

URBAN DESIGN COMMISSION APPLICATION



City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received 8/12/24 11:00 a.m. Initial Submittal
Paid _____ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed Land Use Application and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npoj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 6910 Seybold Rd, Madison WI 53719

Title: Grocery Store / Apartments Mixed-Use

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested September 25, 2024

- New development Alteration to an existing or previously-approved development
- Informational Initial Approval Final Approval

3. Project Type

- Project in an Urban Design District
- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
- Modifications of Height, Area, and Setback
- Sign Exceptions as noted in Sec. 31.043(3), MGO

Other

Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Thomas B. Sanford
Street address 437 S. Yellowstone Dr., Ste 203
Telephone 608.347.8299

Company Sanford Enterprises, Inc.
City/State/Zip Madison WI 53719
Email Tom@SanfordEnterprises.com

Project contact person Thomas B. Sanford
Street address 437 S. Yellowstone Dr., Ste 203
Telephone 608.347.8299

Company Sanford Enterprises, Inc.
City/State/Zip Madison WI 53719
Email Tom@SanfordEnterprises.com

Property owner (if not applicant) Royal Partners, LLC
Street address 4406 Woods End
Telephone 608.770.4442

City/State/Zip Madison WI 53711
Email stevemookwelch.com

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST



The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per Sec. 31.043(3))*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

5. Required Submittal Materials

Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

Electronic Submittal

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

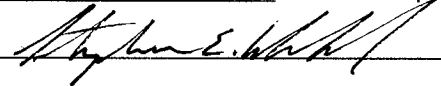
Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on May 14, 2024.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Thomas B Sanford / Sanford Enterprises, Inc. Relationship to property RE Broker / Consultant

Authorizing signature of property owner  Date 7-12-24

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §33.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

— Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

— Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

— Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)

— Planned Multi-Use Site or Residential Building Complex

LETTER OF INTENT
6910 SEYBOLD RD
GROCERY STORE / APARTMENTS MIXED-USE

September 04, 2024

1. Site Location: The property is contiguous to the Verizon store at the corner of Gammon Rd and Seybold Rd (Urban Design District 2, and Aldermanic District 19 - Alder John Guequierre). Seybold Road consists of two Town of Middleton town islands. The subject property became part of the city of Madison in 2019 when Sanford Enterprises, Inc. attached the Verizon property to the city.
2. The Urban Design District No. 2: Guidelines & Requirements does address properties in the Town of Middleton (i.e., Seybold Rd). The Statement of Purpose indicates that properties between Gammon Road and Whitney Way have an attractive visual experience, although that description does not apply to Seybold Rd. However, Seybold Road is slowly evolving from dated warehousing to modern retail buildings. The guidelines states that commercial, industrial, and residential development can occur which complement the existing development in the district. This small mixed-use development contributes nicely to District No. 2 guidelines due to its exceptionally well-thought design, which incorporates residential units with a commercial tenant space. The second story is key regarding visual appeal – and will presents itself from Gammon Rd and the Beltline better than a one-story building. This small development with Verizon is the start of the improving the west end of Seybold Road.
3. Zoning: A mixed-use building is a conditional use in the commercial center (cc) district. The commercial center zoning is found on Odana Road, and Seybold Road with the same zoning is well-position for future commercial redevelopment.
4. Project Description: Construct a mixed-use building on a vacant lot. First floor will be a small 3,500 square feet grocery store that will sell Indian and Pakistani food, with two apartments of 2,883 total square feet on the second floor. The building has utilized the eighty-five feet maximum setback from Seybold Rd to accommodate twelve parking stalls at the front for customers. Because of the proposed use requires open wall space for shelving, the exterior will have some spandrel windows on west and south elevations, and no windows on the east exterior, with vision glazing windows at the entrance located at the southwest corner. The applicant believes this small but significant project will fulfill the Urban Design Commission’s mission by using integrated architecture exterior materials with natural color, reinforced by landscaping that will include various sizes of shrubs, ornamental and canopy trees throughout the site. It is noted that this development also satisfies the protection of economic values and proper use of properties by finally have a viable use for this difficult site - it will serve a public need by offering familiar cuisine to the Muslim community and others who enjoy cooking good food, with excellent living quarters above.
5. Site Description: This 0.47-acre property (20,651 square feet) previously was in the Town of Middleton and was attached with zoning to the City of Madison in 2019. The property topography slopes from east to west about nine feet, and the proposed building floor elevation will sit above the Verizon’s floor. There is an ATC easement for the existing overhead electric power lines that runs along the north property line, and the proposed development does not encroach into the ATC easement. Seybold Road is an unimproved street without sidewalk and curb & gutter, but new sidewalk was installed at the subject property when it

was attached. Too, in 2042 all of Seybold will be in the city of Madison per the intergovernmental agreement between Madison and Town of Middleton.

6. Grading: This particular site is challenging on many fronts from a civil design perspective. There is a significant amount of relief, not only east and west across the site, but also north and south. The eastern foundation wall will act as a retaining wall with a connected retaining wall running from the building towards the street and wrap around the north end of the site. Developer is limited on how to transition this grade to only retaining walls because of the proposed footprint and the inability to grade on the neighboring properties to the east and west. Also, the property has minimal grading within the ATC easement to the north and public Right-of-Way to the south. Finish floor elevation that sits approximately 3' above the property to the west and 6.5' below the property to the East works well. The underground utilities for the project are within utility easements coming through the property to the west. These utilities are stubbed into the property and will be extended to the new building. The drainage pattern for the new site mimics the existing drainage pattern. Currently the entire site drains westerly at the neighboring property. This pushes water evenly at the neighbors building and North portion of their property as well as to the South. The new drainage plan utilizes curb and gutter at the perimeter of the pavement to convey the proposed stormwater to the South and then West onto the neighboring pavement at the drive opening. This prevents continuous sheet flows across the entire eastern edge of the neighbor's pavement and concentrates it to the south away from their building and primary foot traffic and to the existing storm drain at the southwest corner of the Verizon property. There is an existing stormwater easement that was approved by the city of Madison in 2019 for this stormwater plan.
7. Landscaping: The landscape plan for this project meets the Requirements and the Guidelines for District 2. Requirements: the landscape plan meets the specific requirements of the City of Madison Landscape Worksheet for this zoning lot. It also screens undesirable views (Beltline Highway to the north and Seybold Road to the south) and it provides a buffer between the adjacent land uses (Verizon to the west and Quality Inn to the east.). It also compliments the character of the building and softens the parking lots to the north and south. Guidelines: the Landscape Plan meets the guidelines for Design District 2 by providing a variety of appropriate deciduous and evergreen trees and shrubs throughout the site. Canopy trees provide accents and framing to the building and the parking lots. Ornamental trees provide human level scale to the three parking lot planters close to the building. Small deciduous shrubs and low evergreen shrubs provide ground cover, color, and texture to the parking lot islands as well. Medium deciduous shrubs screen the parking lots from the adjacent streets. The plant list contains a combination of native and appropriate non-native species. All of the plants are suitable and hardy to the area.
8. Retaining Wall: The retaining wall is a modular block wall with an elaborate drain system behind the wall to ensure that the wall will continue to be stable to retain soils from the Quality Inn site. This wall has high functionality, and yet it is well-designed, so it will work well with the landscaping.
9. Lighting: Safety and security are top priority for this development to alleviate potential issues with crime and well-being. All four LED fixtures have excellent light uniformity. The sconces, including the pole mounted fixture, are dark bronze color with a low-profile contemporary design that emit a cooler color of

light versus halogen fixture's warmer tint. LED bulbs are energy efficient, cool to touch with a longer life. The only 20-foot pole mounted LED at the south parking lot curb and the three wall sconces emit 1.43 average foot candles with 1.0 for a low-activity area and high of 3.51 foot candles (i.e., front entrance and vision glass). The 1.43 average footcandle throughout the lot is within the ideal range for visibility. The parking lot has a uniformity of 3.5:1, so, the brightest point is no more than 3.5 times the footcandle rating of the darkest part of the lot.

10. Access: There is a joint driveway shared with the Verizon property, which eliminates another curb cut on Seybold Road.
11. Parking Stalls / Ratios: There are sixty (16) total parking spaces. Two for the apartment tenants located in the back of the building. The parking ratio for the grocery store is 4.0 / 1000 sq ft.
12. Bike Racks: There are four covered bike racks for the apartment tenants, and four racks at the front of the building for customers and employees.
13. Project Schedule: UDC meeting on September 25, 2024, with Plan Commission scheduled on October 7th. Construction start will be in the spring 2025, or the end of 2024 if the project receives an early start permit, with end of construction in the summer or fall of 2025.
14. Grocery Store Hours of Operation: 7:00 am – 9:00 pm, subject to negotiation with the proposed tenant.
15. Developer / Contact Person:

Tom Sanford
Sanford Enterprises, Inc.
437 S. Yellowstone Dr, Ste 203
Madison, WI 53719

Tom@SanfordEnterprises.com
608.347.8299

SEYBOLD RD. LOT 2 COMMERCIAL BUILDING

6910 SEYBOLD RD.
MADISON, WI 53719



REVISION LIST		
REVISION NO.	REVISION	DATE

Architecture :

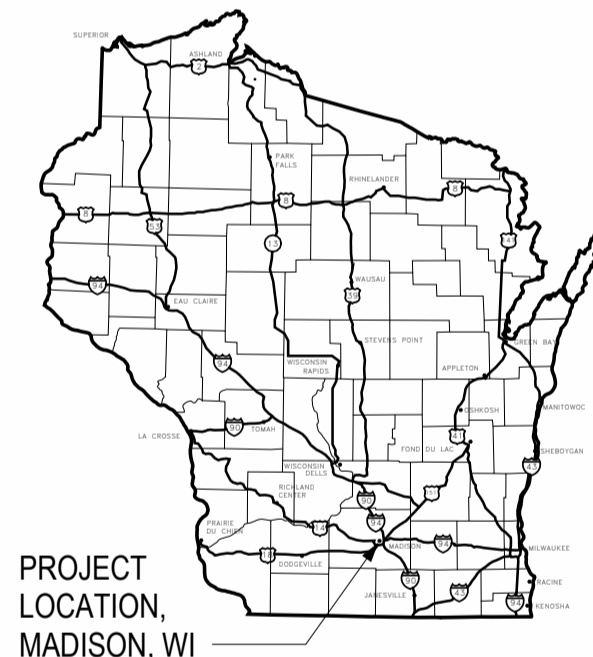
Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

General Contractor:

National Construction Incorporated
455 S. Junction Rd, Madison, WI 53719
p: 608.230.7383 nationalconstructioninc.com

Civil Engineering:

Homburg Contractors Inc.
5590 Monona, WI 53716
p: 608.222.6597 www.HomburgInc.com



PROJECT LOCATION, MADISON, WI

STATE MAP

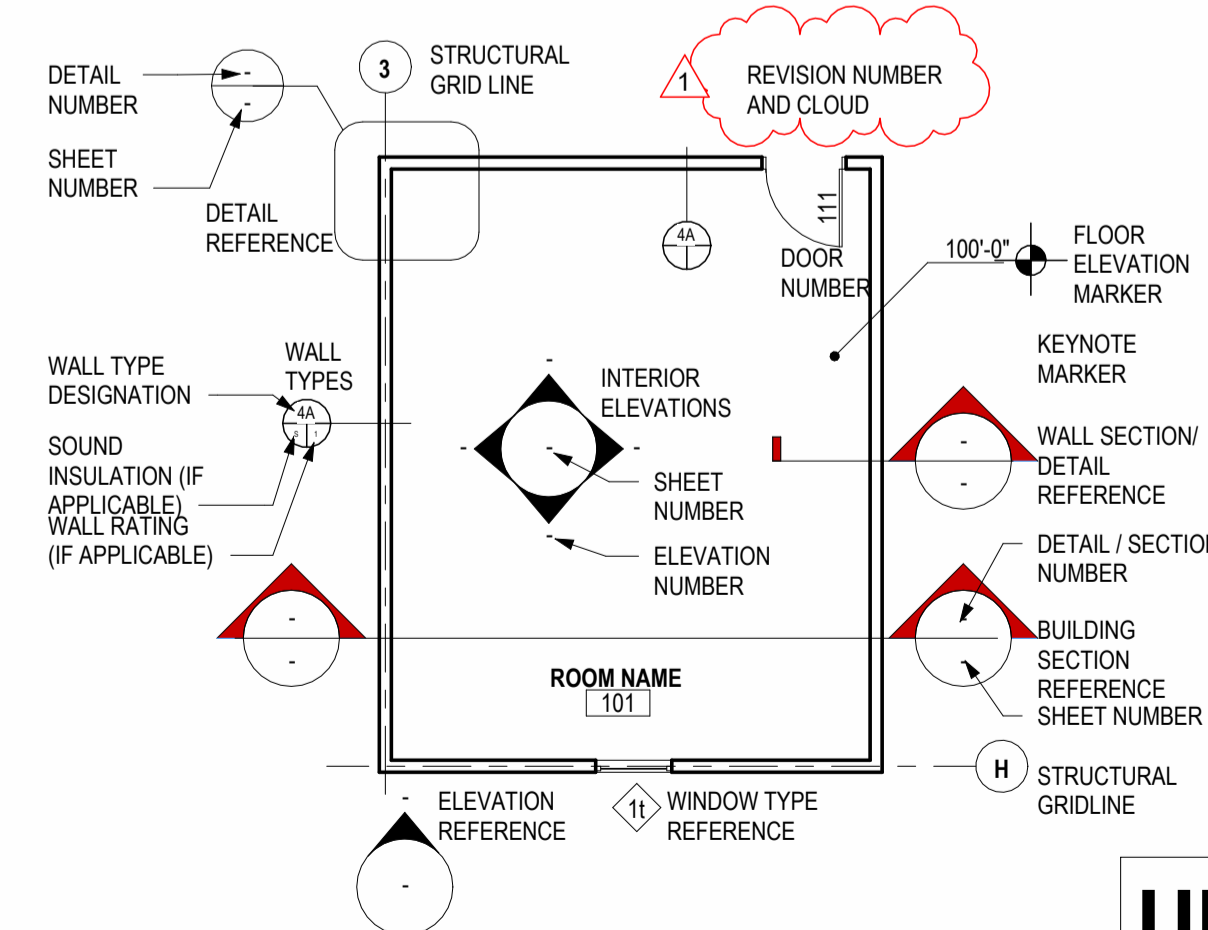


PROJECT LOCATION, 6910 SEYBOLD ROAD

VICINITY MAP

ARCHITECTURAL ABBREVIATIONS LEGEND

+	- AND	FND	- FOUNDATION	PREFAB	- PREFABRICATED
@	- AT	FOM	- FACE OF MASONRY	PERIM	- PERIMETER
AB	- ANCHOR BOLT	FOS	- FACE OF STUD	PC	- PLUMBING CONTRACTOR
AFF	- ABOVE FINISH FLOOR	FTG	- FOOTING	P/C	- PRECAST / PRESTRESSED
ALT	- ALTERNATE	FUT	- FUTURE	P/T	- POST TENSIONED
ALUM	- ALUMINUM	FV	- FIELD VERIFY	PT	- PRESSURE TREATED
ARCH	- ARCHITECT / ARCHITECTURAL	GA	- GAUGE	R	- RADIUS
BRD	- BOARD	GALV	- GALVANIZED	RD	- ROOF DRAIN
BLK	- BLOCK (CMU)	GB	- GRAB BAR	REINF	- REINFORCING
BOT	- BOTTOM	GC	- GENERAL CONTRACTOR	REQD	- REQUIRED
CB	- CATCH BASIN	GYP	- GYPSUM	RM	- ROOM
CIP	- CAST-IN-PLACE	HC	- HVAC CONTRACTOR	SCHED	- SCHEDULE
CJ	- CONSTRUCTION JOINT	HM	- HOLLOW METAL	SHT	- SHEET
CL	- CENTERLINE	HORIZ	- HORIZONTAL	SIM	- SIMILAR
CLG	- CEILING	HT	- HEIGHT	SOG	- SLAB ON GRADE
CLJ	- CONTROL JOINT	HVAC	- HEATING, VENTILATION & AIR CONDITIONING	SPEC	- SPECIFICATION
CLR	- CLEAR DISTANCE	HR	- HOUR	SQ	- SQUARE
CMU	- CONCRETE MASONRY UNIT	ID	- INSIDE DIAMETER	SS	- STAINLESS STEEL
CO	- CASSED OPENING	I.F.	- INSIDE FACE	STL	- STEEL
COL	- COLUMN	INSUL	- INSULATION	STR	- STRUCTURAL
CONC	- CONCRETE	INT	- INTERIOR	THK	- THICKNESS
CONT	- CONTINUOUS	JBE	- JOIST BEARING ELEVATION	TOL	- TOP OF LEDGE ELEVATION
CU	- CUBIC	JT	- JOINT	TOP	- TOP OF PIER ELEVATION
DBL	- DOUBLE	L	- STEEL ANGLE DESIGNATION	TP	- TOILET PAPER DISPENSER
DF	- DRINKING FOUNTAIN	LAM	- LAMINATE	TS	- (SEE HIGH STRENGTH STEEL DESIGNATION)
DIM	- DIAMETER	LVL	- LAMINATED VENEER LUMBER	TYP	- TYPICAL
DN	- DOWN	MAX	- MAXIMUM	TOW	- TOP OF WALL ELEVATION
DS	- DOWN SPOUT	MBW	- MASONRY BEARING WALL	UL	- UNDERWRITERS LAB
DTL	- DETAIL	MFG	- MANUFACTURER	UNO	- UNLESS NOTED OTHERWISE
DWG	- DRAWING	MIN	- MINIMUM	VB	- VAPOR BARRIER
EA	- EACH	MO	- MASONRY OPENING	VERT	- VERTICAL
EC	- ELECTRICAL CONTRACTOR	MTL	- METAL	VIF	- VERIFY IN FIELD
EFS	- EXTERIOR INSULATION FINISH SYSTEM	NIC	- NOT IN CONTRACT	W	- WIDTH
EL	- ELEVATION	NOM	- NOMINAL	W/O	- WITHOUT
ELEV	- ELEVATOR	NTS	- NOT TO SCALE	WC	- WATER CLOSET
ENG	- ENGINEER	NO	- NUMBER	WD	- WOOD
EQ	- EQUAL	OC	- ON CENTER	WRB	- WEATHER RESISTANT BARRIER
EXIST	- EXISTING	OD	- OUTSIDE DIAMETER	WWF	- WELDED WIRE FABRIC
EXP	- EXPANSION	O.F.	- OUTSIDE FACE		
EXT	- EXTERIOR	OH	- OVERHEAD		
FD	- FLOOR DRAIN	OPCI	- OWNER PROVIDED, CONTRACTOR INSTALLED		
FND	- FOUNDATION	OPOI	- OWNER PROVIDED, OWNER INSTALLED		
FE	- FIRE EXTINGUISHER	OPNG	- OPENING		
FEC	- FIRE EXTINGUISHER CABINET	OPP	- OPPOSITE		
FF	- FINISH FLOOR				
FIN	- FINISH				
FLR	- FLOOR				



LEGEND - ARCHITECTURAL SYMBOLS

1/8" = 1'-0"

**UDC AND PLAN COMMISSION
SUBMITTAL REVISION**

9/6/2024

PROJECT # 24034

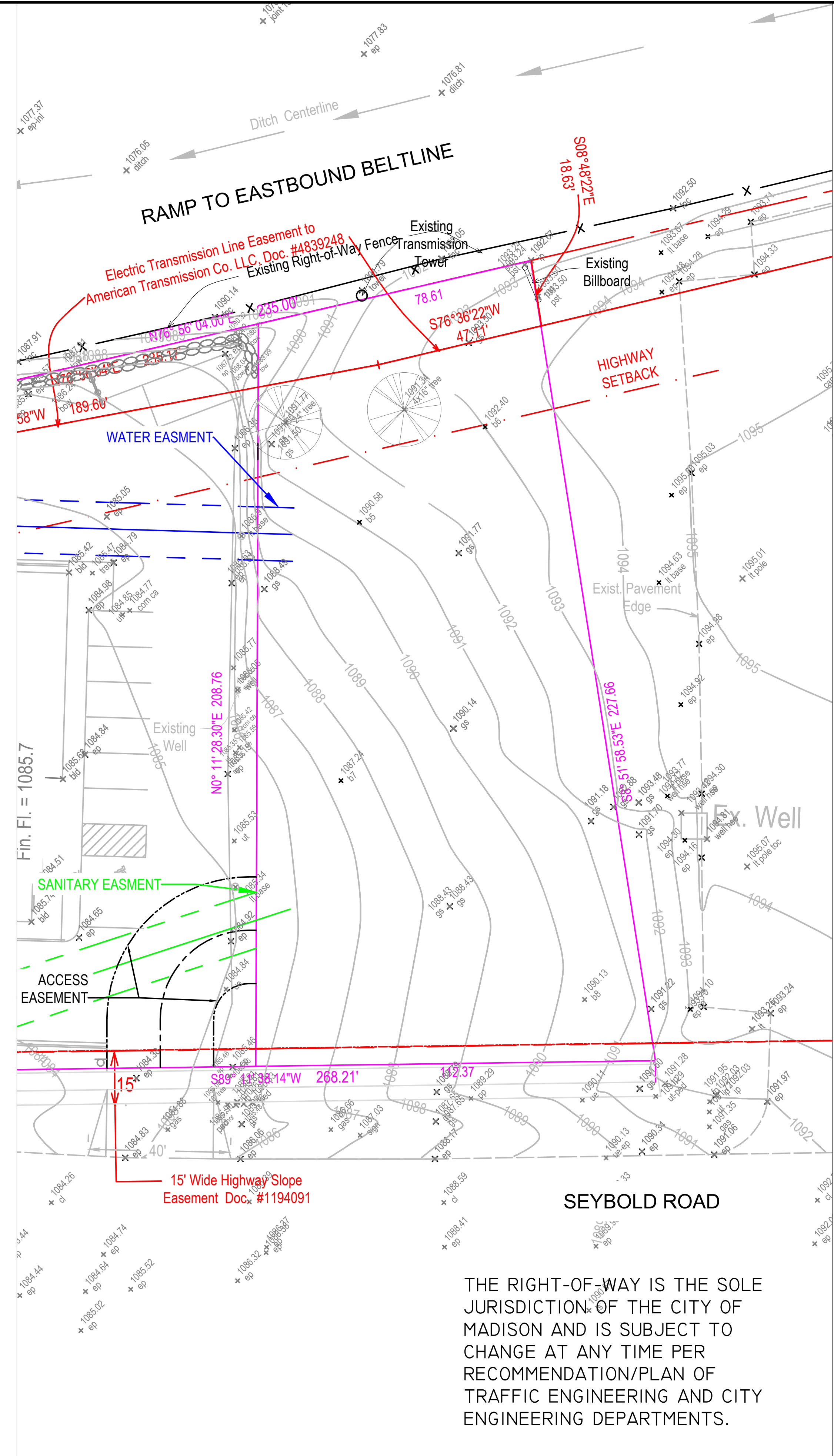
G0.1

SHEET LIST

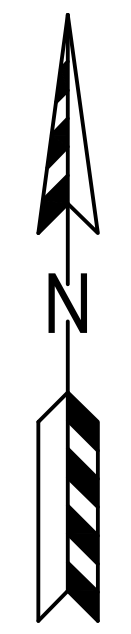
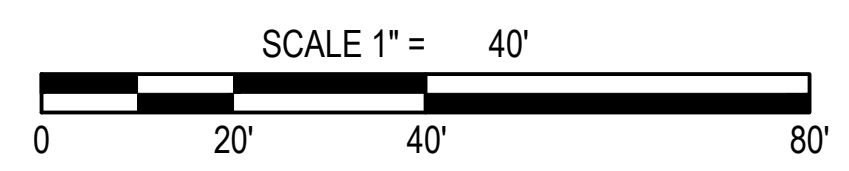
G0.1 - COVER SHEET

C000 - EXISTING CONDITIONS
C100 - SITE/UTILITY PLAN
C200 - GRADING/EROSION CONTROL PLAN
C201 - SITE PLAN DETAILS
C300 - FIRE ACCESS PLAN
C400 - SITE LIGHTING

AS1.0 - SITE AND LANDSCAPE PLAN
AS1.1 - SITE PLAN CONTEXT & SITE PHOTOS
A1.1 - FIRST FLOOR PLAN
A1.2 - SECOND FLOOR PLAN
A1.3 - ROOF PLAN
A2.0 - EXTERIOR ELEVATIONS
A2.0C - EXTERIOR ELEVATIONS - COLOR
A3.0 - BUILDING SECTIONS
A8.0 - DETAILS
A9.1 - EXTERIOR FINISH BOARD
A9.2 - 3D VIEWS



THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



PROJECT:

6910 SEYBOLD ROAD
CITY OF MADISON

OWNER:

ROYAL PARTNERS LLC

SITE CONSULTANT:

HOMBURG
CONTRACTORS, INC.

5590 Monona Drive
Monona, WI 53716
(608) 222-6597
(608) 244-9113 Fax
homburginc.com

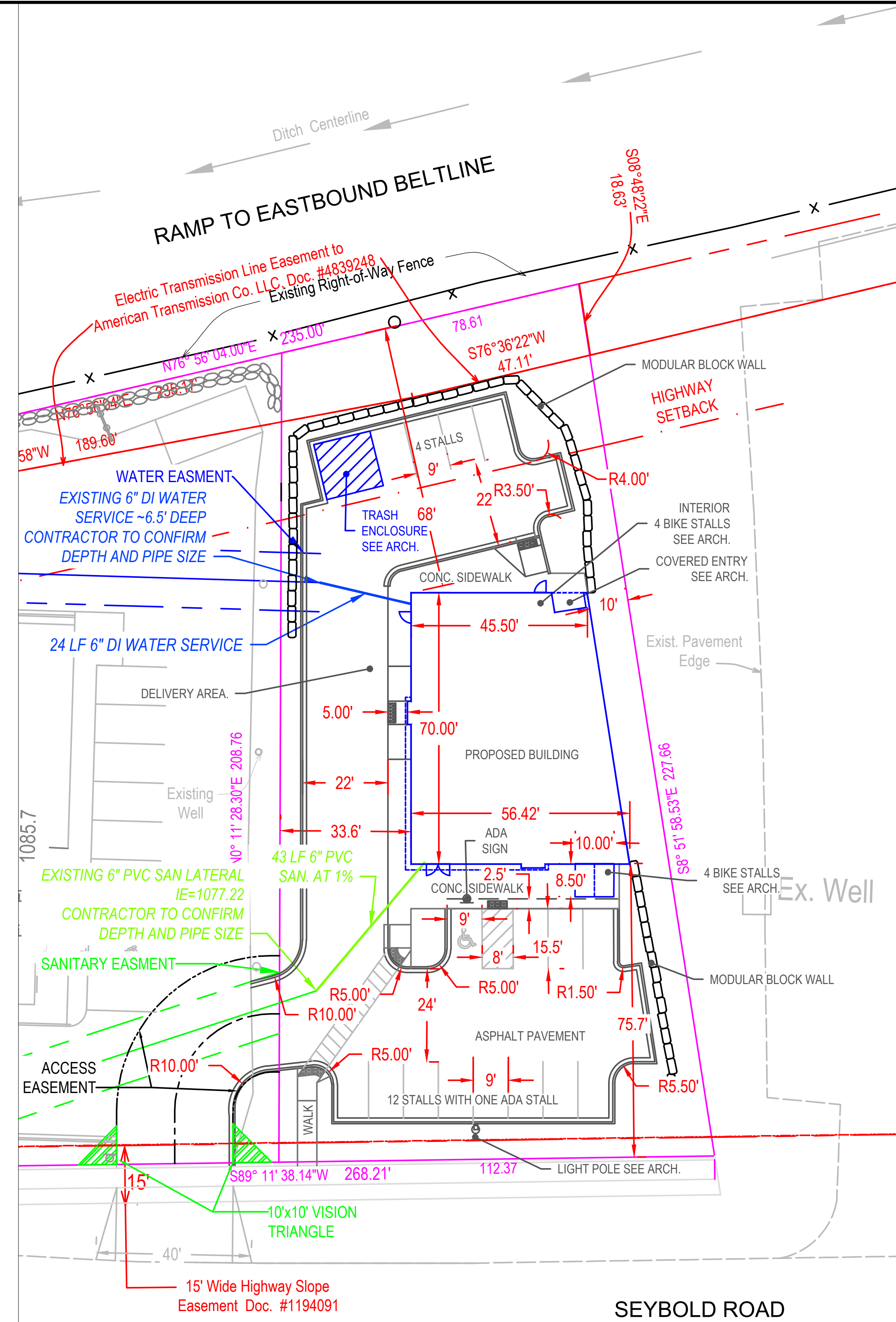
GREEN TIER
A DNR program for superior environmental performance

ISSUED
08/09/24 - MADISON REVIEW

DRAWN BY: RR
© 2024, Homburg Contractors, Inc.

EXISTING
CONDITIONS

C 000



THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

Parking Lot Plan Site Information	
Site address:	6910 SEYBOLD ROAD
Site acreage (total):	4.740
Number of building stories (above ground):	2
Building height:	26'
DILHR type of construction (new structures or additions):	SEE ARCHITECTURAL PLAN
Total square footage of building:	3500 SF FOOTPRINT
Use of property:	MIXED COMMERCIAL AND RESIDENTIAL
Gross square feet of entire building:	6,500 SF
Gross square feet of retail:	SEE ARCHITECTURAL PLAN
Number of employees in storage room:	3
Number of people in residential area:	15
Capacity of restaurant or place of assembly:	38
Number of bicycle stalls shown:	8
Number of parking stalls:	
Small car:	0
Large car:	16
Accessible:	1
Total:	16
Number of trees shown:	SEE LANDSCAPING PLAN

PROPOSED:
 SITE AREA = 20,651 SF
 PERVIOUS SURFACE = 14,213 SF
 PERCENT PERVIOUS = 31.2%
 PERCENT IMPERVIOUS = 68.8%
 BUILDING FOOTPRINT = 3,500 SF
 SEE ARCH. FOR UNIT TYPE BREAKDOWN

PROJECT:

 6910 SEYBOLD ROAD
 CITY OF MADISON

OWNER:

 ROYAL PARTNERS LLC

SITE CONSULTANT:


5590 Monona Drive
 Monona, WI 53716
 (608) 222-6597
 (608) 244-9113 Fax
 homburginc.com

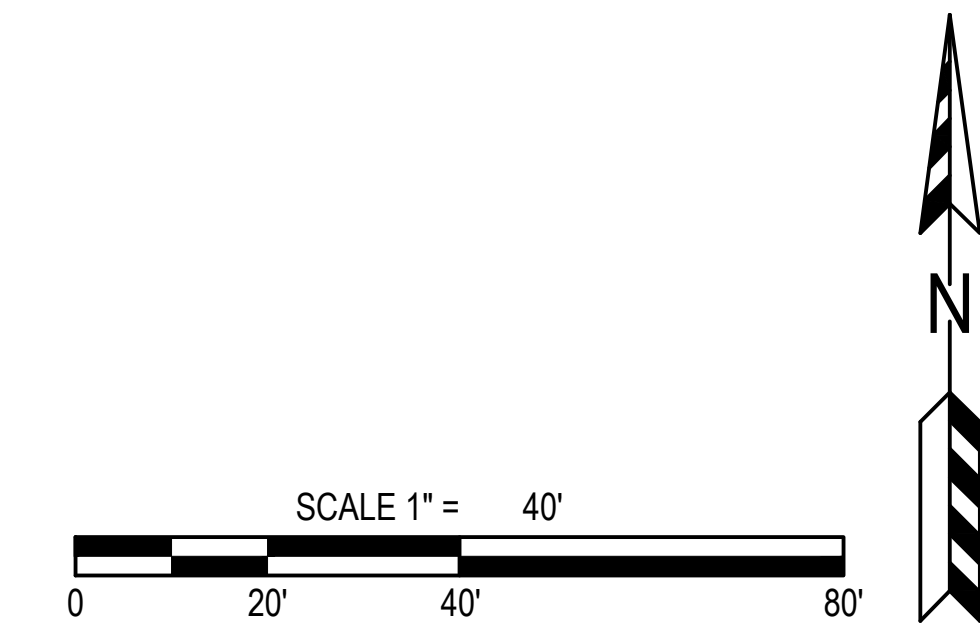
 **GREEN TIER**
American Council on Education
 A DNR program for superior environmental performance

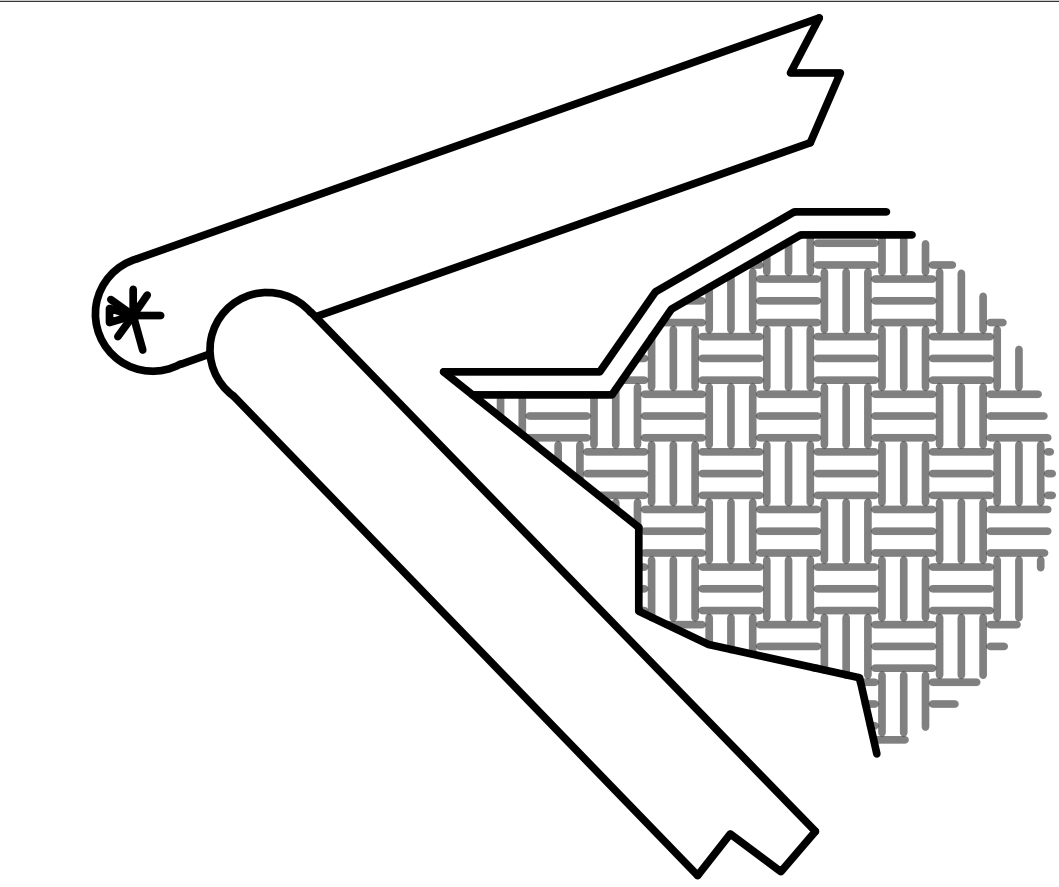
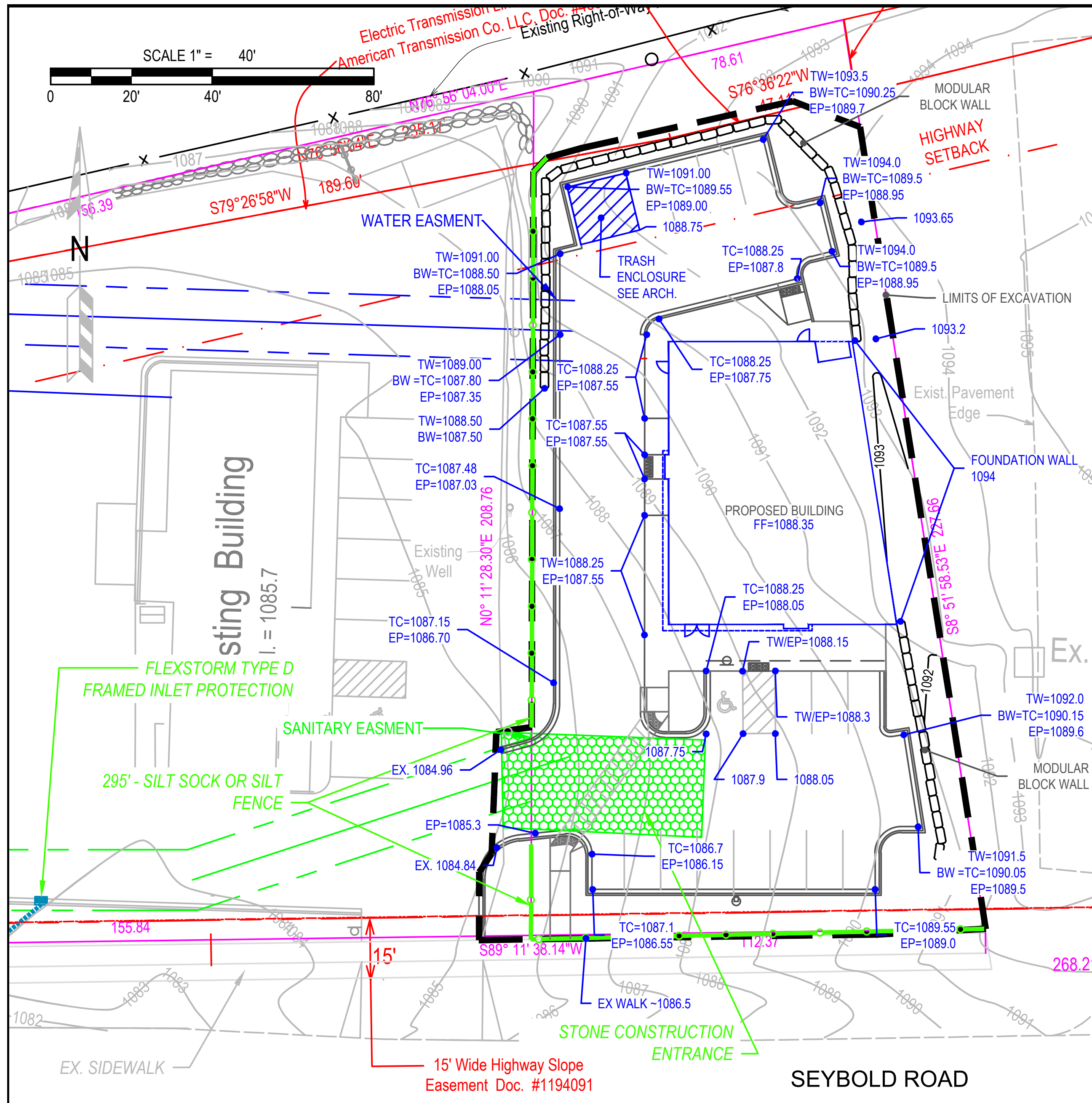
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SITE/UTILITY PLAN

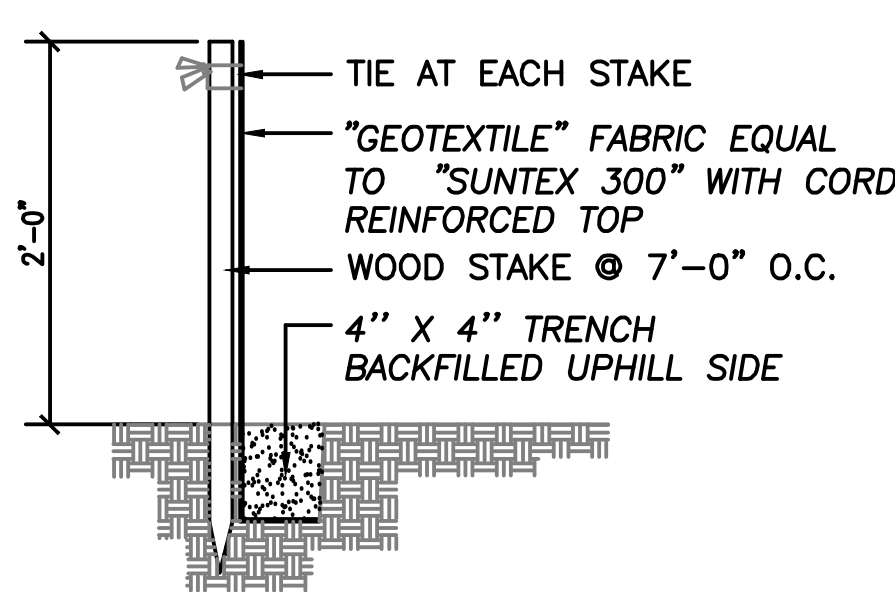
C 100





INSTALLATION PROCEDURE
Lay full socks in a single row with a 4" end to end overlap.

01 SILT SOCK
C300 N.T.S.



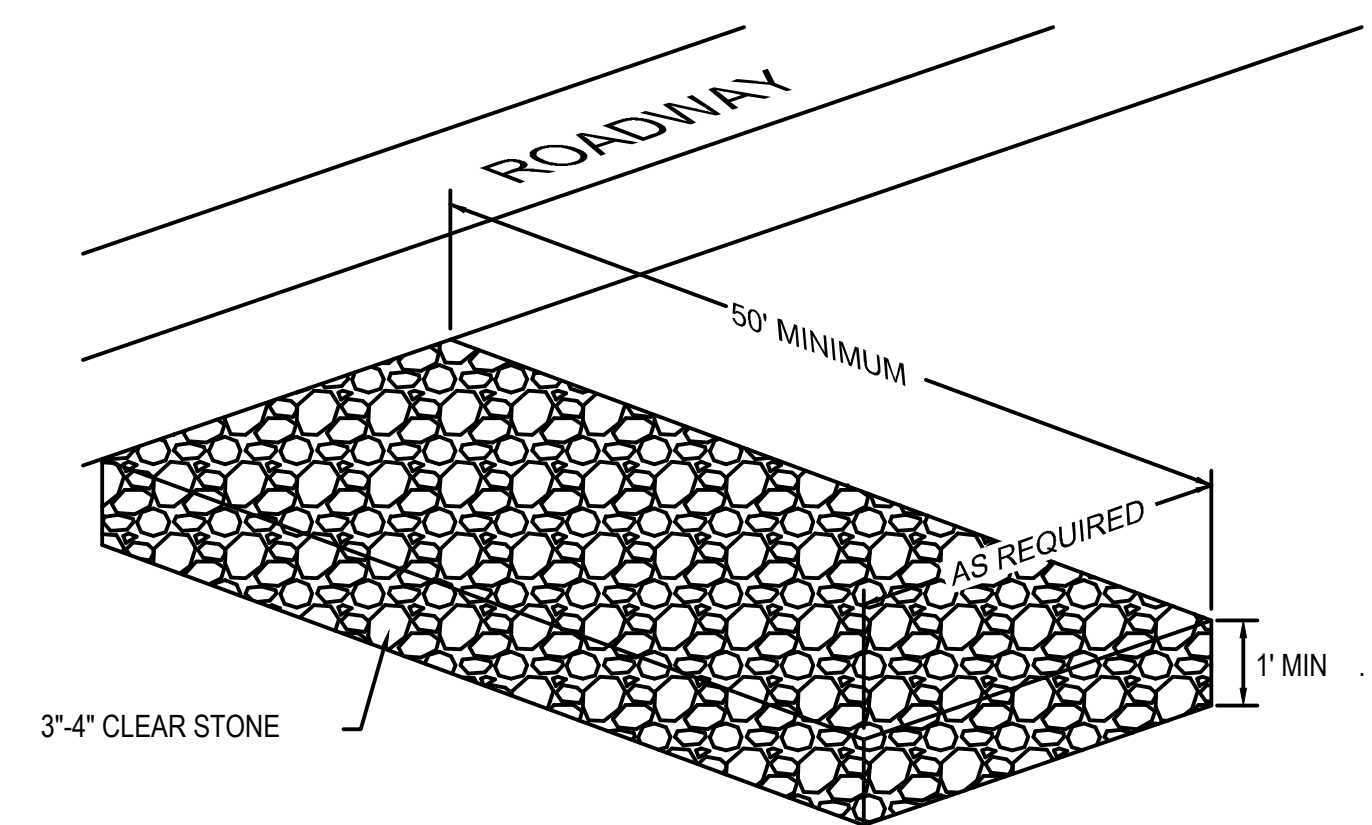
INSTALLATION PROCEDURE
STEP 1: EXCAVATE A 4"x4" TRENCH ALONG PATH OF SILT FENCE.
STEP 2: STAKE THE SILT FENCE ON DOWNSLOPE SIDE OF TRENCH AND EXTEND 8" OF FABRIC INTO THE TRENCH.
STEP 3: WHEN JOINTS ARE NECESSARY, OVERLAP ENDS FOR THE DISTANCE BETWEEN THE STAKES.
STEP 4: BACKFILL AND COMPACT THE EXCAVATED SOIL.

02 SILT FENCE INSTALLATION
C300 N.T.S.

EROSION CONTROL NOTES/SPECIFICATIONS:

- EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- INSTALL TYPE D INLET FILTERS IN ANY STREET INLET RECEIVING RUNOFF FROM THIS SITE. REFER TO WDOT PRODUCT ACCEPTABILITY LIST AT: [HTTP://WWW.DOT.WISCONSIN.GOV/BUSINESS/ENGSERV/PAL.HTML](http://www.dot.wisconsin.gov/business/engserv/pal.html)
- EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT: [HTTP://DNR.WI.GOV/ORG/WATER/WM/NPS/STORMWATER/TECHSTDS.HTM](http://DNR.WI.GOV/ORG/WATER/WM/NPS/STORMWATER/TECHSTDS.HTM) AND COMPLY WITH ALL CITY OF MADISON ORDINANCES.
- ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE SWEEPED OR SCRAPED CLEAN BY THE END OF EACH WORKDAY.
- ALL DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY AFTER GRADING ACTIVITIES HAVE BEEN COMPLETED. THE WEST SIDESLOPES SHALL BE RESTORED WITHIN 5 DAYS OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE RESTORED BY 09/31/2025.
- ALL DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED, AND MULCH. SEED MIXTURE 40 SHALL BE USED ON ALL AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF WISCONSIN D.O.T. SPECIFICATIONS. SEED MIXTURES AND FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE AND SHALL BE ANCHORED INTO THE SOIL BY DISCING. SEEDING AND SODDING MAY ONLY BE USED FROM MAY 1ST TO SEPTEMBER 15TH OF ANY YEAR. TEMPORARY SEED SHALL BE USED AFTER SEPTEMBER 15. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.
- FOLLOWING ROUGH GRADING, DEEP TILLING WILL BE PERFORMED ON ALL GRADED AREAS OUTSIDE OF BUILDING AND STREET FOOTPRINTS. THE OPERATION SHALL BE ACCOMPLISHED USING TWIN STRAIGHT STEEL SHANKS DRAWN BY TRACKED MACHINERY. EACH SHANK SHALL BE 24 TO 36 INCHES LONG, POSITIONED OVER EACH TRACK.
- ALL ACCESS POINT TO THE PROJECT SITE MUST HAVE A STONE CONSTRUCTION ENTRANCE.
- IF RILL EROSION BECOMES PROBLEMATIC, THE CONTRACTOR SHALL APPLY SOIL STABILIZATION POLYMERS ON ALL SLOPES GREATER THAN 10% OR IN PROBLEM AREAS.

EMERGENCY CONTACT
MIKE HACKEL
HOMBURG CONTRACTORS, INC.
5590 MONONA DRIVE
MONONA, WI 53716
(608) 241-1178



NOTES:

- CLEAN UP ANY MATERIAL TRACKED OFF SITE DAILY.
- REPLACE STONE ENTRANCE WHEN IT BECOMES TOO CLOGGED TO PROVIDE ANY CLEANING BENEFIT.

03 CONSTRUCTION ENTRANCE
C300 N.T.S.

PROJECT:
**6910 SEYBOLD ROAD
CITY OF MADISON**

OWNER:
ROYAL PARTNERS LLC

SITE CONSULTANT:
**HOMBURG
CONTRACTORS, INC.**

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Monona, WI 53716
(608) 222-6597
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**GRADING/ EROSION
CONTROL PLAN**

C 200

PROJECT:

6910 SEYBOLD ROAD
CITY OF MADISON

OWNER:

ROYAL PARTNERS LLC

SITE CONSULTANT:



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Monona, WI 53716
(608) 222-6597
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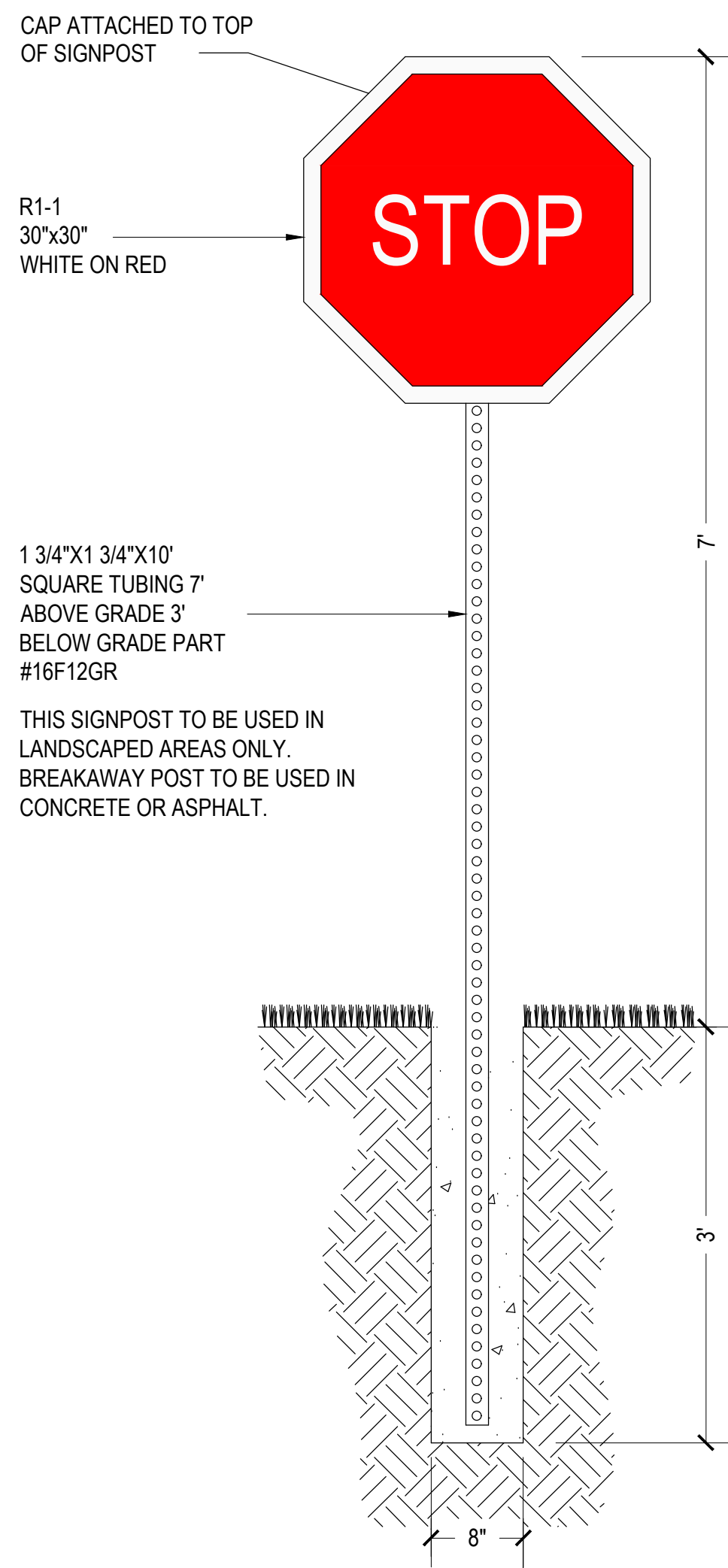
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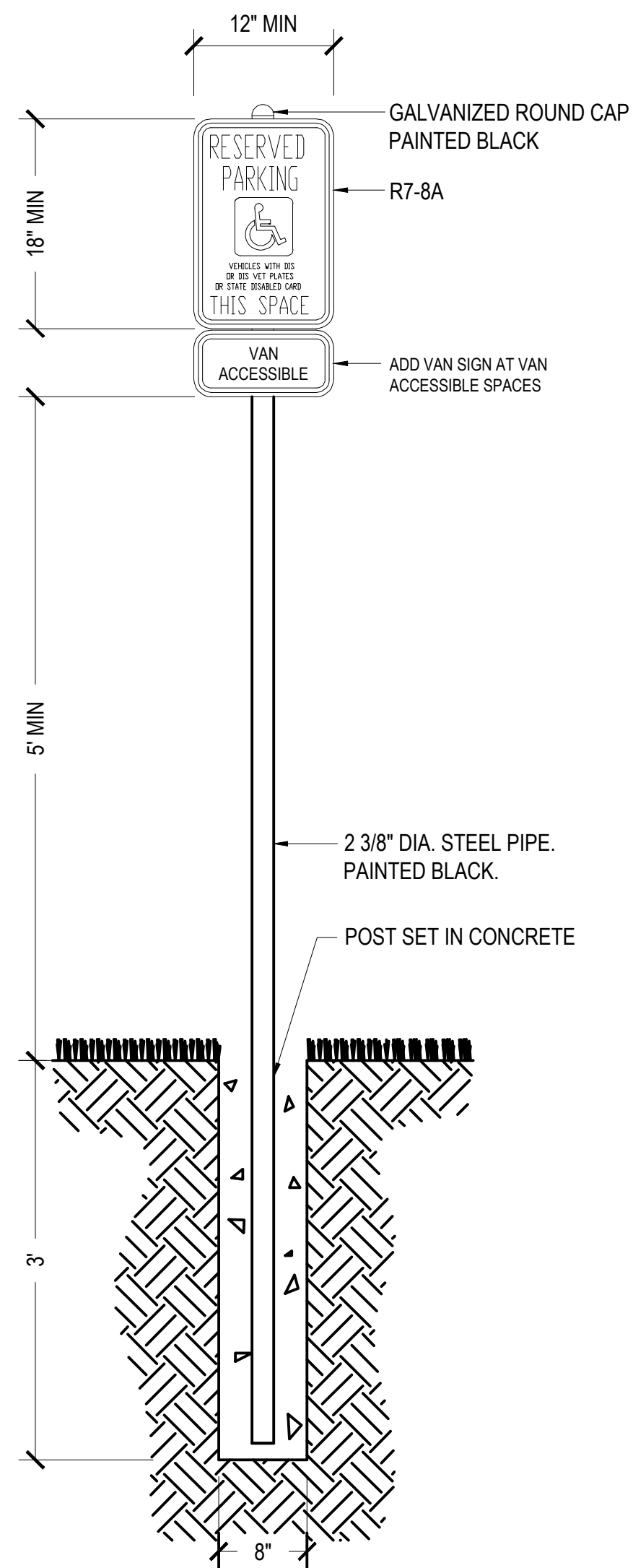
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SITE PLAN DETAILS

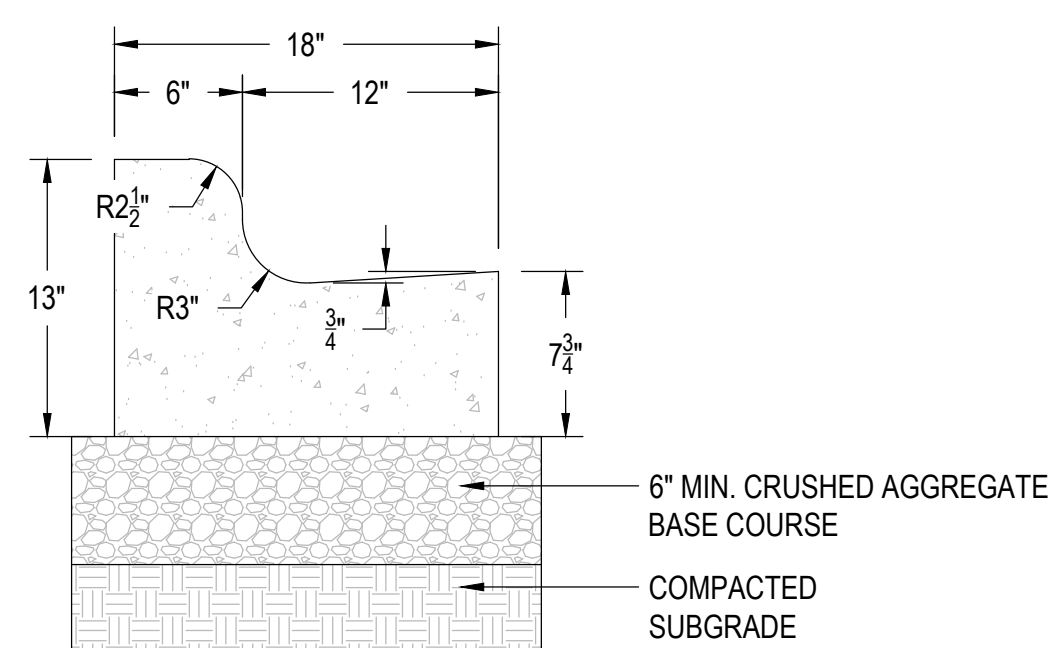
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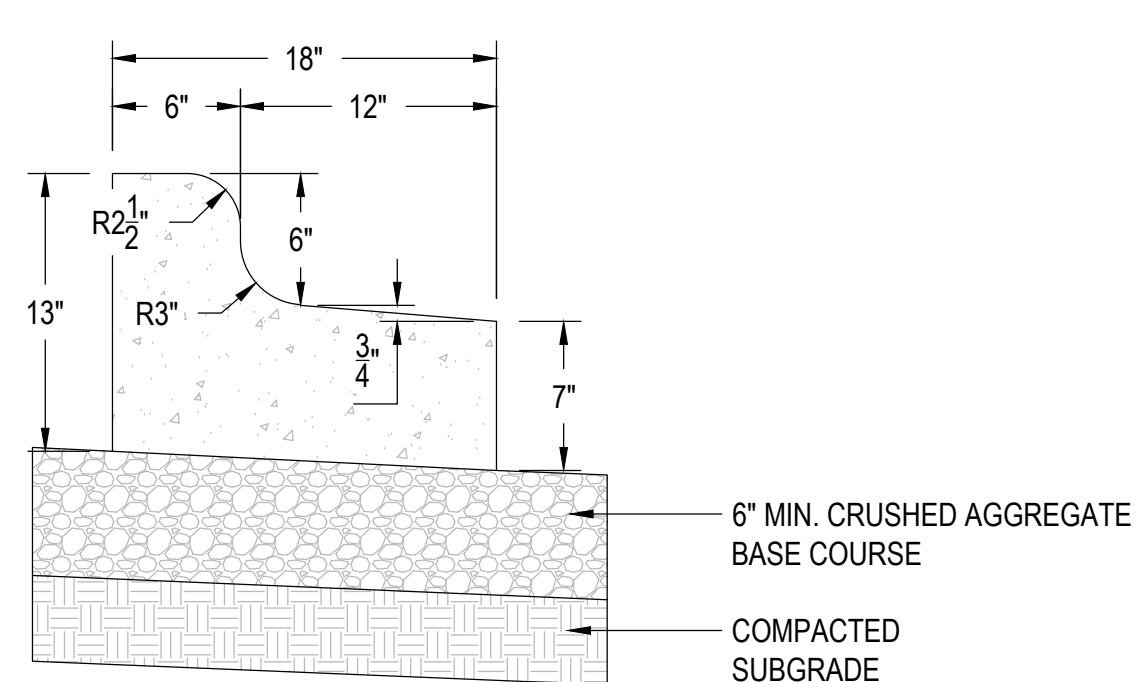
01 STOP SIGN
C201 N.T.S.



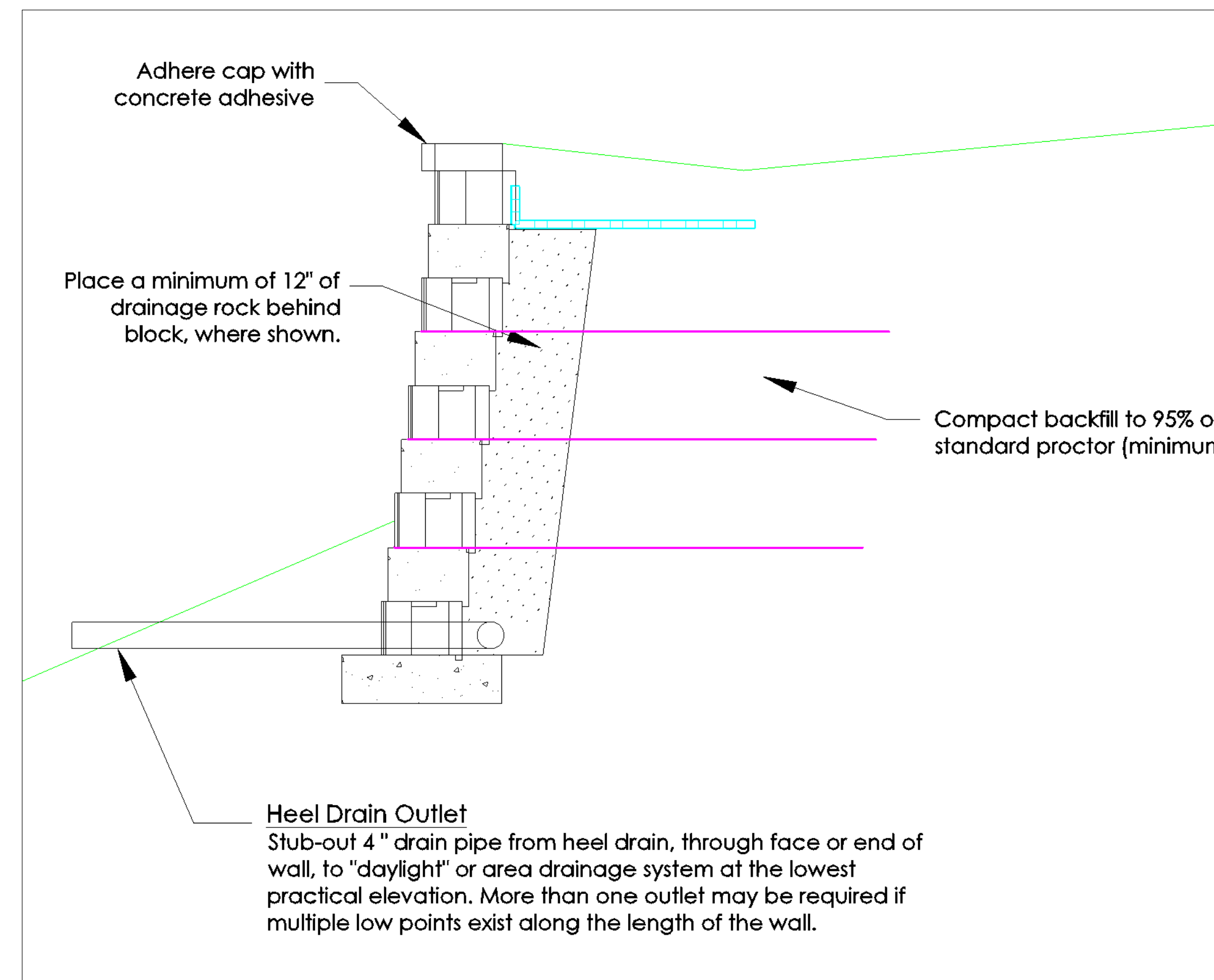
02 DISABLED PARKING SIGN
C201 N.T.S.



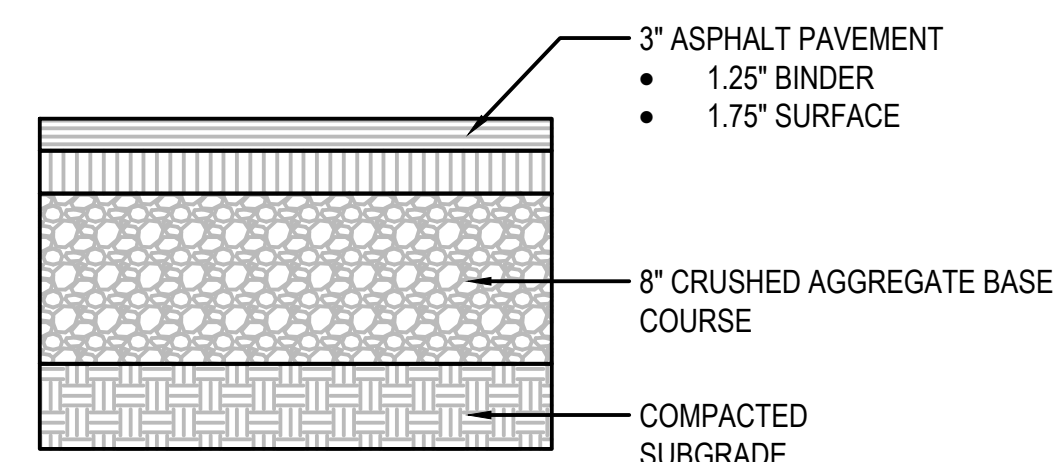
03 18" CONCRETE CURB AND GUTTER
C201 N.T.S.



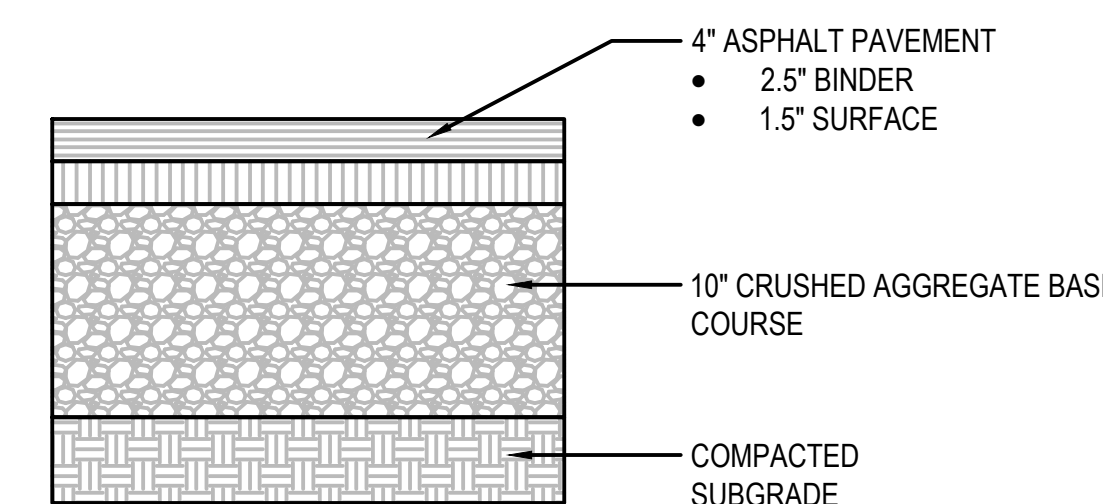
04 18" CONCRETE REJECT CURB AND GUTTER
C201 N.T.S.



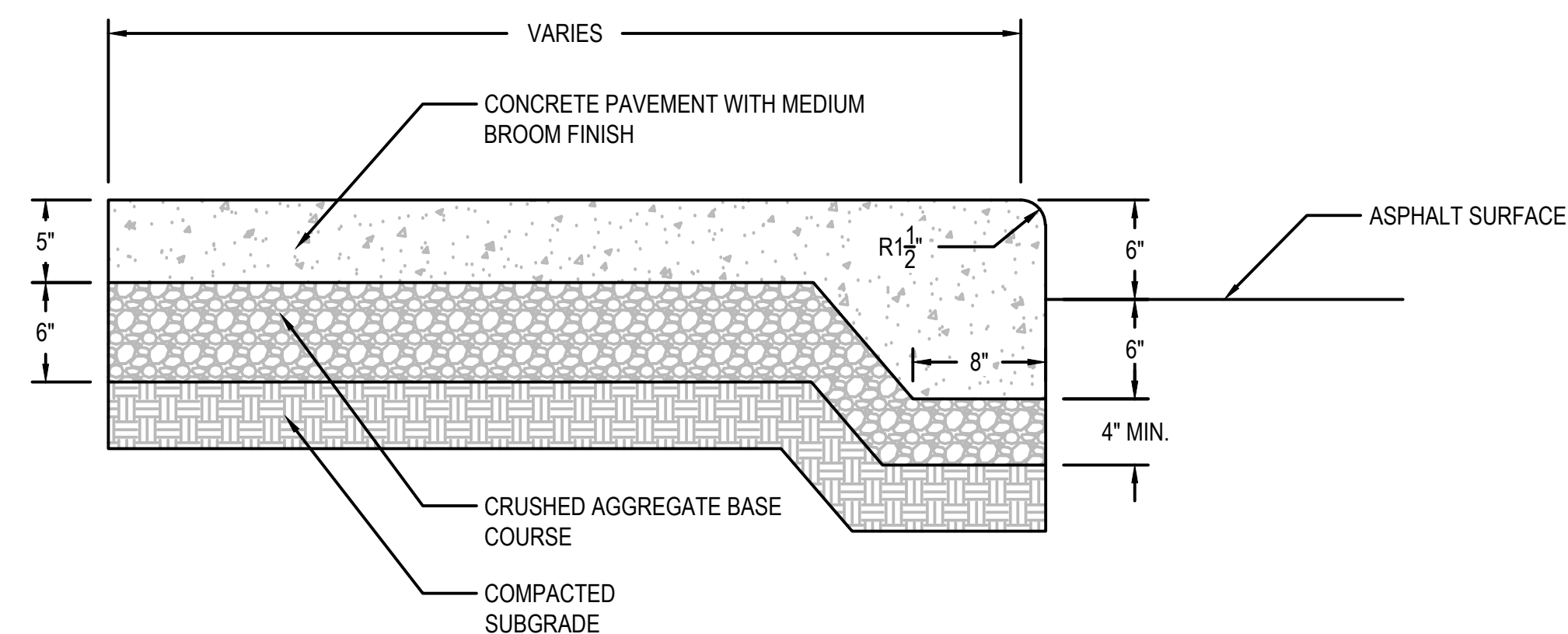
08 MODULAR BLOCK RETAINING WALL
C201 N.T.S.



05 LIGHT-DUTY ASPHALT PAVEMENT
C201 N.T.S.

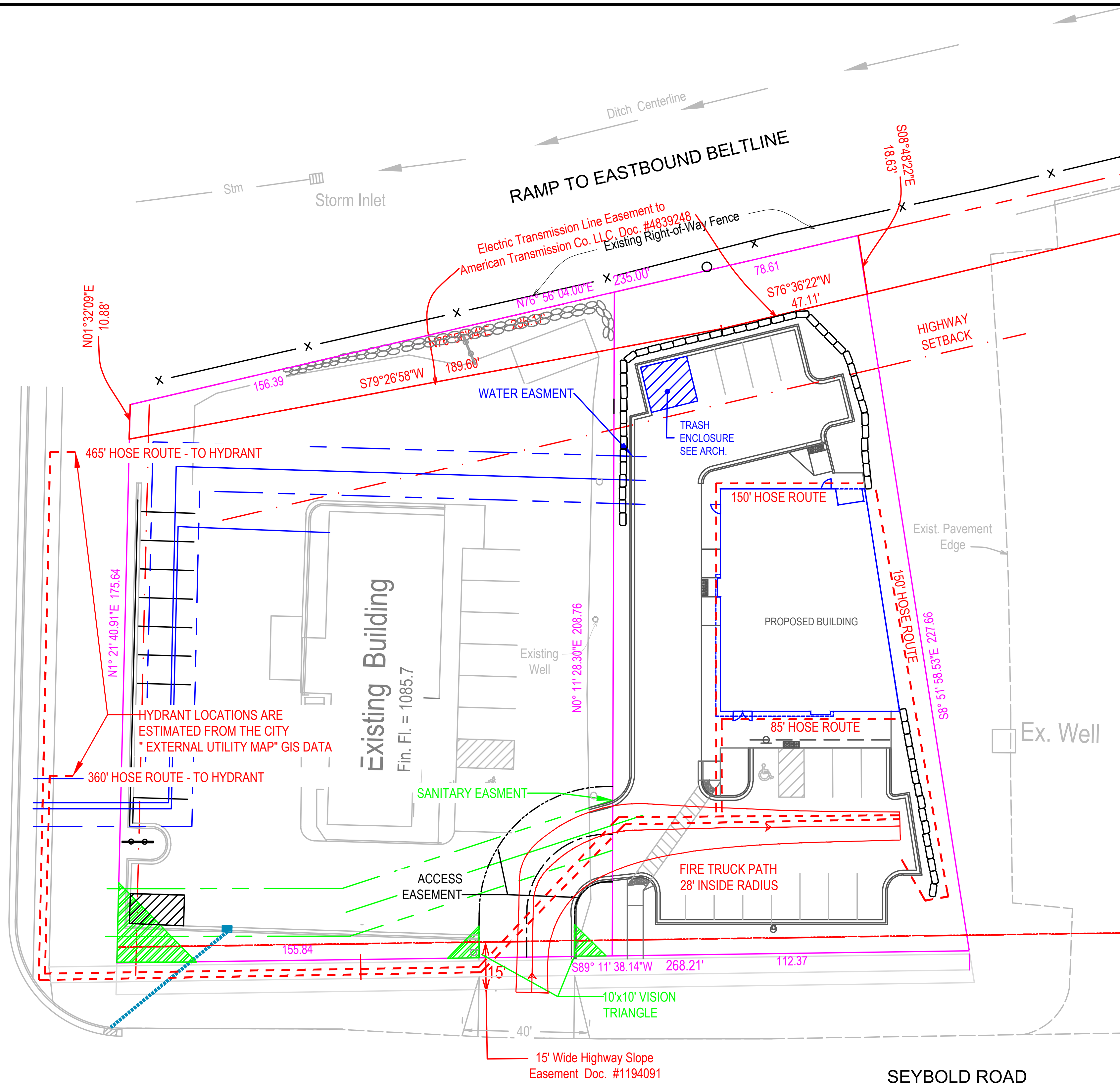


06 HEAVY-DUTY ASPHALT PAVEMENT
C201 N.T.S.

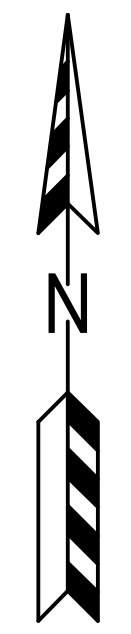
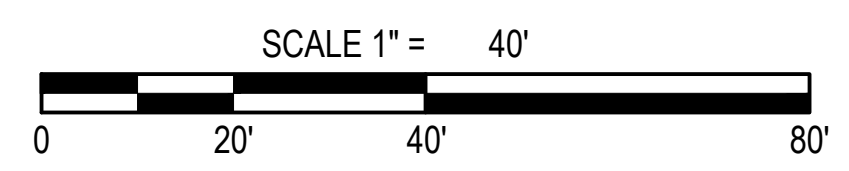


07 CURB FACE CONCRETE SIDEWALK
C201 N.T.S.

SOUTH GAMMON ROAD



THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



PROJECT:
6910 SEYBOLD ROAD
CITY OF MADISON

OWNER:
ROYAL PARTNERS LLC

SITE CONSULTANT:
HOMBURG
CONTRACTORS, INC.

5590 Monona Drive
Monona, WI 53716
(608) 222-6597
(608) 244-9113 Fax
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Wisconsin's Greenest Advantage
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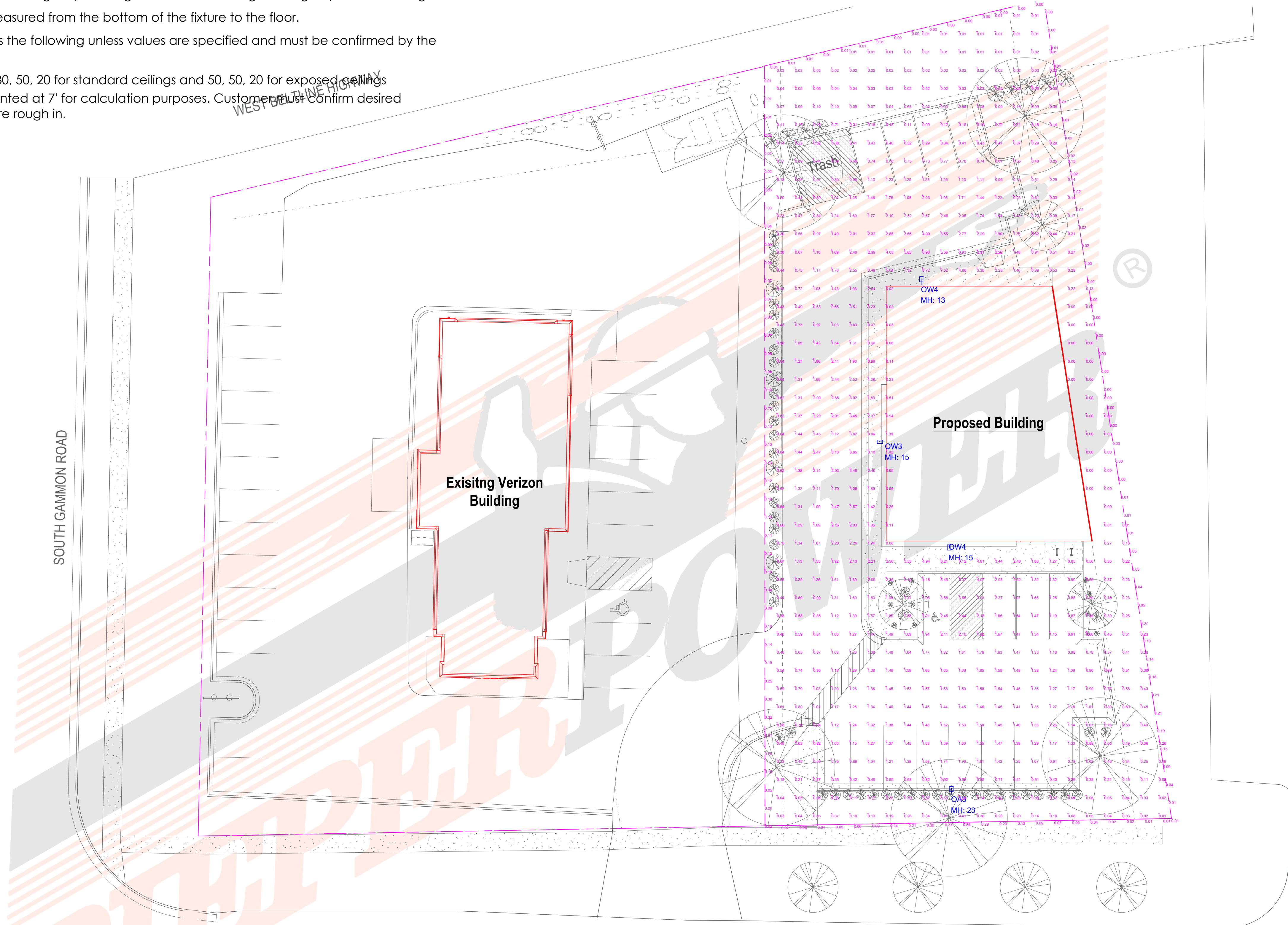
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FIRE ACCESS PLAN

C 300

NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



SEYBOLD RD.

Luminaire Schedule								
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts	Lum. Lumens
	OA3	SINGLE	0.900	LITHONIA	RSX1 LED P1 xxK R3 HS 20FT POLE 3 FT BASE	51.34	51.34	4980
1	OW3	SINGLE	0.900	LITHONIA	RSX1 LED P1 xxK R3 HS WBA	51.34	51.34	4980
2	OW4	SINGLE	0.900	LITHONIA	RSX1 LED P1 xxK R4 WBA	51.34	102.68	7189

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
PROP LINE	Illuminance	Fc	0.07	0.37	0.00	N.A.	N.A.	
SITE	Illuminance	Fc	1.08	8.72	0.00	N.A.	N.A.	
PARKING + DRIVES	Illuminance	Fc	1.60	7.3	0.1	16.00	73.00	

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Windsor, WI 53598
608-836-7072

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View from Seybold



View from Seybold



View from the Beltline

**SEYBOLD RD. LOT 2
COMMERCIAL
BUILDING**

6910 SEYBOLD RD.
MADISON, WI 53719



Verizon Building



SITE PLAN CONTEXT



Quality Inn Building

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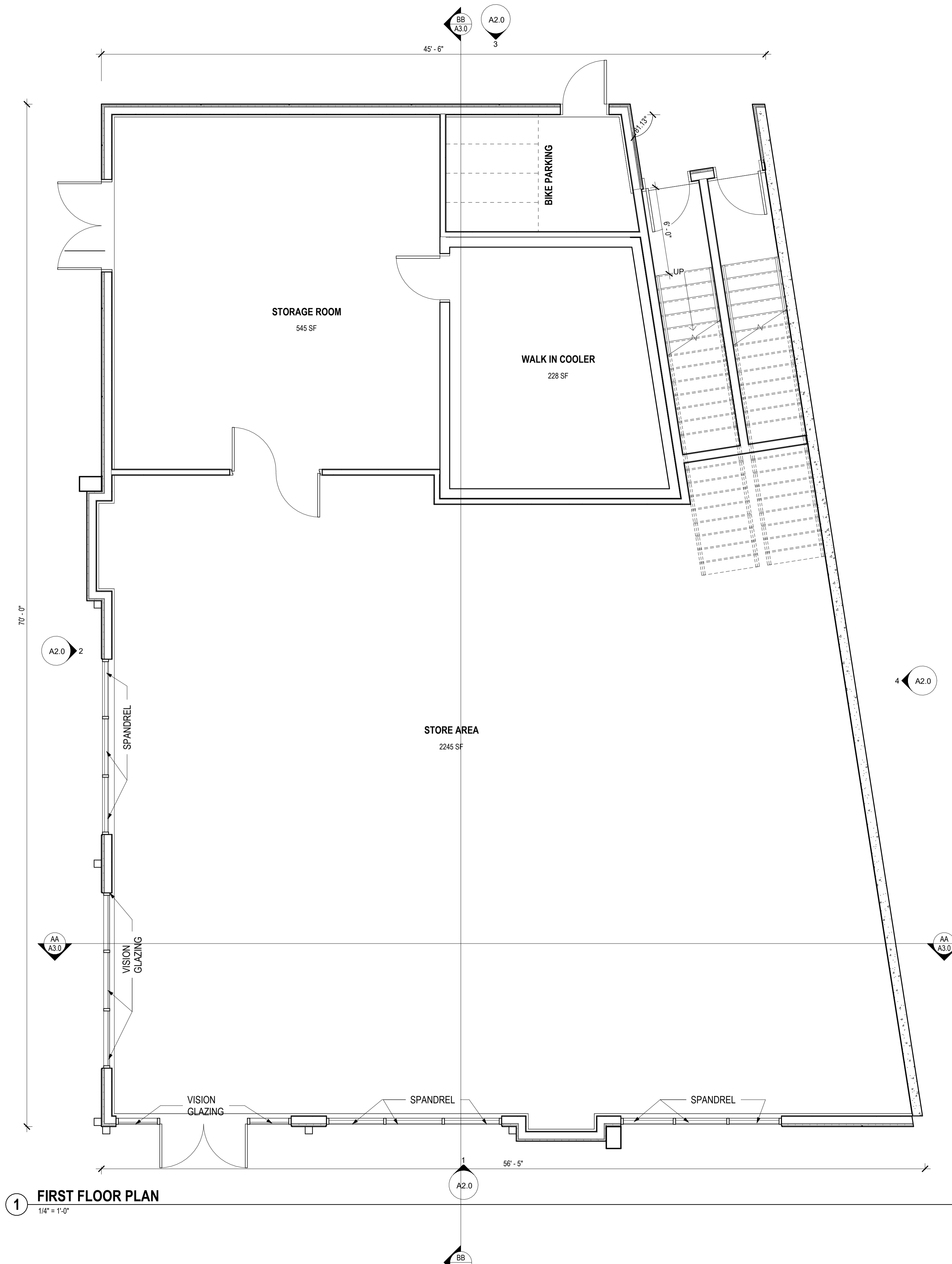
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PROJECT # 24034

**SITE PLAN
CONTEXT & SITE
PHOTOS**

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1 FIRST FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES	
A.	SEE SHEET A5.0 FOR LARGE SCALE PLANS.
B.	SEE SHEET A7.0 FOR INTERIOR ELEVATIONS.
C.	PROVIDE VERTICAL CONTROL JOINTS (CJS) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
D.	VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
E.	GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
F.	GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL/EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).
G.	GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
H.	PROVIDE VINYL CARPET EDGE AT TRANSITIONS FROM CARPET TO DISSIMILAR FLOOR MATERIALS, UNLESS NOTED OTHERWISE (U.N.O.).
I.	REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL JOINTS.
J.	VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
K.	ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.
L.	DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

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**SEYBOLD RD. LOT 2
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MADISON, WI 53719

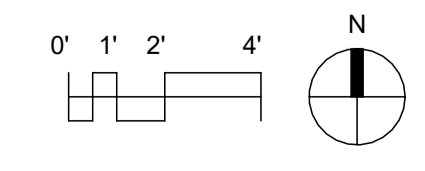
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FIRST FLOOR PLAN



A1.1



- FLOOR PLAN GENERAL NOTES**
- A. SEE SHEET A5.0 FOR LARGE SCALE PLANS.
 - B. SEE SHEET A7.0 FOR INTERIOR ELEVATIONS.
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**SEYBOLD RD. LOT 2
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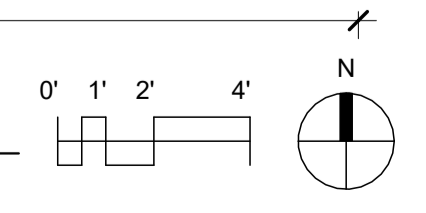
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**SECOND FLOOR
 PLAN**

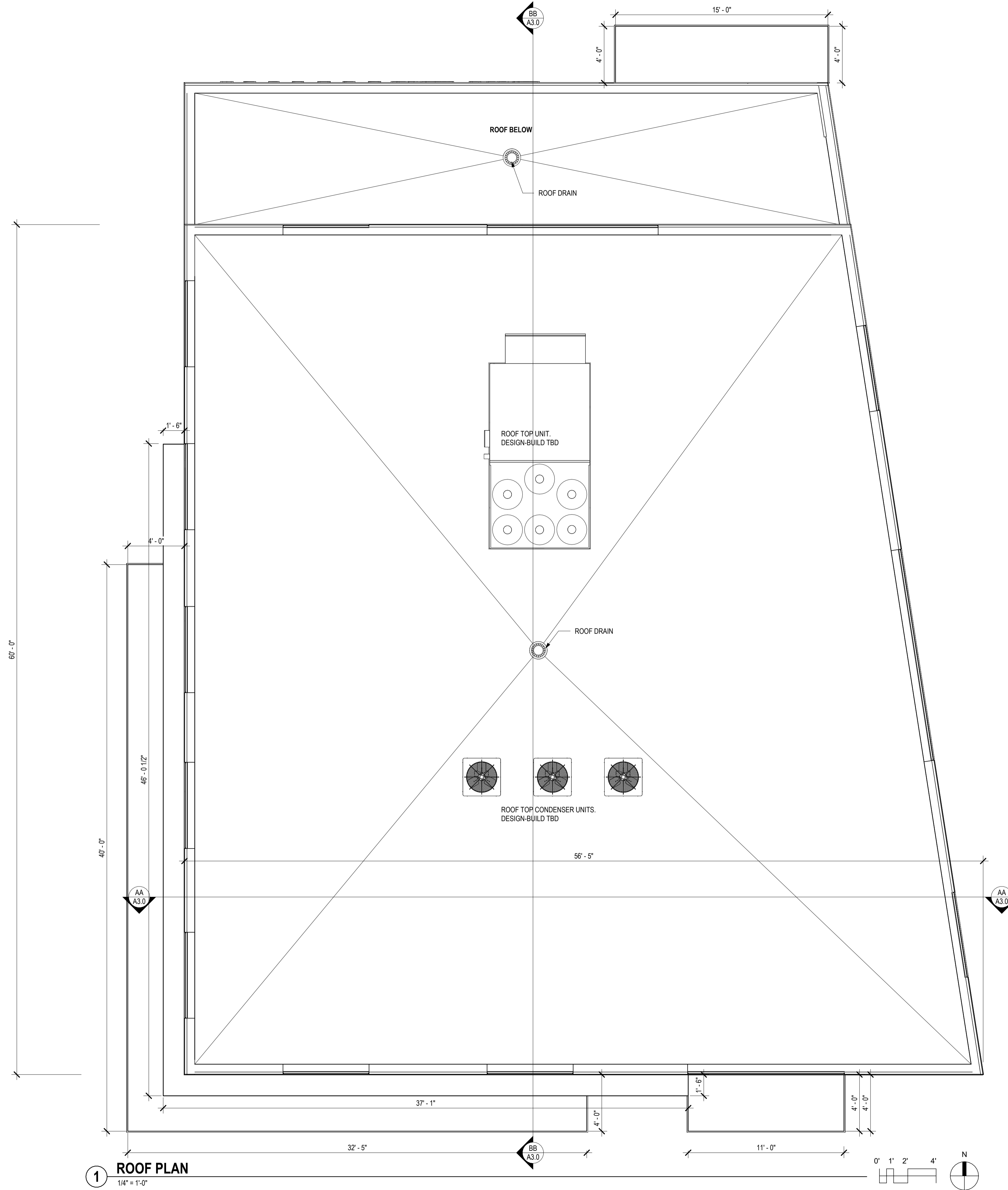
1 SECOND FLOOR PLAN
 1/4" = 1'-0"



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A1.2

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ROOF PLAN GENERAL NOTES

- A. ROOFING TO BE TPO - REFER TO ROOF TYPE R50.
- B. ROOF PLUMBING VENT PIPE PENETRATIONS NOT SHOWN. COORDINATE QUANTITY AND LOCATIONS WITH PLUMBING CONTRACTOR.
- C. COORDINATE DOWNSPOUT CONNECTIONS TO SEWER w/ CIVIL PLANS. PROVIDE SPLASH BLOCKS @ DOWNSPOUTS THAT SPILL ONTO GRADE.

SEYBOLD RD. LOT 2 COMMERCIAL BUILDING

6910 SEYBOLD RD.
 MADISON, WI 53719

UDC AND PLAN COMMISSION SUBMITTAL

DATE OF ISSUE: 9/6/2024

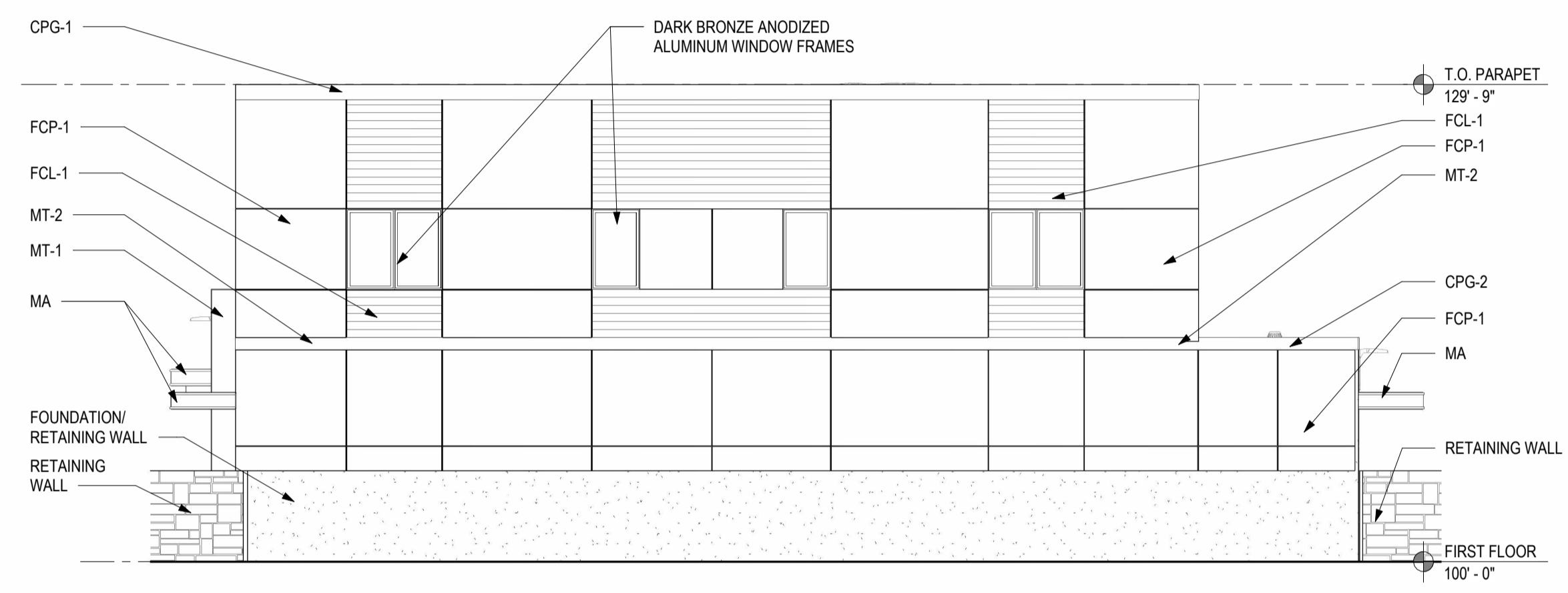
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PROJECT # 24034

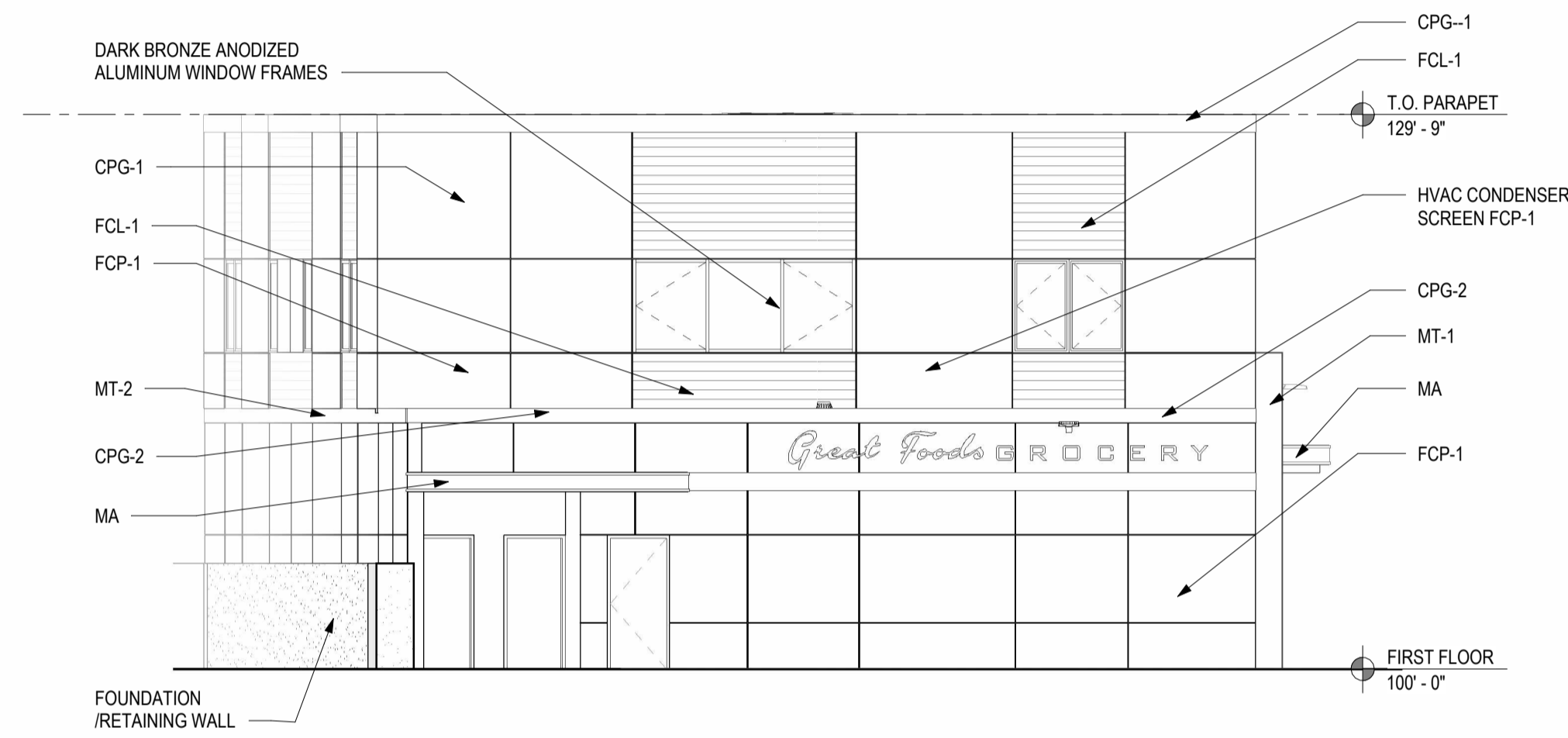
ROOF PLAN

A1.3

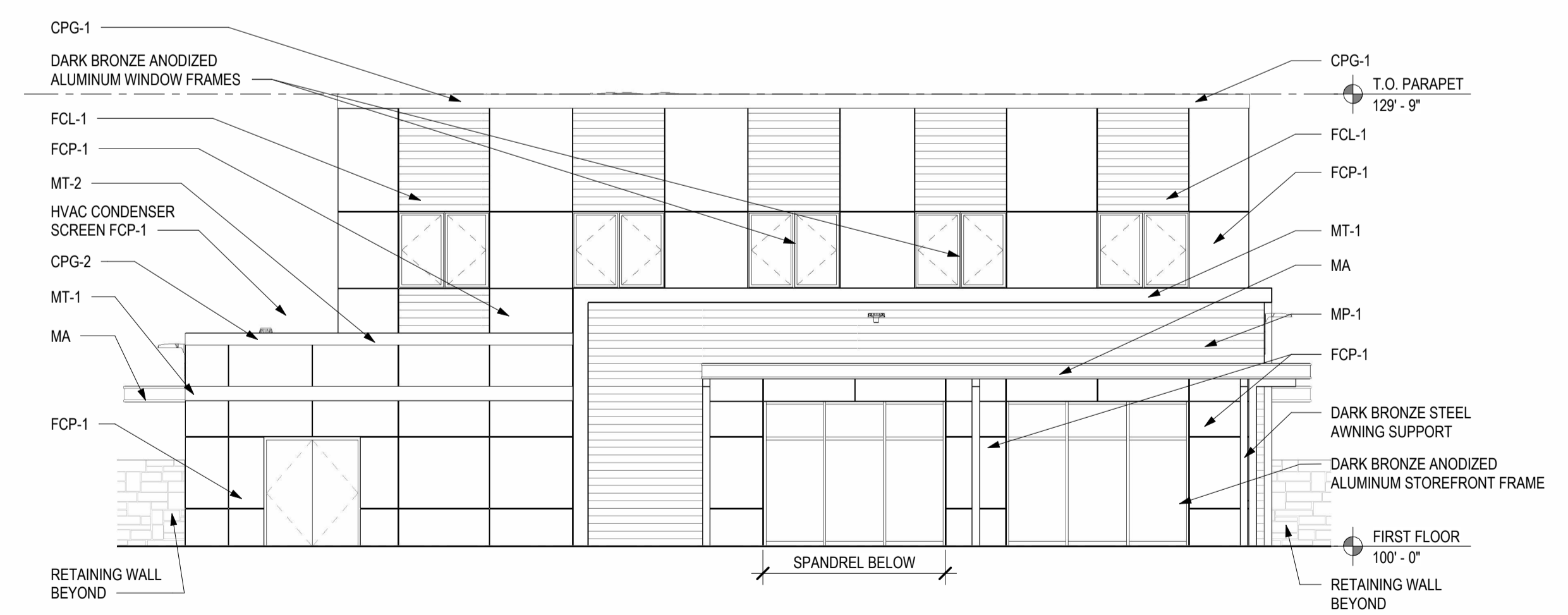
ELEVATION LEGEND & NOTES	
SIDING & TRIM	
FCP-1	FIBER CEMENT PANEL
FCL-1	FIBER CEMENT LAP SIDING
MP-1	ENGINEERED WOOD PANEL
PRE-FINISHED METAL	
CPG-1	COPING
CPG-2	COPING
FSA	FASCIA
MT-1	METAL TRIM
MT-2	METAL TRIM
CANOPY	
MA	METAL AWNING
STOREFRONT	
	ANODIZED ALUMINUM
COLOR (DIAMOND KOTE)	
	OLIVE
	PEWTER GREEN
	FAWN
COLOR	
	DARK BRONZE
	FAWN
	DARK BRONZE
	DARK BRONZE
	FAWN
COLOR	
	DARK BRONZE
COLOR	
	DARK BRONZE



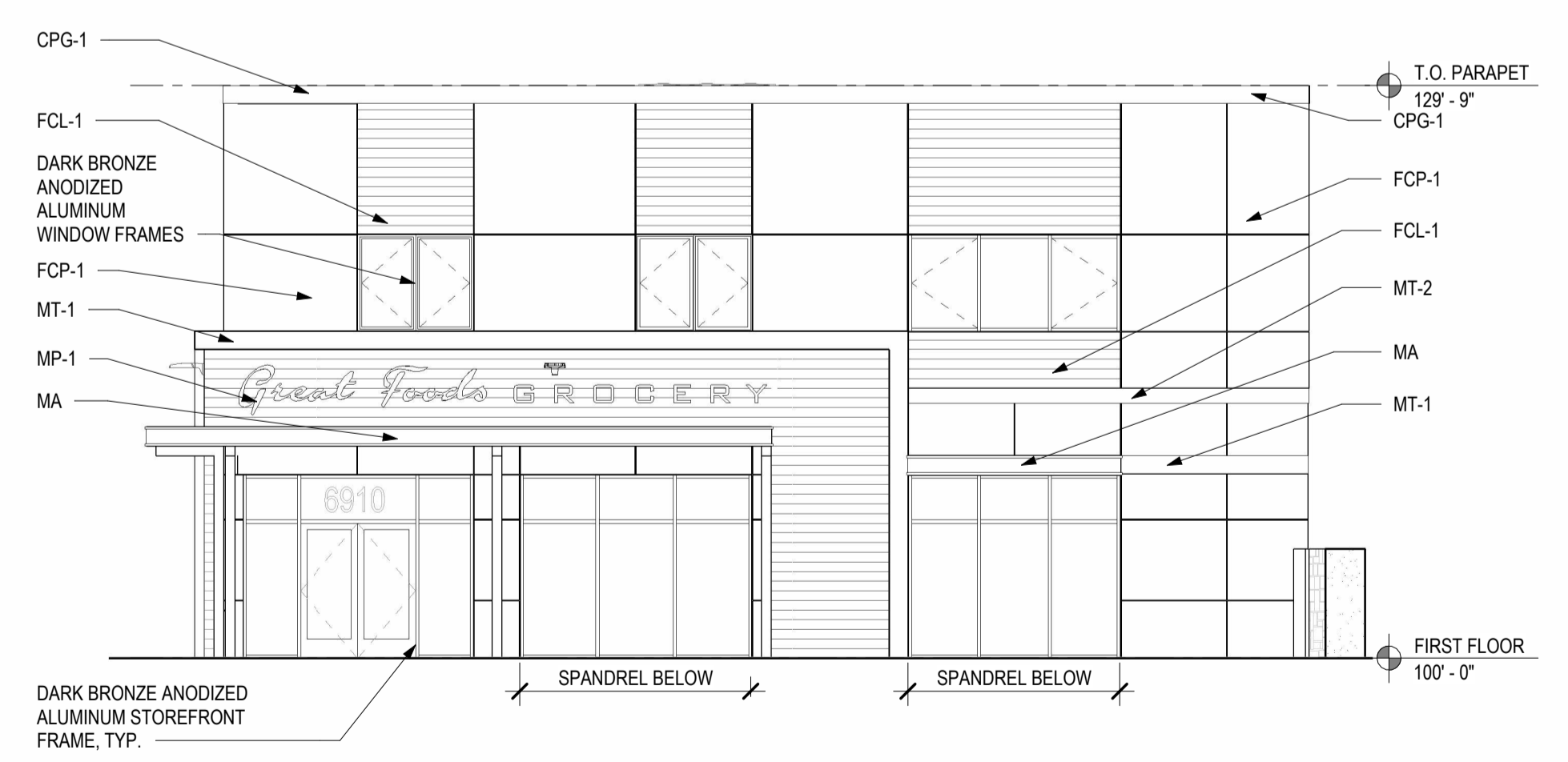
4 EAST ELEVATION
1/8" = 1'-0"
0' 2' 4' 8'



3 NORTH ELEVATION
1/8" = 1'-0"
0' 2' 4' 8'



2 WEST ELEVATION
1/8" = 1'-0"
0' 2' 4' 8'



1 SOUTH ELEVATION
1/8" = 1'-0"
0' 2' 4' 8'

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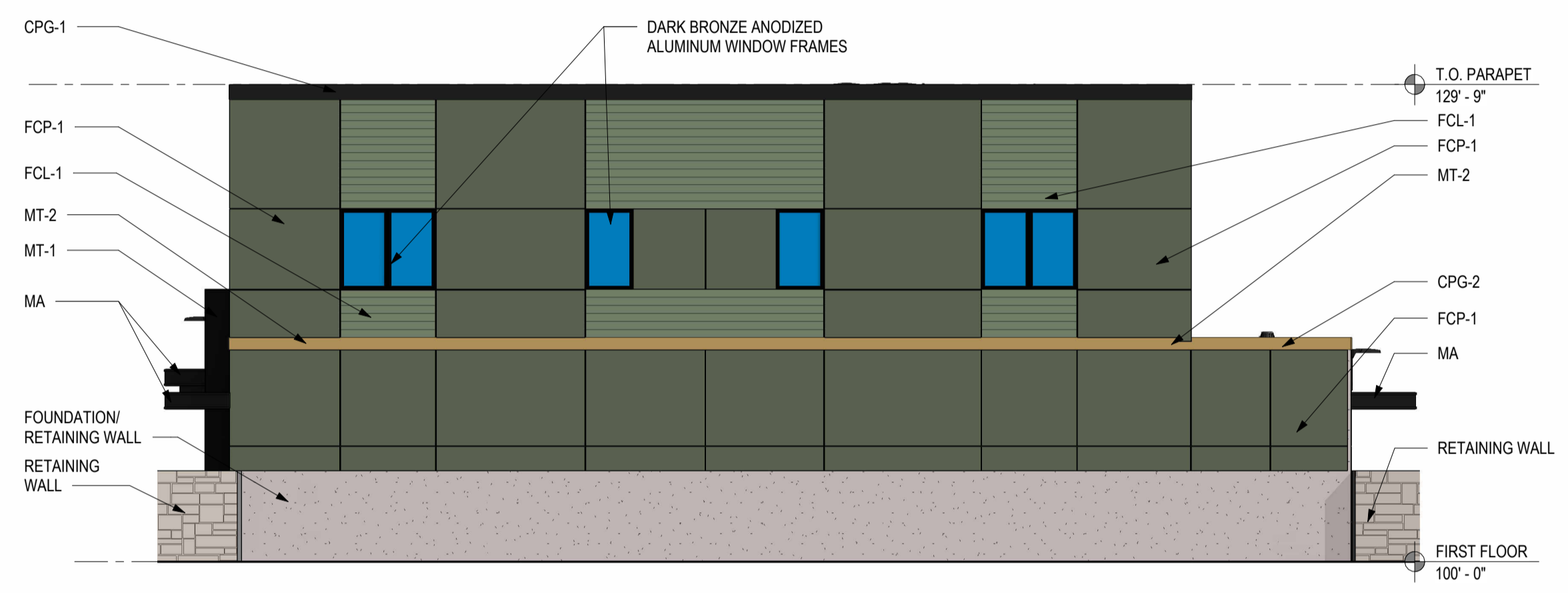
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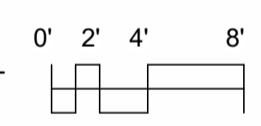
PROJECT # 24034

**EXTERIOR
ELEVATIONS**

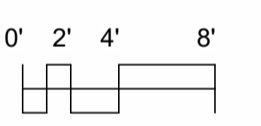
A2.0

ELEVATION LEGEND & NOTES		
SIDING & TRIM		
FCP-1	FIBER CEMENT PANEL	COLOR (DIAMOND KOTE) OLIVE
FCL-1	FIBER CEMENT LAP SIDING	PEWTER GREEN
MP-1	ENGINEERED WOOD PANEL	FAWN
PRE-FINISHED METAL		
CPG-1	COPING	COLOR DARK BRONZE
CPG-2	COPING	FAWN
FSA	FASCIA	DARK BRONZE
MT-1	METAL TRIM	DARK BRONZE
MT-2	METAL TRIM	FAWN
CANOPY		
MA	METAL AWNING	COLOR DARK BRONZE
STOREFRONT		
	ANODIZED ALUMINUM	COLOR DARK BRONZE

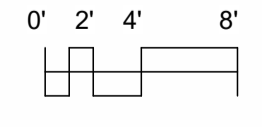


4 EAST ELEVATION - COLOR
1/8" = 1'-0" 

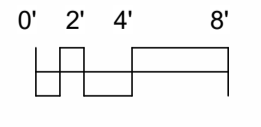


3 NORTH ELEVATION - COLOR
1/8" = 1'-0" 



2 WEST ELEVATION - COLOR
1/8" = 1'-0" 



1 SOUTH ELEVATION - COLOR
1/8" = 1'-0" 

**SEYBOLD RD. LOT 2
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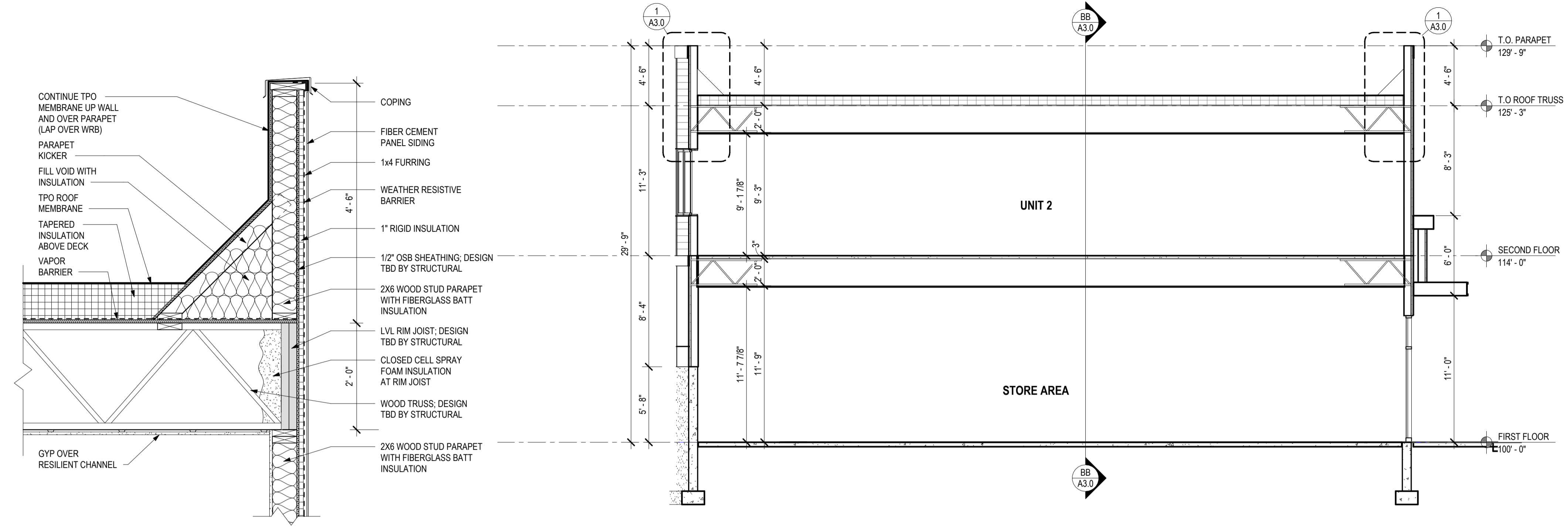
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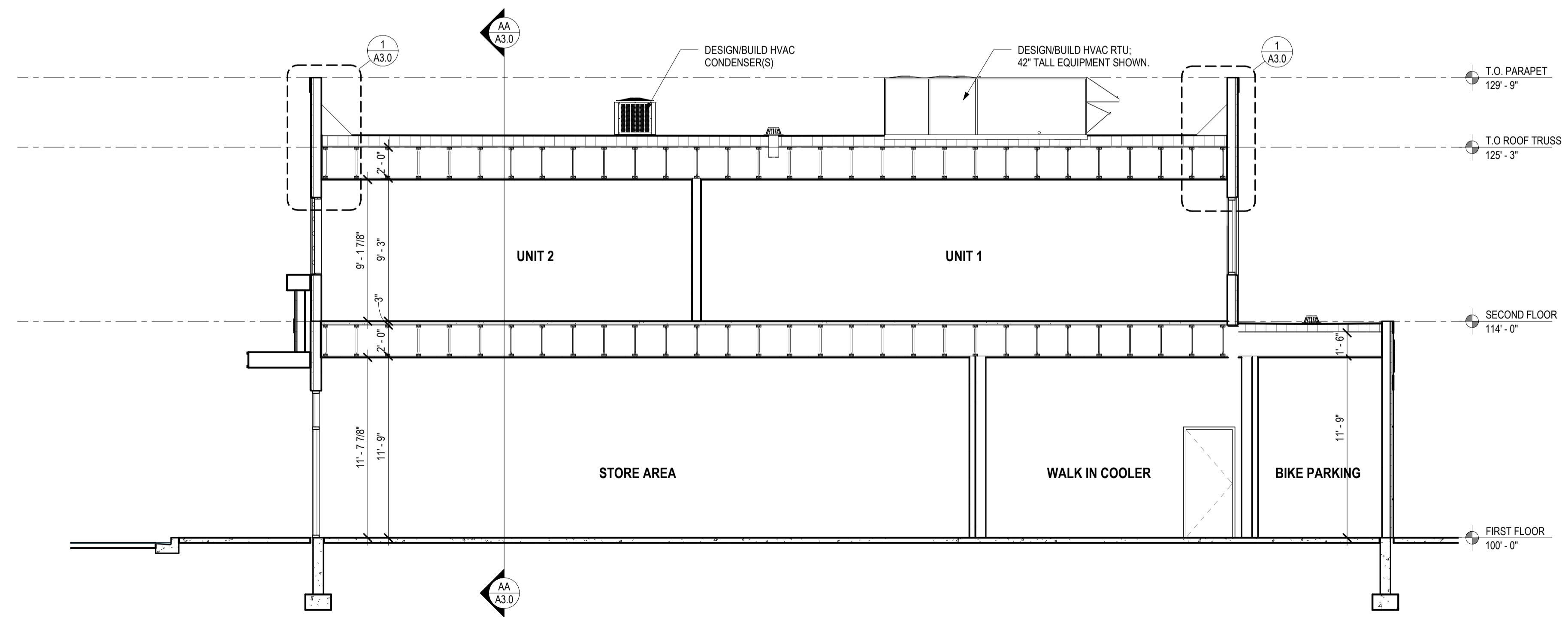
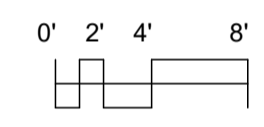
**EXTERIOR
ELEVATIONS -
COLOR**

A2.1

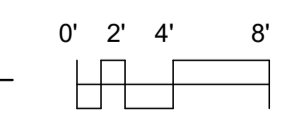


1 PARAPET DETAIL
3/4" = 1'-0"

AA BUILDING SECTION
3/16" = 1'-0"



BB BUILDING SECTION
3/16" = 1'-0"



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**BUILDING
SECTIONS**

A3.0

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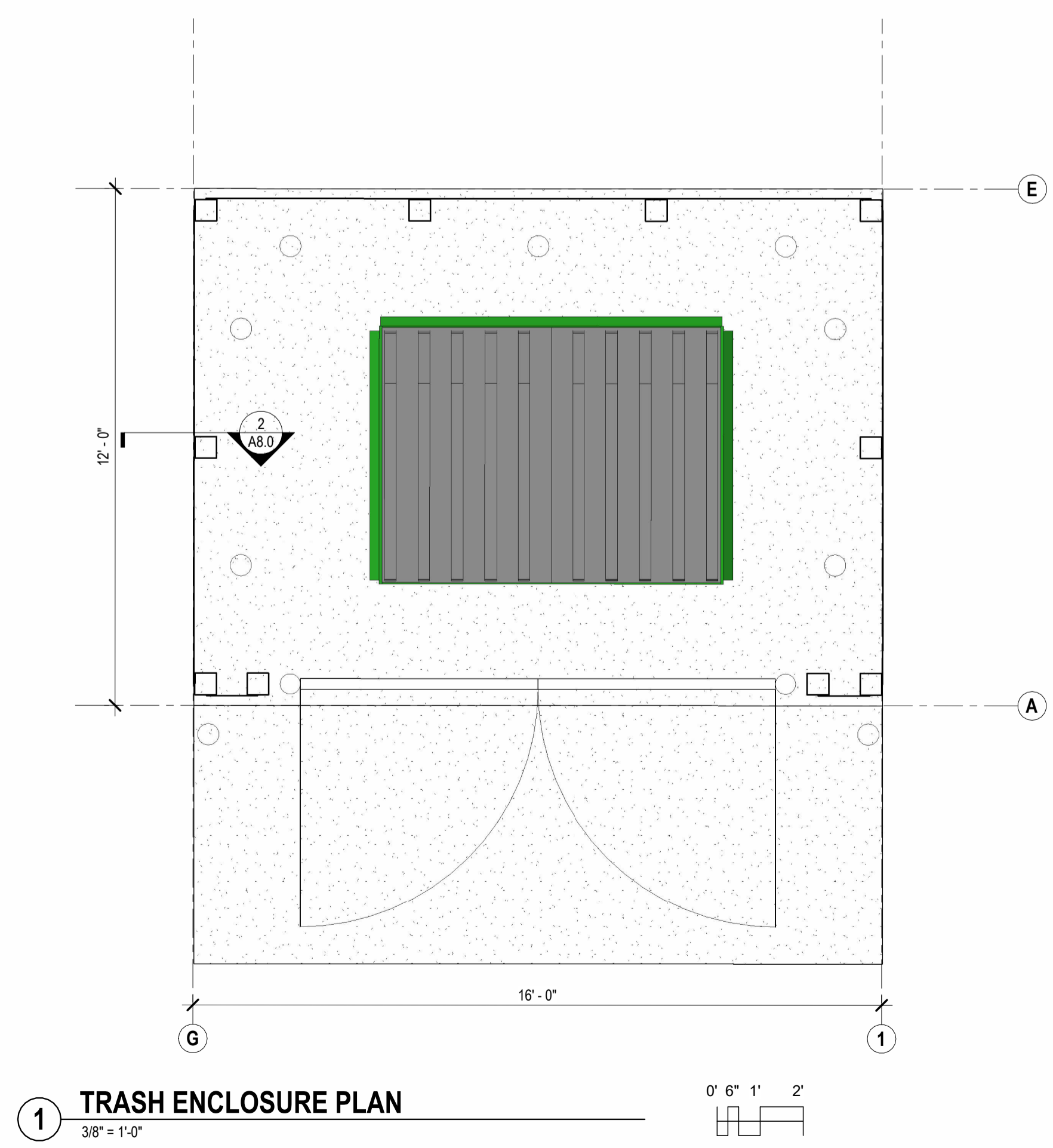
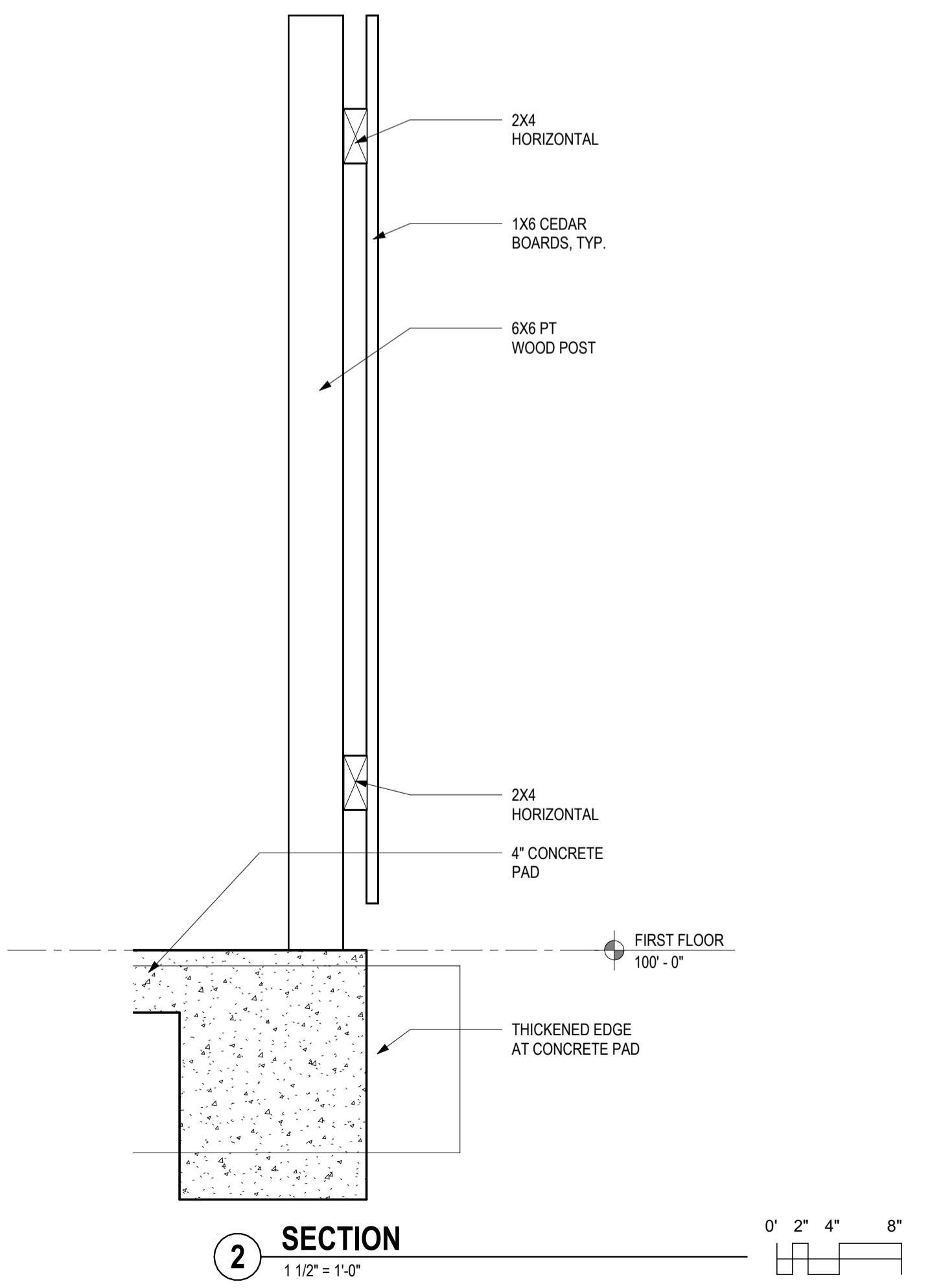
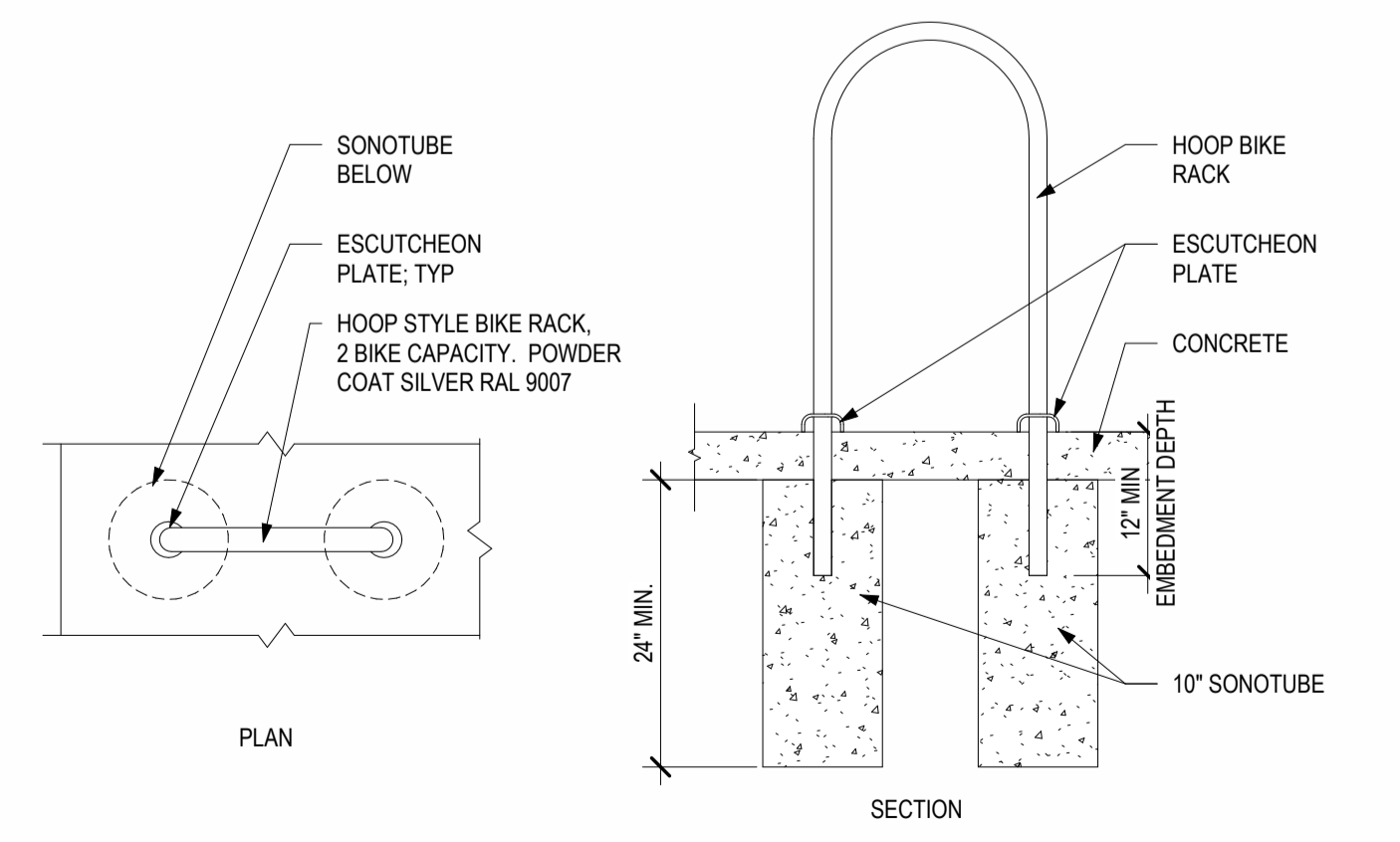
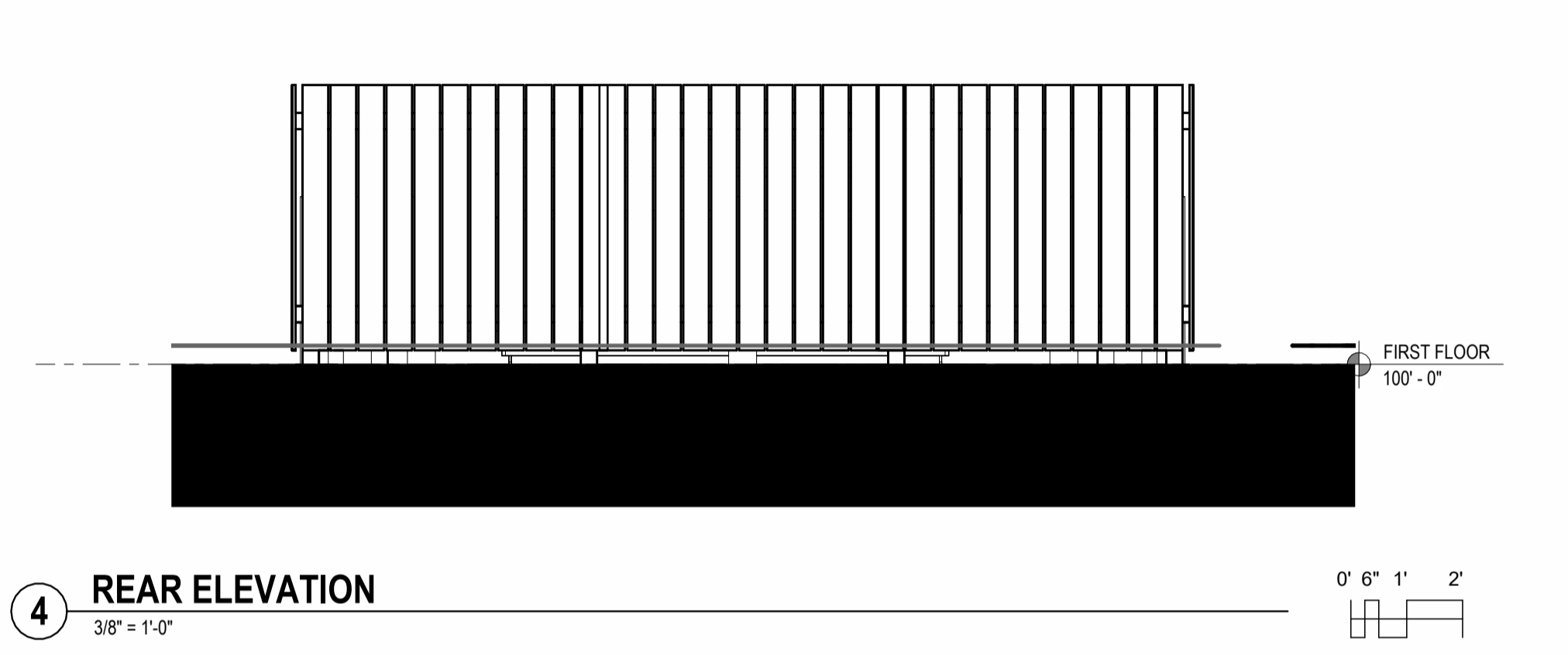
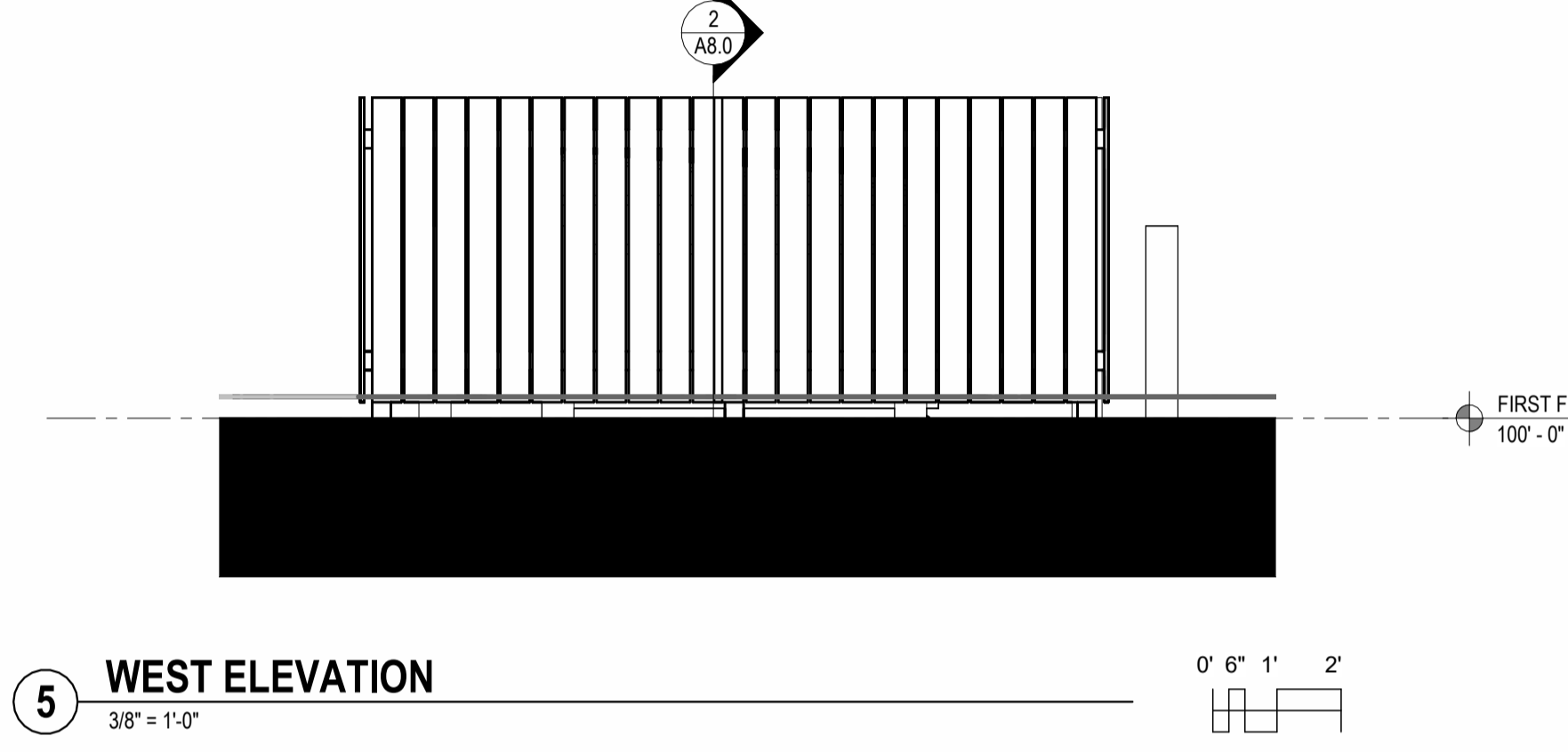
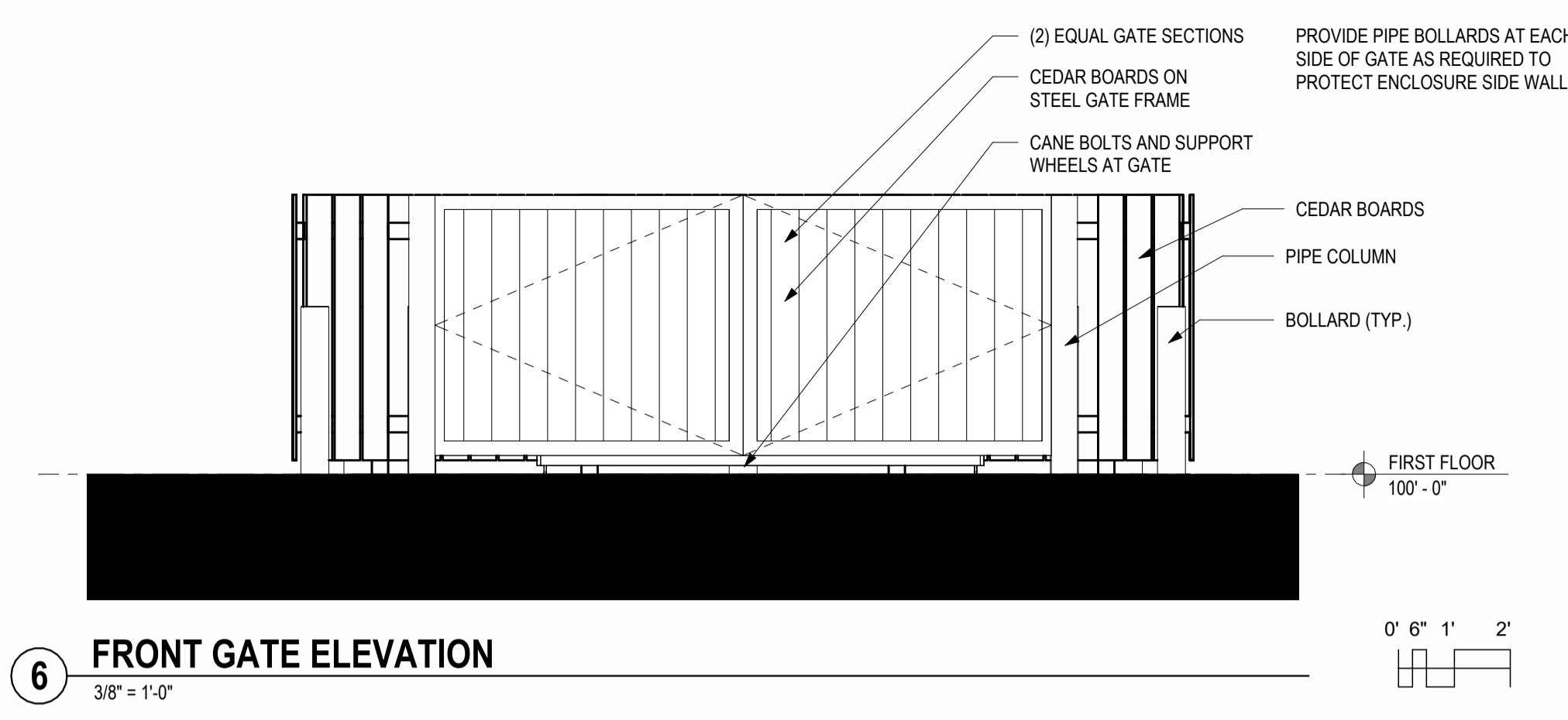
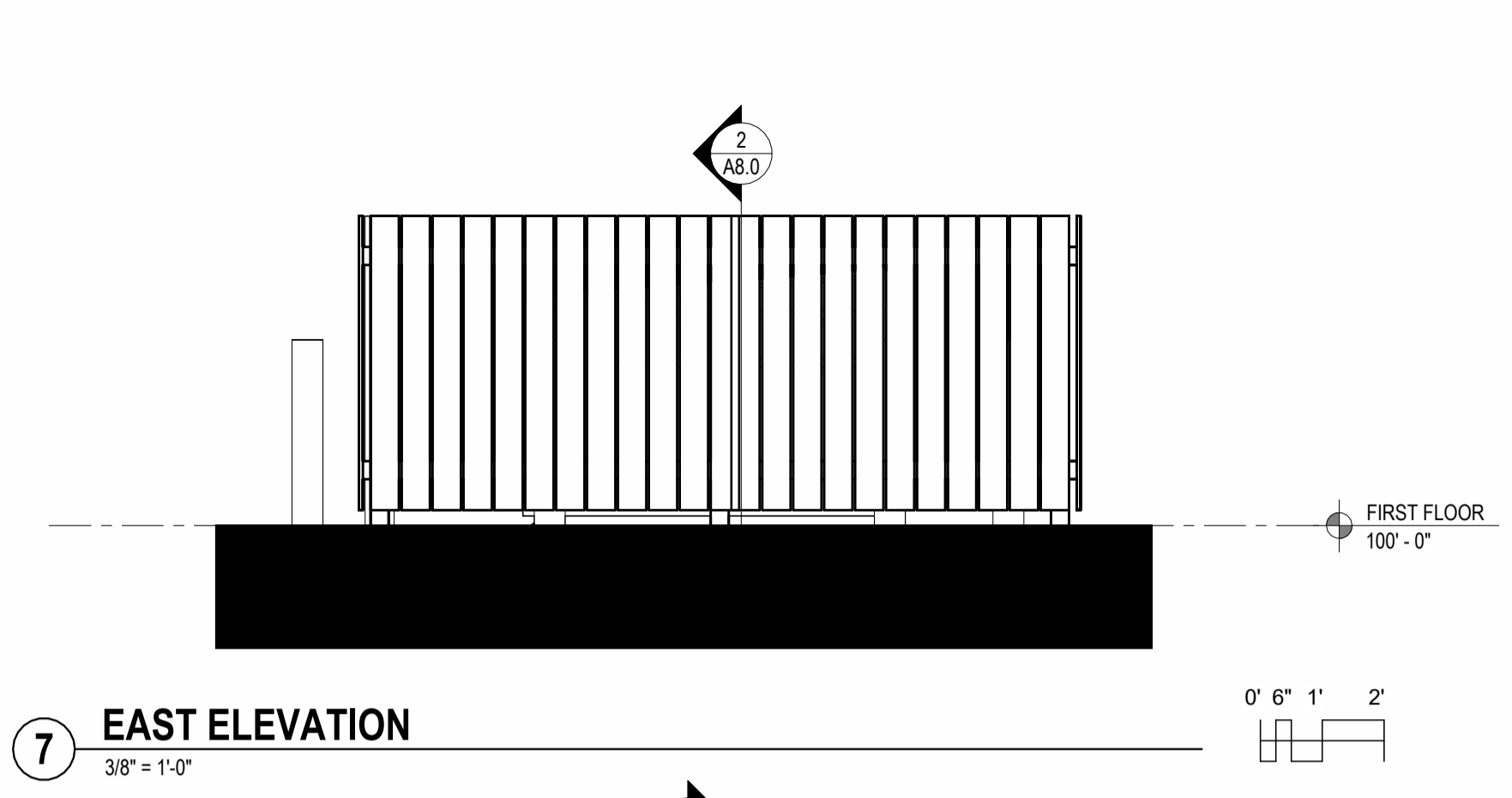
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DETAILS

A8.0



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**SEYBOLD RD. LOT 2
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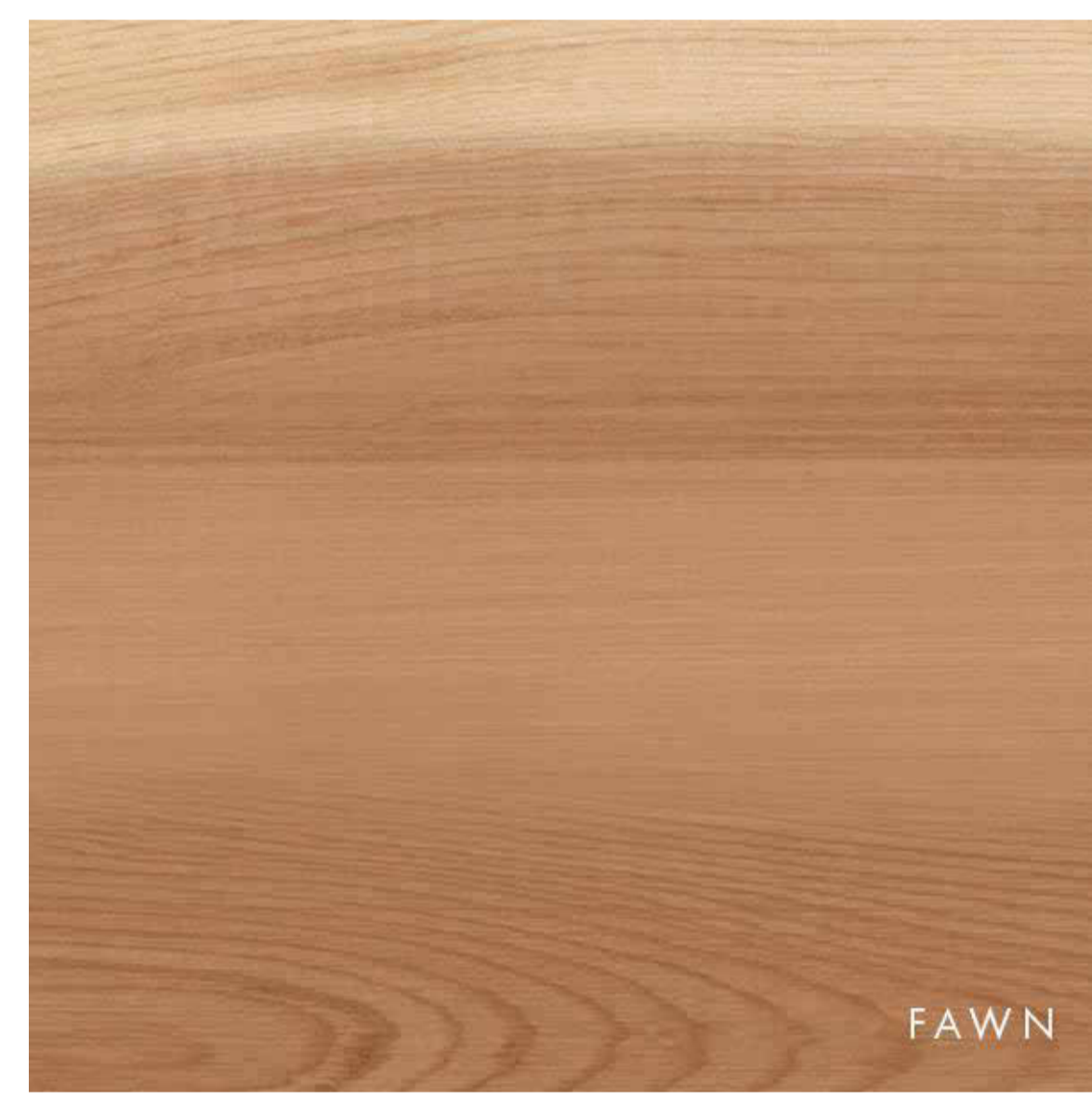
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PROJECT # 24034

**EXTERIOR FINISH
BOARD**

A9.1



METAL TRIM - FAWN



**METAL TRIM/METAL COPING/STOREFRONT
FRAME/WINDOW FRAME - DARK BRONZE**



FIBER CEMENT PANEL SIDING - OLIVE



FIBER CEMENT PANEL SIDING - PEWTER GREEN



METAL PANEL SIDING - FAWN



DIMENSION 
Madison Design Group
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p608.829.4444 f608.829.4445 dimensionmadison.com

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3D VIEWS

A9.2



RSX1 LED Area Luminaire

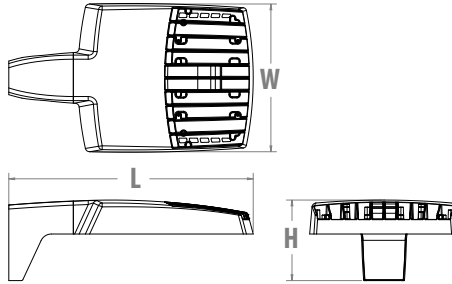


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA (ft ² @0°):	0.57 ft ² (0.05 m ²)
Length:	21.8" (55.4 cm) (SPA mount)
Width:	13.3" (33.8 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm
Weight: (SPA mount):	22.0 lbs (10.0 kg)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

ds Design Select options indicated by this color background.

Ordering Information

EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

RSX1 LED					
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K 3000K	R2 Type 2 Wide	MVOLT (120V-277V) ²	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°)
	P2	40K 4000K	R3 Type 3 Wide	HVOLT (347V-480V) ³	RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°)
	P3	50K 5000K	R3S Type 3 Short	XVOLT (277V-480V) ⁴	MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon)
	P4	R4 Type 4 Wide	(use specific voltage for options as noted)		IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁶
		R4S Type 4 Short			120 ³ 277 ⁵
		R5 Type 5 Wide ¹			208 ³ 347 ⁵
		R5S Type 5 Short ¹			240 ³ 480 ⁵
		AFR Automotive Front Row			WBA Wall bracket ¹
		AFRR90 Automotive Front Row Right Rotated			WBASC Wall bracket with surface conduit box
		AFRL90 Automotive Front Row Left Rotated			AASP Adjustable tilt arm square pole mounting ⁶
	AARP Adjustable tilt arm round pole mounting ⁶				
	AAWB Adjustable tilt arm with wall bracket ⁶				
	AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁶				

Options	Finish
Shipped Installed HS House-side shield ⁷ PE Photocontrol, button style ^{8,9} PER7 Seven-wire twist-lock receptacle only (no controls) ^{9,10,11} SF Single fuse (120, 277, 347) ⁵ DF Double fuse (208, 240, 480) ⁵ SPD20KV 20KV Surge pack (10KV standard) FAO Field adjustable output ⁹ DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ⁹	Shipped Installed *Standalone and Networked Sensors/Controls (factory default settings, see table page 9) NLTAIR2 PIRHN nLight AIR generation 2, with Networked, Bi-Level motion/ambient sensor ^{9,12,13,14} BAA Buy America(n) Act and/or Build America Buy America Qualified CCE Coastal Construction ¹⁵ *Note: NLTAIR2 PIRHN with nLight Air can be used as a standalone or networked solution. Sensor coverage pattern is affected when luminaire is tilted. Shipped Separately (requires some field assembly) EGS External glare shield ⁷ EGFV External glare full visor (360° around light aperture) ⁷ BS Bird spikes ¹⁶
	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured Dark Bronze DBLBXD Textured Black DNATXD Textured Natural Aluminum DWHGXD Textured White



Ordering Information

Accessories

Ordered and shipped separately.

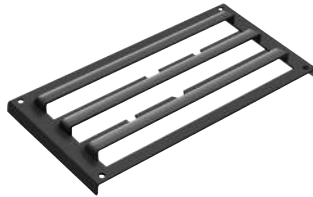
RSX1HS	RSX1 House side shield (includes 1 shield)
RSX1HSAFRU	RSX1 House side shield for AFR rotated optics (includes 1 shield)
RSX1EGS (FINISH) U	External glare shield (specify finish)
RSX1EGFV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSXWBA (FINISH) U	RSX WBA wall bracket (specify finish) ¹
RSXSGB (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DLL127F 1.5 JU	Photocell -SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CUL JU	Photocell -SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CUL JU	Photocell -SSL twist-lock (480V) ¹⁷
DSHORT SBK U	Shorting cap ¹⁷

NOTES

- Any Type 5 distribution, is not available with WBA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- XVOLT driver not available with P1 or P2. XVOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XVOLT not available with fusing (SF or DF) and not available with PE.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Maximum tilt is 90° above horizontal.
- It may be ordered as an accessory.
- Requires MVOLT or 347V.
- Two or more of the following options cannot be combined including PE, DMG, PER7, FAO and NLTAIR2 PIRHN. (Exception: PE and FAO can be combined; also PE and DMG can be combined.)
- Compatible with standard twist-lock photocells for dusk to dawn operation or advanced control nodes that provide 0-10V dimming

- signals. Wire 4/Wire 5 wired to dimming leads on driver. Wire6/Wire7 capped inside luminaire. Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- For units with option PER7, the mounting must be restricted to +/- 45° from horizontal aim per ANSI C136.10-2010.
- Must be ordered with PIRHN.
- Requires MVOLT or HVOLT.
- Must be ordered with NLTAIR2. For additional information on PIRHN visit [here](#).
- CCE option not available with WBA, WBASC, AASP, AARP, AAWB, AAWBSC, EGS, EGFV and BS.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

External Shields



House Side Shield



External Glare Shield

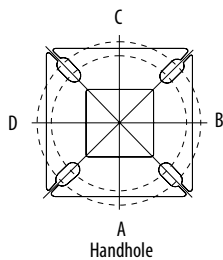


External 360 Full Visor

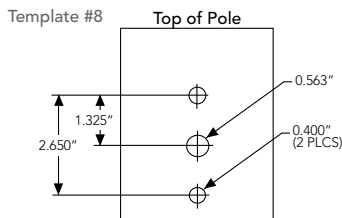
Pole/Mounting Information

Accessories including bullhorns, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

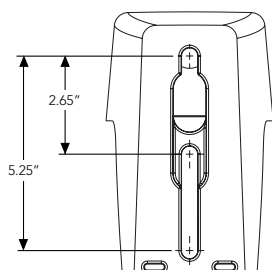
HANDHOLE ORIENTATION



RSX POLE DRILLING



RSX STANDARD ARM & ADJUSTABLE ARM



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 @ 180°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
2 - 3/8"	RPA, AARP	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 320	AS3-5 390	AS3-5 490
2 - 7/8"	RPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Drill/Side Location by Configuration Type

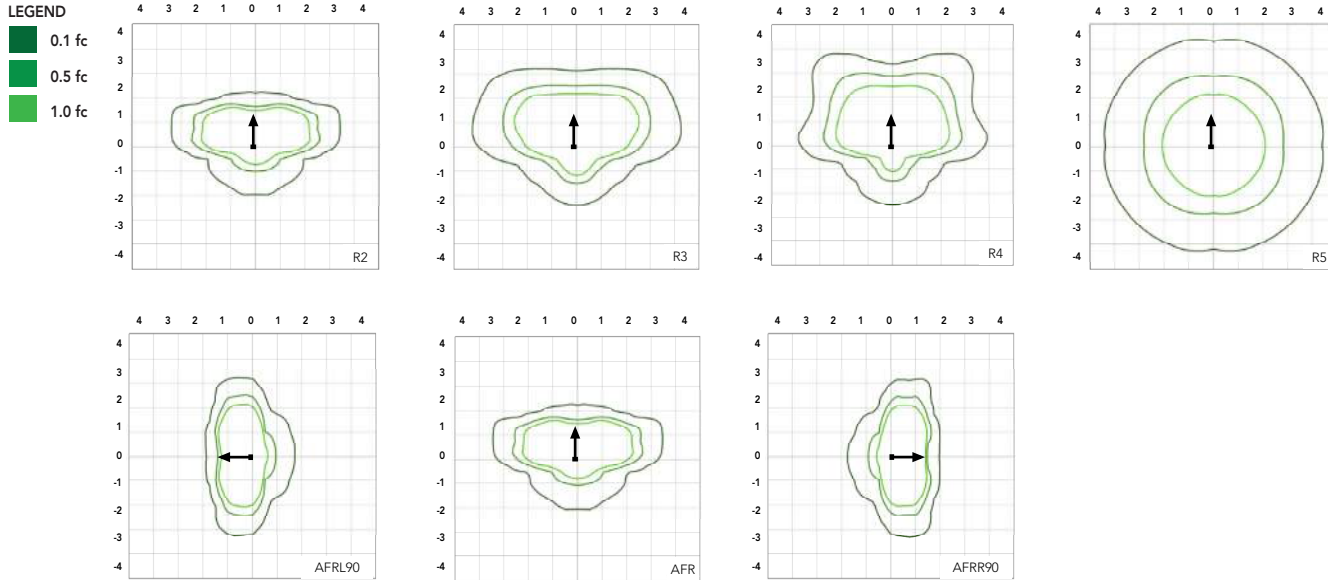
Drilling Template	Mounting Option	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
#8	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

RSX1 - Luminaire EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side	
SPA - Square Pole Adaptor	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26	
RPA - Round Pole Adaptor	0.62	1.08	1.15	1.62	1.46	2.13	1.36	1.8	2.36	
MA - Mast Arm Adaptor	0.49	0.95	0.89	1.36	1.2	1.87	1.23	1.54	2.1	
IS - Integral Slipfitter AASP/AARP - Adjustable Arm Square/Round Pole	0°	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
	10°	0.68	1.34	1.33	2	1.74	2.64	1.35	2.03	2.71
	20°	0.87	1.71	1.73	2.56	2.26	3.42	1.75	2.62	3.49
	30°	1.24	2.19	2.3	3.21	2.87	4.36	2.49	3.73	4.97
	40°	1.81	2.68	2.98	3.85	3.68	5.30	3.62	5.43	7.24
	45°	2.11	2.92	3.44	4.2	4.08	5.77	4.22	6.33	8.44
	50°	2.31	3.17	3.72	4.52	4.44	6.26	4.62	6.94	9.25
	60°	2.71	3.66	4.38	5.21	5.15	7.24	5.43	8.14	10.86
	70°	2.78	3.98	4.54	5.67	5.47	7.91	5.52	8.27	11.03
	80°	2.76	4.18	4.62	5.97	5.76	8.31	5.51	8.27	11.03
90°	2.73	4.25	4.64	6.11	5.91	8.47	5.45	8.18	10.97	

Isofootcandle plots for the RSX1 LED P4 40K. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	51W	0.42	0.25	0.21	0.19	0.14	0.11
P2	72W	0.60	0.35	0.30	0.26	0.21	0.15
P3	109W	0.91	0.52	0.45	0.39	0.31	0.23
P4	133W	1.11	0.64	0.55	0.48	0.38	0.27

Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

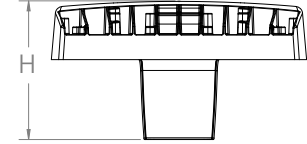
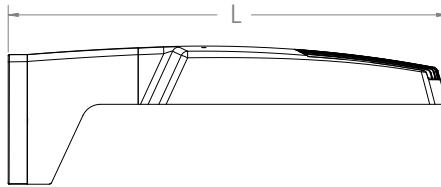
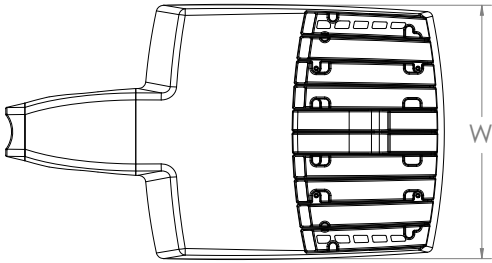
Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	51W	R2	6,482	1	0	1	126	7,121	1	0	1	139	7,121	1	0	1	139
		R3	6,459	1	0	2	127	7,096	1	0	2	139	7,096	1	0	2	139
		R35	6,631	1	0	1	129	7,286	1	0	2	142	7,286	1	0	2	142
		R4	6,543	1	0	2	128	7,189	1	0	2	141	7,189	1	0	2	141
		R45	6,313	1	0	1	124	6,936	1	0	1	136	6,936	1	0	1	136
		R5	6,631	3	0	2	130	7,286	3	0	2	143	7,286	3	0	2	143
		R55	6,807	3	0	1	133	7,479	3	0	1	147	7,479	3	0	1	147
		AFR	6,473	1	0	1	127	7,112	1	0	1	139	7,112	1	0	1	139
		AFRR90	6,535	2	0	2	127	7,179	2	0	2	140	7,179	2	0	2	140
AFRL90	6,562	2	0	1	128	7,210	2	0	2	140	7,210	2	0	2	140		
P2	72W	R2	8,991	2	0	1	123	9,878	2	0	1	135	9,878	2	0	1	135
		R3	8,959	2	0	2	124	9,843	2	0	2	137	9,843	2	0	2	137
		R35	9,198	2	0	2	126	10,106	2	0	2	139	10,106	2	0	2	139
		R4	9,077	2	0	2	126	9,972	2	0	2	139	9,972	2	0	2	139
		R45	8,757	1	0	2	122	9,622	2	0	2	134	9,622	2	0	2	134
		R5	9,198	4	0	2	128	10,106	4	0	2	140	10,106	4	0	2	140
		R55	9,443	3	0	1	131	10,374	3	0	1	144	10,374	3	0	1	144
		AFR	8,979	2	0	1	125	9,865	2	0	1	137	9,865	2	0	1	137
		AFRR90	9,064	3	0	2	124	9,959	3	0	2	137	9,959	3	0	2	137
AFRL90	9,102	3	0	2	125	10,001	3	0	2	137	10,001	3	0	2	137		
P3	109W	R2	12,808	2	0	1	117	14,072	2	0	2	129	14,072	2	0	2	129
		R3	12,763	2	0	2	117	14,023	2	0	2	129	14,023	2	0	2	129
		R35	13,104	2	0	2	120	14,397	2	0	2	132	14,397	2	0	2	132
		R4	12,930	2	0	2	119	14,206	2	0	2	130	14,206	2	0	2	130
		R45	12,475	2	0	2	114	13,707	2	0	2	126	13,707	2	0	2	126
		R5	13,104	4	0	2	120	14,397	4	0	2	132	14,397	4	0	2	132
		R55	13,452	3	0	2	123	14,779	3	0	2	136	14,779	3	0	2	136
		AFR	12,791	2	0	1	117	14,053	2	0	2	129	14,053	2	0	2	129
		AFRR90	12,913	3	0	3	118	14,187	3	0	3	130	14,187	3	0	3	130
AFRL90	12,967	3	0	2	118	14,247	3	0	3	130	14,247	3	0	3	130		
P4	133W	R2	14,943	2	0	2	112	16,417	2	0	2	123	16,417	2	0	2	123
		R3	14,890	2	0	3	112	16,360	2	0	3	123	16,360	2	0	3	123
		R35	15,287	2	0	2	115	16,796	2	0	2	126	16,796	2	0	2	126
		R4	15,085	2	0	3	113	16,574	2	0	3	125	16,574	2	0	3	125
		R45	14,554	2	0	2	109	15,991	2	0	2	120	15,991	2	0	2	120
		R5	15,287	4	0	2	115	16,796	4	0	2	126	16,796	4	0	2	126
		R55	15,693	4	0	2	118	17,242	4	0	2	130	17,242	4	0	2	130
		AFR	14,923	2	0	2	112	16,395	2	0	2	123	16,395	2	0	2	123
		AFRR90	15,065	3	0	3	113	16,551	3	0	3	124	16,551	3	0	3	124
AFRL90	15,128	3	0	3	114	16,621	3	0	3	125	16,621	3	0	3	125		

Dimensions & Weights

Luminaire Weight by Mounting Type

Mounting Configuration	Total Luminaire Weight
SPA	22 lbs
RPA	24 lbs
MA	22 lbs
WBA	25 lbs
WBASC	28 lbs
IS	25 lbs
AASP	25 lbs
AARP	27 lbs
AAWB	28 lbs
AAWSC	31 lbs

RSX1 with Round Pole Adapter (RPA)

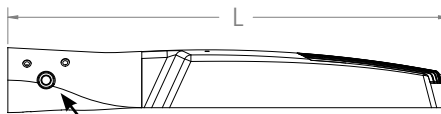
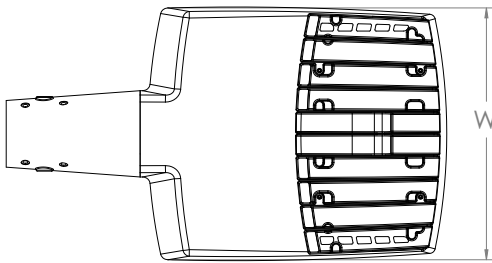


Note: RPA — Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



Length: 22.8" (57.9 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.4 cm) Arm

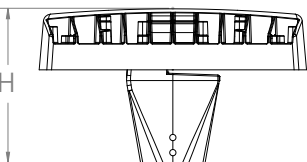
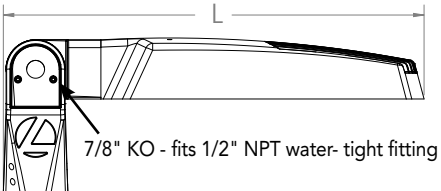
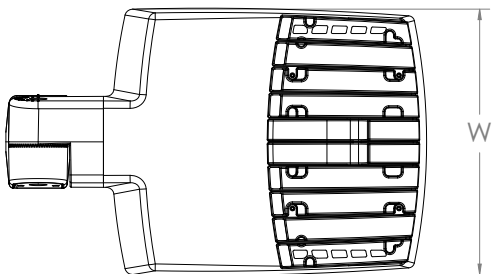
RSX1 with Mast Arm Adapter (MA)



7/16" locking thru bolt/nut provided

Length: 23.2" (59.1 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 3.5" (8.9 cm) Arm

RSX1 with Adjustable Slipfitter (IS)



7/8" KO - fits 1/2" NPT water-tight fitting

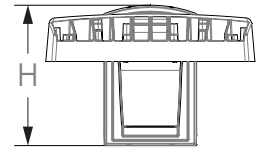
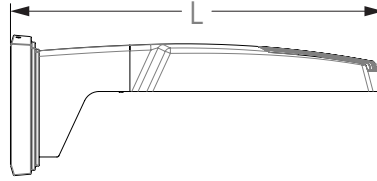
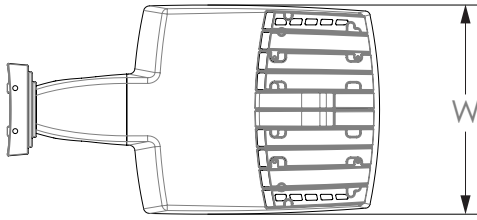
Length: 20.7" (52.7 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.6" (19.3 cm) Arm



COMMERCIAL OUTDOOR

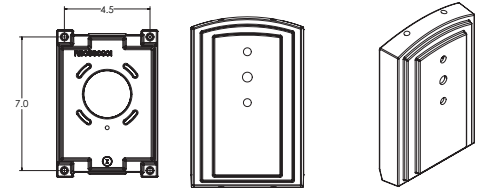
Dimensions

RSX1 with Wall Bracket (WBA)

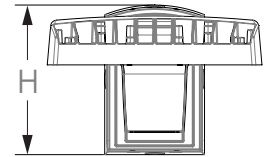
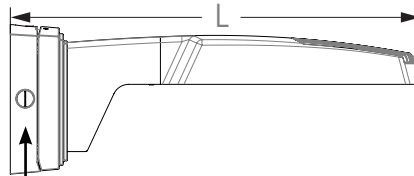
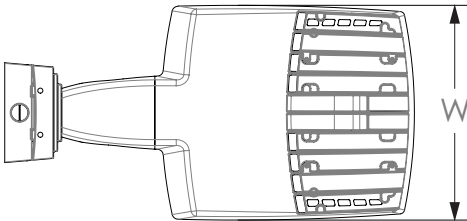


Length: 23.6" (59.9 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail



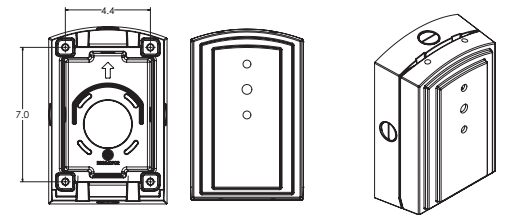
RSX1 with Wall Bracket with Surface Conduit Box (WBASC)



3/4" NPT taps with plugs - Qty (4) provided

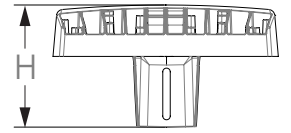
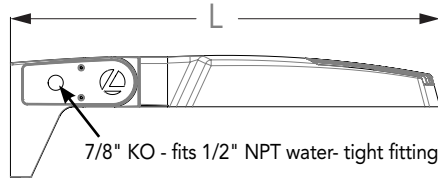
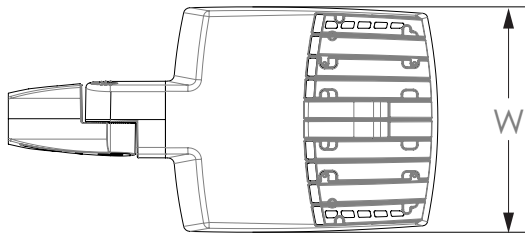
Length: 25.3" (64.3 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

Surface Conduit Box (SCB) Mounting Detail

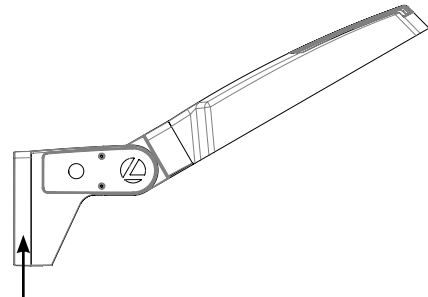


Dimensions

RSX1 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)



Length: 25.3" (65.3 cm) **AASP**
 26.3" (66.8 cm) **AARP**
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.2 cm) Arm



NOTE:
 RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.

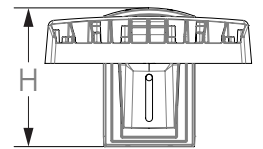
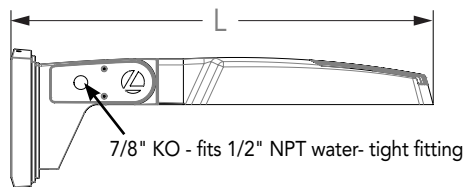
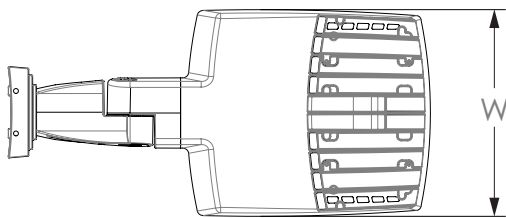


Notes

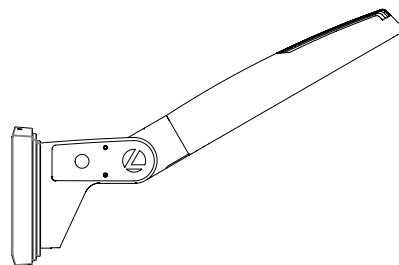
AASP: Requires 3.0" min. square pole for 1 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°.

AARP: Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

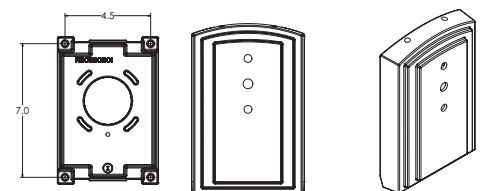
RSX1 with Adjustable Tilt Arm with Wall Bracket (AAWB)



Length: 27.1" (68.8 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

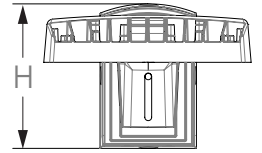
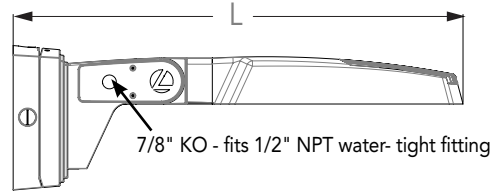
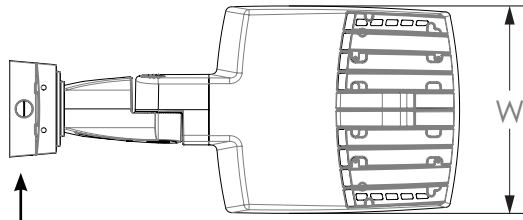


Wall Bracket (WBA) Mounting Detail



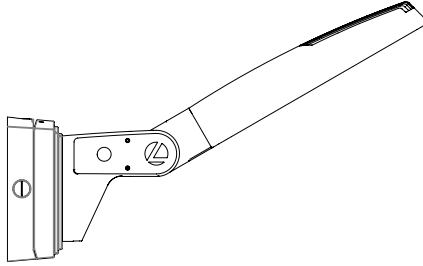
Dimensions

RSX1 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)

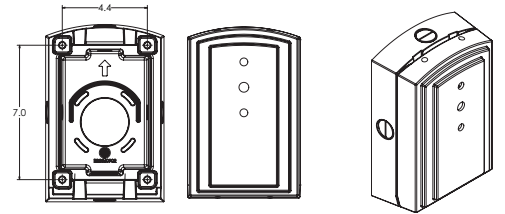


3/4" NPT taps
with plugs - Qty (4)
provided

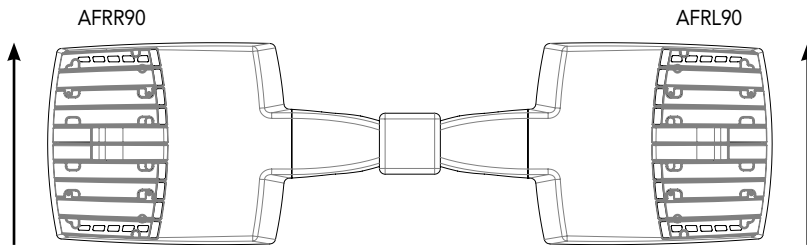
Length: 28.8" (73.2 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
9.2" (23.4 cm) Arm



Surface Conduit Box (SCB) Mounting Detail



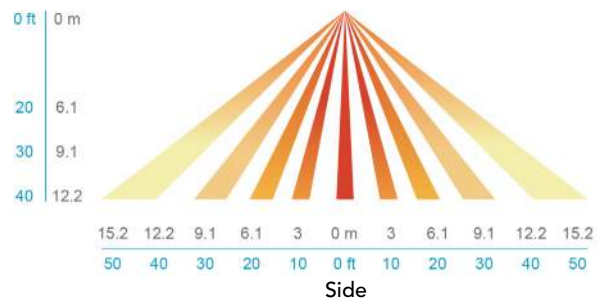
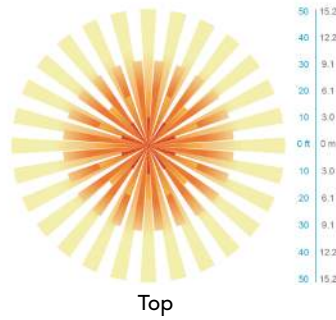
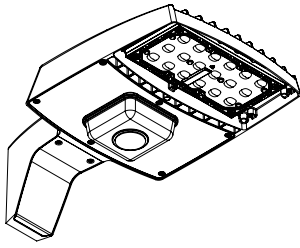
Automotive Front Row - Rotated Optics (AFRR90/R90)



(Example: 2@180 - arrows indicate direction of light exiting the luminaire)

nLight Sensor Coverage Pattern

NLTAIR2 PIRHN



Motion Sensor Default Settings - Option PIRHN						
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
NLTAIR2 PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

*Note: NLTAIR2 PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clarity Pro App. Sensor coverage pattern shown with luminaire at 0°. Sensor coverage pattern is affected when luminaire is tilted.

FEATURES & SPECIFICATIONS

INTENDED USE

The RSX LED area luminaire is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX1 delivers 7,000 to 17,000 lumens and is ideal for replacing 70W to 400W HID pole-mounted luminaires in parking lots and other area lighting applications.

CONSTRUCTION

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. All mountings are rated for minimum 1.5 G vibration load per ANSI C136.31. 3G Mountings: Include SPA, RPA, MA, IS, AASP, and AARP rated for 3G vibration. 1.5G Mountings: Include WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warrantied not to crack or peel.

COASTAL CONSTRUCTION (CCE)

Optional corrosion-resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead times apply.

OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row), and AFR rotated AFR90 and ARFL90.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Fixtures ship standard with 0-10v dimming driver. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLAIRITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note, the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2 3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box and offers easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. U.S. Patent No. D882, 146S

GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations. BABA – Build America Buy America: Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.