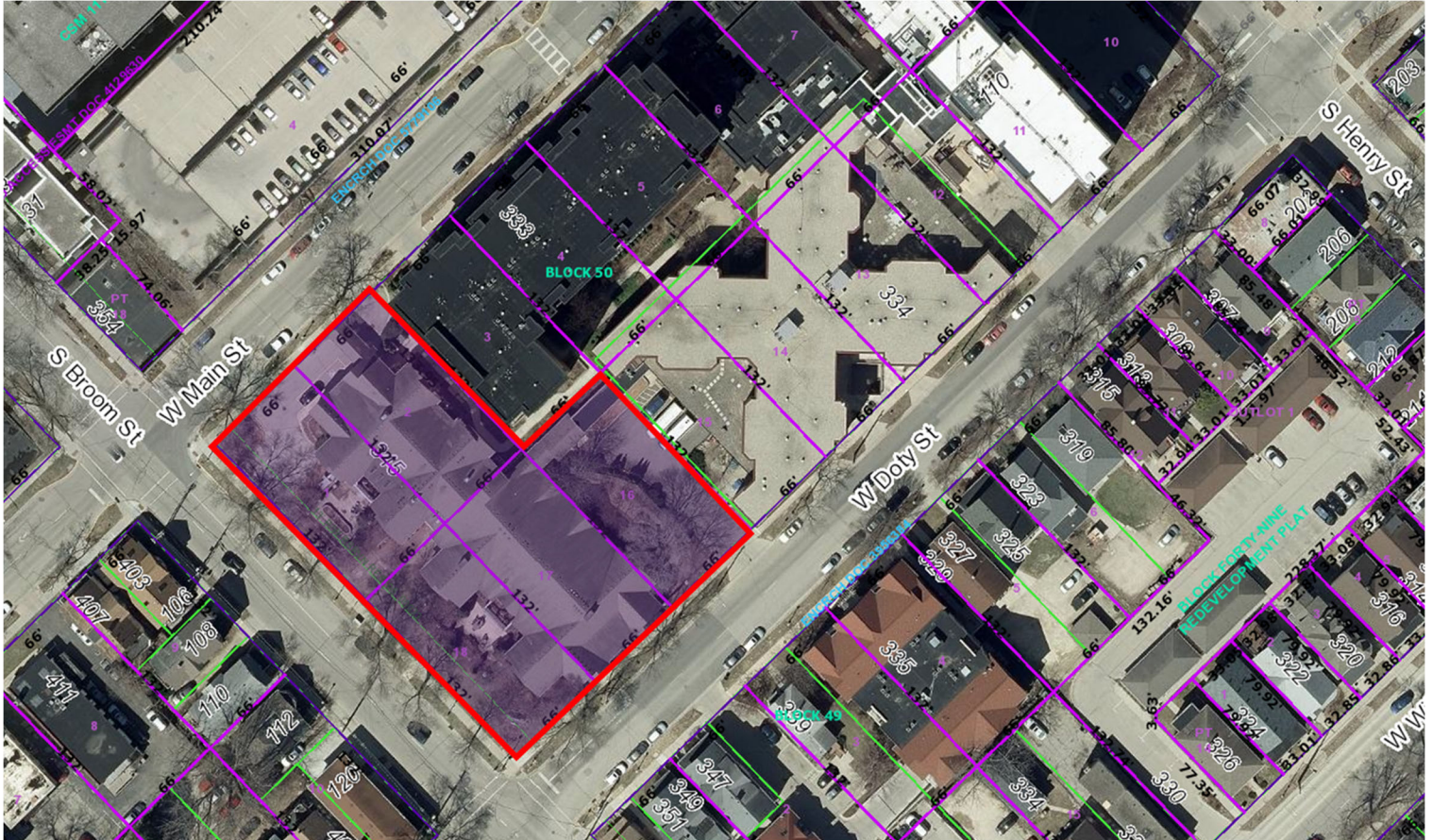


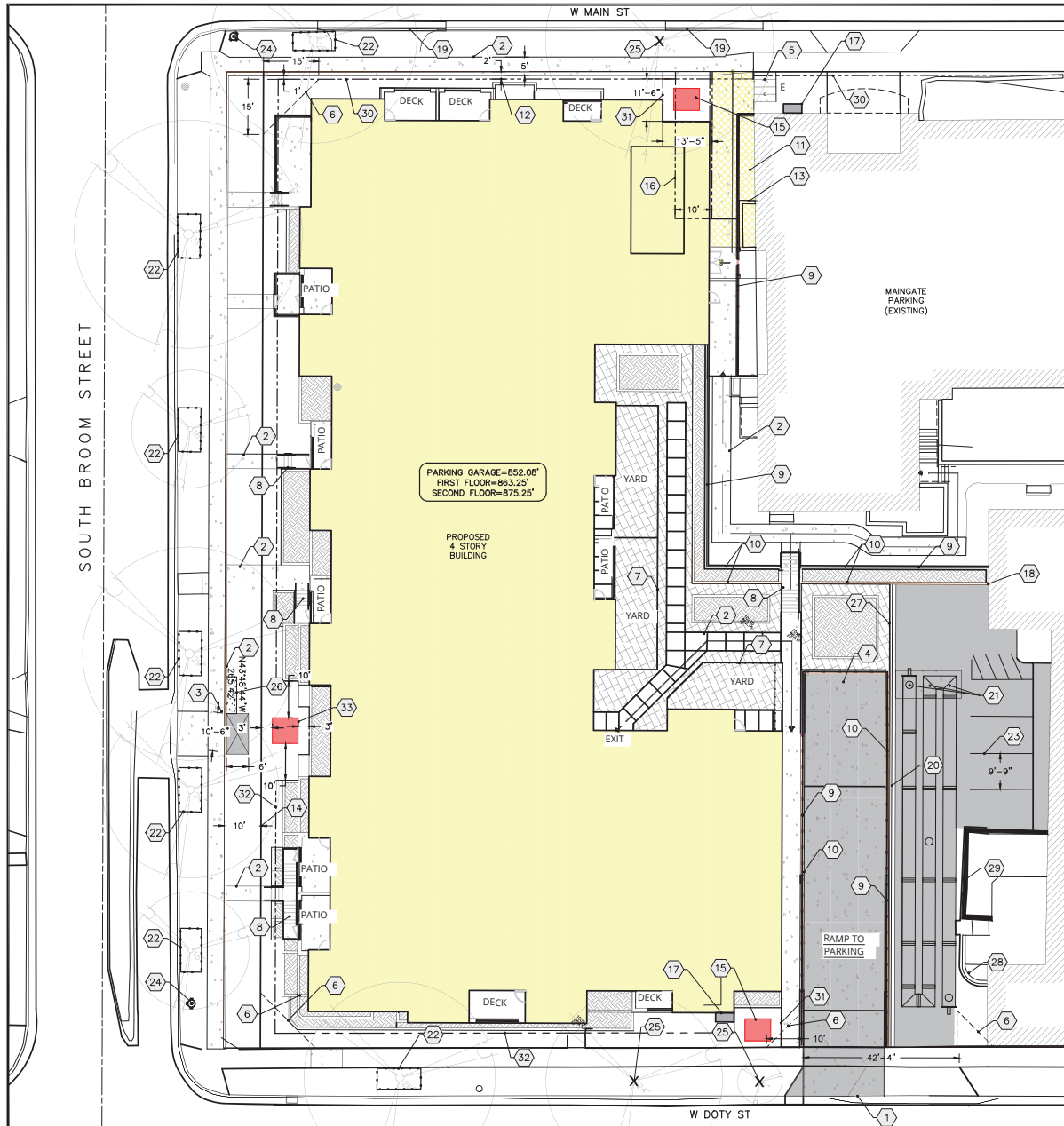
351 W Main Street
Contract 9695
MUNIS 15955
Developer: Capitol Lakes, Inc.



The developer, Capitol Lakes, Inc., received the City of Madison's conditional approval for a one-lot Certified Survey Map, demolition permit to raze an existing assisted living residential building and construction of a 49-unit independent senior apartment building at the property currently addressed as 345 W Main Street to be addressed as 351 W Main Street. The site has frontage on W Main Street, S Broom Street and W Doty Street. The new independent living building will be connected to the Maingate building on W Main Street via a third-floor skybridge to provide access to the entire campus. The project will also include construction of an underground parking garage with 58 total parking stalls.

Summary of Improvements:

- Recording of Certified Survey Map.
- Dedicate a ten (10)-foot wide strip of Right of Way along the officially mapped portion of S. Broom Street.
- Dedicate a two (2)-feet Public Sidewalk easement along W Main Street or as width to be determined and approved by Engineering and Traffic Engineering.
- Grant a Public Sidewalk Easement(s) to the City on the face of this Certified Survey Map one (1)-foot behind the back of the existing sidewalk as currently located at the North and East corners of the parcel.
- Reconstruct public sidewalk, street terrace, curb and gutter, and pavement on W Main Street, S Broom Street, and W Doty Street per plan approved by the City Engineer.
- Construct public storm sewer upgrades in W Doty Street to provide the required storm sewer capacity to serve the private redevelopment project. Replace storm structure in existing driveway to be closed. Complete the public storm sewer upgrades and restore W Doty Street as needed per plans approved by the City Engineer.
- Close abandoned driveways with curb and gutter. Construct new private drive entrance aprons per plans approved by the City Engineer and per the Commercial Driveway Permit approved by the City Traffic Engineer.
- Provide public street terrace tree protection, removals, and plantings per City Forestry approvals.
City Forestry approved removals:
 - W Main Street:
 - 27" Hackberry Tree
 - W Doty Street:
 - 8" Pear Tree
 - 21" Ash Tree
- Construct private sanitary, storm, and water service laterals necessary to serve the private redevelopment project per plans approved by the City Engineer.
- Protect existing public streetlights, signals, and fiber facilities in the project area. Replace detector loops on W Doty Street to be damaged with construction. Coordinate with City Traffic Engineering and City IT on relocations and temporary accommodation for streetlights, signal and fiber as needed to facilitate construction.
- Coordinate project access, street closures, and street occupancy with other projects in the area and as approved by City Traffic Engineering.



STREET TREE NOTES:

- STREET TREE ZONING FENCING IS REQUIRED FOR THIS PROJECT
- FENCING SHALL BE ERECTED PRIOR TO DEMOLITION, GRADING OR CONSTRUCTION BEGINS.
- THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF THE TERRACE, AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK.
- DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE.
- CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

KEY

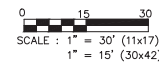
- ASPHALT PAVEMENT
- CONCRETE
- CONCRETE PAVEMENT
- PLANTERS
- GREEN ROOF
- PRIVATE YARD TURF PAVERS
- 5'X5' PAVEMENT PEDESTAL SYSTEM

PLAN KEY

- NEW DRIVEWAY APPROACH IN ACCORDANCE WITH CITY STANDARDS. CONTRACTOR TO OBTAIN STREET EXCAVATION PERMIT FROM THE CITY TO WORK IN THE RIGHT-OF-WAY
- CONCRETE SIDEWALK, TYP.
- BUS SHELTER
- CONCRETE PAVEMENT
- BIKE RACK TO BE DERO PART# BH-FT-EPX BIKE RACKS SURFACE MOUNT POWDER COAT FINISH
- VISION TRIANGLE
- 4' HIGH ALUMINUM FENCE
- STAIR W/METAL RAILING BOTH SIDES, SEE ARCHITECTURAL PLANS
- METAL GUARDRAIL
- CONCRETE RETAINING WALL
- METAL CANOPY WITH SIGNAGE (OPEN AIR)
- 2' SIDEWALK EASEMENT
- EXISTING GRATE FOR GARAGE EXHAUST TO REMAIN
- 10' PROPERTY LINE ADJUSTMENT
- TRANSFORMER
- EXISTING 10' WIDE ELECTRIC EASEMENT TO BE RELOCATED
- TERMINATION CABINET
- REPAIR SKILLED NURSING WALL AFFECTED BY BRIDGE DEMOLITION
- 30" CURB AND GUTTER
- 18" CURB AND GUTTER
- UNDERGROUND RETENTION SYSTEM
- PRESERVE AND PROTECT STREET TREE (SEE STREET TREE NOTES)
- 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
- EXISTING HYDRANT
- STREET TREE REMOVED (X) REPLACEMENT SPECIES TO BE COORDINATED W/CITY FORESTER
- BENCH AND CONCRETE PAD
- HEAT PUMP AREA
- REPLACE CONCRETE CURB AS NEEDED TO INSTALL STORM CHAMBERS
- REPLACE RETAINING WALL AS NEEDED TO INSTALL STORM CHAMBERS
- SIDEWALK EASEMENT
- MG&E EASEMENT AROUND TRANSFORMER
- 4' MG&E EASEMENT
- MG&E SWITCHGEAR

NOTE:

RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS



DATE	1-14-26
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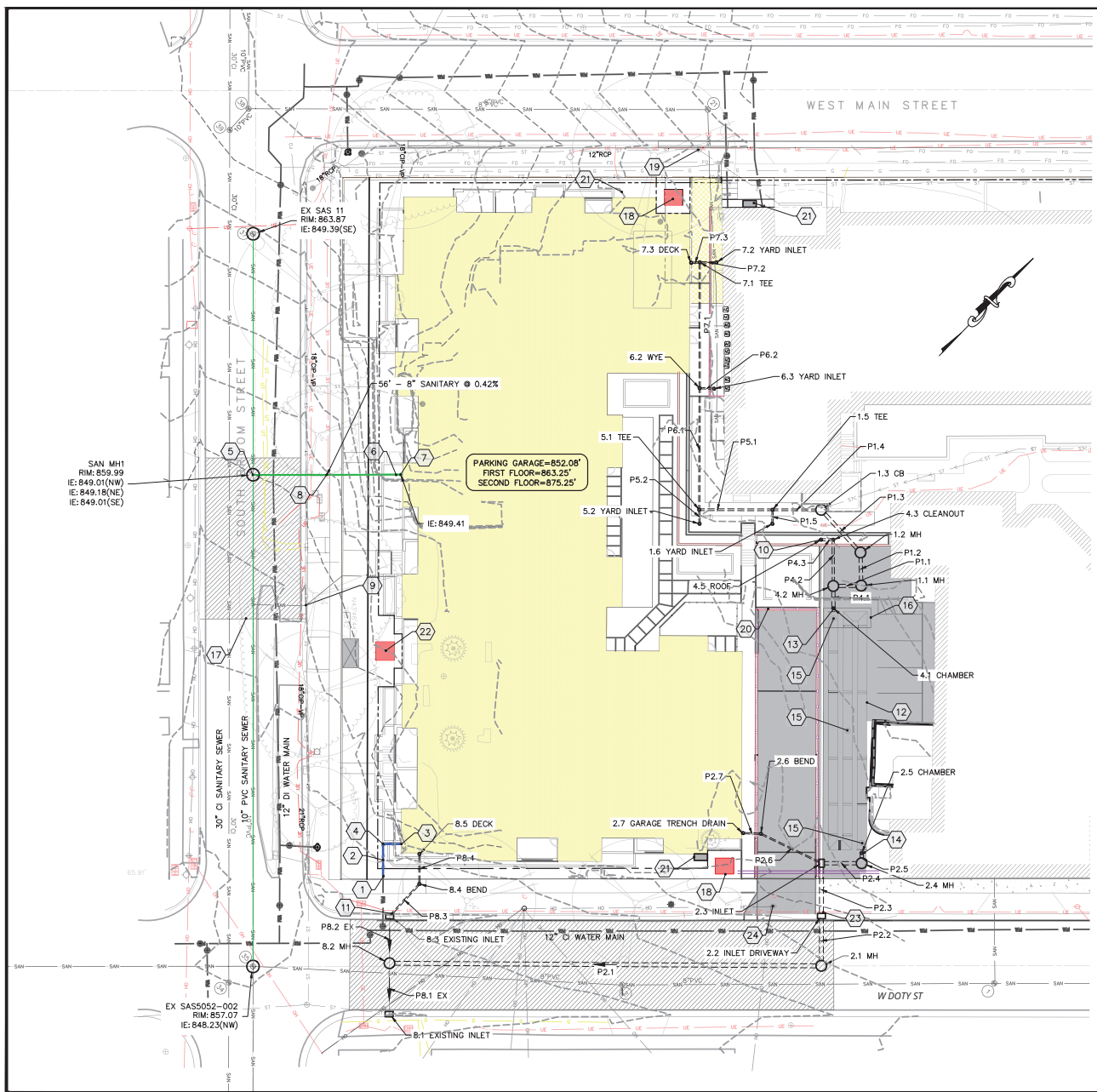
PROFESSIONAL ENGINEERING LLC

MADISON, WISCONSIN

**PRS - CAPITOL LAKES
SITE PLAN**

345 WEST MAIN STREET

C201



UTILITY NOTES

- A. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- B. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF PREVIOUS PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- C. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS.
- D. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
- E. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY OF MADISON PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- F. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
- G. ALL STORM SEWER PIPE TO BE ADS N-12 OR RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS AS NOTED ON THE STORM SEWER SCHEDULE. ALL BRANCH CONNECTIONS TO BE WYES WITH 45 DEGREE BENDS.
- H. DRAIN BASINS 18" IN DIAMETER OR SMALLER TO BE ADS NYLOPLAST OR APPROVED EQUAL. NYLOPLAST DRAIN BASIN GRATES TO BE BRONZE.
- I. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
- J. ALL WATER MAIN 4" AND LARGER SHALL BE DUCTILE IRON. FITTINGS TO HAVE MEGA-LUG CONNECTIONS. WATER SERVICES 2" AND SMALLER SHALL BE TYPE K, COPPER.
- K. SANITARY SEWER MAIN AND SERVICES SHALL BE SDR-35 PVC. MANHOLES TO BE PRECAST WITH RUBBER BOOTS.
- M. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
- N. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
- O. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED WITHIN 5' OF THE PROPOSED BUILDING(S) AND STAKED.
- P. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
- Q. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
- R. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.
- S. CLEANOUTS WILL REQUIRE FROST SLEEVES.
- T. CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY.

PLAN KEY

- 1 CONNECT TO EXISTING 6" WATER LATERAL PER CITY STANDARDS
- 2 6" D.I. WATER SERVICE, VERIFY SIZE WITH ARCHITECT
- 3 CONNECT TO BUILDING WATER SERVICE, SEE PLUMBING PLANS
- 4 WATER BEND, TYPICAL
- 5 CONNECT TO EXISTING 10" SANITARY MAIN IN ACCORDANCE WITH CITY STANDARDS
- 6 SANITARY CLEANOUT, TYPICAL
- 7 CONNECT TO SANITARY BUILDING SEWER, SEE PLUMBING PLANS
- 8 6" SANITARY SEWER AT 1.1% SLOPE MINIMUM, VERIFY SIZE WITH PLUMBING DESIGNER
- 9 PERMANENTLY PLUG EXISTING 4" SANITARY LATERAL IN ACCORDANCE WITH CITY STANDARDS
- 10 CONNECT TO ROOF DRAINAGE SYSTEM. CONTRACTOR TO VERIFY FINAL DRAIN LOCATION WITH PLUMBING DESIGNER PRIOR TO CONNECTING
- 11 CONNECT TO STORM SEWER IN ACCORDANCE WITH CITY STANDARDS
- 12 UNDERGROUND STORAGE CHAMBERS
- 13 CONNECT TO 15" INLET PIPE STUB
- 14 CONNECT TO 15" OUTLET PIPE STUB
- 15 24" RISER, WITH NEENAH R-1556-A SOLID LID
- 16 CONCRETE PAD AROUND RISER
- 17 UTILITY PATCH IN ACCORDANCE WITH CITY STANDARDS W/CURB AND ASPHALT REPLACED AND TERRACE RESTORED
- 18 TRANSFORMER. COORDINATE FINAL LOCATION WITH MG&E
- 19 REPLACE EXISTING MANHOLE CASTING WITH NEENAH 3067 CASTING
- 20 STORMWATER RUNOFF DRAINING TO UNDERGROUND PARKING SHALL DRAIN TO A SUMP PUMP THAT DISCHARGES TO GRADE THROUGH AN AIR GAP. PUMP SIZING SHALL BE FOR 100 YEAR STORM EVENT. MINIMUM PUMP DISCHARGE RATE SHALL BE 0.56 CFS (210 GPM). PUMPING SYSTEM SHALL BE DESIGNED BY BUILDING PLUMBER. PUMP TO DISCHARGE TO 2.7 GARAGE TRENCH DRAIN
- 21 TERMINATION CABINET. COORDINATE FINAL LOCATION WITH MG&E
- 22 SWITCHGEAR. COORDINATE FINAL LOCATION WITH MG&E
- 23 COORDINATE WITH TRAFFIC ENGINEERING WHEN CROSSING UNDERGROUND ELECTRICAL
- 23 2- 4" PVC ELECTRICAL CONDUITS TO SERVE FUTURE PHASES
- 24 RELOCATE ELECTRICAL POLE. COORDINATE WORK WITH MG&E

0 20 40
SCALE : 1" = 40' (11x17)
1" = 20' (30x42)

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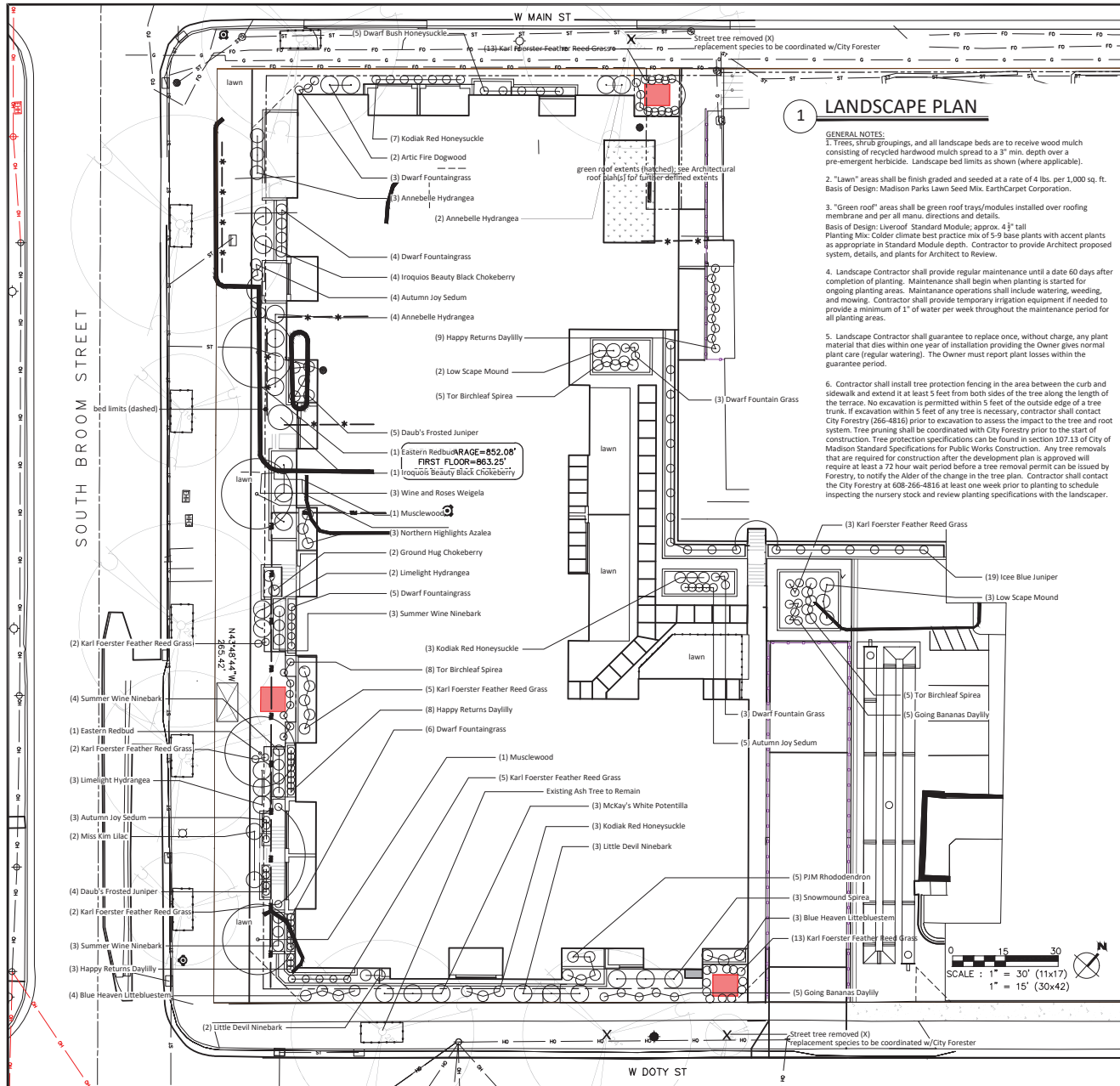
PROFESSIONAL ENGINEERING LLC

MADISON, WISCONSIN

PRS - CAPITOL LAKES
UTILITY PLAN

345 WEST MAIN STREET

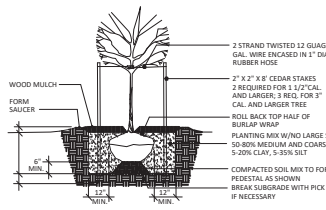
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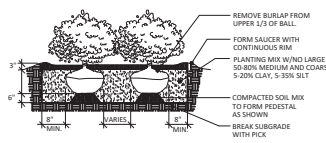
LANDSCAPE PLAN

GENERAL NOTES:

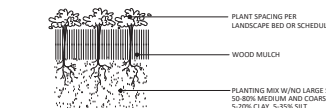
1. Trees, shrub groupings, and all landscape beds are to receive wood mulch consisting of recycled hardwood mulch spread to a 3" min. depth over a pre-emergent herbicide. Landscape bed limits as shown (where applicable).
2. "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation.
3. "Green roof" areas shall be green roof trays/modules installed over roofing membrane and per all manu. directions and details. Basis of Design: Liveroof Standard Module; approx. 4 1/2" tall. Planting Mix: Colder climate best practice mix of 5-8 base plants with accent plants as appropriate in Standard Module depth. Contractor to provide Architect proposed system, details, and plants for Architect to Review.
4. Landscape Contractor shall provide regular maintenance until a date 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.
5. Landscape Contractor shall guarantee to replace once, without charge, any plant material that dies within one year of installation providing the Owner gives normal plant care (regular watering). The Owner must report plant losses within the guarantee period.
6. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of a tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (266-4816) prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry prior to the start of construction. Tree protection specifications can be found in section 107.13 of City of Madison Standard Specifications for Public Works Construction. Any tree removals that are required for construction after the development plan is approved will require at least a 72 hour wait period before a tree removal permit can be issued by Forestry, to notify the Alder of the change in the tree plan. Contractor shall contact the City Forestry at 266-4816 at least one week prior to planting to schedule inspecting the nursery stock and review planting specifications with the landscaper.



TREE PLANTING



SHRUB PLANTING



PERENNIAL PLANTING

Landscape Calculations and Distribution								
One (5) landscape points shall be provided per each (300) sf of developed area								
Total sf of developed area this project = 5,677 sf								
Developed area divided by (300) x 5 = 94 Points Required								
716 Total Points Provided (94 Required)								
Development Frontage Landscaping								
Total sf of lot frontage = 597 (this project)								
Required Trees = 20								
Provided Trees = *4								
Provided Shrubs = *28								
Owner/Architect Request Waiver by Zoning Administrator to reduce required frontage plantings due to limiting site conditions and size of existing City of Madison street/terrace trees.								
Tabulation of Points and Credits (includes Development Frontage Landscaping):								
	Plant Type/Element	Min. size	Points	Existing	Qty. Pts.	Proposed	Qty. Pts.	
Trees	Oversight Deciduous Tree	2 1/2" cal.	35	-	-	2	70	
	Ornamental tree	1 1/2" cal.	15	-	-	2	30	
	Upright evergreen shrub	3-4 feet tall	10	-	-	-	-	
	Shrub, deciduous	18" or 3 gal.	3	-	-	98	294	
	Shrub, evergreen	18" or 3 gal.	4	-	-	28	112	
	Ornamental grasses/perennials	18" or 3 gal.	2	-	-	105	210	
	Ornamental fence or wall	na	4 per 10 lf	-	-	-	-	
	Total						716	
	Shrubs	Master Plant List			Scientific Name		Plant Size	Qty.
		Muscledwood			Carpinus caroliniana		2" cal.	2
Eastern Redbud				Cercis canadensis		1 1/2" cal.	2	
Arctic Fire Dogwood				Cornus stolonifera Arctic Fire		24" ht.	2	
Low Scape Mound				Aronia melanocarpa		18" ht.	5	
Wine and Roses Weigela				Weigela florida		18" ht.	3	
Summer Wine Ninebark				Physocarpus opulifolius		18" ht.	7	
Annebel Hydrangea				Hydrangea arborescens 'Annabelle'		24" ht.	9	
Dwarf Bush Honeysuckle				Diervilla lonicera		18" ht.	5	
PJM Rhododendron				Rhododendron 'Peter J. Mezitt'		18" ht.	5	
Perennials	Northern Highlights Azalea			Azalea x 'Northern Hi-Lights'		18" ht.	3	
	Limelight Hydrangea			Hydrangea paniculata 'Limelight'		24" ht.	5	
	McKay's White Potentilla			Potentilla fruticosa 'McKay's White'		18" ht.	3	
	Kodiak Red Honeysuckle			Diervilla 'Kodiak Red'		18" ht.	13	
	Little Devil Ninebark			Physocarpus opulifolius 'Little Devil'		18" ht.	5	
	Summer Wine Ninebark			Physocarpus opulifolius		18" ht.	3	
	Tor Birchleaf Spirea			Spiraea betulifolia 'Tor'		18" ht.	18	
	Ground Hug Chokeberry			Aronia melanocarpa		18" ht.	2	
	Iroquois Beauty Black Chokeberry			Aronia melanocarpa 'Morton'		24" ht.	5	
	Miss Kim Lilac			Syringa pubescens subsp. patula		18" ht.	2	

DATE
1-14-26

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**PROFESSIONAL
ENGINEERING**
LLC

MADISON, WISCONSIN

345 WEST MAIN STREET

L100

SHEET 1 OF 7