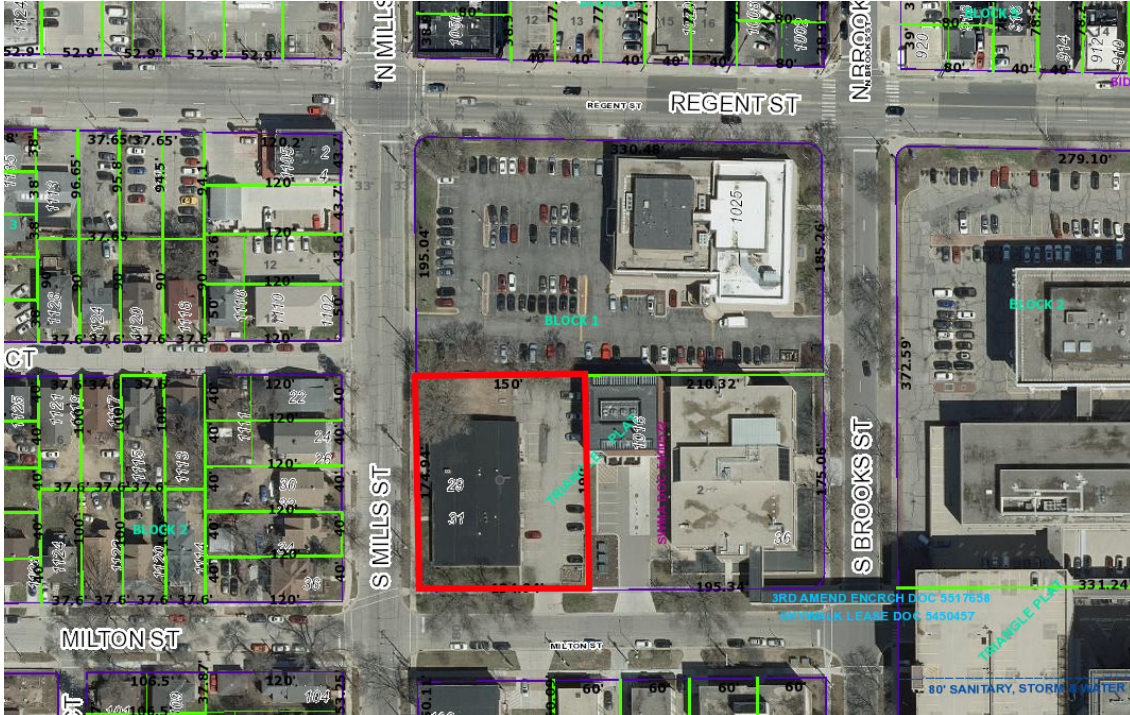


1024 Milton Street
Contract 9562
MUNIS 15407

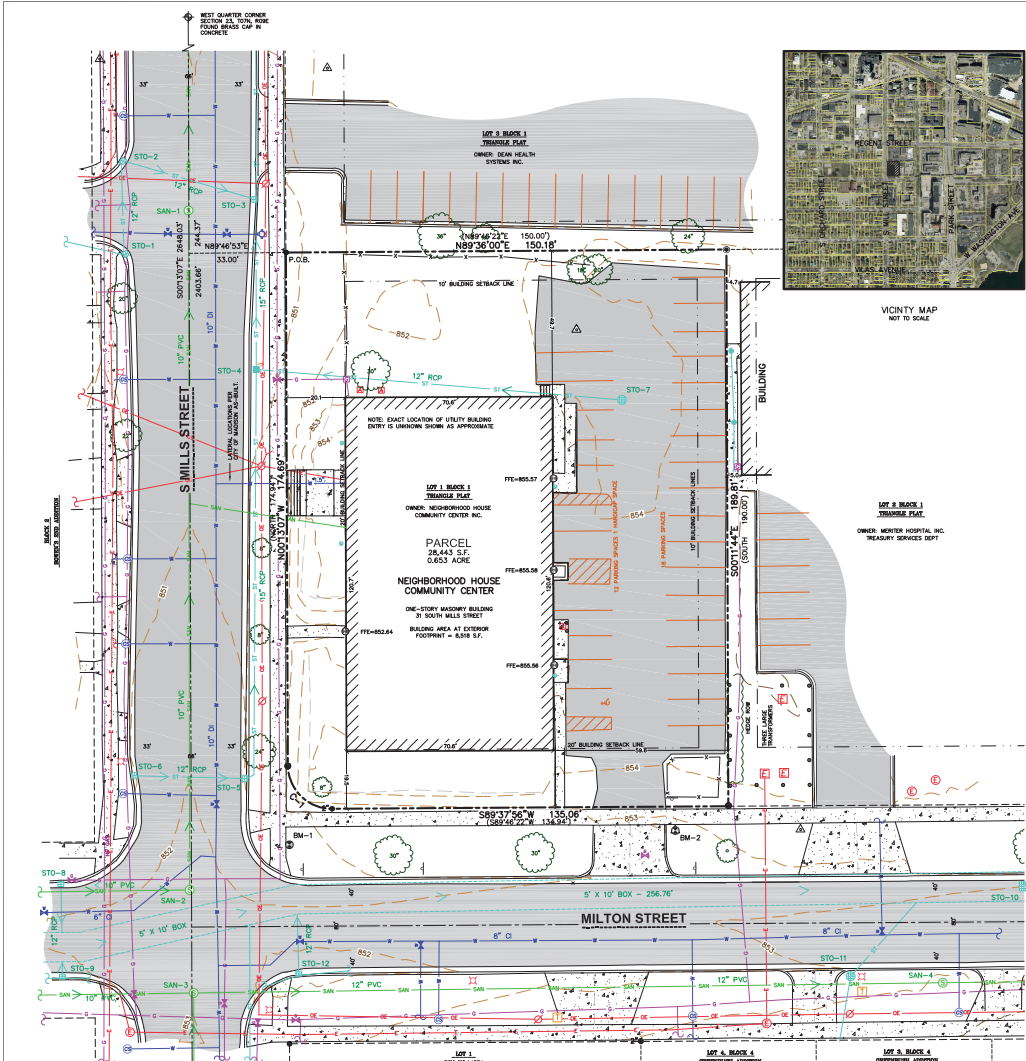
Developer: Neighborhood House Ventures, LLC



Summary of Improvements:

- Construct / restore public sidewalk and terrace on S Mills Street and Milton Street per plans approved by the City Engineer.
- Repair or replace existing public sidewalk, street terrace, curb and gutter, street terrace, and street pavement as necessary to accommodate the private redevelopment project.
- Close abandoned driveways with curb and gutter. Construct new private drive apron on Milton Street per approved commercial driveway permit.
- Construct private sanitary, storm, and water service laterals. A new sanitary sewer access structure will be required to facilitate the connection of the proposed private sanitary lateral to the public sanitary sewer main.
- Restore any existing pavement markings or street signage disturbed as part of the private redevelopment project.

- Coordinate relocation of existing private utilities (gas, electric, cable, etc.) with private utility companies as needed to accommodate the private redevelopment
- Protect existing public street terrace trees on S Mills Street and Milton Street, tree removals, and new street tree plantings as approved by City Forestry, including any recommendations for potential long term canopy improvement, if planned utility work provides opportunities.



ALTA/NSPS LAND TITLE SURVEY

ALL OF LOT 1, BLOCK 1, TRIANGLE PLAT, PART OF THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 07 NORTH, RANGE 09 EAST, MADISON, DANE COUNTY, WISCONSIN.

- LEGEND**
- GOVERNMENT CORNER
 - 1" IRON PIPE FOUND
 - 2" IRON PIPE FOUND
 - 1/4" REBAR FOUND
 - 3/4" REBAR FOUND
 - BENCHMARK
 - FINISHED FLOOR SHOT LOCATION
 - BOLLARD
 - CURB STOP/SERVICE VALVE
 - ROUND CASTED INLET
 - SQUARE CASTED INLET
 - CURB INLET
 - DOWNSPOUT
 - GAS REGULATOR/METER
 - 1/2" REBAR FOUND
 - ELECTRIC MANHOLE
 - ELECTRIC METER
 - ELECTRIC TRANSFORMER
 - AIR CONDITION UNIT
 - LIGHT POLE
 - POWER POLE
 - HYDRANT
 - WATER VALVE
 - CURB STOP/SERVICE VALVE
 - ROUND CASTED INLET
 - SECTION LINE
 - CENTERLINE
 - RIGHT-OF-WAY LINE
 - PROPERTY LINE
 - CHOIR LINE
 - SETBACK LINE
 - EASEMENT LINE
 - FENCE LINE
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - EDGE OF GRAVEL
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - OVERHEAD LINE
 - UNDERGROUND ELECTRIC
 - EDGE OF WOODS OR BRUSH
 - BUILDING
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - GRAVEL
 - EDGE OF BITUMINOUS PAVEMENT STRIPPING
 - END OF FLAGGED UTILITIES
 - DIMENSIONED AS MEASUREMENTS DEPENDING ON THE SAME LINE ON THE GROUND AS RECORDED BY THIS SURVEY

- NOTES**
- FIELD WORK PERFORMED ON JUNE 9-16, 2023.
 - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE ZONE THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 07 NORTH, RANGE 09 EAST, ELEVATION = 5001307.07'E.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88). BENCHMARK IS A BRASS CAP MONUMENT MARKING THE WEST QUARTER CORNER OF SECTION 23, TOWNSHIP 07 NORTH, RANGE 09 EAST, ELEVATION = 850.74'
 - CONTOUR INTERVAL IS ONE FOOT.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS HOTLINE TICKET NO. 20230208672, WITH A CLEAR DATE OF JUNE 02, 2023.
 - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: MADISON GAS AND ELECTRIC, CHARTER COMMUNICATIONS, MIDWEST FIBER NETWORKS, VERIZON WIRELESS, AT&T DISTRIBUTION.
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE AT 1.800.242.8511.
 - ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MADISON. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.
 - BUILDING SETBACK LINE ARE FROM AMENDED URBAN RENEWAL PLAN, DOCUMENT NO. 1079986.

- NOTES CORRESPONDING TO TABLE A REQUIREMENTS:**
- ITEM 3 THE SUBJECT PROPERTY LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD PER FEMA MAP NUMBER 56025D04086, WHICH HAS NOT BEEN PLOTTED.
- ITEM 6(a) CURRENT ZONING CLASSIFICATION WAS REQUESTED BUT NOT PROVIDED BY THE INSURER AT THE TIME OF THE SURVEY.
- ITEM 9 THERE ARE 30 PARKING SPACES AND 1 HANDICAP SPACE FOR A TOTAL OF 31 PARKING SPACES.
- ITEM 11 NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PRESENT TO SECTION 23.1 TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EDUCATION, THE EXACT LOCATION OF UNDERGROUND UTILITIES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE OBLIGED TO RESULT IN AN INCOMPLETE RESPONSE. IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- ITEM 16 THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
- ITEM 17 THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT-OF-WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.
- ITEM 18 THERE ARE NO OFFSITE EASEMENTS FOR THE SUBJECT PROPERTY.
- ITEM 20 EXECUTE A DIGGERS HOTLINE PUBLIC UTILITY LOCATE. SEE NOTE 5 ABOVE.

- NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS**
- (FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: NS-118237-MAD, COMMITMENT DATE: JUNE 14, 2023 AT 7:30 A.M.)
- 3 CURRENT AND FUTURE OBLIGATIONS ARISING FROM THE INCLUSION OF THE SUBJECT PARCELS IN TAX INCORPORAL DISTRICT NO. 48. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 10 RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS SHOWN ON THE PLAT OF TRIANGLE PLAT, AS RECORDED IN AUGUST 5, 1968 IN VOLUME 34, PAGE 21 AS DOCUMENT NO. 122039, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604C. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 11 AMENDED URBAN RENEWAL PLAN FOR THE TRIANGLE URBAN RENEWAL AREA, PROJECT NO. WS. R-2 RECORDED AUGUST 13, 1963 IN VOLUME 306 OF MSC, ON PAGE 79 AS DOCUMENT NO. 1079986. MODIFICATION AND/OR AMENDMENT BY INSTRUMENT: AMENDED URBAN RENEWAL PLAN FOR THE TRIANGLE URBAN RENEWAL AREA, PROJECT NO. WS. R-2; RECORDING INFORMATION: FEBRUARY 2, 1965 IN VOLUME 422 OF MSC, PAGE 101 AS DOCUMENT NO. 1131051. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 12 LAND PURCHASE AND REDEVELOPMENT AGREEMENT UPON THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, DATED: JANUARY 13, 1965. PARTIES: REDEVELOPMENT AUTHORITY OF THE CITY OF MADISON, A PUBLIC BODY CORPORATE AND POLITIC OF THE STATE OF WISCONSIN AND MADISON NEIGHBORHOOD CENTERS, A NON-STOCK, NON-PROFIT CORPORATION. RECORDED: JANUARY 14, 1965 IN VOLUME 421; PAGE 1; INSTRUMENT NO.: 112985. CERTIFICATE OF COMPLETION OF IMPROVEMENTS RECORDED: JUNE 22, 1967 IN VOLUME 465; PAGE 564 AS DOCUMENT NO. 1167846. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 13 COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN OUTLAW DEED RECORDED IN JANUARY 21, 1965 IN VOLUME 793; PAGE 111 AS DOCUMENT NO. 1122479 OF OFFICIAL RECORDS; BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604C. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 14 URBAN RENEWAL PLAN FOR THE TRIANGLE URBAN RENEWAL AREA (PROJECT NO. WS. R-2) RECORDED OCTOBER 13, 1967 IN VOLUME 473 OF MSC, PAGE 1 AS DOCUMENT NO. 1198060. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 15 URBAN RENEWAL PLAN FOR THE TRIANGLE URBAN RENEWAL AREA (PROJECT NO. WS. R-2) RECORDED JANUARY 19, 1972 IN VOLUME 313; PAGE 279 AS DOCUMENT NO. 1315271. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 16 LIENS, HOOD-UP CHARGES OR FEES, DEFERRED CHARGES, RESERVE CAPACITY ASSESSMENTS, IMPACT FEES, OR OTHER CHARGES OF FEES DUE AND PAYABLE ON THE DEVELOPMENT OR IMPROVEMENT OF THE LAND. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 17 RIGHTS OF TENANTS IN POSSESSION UNDER UNRECORDED LEASES. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED)
 (FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: NS-118237-MAD, COMMITMENT DATE: JUNE 14, 2023 AT 7:30 A.M.)
 LOT ONE (1), BLOCK ONE (1), TRIANGLE PLAT, A REPLAT OF PARTS OF GREEN BUSH ADDITION, PREGLERS ADDITION, FABERS SUBDIVISION AND MURPHY'S REPLAT, CITY OF MADISON, DANE COUNTY, WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:
 ADDRESS: 31 SOUTH MILLS STREET, MADISON, WI
 TAX KEY NUMBER: 201/0709-233-0302-1

SURVEYOR'S CERTIFICATE

TO: 1) NEIGHBORHOOD HOUSE COMMUNITY CENTER, INC., 2) FIRST BUSINESS BANK, 3) CITY OF MADISON, A MUNICIPAL CORPORATION, 4) FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7a, 7b(1), 7c, 8, 9, 10, 11a, 12, 13, 14, 16, 17, 18, 19, 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 9-16, 2023.

TODD J. BURR, S-2614
 PROFESSIONAL LAND SURVEYOR
 Email: todd@tjburrsurvey.com
 Website: www.tjburrs.com

DATE: _____

CREATE THE VIEW TELL THE STORY

jsdinc.com

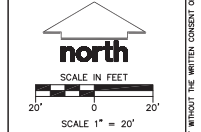
MADISON REGIONAL OFFICE
 101 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 P. 608.848.5060

CLIENT:
THE ALEXANDER COMPANY

CLIENT ADDRESS:
 2450 RIMROCK ROAD, SUITE 100
 MADISON, WI 53713

PROJECT:
NEIGHBORHOOD HOUSE COMMUNITY CENTER DEVELOPMENT

PROJECT LOCATION:
 31 SOUTH MILLS STREET
 CITY OF MADISON
 DANE COUNTY, WI



MODIFICATIONS:

#	DATE	DESCRIPTION
1		
2		
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20		

Prepared By: CAD 061023

SHEET TITLE:
ALTA/NSPS LAND TITLE SURVEY

SHEET NUMBER:
1 OF 1

PROJECT NO.: 23-11316

STORM SEWER STRUCTURES

INLET ID	RM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
ST0-1	850.02	N	848.27	12" RCP	PVC
ST0-2	850.00	NW	848.32	4" RCP	PVC
		W	848.18	12" RCP	PVC
		SE	848.15	12" RCP	PVC
		E	847.80	12" RCP	PVC
ST0-3	850.10	N	847.40	12" RCP	PVC
		W	847.00	12" RCP	PVC
		S	847.50	12" RCP	PVC
		N	846.35	12" RCP	PVC
		E	846.35	12" RCP	PVC
ST0-4	851.10	N	846.35	12" RCP	PVC
		W	846.35	12" RCP	PVC
ST0-5	850.88	N	847.78	12" RCP	PVC
		W	848.08	12" RCP	PVC
ST0-6	850.85	E	848.44	12" RCP	PVC
ST0-7	853.38	NW	848.37	12" RCP	PVC
ST0-8	851.33	S	849.13	12" RCP	PVC
		W	848.88	12" RCP	PVC
ST0-9	851.48	N	848.88	12" RCP	PVC
		E	848.98	6" PVC	PVC
		W	848.98	6" PVC	PVC
ST0-10	853.03	W	843.88	5"x10" RCP	PVC
		E	843.88	5"x10" RCP	PVC

STORM SEWER STRUCTURES

INLET ID	RM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
ST0-11	853.60	S	853.50	6" PVC	PVC
		SW	849.08	12" RCP	PVC
ST0-12	851.34	SE	848.74	4" ODP	PVC
		S	848.74	4" ODP	PVC
		N	848.24	10" RCP	PVC

CURVE TABLE

CURVE	RADIUS	DELTA	CHORD BEARING	CHORD	ARC LENGTH	TANGENT LENGTH
C-1	15.00'	90°08'58"	N45°17'36"W	21.24'	23.60'	15.04'
()	15.00'	89°46'22"				15.06'

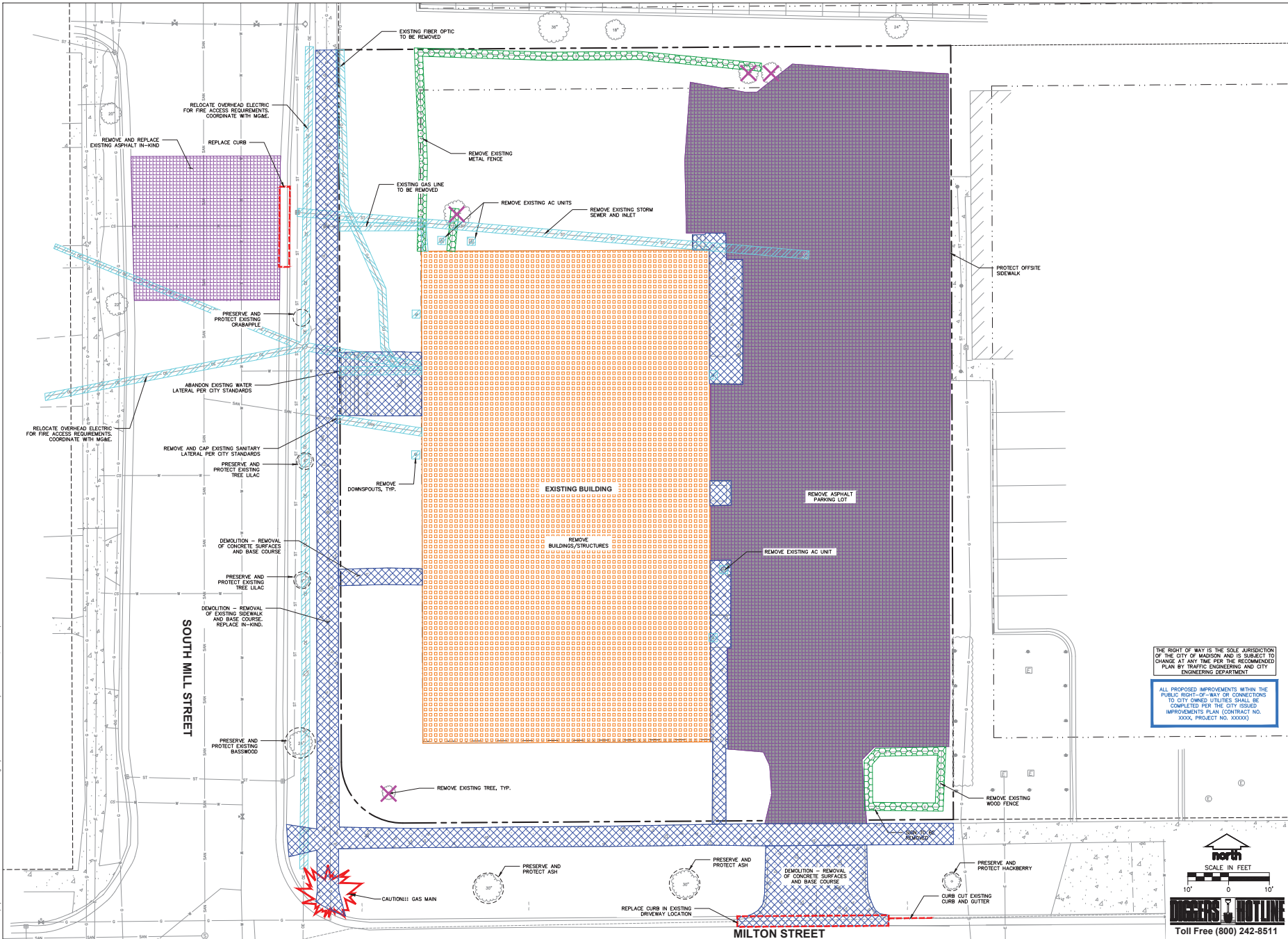
SANITARY SEWER STRUCTURES

STRUCT. ID	RM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SM-1	850.98	S	844.55	10" PVC	PVC
SM-2	852.56	W	844.26	10" PVC	PVC
		N	845.41	10" PVC	PVC
		W	845.61	10" PVC	PVC
SM-3	852.74	E	846.14	12" PVC	PVC
		S	845.20	12" PVC	PVC
		W	846.39	10" PVC	PVC
		E	845.04	12" PVC	PVC
SM-4	854.54	W	845.89	12" PVC	PVC

BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	852.00	1 1/4" REBAR AT SOUTH WEST CORNER OF SITE.
BM-2	853.17	1 1/4" REBAR AT SOUTH EAST CORNER OF SITE.

NSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP ARE ACCURATE AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.



WHEDA APPLICATION
NOT FOR CONSTRUCTION

01-19-24 WHEDA APPLICATION

DRAWN: APPR:

NEIGHBORHOOD HOUSE
1024 MILTON STREET
MADISON, WI 53715

PROJECT # 23-814

DEMOLITION PLAN

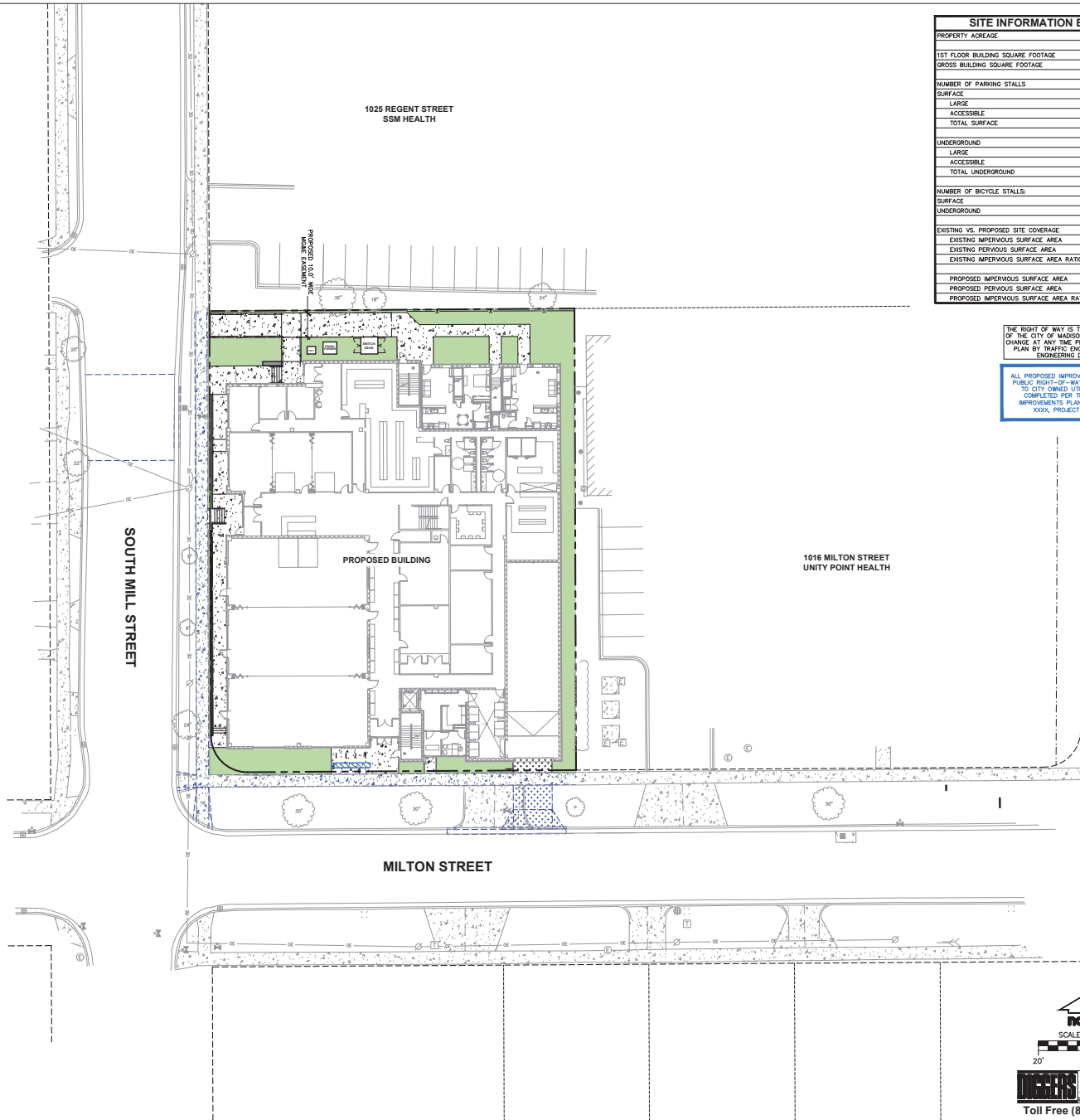
C2.0

Scale in Feet: 10' 0' 10'

North Arrow

Toll Free (800) 242-8511

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SITE INFORMATION BLOCK	
PROPERTY ACREAGE	0.65 ACRES
1ST FLOOR BUILDING SQUARE FOOTAGE	21,741 SF
GROSS BUILDING SQUARE FOOTAGE	109,190 SF
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	0
ACCESSIBLE	0
TOTAL SURFACE	0
UNDERGROUND	
LARGE	38
ACCESSIBLE	2
TOTAL UNDERGROUND	40
NUMBER OF BICYCLE STALLS:	
SURFACE	8
UNDERGROUND	70
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	19,314 SF
EXISTING PERVIOUS SURFACE AREA	9,129 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.68
PROPOSED IMPERVIOUS SURFACE AREA	25,090 SF
PROPOSED PERVIOUS SURFACE AREA	3,363 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.88

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)



2450 Rimrock Road
Suite 100
Madison, WI 53713
Telephone: 608-258-5580
Fax: 608-258-5599
www.alexandercompany.com



jsdinc.com
MADISON REGIONAL OFFICE
507 WEST VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5080

WHEDA APPLICATION
NOT FOR CONSTRUCTION

01-19-24 WHEDA APPLICATION

DRAWN: APPR:

NEIGHBORHOOD HOUSE
1024 MILTON STREET
MADISON, WI 53715

PROJECT # 23-814

OVERALL SITE PLAN

C3.0



PRELIMINARY
NOT FOR CONSTRUCTION

18-12-23 LAND USE APPLICATION

DRAWN: APPR:

NEIGHBORHOOD HOUSE
29 S. MILLS STREET
MADISON, WI 53715

PROJECT # 23-814

GRADING PLAN

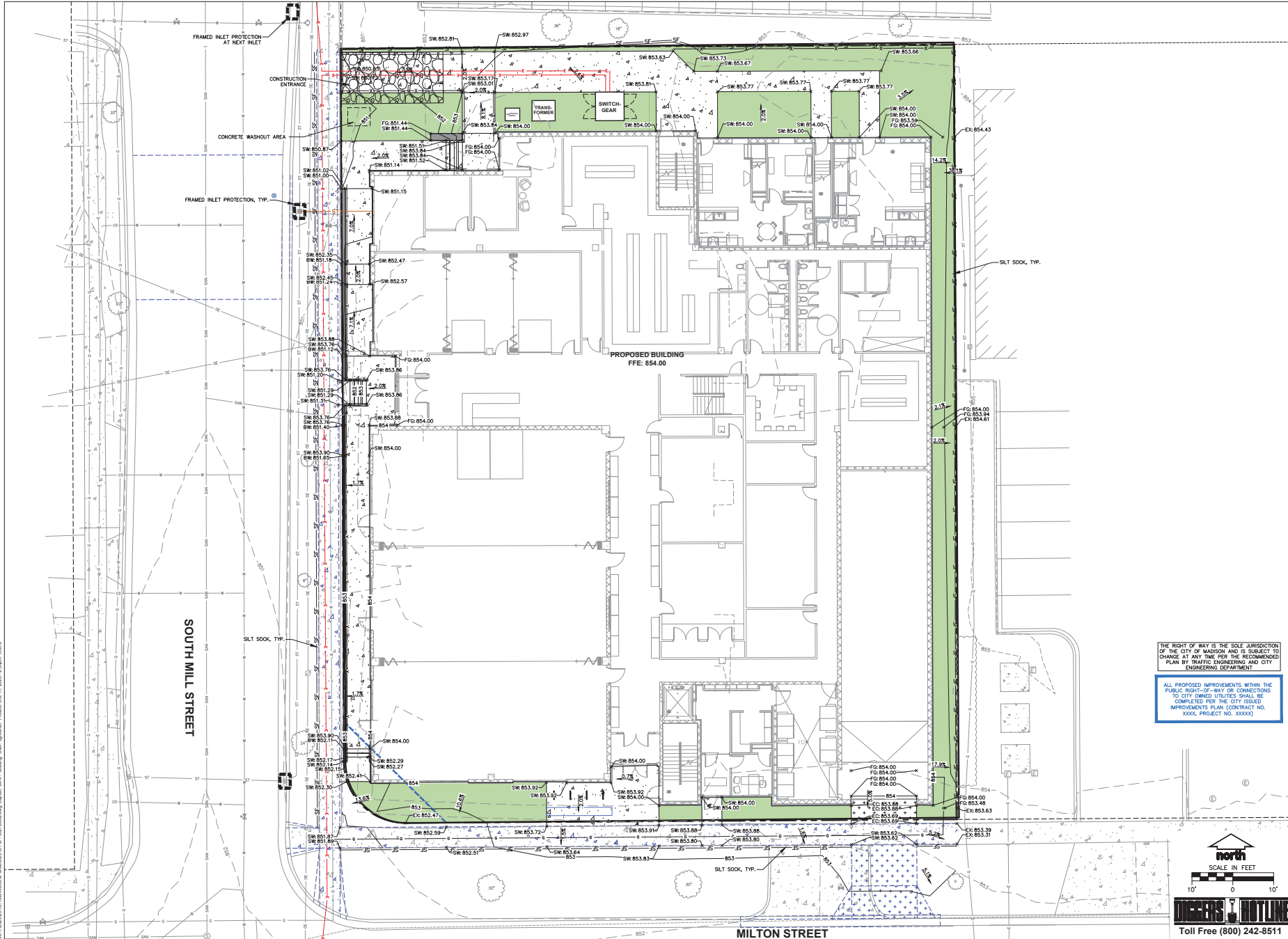
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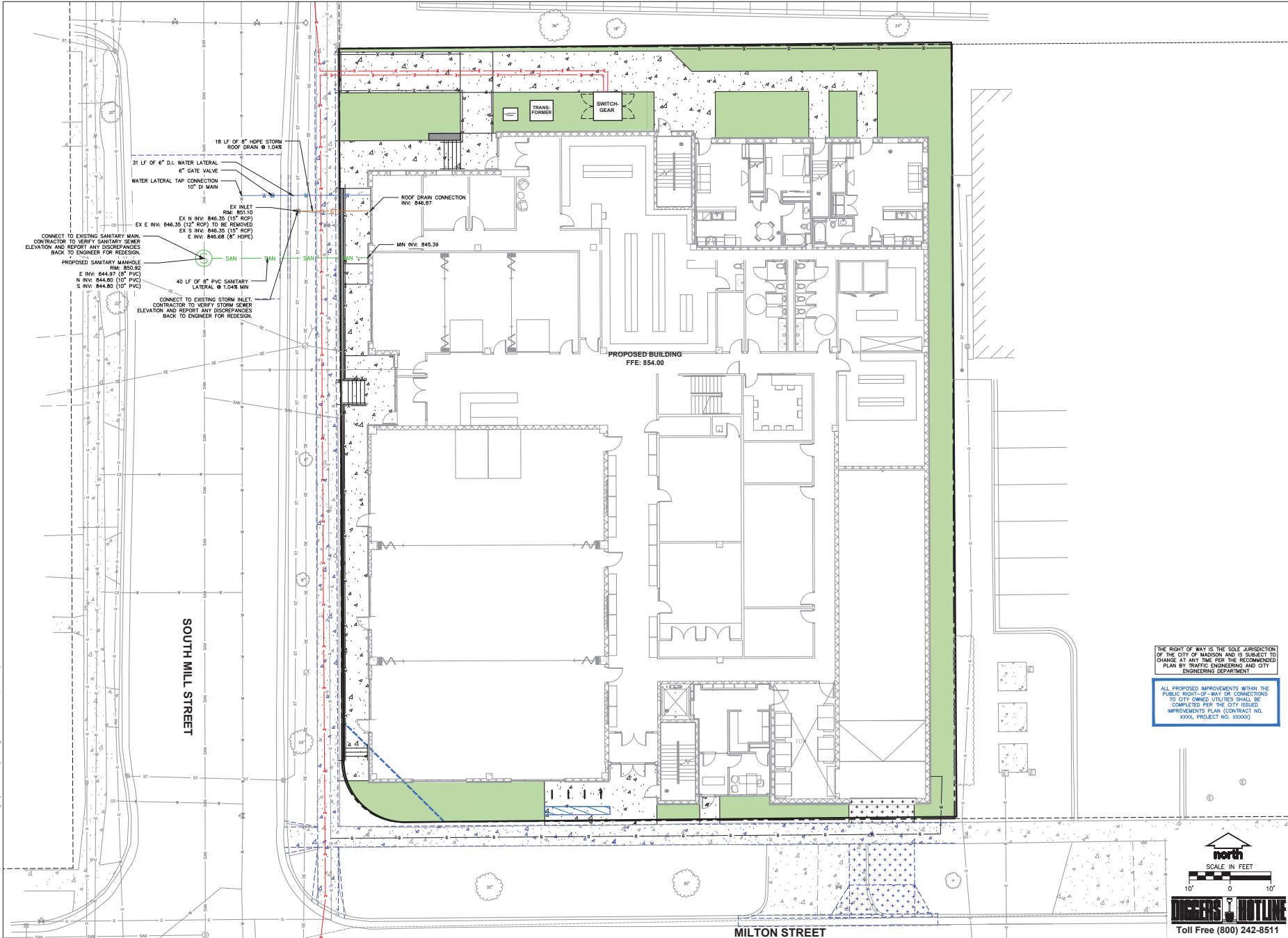
Toll Free (800) 242-8511

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

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THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED FOR THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)

PRELIMINARY
 NOT FOR CONSTRUCTION

18-12-23 LAND USE APPLICATION

DRAWN: APPR:

NEIGHBORHOOD HOUSE
 29 S. MILLS STREET
 MADISON, WI 53715

PROJECT # 23-814

UTILITY PLAN



C5.0



Toll Free (800) 242-8511

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- 950 PROPOSED 1 FOOT CONTOUR
- 960 PROPOSED 5 FOOT CONTOUR
- 950 EXISTING 1 FOOT CONTOUR
- 960 EXISTING 5 FOOT CONTOUR
- SAN SANITARY SEWER
- W WATERMAIN
- ST STORM SEWER
- E ELECTRIC
- G GAS
- SAN EXISTING SANITARY SEWER
- W EXISTING WATERMAIN
- ST EXISTING STORM SEWER
- RETAINING WALL
- X RAILING
- X FENCE
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- BIKE RACK
- ALUMINUM EDGING
- GREEN ROOF

PLANT LIST

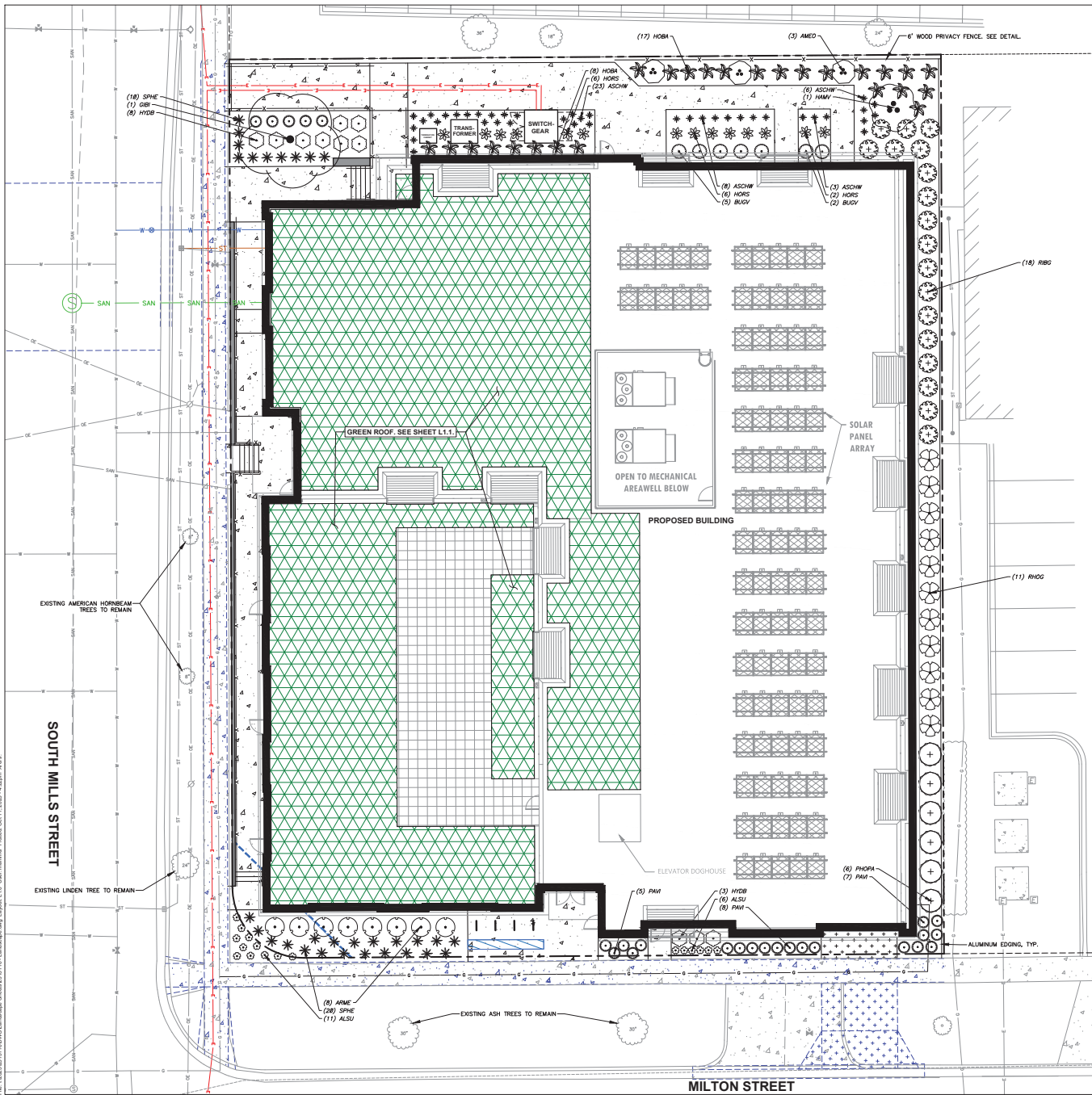
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
GIBI	GIBI	<i>Ginkgo biloba</i> "Autumn Gold"™ Autumn Gold Maidenhair Tree
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
AMEO	AMEO	<i>Amelanchier alnifolia</i> "Obelisk" Standing Ovation™ Serviceberry
ARME	ARME	<i>Aronia melanocarpa</i> "Morton" Iroquois Beauty Black Chokeberry
HAMV	HAMV	<i>Hamamelis virginiana</i> Common Witch Hazel
HYDB	HYDB	<i>Hydrangea paniculata</i> "LVOBO" Bobo® Panicle Hydrangea
PHOPA	PHOPA	<i>Physocarpus opulifolius</i> "Amber Jubilee" Ninebark
RHOG	RHOG	<i>Rhododendron</i> x "Golden Lights" Golden Lights Northern Lights Azalea
RIBG	RIBG	<i>Ribes alpinum</i> "Green Mound" Green Mound Alpine Currant
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
BUGV	BUGV	<i>Buxus</i> x "Green Velvet" Green Velvet Boxwood
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
ALSU	ALSU	<i>Allium</i> x "Summer Beauty" Summer Beauty Allium
ASCHW	ASCHW	<i>Astilbe chinensis</i> "Vision in White" Vision in White Chinese Astilbe
HOBA	HOBA	<i>Hosta</i> x "Blue Angel" Blue Angel Hosta
HORS	HORS	<i>Hosta</i> x "Regal Splendor" Regal Splendor Hosta
PAV	PAV	<i>Panicum virgatum</i> "Shenandoah" Shenandoah Switch Grass
SPHE	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed

LANDSCAPE MATERIAL NOTES

- ALL DISTURBED AREAS TO RECEIVE SEED, FERTILIZER, AND MULCH UNLESS OTHERWISE SPECIFIED. (SEE SHEET L2.0 SEEDING NOTES)
- ALL PLANTING AREAS TO RECEIVE SHREDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED. (SEE SHEET L2.0 MATERIAL NOTES)

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)



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