



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>August 26, 2015</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>September 2, 2015</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input type="checkbox"/> Final Approval

1. **Project Address:** 2107 - 2249 Sherman Ave. Final address to be determined by City
Project Title (if any): McKenzie Place, LLC

2. **This is an application for** (Check all that apply to this UDC application):

New Development **Alteration to an Existing or Previously-Approved Development**

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify: Advisory presentation as requested by Jay Wentz. Informational boxes checked on page 2

3. Applicant, Agent & Property Owner Information:

Applicant Name: <u>John Fish</u>	Company: <u>McKenzie Place, LLC</u>
Street Address: <u>315 Lakewood Blvd.</u>	City/State: <u>Madison, WI</u> Zip: <u>53704</u>
Telephone: (608) <u>219.7766</u> Fax: () <u>NA</u>	Email: <u>trout204@comcast.net</u>

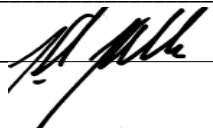
Project Contact Person: _____	Company: _____
Street Address: <u>2310 Crossroads Dr., Suite 2000</u>	City/State: <u>Madison, WI</u> Zip: <u>53718</u>
Telephone: (608) <u>478.4013</u> Fax: () <u>NA</u>	Email: <u>kkeller@prarch.com</u>

Project Owner (if not applicant) : _____	City/State: _____ Zip: _____
Street Address: _____	Email: _____
Telephone: () _____ Fax: () _____	

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on July 22, 2015.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant <u>Kirk Keller</u>	Relationship to Property <u>Architect</u>
Authorized Signature 	Date <u>August 26, 2015</u>



28 August 2015

Mr. Alan Martin
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: McKenzie Place Mixed Use Development
Urban Design Commission Advisory Review for a property in the NMX District
2107-2249 Sherman Avenue, Madison, WI

Mr. Alan Martin:

The following is submitted together with the plans and application for the staff and Plan Commission consideration of approval.

Organizational Structure:

Owner/Developer:

McKenzie Place LLC
315 Lakewood Blvd
Madison, WI 53704
Contact: John Fish
Trout204@comcast.net

Engineer & Landscaping:

Vierbicher Associates, Inc.
999 Fourier Drive, Suite 201
Madison, WI 53717
608-821-3961
Contact: Matt Schreiner
msch@vierbicher.com

Architect:

Plunkett Raysich Architects, LLP
2310 Crossroads Drive, Suite 2000
Madison, WI 53718
608-478-4013
Contact: Kirk Keller, AIA, NCARB
kkeller@prarch.com

Introduction:

The triangular, 1.10 acre, property located at the intersection of Sherman Avenue and Fordem Avenue in Madison, Wisconsin currently contains 3 vacant, former commercial buildings in various stages of dilapidation. The site is zoned Neighborhood Mixed-Use. In conjunction with this application, a 2-lot CSM will be submitted to combine the appropriately sub-divided the underlying lots.

209 south water street milwaukee, wisconsin 53204 414 359 3060
2310 crossroads drive suite 2000 madison, wisconsin 53718 608 240 9900
1613 fruitville road suite 3 sarasota, florida 34236 941 348 3618

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Partners: Michael P. Brush, Martin P. Choren, Gregg R. Golden, Mark C. Herr, John J. Holz, Nicholas D. Kent, Steven A. Kieckhafer, Scott A. Kramer, David J. Raysich, Michael H. Scherbel, Michael J. Sobczak



Project Description:

The mixed-use project will consist of 61 market rate apartments and approximately 6,700 square feet of commercial / retail space and will include 59 underground parking stalls. The project also includes a 6,667 square foot commercial / retail “pad” site along Fordem Avenue that will be developed in the future.

The main commercial suite at the “point” of the project will be highly visible and include interior mezzanine space with a private outdoor roof top patio. An approximately 23 stall surface parking lot, plus readily available street parking, will serve the commercial / retail space.

The residential component will include “walk-up” units that can be accessed directly from the sidewalk along Sherman Avenue. The building will step-back from the Sherman Avenue frontage, with the building being 4 stories tall along the Fordem Avenue frontage. Six of the units on the 4th floor will include a loft-room and private roof-top patio. All other units will enjoy either a balcony or patio. A 60 stall underground parking level along with surface parking, plus immediately adjacent bus routes, and a plethora of bike parking options will accommodate the resident’s transportation needs.

Anticipated building amenities will include a community roof-top patio and adjacent community room; an exercise room; dog-wash area; external and internal canoe and kayak storage racks; private storage units; secure bike storage; outdoor open space to include a landscaped plaza / seating area and garden plots.

Certified Survey Map

The CSM will create two lots, one to accommodate the mixed-use apartment project and the other to create a pad-site to accommodate the future development of an additional retail or commercial building along Fordem Avenue.

Demolition

The site currently contains three former commercial buildings ranging in size from 2,500 sf to 7,500 sf. The buildings are of no architectural significance and are functionally obsolete either due to a lack of up-keep or configuration. To the extent possible, prior to demolition, all interior materials will be either recycled or donated. Any building components containing asbestos will be properly abated prior to demolition.

Site Development Data:

Densities:

Lot Area:	(1)	47,842 S.F. (apartment mixed use building)
	(2)	6,667 S.F. (future retail or commercial pad site)
Dwelling Units:		60 units
Lot Area / D.U.:		797 S.F./unit
Density:		54.5 units/acre
Lot 1 Coverage:		35,868 S.F.
Usable Open Space required:		12,480 S.F. required (160 S.F. X 42 units & 320 S.F. X 18 units)

Dwelling Unit Mix: - Apartments

Studio:	8
One Bedroom:	30 (includes 1 ADA unit)
One Bedroom plus Den:	4
Two Bedroom:	15 (includes 1 ADA unit)
One Bedroom plus Loft:	3
<u>Two Bedroom plus Loft:</u>	<u>1</u>
Total	61

Building Height: 4 Stories above grade

Floor Area Ratio:

Commercial	5,500S.F.
First Level Parking	24,543 (including circulation, storage and utility spaces)
<u>Residential</u>	<u>76,959 (including circulation, amenity areas)</u>
Gross Floor Area	107,591 SF
Floor Area Ratio	75% (74.97%)

Vehicle Parking Stalls

Surface	19 (16 full size & 3 handicap)
<u>Underground</u>	<u>59 (57 full size & 2 handicap)</u>
Total	78

Bicycle parking Stalls

Surface	10 (10 required)
<u>Underground</u>	<u>65 (60 required)</u>
Total	75

Project Schedule

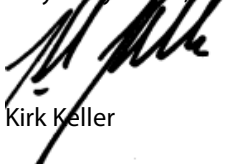
Project construction will begin in October, 2015 and continue through July, 2016. The development of the commercial / retail pad site will follow as market demand dictates.

Hours of Operation

The hours of operation of the commercial spaces in the project will vary depending on the specific commercial user.

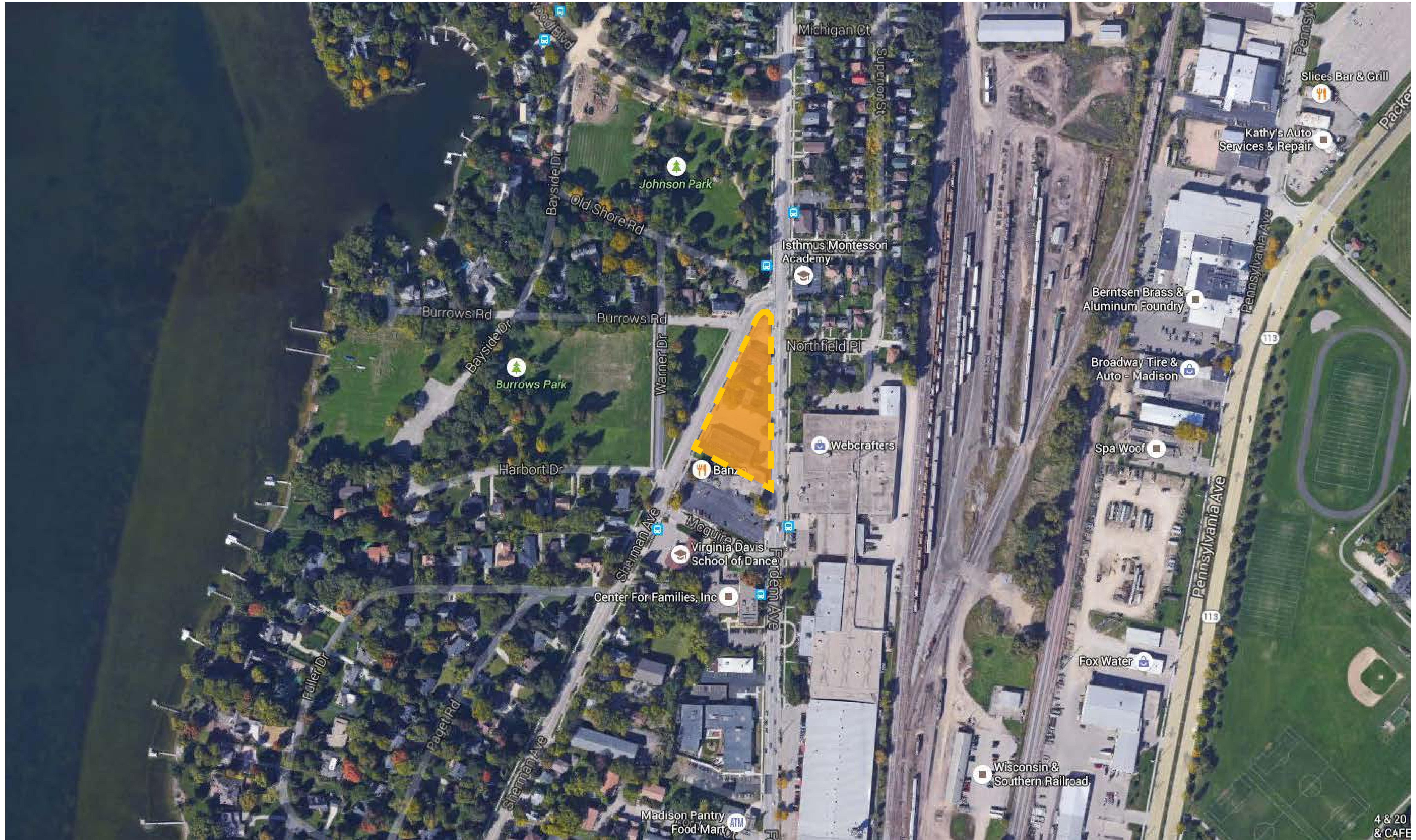
Thank you for your time reviewing our proposal.

Very Truly Yours,



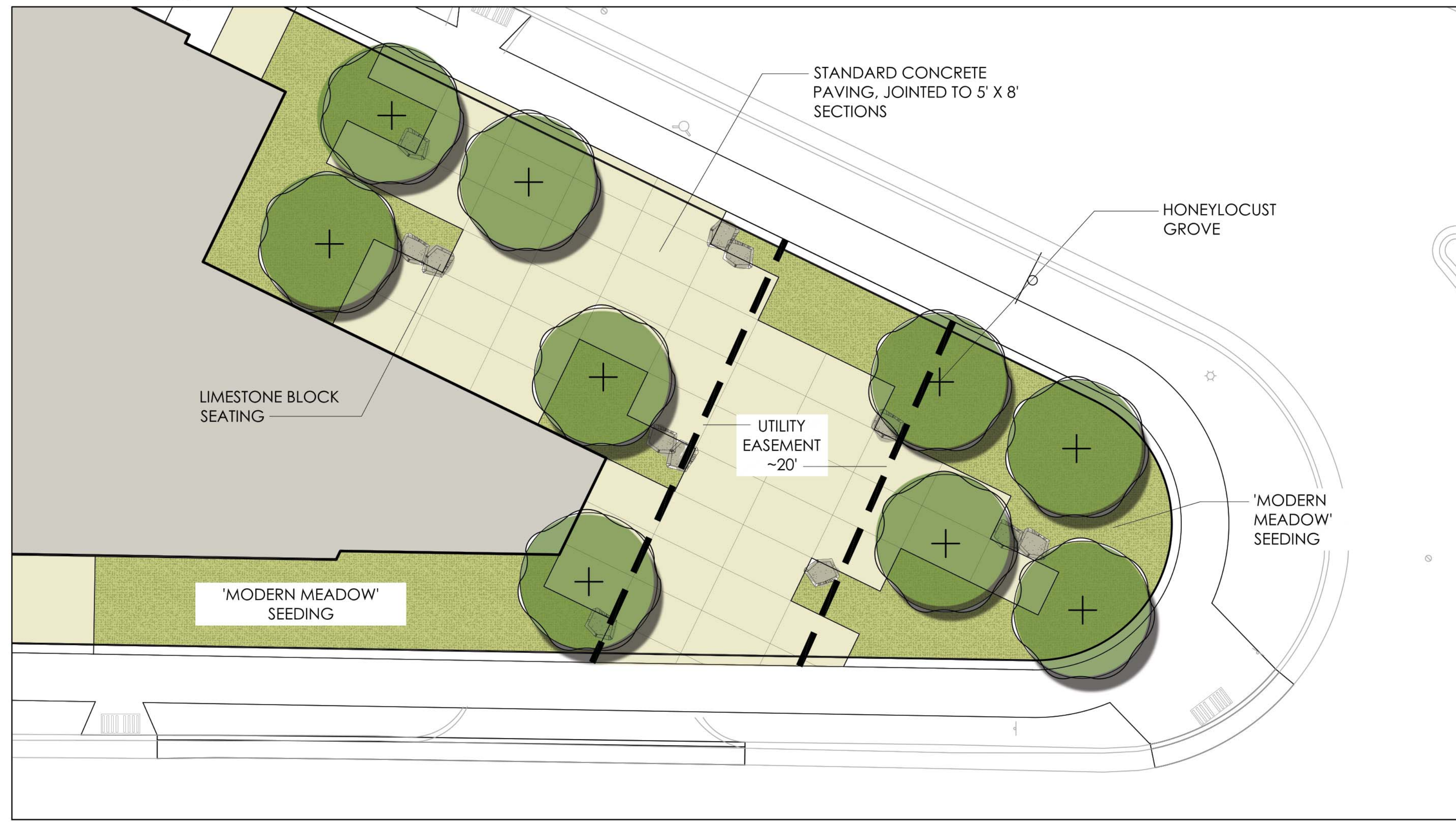
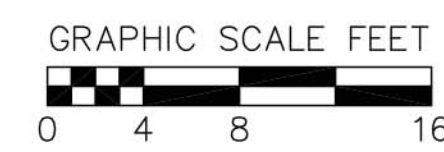
Kirk Keller

Plunkett Raysich Architects, LLP



4 & 20
& CAFE

1 CIVIC SPACE DETAIL



COMMUNITY GARDEN PLOTS
8 RAISED BEDS- 4'X8' EACH

COMMUNITY PATIO
20' X 11'
GRILL, CHAIRS, TABLES

CANOE/KAYAK
STORAGE

STORMWATER

STORMWATER

CIVIC SPACE

FOUNDATION PLANTING-
SOME ORNAMENTAL
GRASSES/NATIVE PERENNIALS
MIXED WITH SHRUBS FOR
STRUCTURE & RESIDENTIAL FEEL

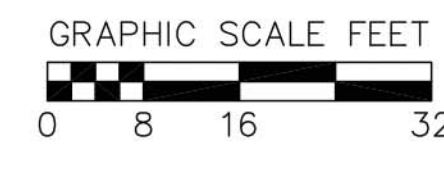
'MODERN MEADOW' SEEDING
WITH PILLARS/ARCH. ELEMENTS
AND UNDERSTORY TREES

FORDEM AVENUE

SHERMAN AVENUE

SHERMAN AVENUE

CAD



REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN
DATE: 8/28/2015
DRAFTER: SVN
CHECKED: MSCH
PROJECT NO.: 150109.00



View from Intersection of Fordem Ave. and Sherman Ave.



View of Fordem Entry



View of Retail





View of Sherman Entry



View down Sherman Ave





North Elevation



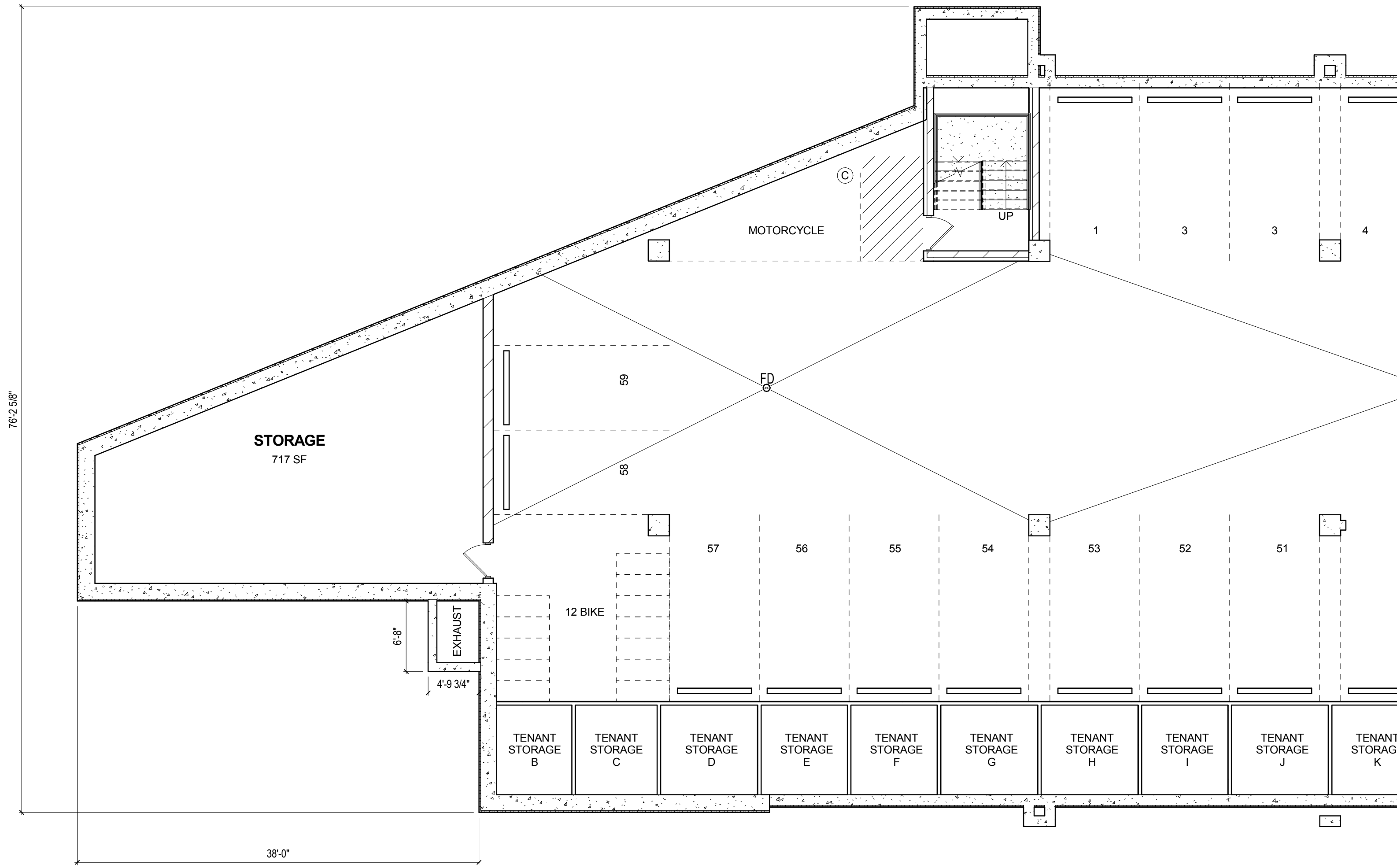
South Elevation



West Elevation



East Elevation



C1
A200 LOWER LEVEL PARKING - NORTH
1/8" = 1'-0"

KEYNOTE LEGEND - CONSTRUCTION TYPES	
TAG	CONSTRUCTION DESCRIPTION
R2	SINGLE PLY ROOFING SYSTEM, 1 HOUR RATED ASSEMBLY UL DESIGN #P822; FULLY ADHERED TPO MEMBRANE ON TAPERED RIGID INSULATION ON 3/4" EXTERIOR WOOD SHEATHING ON 2" WOOD TRUSS ROOF FRAMING WITH FULL-CAVITY BLOWN IN INSULATION, 5/8" TYPE 'C' GYPSUM BOARD ON VAPOR RETARDER ON RESILIENT CHANNELS AT 16" O.C. DIRECTLY SECURED TO UNDERSIDE OF WOOD STRUCTURE.
R2A	SINGLE PLY ROOFING SYSTEM, 1 HOUR RATED ASSEMBLY UL DESIGN #P822; FULLY ADHERED TPO MEMBRANE ON TAPERED RIGID INSULATION ON 3/4" EXTERIOR WOOD SHEATHING ON XXX' WOOD JOIST ROOF FRAMING WITH FULL-CAVITY BLOWN IN INSULATION, 5/8" TYPE 'C' GYPSUM BOARD ON VAPOR RETARDER ON RESILIENT CHANNELS AT 16" O.C. DIRECTLY SECURED TO UNDERSIDE OF WOOD STRUCTURE.
R8	ROOF PATIO SYSTEM, COMPOSITE DECKING ON ADJUSTABLE HEIGHT PEDESTALS, ON EPDM PROTECTION MAT ON ROOF TYPE BELOW.
S1	X' REINFORCED CONCRETE SLAB ON VAPOR RETARDER ON X' DRAINAGE FILL.
S2	X' REINFORCED CONCRETE TOPPING ON X' STRUCTURAL CONCRETE DECK.
S5	FLOORCEILING ASSEMBLY, 1 HOUR RATED ASSEMBLY UL DESIGN #663; 1-1/2" LEVELING GYPSUM UNDERLAYMENT ON 3/4" T&G PLYWOOD SUBFLOOR ON XXX' WOOD JOIST FLOOR FRAMING WITH FULL-CAVITY BLOWN IN INSULATION, 5/8" TYPE 'C' GYP BD ON 12' RES CHANNELS AT 16" O.C. ON BOTTOM OF WOOD FRAMING.
S5A	FLOORCEILING ASSEMBLY, 1 HOUR RATED ASSEMBLY UL DESIGN #663; 1-1/2" LEVELING GYPSUM UNDERLAYMENT ON 3/4" T&G PLYWOOD SUBFLOOR ON XXX' WOOD JOIST FLOOR FRAMING WITH FULL-CAVITY BLOWN IN INSULATION, 5/8" TYPE 'C' GYP BD ON 12' RES CHANNELS AT 16" O.C. ON BOTTOM OF WOOD FRAMING.

NOTE #	FLOOR PLAN NOTE
1	ONE HOUR FIRE RESISTIVE CONSTRUCTION
2	TWO HOUR FIRE RESISTIVE CONSTRUCTION

KEYNOTE LEGEND - EXTERIOR WALL TYPES	
TAG	EXTERIOR WALL DESCRIPTION
W1A	EXTERIOR WALL: MASONRY CAVITY WALL CONSISTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIALS), 1-3/4" AIR SPACE, 9" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON XX' CAST IN PLACE CONCRETE BACKUP WALL WITH ADJUSTABLE (TWO PIECE) HORIZONTAL MASONRY JOINT REINFORCING @ 16" OC (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING), PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSVENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPSVENTS AT TOP/BOTTOM OF CAVITY.
W13	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIALS), 1-3/4" AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY, CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSVENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY AND PROVIDE CAVITY WEEPSVENTS AT TOP AND BOTTOM OF CAVITY.
W14	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT LAF SIDING, 3/4" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING (VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
W4	EXTERIOR WALL (BELOW GRADE): 12" REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL WITH SHEET MEMBRANE WATERPROOFING. TERMINATE ALL MEMBRANE PERIMETER EDGES WITH 1/8" X 1" ALUMINUM COMPRESSION BAR WITH CONTINUOUS SEALANT. (EDIT FOR DAMPROOFING). SHEET MEMBRANE MUST INTERFACE WITH VERTICAL WALL AIR & VAPOR BARRIER LINE. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND FULL HEIGHT VERTICALLY.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES	
TAG	INTERIOR PARTITION DESCRIPTION
FV4	INTERIOR FLOORING (PARTITION): 3-1/2" WOOD STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD.

FLOOR PLAN - SYMBOLS LEGEND			
	NEW WALL/PARTITION		EXISTING WALL TO REMAIN
	NEW DOOR		EXISTING DOOR TO REMAIN
	SECTION REFERENCE		DETAIL REFERENCE
	EXTERIOR ELEVATION		EQUIPMENT
	INTERIOR ELEVATION		WINDOW TYPE
	FLOOR PLAN KEYNOTE		WALL/PARTITION TYPE
	CONSTRUCTION LIMITS		FLOOR DRAIN - PITCH FLOOR TO DRAIN

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. REFER TO SHEET A89X FOR ROOM FINISH SCHEDULE AND NOTES.

C. REFER TO SHEET A89X FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES.

D. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL, NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE (V4) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

ALL CORRIDOR WALLS SHALL BE (V4) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

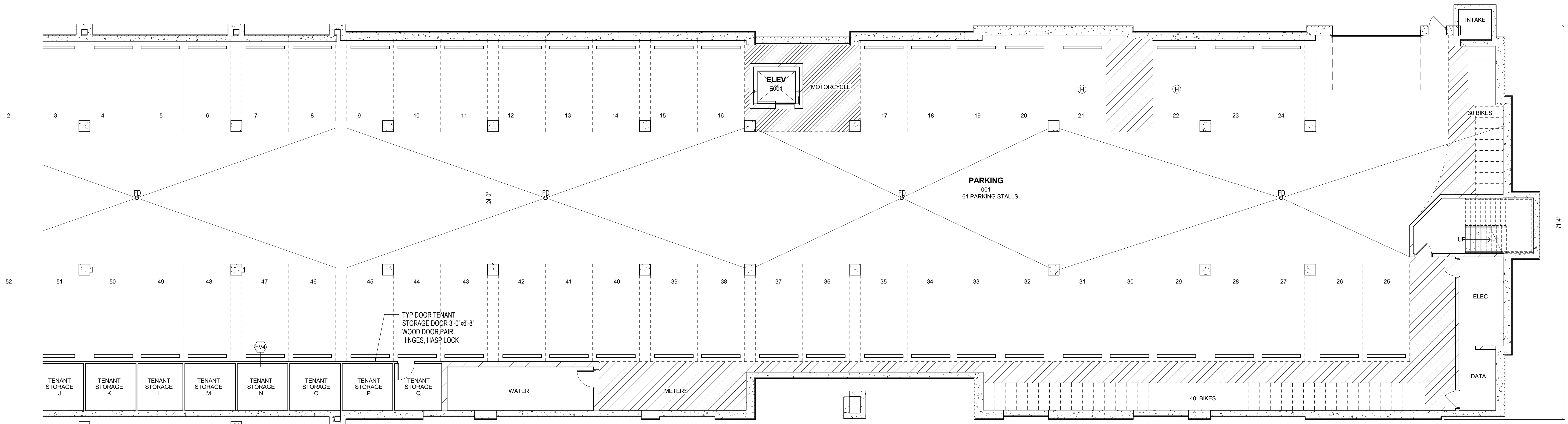
MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL XXXXXX. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

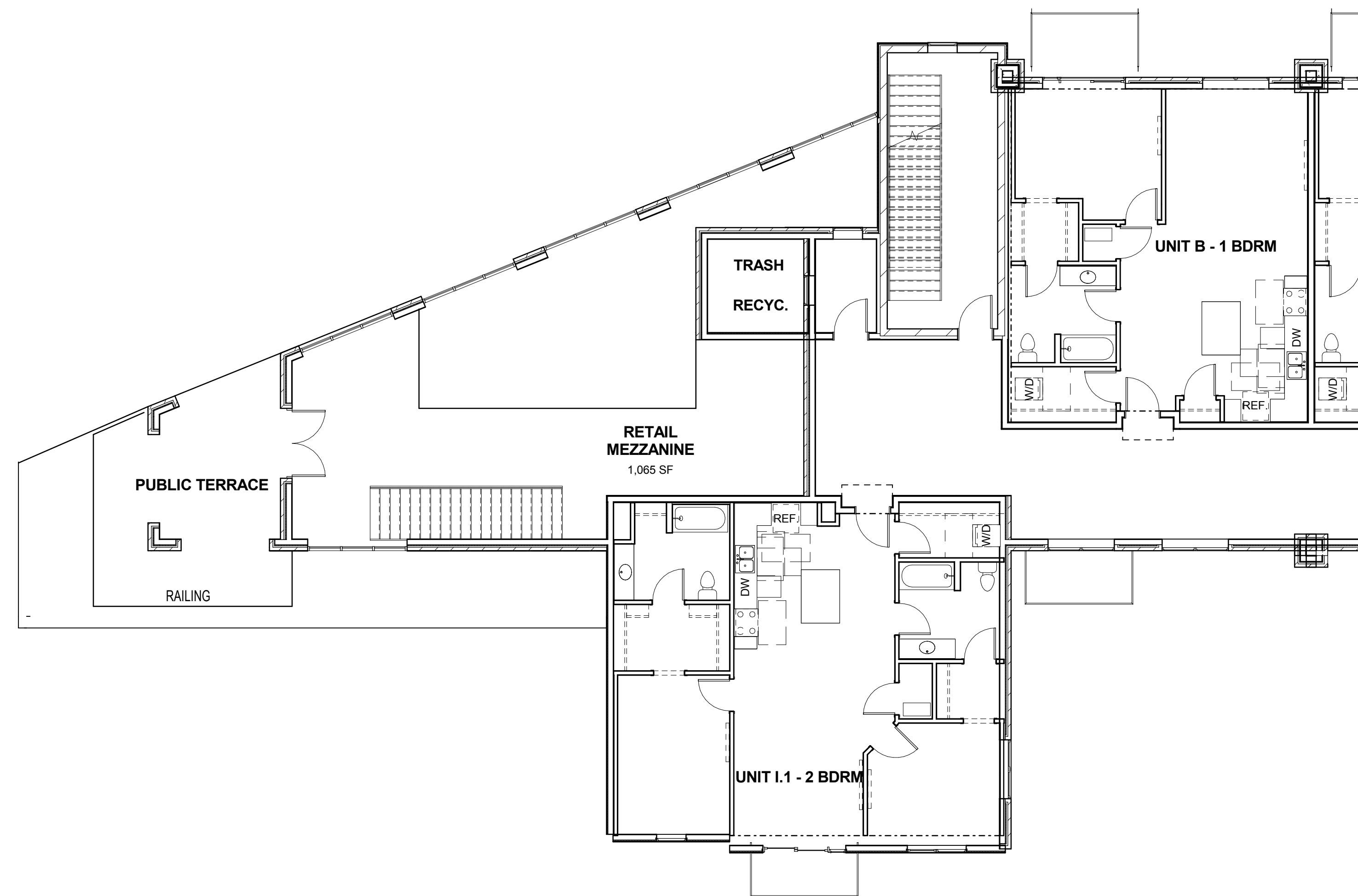


E1
A200 LOWER LEVEL PARKING - SOUTH
1/8" = 1'-0"

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JOHN FISH
MCKENZIE PLACE, LLC
2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

Revisions
Drawn By: Author
Date: 07-26-15
Job No.: 130139-03
Sheet No.: A200



C1 LEVEL 2 FLOOR PLAN - NORTH
A202 1/8" = 1'-0"



E1 LEVEL 2 FLOOR PLAN - SOUTH
A202 1/8" = 1'-0"

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NOT FOR CONSTRUCTION

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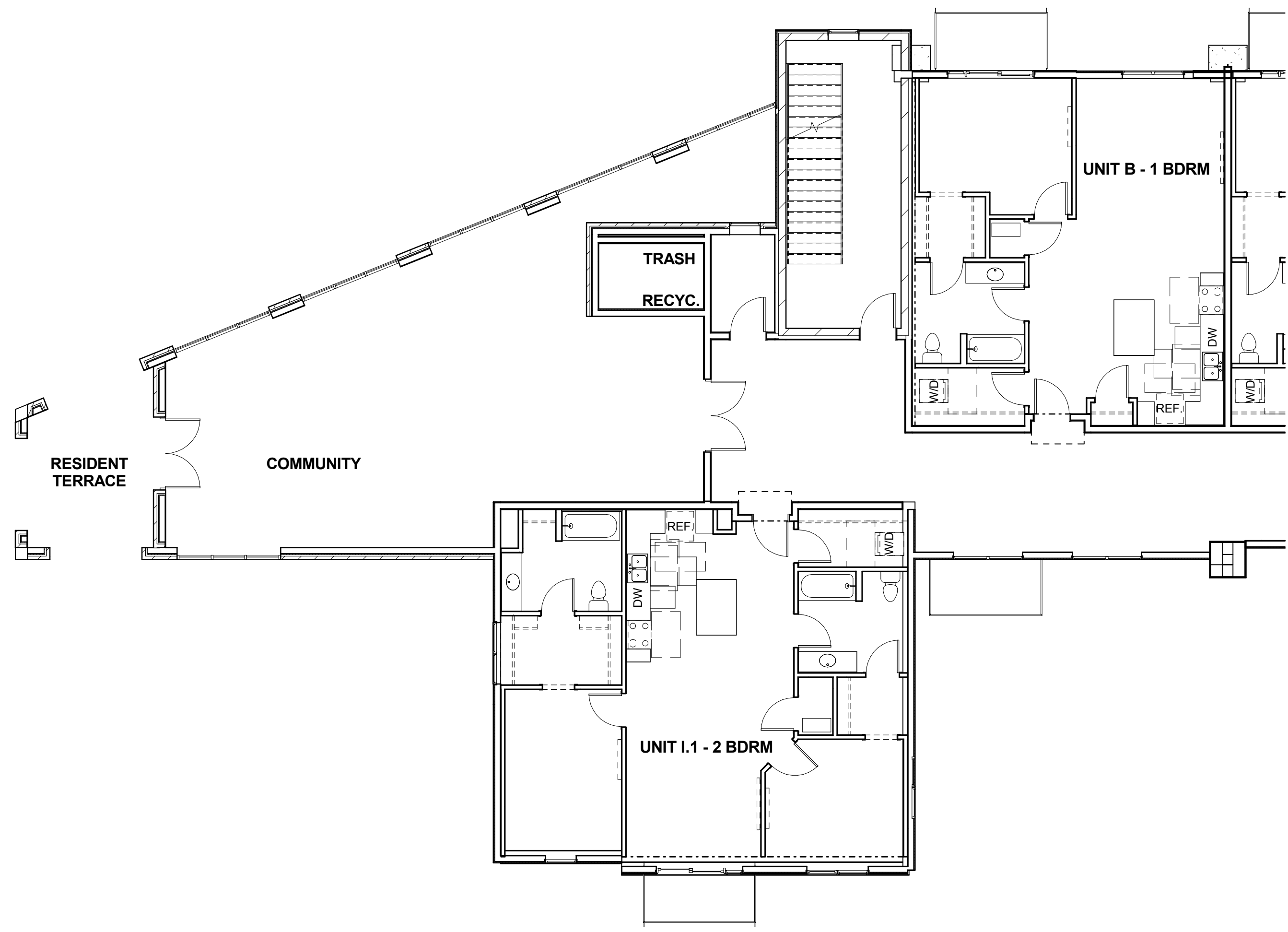
JOHN FISH
MCKENZIE PLACE, LLC

2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

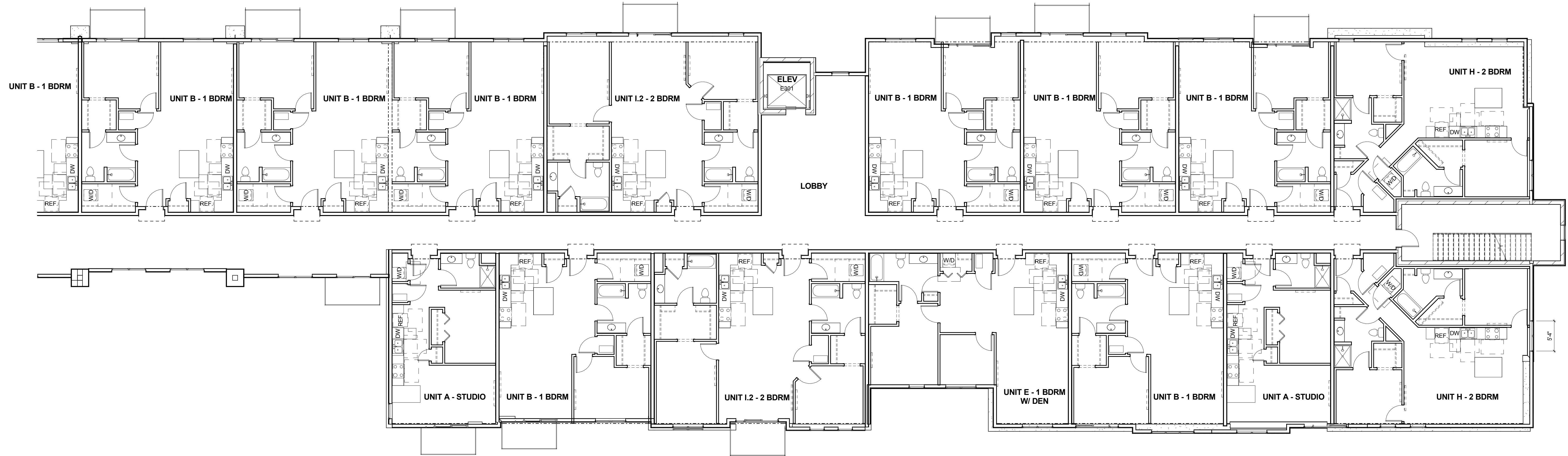
Revisions
Drawn By: Author
Date: 07-26-15
Job No.: 130139-03
Sheet No.:

A202

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C1 LEVEL 3 FLOOR PLAN - NORTH
A203 1/8" = 1'-0"



E1 LEVEL 3 FLOOR PLAN - SOUTH
A203 1/8" = 1'-0"

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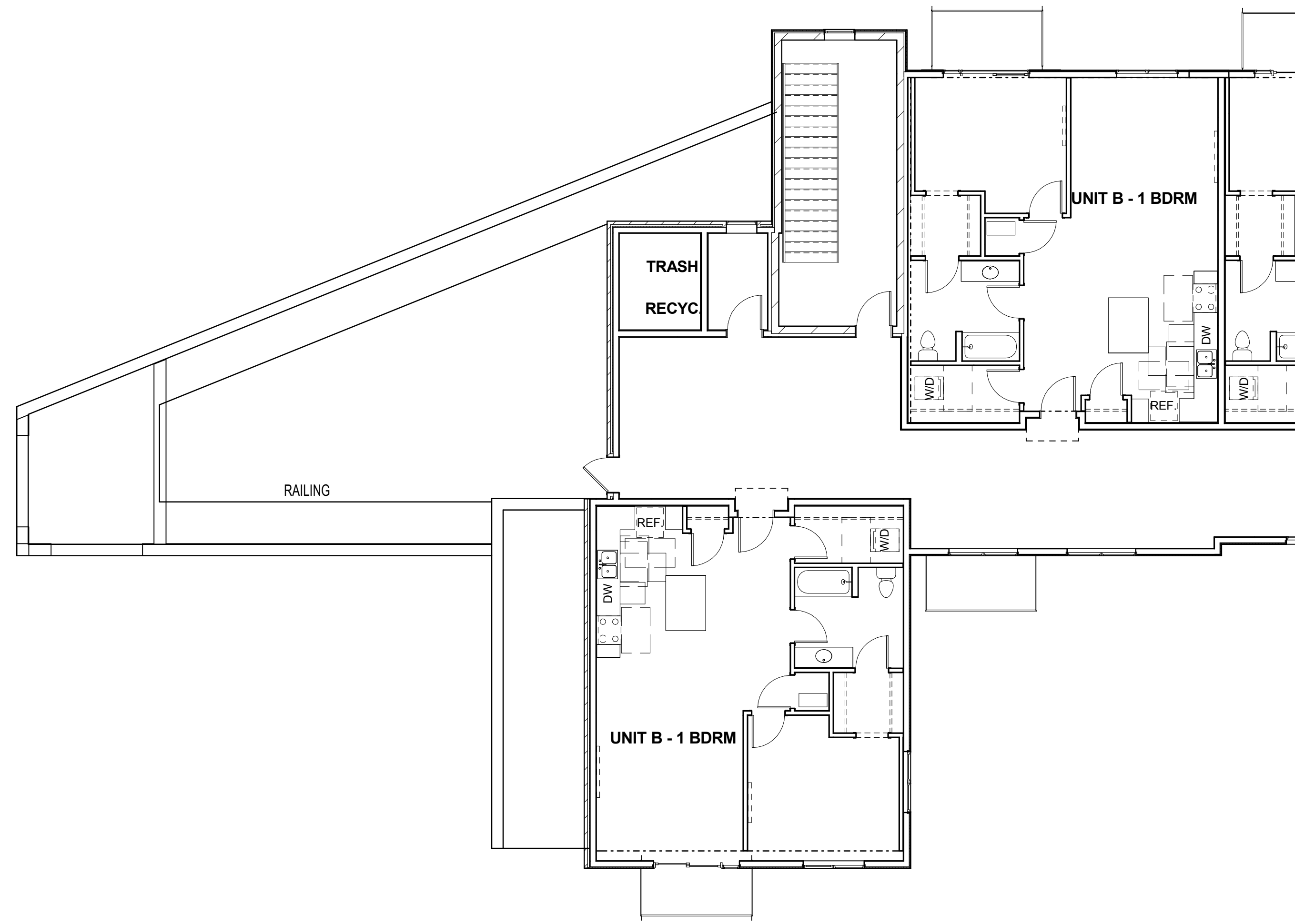
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Revisions	
Revision	Date
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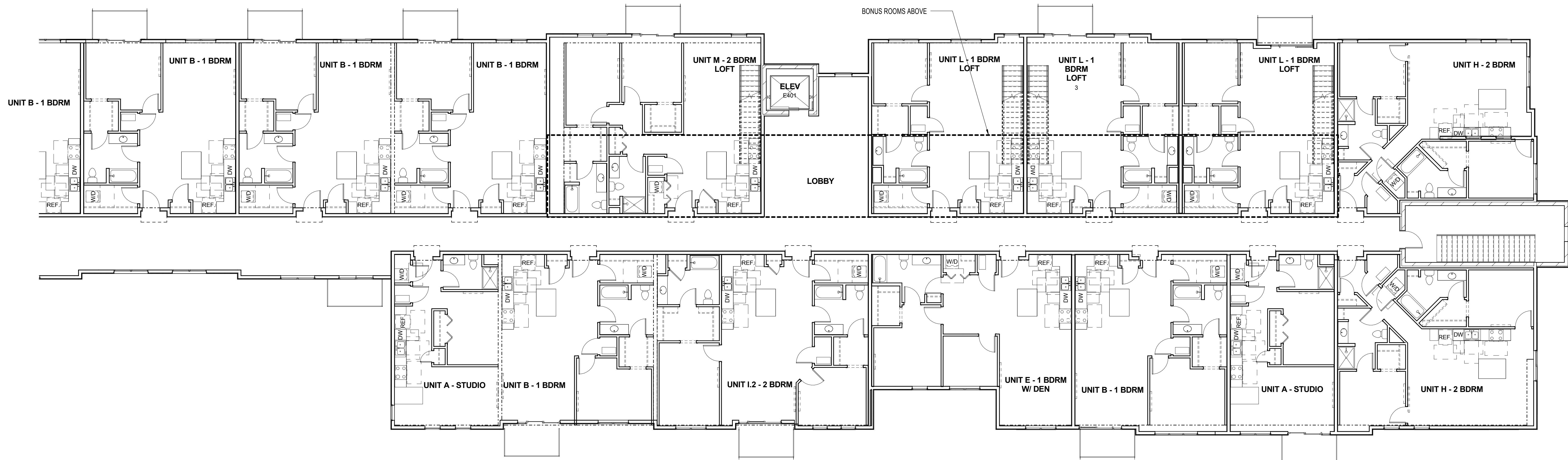
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Sheet No.: A203

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C1 LEVEL 4 FLOOR PLAN - NORTH
A204 1/8" = 1'-0"



E1 LEVEL 4 FLOOR PLAN - SOUTH
A204 1/8" = 1'-0"