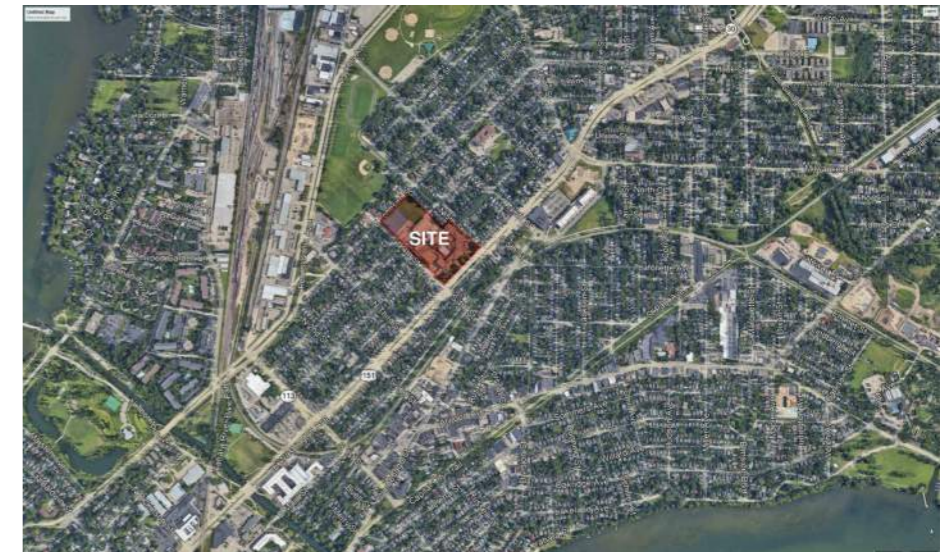


SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
T-00	COVER	A-00	EXISTING SITE IMAGES
T-01	SITE LOCATION	A-01	ARCHITECTURAL DESIGN CONTEXT
V-01	TOPOGRAPHICAL AND UTILITY SURVEY	A-02	BASEMENT FLOOR PLAN
V-02	TOPOGRAPHICAL AND UTILITY SURVEY	A-03	GROUND FLOOR PLAN
V-03	TOPOGRAPHICAL AND UTILITY SURVEY	A-04	1ST FLOOR PLAN
C-10	SITE PLAN - OVERALL	A-05	2ND FLOOR PLAN
C-11	SITE PLAN - BUILDING ADDITIONS	A-06	3RD FLOOR PLAN
C-20	GRADING & EROSION CONTROL PLAN	A-07	ROOF PLAN
C-01	DETAIL, GRADING & EROSION CONTROL PLAN	A-10	BUILDING ELEVATIONS
C-30	UTILITY PLAN	A-11	BUILDING ELEVATIONS
C-21	UTILITY PLAN - BUILDING ADDITION DETAIL	A-12	PERSPECTIVES
F-10	PRE-APPROVAL ACCESS EXHIBIT	A-13	PERSPECTIVES
L-10	LANDSCAPE PLAN - EXISTING CONDITIONS	A-14	MATERIALS AND LIGHTING
L-11	LANDSCAPE PLAN	E-01	ELECTRICAL SITE PLAN
L-12	LANDSCAPE PLAN ENLARGEMENTS		

# MMSD - EAST HS ADDITION AND RENOVATION

2222 E. WASHINGTON AVE  
MADISON, WI 53704



Map data ©2021 Google



## UDC & PLAN COMMISSION

JUNE 1, 2021

PROJECT NUMBER: 320534-01



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PROJECT INFORMATION

MMSD - EAST HS  
ADDITION AND  
RENOVATION

2222 E.  
WASHINGTON AVE  
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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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KEY PLAN

SHEET INFORMATION

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PROJECT MANAGER JACKIE MICHAELS

PROJECT NUMBER 320534-01

SITE LOCATION

**T-01**



Untitled Map  
Write a description for your map.

Legend

Google Earth

Map data ©2021 Google

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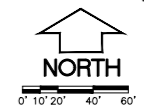
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PROJECT INFORMATION  
**MMSD - EAST HIGH SCHOOL**

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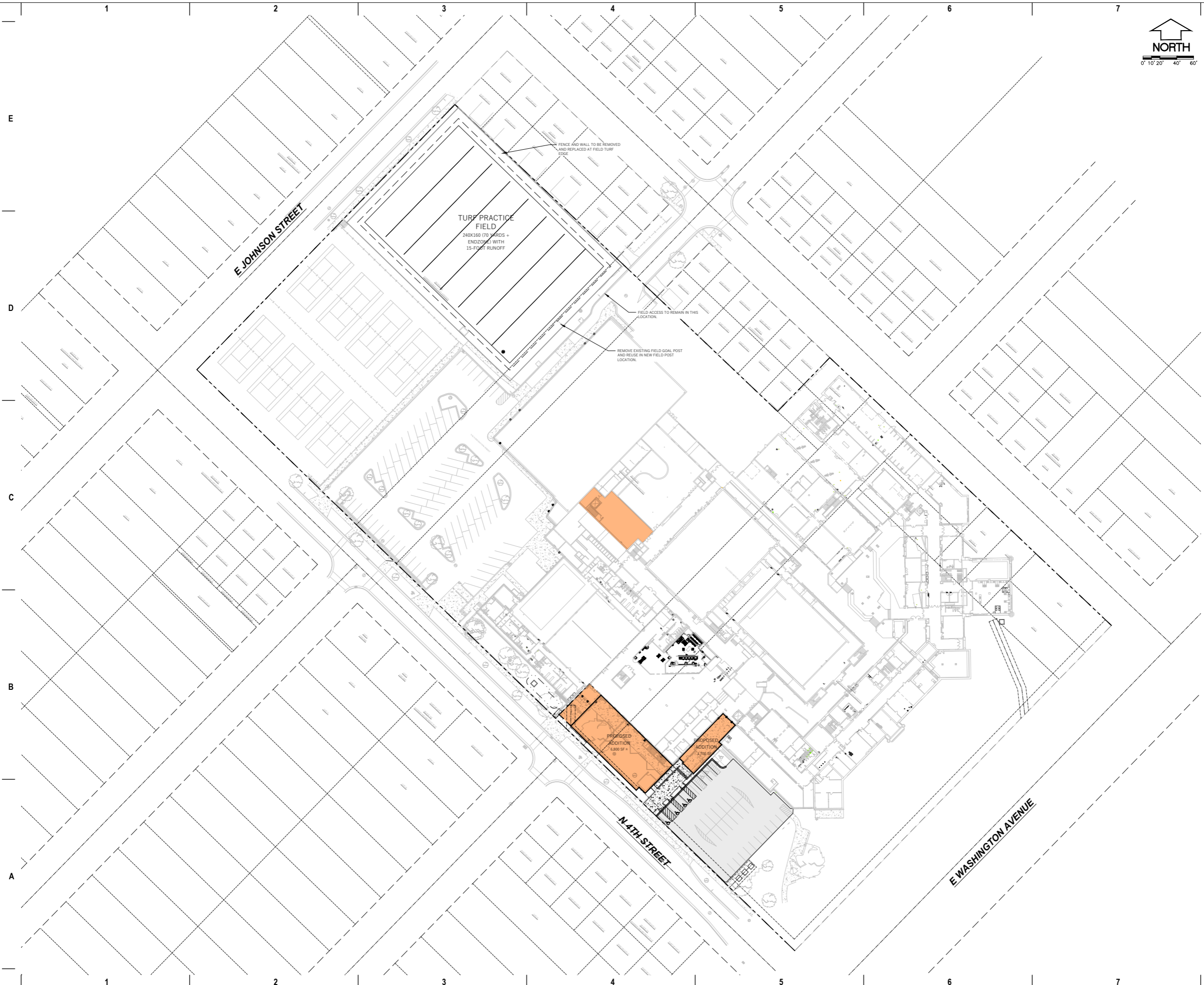
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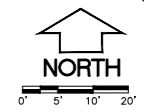
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PROJECT NUMBER 320534-01

SITE PLAN -  
OVERALL

**C-10**

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PROJECT INFORMATION

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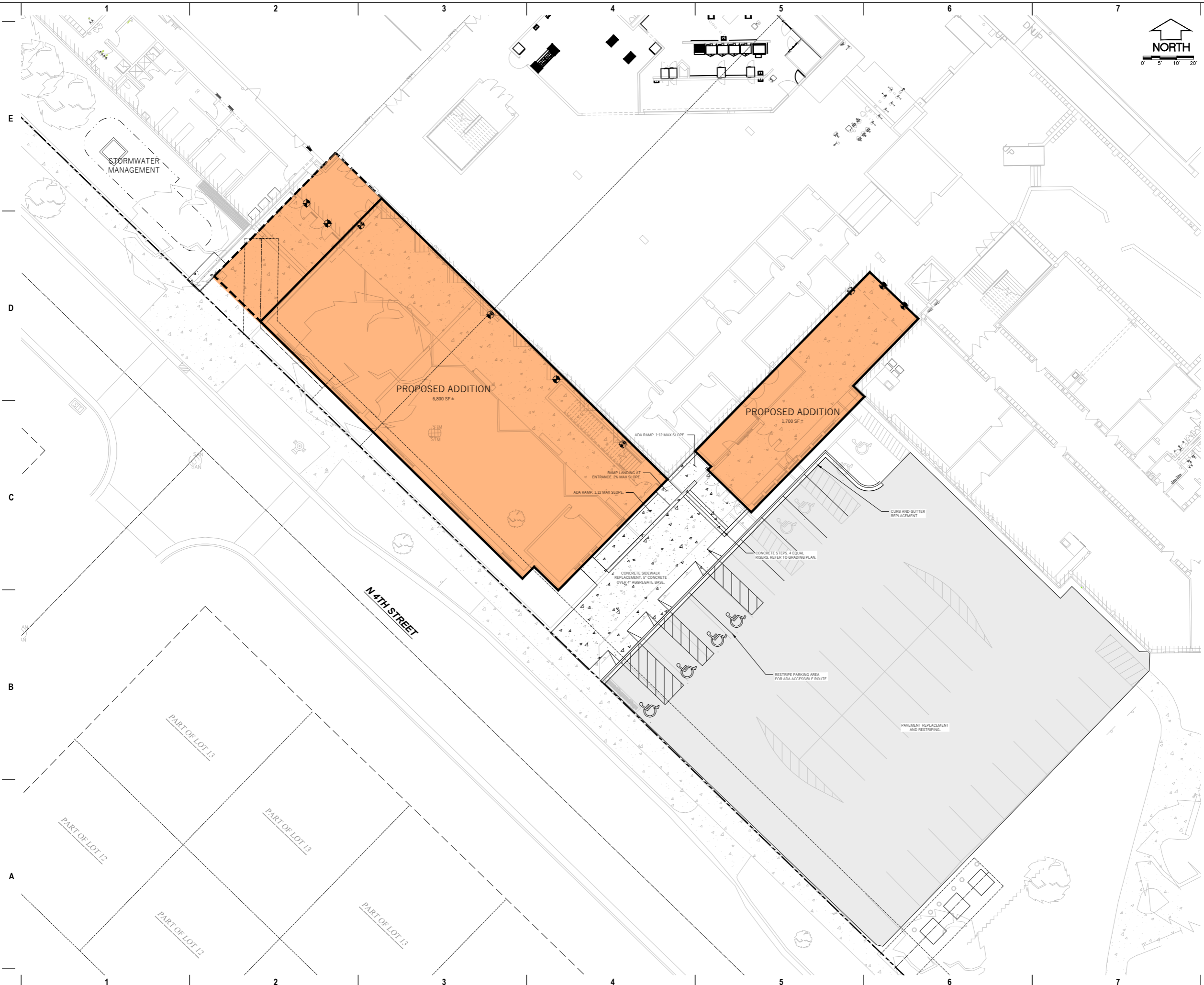
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**SITE PLAN -  
BUILDING ADDITIONS**

**C-11**

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STORMWATER  
MANAGEMENT

PROPOSED ADDITION  
6,800 SF ±

PROPOSED ADDITION  
1,700 SF ±

N 4TH STREET

PART OF LOT 12

PART OF LOT 13

PART OF LOT 12

PART OF LOT 13

ADA RAMP: 1:12 MAX SLOPE

RAMP LANDING AT  
ENTRANCE: 2% MAX SLOPE

ADA RAMP: 1:12 MAX SLOPE

CONCRETE SIDEWALK  
REPLACEMENT: 2" CONCRETE  
OVER 4" AGGREGATE BASE

CONCRETE STEPS, 4 EQUAL  
RISE/RS. REFER TO GRADING PLAN.

CURB AND GUTTER  
REPLACEMENT

RESTRIPE PARKING AREA  
FOR ADA ACCESSIBLE ROUTE.

PAVEMENT REPLACEMENT  
AND RESTRIPE.



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PROJECT INFORMATION

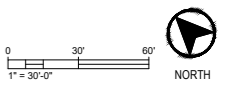
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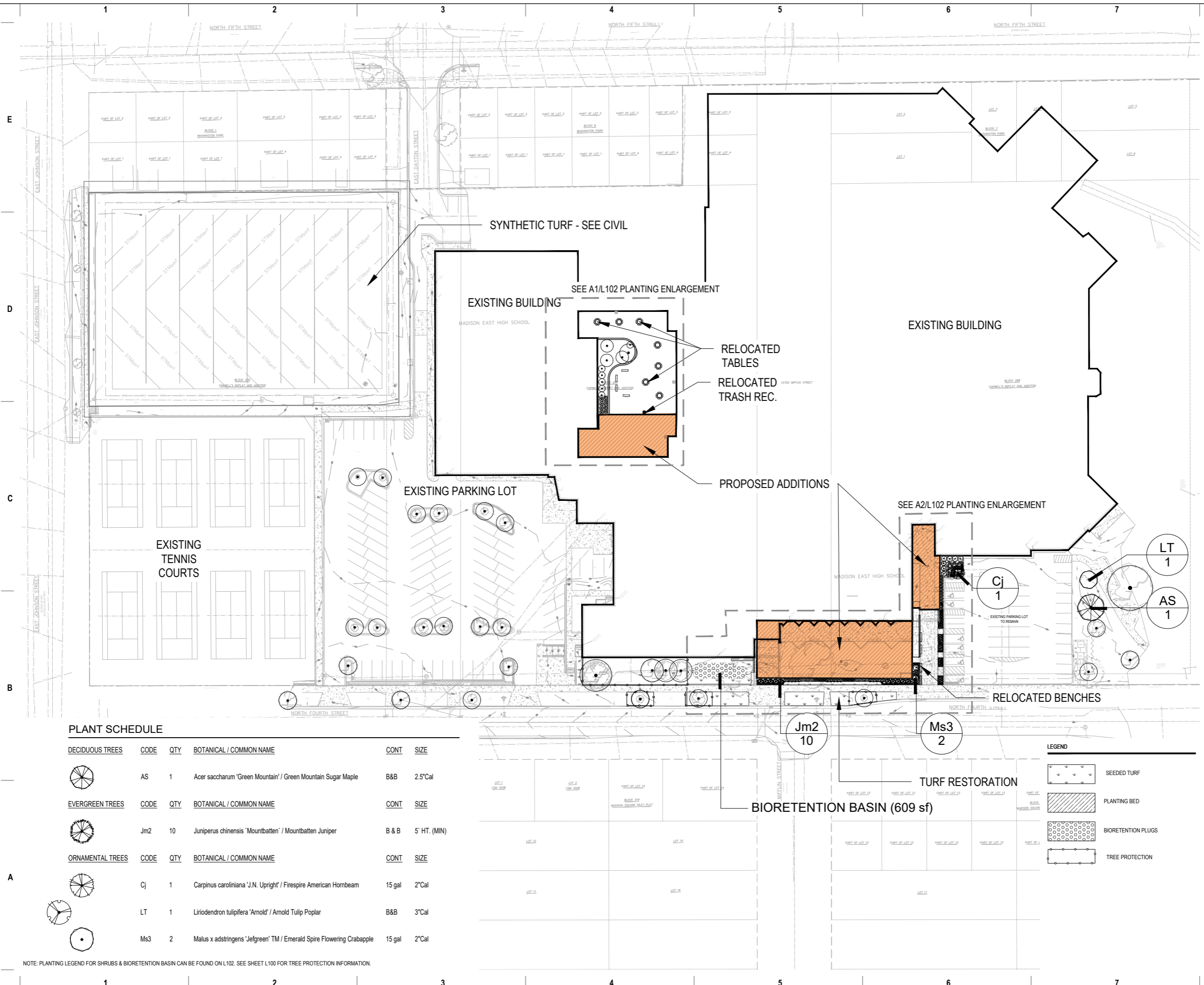
PROJECT MANAGER JM

PROJECT NUMBER 320534-01

LANDSCAPE PLAN

**L11**

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**PLANT SCHEDULE**

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	AS	1	Acer saccharum 'Green Mountain' / Green Mountain Sugar Maple	B&B	2.5"Cal
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	Jm2	10	Juniperus chinensis 'Mountbatten' / Mountbatten Juniper	B & B	5' HT. (MIN)
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	Cj	1	Carpinus caroliniana 'J.N. Upright' / Firespire American Hornbeam	15 gal	2"Cal
	LT	1	Liriodendron tulipifera 'Arnold' / Arnold Tulip Poplar	B&B	3"Cal
	Ms3	2	Malus x adstringens 'Jefgreen' TM / Emerald Spire Flowering Crabapple	15 gal	2"Cal

LEGEND

	SEEDED TURF
	PLANTING BED
	BIORETENTION PLUGS
	TREE PROTECTION

NOTE: PLANTING LEGEND FOR SHRUBS & BIORETENTION BASIN CAN BE FOUND ON L102. SEE SHEET L100 FOR TREE PROTECTION INFORMATION.

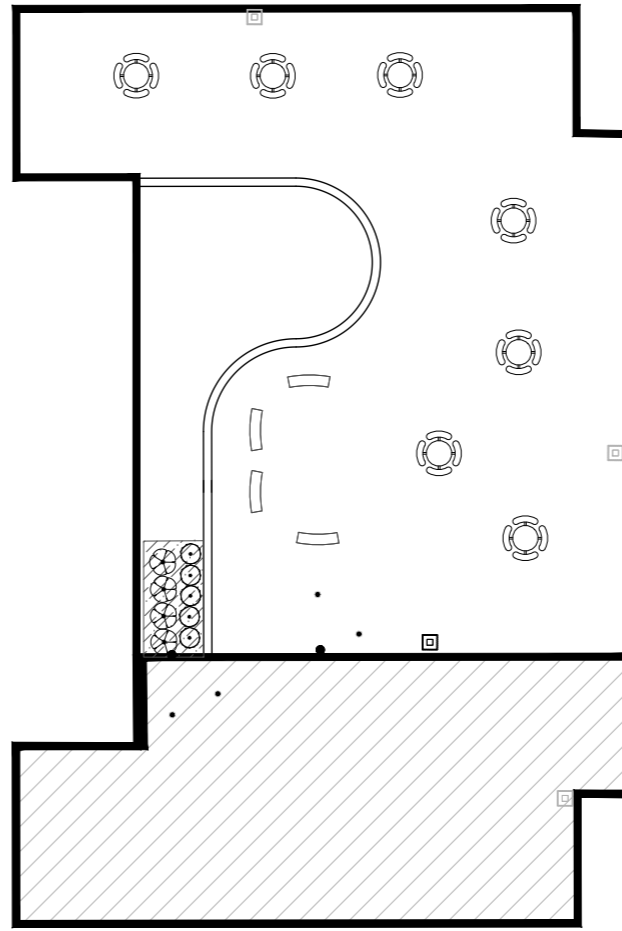
PLANT SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT
	Ha2	10	Hypericum kalmianum 'Ames' / Ames St. Johnswort	3 gal
<b>EVERGREEN SHRUBS</b>				
	Jk	3	Juniperus x pfitzeriana 'Kallay's Compact' / Juniper	3 gal
	Tm	4	Taxus x media 'Densiformis' / Dense Yew	5 gal
<b>ORNAMENTAL GRASSES</b>				
	sht	16	Sporobolus heterolepis 'Tara' / Prairie Dropseed	1 gal
<b>DECIDUOUS SHRUBS</b>				
	Hb	4	Hydrangea paniculata 'ILVOBO' TM / Bobo Panicked Hydrangea	3 gal
	Pd	15	Physocarpus opulifolius 'Donna May' TM / Little Devil Ninebark	3 gal
	St	8	Spiraea betulifolia 'Tor' / Tor Birchleaf Spirea	3 gal
<b>HERBACEOUS PERENNIALS</b>				
	am	51	Allium x 'Millenium' / Millenium Ornamental Onion	1 gal
	abi	26	Amsonia x 'Blue Ice' / Blue Ice Bluestar	1 gal
	expm	13	Echinacea x 'Pixie Meadowbrite' / Pixie Meadowbrite Purple Coneflower	1 gal
	gbk	49	Geranium x cantabrigiense 'Biokovo Karmina' / Biokovo Karmina Hybrid Cranesbill	1 gal
	Hm2	63	Hemerocallis x 'Grape Magic' / Grape Magic Daylily	1 gal
	Hh	48	Hemerocallis x 'Happy Returns' / Happy Returns Daylily	1 gal
	Nw	9	Nepeta x 'Walker's Low' / Walker's Low Catmint	1 gal
	rf	31	Rudbeckia fulgida 'Goldsturm' / Goldsturm Coneflower	1 gal
	snc	9	Salvia nemorosa 'Caradonna' / Caradonna Perennial Salvia	1 gal
<b>GROUND COVERS</b>				
	609 sf		BIORETENTION BASIN	
	acn	64	Allium cernuum / Nodding Onion	3" plug 10% @ 12" o.c.
	dpp	64	Dalea purpurea / Purple Prairie Clover	3" plug 10% @ 12" o.c.
	ivb	64	Iris versicolor / Blue Flag	3" plug 10% @ 12" o.c.
	lsg	64	Lobelia siphilitica / Great Lobelia	3" plug 10% @ 12" o.c.
	mfb	64	Monarda fistulosa / Bergamot	3" plug 10% @ 12" o.c.
	pvg	64	Panicum virgatum / Switch Grass	3" plug 10% @ 12" o.c.
	rss	64	Rudbeckia subtomentosa / Sweet Black-eyed Susan	3" plug 10% @ 12" o.c.
	sng	64	Sorghastrum nutans / Indian Grass	3" plug 10% @ 12" o.c.
	shp	64	Sporobolus heterolepis / Prairie Dropseed	3" plug 10% @ 12" o.c.
	sna	64	Symphotrichum novae-angliae / New England Aster	3" plug 10% @ 12" o.c.

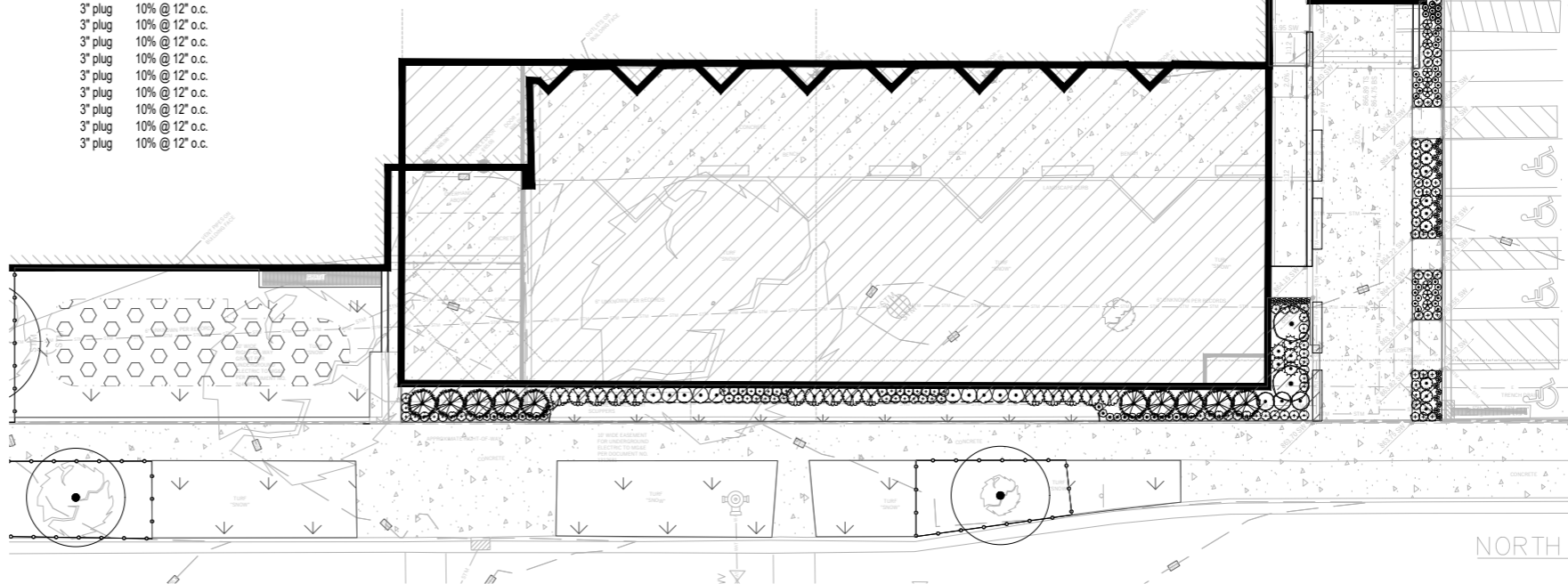
NOTE: PLANTING LEGEND FOR TREES CAN BE FOUND ON L101. SEE SHEET L100 FOR TREE PROTECTION INFORMATION.

LEGEND

	SEEDED TURF
	PLANTING BED
	BIORETENTION PLUGS
	TREE PROTECTION



A1 PLANTING ENLARGEMENT 1  
SCALE: 1" = 10'-0"



A2 PLANTING ENLARGEMENT 2  
SCALE: 1" = 10'-0"



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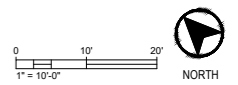
PROJECT INFORMATION  
**MMSD - EAST HIGH SCHOOL**

D 2222 E. WASHINGTON AVE,  
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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/01/2021	INITIAL LDC AND PLAN COMMISSION

KEY PLAN



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PROJECT MANAGER JM  
PROJECT NUMBER 320534-01

LANDSCAPE PLAN ENLARGEMENTS

**L12**

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1. VIEW FROM E. WASHINGTON AVE



2. VIEW OF PROPOSED ENTRY ADDITION



3. VIEW OF ORIGINAL MAIN ENTRY

D



4. VIEW OF ORIGINAL CLASSROOM WING



5. VIEW OF MASS AT E. WASHINGTON AND 5TH STREET



6. ELEVATION VIEW AT E. WASHINGTON AND 5TH STREET

C

B



7. VIEW AT E. WASHINGTON AND 5TH STREET



7. VIEW AT FITNESS ADDITION

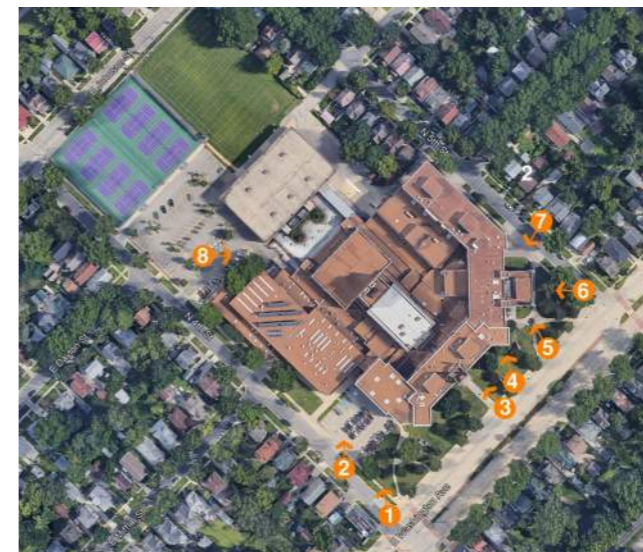


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PROJECT INFORMATION

**MMSD - EAST HS  
ADDITION AND  
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B

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PROJECT MANAGER JACKIE MICHAELS

A PROJECT NUMBER 320534-01

ARCHITECTURAL  
DESIGN CONTEXT  
IMAGES

**A-01**

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PERSPECTIVES

**A-12**

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E



PROPORTION STUDY EXISTING BUILDING APPLIED TO THE ADDITION

D



COLOR ELEVATION

C



VIEW FROM EAST WASHINGTON AVENUE



VIEW OF MAIN ENTRY

B



VIEW OF MAIN ENTRY

A



VIEW OF MAIN ENTRY





D VIEW FROM EAST MIFFLIN STREET

D VIEW FROM N. 4TH STREET LOOKING TO E. WASHINGTON AVE.



AERIAL VIEW



MECHANICAL SCREEN AT FITNESS ENTRY



VIEW OF FITNESS ADDITION AND MECHANICAL SCREEN



VIEW OF FITNESS ADDITION AND MECHANICAL SCREEN



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PROJECT MANAGER JACKIE MICHAELS  
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PERSPECTIVES



VIEW FROM EAST MIFFLIN STREET



GLASS FOR NEW ADDITON SOLARBAN 70XL



LIGHT SCONCES DARK BRONZE COLOR

MATERIALS



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VIEW OF FITNESS ADDITION AND MECHANCAL SCREEN

**FABRAL V-BEAM**  
BRIEF PRODUCT SPECIFICATION

"Fabral® V-Beam gave us the flexibility to use two different gauges on Lady Bird Johnson Middle School. A heavier gauge was applied to the bottom of the wall for durability but without visually interrupting the design."  
Matthew Nickerson, Oregon Associates

**FABRAL CORE**  
The challenge was...  
Your vision for a building and what you want to achieve makes us think harder. It's too easy to say - That won't work. Instead we go with - Let's see what we can do.  
Fabral.com  
800.884.4484

**EXPOSED FASTENER ROOFING & WALL PANEL V-BEAM**  
With superior strength and spanning capability, Fabral® V-Beam is a high-performance panel suited for both roof and wall applications. Its siding, V-Beam can be applied in both vertical and horizontal orientation to optimize design versatility. This exposed fastener panel, available with the unluster color options inherent to all Fabral® products, is primed for use in demanding applications such as schools that are likely to see excessive use and abuse.

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METAL PANEL PROFILE FOR FITNESS ADDITION

**FABRAL FABRIB**  
BRIEF PRODUCT SPECIFICATION

**FABRAL CORE**  
EXPOSED FASTENER ROOFING & SIDING PANEL FABRIB  
Fabral® Fabrib is ideal when the project calls for a low maintenance panel. Available in both aluminum and steel, Fabrib stands up to the elements with excellent fire and hail ratings, ensuring overall protection for your building. Fabral® metal panels are made from recycled content and are 100% recyclable - saving the planet's natural resources.

Note: Overall width varies based on substrate

**MANUFACTURER DESCRIPTION**  
• Fabral®, Atlanta, GA and Tifton, GA  
• Telephone: 800.884.4484  
• Email: info@fabral.com  
• Website: www.fabral.com

**PRODUCT DESCRIPTION**  
Acceptable Products: Fabral® Fabrib  
Class 4 Impact: UL2218  
Class A Fire: UL790

**GRAVITY LOAD TABLE (PSF)**

Substrate	Span	1'-0"	1'-3"	1'-6"	1'-9"	2'-0"
29 ga steel	3	921	589	409	301	230
26 ga steel	3	1211	835	583	428	328
20 1/2" alumin.	3	449	300	209	153	117
30 1/2" alumin.	3	575	368	256	188	144

Note: Allowable loads based on AISI and Aluminum Association Specifications. Allowable loads are based on steel only.

**DESIGN INFORMATION**  
• Roof Slope: Minimum recommended - 2:12:12  
• Aluminum Panel Length: Maximum - 57' Minimum - 4'  
• Steel Panel Length: Maximum - 40' Minimum - 4'

**PRODUCT INSTALLATION**  
Install panels plumb, level and straight so it is watertight and without waves or other distortions, allowing for thermal movement considerations. Apply resistant tape or caulking as necessary at fastener and panel joints to prevent water penetration.

**PRODUCT MAINTENANCE AND WARRANTY**  
Fabral® provides a 20 year aluminum warranty against corrosion for aluminum panels, a 10 year edge rust warranty against acid rain for galvanized steel panels and a 20 year non-perforation warranty for galvalume steel panels.  
To ensure the durability of your Fabral® panels, use proper care: Remove filings, grease, stains, marks or excess sealants from roof panels system to prevent staining. Store panels and flashings in a safe, dry environment.

METAL PANEL PROFILE FOR MECHANICAL SCREEN

SHEET INFORMATION

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PROJECT MANAGE JACKIE MICHAELS  
PROJECT NUMBER 320534-01

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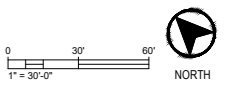
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KEY PLAN



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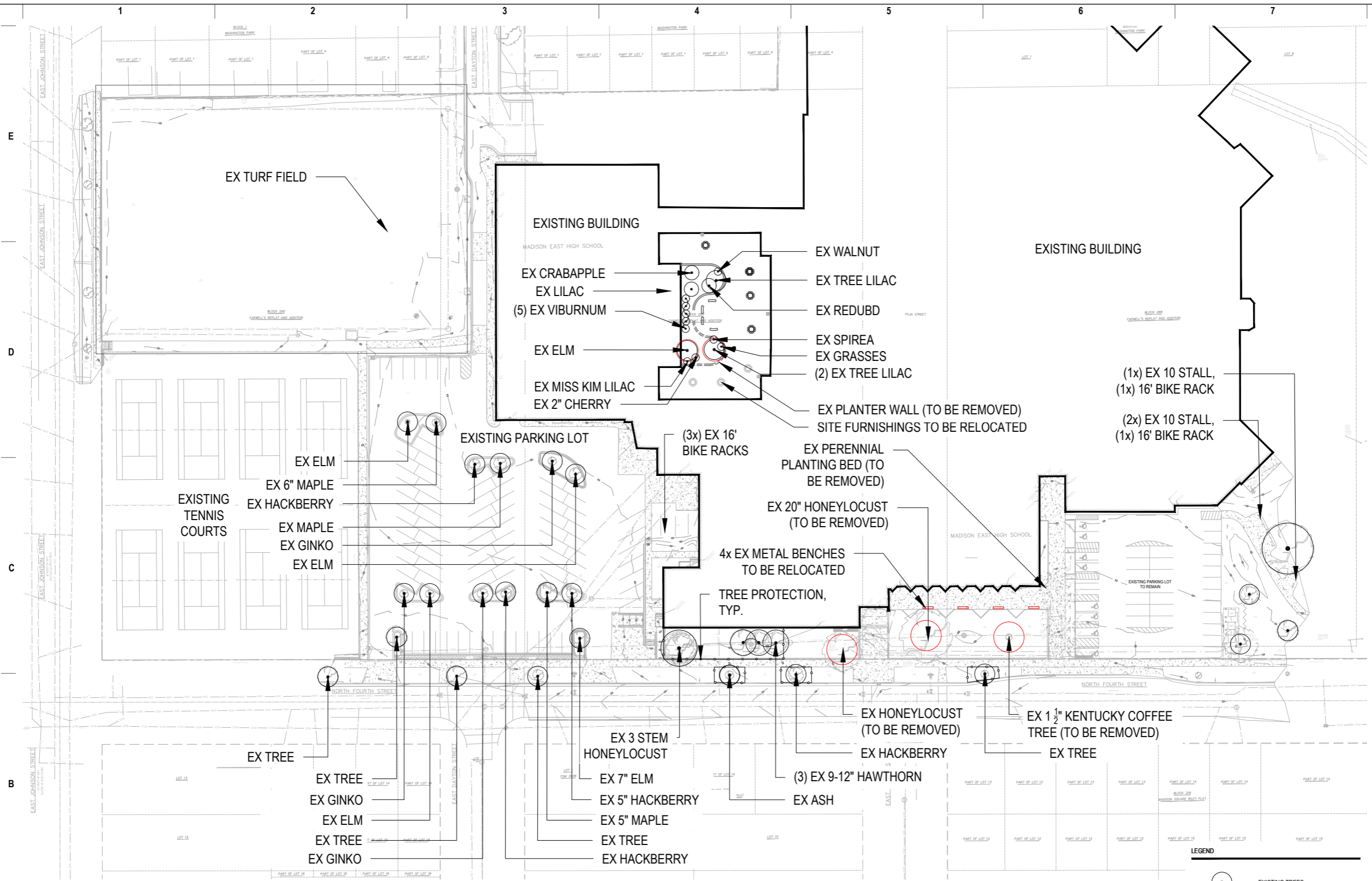
PROJECT MANAGER JM

PROJECT NUMBER 320534-01

**LANDSCAPE PLAN -  
EXISTING CONDITIONS**

**L10**

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**TREE PROTECTION & REMOVAL NOTES**

- All proposed street tree removals within the right of way shall be reviewed by City Forestry before the Plan Commission meeting. Street tree removals require approval and a tree removal permit issued by City Forestry. Any street tree removals requested after the development plan is approved by the Plan Commission or the Board of Public Works and City Forestry will require a minimum of a 72-hour review period which shall include the notification of the Alderperson within who's district is affected by the street tree removal(s) prior to a tree removal permit being issued.
- Contractor shall contact City Forestry at 266-4816 to issue a street tree removal permit for (X) tree(s) (dbh) diameter (variety) tree due to (reason) at (location).
- As defined by the Section 107.13 of City of Madison Standard Specifications for Public Works Construction: No excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 3 inches in diameter. If excavation is necessary, the Contractor shall contact Madison City Forestry (266-4816) prior to excavation. City of Madison Forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website: <https://www.cityofmadison.com/business/pw/specs.cfm>
- Contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. Contractor shall operate equipment in a manner as to not damage the branches of the street tree(s). This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to City Forestry at 266-4816. Penalties and remediation shall be required.
- Section 107.13(g) of City of Madison Standard Specifications for Public Works Construction addresses soil compaction near street trees and shall be followed by Contractor. The storage of parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.

- On this project, street tree protection zone fencing is required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire width of terrace and, extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.
- Street tree pruning shall be coordinated with Madison Forestry at a minimum of two weeks prior to the start of construction for this project. All pruning shall follow the American National Standards Institute (ANSI) A300 - Part 1 Standards for pruning.
- At least one week prior to street tree planting, Contractor shall contact City Forestry at (608) 266-4816 to schedule inspection and approval of nursery tree stock and review planting specifications with the landscaper.
- Forestry Specialist: Brad Hofmann (Districts 3, 7 and 8)
  - Brad Hofmann
  - 608.220.6796 (Cell)
  - 608.267.4908 (Office)
  - bhofmann@cityofmadison.com



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PROJECT INFORMATION

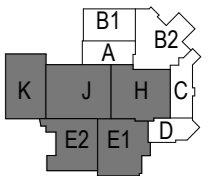
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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/01/2021	INITIAL UDC AND PLAN COMMISSION

KEY PLAN



FLOOR PLAN LEGEND	
	BUILDING ADDITION

SHEET INFORMATION

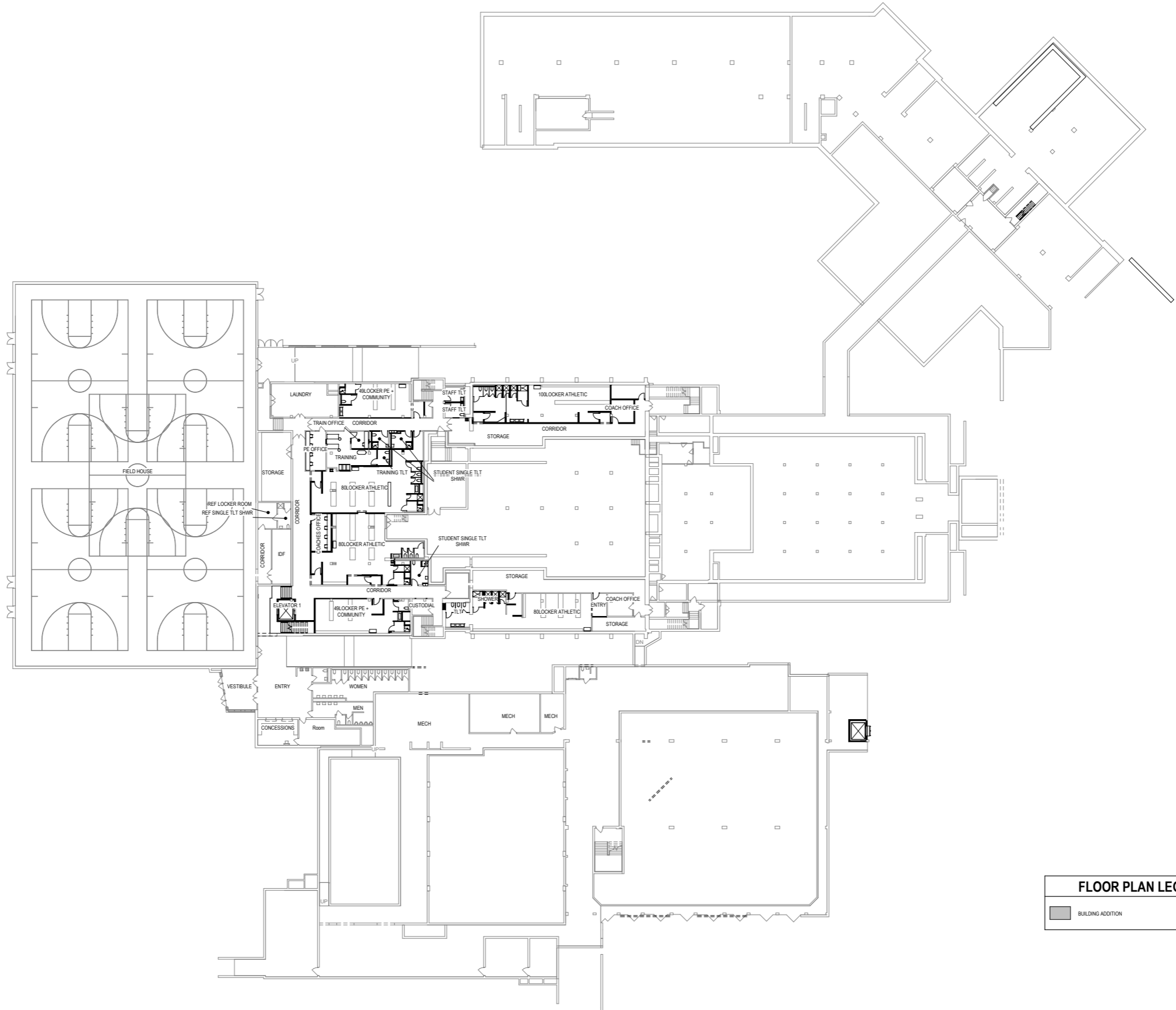
**PROGRESS DOCUMENTS  
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PROJECT MANAGER JACKIE MICHAELS  
PROJECT NUMBER 320534-01

BASEMENT FLOOR  
PLAN

A-02



TRUE  
 PLAN  
**A2** BASEMENT FLOOR OVERALL PLAN  
3/64" = 1'-0"  
  
SCALE: 3/64" = 1'-0"



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PROJECT INFORMATION

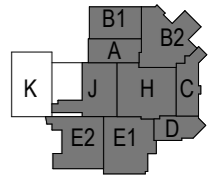
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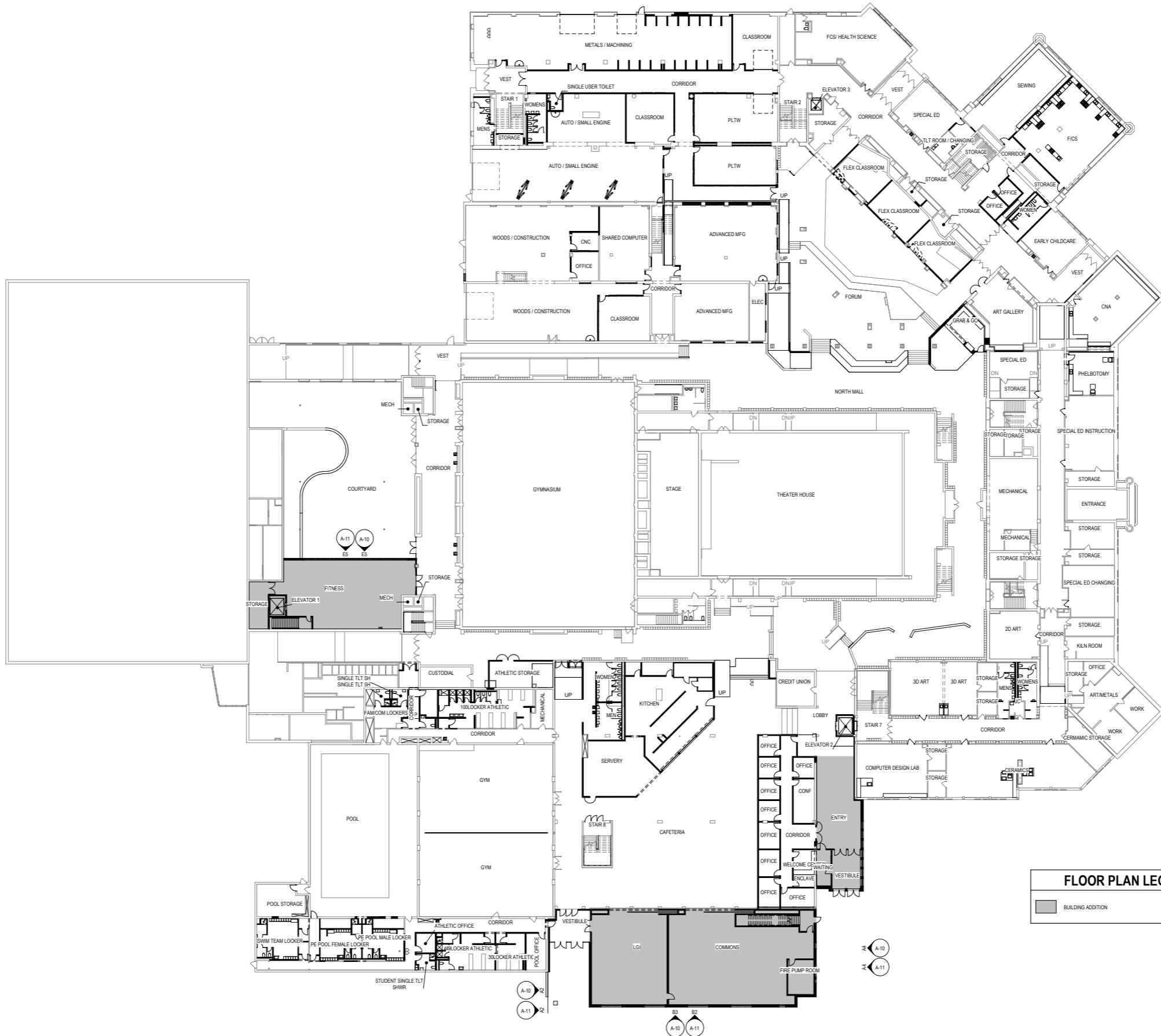
PROJECT MANAGER JACKIE MICHAELS

PROJECT NUMBER 320534-01

GROUND FLOOR  
PLAN

**A-03**

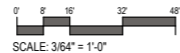
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**FLOOR PLAN LEGEND**

■ BUILDING ADDITION

**A2** GROUND FLOOR OVERALL PLAN  
3/8" = 1'-0"





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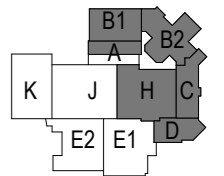
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SHEET INFORMATION

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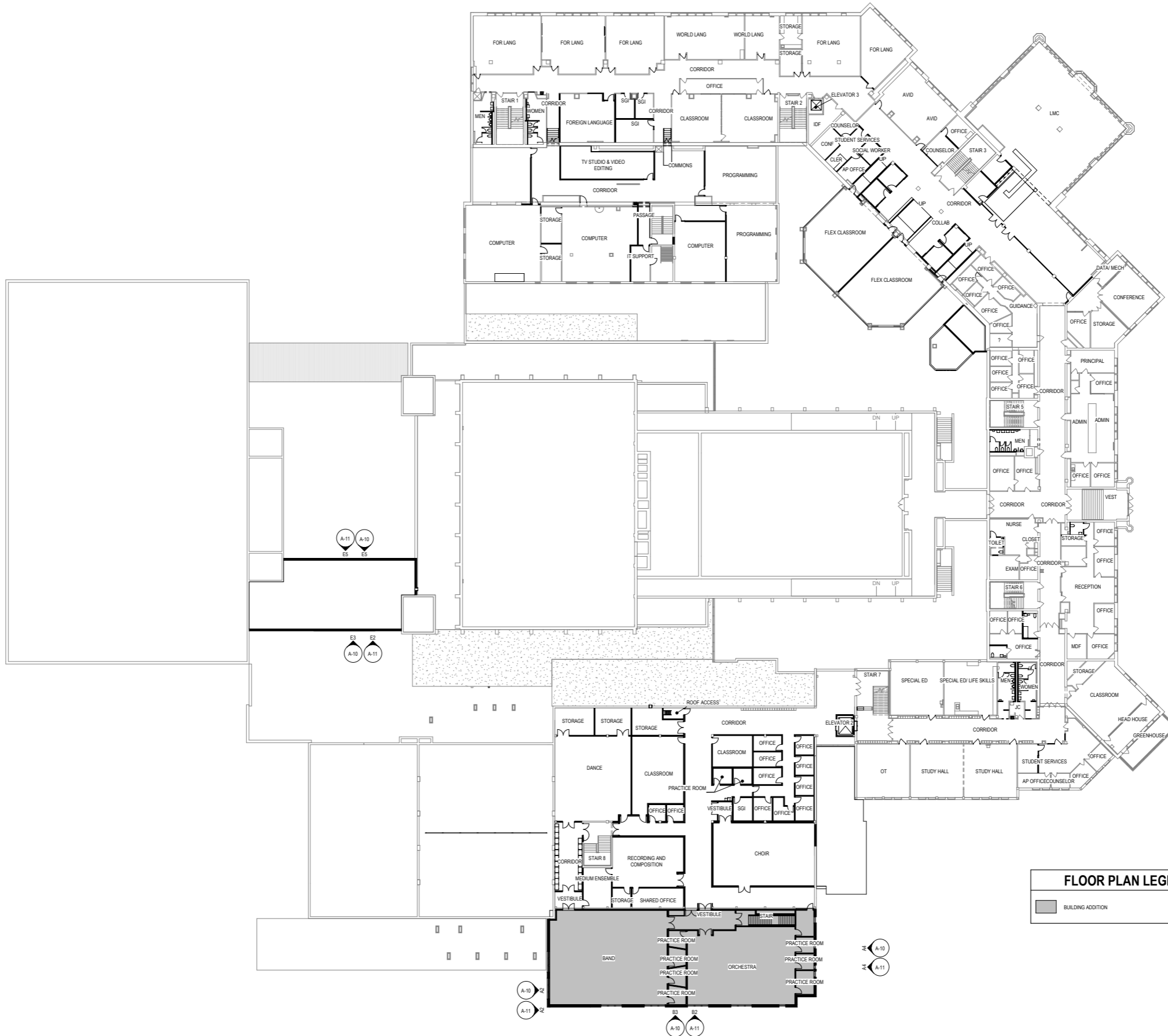
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PROJECT MANAGER JACKIE MICHAELS  
PROJECT NUMBER 320534-01

1ST FLOOR PLAN

**A-04**

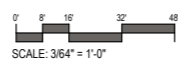
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**FLOOR PLAN LEGEND**

■ BUILDING ADDITION

1ST FLOOR OVERALL PLAN  
SCALE: 3/64" = 1'-0"





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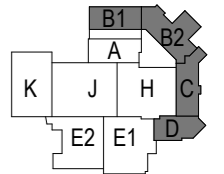
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**FLOOR PLAN LEGEND**

■ BUILDING ADDITION

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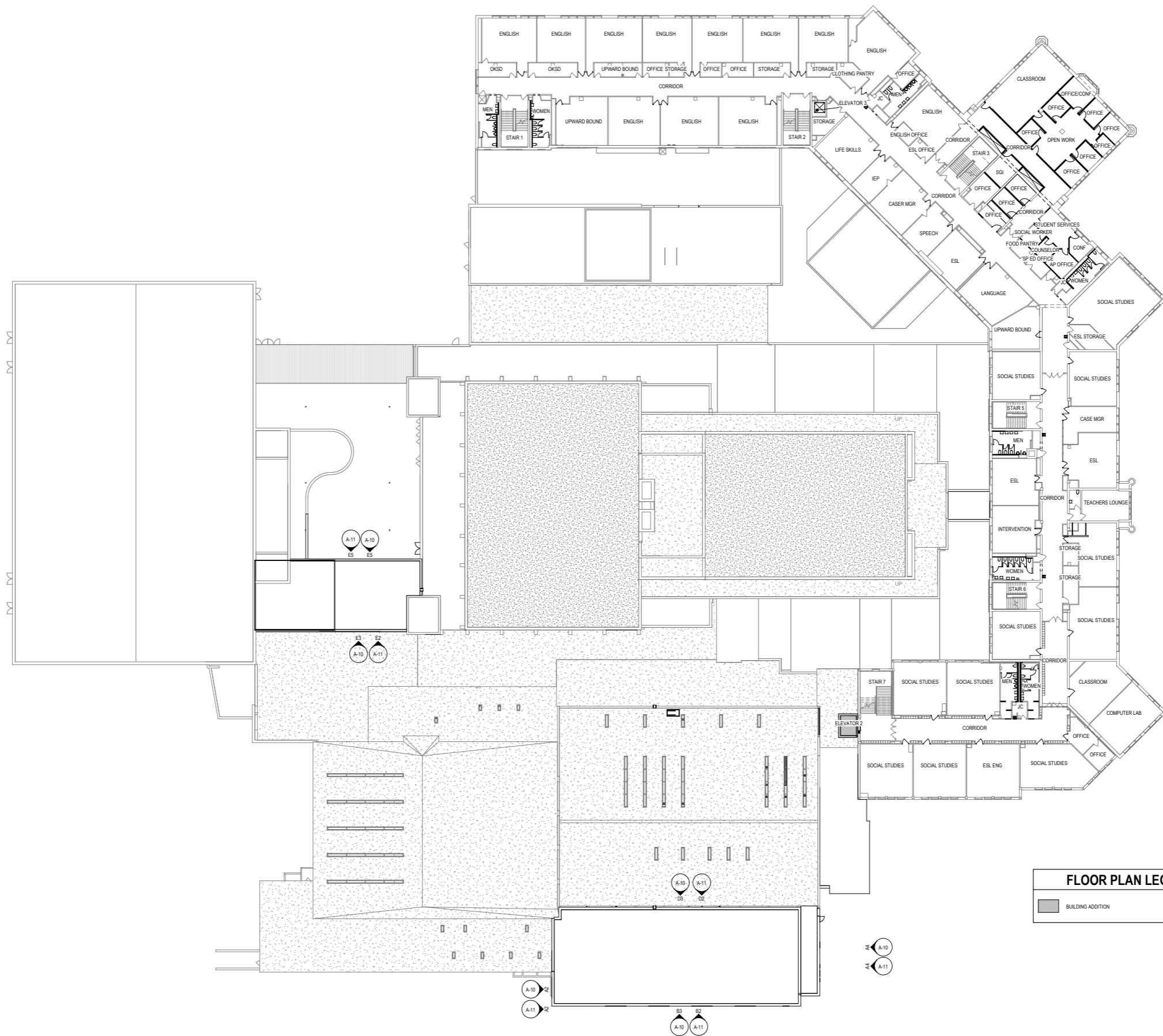
PROJECT MANAGER JACKIE MICHAELS

PROJECT NUMBER 320534-01

2ND FLOOR PLAN

**A-05**

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**A2 2ND FLOOR OVERALL PLAN**  
3/64" = 1'-0"

SCALE: 3/64" = 1'-0"

0' 8' 16' 32' 48'

TRUE PLAN

E  
D  
C  
B  
A

E  
D  
C  
B  
A

1 2 3 4 5 6 7

1 2 3 4 5 6 7



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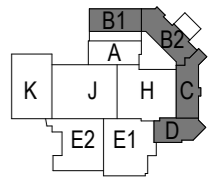
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**PROGRESS DOCUMENTS  
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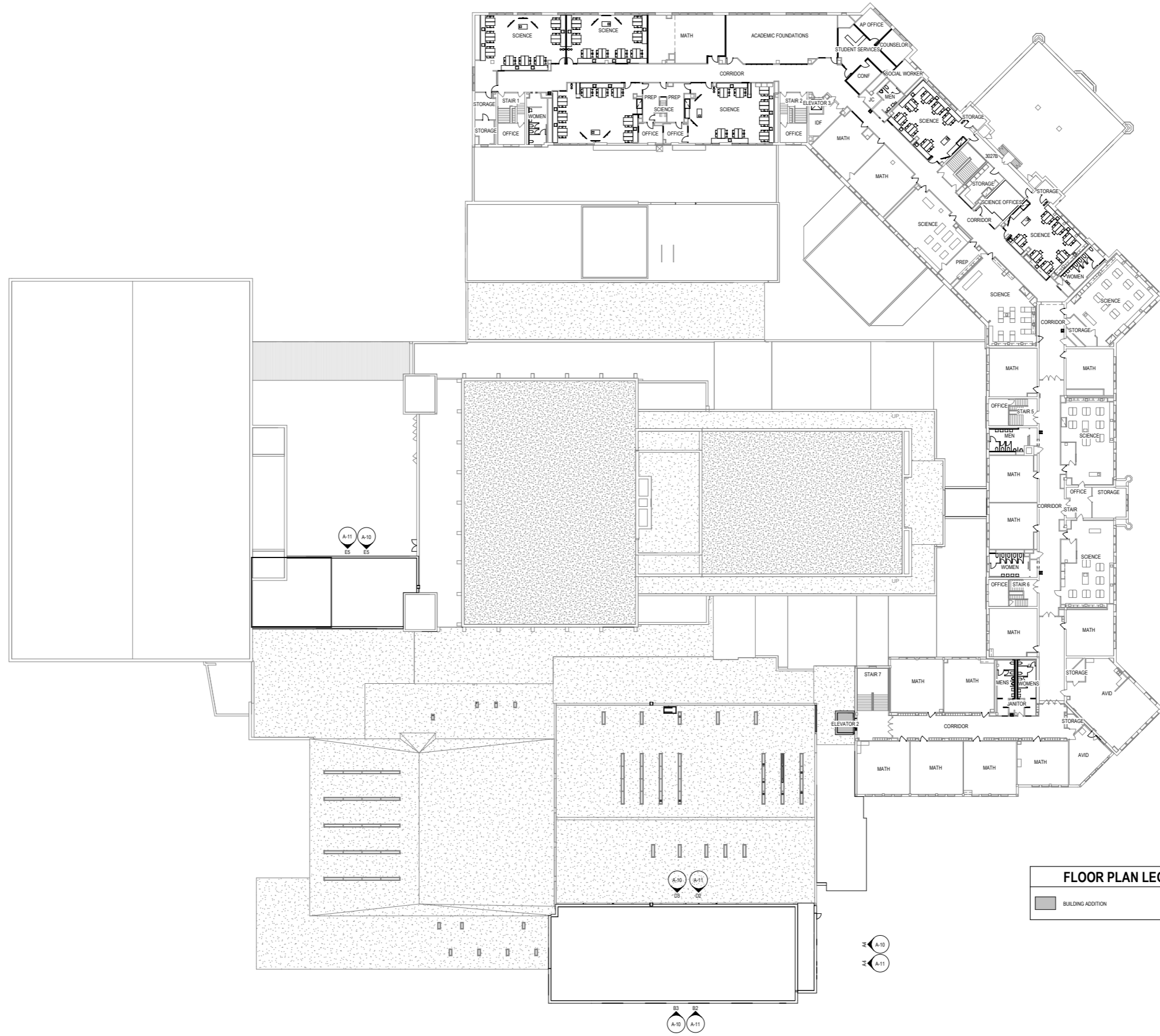
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PROJECT NUMBER 320534-01

3RD FLOOR PLAN

**A-06**

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**FLOOR PLAN LEGEND**

BUILDING ADDITION

TRUE PLAN

**A2** 3RD FLOOR OVERALL PLAN  
3/64" = 1'-0"

SCALE: 3/64" = 1'-0"

0 8 16 32 48

1 2 3 4 5 6 7

E

D

C

B

A

1 2 3 4 5 6 7





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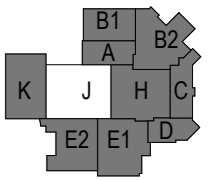
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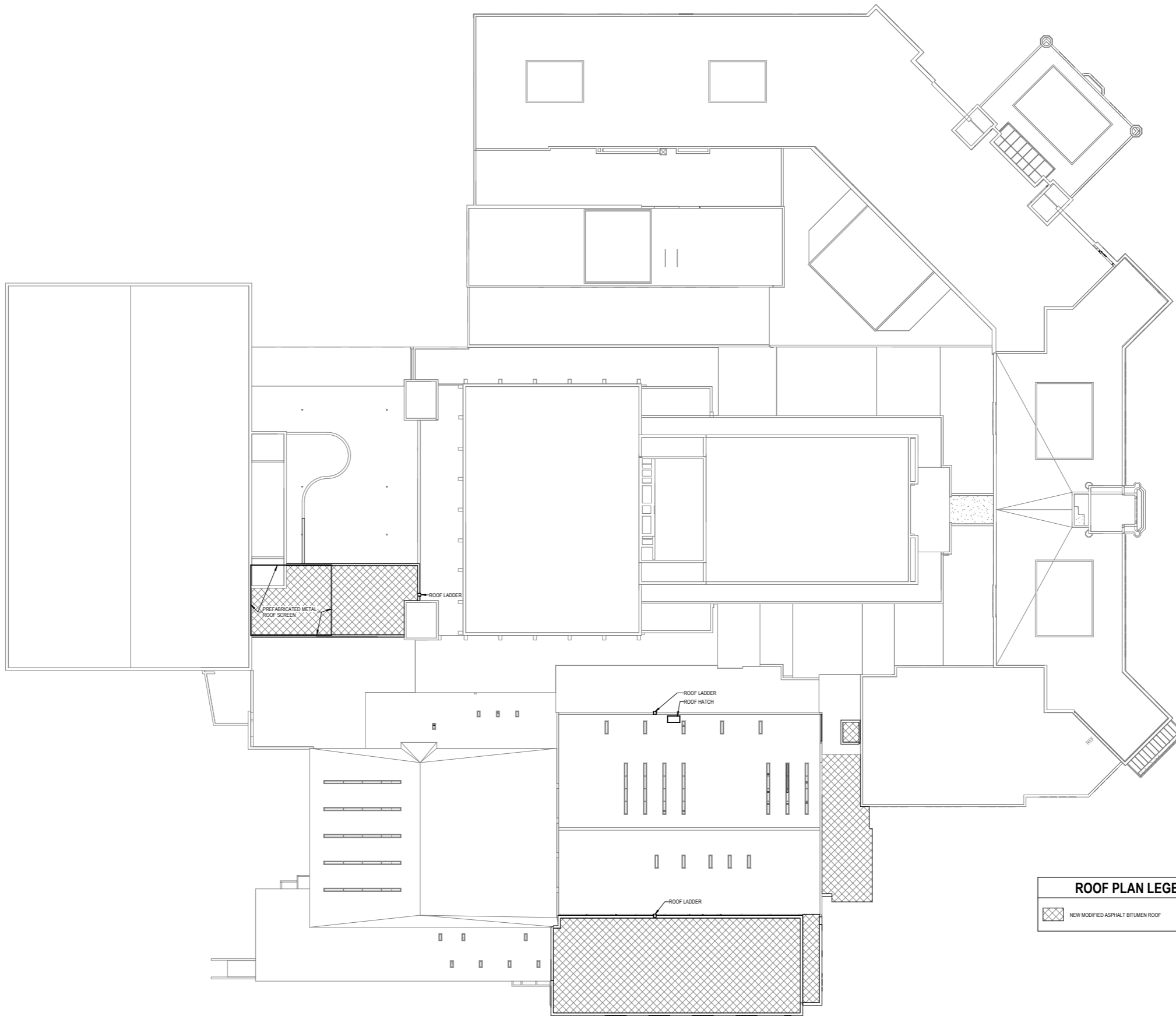
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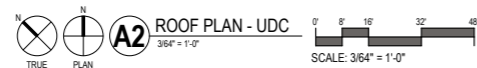
PROJECT MANAGER JACKIE MICHAELS  
PROJECT NUMBER 320534-01

ROOF PLAN

**A-07**



ROOF PLAN LEGEND	
	NEW MODIFIED ASPHALT BITUMEN ROOF



E

D

C

B

A

1

2

3

4

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7

1

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5

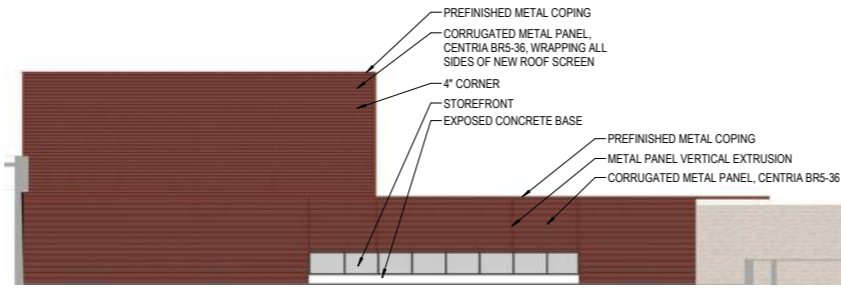
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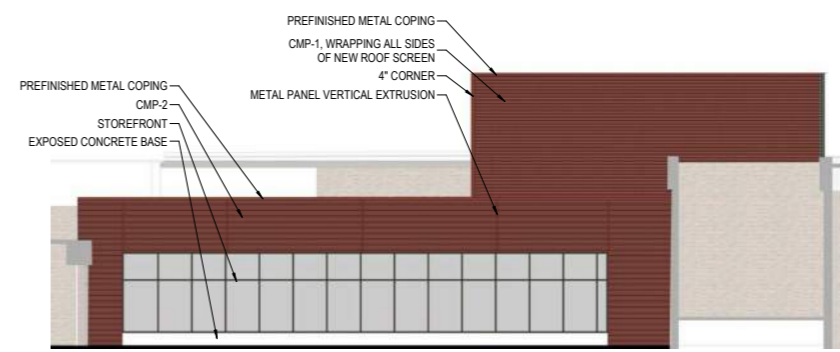
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PROJECT NUMBER 320534-01



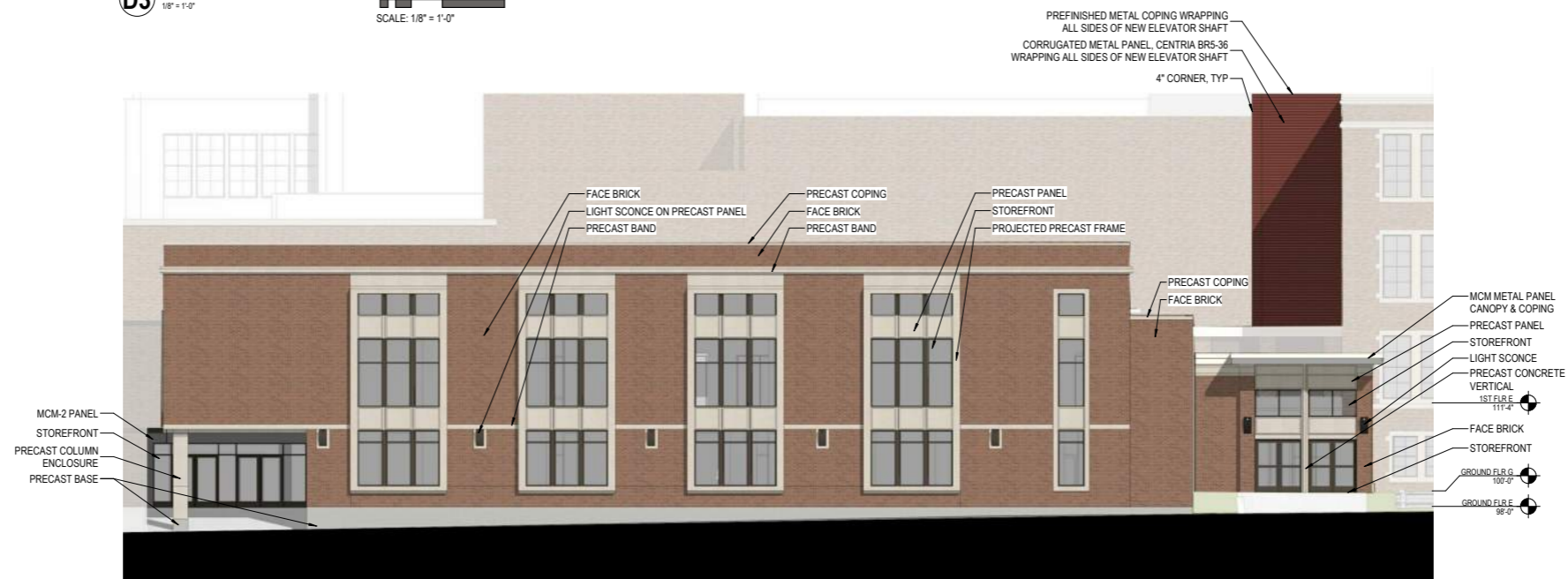
**E3** SOUTH ELEVATION - AREA J  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**E5** NORTH ELEVATION - AREA J  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**D3** NORTH ELEVATION - AREA E1  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**B3** SOUTH ELEVATION - AREA E1  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**A2** WEST ELEVATION - AREA E  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"



**A4** EAST ELEVATION - AREA E1  
1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"