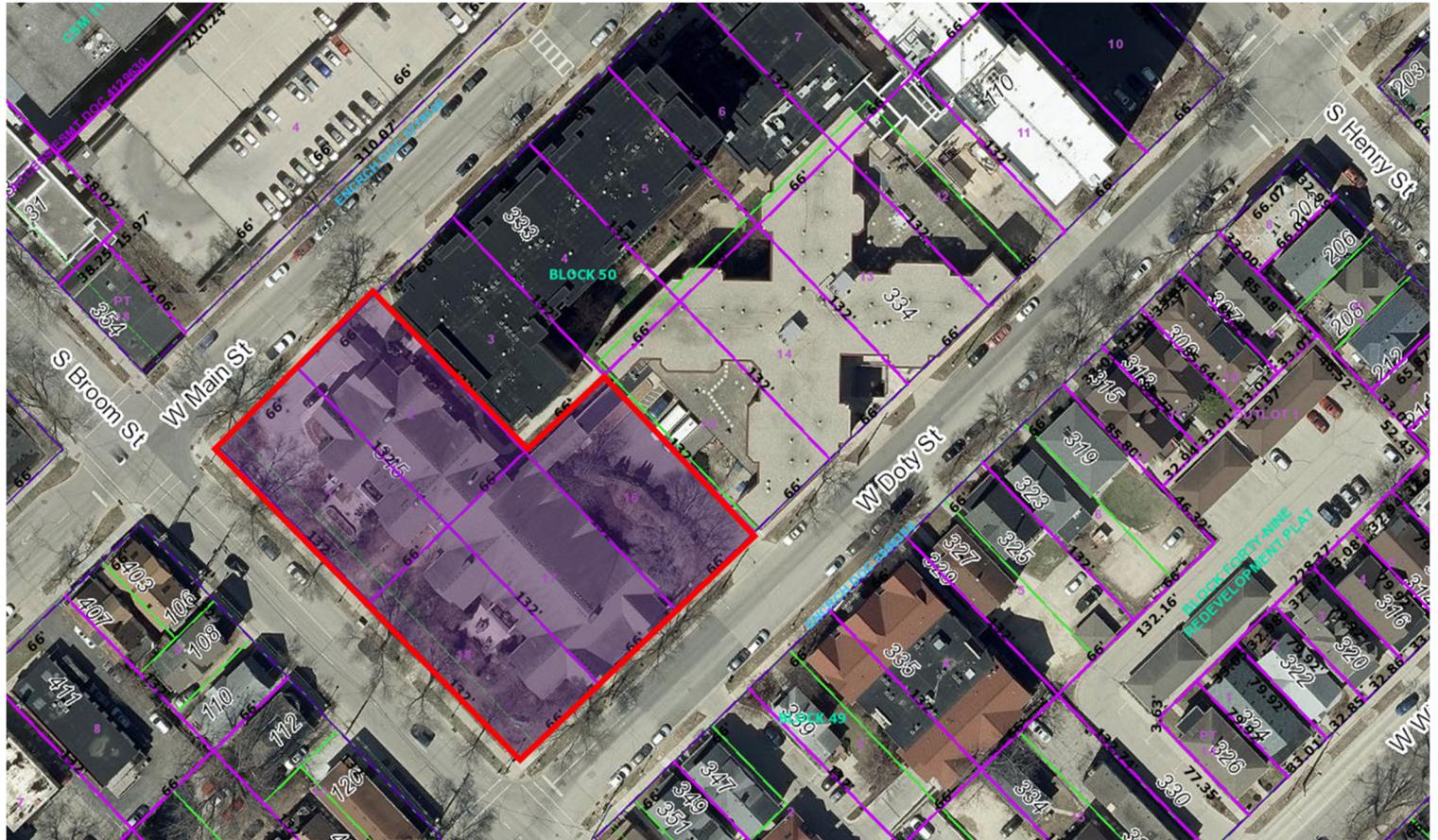


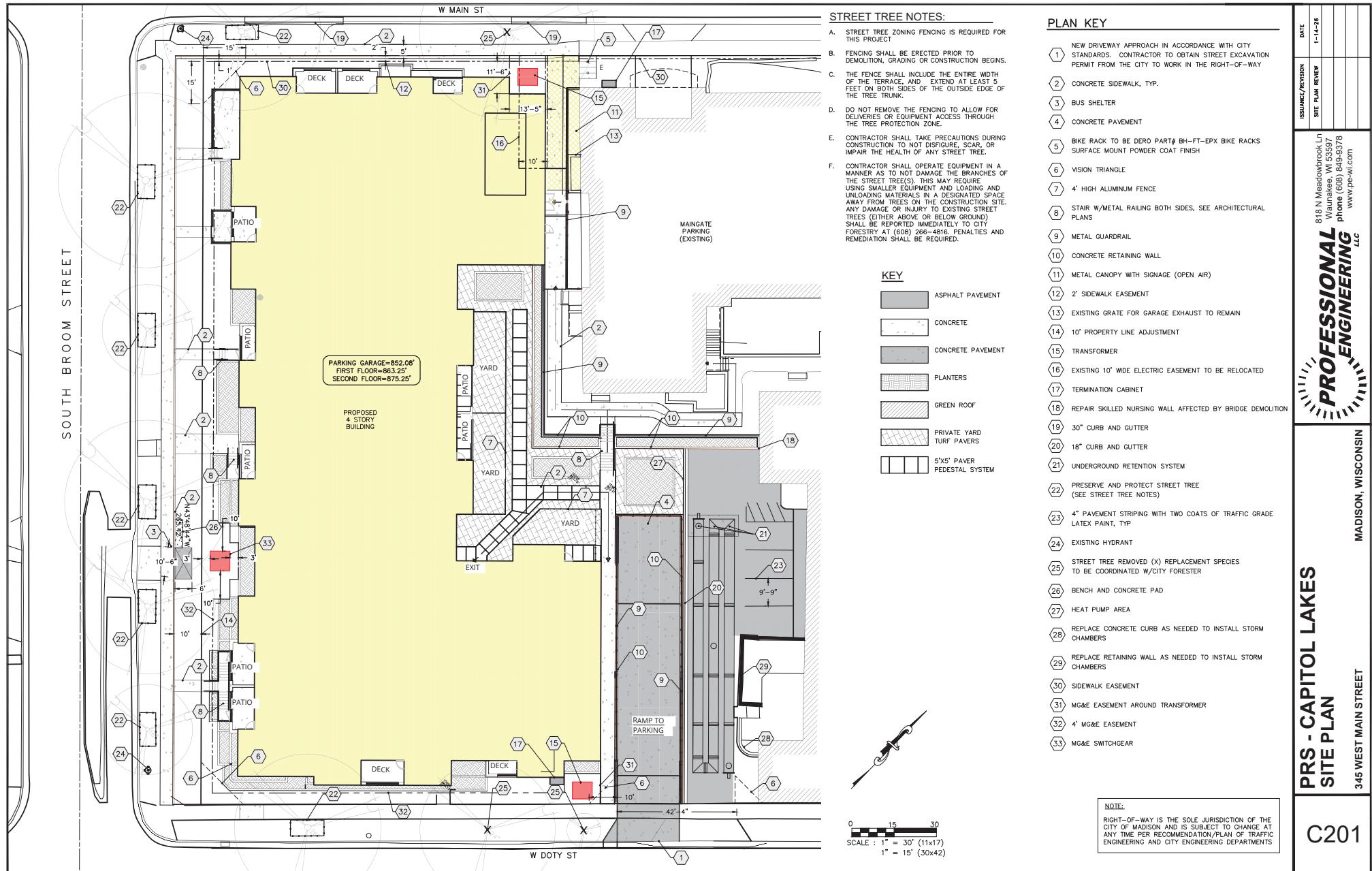
**351 W Main Street**  
**Contract 9695**  
**MUNIS 15955**  
**Developer: Capitol Lakes, Inc.**

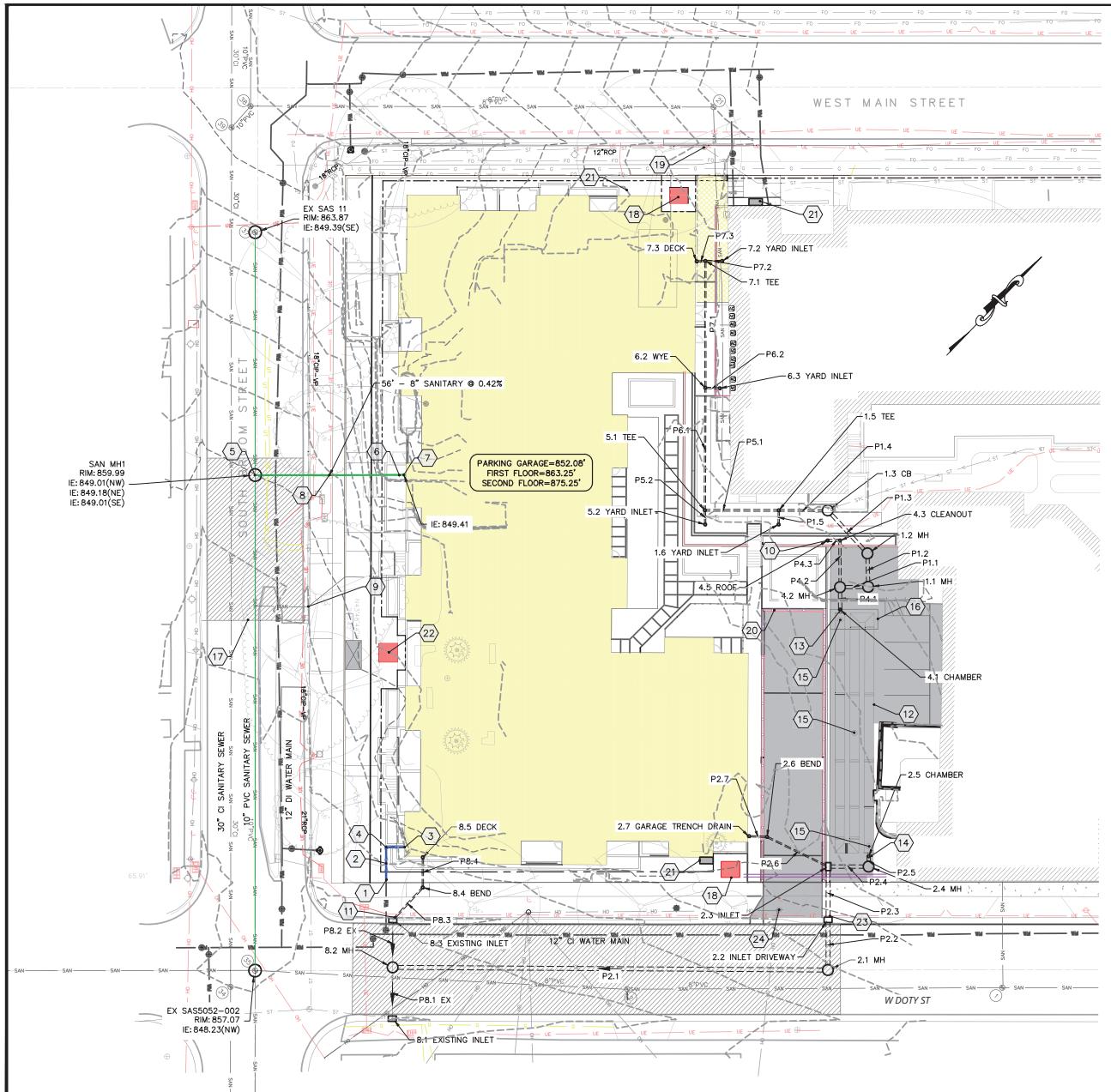


The developer, Capitol Lakes, Inc., received the City of Madison's conditional approval for a one-lot Certified Survey Map, demolition permit to raze an existing assisted living residential building and construction of a 49-unit independent senior apartment building at the property currently addressed as 345 W Main Street to be addressed as 351 W Main Street. The site has frontage on W Main Street, S Broom Street and W Doty Street. The new independent living building will be connected to the Maingate building on W Main Street via a third-floor skybridge to provide access to the entire campus. The project will also include construction of an underground parking garage with 58 total parking stalls.

**Summary of Improvements:**

- Recording of Certified Survey Map.
- Dedicate a ten (10)-foot wide strip of Right of Way along the officially mapped portion of S. Broom Street.
- Dedicate a two (2)-feet Public Sidewalk easement along W Main Street or as width to be determined and approved by Engineering and Traffic Engineering.
- Grant a Public Sidewalk Easement(s) to the City on the face of this Certified Survey Map one (1)-foot behind the back of the existing sidewalk as currently located at the North and East corners of the parcel.
- Reconstruct public sidewalk, street terrace, curb and gutter, and pavement on W Main Street, S Broom Street, and W Doty Street per plan approved by the City Engineer.
- Construct public storm sewer upgrades in W Doty Street to provide the required storm sewer capacity to serve the private redevelopment project. Replace storm structure in existing driveway to be closed. Complete the public storm sewer upgrades and restore W Doty Street as needed per plans approved by the City Engineer.
- Close abandoned driveways with curb and gutter. Construct new private drive entrance aprons per plans approved by the City Engineer and per the Commercial Driveway Permit approved by the City Traffic Engineer.
- Provide public street terrace tree protection, removals, and plantings per City Forestry approvals. City Forestry approved removals:
  - W Main Street:
    - 27" Hackberry Tree
  - W Doty Street:
    - 8" Pear Tree
    - 21" Ash Tree
- Construct private sanitary, storm, and water service laterals necessary to serve the private redevelopment project per plans approved by the City Engineer.
- Protect existing public streetlights, signals, and fiber facilities in the project area. Replace detector loops on W Doty Street to be damaged with construction. Coordinate with City Traffic Engineering and City IT on relocations and temporary accommodation for streetlights, signal and fiber as needed to facilitate construction.
- Coordinate project access, street closures, and street occupancy with other projects in the area and as approved by City Traffic Engineering.



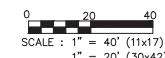


## UTILITY NOTES

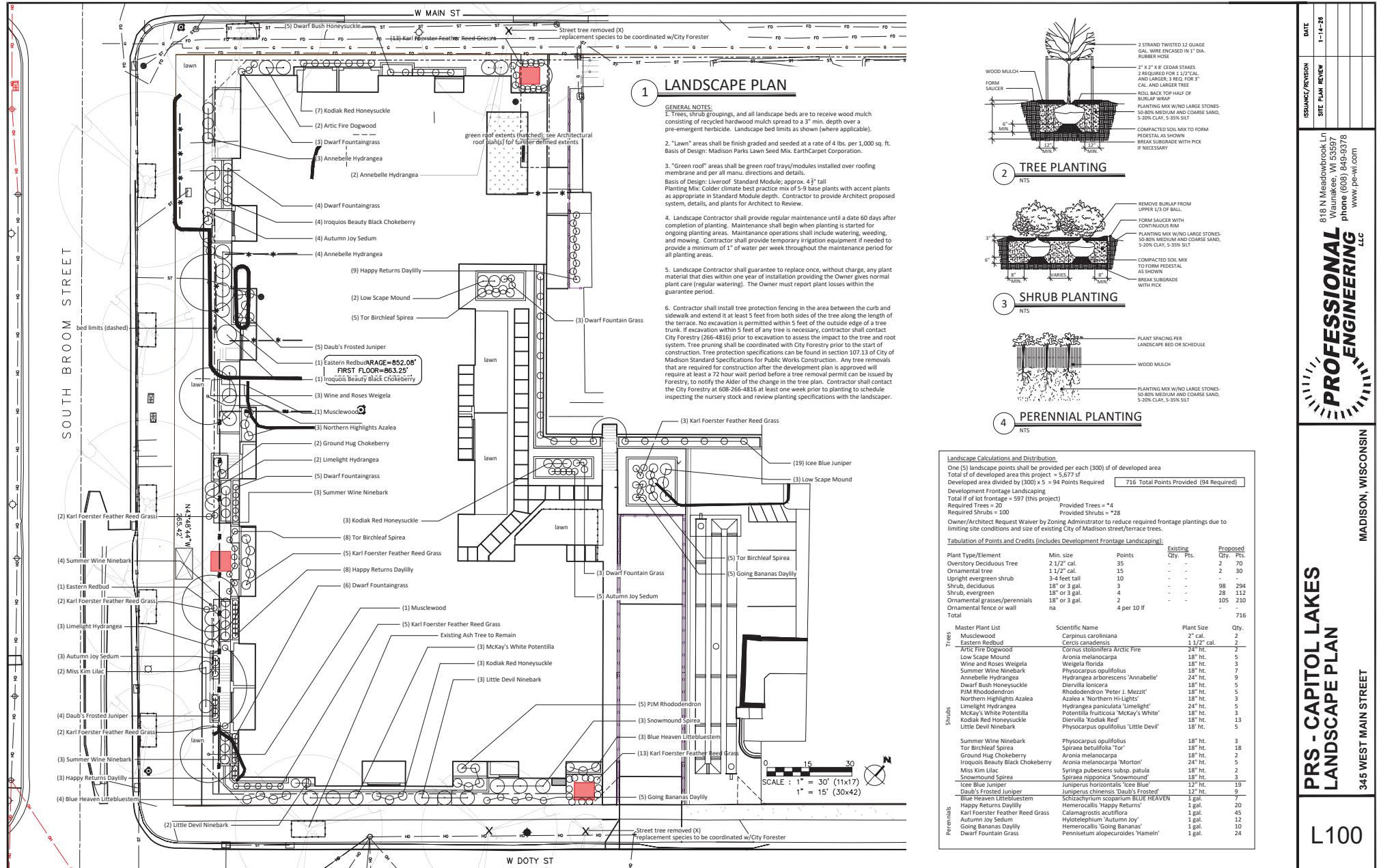
- A. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- B. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF PREVIOUS PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATION PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- C. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS.
- D. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
- E. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUCING/CONNECTION PERMITS FROM THE CITY OF MADISON PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- F. RESTORATION OF PAVEMENT CURB & GUTTER, SIDEWALK, AND OTHER STREET RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
- G. ALL STORM SEWER PIPE TO BE ADS N-12 OR RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS AS NOTED ON THE STORM SEWER PLANS. BRANCH CONNECTIONS TO BE WYES WITH 45 DEGREE BENDS.
- H. DRAIN BASINS 18" IN DIAMETER OR SMALLER TO BE ADE NYLOPLAST OR APPROVED EQUALER NYLOPLAST DRAIN BASIN GRATES TO BE BRONZE
- I. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
- J. ALL WATER MAIN 4" AND LARGER SHALL BE DUCTILE IRON FITTINGS TO HAVE MEGA-LUG CONNECTIONS. WATER SERVICES 2" AND SMALLER SHALL BE TYPE K, COPPER.
- K. SANITARY SEWER MAIN AND SERVICES SHALL BE SPUD 250 MANHOLES TO BE PRECAST WITH RUBBER BOOTS.
- M. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR GEMER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUIVALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
- N. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
- O. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED WITHIN 5' OF THE PROPOSED BUILDING(S) AND STAGED.
- P. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE, WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
- Q. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSING WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY 2-INCH THICK POLYSTYRENE BOARD INSULATION.
- R. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.
- S. CLEANOUTS WILL REQUIRE FROST SLEEVES.
- T. CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY

## PLAN KEY

- ① CONNECT TO EXISTING 6" WATER LATERAL PER CITY STANDARDS
- ② 6" DI WATER SERVICE, VERIFY SIZE WITH ARCHITECT
- ③ CONNECT TO BUILDING SERVICE, SEE PLUMBING PLANS
- ④ WATER BEND, TYPICAL
- ⑤ CONNECT TO EXISTING 10" SANITARY MAIN IN ACCORDANCE WITH CITY STANDARDS
- ⑥ SANITARY CLEANOUT, TYPICAL
- ⑦ CONNECT TO SANITARY BUILDING SEWER, SEE PLUMBING PLANS
- ⑧ 6" SANITARY SEWER AT 1.1% SLOPE MINIMUM, VERIFY SIZE WITH PLUMBING DESIGNER
- ⑨ PERMANENTLY PLUG EXISTING 4" SANITARY LATERAL IN ACCORDANCE WITH CITY STANDARDS
- ⑩ CONNECT TO ROOF DRAINAGE SYSTEM. CONTRACTOR TO VERIFY FINAL DRAIN LOCATION WITH PLUMBING DESIGNER PRIOR TO CONNECTING
- ⑪ CONNECT TO STORM SEWER IN ACCORDANCE WITH CITY STANDARDS
- ⑫ UNDERGROUND STORAGE CHAMBERS
- ⑬ CONNECT TO 15" INLET PIPE STUB
- ⑭ CONNECT TO 15" OUTLET PIPE STUB
- ⑮ 24" RISER, WITH NEENAH R-1556-A SOLID LID
- ⑯ CONCRETE PAD AROUND RISER
- ⑰ UTILITY PATCH IN ACCORDANCE WITH CITY STANDARDS W/CURB AND ASPHALT REPLACED AND TERRACE RESTORED
- ⑯ TRANSFORMER, COORDINATE FINAL LOCATION WITH MG&E
- ⑯ REPLACE EXISTING MANHOLE CASTING WITH NEENAH 3067 CASTING
- ⑯ STORMWATER RUNOFF DRAINING TO UNDERGROUND PARKING SHALL DRAIN TO A SUMP PUMP THAT DISCHARGES TO GRADE THROUGH AN AIR GAP. PUMP SIZING SHALL BE FOR 100 YEAR STORM EVENT. MINIMUM PUMP DISCHARGE RATE SHALL BE 0.56 CFS (21 GPM). PUMPING SYSTEM SHALL BE DESIGNED BY BUILDING PLUMBER. PUMP TO DISCHARGE TO 2.7 GARAGE TRENCH DRAIN
- ⑯ TERMINATION CABINET, COORDINATE FINAL LOCATION WITH MG&E
- ⑯ SWITCHGEAR, COORDINATE FINAL LOCATION WITH MG&E
- ⑯ COORDINATE WITH TRAFFIC ENGINEERING WHEN CROSSING UNDERGROUND ELECTRICAL
- ⑯ 2" - 4" PVC ELECTRICAL CONDUITS TO SERVE FUTURE PHASES
- ⑯ RELOCATE ELECTRICAL POLE, COORDINATE WORK WITH MG&E



NOTE:  
RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS



CERTIFIED SURVEY MAP No.

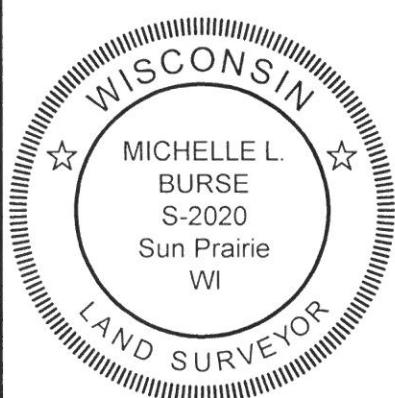
LOTS 1-18, BLOCK 50, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS,  
ON PAGE 3, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHEAST AND NORTHEAST  
QUARTERS OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 07 NORTH, RANGE 09  
EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN



A scale bar consisting of a black and white checkered pattern. Above the bar, the numbers 0, 80, and 160 are printed. Below the bar, the text "SCALE: ONE INCH = EIGHTY FEET" is printed.

## NOTES

- 1) See sheet 3 for legend.
- 2) See sheet 2 for easement details.
- 3) Building wing located on proposed lot 1 to be razed.



SURVEYED FOR :

Professional Engineering, LLC

SURVEYED BY :

## Burse

Surveying & engineering Inc.  
2801 International Lane, Suite 101  
Madison, WI 53704 608.250.9263  
Fax: 608.250.9266  
email: mburse@bse-inc.net

FOUND BRASS CAP  
MONUMENT AT THE  
NORTH QUARTER CORNER  
OF SECTION 23-07-09  
(WCCS 1991)  
N: 482,890.13  
E: 818,501.68  
(N: 482,890.36  
E: 818,501.68)

MAP NO

DOCUMENT NO.

VOLUME \_\_\_\_ PAGES \_\_\_\_

Date: August 24,

Plot View: CSM 1

FOUND BRASS CAP MONUMENT  
AT THE CENTER OF SECTION  
23-07-09 (WCCS 1991)  
N: 480.227.66 E: 818.501.03

