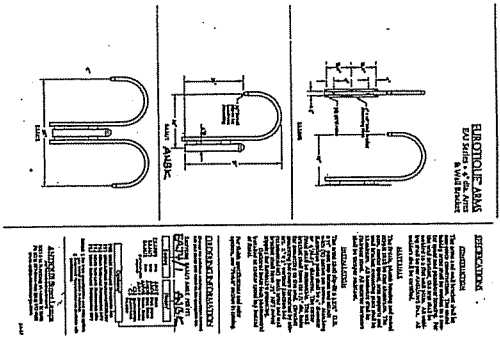
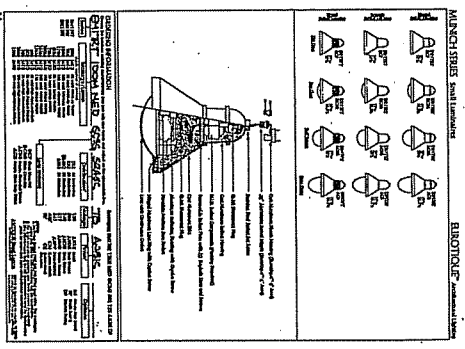


V&A CONSTRUCTION
ARCHITECTURE
2701 CHESTNUT STREET,
SUITE 200
MADISON, WI 53705

No.	Date	Revised
1	01/18	12/2/19
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT NO. **A106**

LIGHTING SCHEDULE	
Symbol	Description
☐	RECESSED DOWNLIGHT
○	TRACER LIGHT
△	WALL WASH
◇	SCENE LIGHT
□	RECESSED DOWNLIGHT
○	TRACER LIGHT
△	WALL WASH
◇	SCENE LIGHT



○ SITE LIGHTING PLAN

A107

FERCH ARCHITECTURE
 Madison, WI 53711
 608.231.4100
 www.fercharchitecture.com

RECONSTRUCTION
 Madison, WI 53711
 608.231.4100
 www.reconstruction.com

Mill Creek Estates Condominiums
 Madison, WI 53719

DATE: 12/29/15
PROJECT: Mill Creek Estates
SCALE: 1/8" = 1'-0"

11

1 Unit Building Planting List

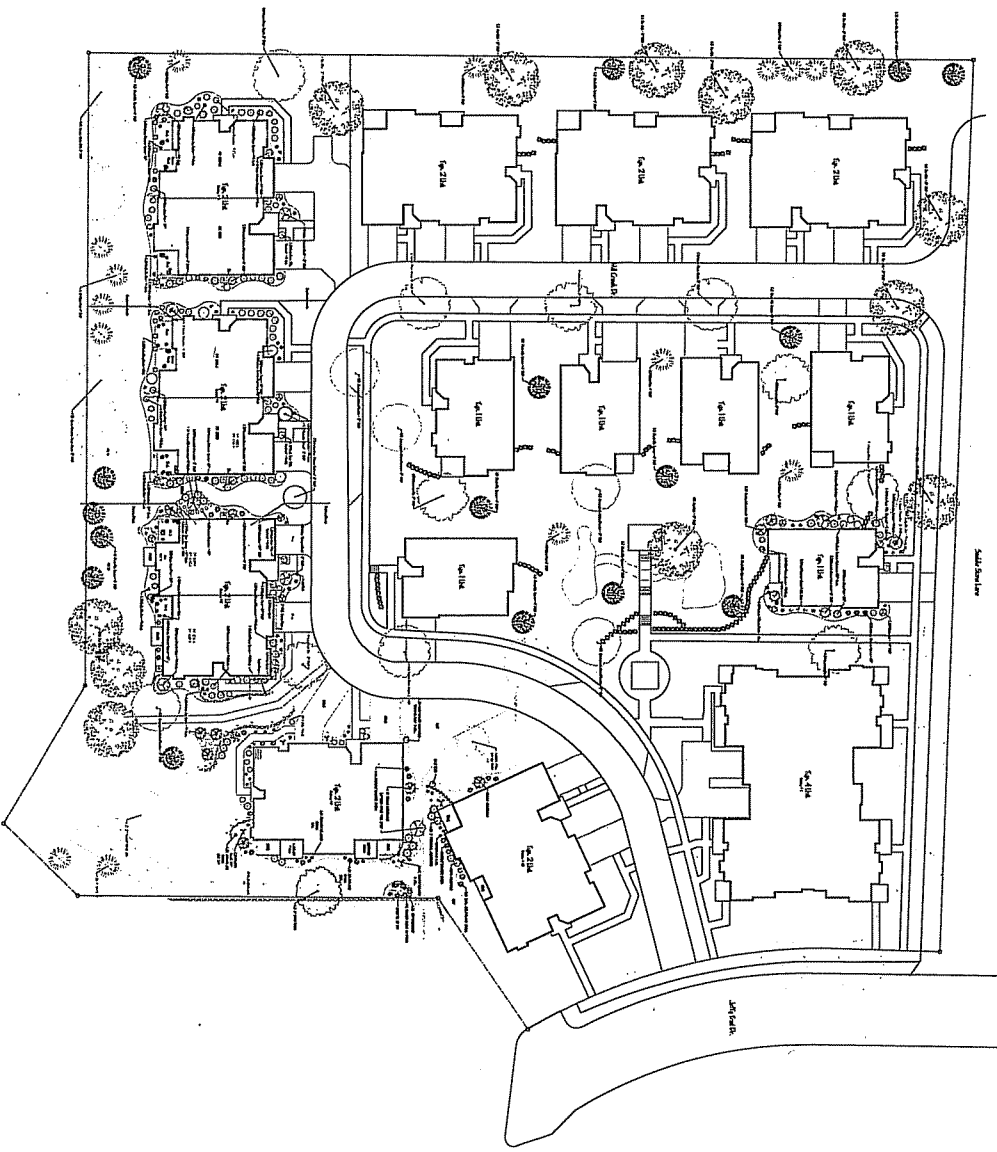
- Small Shrub - 8' x 12'
- Medium Shrub - 12' x 18'
- Large Shrub - 18' x 24'
- Small Tree - 12' x 18'
- Medium Tree - 18' x 24'
- Large Tree - 24' x 30'
- Small Tree - 12' x 18'
- Medium Tree - 18' x 24'
- Large Tree - 24' x 30'
- Small Tree - 12' x 18'
- Medium Tree - 18' x 24'
- Large Tree - 24' x 30'
- Small Tree - 12' x 18'
- Medium Tree - 18' x 24'
- Large Tree - 24' x 30'

2 Unit Building Planting List

- Small Shrub - 8' x 12'
- Medium Shrub - 12' x 18'
- Large Shrub - 18' x 24'
- Small Tree - 12' x 18'
- Medium Tree - 18' x 24'
- Large Tree - 24' x 30'
- Small Tree - 12' x 18'
- Medium Tree - 18' x 24'
- Large Tree - 24' x 30'
- Small Tree - 12' x 18'
- Medium Tree - 18' x 24'
- Large Tree - 24' x 30'
- Small Tree - 12' x 18'
- Medium Tree - 18' x 24'
- Large Tree - 24' x 30'

Common Area Plants

- Small Shrub - 8' x 12'
- Medium Shrub - 12' x 18'
- Large Shrub - 18' x 24'
- Small Tree - 12' x 18'
- Medium Tree - 18' x 24'
- Large Tree - 24' x 30'



SHEET L101

SCALE: 1/8" = 1'-0"

GLACIER LANDSCAPE PLANNING

7995 HWY 17 VERONA WI
 PH 608-298-5111
 FX 608-298-2225
 glaciervl.com

LANDSCAPE PLANNING

HILL CREEK ESTATES
 AT HAWKS CREEK
 PROPOSED REVISION

REV. DATE: 12/03/15
 REV. DATE: 12/02/15
 REV. DATE: 09/26/15